



**New Albany Planning Commission**  
Monday, March 16, 2020 7:00pm

AGENDA

**I. Call To Order**

**II. Roll Call**

**III. Action of Minutes:** February 19, 2020

**IV. Additions or Corrections to Agenda**

Swear in All Witnesses/Applicants/Staff whom plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth".

**V. Hearing of Visitors for Items Not on Tonight's Agenda**

**VII. Cases:**

**VAR-112-2019 Variance Reconsideration**

Reconsideration request for a variance to the Tidewater zoning text section VI(D)(6) to allow a patio to be installed within the platted preservation zone where the zoning code does not permit (PID: 222-003794).

**Applicant: Muhammad Arif**

*Motion of acceptance of staff reports and related documents into the record for VAR-112-2019.*

*Motion of approval for to allow a reconsideration of application VAR-112-2019 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.*

**FDP-15-2020 Final Development Plan**

Final Development Plan application for 12.47 +/- acres for the development of a private road within the Walton-62 I-PUD zoning district, generally located north of and adjacent to US-62, east and adjacent to Walton Parkway and south and adjacent to Bevelhimer Road. (PIDs: 222-000616, 222-000617, 222-000618, 222-000655, 222-000623, 222-004186, 222-004466, 222-002558, 222-004467, 222-004184, 222-004185, 222-002557).

**Applicant: The New Albany Company LLC c/o Aaron Underhill**

*Motion of Acceptance of staff reports and related documents into the record for FDP-15-2020.*

*Motion of approval for application FDP-15-2020 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.*

**FDP-16-2020 Final Development Plan**

Final Development Plan application for the Sheetz development to be generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road (PIDs: 222-000616 and 222-000615).

**Applicant: Morse Road Development LLC**

*Motion of Acceptance of staff reports and related documents into the record for FDP-16-2020.*

*Motion of approval for application FDP-16-2020 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.*

**VAR-18-2020 Sheetz Variances**

Variances associated with the final development plan for the Sheetz development located north of US-62, east of Walton Parkway and south of Bevelhymer Road (PIDs: 222-000616 and 222-000615).

**Applicant: Morse Road Development LLC**

*Motion of Acceptance of staff reports and related documents into the record for VAR-18-2020.*

*Motion of approval for application VAR-18-2020 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.  
in the staff report with the conditions listed in the staff report, subject to staff approval.*

**CU-19-2020 Conditional Use**

Conditional use application to allow manufacturing and production uses for properties located north of and adjacent to Innovation Campus Way West (PIDs: 222-005107 and 222-002133).

**Applicant: The New Albany Company LLC c/o Aaron Underhill**

*Motion of Acceptance of staff reports and related documents into the record for CU-19-2020.*

*Motion of approval for application CU-19-2020 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.*

**VIII. Other Business**

**Annual Organizational Meeting**

- Swear in new member
- Elect Chairperson
- Elect Vice-Chairperson
- Elect Secretary
- Establish date, time, and location for 2020 regular meetings

*\*Standard Rules of Procedure for New Albany Boards and Commissions states attendance of all current serving members of the Commission/Board is encouraged, and three consecutive absences by any member or four absences in any year shall be considered a forfeiture of the membership to the Commission/Board. The forfeiture would occur regardless of the reason for the absences. Attendance would be defined as presence during the hearing and consideration of all applications before that Commission/Board at that meeting. The chairperson would then notify the Clerk of Council so that she can inform Council that a new appointment needs to be made.*

**New Albany Strategic Plan Update**

**IX. Poll members for comment**

**X. Adjournment**

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**New Albany Planning Commission  
February 19, 2020 DRAFT Meeting Minutes**

Planning Commission met in regular session in the Council Chambers at Village Hall, 99 W. Main Street and was called to order by Planning Commission Chair Mr. Neil Kirby at 7:05 p.m.

Those answering roll call:

Mr. Neil Kirby, Chair	Present
Mr. Brad Shockey	Absent
Mr. David Wallace	Present
Mr. Hans Schell	Present
Ms. Andrea Wilttrout	Present
Mr. Sloan Spalding (council liason)	Present (arrived 7:11p.m.)

Staff members present: Steven Mayer, Development Services Coordinator; Chris Christian, Planner; Mitch Banchefsky, City Attorney; Ed Ferris, City Engineer; and Josie Taylor, Clerk

Moved by Mr. Wallace, seconded by Ms. Wilttrout to approve the January 22, 2020 meeting minutes. Upon roll call: Mr. Wallace, yea; Ms. Wilttrout, yea; Mr. Kirby, yea; Mr. Schell, yea. Yea, 4; Nay, 0; Abstain, 0. Motion passed by a 4 - 0 vote.

Mr. Kirby asked if there were any additions or corrections to the agenda.

Mr. Christian stated none from staff.

Mr. Kirby swore to truth those wishing to speak before the Commission and asked for cell phones to be silenced.

Mr. Kirby asked if members of the public wished to speak on any non-agenda items. (No response.)

**FDP-104-2019 Final Development Plan**

**Final development plan application for the Holiday Inn Express located at the northwest corner of State Route 161 and Beech Road (PID: 093-106512-00.000).**

**Applicant: EMH&T c/o Natalie Fremmin**

Mr. Christian presented the staff report.

Mr. Kirby asked if there was any Engineering.

Mr. Ferris stated no.

Mr. Kirby asked to hear from the applicant.

Mr. Terry Riddle, for Indiana Hospitality Group, stated they were ready to start upon approval.

Ms. Wilttrout asked applicant if he was fine with the conditions in the staff report.

Mr. Riddle stated absolutely.

Ms. Wilttrout noted there were conditions on materials to meet city requirements.

Mr. Riddle stated that was correct and he believed they had met the requirements for materials, it was just the coating on the signage they had to change.

Mr. Schell asked if the height noted of 49 feet was accurate.

Mr. Riddle stated yes.

Mr. Schell asked if there would be a swimming pool.

Mr. Riddle stated yes.

Mr. Schell asked if the pool was inside or outside.

Mr. Riddle stated it was inside.

Mr. Schell asked if there would be restaurants.

Mr. Riddle stated breakfast would be served.

Mr. Schell asked about a bar.

Mr. Riddle stated no bar.

Mr. Wallace asked if staff was comfortable with the materials.

Mr. Christian stated yes, there was just an issue with sign materials.

Mr. Kirby noted the wrong corner had been marked on the report.

Mr. Christian apologized for the error.

Moved by Mr. Kirby to accept the staff reports and related documents into the record for FDP-104-2019, seconded by Mr. Schell. Upon roll call vote: Mr. Kirby, yea; Mr. Schell, yea; Mr. Wallace, yea; Ms. Wiltrout, yea. Yea, 4; Nay, 0; Abstain, 0. Motion passed by a 4 - 0 vote.

Moved by Ms. Wiltrout to approve FDP-104-2019 based on the findings in the staff report with the three conditions listed in the staff report, seconded by Mr. Schell. Upon roll call vote: Ms. Wiltrout, yea; Mr. Schell, yea; Mr. Wallace, yea; Mr. Kirby, yea. Yea, 4; Nay, 0; Abstain, 0. Motion passed by a 4 - 0 vote.

### **ZC-107-2019 Zoning Change**

**Rezoning of 0.93 acres from Agricultural (AG) to Infill Planned Unit Development (I-PUD) for an area to be known as the Central College Dining zoning district, located at the northeast corner of Central College Road and State Route 605 (PIDs: 222-001983 and 222-001991).**

**Applicant: TFTP LLC, c / o Aaron Underhill**

Mr. Mayer presented the staff report.

Mr. Kirby asked for Engineering.

Mr. Ferris stated they recommended that fifty feet from the center line of Route 605 and Central College be a dedicated right-of-way. Mr. Ferris noted a traffic study had been submitted to the City and was currently under review. Mr. Ferris stated they would likely comment on that at the final development plan stage.

Mr. Kirby asked for the applicant to speak.

Mr. Aaron Underhill, attorney for the applicant, reviewed the project and some updates to the plan originally presented at the Rocky Fork Blacklick Accord meeting. Mr. Underhill stated he was surprised at the interest in this application and thought the worries and concerns regarding the application were overblown. Mr. Underhill stated he would provide objective information to show the use for this location was appropriate.

Mr. John Gallagher, a traffic engineer for the applicant, presented findings of a traffic study on the intersection. Mr. Gallagher stated the traffic study showed minimal impact. Mr. Gallagher stated the corner would only see an increase of thirty (30) trips at the PM peak time. Mr. Gallagher noted that was one (1) vehicle every two (2) minutes and it would be difficult to discern the difference. Mr. Gallagher added that minor signal timing adjustments may be needed. Mr. Gallagher also noted this intersection, contrary to the opposition website's claims, was not a problem intersection and far from that label.

Mr. Underhill noted that an office use for the property could lead to an even worse traffic impact on the corner.

Mr. Gallagher stated that office use for this location would create more traffic than that proposed here during the PM and AM peak hours, saying traffic timing was often worse for school pedestrian and school bus schedules.

Mr. Kirby asked about the impact this would have on the stacking length that could result due to drivers making a left turn into the location.

Mr. Gallagher stated they had simulated that and had found that only two (2) cars would be stacked at any time and it was not an issue.

Mr. Kirby asked how many feet from the driveway to the intersection.

Mr. Gallagher stated he believed it was a couple hundred.

Mr. Kirby asked what the speed limit was at that point.

A member of the community stated that at that point it was 45 miles per hour on that side of Central College.

Mr. Gallagher stated it was four (4) lanes on Central College that then became two (2) after crossing 605 and that normally, when that is the case, the two (2) lanes will eventually become four (4) which would mean left turn concerns would disappear, but said he could not verify that.

Mr. Kirby asked if there was a plan to increase Central College to four (4) lanes on the east side.

Mr. Mayer stated that west of 605 there were four (4) lanes but east of 605 there were only two (2), identified as rural, and there was no intent to widen that section of road.

Mr. Kirby asked if the intent was to keep Central College at two (2) lanes.

Mr. Mayer stated yes.

Mr. Kirby noted it was against the City's plan to increase the number of lanes on Central College beyond its current two (2) lanes.

Mr. Mayer stated widening was not necessary and traffic signal adjustments may correct for stacking.

Ms. Wiltrout noted that the additional thirty (30) trips found in the traffic study seemed a little low. Ms. Wiltrout stated that seemed to suggest there would only be thirty (30) people visiting the site at peak hours and asked how those numbers were calculated and their validity.

Mr. Gallagher noted it was from national data compiled by engineers, used for decades in municipal studies, and well vetted and accepted. Mr. Gallagher stated that thirty (30) vehicles did not mean thirty (30) people, it was only thirty (30) vehicles coming and going at peak hours, not number of people there.

Ms. Wiltrout asked where the numbers were taken from, was it a brewery.

Mr. Gallagher stated there are a lot of micro-breweries.

Ms. Wiltrout asked if it was specific to micro-breweries.

Mr. Gallagher stated he would have to verify, but thought the category was called "drinking place" and could be a micro-brewery, a bar, or any number of other places serving alcohol. Mr. Gallagher stated the data came from studies done all around the country based on square footage of the facility.

Mr. Wallace asked Mr. Gallagher if he obtained data from the city then picked the type of use and extrapolated how much added traffic there would be above the data obtained from the city.

Mr. Gallagher stated he got the traffic counts, the square footage of the facility, and the number of trips per square footage from the national data for a drinking place. Mr. Gallagher stated he then added on a food truck pod for two (2) food trucks to obtain the total traffic per truck as well as for the drinking place, and that was where the thirty (30) trips came from.

Mr. Wallace asked Mr. Gallagher if that meant he had assumed a use of a drinking establishment of certain square feet and then added two (2) food trucks to determine how many more trips would be generated based on this particular use.

Mr. Gallagher stated correct, saying that was added to the background traffic in the intersection and then analyzed and projected out for ten (10) years based on a growth rate obtained from the City.

Mr. Wallace asked what the growth rate referred to.

Mr. Gallagher stated it was the expectation in the increase of background traffic in the location.

Mr. Wallace asked what the conclusion was.

Mr. Gallagher stated the conclusion was that some signal timing adjustments would be needed.

Mr. Wallace asked it would be timing adjustments for how long the lights would be red, yellow, and green.

Mr. Gallagher stated right.

Mr. Wallace asked what other conclusions he had drawn.

Mr. Gallagher stated that was it.

Mr. Wallace asked about stacking.

Mr. Gallagher stated there was not enough traffic for that.

Ms. Wiltrout asked what if the traffic grew, with the plan to keep Central College to two (2) lanes, how could they fix a problem if it were to present itself.

Mr. Gallagher stated he had assumed growth for ten (10) years out.

Ms. Wiltrout asked if peak time was rush hour and asked if any analysis had been done at about 8p.m., when people may be going to the bar.

Mr. Gallagher stated yes, it was rush hour, and he had not done an analysis at a different time, but said one could be done.

Mr. Kirby asked when the ambient traffic fell off.

Mr. Gallagher stated he could not recall that.

Mr. Kirby stated that might mean the potential conflict disappeared then.

Mr. Gallagher stated traffic, based on his observations, fell off quite a bit outside of peak time.

Mr. Schell asked what the typical or regular sized property request Mr. Gallagher would normally receive, as he had stated this was smaller than usual.

Mr. Gallagher stated that most municipalities tended to fall back to the Columbus Code which stated 100 trips during any given peak hour for residential.

Mr. Wallace asked Mr. Ferris if it was correct that he had the report but had not yet completed the analysis.

Mr. Ferris replied that was correct.

Mr. Wallace asked what the analysis consisted of, what was he looking for.



Mr. Ferris stated they would look at the report to see if they agreed with the findings in the report.

Mr. Wallace asked if, from an engineering standpoint, it would be important for the Planning Commission to know what the Engineering review was prior to voting to change the zoning.

Mr. Kirby asked if the Planning Commission should wait until Engineering completed its review.

Mr. Banchefsky stated traffic was not a sole basis for approval or not, it was peripheral.

Mr. Wallace stated his question was about the Engineering view of that, not whether it was a major or minor factor.

Mr. Banchefsky stated he wanted to point out that the case law did not support final determination based on traffic.

Mr. Underhill stated the applicant would agree not to proceed to City Council for a vote until Engineering completed its review of the traffic study. Mr. Underhill also added that if Mr. Ferris thought the report was off, the applicant would return to the Planning Commission.

Ms. Wiltrout asked if real numbers could be put on that, such as the thirty (30) vehicles, the no stacking, etc.

Mr. Gallagher stated the city already approved the thirty (30) vehicles, it was part of the upfront stuff.

Mr. Wallace noted the problem was that if zoning was changed all that could go in there was the nano-brewery and they were really, in a way, almost approving the final development plan.

Mr. Underhill stated it was in his client's best interest to have that resolved. Mr. Underhill noted it was a 3,300 square foot building , including the basement, a very small building and that helped with traffic and who would be there.

Mr. Wallace asked how the food trucks would get onto the property.

Ms. Wiltrout asked if a diagram could be seen of the parking lot.

Mr. Underhill provided an image on the slide presentation.

Mr. Wallace asked where the trucks would be.

Mr. Underhill illustrated the food truck area and stated they would require food trucks to come and leave, respectively, before and after business hours so they would enter when there was no one in the parking lot.

Mr. Wallace asked how they would get in.

Mr. Underhill stated it would be something they needed to think about for the final development plan.

Mr. Kirby asked if the trucks were going to be under the drip line.

Mr. Underhill stated they would have standard tree preservation practices.

Mr. Kirby stated he wanted to know if the food trucks would be under the drip line, as the diagram seems to suggest.

Mr. Underhill stated that appeared to be the case.

Mr. Kirby asked to restrict them so they would not be under the drip line of existing, mature trees.

Mr. Underhill stated they would try their best to do that.

Mr. Kirby noted it was about to become a condition of approval, so if he had any opposition it should be discussed now.

Mr. Underhill stated he did not know how large the drip line was and added they could try to move the food trucks north.

Mr. Wallace asked if Mr. Kirby was concerned about root damage.

Mr. Kirby stated yes.

Mr. Underhill stated they had made a commitment to preserve the trees and part and parcel of that was to make sure they would locate the food trucks in a way that did not damage the root system.

Mr. Kirby stated that would be approved by staff when they pulled permits.

Mr. Underhill stated the answer would be in the final development plan.

Mr. Kirby stated that would be a condition of approval on the final development plan regarding truck parking

Ms. Wiltrout asked about the family friendly ideas for the brewery.

Mr. Underhill stated there were plans to have cornhole in the yard, this was not to be a place to go get drunk in, there would be no shot glasses, no live bands on the deck, and it would be pedestrian and pet friendly.

Ms. Wiltrout asked about music being louder than the traffic sounds and asked how this would be determined and what traffic noise it would be measured against, whether at 10p.m. or at rush hour.

Mr. Underhill stated the intent was to provide an objective standard to judge against.

Mr. Kirby asked if he was willing to baseline that prior to construction.

Mr. Underhill stated absolutely though he did not know if would be done through decibels or otherwise.

Ms. Wiltrout stated it would be most important to do so at 9 or 10 p.m., during sleep hours and times when people might get rowdier.

Ms. Wiltrout asked if there would be any incentives for people to walk up to the brewery.

Mr. Underhill stated dogs would be welcomed, they would connect to the leisure trails, and they would offer a water feature as well as bike racks.

Mr. Kirby noted that on page 3 of 13 it stated outdoor music would be played and asked if that could be reworded because it read as a mandate that music must be played at a volume equal to the ambient noise when what it wanted to say was it would never be louder than the ambient noise.

Mr. Underhill stated that was right.

Mr. Kirby asked if there was a limit to the times of special event hours.

Mr. Underhill stated it was an absolute limit at 12a.m.

Mr. Kirby asked the applicant to describe the difference between regular nights and special events.

Mr. Underhill stated those were the times, for example, the Fourth of July, when people would want to stay late and watch fireworks from the yard. Mr. Underhill stated perhaps wedding receptions could be held here, but thought that would be dropped if it were an issue.

Mr. Kirby stated, if he was reading it correctly, it would be one (1) more hour on the food trucks, except for the building and the deck, which would still close at midnight.

Mr. Underhill stated that was correct.

Mr. Kirby asked about the signage on page 4, item 6, asking if sandwich boards could be restricted to only when the food trucks were present.

Mr. Underhill stated absolutely.

Mr. Kirby asked for a commitment to the photometric plan.

Mr. Underhill stated it would be available at the final development plan stage.

Mr. Kirby stated so that was already a part of the process and did not need to be a condition.

Mr. Christian stated correct.

Mr. Kirby asked if the deck was a building or a structure.

Mr. Mayer stated it was a structure.

Mr. Kirby stated it was inconsistent in the text in terms of encroachment.

Mr. Mayer stated the intent was to attach to the building as an extension of the building so the building setback would apply.

Mr. Kirby asked on which side of the fence the trees would be.

Mr. Mayer stated that was to be evaluated based on the final development plan, adding that staff recommended that the trees be on the residential side and fence be on the business side.

Mr. Schell stated Mr. Underhill had noted the food trucks would plug in so the normal noise of a generator would not be there, but asked if they would emit smells that could be unpleasant.

Mr. Underhill stated that would not be a problem most of the time and thought the Code would deal with that as a nuisance, but did not know how to measure that, adding that there was not an intent or desire to do that.

Mr. Schell asked if it was a problem in their other restaurants.

Mr. Underhill stated no.

Mr. Schell noted that independently owned food trucks presented an insurance issue as the insurance for the location would not apply to the food trucks and asked how they would ensure they were insured.

Mr. Underhill stated the agreement with the food truck owners would require them to carry insurance for their liability.

Mr. Schell asked if it was a six (6) foot privacy fence.

Mr. Underhill stated it could be as high as anyone wanted, six (6) feet or more, they were open to ideas.

Mr. Kirby asked what the deck height would be.

Mr. Underhill stated three (3) feet.

Mr. Kirby stated that made a six (6) foot fence only a three (3) foot fence.

Mr. Schell asked if it would be white.

Mr. Underhill stated yes.

Mr. Schell stated Enclave residents worried over capacity that might spill over, asking if they could handle the capacity if there were 47 cars in the lot. Mr. Schell asked if there were 75 cars trying to get in, would that be feasible, where would they go.

Mr. Underhill stated he had no data on that, but his sense was that they would not have that overflow.

Mr. Kirby stated people would walk in and walk out.

Mr. Underhill stated that was right, and he believed the properties to the south would ultimately develop and provide opportunities for overflow parking.

Mr. Schell stated it was a historic building but could be torn down as no law prevented it.

Mr. Underhill stated that was correct unless federal money had been used and, if not, then no legal bar to tearing it down.

Mr. Kirby stated some of the documents in the package were out of date and asked if there was anything that needed to be done for clarification on the documentation.

Mr. Christian asked which documents.

Mr. Kirby indicated the document, stating it had the deck on the wrong side.

Mr. Mayer stated that was the prior submission to the Rocky Fork Blacklick Accord meeting and added there were some new letters recently received to hand out this evening.

Mr. Wallace stated they wanted to be sure the slide presentation was included as part of the record.

Mr. Mayer stated sure.

Mr. Underhill noted staff had the plan he had shown that evening.

Mr. Mayer stated yes.

Mr. Christian provided Planning Commission members with handouts of community residents' letters and emails regarding this application.

Mr. Kirby asked if these were part of the documentation that would be in the record.

Mr. Christian stated yes.

Mr. Wallace asked Mr. Underhill if there was an occupancy limit the Plain Township Fire Department would have for the building.

Mr. Underhill stated absolutely, but he did not know what that was.

Mr. Wallace asked what it might be, was it driven by interior square footage.

Mr. Underhill stated the maximum occupancy per Code was 99 people, including staff, although they did not anticipate being at that level.

Mr. Kirby noted that was from the Fire Marshall and they would work with that when they obtained an occupancy permit.

Mr. Mayer stated it would be reviewed and approved by the City.

Mr. Schell asked if that was for the deck also.

Mr. Kirby stated that was separate.

Mr. Underhill stated he anticipated it would be, as it was external to the building.

Mr. Kirby asked for a comparison of the size of the deck to the main floor.

Mr. Joe Claire, a commercial real estate agent with the applicant, stated the deck was about half that of the main floor and the interior square footage, not including bathrooms, was about 1,300 square feet and the basement, for which there was no plan at this time, was a split level.

Ms. Char Steelman, a resident of the community, stated the original application spoken about at the Rocky Fork Blacklick Accord meeting had six (6) events per year, then jumped to 24 per year, and now was back to twelve (12) per year and was not a concession, it was twice the original application amount. Ms. Steelman noted that if the business was to generate such few vehicles how successful could it be. Ms. Steelman stated that in terms of the numbers, New Albany required about thirteen (13) parking spaces for administrative offices but restaurants needed to have 44 or 47 spots, so if it were office then only thirteen (13) spaces were needed, so it really would not generate that many vehicle trips.

Mr. Gallagher stated if the existing building were converted to office, it would need about 10,000 square feet.

Mr. Kirby stated that to rebuild this from scratch, the 200 foot setback would not permit a new building of that size, it would need to be no more than the 3,000 square foot building, so using a 10,000 square foot office building would not be appropriate.

Mr. Underhill stated this building would go away and the site become unusable due to these factors.

Mr. Kirby stated his point was that as a small property, on its own, there was a 3,000 square foot building that was grandfathered and could be used while something new would not be grandfathered. Mr. Kirby stated it would not be worth the money.

Mr. Underhill stated if this were not approved then the likelihood would be a lot of variance requests would be coming in for this property in the future.

Mr. Kirby stated that due to the building size, if used as office, then smaller parking and traffic would make sense.

Ms. Steelman stated the impact of the site on the neighbors was a concern from the Rocky Fork Blacklick Accord meeting and the neighbors had not been heard yet and she had concerns regarding games in the yard area and if it were all ADA compliant.

Mr. Kirby asked about bathroom locations in the building.

Mr. Claire stated there would be a ramp attached to the deck with access.

Mr. Underhill stated there would be a ramp attached to the deck that would provide entry and be ADA compliant.

Ms. Steelman asked about special events and the traffic they would bring. Ms. Steelman also asked why this was being looked at as a retail district rather than an office district.

Mr. Mayer stated that office was on the 2014 Strategic Plan and noted that when applications differed from the land use, they evaluated the applications in terms of what most closely matched the use for the property.

Ms. Steelman noted that would then mean that since the building was being repurposed then the setback requirements normally used in the community for retail would mean nothing.

Mr. Mayer stated the Central College and 605 setbacks were in the Strategic Plan for the road sections but there were no specific setbacks in place for neighbors and adjacent properties, although screening was recommended.

Ms. Steelman asked if the setbacks were part of the City Code.

Mr. Mayer stated that was correct, City Code recommended a 25 foot buffer be provided between commercial uses and residential uses.

Ms. Steelman stated there was only about five (5) feet here.

Mr. Mayer stated he thought the applicant was proposing about five (5) or ten (10) feet.

Ms. Steelman stated that was what she meant when she said the setbacks did not apply here.

Mr. Kirby stated the building would likely not make a setback.

Ms. Steelman noted that the residential property of Mr. Haag was right next to this property and asked others to imagine what it would be like to live next to a bar, regardless of what it was being called, it was still a bar. Ms. Steelman stated this was being called a transitional area, but noted that currently the east side of 605 was residential and the commercial areas were in the City of Columbus and to the west by a quarter or third of a mile. Ms. Steelman noted this location was surrounded on three sides by residential property. Ms. Steelman asked that the best for the residents in the area be done and added that the trail here ended at Mr. Haag's property and was a trail to nowhere.

Mr. Kirby noted that trails to nowhere were often necessary to create connections that may not be apparent.

Mr. Christopher Haag, a resident directly next door to the location, provided a slide presentation and stated this was a residential area and commerce was on the west side of 605 as 605 acted as the separation between commercial and residential. Mr. Haag added that the retail fast food locations in the area were in Columbus, not New Albany. Mr. Haag stated the 2020 New Albany Strategic Plan had the property identified as residential for future land use. Mr. Haag stated there were thirty (30) single family homes within 1,000 feet of the location and noted they would be impacted the most with traffic, noise, odors from brewing and dumpsters. Mr. Haag added the intersection was a busy intersection and would not be safe to walk. Mr. Haag added there were new housing communities going into this area and it was already packed with children who were out in the area often and many children biked or walked to school through this intersection and it did get backed up with people trying to turn left who had to cross three lanes of traffic. Mr. Haag stated this is the first new bar in New Albany in forty (40) years and it was the only one that was completely surrounded by three (3) residential properties and it was only some fourteen (14) feet from its nearest neighbor. Mr. Haag stated the fence line allowed people to see into his property, especially when on the deck. Mr. Haag noted the noise he experienced when the Lions Club used the location for events and people parked in his yard and along 605. Mr. Haag stated he had a petition signed by 216 people and that a .93 acre location was not a dining district, it was residential and that was what residents wanted it to be. Mr. Haag added that residents in

Hampstead, who were most in favor of the bar, were located quite a distance from this location and many of them were also in Columbus. Mr. Haag also noted that when accidents in the area occur, cars often end up in the location where the applicant is now proposing to build the deck and said he felt the speed limit should be reduced.

Mr. Kirby stated the Planning Commission had little control over speed limits on 605 due to Ohio Department of Transportation regulations but a similar situation was also in place for Central College.

Mr. Ferris stated that was generally correct.

Mr. Haag stated that in areas where commercial uses occurred, the limit was normally 25 miles per hour. Mr. Haag asked who would enforce the number of special events.

Mr. Kirby stated that was complaint driven enforcement and would be a zoning violation for them to exceed it and had a per happening penalty.

Mr. Mayer stated it would be a zoning enforcement violation, enforceable through fines.

Mr. Haag asked how it would be investigated.

Mr. Mayer stated a Code Enforcement Officer would be sent and there were also special event permits that could be filed and used to track the number of events.

Mr. Underhill stated the applicant would agree to zero special events.

Mr. Haag stated the same enforcement question would apply to noise and hours enforcement.

Mr. Kirby stated it was a zoning violation.

Mr. Haag asked whom he would call.

Mr. Mayer stated it would be a zoning violation and enforcement, and the city would then monitor and investigate those.

Mr. Haag asked if a fine could be issued just based on his complaint.

Mr. Mayer stated the City would investigate through means such as monitoring, asking residents, and other methods, and if needed they could coordinate with the police department and fines could be used.

Mr. Haag stated living some twenty feet away, he was not comfortable with that as a business is unlikely to close doors if customers are still present and paying for service.

Mr. Haag noted he was concerned about the impact on the property's septic system.

Mr. Kirby asked the applicant where the leach field for that septic system was and if it was on the same property.

Mr. Claire stated Franklin County had stated the current septic system was sufficient for their uses and the leach field was due east of the building and went south.



Mr. Kirby asked if he had that from Franklin County.

Mr. Claire stated yes, a letter from Franklin County about their use and a report from the people who did it.

Mr. Haag stated property value was a concern for all residents in the area and noise not just from operations but also when about eighty (80) people are on the property that would generate a great deal of noise pollution, was a concern. Mr. Haag added residents wanted a quiet neighborhood and relied on the 2014 Strategic Plan when opting to purchase homes here and this bar violated the desires of the residents in this community.

Mr. Kirby noted that after the Planning Commission voted, then the City Council would vote. Mr. Kirby asked how tall Mr. Haag would want the fence to be if it had to go in.

Mr. Haag stated at a minimum it would need to exceed the height of an average person on the deck.

Mr. Kirby asked if ten (10) feet would do it.

Mr. Haag stated yes and noted screening and trees should also be present.

Mr. Kirby stated they had arbor vitae on his side of the fence.

Mr. Haag stated he did not know if the location of his driveway would leave enough room for that, but trees would help with noise but, on the east side, another resident would have lights from cars onto his property.

Mr. Kirby asked if the applicant would have fencing on that side and if it was over four (4) feet tall.

Mr. Underhill stated yes.

Mr. Haag asked if the applicant would be putting fencing all the way around.

Mr. Underhill stated yes.

Mr. Kirby asked if mature trees on the northern property line would interfere with fencing on the applicant's side.

Mr. Haag stated the mature tree was on his side.

Mr. Kirby asked if they would agree to work together to minimize damage to Mr. Haag's tree.

Mr. Schell asked Mr. Haag when the Lions Club was active in the building, how many events did they have and when.

Mr. Haag stated it was rented out a lot and it was very active for several years with concerts and weddings while he lived there. Mr. Haag said there is now a current tenant, a church, that meets there regularly for services and Bible study.

Mr. Schell asked if Mr. Haag had any issues with the owners through this.

Mr. Haag stated no.

Mr. Kirby called for a break and called the meeting back to order after ten (10) minutes.

Ms. Wendy Knodell-Smith, a resident in the community, stated she moved to the community for safety and that was her main concern. Ms. Knodell-Smith stated a bar 1,000 feet from her home was not a safe place for her children. Ms. Knodell-Smith stated there was a bike path on Central College the kids used to get to school or walk their dogs on and the bike path was right across the parking lot for the bar, and stressed this was not a restaurant. Ms. Knodell-Smith stated no one moved to New Albany to live near food trucks and that this would bring down property values and hoped New Albany would protect its residents from that. Ms. Knodell-Smith noted that there was almost no traffic at about 8p.m. so stating that noise on the property would not be above traffic noise meant people would have to be silent on the property. Ms. Knodell-Smith noted this was still an area where deer frequented and a bar was out of place here when residential construction was taking place near this property, adding a community center would be a good potential use. Ms. Knodell-Smith added that bar businesses normally had increased criminal activity and adult behaviors associated with them that were not appropriate near family homes. Ms. Knodell said off premises drinking could occur here and it was also not a good fit for the community and there were other locations that would be a better fit. Ms. Knodell-Smith noted that Hampstead Village was going to be buffered from the new Target, and asked why that was not done here. Ms. Knodell-Smith stated that making a left out of the parking lot required drivers to cross three lanes of traffic and that was hard to do when sober, let alone when a person had been drinking.

Mr. Schell asked Mr. Underhill what the pricing would be for a beer as that could impact clientele type.

The applicant stated it would be between \$6 and \$10.

Mr. Schell asked if there would be a Happy Hour.

The applicant stated no.

Ms. Knodell-Smith asked where delivery trucks would be able to park for deliveries as they could not pull in to the lot and then pull out.

Mr. Lawrence Cohen, a resident of the community, stated he was in opposition to the proposed zone change. Mr. Cohen stated it would be inconsiderate and irresponsible for the Planning Commission and City Council to approve this proposal that would impact rights of adjacent owners to have quiet enjoyment of their property. Mr. Cohen noted traffic dangers would be brought to the intersection that were not currently present. Mr. Cohen said the potential stacking the business would create as people attempted to turn left in and out of the location across three (3) lanes of traffic, and traffic at peak times, were different from what had been alleged here. Mr. Cohen said he had been disturbed by parties on neighbors' yards, but the situation here would be worse in noise and less easily dealt with for neighbors so close to this location. Mr. Cohen added that while current plans did not call for the food trucks to be at the location for lunch service, it seemed a likely future use and food truck traffic would become a concern at those hours also. Mr. Cohen noted the area was not transitional, as had been said, it was clearly residential, noting that

the development of the Epcon communities proved this. Mr. Cohen urged the Planning Commission not to recommend this for approval.

Ms. Wiltrout asked if the noise concern was from the outside, asking if the noise were inside the building would it be a concern.

Ms. Loni Burnap, a resident in the community, stated that one of the changes from the original proposal was that the applicant had mentioned there would be no music at all, but this evening they mentioned having music. Ms. Burnap asked if there would be music or bands.

Ms. Wiltrout asked about the noise of talking on the patio and asked if there was a way to keep the noise inside the building.

Mr. Underhill stated there would be no live bands and any outside music would be at a low level for mood. Mr. Underhill stated conversations held outside should be discussed as use of the deck was needed for the business.

Mr. Kirk Smith, a resident of the community, stated this proposal flew in the face of the 2014 and 2020 New Albany Strategic Plans which stated the community would bring establishments such as this into the City center. Mr. Smith stated this was a request to put a bar into a residential area, which is the opposite of the Strategic Plan vision. Mr. Smith noted there were plenty of locations in New Albany for this business that would not shoehorn it into a residential area. Mr. Smith questioned where the environmental waste, the byproduct of the brewery, would go.

Mr. Claire stated they would use city water and waste would have minimal impact.

Mr. Smith noted the liquor permit would legally allow liquor sales until 2a.m. and the only way to stop that would be to file a complaint so it would just be a zoning issue, not illegal. Mr. Smith stated for neighbors here it would be less than fifty (50) feet to a dumpster and asked if the food waste would be hauled away or go into the dumpster.

Mr. Claire stated the food truck operations would haul their own waste.

Mr. Smith stated that the independent food truck owners proposed for this location had an incentive to go where their potential revenue was highest and the requirements for them to be on the property before and after closing, with zero opportunity for revenue, argued against having established food trucks on this property, and they would be serving only alcohol. Mr. Smith asked if there was a contingency plan in place for food if food trucks were not available or would customers only be consuming alcohol.

Mr. Kirby stated that was wandering far from the zoning question.

Mr. Smith asked Mr. Gallagher if his traffic assumptions had taken into consideration the three (3) businesses known to be going in that would be adding traffic to the community at this time.

Mr. Gallagher stated yes, that was part of the background growth that was agreed on by the City.

Mr. Smith asked Mr. Gallagher if he knew what time the light at that intersection began blinking yellow and red.

Mr. Kirby stated 10p.m. or 11p.m.

Mr. Larry Piper, a resident of the community, stated he lived directly east of the location and would be directly affected by this. Mr. Piper stated noise was not a problem when the church was there, but when the Lions Club began leasing it out there were a lot of parties and a lot of problems for him as people spilled onto and even used his yard to relieve themselves, and he saw all of the lights and heard all of the noise in his home. Mr. Piper noted it was a dangerous intersection and he had seen several accidents, including one that almost forced the vehicles onto the property. Mr. Piper stated it was very difficult to turn left and people parked in his driveway when the location ran out of parking spaces. Mr. Piper asked about water drainage.

Mr. Kirby noted they could not change drainage.

Mr. Piper stated he was only fifteen (15) feet from the property line and he would hear every noise and see all the lighting. Mr. Piper stated he was not in favor of this and, as far as the septic system, he said he had been condemned at one time for not having sufficient leaching area and that was just for a family of four (4), so he did not see how it would be okay for the bar's use.

Mr. Patrick Spangler, a resident of the community, stated he was the first Enclave resident in 2007, and noted that he had been there when the Lions Club held events and those attending would park in every spot at the Enclave community near his home. Mr. Spangler stated there were thirteen (13) children under the age of twelve (12) in that community area who were walking and taking school busses who should not be exposed to a bar when they were in their community. Mr. Spangler also noted he could smell the Lucky Yee restaurant from his home and wondered how the brewery smell would be.

Mr. Kirby noted the outside tank in the proposed location was not a real brew tank, it was a decorative feature that offered water.

Mr. Spangler asked it could be switched to beer.

Mr. Kirby stated it would need different licensing.

Mr. Spangler also mentioned that a lot of people already used his part of the Enclave to turn around and that would get worse. Mr. Spangler stated there was not enough parking at the location and they would end up parking in the Enclave, on his street, and worried he would have to call and complain all the time. Mr. Spangler asked about televisions used for games and the noise that would generate.

Mr. Claire stated there were no plans for a television.

Mr. Spangler stated he had moved to New Albany due to its planning and that was why they wanted to be inside the New Albany Corporate limit and this was a residential area. Mr. Spangler stated this was a bar, not a bar/restaurant, and bars bring bad behaviors. Mr. Spangler stated this was a residential community with deer, birds, etc., and with a 55 and older community in the area, this bar was not wanted here and noise and other complaints would be routinely filed.

Mr. Brad Griffith, a resident and business owner in the community, noted that while the best of intentions seemed to be involved here, he did not think the proposed business was the best fit for the community. Mr. Griffith also noted that if this location would open for lunch, it may lure Discover Card employees who would smoke near the Enclave community and as young children were getting on and off buses for kindergarten.

Mr. Underhill stated there would be no smoking on patio but it was hard to control the parking lot.

Mr. Kirby asked if the deck was a structure as there was a lack of clarity.

Mr. Mayer stated they would defer to the applicant but a condition that would only allow the deck and no other structures could be put in.

Moved by Mr. Kirby to accept the staff reports and related documents, including the presentations from the meeting, the updated diagrams and documents, and the additional documents handed out, into the record for ZC-107-2019, seconded by Mr. Schell. Upon roll call vote: Mr. Kirby, yea; Mr. Schell, yea; Ms. Wiltrout, yea; Mr. Wallace, yea. Yea, 4; Nay, 0; Abstain, 0. Motion passed by a 4 - 0 vote.

Moved by Mr. Kirby to approve ZC-107-2019 based on the findings in the staff report with the conditions in the staff report and the following conditions:

1. Trucks are to avoid the existing, mature trees on the final development plan approval;
2. Baseline noise measurements are to be done prior to construction;
3. The noise text is to be updated;
4. Sandwich board text is to be updated;
5. Arbor vitae will be on the outside of the fence;
6. There will be zero special events;
7. The default for the northern privacy fence height is ten (10) feet unless otherwise agreed to with the neighbor on that side;
8. Work with neighbors to minimize damage to the trees when they cross the lot line;
9. No outdoor televisions;
10. Deck as a structure, but no other structure, with wording to be done to staff approval;
11. No smoking on the deck;
12. The vote of the City Council is delayed until the City Engineer has had a chance to report on the traffic report;

seconded by Mr. Wallace. Upon roll call vote: Mr. Kirby, no; Mr. Wallace, no; Mr. Schell, no; Ms. Wiltrout, no. Yea, 0; Nay, 4; Abstain, 0. Motion failed by a 0 - 4 vote.

Mr. Kirby noted that the conditions were in place as City Council still needed to vote on this application. Mr. Kirby stated the current adjacent land use and zoning, and the small size of the parcel, were the reasons he voted no.

Mr. Wallace noted he agreed with Mr. Kirby's comments and wanted to state that while commercial use near residential locations is often approved, those areas are typically larger than the property here and this location was also much closer to residential areas than was typical. Mr. Wallace noted it was positive to try and save the historic building, and development may see that bulldozed, but this was just not a good location for this business.

Mr. Schell stated that he had to agree with Mr. Kirby and Mr. Wallace, although he did like the concept. Mr. Schell noted he did not realize how large the opposition was and that there was too much opposition for him to vote for it.

Ms. Wiltrout stated she ultimately voted no because the adjacent plan use was the deciding factor and it was too close to neighbors' homes.

## **Other Business**

### **Engage New Albany Strategic Plan Update**

Mr. Kirby asked staff if they could delay the Engage New Albany Strategic Plan Update due to the lateness of the hour.

Mr. Mayer stated they could delay.

With no further business, Mr. Kirby polled members for comment.

Ms. Wilttrout thanked the residents for their participation.

Mr. Kirby stated it was a nice plan, but it was too close to neighbors with not enough buffer.

Mr. Kirby adjourned the meeting at 10:40 p.m.

Submitted by Josie Taylor.

DRAFT

**Planning Commission Staff Report  
February 19, 2020 Meeting**

**HOLIDAY INN EXPRESS  
FINAL DEVELOPMENT PLAN**

LOCATION: Located at the northwest corner of State Route 161 and Beech Road (PID: 093-106512-000.00)

APPLICANT: EMH&T c/o Natalie Fremming

REQUEST: Final Development Plan

ZONING: Northwest Beech Interchange Zoning District

STRATEGIC PLAN: Retail/Office Mix

APPLICATION: FDP-104-2019

Review based on: Application materials received on November 15 and December 16, 2019 and January 16 and 30, 2020  
*Staff Report completed by Chris Christian, Planner*

**I. REQUEST AND BACKGROUND**

The application is for a final development plan for the proposed Holiday Inn Express located at the northwest corner of Beech Road and State Route 161. The development includes a 96 room, four story hotel on a 3.57 acre site.

This site is located within the Beech Crossing zoning district which was reviewed and approved by the Planning Commission on January 22, 2020 (ZC-102-2019). The application was reviewed under these zoning regulations to ensure there no non-conformities created.

**II. SITE DESCRIPTION & USE**

The site is located at the northwest corner of State Route 161 and Beech Road. The site is 3.57 acres and is currently undeveloped. The applicant is proposing to build a 96 room, four story hotel.

**III. EVALUATION**

Staff’s review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission’s review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*

- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*



■ **Use, Site and Layout**

1. The applicant is proposing to develop a 96 room, four story hotel at the corner of State Route 161 and Beech Road. Hotels are a permitted use per the zoning text. The proposed development is in an appropriate location given its proximity to the New Albany Business Park and State Route 161.
2. The development site is approximately 3.57 acres and will be accessed by a private road which was reviewed and approved by the Planning Commission on October 21, 2019 (FDP-72-2019). The zoning text requires all private drives that provide access to more than one site shall be designed and built to match public street standards. The new access drive shown on the final development plan is designed to serve future adjacent sites as well as this site therefore it must be built to public standards which will include street trees and sidewalk on both sides of the road. The applicant is providing side walk on the east side of the road. Street trees and the side walk on the west side of the road will be installed as future development occurs. The proposed plan meeting this requirement.
3. According to zoning text section C(1) the applicant is required to install leisure trail along Beech Road. Since leisure trail exists along Beech Road the applicant is not required to install it.
4. Per zoning text section C(4) the applicant is required to connect into the existing pedestrian circulation system. The applicant is meeting this requirement by providing a direct connection into the sidewalk that will be constructed with the outparcel access road which was reviewed and approved by the Planning Commission on October 21, 2019.
5. Per zoning text section C(5) the applicant is required to provide a pedestrian connection into the public leisure trail along Beech Road. The applicant is meeting this requirement. The same text section also encourages shared connections between sites where possible. The proposed connection of the sidewalk to the leisure trail will allow site(s) to the north to connect into this connection. Staff recommends a condition of approval that an access agreement be provided allowing the site(s) to the north to connect into the sidewalk in order to provide access to the hotel site.
6. The zoning text requires that the total lot coverage, which includes all areas of pavement and building, to not exceed 80% of the total area. The proposed development is at 47.3% lot coverage thereby meeting this requirement.
7. The PUD zoning text requires the following setbacks from these perimeter boundaries:
  - a. Beech Road:  
Required—75 foot building and 40 foot pavement  
Proposed— 125 foot building and 42 foot building [requirement met]
  - b. State Route 161:  
Required—the northern boundary line of the existing gas line easement or 125 foot building and pavement  
Proposed—177 foot building and 82 foot pavement [requirement met]
  - c. Outparcel Access Road:  
Required—15 foot building and pavement setback  
Proposed—358 foot building and 286 foot pavement [requirement met]
8. The applicant indicates that the onsite stormwater will be conveyed to an off-site stormwater basin via a proposed ditch.

■ **Access, Loading, Parking**

1. The site is proposed to be accessed from a private road which was previously approved by the Planning Commission on October 21, 2019 (FDP 72-2019). The zoning text requires that the new road to this site and the previously approved private contain the same streetscape design and the applicant is meeting this requirement by providing sidewalk on the east side of the road. Street trees and the side walk on the west side of the road will be installed as future development occurs.
2. According to C.O. 1167.05(d)(13) the minimum number of parking spaces for this use are one parking space for each sleeping room plus one for each employee during the main shift. Since the hotel has 96 rooms and the applicant states that there will be 10 employees on the main shift, 106 parking spaces are required. The applicant is proposing to provide 111 parking spaces which meets this requirement.
3. According to C.O. 1167.06(b)(2) the applicant is required to provide one off street loading space. The applicant is meeting this requirement by providing one loading space underneath the front entry canopy.

▪ **Architectural Standards**

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design.
2. The zoning text contains architectural standards and the site also falls under the Section 6 of the Design Guidelines and Requirements, Commercial.
3. The zoning text states that the maximum building height for hotels in this zoning district shall not exceed 65 feet. Architectural elements such as parapets, mechanical screening and cupolas may exceed this limitation. The proposed building height is approximately 49 feet therefore this requirement is being met.
4. The applicant is proposing to use two different colors of brick, cast stone and metal wall panels as exterior building materials. The zoning text permits the use of these materials such as brick, pre-cast stone, wood, glass and other synthetic materials are permitted as long as they are natural in appearance. The city architect states that the use of multiple materials is appropriate as they are used to break up the scale of the building.
5. Zoning text section E.4(b) states that all rooftop mechanical units must be screened to limit off site visibility and sound. The applicant is not proposing to install any rooftop mechanical unit.
6. DGR Section 6(I)(A)(1) states that buildings need not follow the stylistic practice of traditional American commercial architectural and that contemporary forms and designs are encouraged which is the design the applicant is achieving with this application.
7. DGR Section 6(I)(A)(4) states that the number, location, spacing and shapes of window openings shall be carefully considered. The city architect states that the windows of this building are arranged and sized appropriately.
8. DGR Section 6(I)(A)(6) states that all visible elevations of a building must receive similar treatments in style, materials and design so that no visible side is of a lesser character than any other. The applicant is meeting this requirement by using the same materials on all building elevations.
9. C.O. 1171.05(b) states that all trash and garbage container systems must be screened. The applicant proposes to install a dumpster enclosure thereby meeting this requirement.
10. The city architect reviewed the proposal and is supportive of the proposed design stating that the use of massing and different building materials help break up the scale of the building, the windows are appropriately sized and located and that the signage is low key and well integrated into the building.

▪ ***Parkland, Buffering, Landscaping, Open Space, Screening***

1. Street trees have already been installed along Beech Road therefore the applicant is not required to install them.

2. Per zoning requirements G(a) and G(3)(a) a four board horse fence is required to be installed along Beech Road and State Route 161. Horse fence is already installed along Beech Road and State Route 161 therefore this requirement is being met.
3. Per zoning text requirements G(2) and (G)(3)(b)(i) a minimum of 6 trees per 100 lineal feet must be installed within the required setback area along State Route 161 and Beech Road. The applicant is meeting this requirement by providing 28 trees along State Route 161 and 17 trees along Beech Road.
4. Per zoning text requirement G(3)(c) a minimum 3.5 foot tall landscape buffer must be provided to screen parking areas along all public rights of way. The proposed landscape plan states that a 3.5 foot tall landscape buffer will be installed along the parking areas that are along public rights of way, therefore this requirement is being met.
5. Per zoning text requirement G(3)(d) a landscape buffer is required to be installed within the required setback of any interior side parcel line and shall consist of a ten foot landscape buffer with grass and landscaping and deciduous trees planted at a rate of 4 trees for every 100 feet of side property line and deciduous shrubs must be planted under the trees. The applicant has not provided the required landscaping along its northern property line which sides a future site. Therefore staff recommends a condition of approval that 14 additional deciduous trees are planted along the northern property line along with deciduous shrubs underneath the trees, subject to review and approval of the city landscape architect.
6. Per zoning text requirement G(7) a minimum of one tree for every 10 parking spaces is required and at least 5 percent of the vehicular use area shall be landscaped. The applicant is providing 111 parking spaces, providing 20 trees and 8% of the total parking area is landscaped. This requirement is being met.
7. The city's landscape architects reviewed the applicant and are supportive of the proposed landscape plan.

■ **Lighting & Signage**

1. A detailed photometric plan has been submitted that has zero or near zero foot candle intensity along all parcel boundaries.
2. Site lighting is proposed to be down cast. The zoning text also requires site lighting to be cut off. The applicant is proposing to use all cut off light fixtures on site therefore this requirement is being met.
3. The applicant proposes to install three wall signs, one on the northern elevation, on the east elevation and one on the south elevation. The material for all three signs was not indicated on the plans Staff recommends a condition of approval that the material used for the signs must meet city sign code requirements. The wall signs on the north and south elevations are identical and have the following dimensions:

**Wall Signs (North and South Elevations)**

- The zoning text and C.O. 1169.15(d) permits a wall sign on each building frontage either on a public or private road, with 1 square foot in area per linear square foot of building frontage, not to exceed 75 square feet. The applicant proposes two identical wall signs to be installed on the northern and southern building elevations with the following dimensions:
  - a. Lettering Height: 34 inches [meets code]
  - b. Area: 74.99 square feet [meet code]
  - c. Location: one on the southern elevation and one on the northern elevation
  - d. Lighting: internally illuminated [meets code].
  - e. Relief: varies between 3 inches 5 inches" [meets code]
  - f. Colors: green and white, (total of 2) [meets code].
  - g. Material: information was not provided.

#### **Wall Signs (East Elevation)**

- The zoning text and C.O. 1169.15(d) permits a wall sign on each building frontage either on a public or private road, with 1 square foot in area per linear square foot of building frontage, not to exceed 75 square feet. The applicant proposes to install one wall sign on the east elevation with the following dimensions:
  - a. Lettering Height: varies, maximum 34 [meets code]
  - b. Area: 74.99 square feet [meet code]
  - c. Location: located on the east elevation
  - d. Lighting: internally illuminated [meets code].
  - e. Relief: varies between 3 inches 5 inches” [meets code]
  - f. Colors: green and white, (total of 2) [meets code].
  - g. Material: information was not provided.
- All three signs will feature the company logo and read “Holiday Inn Express” and the sign on the east elevation will also read also include “& Suites”.
- DGR Section 6(II)(A)(8) states that signage for this building type shall be as simple and unobtrusive as possible and shall avoid overly bright or jarring colors. The applicant is proposing three wall signs that are appropriately scaled for the building and are appropriate for this area given the desired development type.

#### **IV. ENGINEER’S COMMENTS**

The City Engineer has reviewed the application and has no comments.

#### **V. RECOMMENDATION**

Staff recommends approval of the Holiday Inn Express final development plan provided that the Planning Commission finds the proposal meets sufficient basis for approval. The proposed development is in an appropriate location given the context of the surrounding area and will serve as an amenity for the New Albany Business Park. The applicant is meeting and exceeding the pedestrian connectivity requirements of the zoning text to ensure that pedestrians can access not only their site but other sites within the overall area. The building is well designed as it utilizes appropriate materials to achieve a contemporary architectural design while adhering to the requirements of the zoning text and the New Albany Design Guidelines and Requirements.

#### **V. ACTION**

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

#### **Move to approve final development plan application FDP-104-2019, subject to the following conditions:**

1. An access agreement must be executed that will allow a site(s) to the north to connect into the sidewalk in order to provide access to their site.
2. 14 additional trees must be planted along the northern property line along with deciduous shrubs underneath the trees, subject to review and approval of the city landscape architect.
3. The material used for the building signage must meet city sign code requirements.

#### **Approximate Site Location:**



Source: Google Maps

DRAFT



**Planning Commission Staff Report  
February 19, 2020 Meeting**

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**CENTRAL COLLEGE DINING DISTRICT  
ZONING AMENDMENT**

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LOCATION: 6678 Central College Road (PIDs: 222-001983-00 & 222-001991-00)  
APPLICANT: TFTP LLC c/o Aaron L Underhill  
REQUEST: Zoning Change  
ZONING: Agricultural (AG) to I-PUD Infill Planned Unit Development  
STRATEGIC PLAN: Office  
APPLICATION: ZC-107-2019

Review based on: Application materials received on December 16 and 24, 2019 and January 7 and 9 and February 7, 2020.

*Staff report completed by Chris Christian, Planner*

**III. REQUEST AND BACKGROUND**

The applicant requests review and recommendation to City Council to rezone 0.93+/- acres to Agricultural (AG) to Infill Planned Unit Development (I-PUD) at 6678 Central College Road. This application proposes to create a new zoning district to be known as the Central College Dining District.

The proposed uses outlined in the zoning text are limited and will allow a historic building on the site to be repurposed to allow for a dining facility which can include micro-brewing and/or winery as an accessory use, food truck on site, churches and other religious facilities, and administrative offices with the exception of medical office uses. The site is located in the 2014 New Albany Strategic Plan's Office Campus future land use district. However given the proposed use, staff has evaluated the proposal under the Neighborhood Retail District.

This application is solely for rezoning the site. A preliminary site plan and architectural renderings were submitted with this application but are subject to final review and approval as part of a final development plan application that will be evaluated by the Planning Commission at a later date.

The Rocky Fork-Blacklick Accord reviewed this application on January 15, 2020 and the motion to approve the application failed by a 3-3 vote. The Rocky Fork-Blacklick Accord cited concerns on parking, traffic, and the impact of the site's operations on neighbors. Since the Accord's hearing the applicant has made several updates to the proposed zoning text including:

- Increased the number of parking spaces from a minimum of 40 to 47
- Provided a limitation to the amount of beer that can be produced on site per week
- Relocated the deck to the west elevation of the building
- Reduced the Central College Road pavement setback by one foot to accommodate additional parking
- Reduced the maximum number of food trucks on site to two at one time instead of three
- Provided a closing time of midnight for both the inside of the building and the patio

## II. SITE DESCRIPTION & USE

The site is located at 6678 Central College Road and consists of two parcels. The sites contain one historic building which was constructed in 1836 and an unimproved parking lot. The neighboring uses include commercial and residential properties.

## III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Sections 1107.02. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to City Council. Staff's review is based on City plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

### A. New Albany Strategic Plan

The 2014 New Albany Strategic Plan lists the following development standards for the Neighborhood Retail District:

1. Retail buildings should have footprints no larger than 80,000 square feet, individual users should be no greater than 60,000 square feet.
2. Well organized, common green space should be designed with retail developments.
3. Landscaping should be high quality, enhance the site and contribute to the natural, pastoral setting of New Albany. Heavy, but appropriate landscaping is necessary to buffer these uses from any adjacent residential areas.
4. Individual uses should be limited in size, acreage, and maximum lot coverage.
5. Curb cuts on primary streets should be minimized and well organized connections should be created within and between all retail establishments. Combined curb cuts and cross-access easements between parking areas are preferred between individual buildings
6. Parking should be located in the rear of the building
7. Sidewalks or leisure trails should be included along primary roadways as well as internal to the developments
8. No freeway/pole signs are allowed
9. Structures must use high quality building materials and incorporated detailed, four-sided architecture.
10. Drive-thrus are discouraged, if they occur they must be located to the rear of the site.
11. Store windows must be a significant part of all street facades.

### B. Use, Site and Layout

1. *The proposed text rezones 0.93 acres that is currently zoned as Agricultural (AG). There are two parcels within the proposed zoning district consisting of one existing structure which was built in 1836 and is listed on the historic building inventory of the Rocky Fork Blacklick Accord, and one unimproved parking lot. Staff recommends a condition of approval that the applicant submits an application to execute a lot combination for the two parcels at the time of the final development plan.*
2. The text states that only the existing structure on this site will be permitted to be operated, that no additional structures are permitted to be constructed within the zoning district, and redevelopment of the site will require the site to be rezoned.
3. *The proposed uses outlined in the zoning text are limited and will allow a historic building on the site to be repurposed to allow for a dining facility which can include a*

- nano-brewing and/or winery as an accessory use, food trucks on site, churches and other religious facilities, and administrative offices with the exception of medical office uses.*
4. *The text provides a list of what food truck types are and are not permitted within the zoning district to ensure those services remain transient in nature.*
  5. *This application is solely for rezoning the site. A preliminary site plan and architectural renderings were submitted with this application but are subject to change after review and approval of a final development plan application that will be evaluated by the Planning Commission at a later date.*
  6. *The proposed uses appear to be appropriate due to the close proximity of this site to adjacent commercial uses and other retail/restaurant uses. This site serves as a transitional area between these areas and residential to the east.*
  7. *The proposed text contains operational limitations for the proposed restaurant and food truck uses.*
    - a. *No more than two food trucks may be operated within the zoning district and the text does not permit food trucks to be parked on site overnight.*
    - b. *Food trucks are permitted to operate between the hours of 10:00am to 10:00pm with the exception of special events which allow for food truck operation until 11:00pm. The text states that the building and outdoor deck shall close no later than midnight. Special events include operations or activities that lead to an increased activity on the site as compared to normal and customary business operations. Some examples of “special events” include, but are not limited to, weddings, receptions and holiday celebrations such as Independence Day and Labor Day. The text states that a maximum of twelve special events are permitted each year.*
    - c. *Food trucks are required to be powered via a permanent electric source and outdoor generators are not permitted.*
    - d. *Outdoor music is required to be played at a volume that is not audible from off-site and is no louder than the noise that is generated from automobile traffic on the adjacent roads.*
    - e. *Food trucks must be powered using a permanent electric source and outdoor generators are not permitted.*
    - f. *Lights from food trucks must be directed in a way that does not allow the light to spill off-site and must be solely for the purpose of providing illumination for pedestrian safety, the cooking and serving spaces.*
  8. *The applicant is proposing the following setbacks.*

<b>Zoning Boundary</b>	<b>Required Setbacks Proposed in the Text</b>	<b>Notes</b>
State Route 605	30 foot building and pavement from the right-of-way. A wooden deck may extend 15 feet into the minimum building setback.	The New Albany Strategic Plan recommends 185 foot setback from the centerline from the road for new developments. However, since the application is proposing to repurpose the building and parking lot, they propose to match the existing pavement and building setbacks.



Central College	17 building and 14 pavement from the right-of-way	The New Albany Strategic Plan recommends 250 setback from the centerline from the road for new developments. However, since the application is proposing to repurpose the building and parking lot, they propose to match the existing pavement and building setbacks.
Northern Boundary	30 foot building and 5 foot pavement. The text allows a deck to extend one foot into the required building setback. Steps that provide pedestrian access are permitted to extend further into the required setback.	<ul style="list-style-type: none"> <li>• C.O. 117.05(c) recommends commercial and, office uses which abut districts where residences are a permitted use create a 25 foot buffer zone.</li> <li>• <u>The application proposes to require a 5 foot setback. Within this buffer zone the text requires installing all the required landscape screening by providing a 6 foot privacy fence and 6 foot tall arborvitae.</u></li> </ul>
Eastern Boundary	100 foot building and 10 foot pavement	<ul style="list-style-type: none"> <li>• C.O. 117.05(c) recommends commercial and office uses which abut districts where residences are a permitted use create a 25 foot buffer zone.</li> <li>• <u>The application proposes to create a 10 foot setback. Within this buffer zone the text requires installing all the required landscape screening by providing a 6 foot privacy fence and 6 foot tall arborvitae.</u></li> </ul>
Western Boundary (Not adjacent to right-of-way)	10 foot pavement setback from the western perimeter boundary that is not adjacent to State Route 605	<ul style="list-style-type: none"> <li>• C.O. 117.05(c) recommends commercial and office uses which abut districts where residences are a permitted use create a 25 foot buffer zone.</li> <li>• <u>The application proposes to create a 10 foot setback. Within this buffer zone the text requires installing all the required landscape screening by providing a 6 foot privacy fence and 6 foot tall arborvitae.</u></li> </ul>

**C. Access, Loading, Parking**

1. The texts states that vehicular access into this zoning district will be provided from one full movement access point on Central College Road. The city engineer has reviewed the proposal and recommends that a traffic study be completed that evaluates left turning movements in to the site from Central College Road as part of the final development plan application.

2. The city's parking code section C.O. 1167.05(d)(3) states that restaurant uses, provide a minimum of one off street parking space for each 75 square feet of gross floor area be provided. According to the Franklin County Auditor website, the existing structure has a floor area of 3,335 square feet therefore 44 parking spaces would be required. If the site were to be used for administrative offices, the city parking code would require 13 parking spaces as one parking space is required for every 250 square feet of floor area. The text states that a minimum of 47 parking spaces will be provided on the site and that the amount of parking provided on the site will be reviewed and approved as part of a final development plan application.
3. The text states that an eight foot wide leisure trail shall be provided along both Central College Road and State Route 605. In addition, the applicant is also providing a 5 foot wide concrete sidewalk from the leisure trail along Central College Road to the front entrance of the building.
4. The text states that a minimum of 10 bicycle parking spaces shall be provided on site.

#### **D. Architectural Standards**

1. The text states that the existing historical building on site maybe enhanced by the following improvements. Additional improvements are permitted and all exterior improvements will be reviewed and approved by the Planning Commission as part of a final development plan application.
  - a. Painting the building in a manner that is consistent with its historical character.
  - b. Replacements and upgrades to the building trim.
  - c. Construction of a deck on the west side of the building.
  - d. Enhancements to the building entrance along Central College Road.
  - e. Incorporation of a pedestrian door on the north side and/or east side of the building.
2. The proposed text permits the installation of a 15 foot tall brewery tank outside of the building. The tank shall not occupy more than 150 square feet of space unless otherwise approved as part of a final development plan application. The purpose of the tank is to identify the use of the building and will provide a source of drinking water for cyclists and pedestrians using the leisure trail system.

#### **D. Parkland, Buffering, Landscaping, Open Space, Screening**

1. The text states that street trees shall be provided along State Route 605 and Central College Road at a rate of 1 tree per 30 lineal feet.
2. The text states that a four-board horse fence shall be installed along State Route 605 and Central College Road.
3. The zoning text states that a minimum 6 foot tall privacy fence shall and a hedgerow of 6 foot tall arborvitae shall be provided along the entirety of the eastern, northern and the western boundary line where it does not about public right-of-way. This level of screening is consistent with recently approved commercial development applications that were adjacent to residentially zoned where the 25 foot wide screening buffer could not be achieved.
4. The zoning text states that open spaces within the zoning district may be utilized for “low intensity” games and activities. Additionally, the text allows for outdoor dining in green spaces using fixtures and/or removable furniture which will be reviewed and approved as part of a final development plan application.
5. The text states that all mechanical equipment, service areas and dumpsters shall be screened at ground level from all adjacent properties and adjacent public streets.

#### **E. Lighting & Signage**

1. The text states that parking lot lighting shall not exceed 18 feet in height and must be a downcast, cut-off light fixture in order to eliminate light spilling beyond the boundaries of the zoning district and must be turned off every night by 10:30pm.
2. The text states fully shielded, cut-off type lighting shall be used throughout the zoning district and

that all permanent light fixtures, plans and specifications shall be provided for review and approval as part of a final development plan.

3. The text states that street lights shall be provided at two locations within the zoning district. Staff recommends a condition of approval that the street light types, fixtures and locations are reviewed and approved as part of a final development plan application.
4. The zoning text states that no building or landscape up lighting is permitted within this zoning district.
5. All security lighting, when used must be a motion-sensor type system.
6. The text allows for three signs to be installed on site: one above the primary building entrance, one on the brewery tank, one ground sign if the brewery tank sign is not installed and one directional sign at the access point to the zoning district for wayfinding purposes. External illumination is the only permitted sign lighting type. All signs must meet the requirements of the city sign code unless otherwise approved as part of a final development plan.

#### ***F. Other Considerations***

1. The text states that all new utilities will be installed underground.

#### **IV. ENGINEER'S COMMENTS**

The City Engineer, E.P. Ferris reviewed the proposed rezoning application and provided the following comments. Staff recommends a condition of approval that these comments are addressed, subject to staff approval. .

1. Provide a Traffic Study to evaluate left turns into the site. The study shall determine what roadway striping modifications are required to support the project and how traffic signal operations at the SR 605 intersection may be impacted.
2. A minimum of 40' of R/W was dedicated along all Lion's Club parcel frontages as part of ODOT's 2004 Roadway Improvements project. We recommend that additional R/W be dedicated along Central College Road so that a total of 50' of R/W as measured from the road centerline is provided along the entire Central College Road frontage.

#### **V. RECOMMENDATION**

##### ***Basis for Approval:***

Staff is supportive of the proposed rezoning. The site is designated as office campus on the 2014 New Albany Strategic Plan's future land use map. However, due to the close proximity of adjacent commercial and retail/restaurant uses, the proposed uses are appropriate for the site since it serves as a transitional area from residential to the east. The proposal meets the 2014 New Albany Strategic Plan recommendation that retail types of development should be focused in the Village Center and in key business park locations since it can serve the business park and residents.

The 2014 New Albany Strategic Plan recommends neighborhood retail should be designed at the appropriate scale and have quality site design and architecture. The PUD text is providing a narrowly tailored set of regulations to provide for the reuse of the property while preserving and enhancing the site and existing historic structure to ensure these recommendations are being met. The text only allows the existing structure to be used. The text states that no additional structures shall be permitted to be constructed on the site and that construction of any structures in this district shall require the approval of another rezoning application. The text also does not allow the existing structure to be outfitted with a ventilation/exhaust hood for cooking. These regulations ensure the building and site cannot be completely redeveloped as part of this application.

The proposal allows for the development of a neighborhood scaled dining facility or administrative office on this site. The specialty dining facility is intended to provide a dining options and seeks to create a place for business park employees and families to walk or bike to. The abundant amount of bicycle parking on site and the construction of the new deck on the western elevation will activate and encourage outdoor use at this corner of Central College Road and State Route 605. In addition, the applicant has revised the proposed text to address the concerns of the Rocky Fork Blacklick Accord including limiting the hours of operation and revising the site plan to ensure that parking requirements are being met.

## **VI. ACTION**

### **Suggested Motion for ZC-107-2019:**

Move to recommend approval to Council of the rezoning application ZC-107-2019, subject to the following conditions:

1. The applicant must submit an application to execute a lot combination for the two parcels at the time of the final development plan.
2. Street light types, fixtures and locations shall be evaluated at the time of a final development plan.
3. The City Engineer's comments are addressed, subject to staff approval.

### **Approximate site Location:**



Source: Google Maps



COMMUNITY CONNECTS US  
Planning Commission Staff Report  
March 16, 2020 Meeting

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9230 PAMPLIN WAY  
PRESERVATION ZONE VARIANCE RECONSIDERATION

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LOCATION: 9230 Pamplin Way (PID: 222-003794-00)  
APPLICANT: Muhammad Arif  
REQUEST: Variance Reconsideration  
ZONING: Tidewater I-PUD  
STRATEGIC PLAN: Rural Residential  
APPLICATION: VAR-112-2019

Review based on: Application materials received December 18, 2019 and February 27, 2020.  
*Staff report completed by Chris Christian, Planner*

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**I. REQUEST AND BACKGROUND**

The applicant requests a reconsideration of a variance application the Planning Commission reviewed and denied on January 22, 2020. The variance request was to allow a patio to be built within a preservation zone located at 9230 Pamplin Way in the Tidewater subdivision. The preservation zone extends approximately 130 feet from the rear lot line into the property. The applicant proposes an approximate 10 foot encroachment into the preservation zone.

The applicant proposes to dedicate new and additional land on their property as preservation zone in order to offset the encroachment. The applicant's submittal can be found in a separate letter provided attached to this staff report.

Per Codified Ordinance 159.06(c) (Reconsideration of Commission/Board Action) the Planning Commission may reconsider any action it has taken upon its own motion for good cause shown. Any action denying or disapproving an application, other than one involving an incomplete application, may be reconsidered no later than the second regular meeting after the original action from which reconsideration is being requested was taken, only if the applicant or its designee clearly demonstrates one of the following:

1. Circumstances affecting the subject property or item under consideration have substantially changed; or
2. New information is available that could not with reasonable diligence have been presented at a previous hearing.

Should the Planning Commission find that the reconsideration request has sufficient basis for approval, the following motion would be appropriate:

1. Move to reconsider variance application V-112-2019 pursuant to Codified Ordinance 159.

If the motion passes, staff recommends that the board immediately table the application until the next regularly scheduled meeting date so that the surrounding neighbors can be notified of the hearing and staff can prepare staff report containing a full evaluation of the proposal.

## II. SITE DESCRIPTION & USE

The site is located at 9230 Pamplin Way in the Tidewater subdivision, east of US-62 and north of Central College Road in Franklin County. According to the Franklin County Auditor website, there is currently has a 4,451 square foot single family home developed on the .53 acre property.

## III. ASSESMENT

### *Criteria*

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Commission must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the “practical difficulties” standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (*Section 1113.06*):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

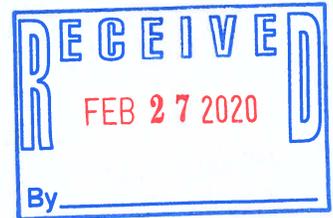
**Approximate Site Location:**



Source: Google Maps



FILE COPY



Community Development Department  
Planning Application

Case # \_\_\_\_\_  
Board \_\_\_\_\_  
Mtg. Date \_\_\_\_\_

Site Address 9230 PAMPLIN WAY NEW ALBANY OH 43054  
Parcel Numbers 222-003794  
Acres .53 # of lots created \_\_\_\_\_

Project Information

Choose Application Type	Circle all Details that Apply			
<input checked="" type="checkbox"/> Appeal				
<input type="checkbox"/> Certificate of Appropriateness				
<input type="checkbox"/> Conditional Use				
<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment
<input type="checkbox"/> Plat	Preliminary	Final		
<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment	
<input type="checkbox"/> Minor Commercial Subdivision				
<input type="checkbox"/> Vacation	Easement		Street	
<input type="checkbox"/> Variance				
<input type="checkbox"/> Extension Request				
<input type="checkbox"/> Zoning	Amendment (rezoning)	Text Modification		

Description of Request: I like to appeal the decision made by planning commission on January 22nd, 2020 regarding the patio I have build in my backyard.

Contacts

Property Owner's Name: MUHAMMAD ARIF  
Address: 9230 PAMPLIN WAY  
City, State, Zip: NEW ALBANY OH 43054  
Phone number: 614-843-1190 Fax: \_\_\_\_\_  
Email: MUHAMMAD.ARIF82@HOTMAIL.COM

Applicant's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State, Zip: \_\_\_\_\_  
Phone number: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Signature

Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.

Signature of Owner M. Arif Date: 02/27/20  
Signature of Applicant M. Arif Date: 02/27/20





Date 02/27/2020

## Request For Appeal From Planning Commission of New Albany Ohio

Dear New Albany Zoning & Planning Staff:

My request for variance was denied on the agenda January 22,2020 and I like to appeal that

I have land available on both sides of current patio and I like you to consider that land to dedicate to preservation zone.

I believe that this land combine on both sides of patio is more than which is used in current patio from preservation zone.

This option was not discussed in previous agenda and I hope you will consider my request.

Current patio is build by interlocking blocks and if I open it ,it is a big expense which I can't afford because I already have a loan on current patio and will not be able to get more loan funds to break and built new one.

Until October 29,2019 I was not aware of this land to be part of preservation zone.

This is my first home and I was not aware of this process of getting permit to build a patio.

It is my humble request to allow me to keep current patio which is more than 95% complete.

Sincerely,

Muhammad Arif

*M. Arif*

Home Owner

9230 Pamplin way

New Albany oh 43054

# Pomeroy & Associates Ltd.

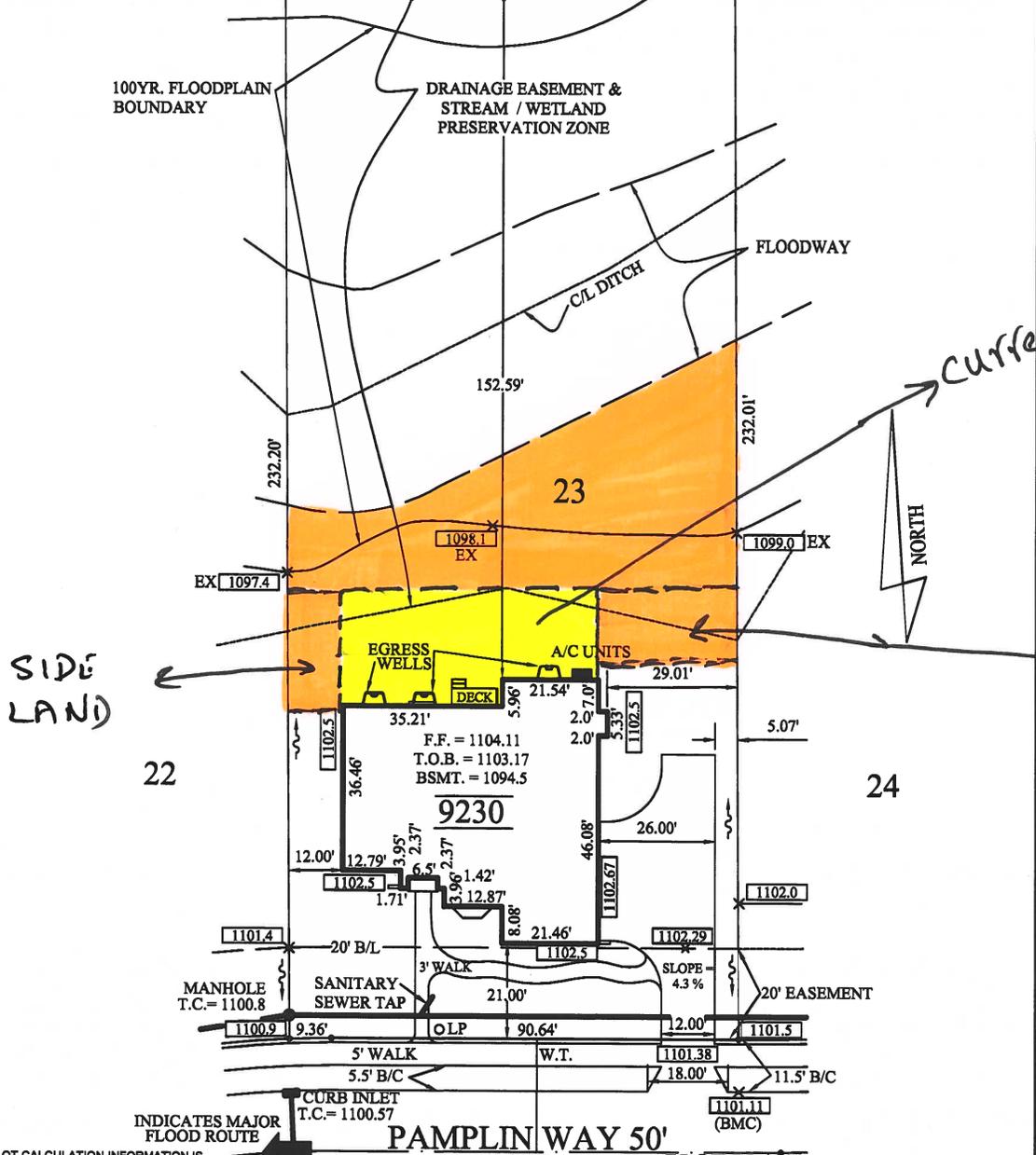
Consulting Engineers & Surveyors  
 599 Scherers Court • Worthington, Ohio 43085  
 Phone (614) 885-2498 • Fax (614) 885-2886

C/O #	REVISION DATE & REQUEST
▲	
▲	
▲	
▲	
▲	

RECEIVED  
 FEB 27 2020  
 By \_\_\_\_\_

ORDER NO. \_\_\_\_\_

FOR FISCHER HOMES HOUSE STYLE CARLYLE G715  
 LOT/SUBDIVISION 23 TIDEWATER AT NEW ALBANY CITY OF NEW ALBANY  
 SCALE 1" = 30' PB. 108 PG. 41 DATE 4-25-13 DRN. TLP CK. SIH CO. OF FRANKLIN  
 FLOOD ZONE X COMMUNITY PANEL 39049C PAGE 0207K DATE 6/17/08  
 MINIMUMS R 30' LOT COVERAGE 11.6%  
 S 10'



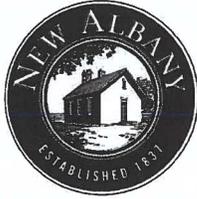
LOT CALCULATION INFORMATION IS FOR ESTIMATE PURPOSES ONLY AND SHOULD BE VERIFIED BY THE CONTRACTOR OR BUILDER.

SQUARE FOOTAGE DATA	
LOT <u>23201.0</u>	APPROACH <u>143.0</u>
HOUSE <u>2695.0</u>	WALK <u>440.0</u>
DRIVE <u>1203.0</u>	SER. WALK <u>304.0</u>
	SOD COV. <u>19563.0</u>

We hereby certify that the foregoing PLOT PLAN was prepared from information provided by the Client and data obtained from Engineered Subdivision Plan. This Plot Plan is to be used by the Client for the sole purpose of obtaining a building permit. The use of the Plot Plan for any other purpose is strictly prohibited.

By *Steven J. Hoy*





## Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Muhammad Arif,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department  
Decision and Record of Action  
Thursday, January 23, 2020

The New Albany Planning Commission took the following action on 01/22/2020 .

## Variance

**Location:** 9230 PAMPLIN WY

**Applicant:** Muhammad Arif,

**Application:** PLVARI20190112

**Request:** Variance to zoning text section VI(D)(6) to allow a patio to be installed within the platted preservation zone where the zoning code does not permit any structures to be installed, grading and or clearing (PID: 222-003794).

**Motion:** Move to approve

**Commission Vote:** Motion Denied, 0-4

**Result:** Variance, PLVARI20190112 was Denied, by a vote of 0-4.

Recorded in the Official Journal this January 23, 2020

### Condition(s) of Approval: None

Per Codified Ordinance section 159.06(c), if the circumstances affecting the subject property or item under consideration have substantially changed or new information is available that could not with reasonable diligence have been presented at this hearing, a request can be made that the Planning Commission reconsider the variance request no later than the next regularly scheduled meeting on February 19, 2020.

Per Codified Ordinance section 1113.08, if no reconsideration request is made, any appeal to the decision made by the Planning Commission would have to be made through the Franklin County Court of Common Pleas.

Staff Certification:

A handwritten signature in black ink that reads "Chris Christian".

Chris Christian  
Planner



Community Development Department  
Planning Application

RECEIVED

DEC 18 2019

Case # \_\_\_\_\_  
Board \_\_\_\_\_  
Mtg. Date \_\_\_\_\_

Site Address 9230 PAMPLIN WAY NEW ALBANY OH 43054  
Parcel Numbers 222-003794-00  
Acres .54 # of lots created \_\_\_\_\_

Choose Application Type	Circle all Details that Apply			
<input checked="" type="checkbox"/> Appeal				
<input type="checkbox"/> Certificate of Appropriateness				
<input type="checkbox"/> Conditional Use				
<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment
<input type="checkbox"/> Plat	Preliminary	Final		
<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment	
<input type="checkbox"/> Minor Commercial Subdivision				
<input type="checkbox"/> Vacation	Easement		Street	
<input checked="" type="checkbox"/> Variance				
<input type="checkbox"/> Extension Request				
<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification	

Project Information

Description of Request: I like to apply for variance and appeal. Please see attached.

Property Owner's Name: MUHAMMAD ARIF  
Address: 9230 PAMPLIN WAY  
City, State, Zip: NEW ALBANY OH 43054  
Phone number: 614-843-1190 Fax: \_\_\_\_\_  
Email: MUHAMMAD.ARIF82@HOTMAIL.COM

Applicant's Name: MUHAMMAD ARIF  
Address: 9230 PAMPLIN WAY  
City, State, Zip: NEW ALBANY OH 43054  
Phone number: 614-843-1190 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Contacts

Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.

Signature of Owner: M. Arif Date: 12/18/2019  
Signature of Applicant: M. Arif Date: 12/18/2019

Signature

RECEIVED

DEC 18 2019

## REQUEST FOR VARIANCE & APPEAL

I HAVE BUILT A PATIO ON THE BACK SIDE OF MY HOUSE. SOME OF THE PATIO STRUCTURE IS IN WETLAND & PRESERVATION ZONE WHICH I DID NOT KNOW BEFORE BUILDING THE PATIO. I LIKE TO REQUEST A VARIANCE OR ANY APPROPRIATE APPROVAL UNDER CITY CODES TO KEEP THE PATIO.

### BACKGROUND

I BOUGHT THIS HOUSE IN 2015 AT THAT TIME I WAS LOOKING A HOUSE WITH SOME EXTRA LAND IN BACKYARD SO IN FUTURE MY KIDS WILL HAVE SOME EXTRA SPACE TO PLAY.

WHEN I BOUGHT THE HOUSE, I WAS TOLD BY REAL ESATE BROKER THAT ALL THE LAND ON THE BACK SIDE OF HOUSE WILL BE YOUR AND CAN BE BUILD AS MUCH AS I WANT. I WAS NEVER TOLD ABOUT WET LAND & PRESERVATION ZONE.

I HAVE 2 DAUGHTERS OLDER ONE IS 7 YEAR'S OLD YOUNGER IS 2 YEAR'S OLD.

IN 2015, MY OLDER DAUGHTER WAS 2 YEAR'S OLD AND SHE STAY INSIDE AND PLAY AROUND BUT WHEN SHE BECAME 6 YEAR'S OLD, SHE STARTED PLAYING OUTSIDE.

THERE WAS GRASS YARD BEFORE BUILDING THE PATIO. (PLEASE CHECK THE PICTURES I HAVE PROVIDED)

BECAUSE OF WET LAND THERE WERE ALWAYS SNAKES AND FROGS COMING TO THE GRASS YARD AREA.

I WAS AFARID THAT MY DAUGHTER WILL BE BITEN BY SNAKE SO, THAT WAS THE REASON I HAVE DECIDED TO BUILD A PATIO.

MY NEIGHBOURS BUILT THE PATIO AND I ASKED THEM ABOUT THE PROCESS. I WAS TOLD I CAN HIRE A PATIO BUILDING CONTRACTOR AND SIMPLY BUILD THE PATIO SAME AS THEY DID.

IN 2018, I GOT PRICING FROM FEW CONTRACTORS TO BUILD A PATIO EVERYONE WAS OUT FROM MY BUDGET RANGE. IN 2019, I SEE A HOUSE IN MY NEIGHBOURHOOD WHO WERE BUILDING A PATIO SO I CONTACTED THE SAME CONTRACTOR TO BUILD MY HOUSE PATIO.

- 1) I GOT A LOAN TO BULID THIS PATIO AND CURRENTLY I AM MAKING PAYMENTS OF THIS LOAN.
- 2) IT WILL BE FINANCIALLY VERY HARD FOR ME TO REMOVE THE CURRTEENT PATIO BECAUSE IT IS 95% COMPLETE & FINANCIALLY, I AM NOT IN A POSITION TO DO ANY MAJOR CONTRUCTION AGAIN.
- 3) THERE WILL BE A GREATER RISK FOR MY KIDS IN FUTURE FROM SNAKES IF THERE IS NO PATIO AND BEING A PARENT, I AM VERY AFRAID.

THIS IS MY HUMBLE REQUEST FROM CITY OFFICALS THAT PLEASE GIVE ME PERMISSION TO KEEP THE PATIO.

PLEASE ACCEPT MY APOLOGY FOR ANY INCONVIENCE THAT WAS CAUSED BY ME DUE TO LACK OF MY KNOWLEDGE ABOUT GETTING PERMISSION FROM CITY BEFORE CONTRUCTION OF PATIO.

**Property owners in 200 feet area**

**RECEIVED**

**NORTH**

DEC 18 2019

**Adam Bainbridge**

**Parcel# 220-0003795-00**

**BY: \_\_\_\_\_**

**SOUTH**

**Kevin Shirer Kent**

**Parcel# 222-0003793-00**

**WEST**

**John Whitmer JR**

**Parcel# 220-001032-00**

**Raymond Burgess TR**

**Parcel# 220-000751-00**

**EAST**

**Kiran Devulapally**

**Parcel# 222-003820-00**

**John Largent**

**Parcel# 222-003819-00**





From: Pamela Hickok phickok@newalbanyohio.org  
Subject: 9230 Pamplin Way  
Date: Dec 12, 2019 at 5:15:37 PM  
To: Muhammad Arif muhammad.arif82@hotmail.com



FILE COPY

Good Afternoon:

Per our conversation during the meeting on Tuesday, December 10, 2019, it is my understanding that you would like information on options to request a variance for the patio installation. In addition, you are agreeing to remove the dirt and re-establish the 100 year flood plain and flood way with appropriate landscape materials.

The City Attorney has determined that a variance pursuant to Codified Ordinance Chapter 1113 is an option to address the current violations related to the Tidewater Zoning Text Section VI (D)(6) (a) and plat regarding the patio encroachment into the Stream/Wetland Preservation area. The process will require you to file a variance application in accordance with Chapter 1113 which would require Planning Commission approval. Please note that based upon city staff's current understanding of the situation, there is a strong likelihood that staff may not support a variance request. Furthermore, staff believes that it will be difficult to convince Planning Commission that a request to maintain the encroachment into a preservation area is warranted.

To move forward with the variance request for this code violation, complete the attached application and submit the following information to our office before December 19, 2019.

- \$ 250.00 fee
- The names and addresses of all property owners within two hundred (200) feet, contiguous to, and directly across the street from the property, as appearing on the Franklin County Auditor's current tax list.
- A narrative statement explaining the following:
  - The use for which variance or appeal is sought.
  - Details of the variance or appeal that is applied for and the grounds on which it is claimed that the variance or appeal should be granted, as the case may be.
  - The specific reasons why the variance or appeal is justified according to this chapter.
  - Such other information regarding the application for appeal as may be pertinent or required for appropriate action by the Board of Zoning Appeals.
- A plot plan drawn to an appropriate scale showing the following:
  - The boundaries and dimensions of the lot.
  - The nature of the special conditions or circumstances giving rise to the application for approval.
  - The size and location of existing and proposed structures.
  - The proposed use of all parts of the lots and structures, including accesses, walks,

off-street parking and loading spaces, and landscaping.

- The relationship of the requested variance to the development standards.
- The use of land and location of structures on adjacent property.

Because this is an open code enforcement case, I must receive a complete response to the violation letter by Thursday, December 19, 2019. Please respond in writing to advise me of your specific plan for corrective action moving forward including whether you will be apply for a variance or removing the patio, how you plan on restoring the 100 year flood plain and flood way and your requested timeframe for completion. The written response will be reviewed to determine the extension timeframe of the required compliance date.

If a written response to the code enforcement letter is not received by **December 19, 2019**, further enforcement action will occur and could result in the City bringing an enforcement action through the Court system which could include the penalties listed below.

1109.99 – Penalty - Violation of the provisions of this Ordinance or failure to comply with any of its requirements (including violations of conditions and safeguards established in various sections of this Ordinance) shall constitute a misdemeanor. Any person who violates this Ordinance or fails to comply with any of its requirements shall be fined not more than two hundred dollars (\$200.00) and in addition shall pay all costs and expenses involved in the case. Each day such violation continues, after receipt of violation notice, shall be considered a separate offense. The owner or tenant of any building, structure, premises, or part thereof, and any architect, builder, contractor, agent, or other person who commits, participates in, assists in, or maintains such violation may each be found guilty of a separate offense and suffer the penalties herein provided. Nothing herein contained shall prevent the Municipality from such other lawful action as is necessary to prevent or remedy any violations. Penalties as above shall apply unless penalties are defined for specific section of this Ordinance, in which case the penalties so defined in those sections shall apply.

1321.99 – Penalty - Additionally, violation of a stop work order constitutes a first degree misdemeanor subject to a fine of not more than \$1,000 and or incarceration not more than six months.

Sincerely,  
Pam

From: Muhammad Babar Chaudhry chbabar\_ali@icloud.com  
Subject: 9230 survey  
Date: Nov 10, 2019 at 5:41:45 PM  
To: Muhammad Babar Chaudhry muhammad.arif82@hotmail.com

Sent from my iPhone

RECEIVED

Begin forwarded message:

DEC 18 2019

From: Marlene Miller <marlene@wagco1.com>  
Date: March 16, 2016 at 11:19:19 AM EDT  
To: Muhammad Arif <chbabar\_ali@icloud.com>  
Subject: PDF Document TDW010230000 Customer.pdf

BY: \_\_\_\_\_

Muhammad,

Attached please find a copy of the survey that the builder provided us.

Hope you are doing well.

Marlene

Marlene Miller  
Wagenbrenner Co.  
Real Estate Consultant  
614-402-0230  
marlene@wagco1.com

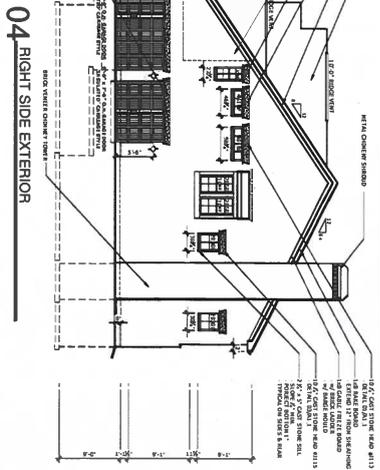
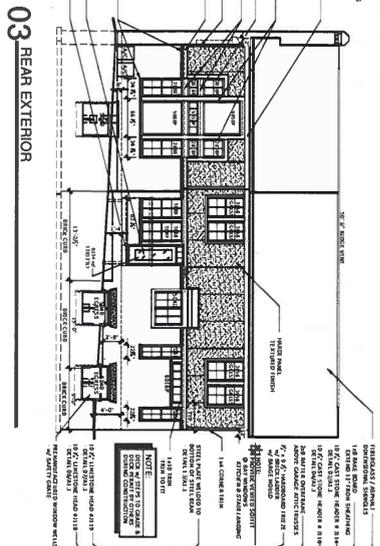
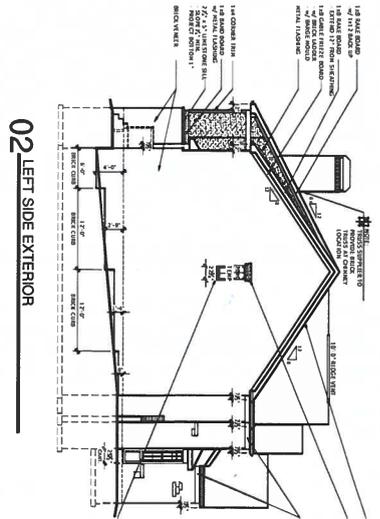
SURVEY send to me  
when I bought house.



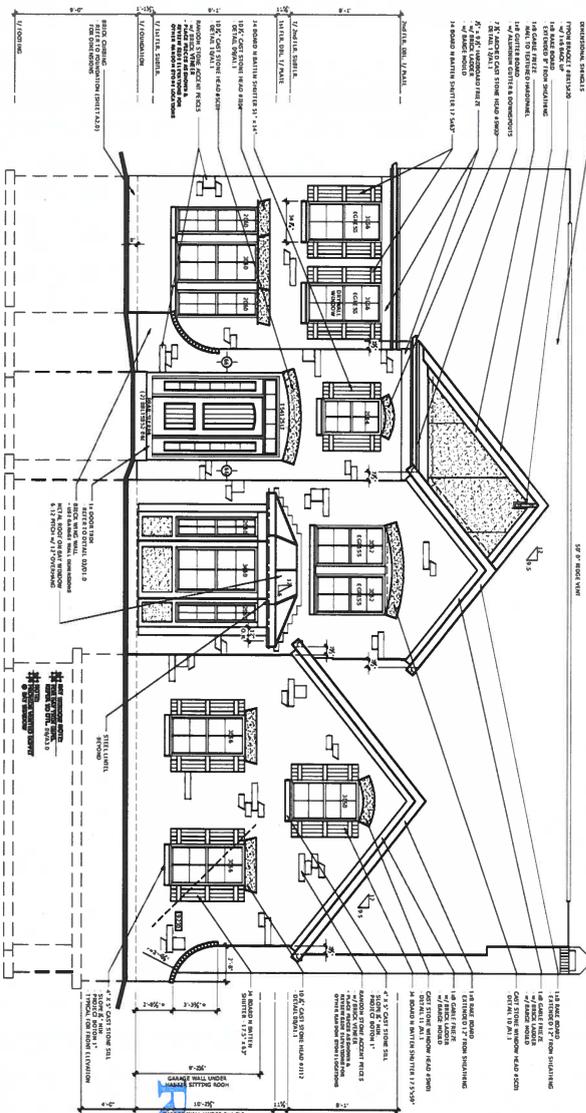
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1.7 MB

REASON FOR PLOT: SIGNOFF

PLOT DATE: 6/21/2013 1:19 PM



**01 FRONT EXTERIOR "COUNTRY FRENCH"**



BY: \_\_\_\_\_

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Job No.  
TDW/023

Sheet No.  
**A1.0**



HOME TYPE: CARLYLE GRAND ESTATE COLLECTION  
 PLAN NO. 6715  
 EXTERIOR: FRENCH COUNTRY

**MARKET HOME**

HOMESITE NO. 023 IN TOWNEWATER  
 9230 PAMPLUN WAY NEW ALBANY, OH

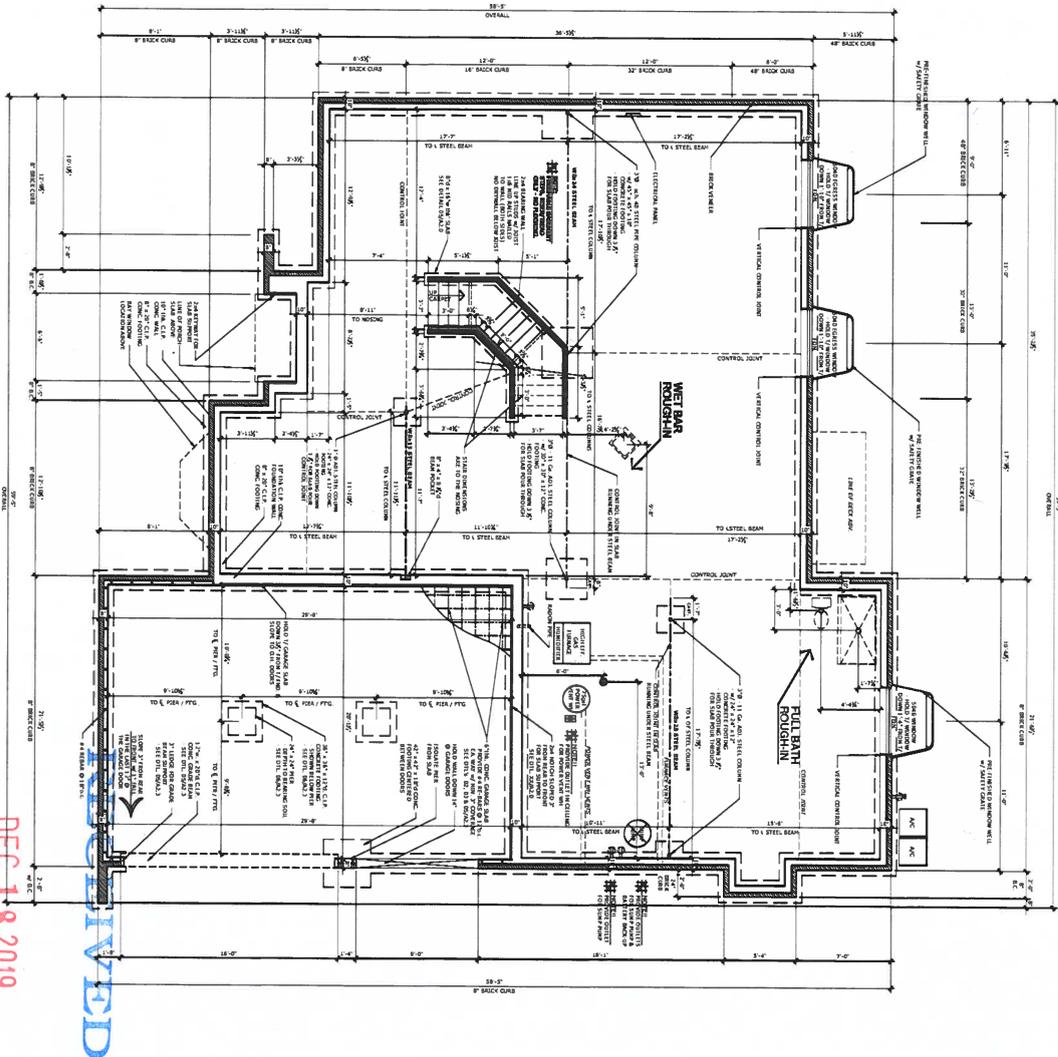


<b>MASTER BY:</b>	FISCHER SINGLE FAMILY HOMES II, LLC
<b>DATE:</b>	2/25/2013
<b>REV. No:</b>	0
<b>DATE:</b>	2/25/2013
<b>BY:</b>	MARK D. CHAPPELL
<b>DATE:</b>	4/23/10
<b>PROJECT COORDINATOR:</b>	TOM GOSWELL
<b>DATE:</b>	10/27/10
<b>BY:</b>	MARK D. CHAPPELL
<b>DATE:</b>	2/25/2013

01 FOUNDATION / FOOTING PLAN

BY: \_\_\_\_\_

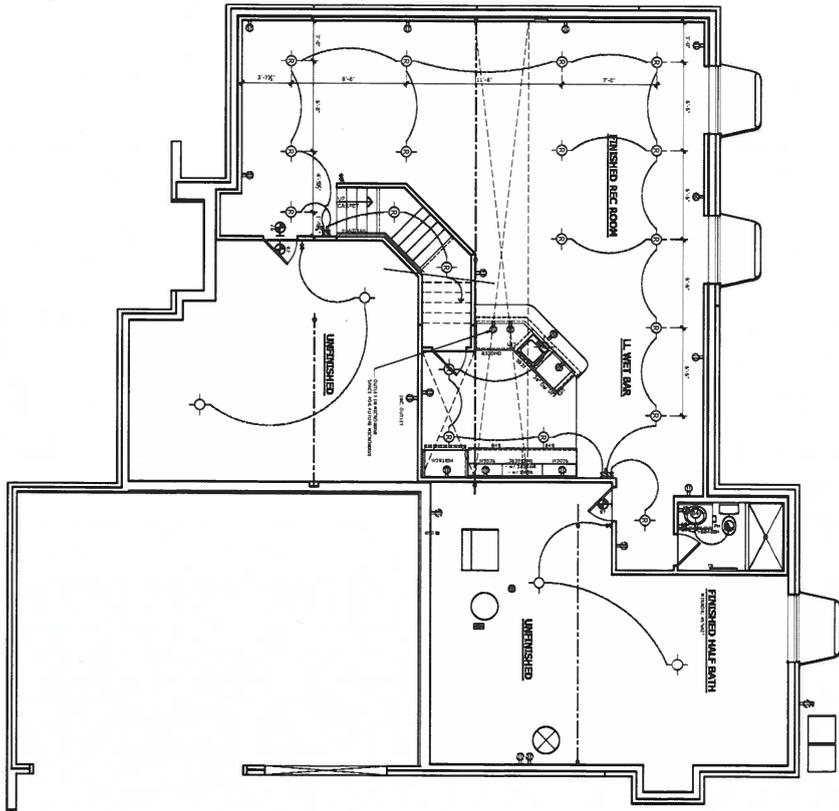
DEC 18 2019



<b>Job No.</b> TDW-023	<b>Sheet No.</b> <b>A2.3</b>		<b>NEW RESIDENCE FOR:</b> MARKET HOME	<b>HOME TYPE:</b> CARLYLE GRAND ESTATE COLLECTION <b>PLAN NO.:</b> G7 5 <b>EXTERIOR:</b> FRENCH COUNTRY		<b>MASTER BY:</b> DATE: _____ CHECKED: _____ REV. No: _____ DATE: _____ <b>JOB INFO:</b> DATE: 6.25.13 PROJECT COMPLETION: _____ PLOT NO: _____ PLOT BY: 209-244-7115	<b>FISCHER SINGLE FAMILY HOMES II, LLC</b> 1750 CHAMBERLAIN BLVD. CLEVELAND, OH 44127 PH: 216-241-8400 <b>FIELD SPEC HOTLINE:</b> (888) 344-7100 COPYRIGHT © FISCHER HOMES, INC. ALL RIGHTS RESERVED OFFICE HOURS: 8:00AM - 4:00P FAX: _____ E-MAIL: _____ WEBSITE: _____
			HOMESITE NO. 023 IN TIDEWATER 9230 PAMPLIN WAY NEW ALBANY, OH	MARK D. CHAPIN 0814777 MARK D. CHAPIN, License #0814777 Expiration Date: 10/21/2012			



01 BASEMENT ELECTRICAL/TRIM PLAN



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BY: \_\_\_\_\_

Job No.  
TDM/023

Sheet No.  
**A2.2**



NEW RESIDENCE FOR:

MARKET HOME

HOMESITE NO. 028 IN TIDEWATER NEW ALBANY, OH

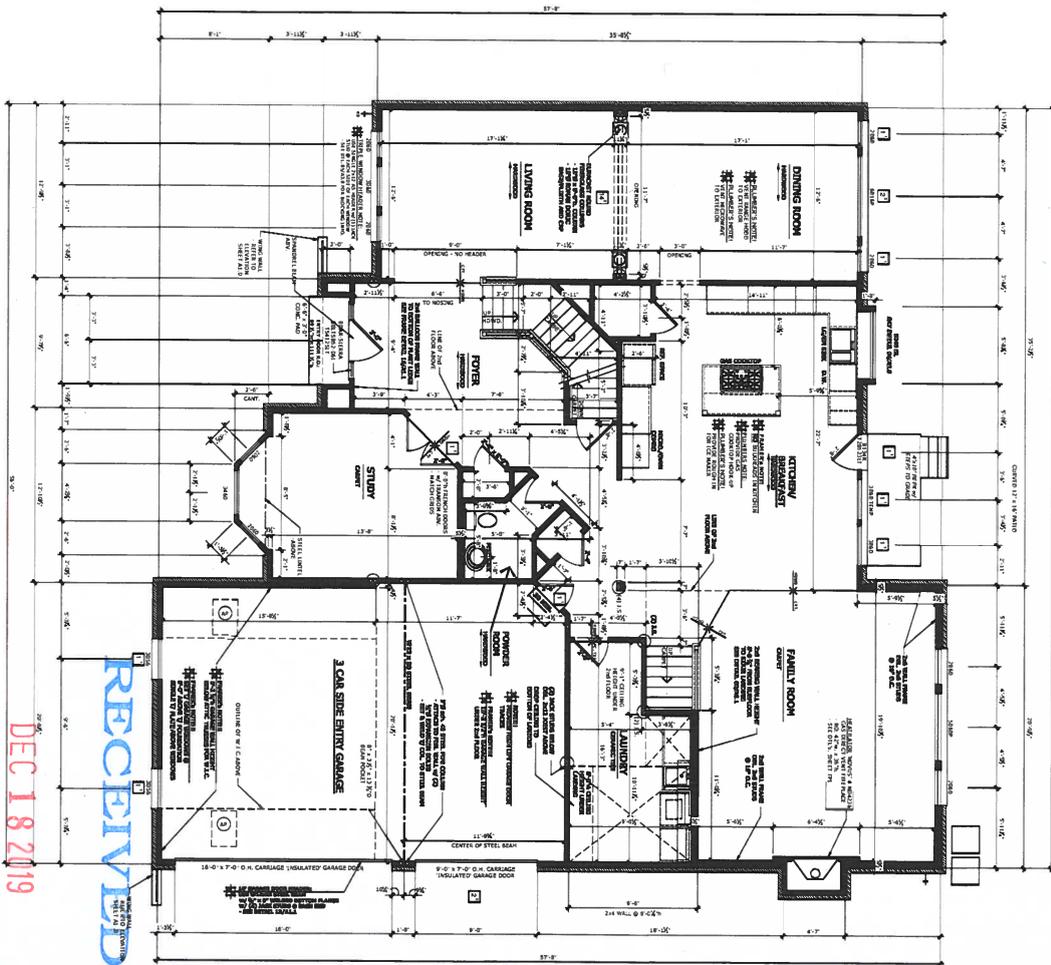
9280 PAMPLIN WAY

HOME TYPE: CARLYLE GRAY ESTATE  
 PLAN NO.: 6715 COLLECTION  
 EXTERIOR: FRENCH COUNTRY



<b>MASTER BY:</b>	FISCHER SINGLE FAMILY HOMES II, LLC
<b>DATE:</b>	8/5/2013
<b>SCALE:</b>	AS SHOWN
<b>REV. NO.:</b>	01
<b>DATE:</b>	8/5/2013
<b>SCALE:</b>	AS SHOWN
<b>JOB INFO:</b>	PROJECT: MARKET HOME
<b>DATE:</b>	8/5/2013
<b>PROJECT COORDINATOR:</b>	MARK D. CHAPIN
<b>SCALE:</b>	AS SHOWN
<b>DATE:</b>	8/5/2013
<b>PROJECT:</b>	MARKET HOME
<b>SCALE:</b>	AS SHOWN
<b>DATE:</b>	8/5/2013
<b>PROJECT:</b>	MARKET HOME

01 FIRST FLOOR PLAN



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Job No.  
TDW-023

Sheet No.  
**A3.0**



NEW RESIDENCE FOR:

HOME TYPE: GRAND ESTATE  
 PLAN NO.: 6715  
 EXTERIOR: FRENCH COUNTRY

**MARKET HOME**

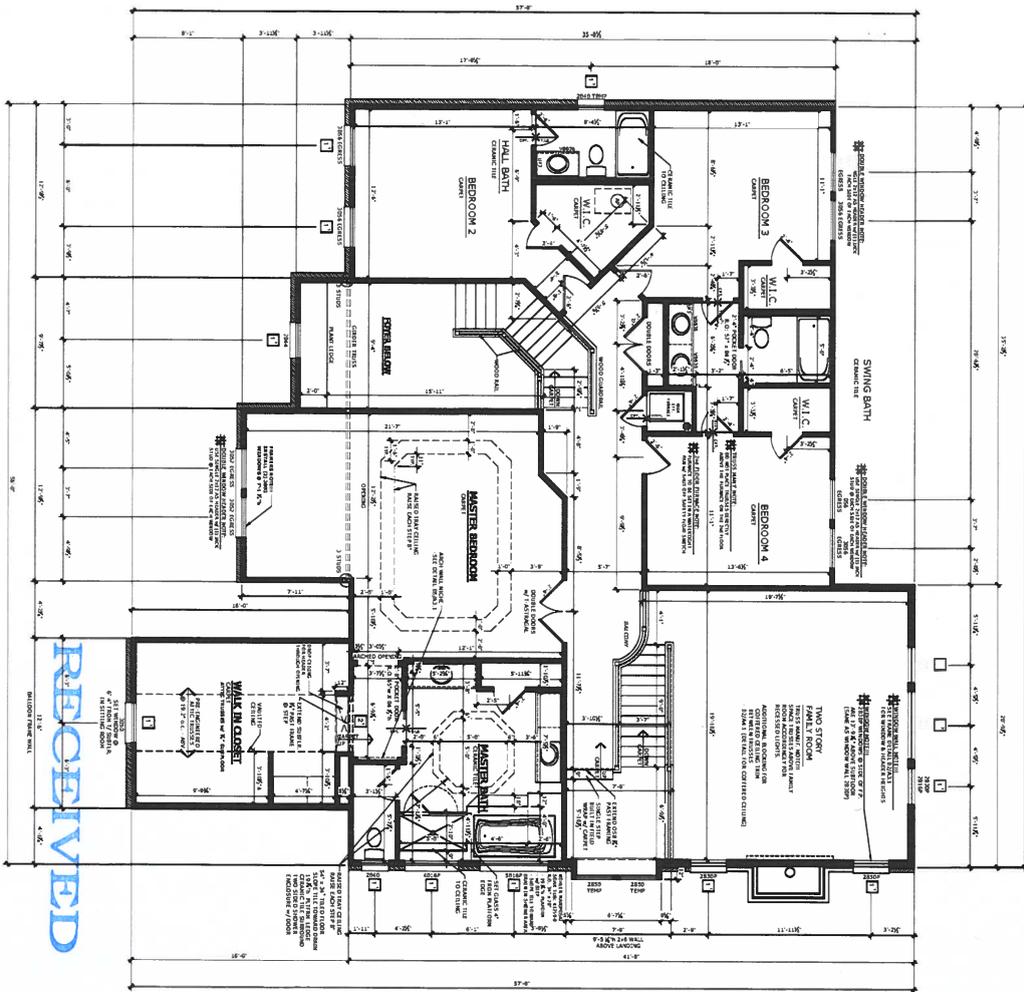
HOMESITE NO. 023 IN TIDEWATER  
 9230 FAWN WAY NEW ALBANY, OH



<b>MASTER BY:</b> DATE: SCALE:	FISCHER SINGLE FAMILY HOMES II, LLC 2875 CHAMBERLAIN DR. CANTON, OH 44705									
<b>REV. No:</b> DATE: SCALE:	FIELD SPEC. (PHONE: (855) 344-7199) COPYRIGHT © FISCHER HOMES, INC. ALL RIGHTS RESERVED.									
<b>JOB INFO:</b> DATE: 4.25.19 PROJECT COORDINATOR: TWD/023 PHONE NO: 256-647-1115	<table border="1"> <tr> <td>OWNER:</td> <td>RESIDENT:</td> <td>4/8/19</td> </tr> <tr> <td>ARCHITECT:</td> <td>DESIGNER:</td> <td></td> </tr> <tr> <td>CONTRACTOR:</td> <td>CONTRACTOR:</td> <td></td> </tr> </table>	OWNER:	RESIDENT:	4/8/19	ARCHITECT:	DESIGNER:		CONTRACTOR:	CONTRACTOR:	
OWNER:	RESIDENT:	4/8/19								
ARCHITECT:	DESIGNER:									
CONTRACTOR:	CONTRACTOR:									



01 SECOND FLOOR PLAN



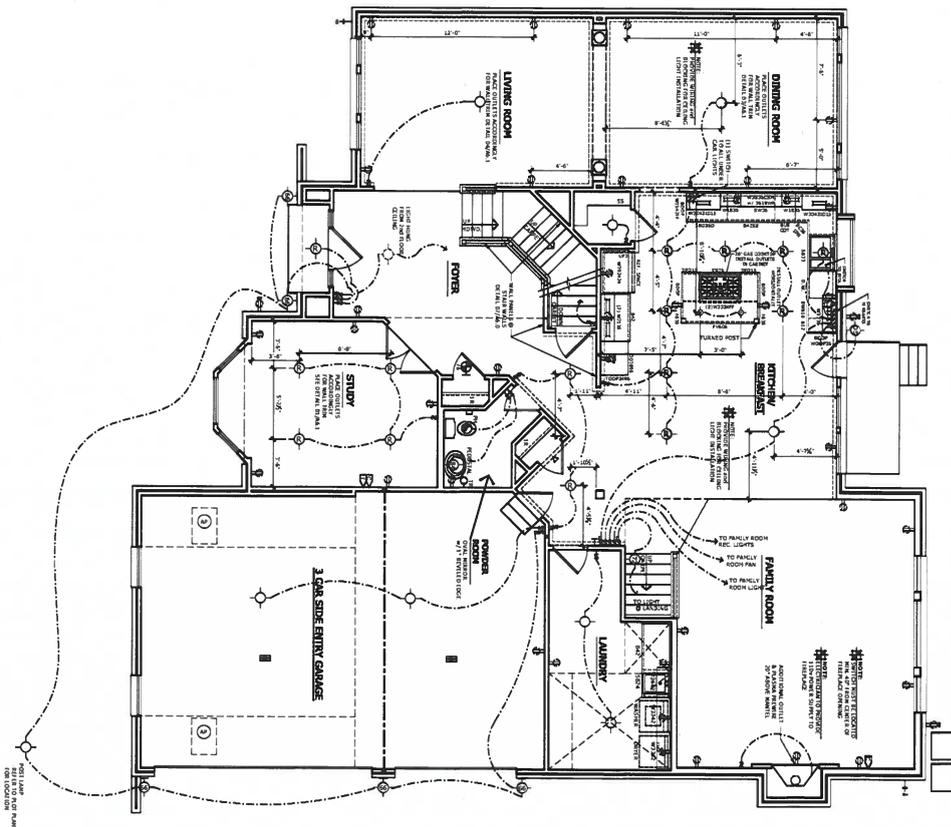
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<p>Job No. TDW-023</p>	<p>Sheet No. <b>A3.1</b></p>		<p>HOME TYPE: GRAND ESTATE PLAN NO.: CARLYLE COLLECTION EXTERIOR: G7 15 FRENCH CO MTRY</p> <p><b>MARKET HOME</b></p> <p>HOMESITE NO. 023 IN T.DEWATER 9230 FAMPLIN WAY NEW ALBANY, OH</p>		<p>MASTER BY: FISCHER SINGLE FAMILY HOMES II, LLC DATE: 6/21/13 SCALE: AS SHOWN JOB INFO: PROJECT: 9230 FAMPLIN WAY, NEW ALBANY, OH DATE: 6/21/13 PROJECT COORDINATOR: MARK D. CHAPP PHONE: 513-344-7115</p> <p>FISCHER SINGLE FAMILY HOMES II, LLC 3333 CHERRY CREEK DRIVE CINCINNATI, OH 45247 PH: 513-344-7115</p> <p>FILED SPEC. NOTLINE (855) 344-7100 FISCHER HOMES, INC. COPYRIGHT © ALL RIGHTS RESERVED OFFICE: 000000 4/01/12 REVISIONS: 000000 4/01/12 DESIGNED: 000000 CHECKED: 000000 CONSTRUCTED: 000000</p>
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01 FIRST FLOOR ELECTRICAL / TRIM PLAN



Job No.  
TDW-023

Sheet No.  
**A4.0**



HOME TYPE: CARLYLE GRAND ESTATE  
 PLAN NO. G715 COLLECTION  
 EXTERIOR: FRENCH COUNTRY

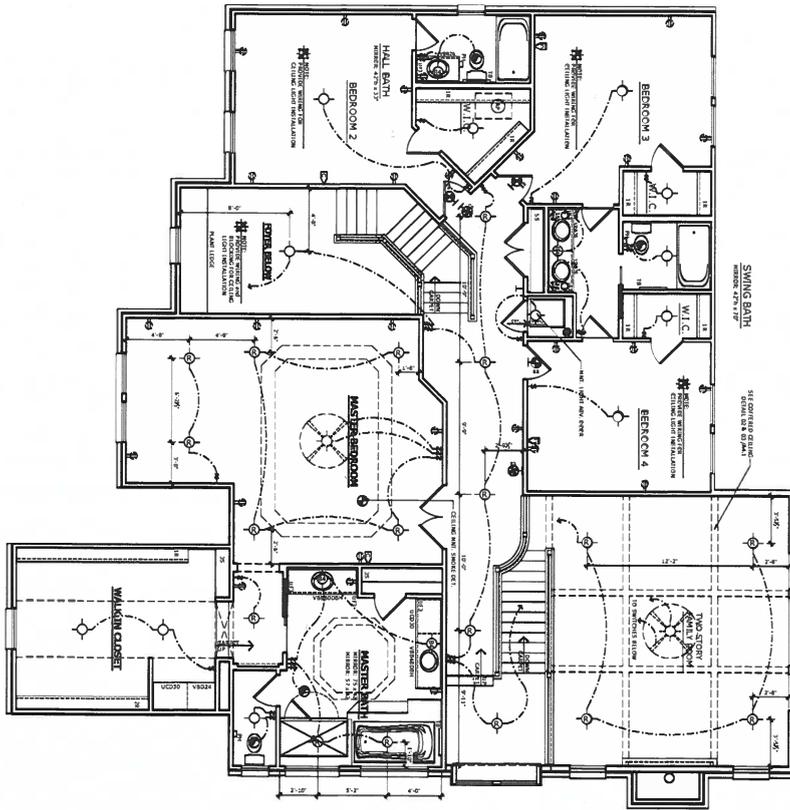
**MARKET HOME**

HOMESITE NO. 023 IN TIDEWATER  
 9230 PAMPUN WAY NEW ALBANY, OH



<b>MASTER BY:</b>	FISCHER SINGLE FAMILY HOMES II, LLC
<b>DATE:</b>	2/2/2012
<b>PROJECT:</b>	2875 CHAMBERS DRIVE GREENVIEW HILLS, OH 43027 PH: 733-241-7700
<b>REV. No:</b>	FIELD SPEC HOTLINE: (855) 344-7100
<b>DATE:</b>	COPYRIGHT © FISCHER HOMES, INC.
<b>PROJECT:</b>	ALL RIGHTS RESERVED
<b>JOB INFO:</b>	OFFICE NUMBER: 000000 4/01/12
<b>DATE:</b>	4.25.12
<b>PROJECT COORDINATOR:</b>	MARKET: MARKET
<b>DESIGNER:</b>	DESIGN: DESIGN
<b>PROJECT NO.:</b>	CONTRACTOR: CONTRACTOR
<b>PHONE NO.:</b>	

01 SECOND FLOOR ELECTRICAL / TRIM PLAN



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<b>FISCHER HOMES</b> 	<b>NEW RESIDENCE FOR:</b> <b>MARKET HOME</b>	<b>HOME TYPE:</b> CARLYLE GRAND ESTATE COLLECTION <b>PLAN NO.:</b> G715 <b>EXTERIOR:</b> FRENCH COUNTRY		<b>MASTER BY:</b> FISCHER SINGLE FAMILY HOMES II, LLC <b>DATE:</b> 12/18/19 <b>SCALE:</b> AS SHOWN <b>REV. No.:</b> FIELD SPEC HOTLINE (888) 344-7100 <b>DATE:</b> 12/18/19 <b>DETAILS:</b> ALL RIGHTS RESERVED																						
	<b>HOMESITE NO.:</b> 023 <b>IN:</b> T.D.WATER <b>9230 PAMPLIN WAY</b> <b>NEW ALBANY, OH</b>	<b>JOB INFO:</b> <b>DATE:</b> 12/18/19 <b>PROJECT COORDINATOR:</b> T.D.WATER <b>PHONE No.:</b> 608-566-7118		<table border="1"> <tr> <td><b>OWNER:</b></td> <td><b>DESIGNER:</b></td> </tr> <tr> <td><b>DATE:</b></td> <td><b>PROJECT:</b></td> </tr> <tr> <td><b>SCALE:</b></td> <td><b>REVISIONS:</b></td> </tr> <tr> <td><b>PROJECT COORDINATOR:</b></td> <td><b>DATE:</b></td> </tr> <tr> <td><b>PHONE No.:</b></td> <td><b>PROJECT:</b></td> </tr> <tr> <td></td> <td><b>REVISIONS:</b></td> </tr> <tr> <td></td> <td><b>DATE:</b></td> </tr> <tr> <td></td> <td><b>PROJECT:</b></td> </tr> <tr> <td></td> <td><b>REVISIONS:</b></td> </tr> <tr> <td></td> <td><b>DATE:</b></td> </tr> <tr> <td></td> <td><b>PROJECT:</b></td> </tr> <tr> <td></td> <td><b>REVISIONS:</b></td> </tr> </table>	<b>OWNER:</b>	<b>DESIGNER:</b>	<b>DATE:</b>	<b>PROJECT:</b>	<b>SCALE:</b>	<b>REVISIONS:</b>	<b>PROJECT COORDINATOR:</b>	<b>DATE:</b>	<b>PHONE No.:</b>	<b>PROJECT:</b>		<b>REVISIONS:</b>		<b>DATE:</b>		<b>PROJECT:</b>		<b>REVISIONS:</b>		<b>DATE:</b>		<b>PROJECT:</b>
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Job No. TDW-023

Sheet No. A4.1





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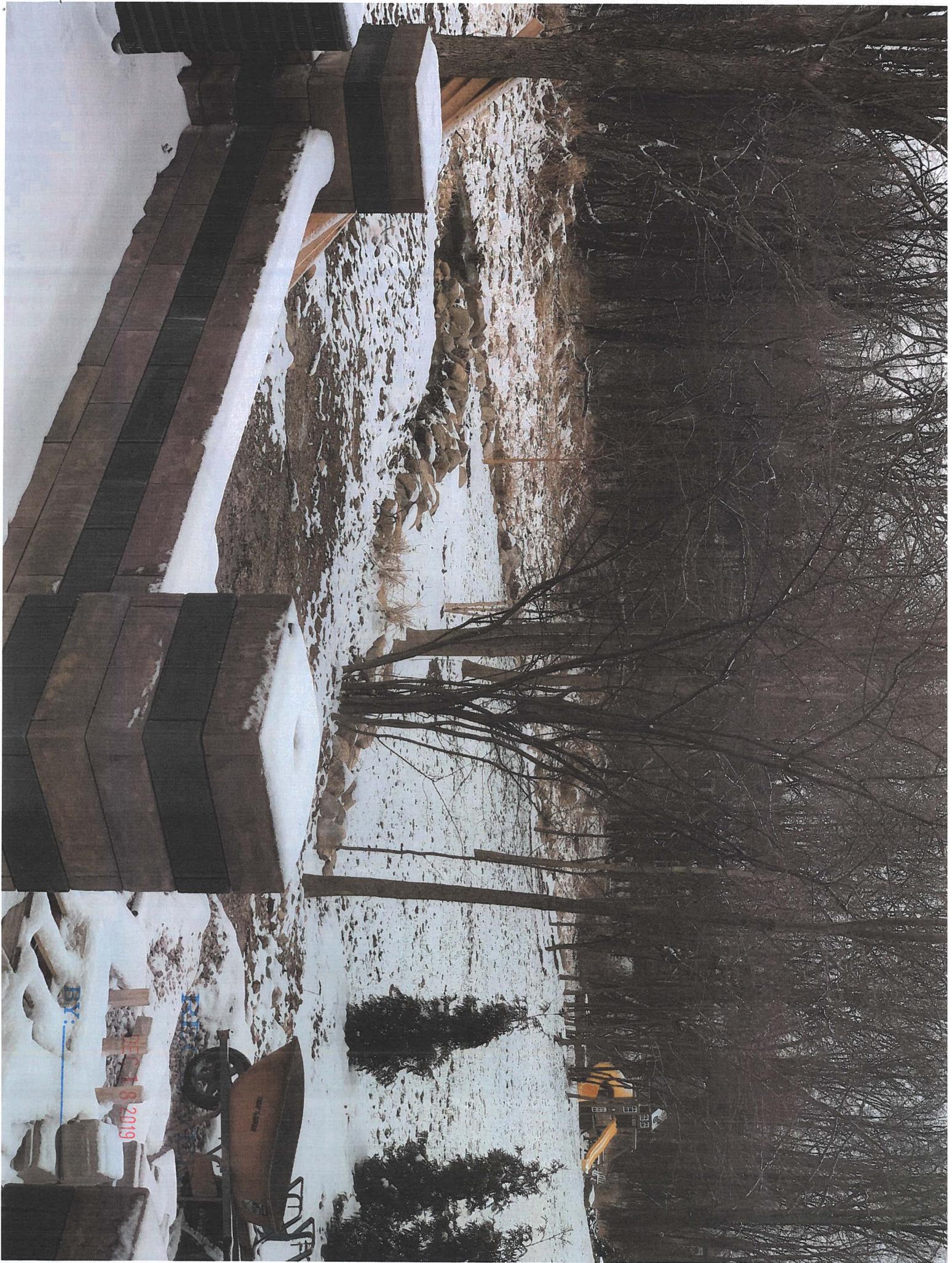


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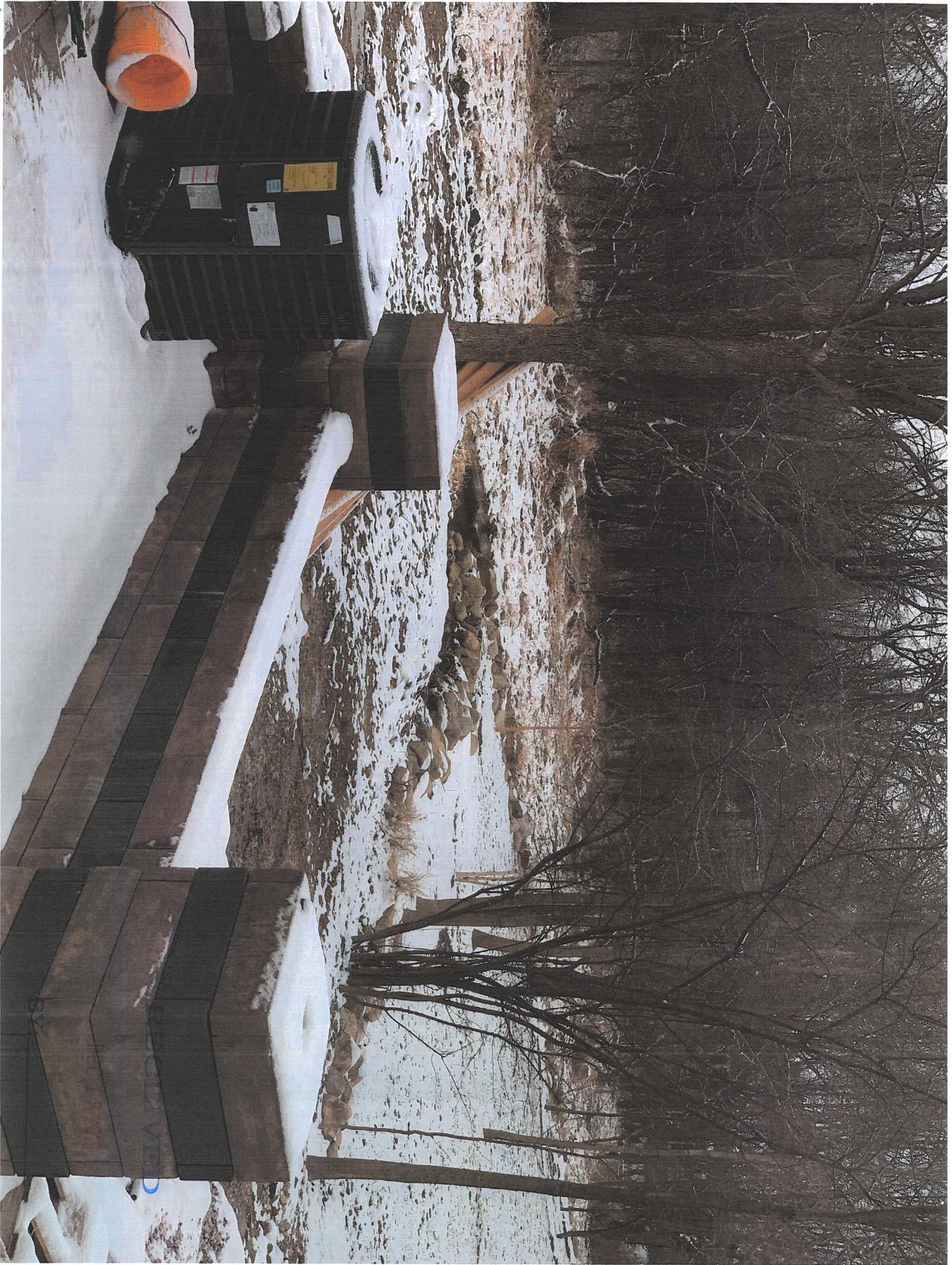
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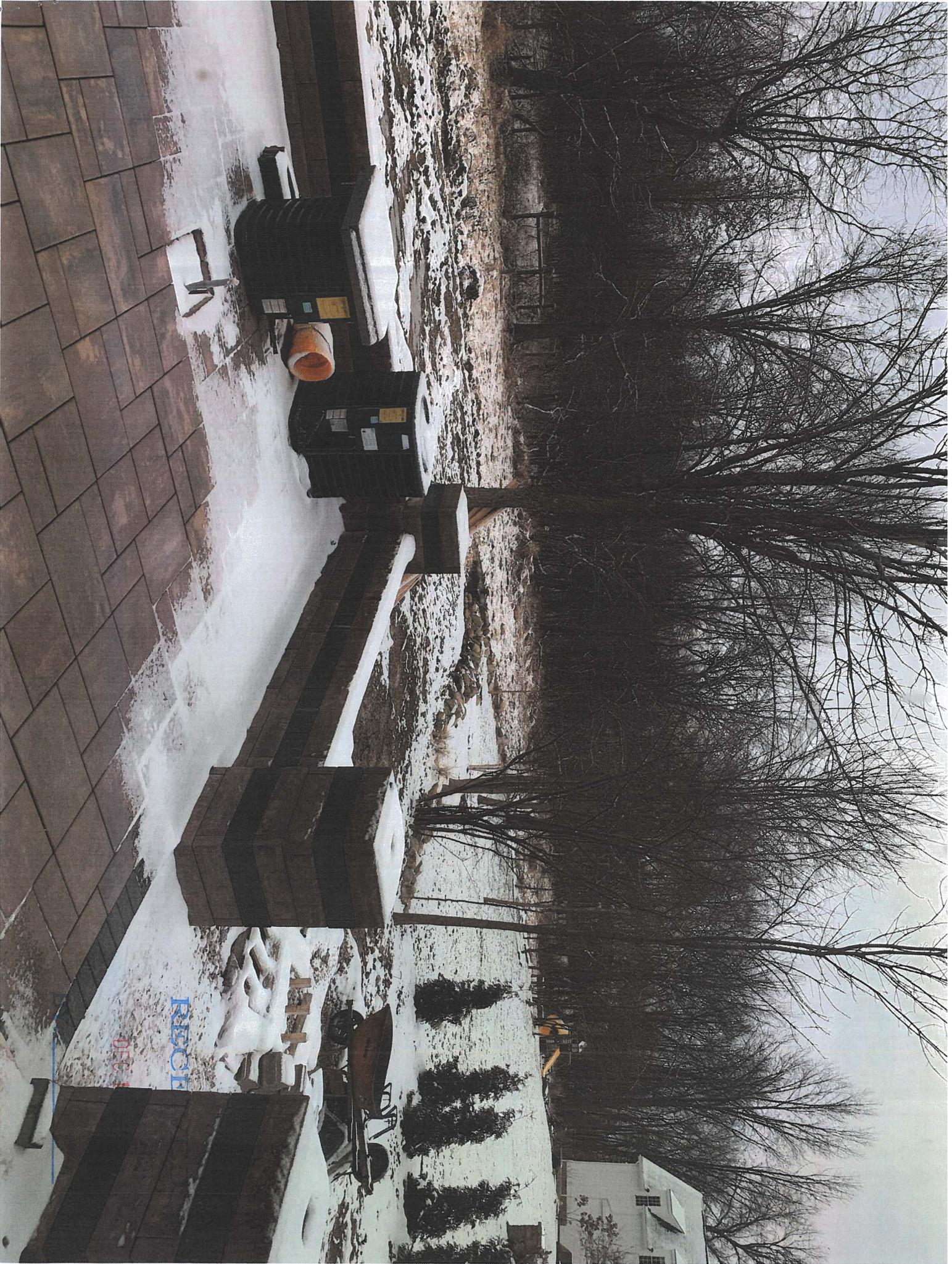




8 2019

BY:







**Planning Commission Staff Report  
March 16, 2020 Meeting**

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**SHOPPES AT SMITHS MILL  
PRIVATE ACCESS ROAD FINAL DEVELOPMENT PLAN**

---

LOCATION: Generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road.  
APPLICANT: The New Albany Company LLC c/o Aaron Underhill  
REQUEST: Final Development Plan  
ZONING: Walton-62 Commerce Zoning District (I-PUD)  
STRATEGIC PLAN: Retail  
APPLICATION: FDP-15-2020

Review based on: Application materials received on February 14<sup>th</sup> and 28<sup>th</sup>, 2020.

---

*Staff Report completed by Chris Christian, Planner*

**I. REQUEST AND BACKGROUND**

The application is for a final development plan for the development of a private access road, generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road. This development is located within the Walton-62 Commerce zoning district which was reviewed and approved by the Planning Commission on March 18, 2019 (ZC-6-2019). The rezoning approval included an exhibit that demonstrated the general desired alignment of this private access road system.

There is also a final development plan application for Sheetz on the March 16, 2020 Planning Commission agenda that is within this zoning district and is served by this proposed private road. This application will be evaluated under a separate staff report (FDP-16-2020).

**II. SITE DESCRIPTION & USE**

The site is generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road. The overall zoning district is 12.47 acres and is currently undeveloped.

**III. EVALUATION**

Staff's review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*

- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

■ **New Albany Strategic Plan**

- 1. This site is located in the Neighborhood Retail district of the 2014 New Albany Strategic Plan. The development standards for this type of use include (but are not limited to):



- a) Curb cuts on primary streets should be minimized and well organized connections should be created within and between all retail establishments.
- b) Sidewalks or leisure trails should be included along primary roadways as well as internal to the developments.
- c) Entrances to sites should respect existing road character and not disrupt the Green Corridors strategy objectives.

▪ **Use, Site and Layout**

1. This final development plan application for a private access road within the US-62 Commerce zoning district which was reviewed and approved by the Planning Commission on March 18, 2019 (ZC-6-2019). Zoning text section III(B)(3) contemplates a private access road going through the site. The location of this access road matches the alignment of a private road shown in the rezoning's subarea exhibit.
2. The access road serves the entire 12.47 acres zoning district.

▪ **Access, Loading, Parking**

1. The proposed plan include three access points. One full access point along Johnstown Road that aligns with an existing signalized intersection, one right in-right out access point along Johnstown Road and one right in-right out access point along Walton Parkway. The proposed access points are permitted per section III(B)(3) of the zoning text.
2. Section III(B)(5) of the zoning text states that 5 feet of additional right-of-way shall be dedicated to the city along a portion of Johnstown Road in order to accommodate a future right turn lane onto Walton Parkway. The proposed plan meets this requirement.
3. The applicant is proposing 24 foot wide pavement sections for the streets, with a slight widening at the full access intersection to allow for multiple traffic lanes.
4. The final development plan shows a future road extension along the access road segment that runs perpendicular to Johnstown Road. This future road extension will ensure connectivity between sites. Since this road segment that runs perpendicular to Johnstown Road will connect to future developments, staff recommends a condition of approval that it be built to public street standards.
5. Zoning text section III(B)(4) states that a sidewalk shall be installed along the east side of the proposed north-south street and on both sides of the street that extends from Johnstown Road. The proposed plan is meeting these requirements and the sidewalk will be installed on a per site basis as development occurs.

▪ **Architectural Standards**

1. There are no proposed building improvements as part of this final development.

▪ **Parkland, Buffering, Landscaping, Open Space, Screening**

1. Zoning text section III(D)(1)(a) requires a double row of street trees to be installed on both sides of the proposed road that extends from Johnstown Road. These street trees will be installed on a per site basis as development occurs. The intent of this requirement was to ensure that there is a row of street trees on both sides of the sidewalk along this road. The proposed plans show all of the required street trees being installed on one side of the sidewalk. Staff recommends a condition of approval that the plans be revised to show street trees on both sides of the sidewalk.
2. The applicant is showing street trees being installed on both sides of the proposed north-south road. While not required by the zoning text, staff believes that this is appropriate to achieve the desired streetscape on all streets within the zoning district. These street trees will be installed on a per site basis as development occurs.
3. The applicant is proposing to install two temporary stormwater basins within the zoning district in order to serve future development, one along Walton Parkway and one along Johnstown Road. Staff recommends that the stormwater basin along Johnstown Road be

oriented to be parallel with Johnstown Road and be located behind the future horse fence alignment that has been established by the Sheetz site.

4. The final development plan shows two temporary basins. While the basins are temporary in nature, in order to ensure the stormwater basins meet city standards for design and landscaping, staff recommends a condition of approval that these stormwater basins are designed to meet the requirements of C.O. 1171.08 and are reviewed as part of a private site's future final development plan when the site develops.

▪ **Lighting & Signage**

1. No lighting or signage improvements were submitted as part of this final development plan.

#### **IV. ENGINEER'S COMMENTS**

The City Engineer reviewed the final development plan application and provided the following comments. Staff recommends a condition of approval that all of the comments of the City Engineer are addressed, subject to staff approval.

1. Please refer to Exhibit A. Provide a cover sheet with a signature block and note blocks in accordance with this exhibit and Code Section 1159.07(3)(V).
2. We recommend that the Trust Corps Traffic Study developed in 2006 be updated.
3. Additional R/W may be required along the development parcel's US 62 frontage.
4. Specifications regarding roadway construction, stormwater water management and sanitary sewer service will be determined during final engineering.
5. We recommend that a cross access easement be provided from Subarea A to Subarea B and the signalized intersection at US62.
6. In accordance with Code Sections 1159.07(3) Z. and AA., provide evidence showing that there are no Ohio EPA or Army Corps of Engineers permit requirements.
7. The Site Data Table on Sheet C-002 shows the site area as 87,365 SF. The zoning exhibit shows a Subarea A and B totaling 12.47 acres. Please revise the Site Data Table.
8. Some of the General Notes and Keyed Notes (see Sheets C-002 and C-003) do not appear to be applicable to a FDP and may be deleted.

#### **V. RECOMMENDATION**

Staff recommends approval of the final development application. The applicant is going beyond the requirements of the zoning text by showing street trees on both sides of the north-south road in order to achieve the appropriate streetscape design. The proposed access point locations are consistent with the approved circulation exhibit found within the zoning text. Additionally, the creation of the private access roads allow for beginning of a road network for vehicles and pedestrians similar to what is accomplished across the street at the Trust Corp site thereby accomplishing an important goal of the 2014 New Albany Strategic Plan. While these roads are private, the access road perpendicular to Johnstown Road is shown as extending in the future in order to connect to a future public street network as envisioned and recommended by the city's Strategic Plan.

#### **V. ACTION**

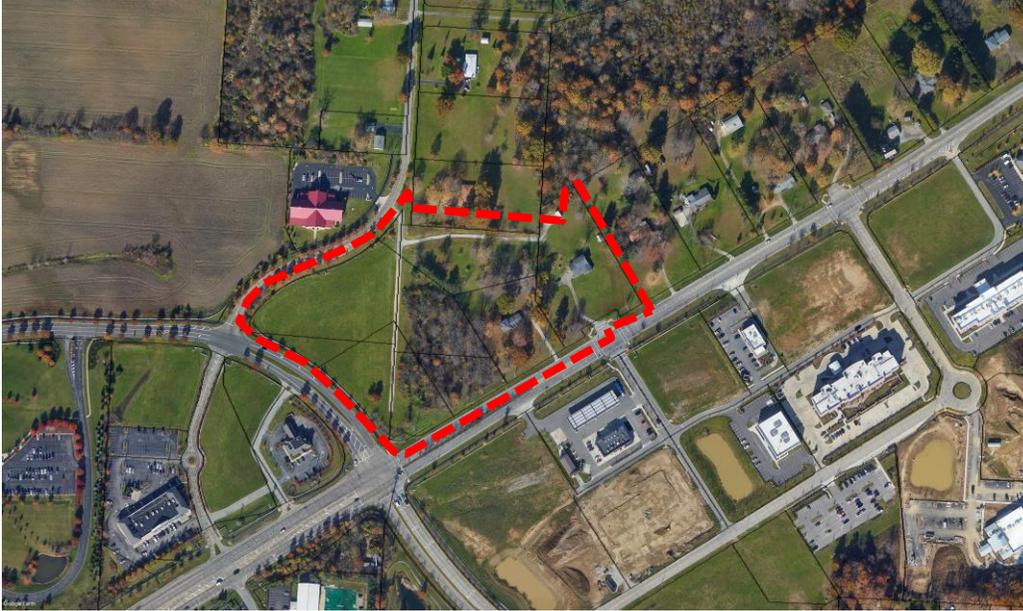
Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application **FDP-15-2020**, subject to the following conditions:

1. The access road extending from and perpendicular to Johnstown Road is built to public standards, subject to staff approval.
2. The plans must be revised to show street trees on both sides of the sidewalk along the road extending from and perpendicular to Johnstown Road, subject to staff approval.

3. The stormwater basin along Johnstown Road be oriented to be parallel with Johnstown Road and be located behind the future horse fence alignment that has been established by the Sheetz site.
4. The stormwater basins must be designed to meet the requirements of C.O. 1171.08 and be reviewed as part of future private site final development plan applications.
5. All the comments of the City Engineer must be addressed, subject to staff approval.

**Approximate Site Location:**



Source: Google Earth

404-470-01  
March 3, 2020

To: Christopher Christian  
Planner

From: Ed Ferris, P.E., P.S., City Engineer  
By: Jay Herskowitz, P.E., BCEE

Re: The Shoppes at Smith Mill -  
Final Development Plan

---

We reviewed the FDP in accordance with Code Section 1159.07. Our review comments are as follows:

1. Please refer to Exhibit A. Provide a cover sheet with a signature block and note blocks in accordance with this exhibit and Code Section 1159.07(3)(V).
2. We recommend that the Trust Corps Traffic Study developed in 2006 be updated.
3. Additional R/W may be required along the development parcel's US 62 frontage.
4. Specifications regarding roadway construction, stormwater water management and sanitary sewer service will be determined during final engineering.
5. We recommend that a cross access easement be provided from Subarea A to Subarea B and the signalized intersection at US62.
6. In accordance with Code Sections 1159.07(3) Z. and AA., provide evidence showing that there are no Ohio EPA or Army Corps of Engineers permit requirements.
7. The Site Data Table on Sheet C-002 shows the site area as 87,365 SF. The zoning exhibit shows a Subarea A and B totaling 12.47 acres. Please revise the Site Data Table.
8. Some of the General Notes and Keyed Notes (see Sheets C-002 and C-003) do not appear to be applicable to a FDP and may be deleted.

EPF/JMH

(attachment)

cc: Steve Mayer, Development Services Manager



---

## Development Review

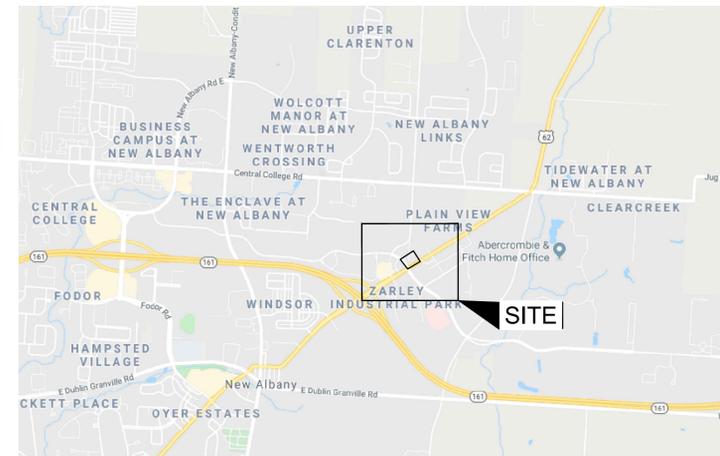
project name Shoppes at Smith's Mill Road  
prepared for City of New Albany  
date March 06, 2020  
date received February 21, 2020

---

## Site Plan

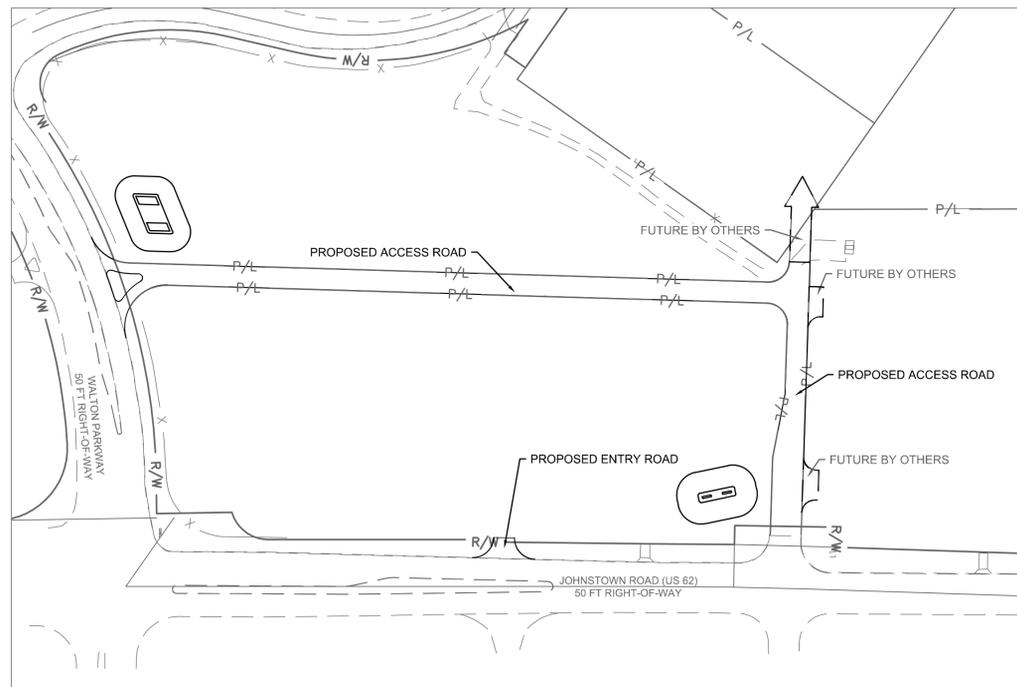
1. Relocate and rotate proposed temporary detention pond to align with Johnstown Road. Relocate pond to the interior of the site to be completely out of the proposed four-rail horse fence location.
  2. When the site is developed, the proposed temporary detention pond should be naturalized by varying the pond edges and installing random massings of large deciduous shade trees.
-

# CITY OF NEW ALBANY, FRANKLIN COUNTY, OH FINAL DEVELOPMENT PLAN FOR **THE SHOPPES AT SMITH MILL** 2020

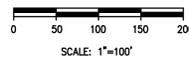


**LOCATION MAP**  
N.T.S.

SHEET INDEX	
TITLE SHEET	C-001
FINAL DEVELOPMENT PLAN	C-002
OVERALL GRADING PLAN	C-003



**INDEX MAP**

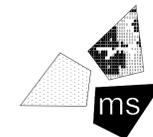


### CITY OF NEW ALBANY APPROVALS

THE SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSE OF THIS PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER AT MS CONSULTANTS, INC. THE EXTENT OF CITY ENGINEER REVIEW AND APPROVAL IS BASED ONLY ON COMPLIANCE WITH CITY ORDINANCES 1181, 1183, 1187, AND OTHER APPLICABLE CITY POLICIES.

FINANCE DIRECTOR, CITY OF NEW ALBANY, OHIO	DATE
CHAIRPERSON OF SERVICE & PUBLIC FACILITIES CITY OF NEW ALBANY, OHIO	DATE
CITY ENGINEER, CITY OF NEW ALBANY, OHIO	DATE
CITY ADMINISTRATOR, CITY OF NEW ALBANY, OHIO	DATE

### PREPARED BY:



REGISTERED ENGINEER NO. \_\_\_\_\_ DATE \_\_\_\_\_



### BENCHMARKS

(ALL EXISTING AND PROPOSED ELEVATIONS ARE BASED ON 1988 NAVD (USGS) DATUM)

<b>BM#1 -</b> IRON PIN N: 762125.6 E: 1887339.6 ELEV. 1066.68	<b>BM#3 -</b> IRON PIN N: 761597.8 E: 1886401.9 ELEV. 1058.48	<b>BM#5 -</b> IRON PIN N: 762206.3 E: 1886421.3 ELEV. 1062.72
<b>BM#2 -</b> IRON PIN N: 761926.6 E: 1886990.1 ELEV. 1064.60	<b>BM#4 -</b> IRON PIN N: 761990.2 E: 1885915.4 ELEV. 1051.55	<b>BM#6 -</b> IRON PIN N: 762240.6 E: 1886881.0 ELEV. 1065.70

### OWNER / APPLICANT

THE NEW ALBANY COMPANY  
8000 WALTON PARKWAY  
SUITE 120  
NEW ALBANY, OHIO 43054  
CONTACT: ANDY WALTHER

### ENGINEER

ms consultants, inc.  
2221 SCHROCK ROAD  
COLUMBUS, OHIO 43229  
PHONE: (614) 898-7100  
CONTACT: IAN AULTMAN

### SURVEYOR

ms consultants, inc.  
2221 SCHROCK ROAD  
COLUMBUS, OHIO 43229  
PHONE: (614) 898-7100  
CONTACT: CHAD SNOW

### STANDARD CONSTRUCTION DRAWINGS

THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS ARE TO BE CONSIDERED A PART THEREOF.

AA-S166	SD-2319
AA-S125A	SD-2300
AA-S142	

REVISION/DATE/DESCRIPTION  
12/19/19/OWNER REVIEW

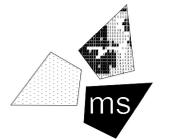
01/31/20/FINAL REVIEW

02/14/20/FDP APPLICATION

02/28/20/FDP RESUBMITTAL

#### NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



ms consultants, inc.

engineers, architects, planners  
2221 Schrock Road  
Columbus, Ohio 43229  
phone: 614.898.7100  
fax: 614.898.7570

PROJECT

SHOPPES AT  
SMITH'S MILL

WALTON PARKWAY  
NEW ALBANY, OHIO

SHEET TITLE

TITLE SHEET

DRAWN BY: SAZ

CHECKED BY: JML

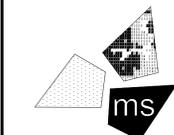
PROJECT NO: 62-26594-00

DRAWING

C-001

NOTICE

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ms consultants, inc.  
engineers, architects, planners  
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Columbus, Ohio 43229  
phone 614.898.7100  
fax 614.898.7570

PROJECT

SHOPPES AT SMITH'S MILL

WALTON PARKWAY  
NEW ALBANY, OHIO

SHEET TITLE

FINAL DEVELOPMENT PLAN

DRAWN BY: SAZ

CHECKED BY: JML

PROJECT NO: 62-26594-00

DRAWING

C-002

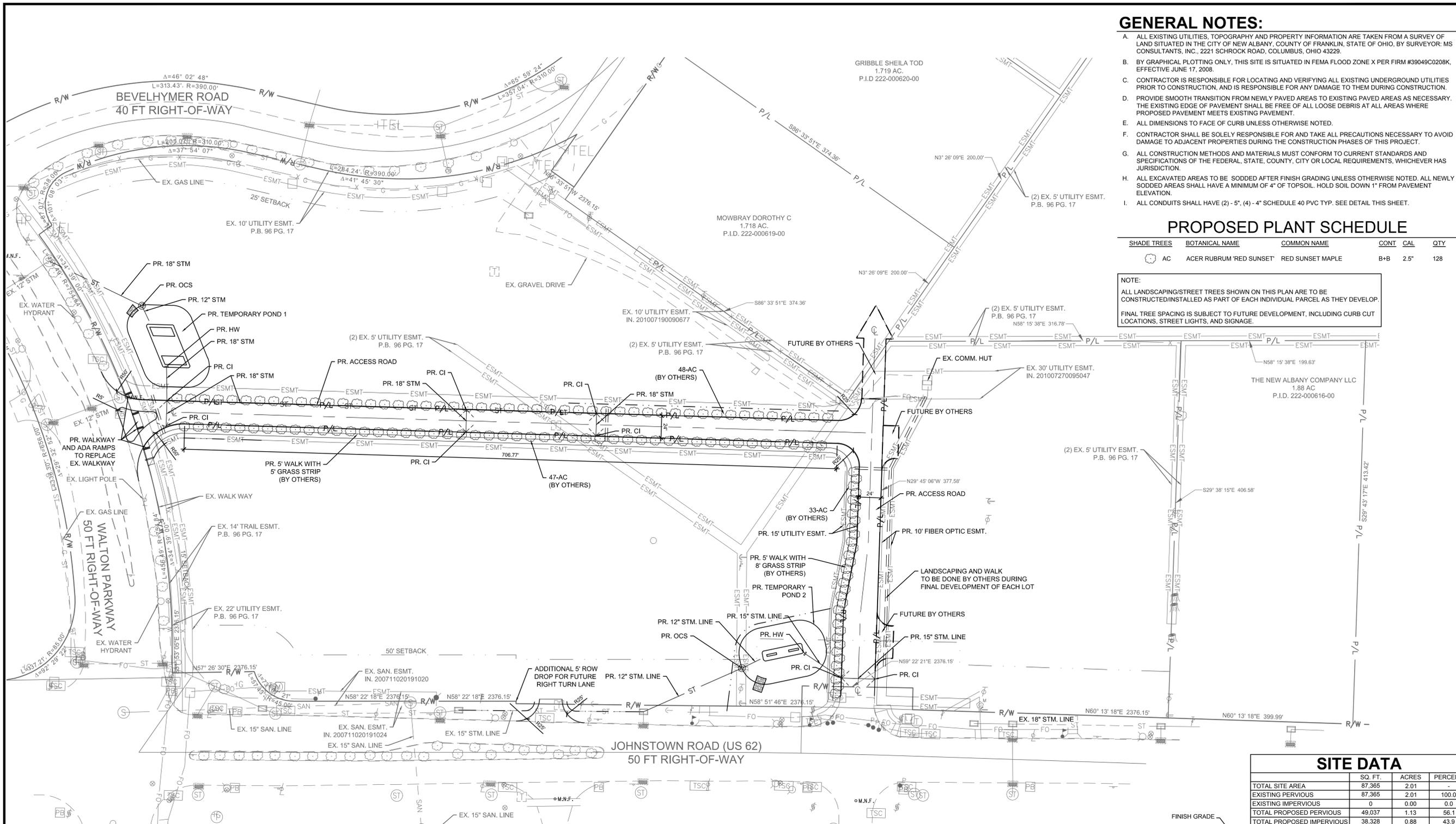
GENERAL NOTES:

- ALL EXISTING UTILITIES, TOPOGRAPHY AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF NEW ALBANY, COUNTY OF FRANKLIN, STATE OF OHIO, BY SURVEYOR: MS CONSULTANTS, INC., 2221 SCHROCK ROAD, COLUMBUS, OHIO 43229.
- BY GRAPHICAL PLOTTING ONLY, THIS SITE IS SITUATED IN FEMA FLOOD ZONE X PER FIRM #39049C0208K, EFFECTIVE JUNE 17, 2008.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING PAVED AREAS AS NECESSARY. THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS AT ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT.
- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL EXCAVATED AREAS TO BE SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL, HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION.
- ALL CONDUITS SHALL HAVE (2) - 5", (4) - 4" SCHEDULE 40 PVC TYP. SEE DETAIL THIS SHEET.

PROPOSED PLANT SCHEDULE

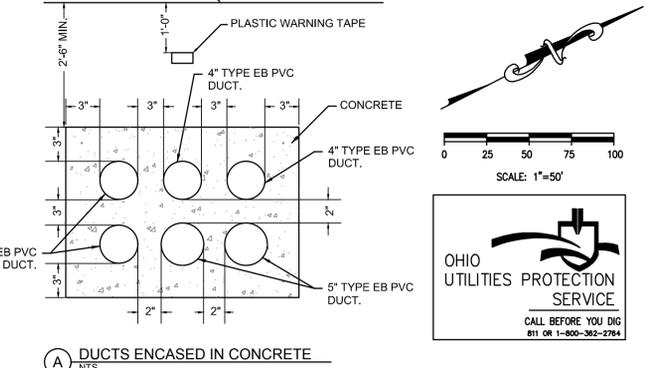
SHADE TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY
AC	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	B+B	2.5"	128

NOTE:  
ALL LANDSCAPING/STREET TREES SHOWN ON THIS PLAN ARE TO BE CONSTRUCTED/INSTALLED AS PART OF EACH INDIVIDUAL PARCEL AS THEY DEVELOP.  
FINAL TREE SPACING IS SUBJECT TO FUTURE DEVELOPMENT, INCLUDING CURB CUT LOCATIONS, STREET LIGHTS, AND SIGNAGE.



**SITE DATA**

	SQ. FT.	ACRES	PERCENT
TOTAL SITE AREA	87,365	2.01	-
EXISTING PERVIOUS	87,365	2.01	100.0
EXISTING IMPERVIOUS	0	0.00	0.0
TOTAL PROPOSED PERVIOUS	49,037	1.13	56.1
TOTAL PROPOSED IMPERVIOUS	38,328	0.88	43.9



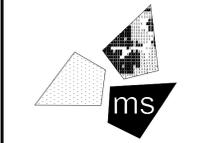
LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
UE	---	UNDERGROUND ELECTRIC LINE	---	---	CONSTRUCTION LIMITS	TSC	M	PB
G	---	GAS LINE	ESMT	ESMT	EASEMENT	---	---	---
SAN	---	SANITARY SEWER	X	---	FENCE	---	---	---
ST	ST	STORM SEWER	---	---	ROAD CENTERLINE	---	---	---
W	---	WATER MAIN	---	---	DITCH CENTERLINE	---	---	---
FO	---	FIBER OPTIC LINE	---	---	SANITARY STRUCTURE	---	---	---
P/L	P/L	PROPERTY LINE	---	---	STORM STRUCTURE	---	---	---
R/W	---	RIGHT OF WAY	---	---	WATER VALVE	---	---	---

N:\0316226594 - NACO100 - Shoppes at Smith's Mill\Docs\CAD\Civil\Development\Plan\C002 - Final Development Plan.dwg, 2/27/2020 11:21:21 AM, anza@msc.com, antonio

**NOTICE**

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION OR REPRODUCTION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



**ms consultants, inc.**  
engineers, architects, planners  
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phone 614.898.7100  
fax 614.898.7570

**PROJECT**

SHOPPES AT SMITH'S MILL

WALTON PARKWAY  
NEW ALBANY, OHIO

**SHEET TITLE**

OVERALL  
GRADING PLAN

DRAWN BY: SAZ

CHECKED BY: JML

PROJECT NO: 62-26594-00

DRAWING

C-003

**GENERAL NOTES:**

- A. ALL EXISTING UTILITIES, TOPOGRAPHY AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF NEW ALBANY, COUNTY OF FRANKLIN, STATE OF OHIO, BY SURVEYOR: ms consultants, inc., 2221 SCHROCK ROAD, COLUMBUS, OHIO 43229.
- B. ALL CONSTRUCTION METHODS AND MATERIAL MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- C. ALL PROPOSED SPOT ELEVATIONS SHOWN ARE FINAL GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- D. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- E. OWNER IS RESPONSIBLE FOR MAINTAINING AND CLEANING PROPOSED STORM SYSTEM AS NEEDED SO AS WATER STORAGE AREAS ARE NOT REDUCED.
- F. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND CONTACT ENGINEER PRIOR TO BEGINNING WORK IF DISCREPANCY IS FOUND.
- G. THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- H. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- I. ALL WORK SHALL BE PERFORMED FROM PRIVATE PROPERTY. ALL TRAFFIC LANES MUST REMAIN OPEN AT ALL TIMES.
- J. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES DURING CONSTRUCTION AND ALL DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER OR CITY.
- K. ALL STORM CONDUITS ARE ADS N-12 SMOOTH INTERIOR HDPE PIPE OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- L. ALL PONDS ARE TEMPORARY AND INTENDED AND SIZED FOR ROADWAYS ONLY. FINAL STORMWATER MANAGEMENT WILL BE ACHIEVED DURING THE FINAL DEVELOPMENT OF EACH INDIVIDUAL LOT.

**KEYED NOTES:**

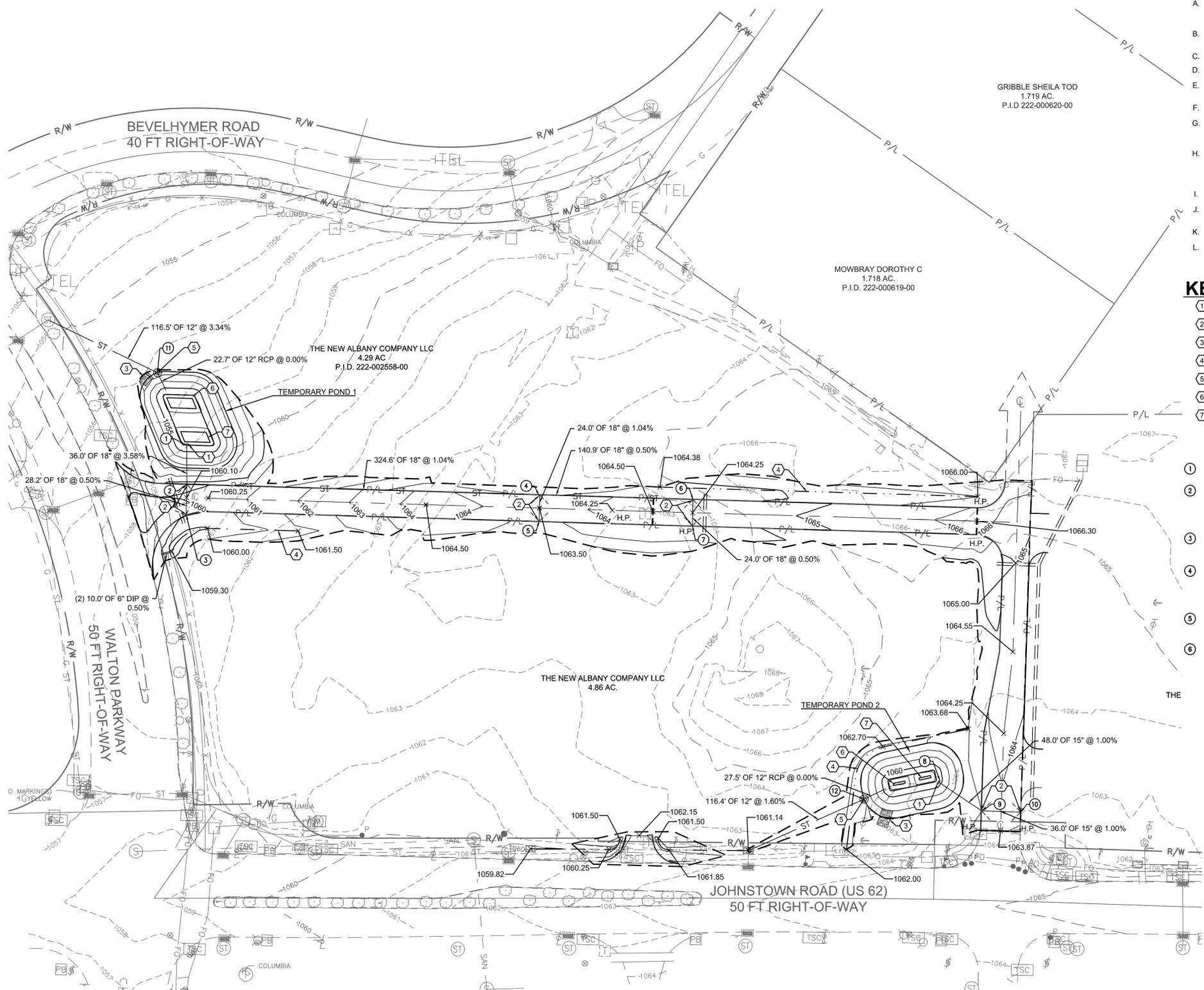
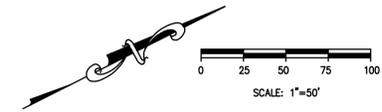
- ① PROPOSED HEADWALL PER CITY OF COLUMBUS STANDARD DRAWING AA-S166.
- ② PROPOSED CURB INLET PER CITY OF COLUMBUS STANDARD DRAWINGS AA-S125A AND AA-S142.
- ③ EMERGENCY SPILLWAY, SEE DETAIL ON SHEET C-702 IN SITE CONSTRUCTION DOCUMENTS.
- ④ PROPOSED DIVERSION DITCH CENTERLINE.
- ⑤ DETENTION BASIN OUTLET CONTROL STRUCTURE, SEE DETAIL ON SHEET C-702 IN SITE CONSTRUCTION DOCUMENTS.
- ⑥ PROPOSED MICROPOOL.
- ⑦ PROPOSED FOREBAY.

**STORM STRUCTURE DATA**

- ① PROPOSED HEADWALL  
PR: 18" INV (SE) = 1054.00
- ② PROPOSED CURB INLET  
TC: 1059.85  
PR: 18" INV (NE) = 1055.46  
PR: 18" INV (SE) = 1055.46  
PR: 18" INV (NW) = 1055.29
- ③ PROPOSED CURB INLET  
TC: 1059.60  
PR: 18" INV (NW) = 1055.60
- ④ PROPOSED CURB INLET  
TC: 1063.25  
PR: 18" INV (NE) = 1059.00  
PR: 18" INV (SE) = 1059.00  
PR: 18" INV (SW) = 1058.83
- ⑤ PROPOSED CURB INLET  
TC: 1063.25  
PR: 18" INV (NW) = 1059.25
- ⑥ PROPOSED CURB INLET  
TC: 1064.00  
PR: 18" INV (SE) = 1059.88  
PR: 18" INV (SW) = 1059.71
- ⑦ PROPOSED CURB INLET  
TC: 1064.00  
PR: 18" INV (NW) = 1060.00
- ⑧ PROPOSED HEADWALL  
PR: 18" INV (NE) = 1059.50
- ⑨ PROPOSED CURB INLET  
TC: 1063.50  
PR: 15" INV (NE) = 1059.98  
PR: 15" INV (SW) = 1059.98
- ⑩ PROPOSED CURB INLET  
TC: 1063.50  
PR: 15" INV (SW) = 1060.34
- ⑪ POND 1 OUTLET CONTROL STRUCTURE  
TOP: 1057.50  
PR: 12" INV (E) = 1054.00  
PR: 12" INV (SW) = 1053.00
- ⑫ POND 2 OUTLET CONTROL STRUCTURE  
TOP: 1063.00  
PR: 12" INV (N) = 1059.15  
PR: 12" INV (S) = 1059.15

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	CONSTRUCTION LIMITS
---	---	TOP OF CURB
---	---	TOP OF PAVEMENT
---	---	FINISHED GRADE SPOT ELEVATION
---	---	GRADE SLOPE
HP - - - - HP	HP - - - - HP	HIGH POINT
---	---	STORM SEWER
---	---	MAJOR CONTOUR LINES
---	---	MINOR CONTOUR LINES
⊙ ⊙ ⊙	⊙ ⊙ ⊙	STORM STRUCTURE
---	---	DITCH CENTERLINE
---	---	CONDUIT



N:\03162\26594 - NACO100 - Shoppes at Smith's Mill\CAD\Civil\Development\Plan\C003 - Overall Grading Plan.dwg, 2/27/2020 10:57 AM, anزالone, antonio





**Planning Commission Staff Report  
March 16, 2020 Meeting**

---

**SHEETZ  
FINAL DEVELOPMENT PLAN**

---

LOCATION: Generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road (PIDs: 222-000616 and 222-000615).  
APPLICANT: Morse Road Development LLC  
REQUEST: Final Development Plan  
ZONING: Walton-62 Commerce District I-PUD  
STRATEGIC PLAN: Retail Commercial  
APPLICATION: FDP-16-2020

Review based on: Application materials received February 13<sup>th</sup> and 28<sup>th</sup>, 2020

---

*Staff report prepared by Chris Christian, Planner*

**I. REQUEST AND BACKGROUND**

The application is for a final development plan for a proposed Sheetz development generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road. This development includes a gas station and convenience store on a 2.91 acre site.

The applicant is also applying for several variances related to this final development plan under application V-18-2020. Information and evaluation of the variance requests are under a separate staff report.

This site is located within the Walton-62 Commerce zoning district which was reviewed and approved by the Planning Commission on March 18, 2019 (ZC-6-2019).

**II. SITE DESCRIPTION & USE**

The site is generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road. The site is 2.91 acres and is currently undeveloped. The applicant is proposing to build a one story gas station and store. Neighboring uses include commercial to the south, east and west as well as residential to the north.

**III. EVALUATION**

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*

- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

### **New Albany Strategic Plan Recommendations**

The 2014 New Albany Strategic Plan lists the following development standards for the Neighborhood Retail future land use category:

1. Retail buildings should have footprints no larger than 80,000 square feet, individual users should be no greater than 60,000 square feet.
2. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
3. When parking vastly exceeds minimum standards, it should be permeable or somehow mitigate its impact.
4. Combined curb cuts and cross access easements are encouraged.
5. Structures must use high quality building materials and incorporate detailed, four sided architecture.
6. Curb cuts on primary streets should be minimized and well organized connections should be created within and between all retail establishments. Combined curb cuts and cross access easements between parking are preferred between individual buildings.
7. Entrances to sites should respect existing road character and not disrupt the Green Corridors strategy objectives.
8. Walkways at least 8 feet in width should run the length of the building.
9. Green building and site design practices are encouraged.
10. Large retail building entrances should connect with pedestrian network and promote connectivity through the site.

#### **A. Use, Site and Layout**

1. The applicant proposes to develop a gas station with 14 fuel pumps with a fuel canopy and a 6,077 square foot convenience store with a drive thru. The site is generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road. The zoning text permits a maximum of one gas station within this zoning district. The proposed development is in an appropriate location given its proximity to the New Albany Business Park, State Route 161 and surrounding retail uses.
2. The development site is approximately 2.91 acres and will be accessed by a new private, access road which is on the March 16, 2020 Planning Commission agenda under application FDP-15-2020 and is evaluated under a separate staff report.
3. The zoning text requires that the total lot coverage, which includes all areas of pavement and building, to not exceed 80% of the total area. The proposed development is at 57.7% lot coverage thereby meeting this requirement.
4. The PUD zoning text requires the following setbacks from these perimeter boundaries for the convenience and gasoline canopy:
  - a. Johnstown Road (US-62):  
Required—50 foot building and pavement  
Proposed— 65 foot pavement and 189 foot building setback [requirement met]
  - b. Eastern Boundary:  
Required—10 foot pavement and 30 foot building  
Proposed— 108 foot building and 10 foot pavement [requirement met]
5. The PUD zoning text also requires the following setback for the locations of gasoline service station pumps:  
Required—75 foot setback from the northern property line  
50 feet from US-62  
10 feet from eastern interior parcel line  
10 feet from western interior parcel line  
Proposed—276 feet from the northern property line  
90 +/- feet from US-62  
76 feet from the eastern interior parcel line  
50 feet from the western interior parcel line [all requirements met]

6. The applicant indicates that the development will utilize an underground stormwater detention basin.

**B. Access, Loading, Parking**

1. The applicant proposes to install a right-in access drive for this site on Johnstown Road. This right-in curb-cut is not is not permitted per the zoning text and the applicant is requesting a variance to allow this improvement. This variance is evaluated under a separate staff report (V-18-2020).
2. According to zoning text section III(B)(4) the applicant is required to install an 8 foot wide, asphalt leisure trail along Johnstown Road. The applicant is meeting this requirement.
3. Per zoning text section III(B)(4) the applicant is required and proposes to install a 5 foot wide, concrete sidewalk along the east side of the private access road that extends north from Johnstown Road. The text also requires, and the applicant is providing a striped pedestrian connection from the building to the sidewalk through the parking lot.
4. The site is accessed by two curb-cuts off a proposed new private access road. The proposed northern curb-cut does not align with the proposed internal private road aisle that is being developed within the overall zoning district. The city engineer recommends the curb cut for this site be shifted to align with the internal private access road to ensure the safe flow of traffic entering and exiting the site. Staff recommends a condition of approval that the northern curb cut to this site be revised so that it aligns with the private access road.
5. The city parking code does not have parking standards for convenience stores associated with a gasoline station use. According to zoning text section III(B)(1) the Planning Commission shall review and approve the amount of parking provided when a particular use does not have a parking requirement defined in the city parking code.
  - a. The applicant is providing 54 parking spaces on site. The applicant states that for this user, between 40-45 parking spaces are typically provided for customers and 8-10 additional spaces for employees. Staff is supportive of the number of parking spaces provided on site.
  - b. Per Codified Ordinance 1167.05(d)(8) gasoline service stations require 2 for each service bay plus 1 for each 2 gasoline dispensing units, plus 1 for each employee during main shift. This site has 14 gasoline pumps and could have up to 10 employees during the main shift resulting in 17 parking spaces being required.
  - c. City code does not have specific parking space requirements for convenience stores associated with a gasoline station use. The closest use within the city parking code is retail shopping centers which require one parking space for each 200 square feet of gross floor area. The convenience store is 6,077 square feet which would require 30 parking spaces. The applicant is providing 54 parking spaces which appears to accommodate both the gasoline pump and convenience store uses.
  - d. City code requires restaurants with drive-thru facilities to provide additional spaces in the drive thru lanes equal to 25% of their required number of parking. While this is not considered a restaurant and the Planning Commission must determine the appropriate amount of spaces, if this calculation is applied to the site the applicant would be required to provide nine (9) spaces for stacking in the drive thru lane. It appears to be being met. Staff recommends that the Planning Commission confirm with the applicant that nine (9) vehicles are able to be parked within the drive thru lane based on the proposed parking amount.
6. Per C.O. 1167.03(a) the minimum parking space dimensions required are 9 feet wide and 19 feet long. The applicant is proposing to install parking spaces that are 10 feet wide and 20 feet long. The 9x19 spaces have been installed and sufficiently met other gar stations within New Albany such as the Englefield Oil site which is a similar use. Staff recommends a condition of approval that the parking space dimensions are reduced to 9'x19' in order to reduce the amount of pavement on the site.

7. Per C.O. 1167.03(a) the minimum maneuvering lane width size is 22 feet for this development type. The applicant is proposing maneuvering lanes with varying widths throughout the site that are between 32 and 50 feet. The applicant has submitted a truck turning analysis to justify the wide drive aisles. While the turning study shows a need for wider drive aisles than the city's typical 22 foot, it appears the aisles on the east and west sides (that run perpendicular to Johnstown Road) can be slightly reduced and still allow trucks to safely travel through the site. The proposed maneuvering lanes are wider than what was approved for both the Englefield Oil site and the Turkey Hill site. Reducing the lanes widths to 30 feet on the east and west sides of the site will result in less paved area on the site and having more consistency with other gas stations in the community. Staff recommends a condition of approval that the maneuvering lane widths on the east and west sides of the site be reduced to 30 feet.
8. The applicant is also installing an 18 foot wide drive thru lane on the east side of the property. The drive lane appears to be overly wide. Reducing the drive thru lane to 14 feet will still allow safe travel and be able to accommodate larger personal vehicles. Staff recommends a condition of approval that the drive thru lane width be reduced to 14 feet.
9. The zoning text requires a 10 foot pavement buffer and that the developer install landscaping that achieves 75% opacity screening (within 5 years of planting) in this buffer area next to the residentially zoned and used property to the east. While the applicant is meeting both of these requirements, there appears to be excess pavement on the site that could be reduced. Additionally, while not required, the typical residential buffer zone is 25 feet wide. Staff has recommended conditions of approval that would require the applicant to reduce parking space dimensions, maneuvering lane widths and the width of the drive thru lane. Staff recommends the extra green space from those pavement reductions be applied to this eastern buffer area. These pavement reductions result in a total of 22 feet of separation along this property line. This additional space will allow for a more naturalized planting design which is more appropriate for the neighboring residential use. Staff recommends a condition of approval that these reductions in overall pavement area are made in a way that provides more separation between this site and the adjacent residential property to the east.
10. According to C.O. 1167.06(b)(2) the applicant is required to provide one off street loading space. The applicant is meeting this requirement by providing one loading space on the northern portion of the site.
11. Per zoning text section III(B)(2) the applicant is required to install 3 bicycle parking spaces on site. The applicant is meeting this requirement.

### **C. Architectural Standards**

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design.
2. The zoning text contains architectural standards and regulated by Section 6 of the Design Guidelines and Requirements (Commercial outside the Village Center).
3. The zoning text states that the maximum building height within this zoning district shall not exceed 35 feet. The proposed building height is approximately 27 +/- feet therefore this requirement is being met. The canopy height is 20 feet and is also meeting this requirement.
4. The applicant is proposing to use two different colors of brick, metal and hardie board as building materials. The zoning text permits the use of these materials such as brick, pre-cast stone, wood, glass and other synthetic materials are permitted as long as they are used appropriately. The city architect has reviewed the application and is supportive of the overall design, stating that the use of the same building materials on both the building and the gas station are appropriate and help establish and architectural relationship between the two structures.
5. Zoning text section III(C)(4)(6) states that all visible elevations of a building shall receive similar treatment in style, materials and design so that no visible side is of a lesser visual

character than any other. The applicant is accomplishing this requirement by utilizing four sided architecture.

6. DGR Section 6(I)(A)(12) states that buildings shall have operable and active front doors along all public and private roads. The applicant is meeting this requirement.
7. C.O. 1171.05(b) states that all trash and garbage container systems must be screened. The applicant proposes to install a dumpster enclosure thereby meeting this requirement.

#### **D. Parkland, Buffering, Landscaping, Open Space, Screening**

1. Zoning text section III(D)(1)(a) states that street trees are required to be installed along Johnstown Road and the applicant is meeting this requirement. The zoning text also requires a double row of street trees to be installed along the private road that extends north from Johnstown Road and the applicant is meeting this requirement.
2. Per zoning text section III(D)(1)(b) a four board horse fence is required to be installed along Johnstown Road and the applicant is meeting this requirement.
3. Per zoning text requirement III(D)(1)(c) a minimum 30 inch tall landscape hedge must be provided along the perimeter of the parking lot to provide screening from public-rights-of-way and the applicant is meeting this requirement.
4. Per zoning text requirement III(D)(1)(d) 8 trees per 100 lineal feet must be provided throughout the setback area along Johnstown Road. The applicant is meeting this requirement by providing 26 trees along Johnstown Road.
5. Zoning text requirement III(D)(4)(c) states that a minimum of 8% of the total parking lot area shall be landscaped. The applicant is meeting this requirement as 8.6% of the total parking lot area is landscaped.
6. Per C.O. 1171.06(3) parking areas should contain a minimum of one tree for every 10 parking spaces. The applicant is providing 54 parking spaces and is therefore required to install 5 trees. The applicant is exceeding this requirement by provided 9 trees within the parking area.
7. The city landscape architect has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the city landscape architect comments are addressed, subject to staff approval.
  - a) Align curb cut/drive along northwestern site with proposed road alignment on adjacent property. See diagram.
  - b) Reduce parking space typical size to the City of New Albany standard 9’x19’ to reduce impervious paving footprint. See diagram.
  - c) Reduce drive thru order lane to 14’ to match drive thru lane along building. See diagram.
  - d) Reduce 32’ wide drive lanes to 30’. 35’ wide lanes may remain for truck maneuverability. See diagram.
  - e) The culmination of pavement reduction of comments 1-4 should be accrued along the northeaster property line creating a +/- 22’ wide planting buffer between the edge of pavement of the drive thru lane and the property line adjacent to existing residential. See diagram.
  - f) Confirm color of composite planks on the dumpster enclosure doors.
  - g) Remove plant material around monument sign and install only turf to match existing precedent signage along Johnstown Road. Relocate sign between street trees (see comment h). See diagram.
  - h) Street trees should be relocated to the tree lawn between the leisure trail and the four-rail horse fence to avoid overhead power lines and match the existing Johnstown Road streetscape along the Trust Corp site. Selected species should be large deciduous street trees at 3” minimum caliper and should be 30’ O.C. per City of New Albany standard. See diagram.
  - i) The single-stem ornamental trees shown as street trees should, instead, be used at random plantings under the overhead power lines. This matches the existing Johnstown Road streetscape, but is accommodating to the overhead power line condition. See diagram.

- j) Add 20-25' wide planting buffer along northeastern and northwestern property lines to screen site from adjacent residential lots per City code. This buffer should reach 75% opacity within 5 years and should be a mix of evergreen trees and deciduous trees and placed in random massings. See diagram.
- k) The total required tree count along Johnstown Road including both trees per linear foot and street trees per 30' should remain the same; however, the additional trees not shown in the diagram along the Johnstown Road frontage may be relocated to the northeastern and northwestern property lines for the required residential buffer.
- l) Confirm Sea Green Juniper is the selected species. Botanical name on plans is not Sea Green Juniper. Pfitzer Juniper is not an acceptable parking screening species, but Sea Green Juniper is acceptable.

**E. Lighting & Signage**

- 1. A detailed photometric plan has been submitted that has zero foot candle intensity along all parcel boundaries.
- 2. The proposed site lighting is down cast. The zoning text also requires site lighting to be cut off. The applicant is proposing to use all cut off light fixtures on site therefore this requirement is being met.
- 3. As part of this final development plan application, the applicant has submitted a sign plan for the site. Several variances are required to allow this signage to be installed and those variances are identified below. The variances are evaluated in a separate staff report.

**Wall Signs**

The zoning text and C.O. 1169.15(d) permits a wall sign on each building frontage, with 1 square foot in area per linear square foot of building frontage, not to exceed 75 square feet. The applicant proposes three identical wall signs to be installed on the northern and southern building elevations with the following dimensions:

- a. Lettering Height: Less than 24 inches [meets code]
  - b. Area: 25.94 square feet [meet code]
  - c. Location: One on the southern elevation, one on the northern elevation and one on the eastern elevation. The applicant requests a variance to exceed the number of permitted wall signs.
  - d. Lighting: Downcast gooseneck [meets code].
  - e. Relief: Not provided. Staff recommends a condition of approval that the proposed wall signs have a minimum of 1 inch relief
  - f. Colors: Red, yellow and white (total of 3) [meets code].
  - g. Material: The material for all of the proposed signs was not indicated on the plans Staff recommends a condition of approval that the material used for the signs must meet city sign code requirements.
- All three signs will feature the company logo and read “Fresh Food, Made to Order”

**Ground Mounted Sign**

The zoning text states that all ground mounted signage shall be consistent with the specifications found in the 2013 Trust Corp Signage Recommendations Plan. The applicant is requesting to install one ground mounted sign with the specifications listed below. The applicant is meeting a majority of the recommendations of the sign plan however there are some revisions needed, such as adding the 4 inch white tube around the edge of the sign and modifying the gas station product pricing to match the plan recommendations. Staff recommends a condition of approval that the sign design and materials must match the recommendations of the 2013 Trust Corp Signage Recommendations Plan.

- a. Area: 27.81 square feet [meet code]

- b. Location: One perpendicular to Johnstown Road [meets code]
  - c. Lighting: None [meets code].
  - d. Relief: 12.8 feet [meets code]
  - e. Colors: Black, green and white (total of 3) [meets code].
  - f. Materials: Brick with a precast cap [meets code]
- The sign will feature the company logo and provide gas pricing information.

#### **Window Signs**

C.O. 1169.15(e) allows a window sign on up to three first floor windows and each sign may take up a maximum of 25% of the window area. The applicant is requesting a variance to install seven window signs. This request is evaluated under a separate staff report.

- a. Area: 1.60 square feet (12% of the window area) [meets code]
  - b. Lighting: None [meets code].
  - c. Colors: Red, yellow and white (total of 3) [meets code]
  - d. Material: Vinyl [meets code]
- All seven signs will feature the company logo and read “Fresh Food, Made to Order”
4. The applicant is proposing to install a 25 square foot menu board sign, located on the eastern side of the site which is permitted per C.O. 1169.11(c). This sign is meeting all code requirements.
  5. The applicant is also proposing to install signs on the gas station pumps which is permitted per C.O. 1169.11(b). These signs are meeting all code requirements.

#### **IV. ENGINEER’S COMMENTS**

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval.

1. Please refer to Exhibit A. Provide a cover sheet with a signature block and note blocks in accordance with this exhibit and Code Section 1159.07(3) V.
2. Revise the plans so that the northern curb cut aligns with the private drive on the east.
3. In accordance with the Traffic Impact Study, revise the plans to show a 245’ right turn lane where the temporary RI/RO curb cut is shown.
4. Specifications for constructing internal roadways, drive aisle widths and sanitary sewer service will be determined when final engineering plans are submitted.
5. Please revise the bar scale shown on sheet C-111 to 1” = 20’.
6. In accordance with Code Sections 1159.07(3) Z. and AA., provide evidence showing that there are no Ohio EPA or Army Corps of Engineers permit requirements.

#### **V. RECOMMENDATION**

Staff recommends approval of the Sheetz final development plan provided that the Planning Commission finds the proposal meets sufficient basis for approval. The proposal is meeting many of the goals of the 2014 New Albany Strategic Plan such as providing pedestrian access along roadways and into the site and utilizing high quality building materials by incorporating four-sided architecture. The proposed development is in an appropriate location given the context of the surrounding area and will serve as an amenity for the New Albany Business Park. The proposed building and fuel canopy are very well designed and the use is appropriate given the surrounding commercially zoned area. Additionally, the streetscape matches what is established



across the street at the Canini Trust Corp development site in order to achieve a uniform street design along this primary corridor of the city.

Although the site is auto-oriented and must adequately serve large fueling trucks, it appears there is opportunity to reduce the pavement within certain sections of the site without negatively affecting trucks ability to safely navigate the site. With staff's recommended pavement reductions, a larger buffer can be accomplished between this commercial use and the existing residentially used property to the east. This will ensure the site meets the 2014 New Albany Strategic Plan recommendation that landscaping be high quality, enhance the site and contribute to the natural, pastoral setting of New Albany. And that heavy, but appropriate landscaping is necessary to buffer these uses from any adjacent residential areas.

## V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

### **Move to approve final development plan application FDP-16-2020, subject to the following conditions:**

1. The northern curb cut to this site must be revised so that it aligns with the private drive aisle that is being proposed for the overall zoning district and the final design of the re-alignment be subject to staff approval.
2. On-site parking space dimensions be reduced to 9x19.
3. The maneuvering lane widths on the east and west sides of the site must be reduced to 30 feet.
4. The drive thru lane width be reduced to 14 feet in width.
5. The reductions in overall pavement area provide more separation between this site and the adjacent residential property to the east.
6. The comments of the City Landscape Architect must be met, subject to staff approval.
7. The proposed wall sign material meet city sign code requirements.
8. The proposed wall signs must have a minimum of 1 inch of relief.
9. The ground mounted sign design and materials match the recommendations of the 2013 Trust Corp Signage Recommendation Plan.
10. The City Engineer's comments must be addressed subject to staff approval.

### **Approximate Site Location**



Source: Google Maps

404-471-01  
March 3, 2020 (Revised 3.6.20)

To: Christopher Christian  
Planner

From: Ed Ferris, P.E., P.S., City Engineer  
By: Jay Herskowitz, P.E., BCEE

Re: Sheetz -  
Final Development Plan

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We reviewed the FDP in accordance with Code Section 1159.07. Our review comments are as follows:

1. Please refer to Exhibit A. Provide a cover sheet with a signature block and note blocks in accordance with this exhibit and Code Section 1159.07(3) V.
2. Revise the plans so that the northern curb cut aligns with the private drive on the east.
3. In accordance with the Traffic Impact Study, revise the plans to show a 245' right turn lane where the temporary RI/RO curb cut is shown.
4. Specifications for constructing internal roadways, drive aisle widths and sanitary sewer service will be determined when final engineering plans are submitted.
5. Please revise the bar scale shown on sheet C-111 to 1" = 20'.
6. In accordance with Code Sections 1159.07(3) Z. and AA., provide evidence showing that there are no Ohio EPA or Army Corps of Engineers permit requirements.

EPF/JMH

(attachment)

cc: Steve Mayer, Development Services Manager



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## Development Review

project name Sheetz  
prepared for City of New Albany  
date March 06, 2020  
date received February 21, 2020

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## Site Plan

1. Align curb cut/drive along northwestern site with proposed road alignment on adjacent property. See diagram.
2. Reduce parking space typical size to the City of New Albany standard 9'x19' to reduce impervious paving footprint. See diagram.
3. Reduce drive thru order lane to 14' to match drive thru lane along building. See diagram.
4. Reduce 32' wide drive lanes to 30'. 35' wide lanes may remain for truck maneuverability. See diagram.
5. The culmination of pavement reduction of comments 1-4 should be accrued along the northeaster property line creating a +/- 22' wide planting buffer between the edge of pavement of the drive thru lane and the property line adjacent to existing residential. See diagram.
6. Confirm color of composite planks on the dumpster enclosure doors.

## Planting Plan

7. Remove plant material around monument sign and install only turf to match existing precedent signage along Johnstown Road. Relocate sign between street trees (see comment 8). See diagram.
8. A. Street trees should be relocated to the tree lawn between the leisure trail and the four-rail horse fence to avoid overhead power lines and match the existing Johnstown Road streetscape along the Trust Corp site. Selected species should be large deciduous street trees at 3" minimum caliper and should be 30' O.C. per City of New Albany standard. See diagram.  
B. The single-stem ornamental trees shown as street trees should, instead, be used at random plantings under the overhead power lines. This matches the existing Johnstown Road streetscape, but is accommodating to the overhead power line condition. See diagram.  
C. Add 20-25' wide planting buffer along northeastern and northwestern property lines to screen site from adjacent residential lots per City code. This buffer should reach 75% opacity within 5 years and should be a mix of evergreen trees and deciduous trees and placed in random massings. See diagram.  
D. The total required tree count along Johnstown Road including both trees per linear foot and street trees per 30' should remain the same; however, the additional trees not shown in the diagram along the Johnstown Road frontage may be relocated to the northeastern and northwestern property lines for the required residential buffer.
9. Confirm Sea Green Juniper is the selected species. Botanical name on plans is not Sea Green Juniper. Pfitzer Juniper is not an acceptable parking screening species, but Sea Green Juniper is acceptable.

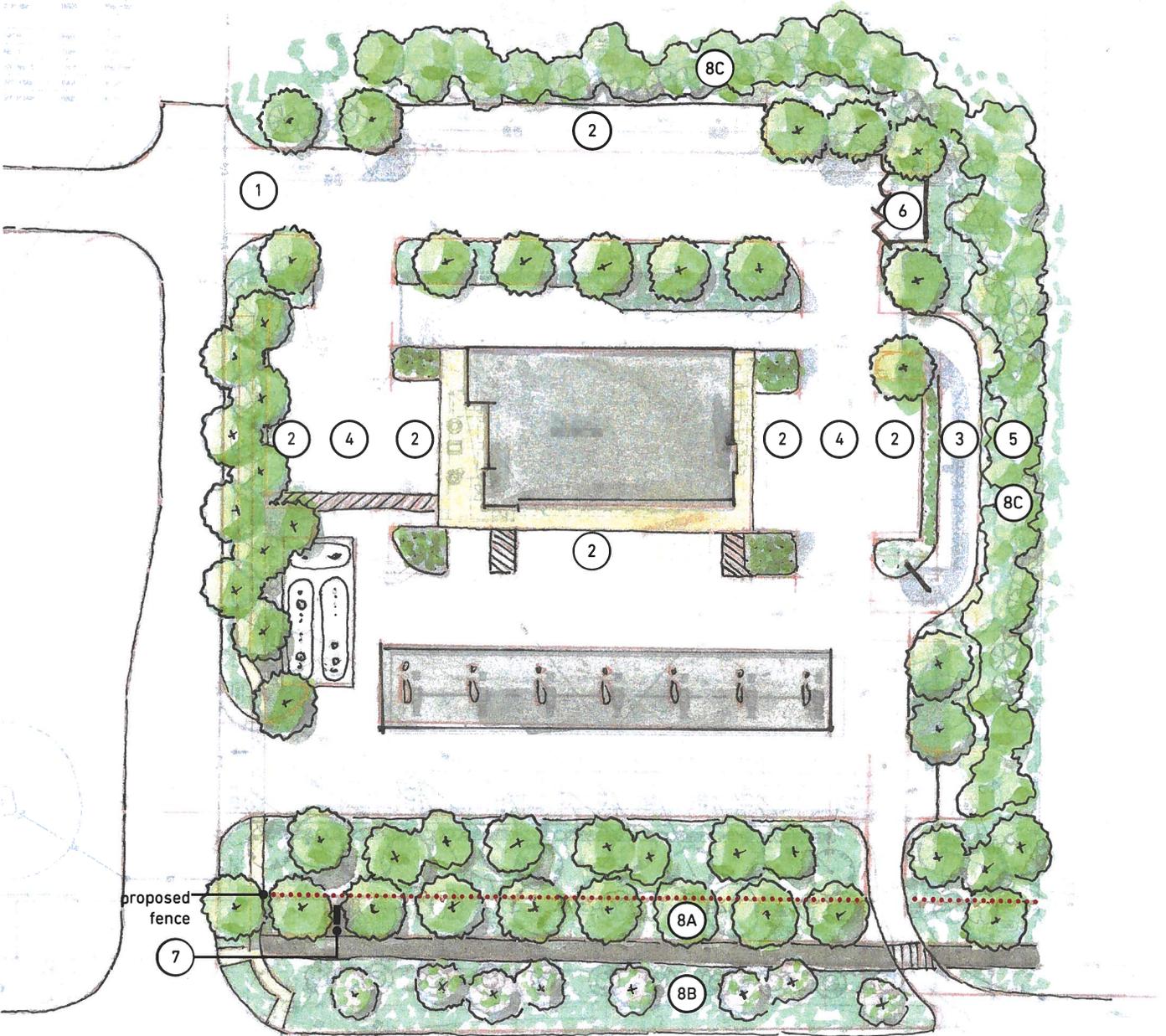
*\*NOTE: The provided diagram is for clarification and design intent purposes only. The diagram should be used to help illustrate the above comments. It is the responsibility of the design consultants to incorporate the above comments as it relates to the site and to adhere to all City requirements and subsequent code. The diagram may not be to scale.*

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## Development Review

project name Sheetz  
prepared for City of New Albany  
date March 06, 2020  
date received February 21, 2020

DATE	BY	DESCRIPTION
02/21/20	MKS	PREPARED
03/06/20	MKS	REVISIONS





**Planning Commission Staff Report  
March 16, 2020 Meeting**

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**SHEETZ  
VARIANCES**

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**LOCATION:** Generally located north of US-62, east of Walton Parkway and south of Bevelhymmer Road (PIDs: 222-000616 and 222-000615).

**APPLICANT:** Morse Road Development LLC

**REQUEST:**

- (A) Variance to C.O. 1169.16(e) to allow seven (7) window signs to be installed on the building where code allows a maximum of three (3).
- (B) Variance to C.O. 1169.16(d) to allow two wall signs to be installed building elevations that do not front onto public roads.
- (C) Variance to C.O. 1169.18(b) to allow two directional signs to be greater than 4 feet in height.
- (D) Variance to zoning text section III(E)(2) to allow propane tanks and an ice box to stored and located outside of the building where the zoning text prohibits the exterior storage of products.
- (E) Variance to zoning text section (III)(B)(3) to allow a temporary right in only vehicular access point to be constructed along Johnstown Road where the zoning text prohibits the curb cut.

**ZONING:** Walton-62 Commerce District I-PUD

**STRATEGIC PLAN:** Retail Commercial

**APPLICATION:** V-18-2020

Review based on: Application materials received February 28, 2020

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*Staff report prepared by Chris Christian, Planner*

**I. REQUEST AND BACKGROUND**

The applicant requests variances in conjunction with the final development plan for a Sheetz gas station and convenience store located north of US-62, east of Walton Parkway and south of Bevelhymmer Road.

The applicant requests the following variances:

- (A) Variance to C.O. 1169.16(e) to allow seven (7) window signs to be installed on the building where code allows a maximum of three (3).
- (B) Variance to C.O. 1169.16(d) to allow two wall signs to be installed on building elevations that do not front public roads.
- (C) Variance to C.O. 1169.18(b) to allow two directional signs to be greater than four (4) feet in height.
- (D) Variance to zoning text section III(E)(2) to allow propane tanks and an ice box to be located outside of the building where the zoning text prohibits the exterior storage of products.
- (E) Variance to zoning text section (III)(B)(3) to allow a temporary, right in only vehicular access point to be constructed along Johnstown Road where the zoning text prohibits the curb cut.

## **II. SITE DESCRIPTION & USE**

The site is generally located north of US-62, east of Walton Parkway and south of Bevelhymer Road. The site is 2.91 acres and is currently undeveloped. The applicant is proposing to build a one story gas station and store. Neighboring uses include commercial to the south, east and west as well as residential to the north.

## **III. EVALUATION**

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

### ***Criteria***

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the “practical difficulties” standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (*Section 1113.06*):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

## **III. RECOMMENDATION**

### ***Considerations and Basis for Decision***

**(A) Variance to C.O. 1169.16(e) to allow seven (7) window signs to be installed on the building where code allows a maximum of three (3).**

The following should be considered in the Commission's decision:

1. The applicant proposes to install seven identical window signs on the building where city code permits a maximum of three.
2. The applicant states that these signs are installed on every glass door that is used as customer entrances in order to help customers identify the closest entry-way into the building.
3. The variance does not appear to be substantial. The site is large with parking on all four sides of the building. The applicant states that the window signs are utilized on every door in order to help customers locate a building entrance which is appropriate in this case.
4. The variance request meets the spirit and intent of the city sign code which is to ensure appropriate sign design. The window signs are 1.6 square feet in size and are appropriately scaled to the overall window area. City sign code permits window signs to take up a maximum of 25% of the window area. The applicant proposes signs that cover 12% of each door's window space.
5. It does not appear that the essential character of the neighborhood would be altered if the variance request is granted. While the applicant is proposing to install four more window signs than what is permitted, the proposed window signs are appropriately scaled in relation to the door windows that they are on and do not appear to add any visual clutter to this site.
6. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

**(B) Variance to C.O. 1169.16(d) to allow two (2) wall signs to be installed on building elevations that do not front public roads.**

The following should be considered in the Commission's decision:

1. The city sign code permits one wall sign for each building frontage. Frontage is defined in code as a portion of a lot that directly abuts a street. Furthermore, streets are defined as a road that is within the right-of-way. The building only abuts a public right-of-way in one location, along Johnstown Road and therefore is permitted to install one wall sign along this elevation.
2. The applicant proposes to install two wall signs on building elevations that do not front onto a public road. A total of three wall signs are proposed by the applicant. The wall sign along Johnstown Road is permitted by code. This variance is to allow one sign to be on the northern elevation and one on the southern elevation which abuts a private access road.
3. The variance does not appear to be substantial. The Canini Trust Corp zoning text as well as the Beech Crossing text, both of which allow for this type of use, permit signs to be installed on building elevations that front onto both public and private roads. The southern building elevation fronts onto a private access road. Further expansion of this use type of use is envisioned going north in the future along with a future road directly north of this site. Given the private access road to the south and planned future commercial development to the north, the signs appear to be appropriately located on the building.
4. The request does not appear to be substantial since they are all appropriately placed on the building. All three signs have the same design and are placed above customer entrances.
5. It does not appear that the essential character of the neighborhood will be altered if the variance request is granted. The adjacent, Canini Trust Corp permits signage to be installed on building elevations that do not front onto a public street. The Marriot,

Hampton Inn, Home2 Suites and the New Albany Ballet Company all have signage installed on building elevations that do not front onto a public street as permitted in the zoning text.

6. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

**(C) Variance to C.O. 1169.18(b) to allow two directional signs to be greater than 4 feet in height.**

The following should be considered in the Commission's decision:

1. The applicant requests a variance to allow a 12 foot tall "Drive Thru Enter Here" and clearance bar directional sign as well as a 13 foot tall "Order Here 24/7" directional sign where codes permits a maximum height of 4 feet for these sign types. These signs will be used to provide direction for drive-thru customers. These signs will be located generally on the eastern side of the site along with a menu board which meets code requirements.
2. The city sign code refines a directional sign as "a sign which locates features within a lot or indicates points of ingress or egress for automobile traffic." The sign code does appear to have contemplated a directions sign for this type of use which appears to be necessary due to the nature of the business.
3. The variance does not appear to be substantial. The signs clearly serve a functional purpose by providing better direction for customers on site. Additionally, while these signs will be taller than what is permitted by code, they will be set back far into the site which will lessen their visual impact from Johnstown Road. These signs will be screened by the required landscape buffer along this property line that achieves 10 feet in height and 75 opacity within 5 years planting.
4. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

**(D) Variance to zoning text section III(E)(2) to allow propane tanks and an ice box to be located outside of the building where the zoning text prohibits the exterior storage of products.**

The following should be considered in the Commission's decision:

1. The applicant is requesting a variance to allow an ice box and propane storage station on the outside of the building. The zoning text does not allow any products to be stored outside of the building.
2. The intent of this requirement is likely to ensure there is not an abundance of "clutter" on the outside of buildings.
3. The variance does not appear to be substantial as the applicant is only proposing to store two products outside the permitted building. Similar variances were granted for both Turkey Hill and Englefield Oil, both of which are similar uses. The variance will not impact existing development, as the ice box and propane storage station will likely generate very little extra visitors compared to the main function of the Sheetz convenience store.
4. It does not appear that the essential character of the neighborhood since they will be screened from Johnstown Road by a wall on both sides. The brick is the same material that is used on the rest of the building so it will not appear out of place. Additionally, it is likely that the required setback landscaping will provide additional screening from Johnstown Road.
5. The variance preserves the "spirit and intent" of the zoning requirement since the product area will be appropriately screened from the primary street (Johnstown Road) and neighboring properties with the screening walls.



6. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

**(E) Variance to zoning text section (III)(B)(3) to allow a temporary, right in only vehicular access point to be constructed on Johnstown Road where the zoning text prohibits the curb cut.**

The following should be considered in the Commission's decision:

1. The applicant is requesting a variance to allow a temporary, right in only access point to be constructed off of Johnstown Road.
2. The zoning text permits a maximum of four vehicular access points within the entire zoning district at certain prescribed areas. The proposed access point at the Sheetz site is not permitted in the text so a variance is required in order for it to be constructed.
3. The variance request does not appear to be substantial since the curb cut is temporary in nature. Overall, access to the entire zoning district is planned to match the curb cuts across the street at the Trust Corp site. The Trust Corp site has shared right-in, right-out access points located min-way between signalized intersections. A future right-in, right-out vehicular access point is planned to be installed along Johnstown Road, just north of this site if and when it redevelops to a commercial use. The Sheetz plans contain a cross access easement to permit access to and from the future right-in, right-out. The applicant has submitted a right-of-way removal agreement that will be recorded with the county. It requires the Sheetz property owner to remove it once the future right in, right out access point is built to the north. Staff recommends a condition of approval that the right of way removal agreement is executed and recorded prior to a permit being issued for the construction of the temporary curb cut.
4. It does not appear that the essential character of the neighborhood will be altered by granting this variance request. The city envisions a future right in, right out access point just north of this site. This temporary right in access point has been reviewed and approved by the city engineer. The applicant is providing a drop lane that will allow turning traffic to slow down before making the turn into the site which will lessen the impact on through traffic along Johnstown Road. Based on existing traffic studies of the Johnstown Road corridor, this drop lane will remain and be re-utilized as a through-lane after the right-in is removed.
5. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

#### **IV. RECOMMENDATION**

Staff recommends approval of the requested variances should the Planning Commission find that the application has sufficient basis for approval. It appears that the variances are appropriate based on the proposed use of the site as a gas station and convenience store. While the applicant will be permitted to install more signage than what is permitted, the signage is designed and scaled appropriately in the relation to the building and the site overall. Therefore it does not appear to be substantial or change the essential character of the area since it does not add any visual clutter to the site. Given the future plans for this area, allowing two wall signs to be installed on elevations that do not abut public right-of-way is appropriate due to the fact that is the site is surrounded by existing and future commercial areas. Additionally the same variances have been approved across the street at the Canini Trust Corp. Staff believes that the request to install the temporary curb cut is not substantial due to the fact that it is temporary and must be removed in the future. Lastly, it does not appear that the granting of the variances will adversely

affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

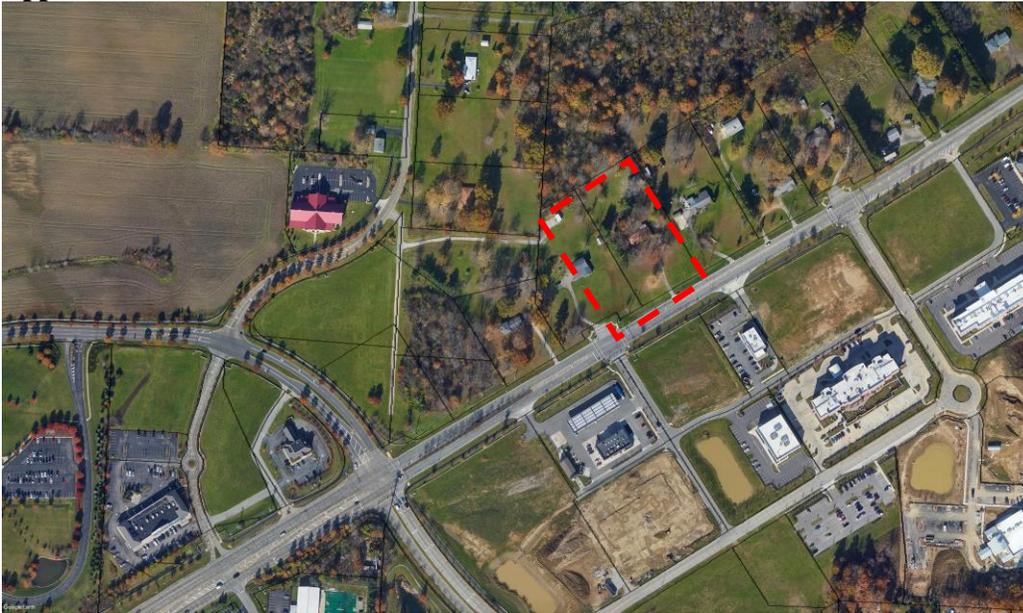
## V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate (The Planning Commission can make one motion for all variances or separate motions for each variance request):

### **Move to approve application V-18-2020.**

1. The right of way removal agreement must be executed and recorded prior to a permit being issued for the construction of the temporary curb cut.

### **Approximate Site Location:**



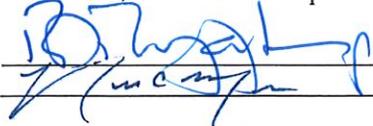
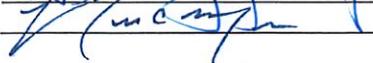
Source: Google Maps



# Community Development Department

## Planning Application

Case # \_\_\_\_\_  
 Board \_\_\_\_\_  
 Mtg. Date \_\_\_\_\_

Project Information	Site Address <u>9887 Johnstown Rd, New Albany OH 43054</u>
	Parcel Numbers <u>222-000616 &amp; 222-000615</u>
	Acres <u>2.913</u> # of lots created <u>1</u>
Contacts	<p>Property Owner's Name: <u>The New Albany Company, LLC</u></p> <p>Address: <u>8000 Walton Parkway Suite 120</u></p> <p>City, State, Zip: <u>New Albany, OH 43054</u></p> <p>Phone number: <u>614-939-8040</u> Fax: <u>614-939-8325</u></p> <p>Email: <u>droggenkamp@newalbanycompany.com</u></p>
	<p>Applicant's Name: <u>Morse Road Development, LLC</u></p> <p>Address: <u>4270 Morse Road</u></p> <p>City, State, Zip: <u>Columbus, OH 43230</u></p> <p>Phone number: <u>614-342-6642</u> Fax: _____</p> <p>Email: <u>Herch@SkillkenGold.com</u></p>
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner <u></u> Date: <u>2-27-20</u></p> <p>Signature of Applicant <u></u> Date: <u>2-27-20</u></p>

Fees & Submittal Information

Appeal		250.00	
Certificate of Appropriateness			
	ARB - single and two family residential	100.00	
	ARB - All other residential or commercial	300.00	
	ARB - Signage	75.00	
Conditional Use		600.00	
Development Plan - Preliminary PUD or Comprehensive			
	Planning fee	First 10 acres	750.00
		Each additional 5 acres or part thereof	50.00 / each
	Engineering fee	1-25 lots	155.00 / each
		Minimum fee	1000.00
	Engineering fee	26 - 50 lots	3875.00
		Each additional lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each additional lot over 51	50.00 / each
Development Plan - Final PUD			
	Planning fee	First 10 acres	650.00
		Each additional 5 acres or part thereof	50.00
	Engineering fee	1-25 lots	155.00 / each
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Development Plan - Non-PUD		300.00	
Development Plan / Text Amendment		600.00	
Plat - Road Preliminary			
	Planning fee		350.00
	Engineering fee	no lots on either side of street	1.00 / LF
		lots on one side of street	.50 / LF
		Minimum fee	1,000.00
Plat - Road Final			
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	Engineering fee	no lots on either side of street	1.00 / LF
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		Minimum fee	1,000.00
Plat - Subdivision Preliminary			
	Planning		650.00
		Plus each lot	50.00 / each
	Engineering fee	1-25 lots	155.00 / each
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Fees & Submittal Requirements

Plat - Subdivision Final			
Planning		650.00	
	Plus each lot	15.00 / each	
Engineering fee	1-25 lots		
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Engineering fee	Over 51 lots	5750.00	
	Each lot over 51	50.00 / each	
Lot Changes		200.00	
Minor Commercial Subdivision		200.00	X
Vacation (Street or Easement)		1200.00	
Variance			
	Non-single family, commercial, subdivision, multiple properties	600.00	
	Single Family residence	250.00	
	In conjunction with Certification of Appropriateness	100.00	
Extension Request		0.00	
Zoning			
	Rezoning - First 10 acres	700.00	
	Each additional 5 acres or part thereof	50.00 / each	
	Rezoning to Rocky Fork Blacklick Accord	250.00	
	Text Modification	600.00	
Easement Encroachment		800.00	

# SKILKEN | GOLD

## Real Estate Development

Mr. Chris Christian  
Planner  
City of New Albany  
99 West Main St  
New Albany, OH 43054

Sheetz Final Development Plan Preliminary Review  
Supplemental Narrative  
February 28<sup>th</sup>, 2020

Mr. Christian,

Please find the attached final development plan application for the proposed Sheetz, the first development within of the Walton-62 Commerce District. This letter provides clarification of several items identified by staff in the initial submission.

- Per Walton-62 Commerce District section (III)(B)(1), parking requirements follow Codified Ordinance 1167 unless modified as part of the final development plan. The proposed project meets and exceeds the 41 parking space requirement per code by providing 54 spaces. The Sheetz standard parking plan provides three sided parking surrounding the building for customer safety. Approximately 40-45 spaces are typically provided for customers, based on site configuration and topography, plus 8-10 additional spaces for staff. The depth of this site allows for the rear row of parking, which will be used for staff parking.
- All rooftop mechanical equipment will be fully screened, the Sheetz prototype has been modified to increase the parapet height to accomplish this feature. Roof line elevation views will be provided at the March 16<sup>th</sup> meeting but elevations showing no projections are accurate in the renderings provided here.
- The Sheetz parking stall standard is 10 x 20 to accommodate larger vehicles that are typical of their frequently most loyal clientele – owners of larger sport utility vehicles and pick-up trucks.
- The Sheetz design standard for interior drive aisles is 32'-35', based on their experience that this width reduces the potential for rear-end accidents when cars are exiting parking stalls. It is also noted the Turkey Hill in close proximity to the proposed project has a 30' drive aisle and applicant is proposing only 2' more than this existing condition. Lastly, truck autoturn exhibits have been provided demonstrating the need for these widths to accommodate store and fuel deliveries.
- Dumpster enclosure plans were not able to be updated but 1" composite decking (Trex or alternate) will replace the depicted Vinyl planks. This will be corrected by the March 16<sup>th</sup> meeting.
- Applicant affirms that less than 50 sf of windows have signage panels, far less than the 25% maximum per 1169.15(e) given the significant amount of fenestration.
- Applicant is showing downcast gooseneck light fixtures for the proposed wall signage

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## Real Estate Development

- Landscaping buffer revisions have been made per 1171.05(c) with exception of areas where drive-thru lane makes meeting this objective infeasible.
- Landscaping revisions have been made to meet parking lot hedgerow, street trees, and interior landscaping percentage requirements.

Please do not hesitate to call 614-342-6642 or email [herch@skilkengold.com](mailto:herch@skilkengold.com) with any questions,



Ryan Herchenroether

on behalf of Morse Road Development, LLC



# Community Development Department

## Planning Application

Case # \_\_\_\_\_  
 Board \_\_\_\_\_  
 Mtg. Date \_\_\_\_\_

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Fees & Submittal Requirements

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	Each additional 5 acres or part thereof	50.00 / each	_____
	Rezoning to Rocky Fork Blacklick Accord	250.00	_____
	Text Modification	600.00	_____
Easement Encroachment		800.00	_____

# SKILKEN | GOLD

Real Estate Development

Mr. Chris Christian  
Planner  
City of New Albany  
99 West Main St  
New Albany, OH 43054

Sheetz Final Development Plan Preliminary Review  
Resubmittal Response: Variances

February 28<sup>th</sup>, 2020

Mr. Christian,

Please accept the following letter as a variance justification summary. Applicant respectfully requests consideration of the following variances, as further detailed below, to permit additional window and wall signs, outdoor product storage, additional access (curb cut), and allow additional height of directional signage. Applicant's proposed use for the variances is a 24-hour restaurant and convenience store with accessory gas pumps. Applicant affirms that the variances requested herein are the minimum relief possible for the proposed development and further asserts:

- (a) That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- (b) That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- (c) That the special conditions and circumstances do not result from the action of the applicant.
- (d) That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- (e) That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
- (f) Certified copy of the Board's decision shall be transmitted to the applicant, or appellant, and a copy shall be filed with the Community Development Department.

Interpretation of the variances are on the following pages.

Please do not hesitate to call 614-342-6642 or email [herch@skilkengold.com](mailto:herch@skilkengold.com) with any questions,



Ryan Herchenroether

on behalf of Morse Road Development, LLC

# SKILKEN | GOLD

## Real Estate Development

### **Variance requested to allow seven window signs to be installed on the building where city code permits a maximum of three, per 1169.15(e)**

Applicant requests seven (7) modest door panels, measuring only 6.88 sf each or 48.16 sf combined, at the main and side entry doors. The main vestibule entry has two (2) doors facing the south and two (2) doors facing east for a total of four (4) doors each having with its own Sheetz logo panel. Similarly, the side entry doors, one (1) single door facing south with one (1) panel, and one on the north elevation with two (2) doors collectively have three (3) panels. Such door panels are a standard of the Sheetz prototype and help direct clientele to the building's closest entry. There are no other signs in the proposed building's windows.

### **Variance requested to allow two wall signs to be installed on the building that do not face a public right-of-way, per 1169.16(d)**

Applicant's sign package includes two Sheetz branded signs measuring 21.65 sf each, mounted above the entry doors on the northeastern and southwestern building elevations. The southwestern exposure faces an access drive that will be installed to serve parcels in Subareas A and B of the Walton-62 Commerce District. Applicant is the first development within this zoning district and it is applicant's understanding this access drive will ultimately become a public right-of-way. Therefore the southwestern facing sign could be interpreted as being consistent with the frontage requirement of 1169.16(d). If the development pattern continues along the western side Johnstown Rd as it has along the eastern frontage, the northeastern elevation sign could result in a similar condition in the future but there are no known plans for the adjacent property and as of today this signage requires a variance for relief.

### **Variance requested for products to be stored outside of building (ice box and propane tanks) per Walton-62 Commerce District (III)(E)(2)**

Exterior storage of materials, supplies, equipment, or products is prohibited in Subareas A and B of the Walton-62 Commerce District Applicant requests relief from this prohibition to offer bagged iced and propane tank storage along the northern façade of the building. To minimize the visual impact of this proposed exterior product storage, wing walls extend approximately four feet in width preventing any view of these products from Johnstown Rd. This concealed location is consistent with a similar use by a competitor immediately across Johnstown Rd and would not adversely affect the other occupants of the zoning district or visitors of Johnstown Rd generally.

### **Variance – Temporary Right-In / Right-Out drive along Johnstown Road per Walton-62 Commerce District (III)(B)(3)**

Access to the Walton-62 Commerce District was limited to four proposed access points generally described as two (2) along Johnstown Rd, one (1) along Walton Parkway, and one (1) along

# SKILKEN | GOLD

## Real Estate Development

Bevelhymer Rd. However, the zoning text does note that final proposed access points will be determined at the time of final development plan approval.

The applicant's request is to temporarily add a third access point along Johnstown Rd for right-in service only, at the northeastern extent of the zoning district. This right-in drive will lessen southbound traffic flow through the signalized intersection at the (unnamed) Turkey Hill access road and provide the most convenient route for the clientele of the proposed Sheetz. It will be temporary in nature and will be removed at the applicant's cost when the adjacent parcel to the northeast develops. Per directive from the City, applicant is willing to enter into an agreement and record said agreement to memorialize its commitment to demolish this temporary access and associated deceleration lane.

It is expected the development pattern will continue along Johnstown Rd and future access will align with the existing conditions across the street, namely that a new right-in right-out access point would be provided by others directly across from the existing Dairy Queen right-in right-out. Applicant has planned for an interior access road connection to the adjacent parcel once this new right-in right-out is constructed by others.

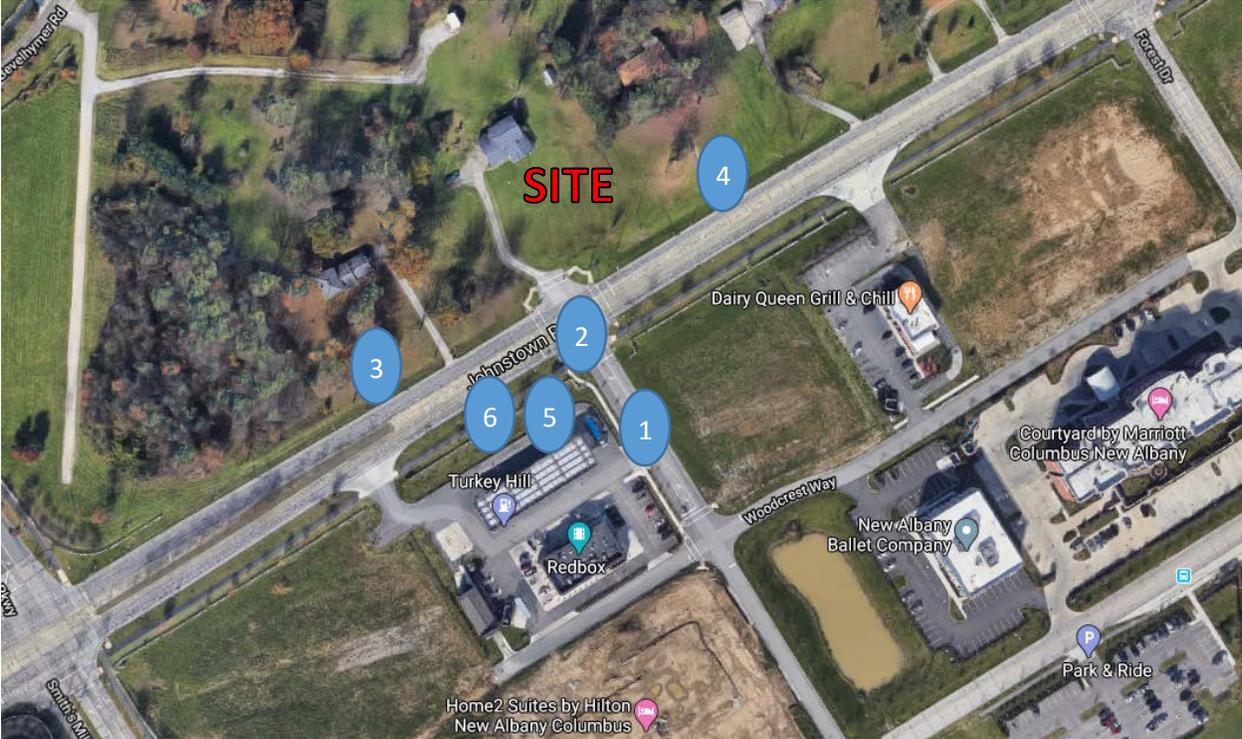
### **Variance – Allow 2 directional signs that exceed the maximum 3 foot tall height requirement, per 1169.18(b)**

As the applicant understands it, this variance relates to the clearance bar and order point station of the drive through operation, which are depicted on drawing DT-1. The "Drive-Thru Enter Here" directional sign is 12' in height, slightly above a smaller Clearance Bar at 11', which is a safety mechanism to ensure no trucks or larger vehicles with rooftop obstructions will conflict with the drive through window at the building. The touch pad kiosk of the order point structure is 4' 6" tall, which exceeds the 3' maximum. This elevation is necessary however to allow customers in sport utility vehicles, trucks, and larger vehicles access to the ordering kiosk from their vehicle, much in the manner of an ATM.

Skilken Gold Development (Morse Road Development, LLC)

9887 Johnstown Rd

Sheetz site (Sub Area B of Walton 62 Commerce District)



- 1 View of Site to West from access drive north of Turkey Hill
- 2 View west from Johnstown Rd signal
- 3 View of adjacent property southwest of Project Site
- 4 View of frontage northeast of Project Site
- 5 View of Turkey Hill canopy and store
- 6 View of fencing, monument sign, and leisure trail

1



2



3



4

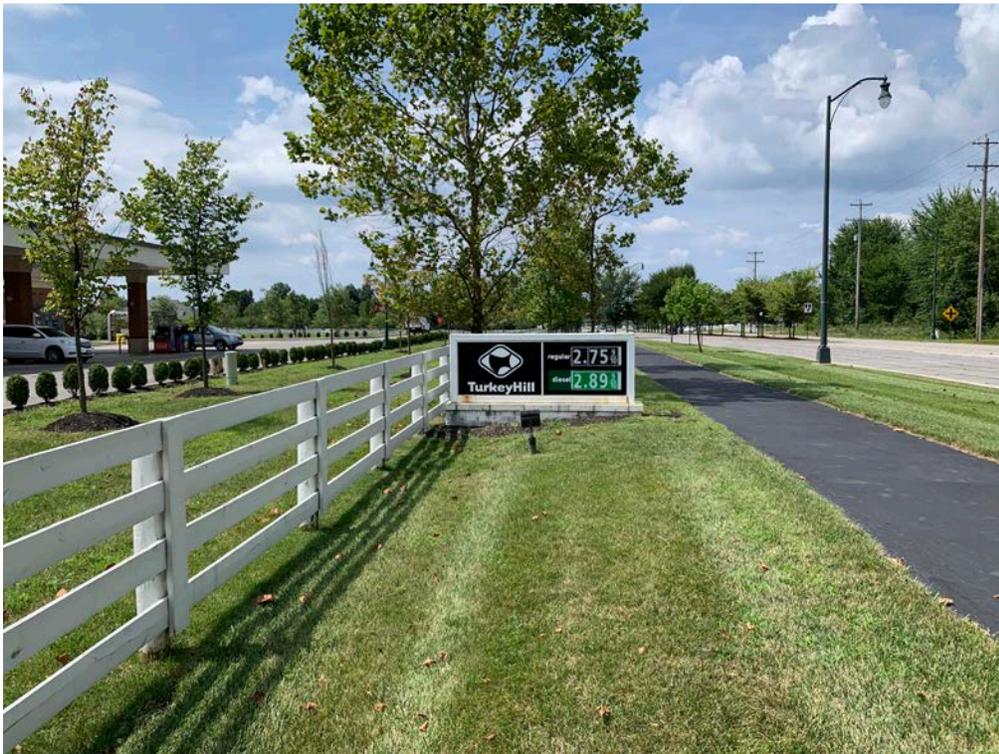




5



6





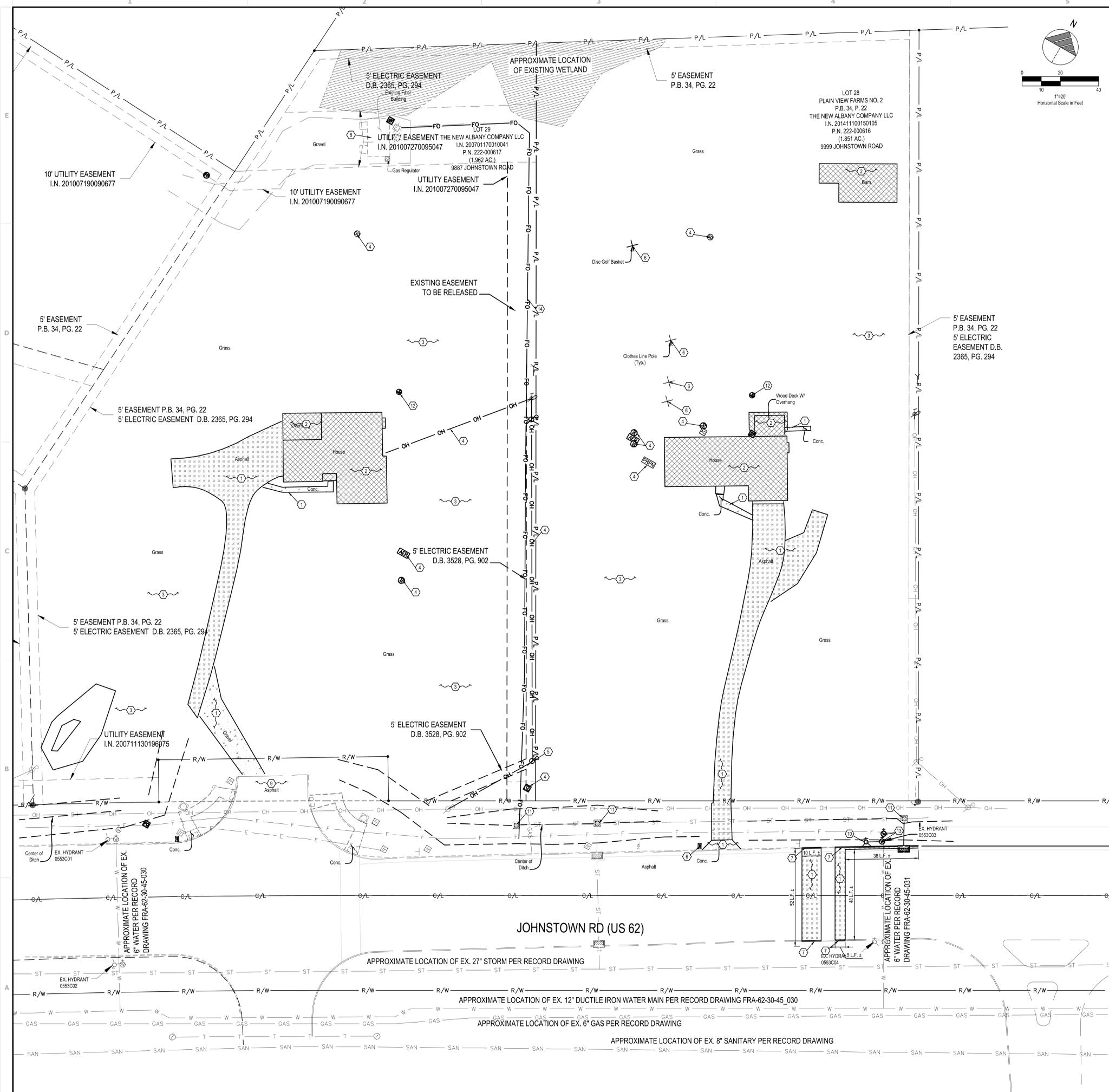
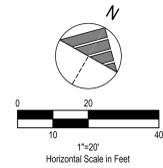
**DEMOLITION KEYNOTES**

- 1 EXISTING PAVEMENT TO BE REMOVED.
- 2 EXISTING BUILDING/STRUCTURE TO BE REMOVED.
- 3 EXISTING LANDSCAPING (INCLUDING BUSHES, TREES, ETC.) TO BE REMOVED.
- 4 EXISTING UTILITIES TO BE REMOVED
- 5 EXISTING POWER POLE TO BE REMOVED.
- 6 EXISTING ITEM TO BE REMOVED.
- 7 EXISTING CURB TO BE REMOVED.
- 8 EXISTING FIBER OPTIC BUILDING TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 9 EXISTING PAVEMENT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 10 EXISTING FIRE HYDRANT AND VALVES TO BE RELOCATED.
- 11 EXISTING RIM TO BE ADJUSTED TO GRADE.
- 12 EXISTING WATER WELL TO BE FILLED AND PLUGGED.
- 13 EXISTING WATER VALVES TO BE ADJUSTED TO GRADE.
- 14 EXISTING FIBER OPTIC LINE TO BE REROUTED.

**DEMOLITION NOTE:**  
 ALL EXISTING SITE AND SURROUNDING FEATURES SUCH AS UTILITIES, PAVEMENT, CURB, LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE, OR ARE REQUIRED TO BE MODIFIED OR REMOVED FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.

**LEGEND**  
 (SEE SHEET C-011 FOR GENERAL LEGEND)

-  EXISTING ASPHALT TO BE REMOVED
-  EXISTING CONCRETE TO BE REMOVED
-  EXISTING BUILDING/STRUCTURE TO BE REMOVED
-  DENOTES LIMITS OF SAWCUT
-  DEMOLITION KEYNOTE



REV.	DATE	DESCRIPTION
1	2/28/2020	EDP APPLICATION

**SHEETZ STORE**  
 9887 U.S. 62  
 NEW ALBANY, OH 43054  
**DEMOLITION PLAN**

ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
RECORD	-
PROJECT MANAGER	DESIGNER
-	-

JOB NO.  
**2019059.03**

**C-101**

Drawing Name: C:\2019\2019059\03\_Sheetz\_New Albany\_OH\dwg\2019059\_03\_CDs.dwg  
 February 27, 2020 3:55 PM - krombau

**CONSTRUCTION KEYNOTES**

- 1) PROPOSED FIBER MESH CONCRETE PAVEMENT PER SHEET C-501.
- 2) PROPOSED P.C.C. CURB PER SHEET C-501.
- 3) PROPOSED FIBER MESH SIDEWALK PER SHEET C-504.
- 4) PROPOSED LANDSCAPE AREA. SEE SHEET L-101 FOR ADDITIONAL INFORMATION.
- 5) PROPOSED STOREFRONT BRICK PAVER SIDEWALK. SEE ARCHITECTURAL DRAWINGS FOR DETAILS AND INSTALLATION SPECIFICATIONS. TOP OF WALK TO MATCH TOP OF PAVEMENT WHERE APPLICABLE. REFER TO GRADING PLAN.
- 6) PROPOSED PAINTED TRANSVERSE STRIPING PER SHEET C-504.
- 7) PROPOSED PAINTED 4" WIDE YELLOW SOLID STRIPE.
- 8) PROPOSED DIRECTIONAL PAVEMENT MARKINGS PER SHEET C-504.
- 9) PROPOSED PAINTED ADA SYMBOL WHITE ON BLUE BACKGROUND PER SHEET C-504.
- 10) PROPOSED 4"x4" BUMPER POST PER SHEET SPECIFICATIONS AND DETAIL PER SHEET C-501.
- 11) PROPOSED ADA PARKING SIGN, PER SHEET C-504.
- 12) PROPOSED TRASH ENCLOSURE PER SHEET C-502.
- 13) PROPOSED AWNINGS. SEE ARCHITECTURAL DRAWINGS.
- 14) PROPOSED OUTDOOR SEATING (2 TABLES W/ 2 CHAIRS, 3 TABLES W/4 CHAIRS AND 1 BENCH WITH 4 SEATS), SEE ARCHITECTURAL DRAWINGS.
- 15) PROPOSED ICE MERCHANTSERS (TYP. OF 2).
- 16) PROPOSED DECORATIVE ALUMINIZED FENCE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 17) PROPOSED GAS ISLANDS WITH DISPENSERS. SEE PETROLEUM DRAWINGS FOR DETAILS.
- 18) PROPOSED UNDERGROUND FUEL TANKS (TYP. OF 3). SEE PETROLEUM DRAWINGS FOR DETAILS.
- 19) PROPOSED 2000 GALLON GREASE INTERCEPTOR PER SHEET C-502.
- 20) PROPOSED CURB INLET SEE UTILITY PLAN FOR DESIGN INFORMATION.
- 21) PROPOSED DRIVE-THRU ORDER BOARD AND CANOPY PER SHEET SIGNAGE PACKAGE.
- 22) PROPOSED DRIVE-THRU CLEARANCE BAR PER SHEET SIGNAGE PACKAGE.
- 23) PROPOSED SHEETZ SIGN. COORDINATE LOCATION WITH SHEETZ CONSTRUCTION MANAGER AND SHEETZ SIGNAGE PACKAGE.
- 24) PROPOSED 6" BOLLARD PER SHEET C-501.
- 25) PROPOSED PROPANE TANK PAD. 9'4"x6'-0" WITH (3) 6" DIA. BOLLARDS PER SHEET C-501.
- 26) PROPOSED STOREFRONT CURB TAPER FROM 6" TO 0", PROPOSED SIDEWALK TO MATCH PROPOSED PAVEMENT SEE SHEET C-504.
- 27) PROPOSED ELECTRICAL TRANSFORMER. COORDINATE PAD SIZE AND LOCATION WITH UTILITY COMPANY.
- 28) PROPOSED ASPHALT PAVEMENT SEE SHEET C-501.
- 29) PROPOSED R5-1 (DO NOT ENTER/R5-2 (NO TRUCKS)) SIGN PER ODOT SPECIFICATIONS. SIGN POST SHALL BE EMBEDDED 3/4" IN 12" DIA. CONCRETE FOOTING 4'-0" DEEP.
- 30) PROPOSED STORM MANHOLE SEE SHEET C-131 FOR DESIGN INFORMATION.
- 31) PROPOSED PARKING LOT LIGHTS PER MANUFACTURER SPECIFICATIONS. SEE SHEET C-501 FOR FOUNDATION DETAIL AND PHOTOMETRIC PLAN (SHEET C-701) PRIOR TO ORDERING.
- 32) PROPOSED UTILITY STRUCTURE. SEE SHEET C-131 FOR DESIGN INFORMATION.
- 33) PROPOSED DRIVE-THRU WAITING ZONE. SEE SHEET DRIVE-THRU SIGNAGE PLAN FOR PAVEMENT MARKINGS.
- 34) PROPOSED PROPOSED 20" WIDE STOP BAR (WHITE PER ODOT 38.16).
- 35) PROPOSED DO NOT ENTER/DO NOT BLOCK INTERSECTION DIRECTIONAL SIGN. SEE SHEET DRIVE-THRU SIGNAGE PLAN.
- 36) PROPOSED ENTRANCE DOOR MAPES CANOPIES. SEE ARCHITECTURAL DRAWINGS.
- 37) PROPOSED ADA RAMP PER DETAIL. SEE SHEET C-504.
- 38) PROPOSED CROSSWALK STRIPING SEE SHEET C-504.
- 39) PROPOSED 2" CURB TAPER FROM 6" TO 0" PER SHEET C-504.
- 40) PROPOSED 30' X 12' LOADING SPACE.
- 41) PROPOSED BIKE PARKING ZONE (3 SPACES) SEE DETAIL A1 THIS SHEET.
- 42) PROPOSED FOUR RAIL WHITE HORSE FENCE PER CITY OF NEW ALBANY SPECIFICATIONS.
- 43) PROPOSED RELOCATED FIRE HYDRANT.
- 44) PROPOSED NEW ALBANY ASPHALT WALKING PATH.
- 45) PROPOSED FLAG POLE WITH GROUND MOUNTED LIGHTS PER SHEET C-501 (VERIFY LOCATION WITH SHEETZ CONSTRUCTION PROJECT MANAGER PRIOR TO ORDERING AND INSTALLATION).
- 46) PROPOSED 4' X 4' PAD WITH AIR MACHINE. SEE SHEET C-501 CONTRACTOR SHALL CONTACT SHEETZ CONSTRUCTION PROJECT MANAGER PRIOR TO INSTALLATION TO VERIFY INSTALLATION OF PAD AND ITEMS ON PAD.
- 47) PROPOSED VENT PAD. PRIOR TO INSTALLATION, CONTRACTOR SHALL CONTACT SHEETZ CONSTRUCTION PROJECT MANAGER TO COORDINATE ITEMS ON THE PAD.

BUILDING/CANOPY/DUMPSTER SETBACKS				
	REQUIRED	PROVIDED (BUILDING)	PROVIDED (CANOPY)	PROVIDED (DUMPSTER)
FRONT: U.S. 62	50'	173.5'	89.0'	277.0'
REAR: NORTH	30'	158.4'	276.4'	98.0'
SIDE: EAST	30'	108.1'	76.2'	30.0'
SIDE: WEST	0'	101.2'	50.3'	272.0'

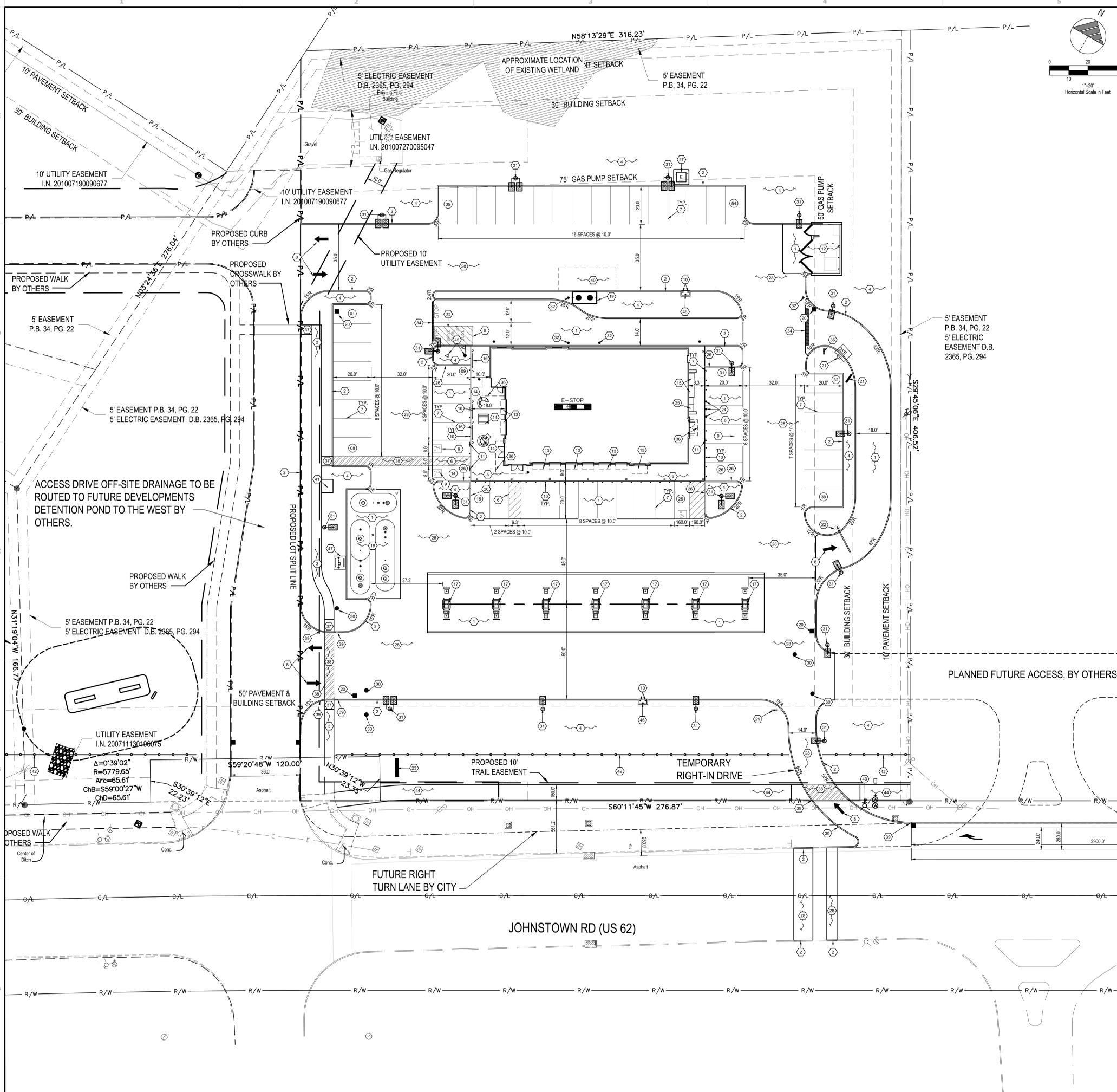
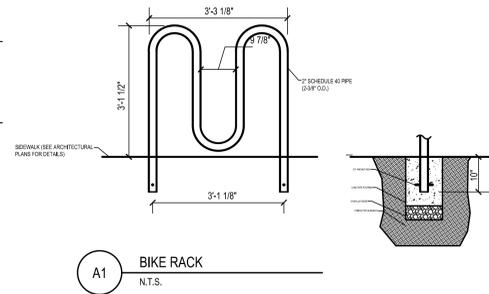
  

PARKING SETBACKS				
	REQUIRED	PROVIDED	PARKING SPACES	
			REQUIRED	PROVIDED
FRONT: U.S. 62	50'	54.0'	NUMBER OF SPACES	41
REAR: NORTH	10'	72.5'	PARKING REQUIREMENTS	
SIDE: EAST	10'	10.0'	1 SPACE PER 200 SF + 1 PER 2 DISPENSING UNIT + 1 PER EMPLOYEE	
SIDE: WEST	0'	15.7'	THEREFORE 607/200+72+74+1 SPACES REQUIRED	

LAND USE DATA		
	PERCENTAGE OF SITE AREA	AREA PROVIDED
BUILDING	4.8%	0.14 AC.
PAVEMENT/IMPERVIOUS LANDSCAPING	52.3%	1.54 AC.
TOTAL	100%	2.91 AC.

CURRENT ZONING: PUD (PLANNED UNIT DEVELOPMENT)



REV.	DATE	DESCRIPTION
2/28/2020	2/28/2020	PDF APPLICATION

**SHEETZ STORE**  
 9887 U.S. 62  
 NEW ALBANY, OH 43054

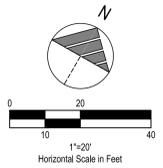
**SITE PLAN**

ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
RECORD	-

PROJECT MANAGER: \_\_\_\_\_  
 DESIGNER: \_\_\_\_\_

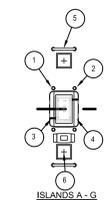
JOB NO.  
**2019059.03**

**C-111**

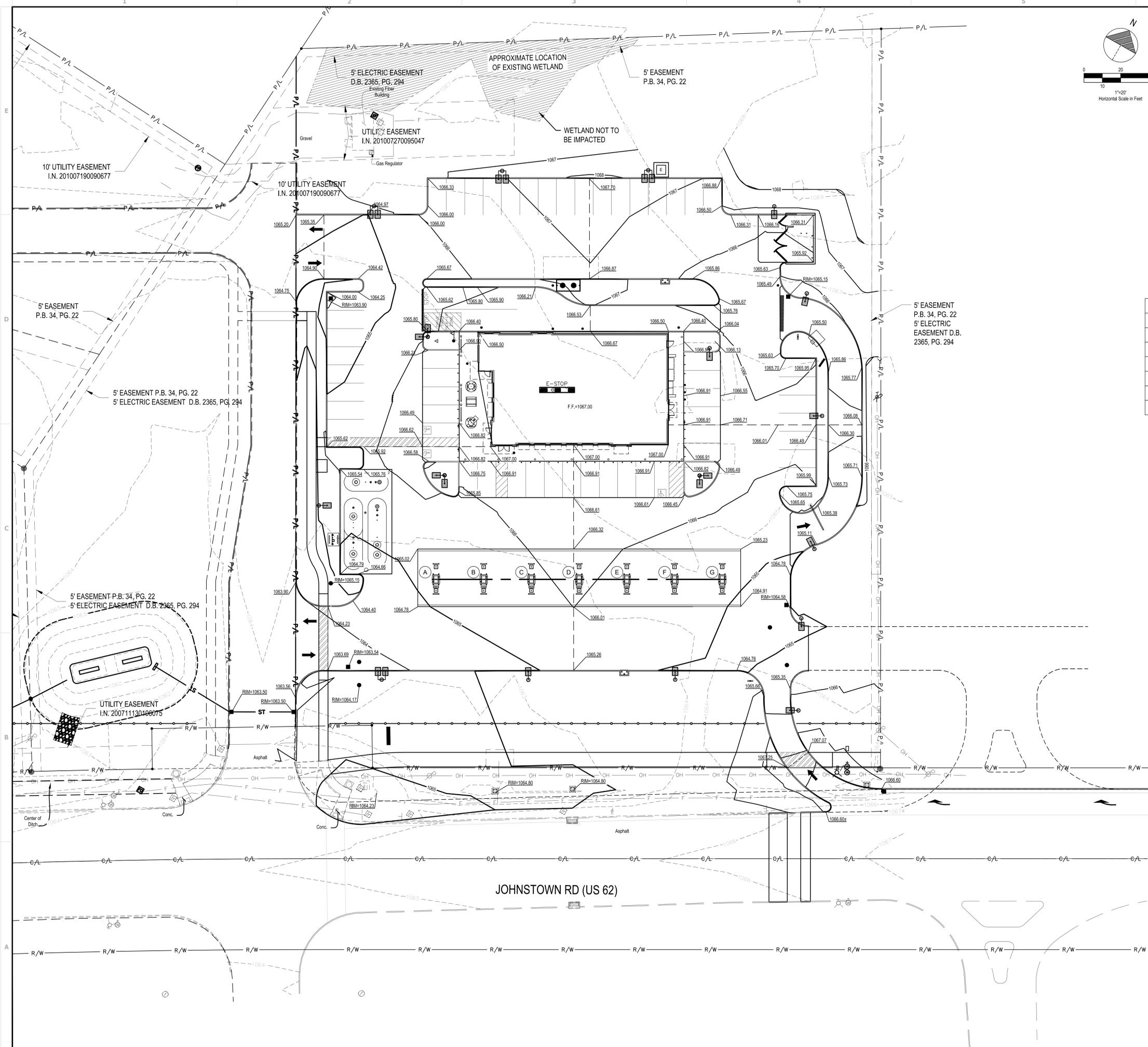


- LEGEND**  
 (SEE SHEET C-001 FOR GENERAL LEGEND)
- 0.00' PROPOSED CONTOUR
  - EXISTING SPOT ELEVATION
  - PROPOSED ELEVATION @ FINISHED GROUND ELEVATION
  - T=1000.00 TOP OF CURB ELEVATION
  - B=1000.00 BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
  - MATCH EXISTING ELEVATION
  - PROPOSED DRAINAGE SLOPE & DIRECTION
  - PROPOSED ELEVATION KEYNOTE

**SPOT ELEVATIONS**



ISLAND	1	2	3	4	5	6
A	T=1065.60 B=1065.18	T=1065.60 B=1065.23	T=1065.60 B=1065.14	T=1065.60 B=1065.18	1065.26	1065.11
B	T=1065.91 B=1065.50	T=1065.91 B=1065.54	T=1065.91 B=1065.45	T=1065.91 B=1065.49	1065.57	1065.42
C	T=1066.22 B=1065.81	T=1066.22 B=1065.85	T=1066.22 B=1065.76	T=1066.22 B=1065.80	1065.89	1065.73
D	T=1066.53 B=1066.12	T=1066.53 B=1066.12	T=1066.53 B=1066.07	T=1066.53 B=1066.07	1066.20	1066.05
E	T=1066.22 B=1065.85	T=1066.22 B=1065.81	T=1066.22 B=1065.80	T=1066.22 B=1065.76	1065.89	1065.73
F	T=1065.91 B=1065.54	T=1065.91 B=1065.50	T=1065.91 B=1065.49	T=1065.91 B=1065.45	1065.57	1065.42
G	T=1065.60 B=1065.23	T=1065.60 B=1065.18	T=1065.60 B=1065.18	T=1065.60 B=1065.14	1065.26	1065.11



REV.	DATE	DESCRIPTION
2/28/2020	FDP APPLICATION	

**SHEETZ STORE**  
 9887 U.S. 62  
 NEW ALBANY, OH 43054

**GRADING PLAN**

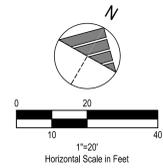
ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
RECORD	-
PROJECT MANAGER	DESIGNER
-	-

JOB NO.  
**2019059.03**

**C-121**

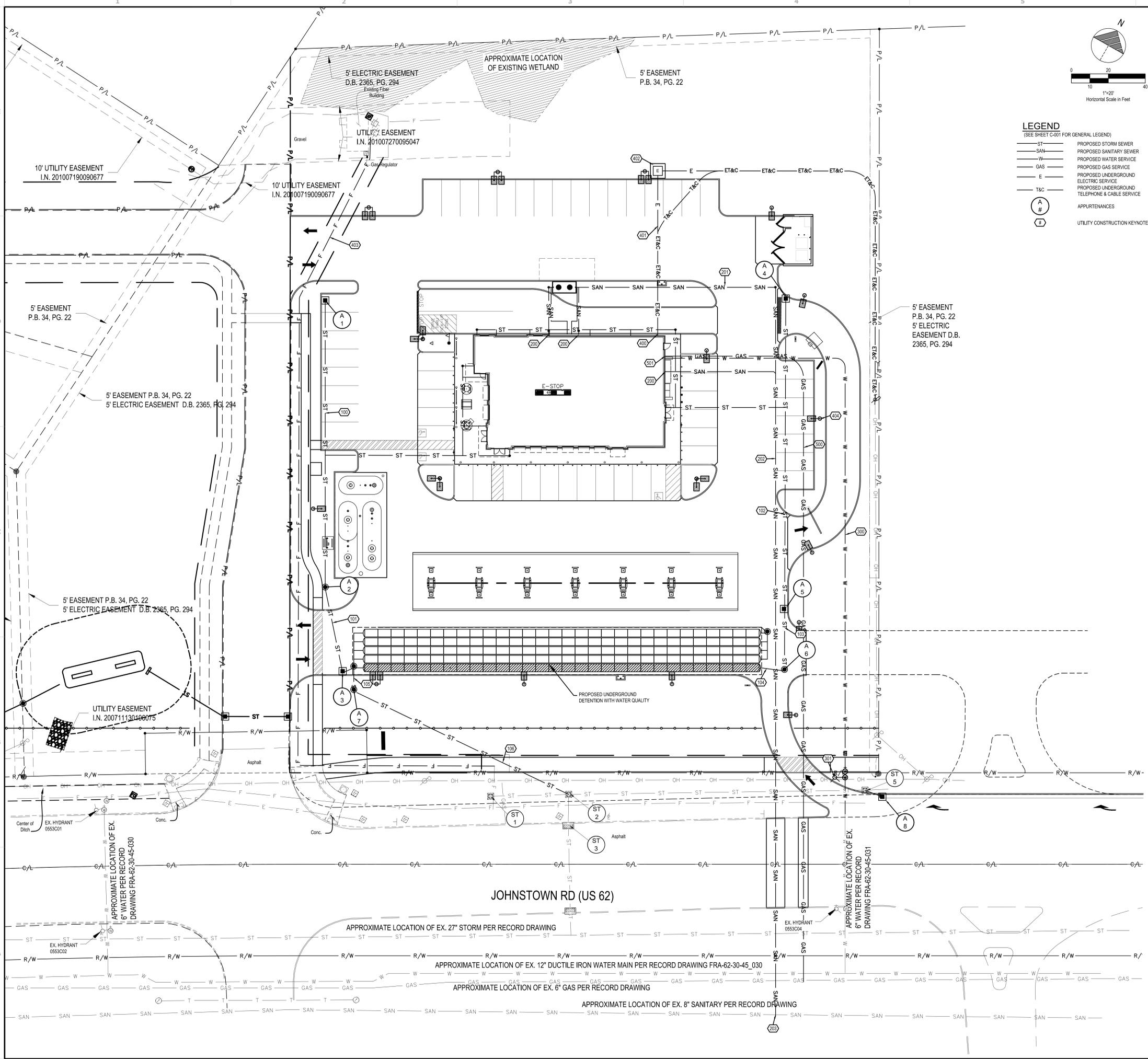
**UTILITY CONSTRUCTION KEYNOTES**

- STORM**
- 102 PROPOSED 150 L.F. OF 12" HDPE STORM SEWER @ 1.00%
  - 103 PROPOSED 47 L.F. OF 12" HDPE STORM SEWER @ 1.00%
  - 104 PROPOSED 175 L.F. OF 12" HDPE STORM SEWER @ 1.00%
  - 105 PROPOSED 33 L.F. OF 12" HDPE STORM SEWER @ 1.00%
  - 106 PROPOSED 21 L.F. OF 12" HDPE STORM SEWER @ 1.00%
  - 107 PROPOSED 13 L.F. OF 12" HDPE STORM SEWER @ 0.30%
  - 108 PROPOSED 127 L.F. OF 12" HDPE STORM SEWER @ 0.30%
- SANITARY**
- 200 PROPOSED SANITARY CONNECTION, INV.=1062.83.
  - 201 PROPOSED 105 L.F. OF 6" PVC
  - 202 PROPOSED 399 L.F. OF 6" PVC
  - 203 PROPOSED SANITARY CONNECTION TO MAIN ASSUMED INV.=1053.08
- WATER**
- 300 PROPOSED 2" TYPE K COPPER WATER SERVICE
  - 301 PROPOSED RELOCATED FIRE HYDRANT LOCATION
- ELECTRIC AND COMMUNICATIONS**
- 400 PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. ELECTRIC SERVICE LINE TO BE COORDINATED WITH THE ELECTRIC COMPANY.
  - 401 PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION LINES
  - 402 PROPOSED PAD MOUNTED TRANSFORMER PER UTILITY COMPANY REQUIREMENTS. SEE SHEET C-506 FOR ELECTRIC SERVICE SPECIFICATIONS.
  - 403 PROPOSED REROUTED FIBER OPTIC LINE.
  - 404 PROPOSED PRIMARY DROP FROM EXISTING POWER POLE.
- GAS**
- 500 PROPOSED GAS SERVICE BY GAS COMPANY.
  - 501 PROPOSED GAS METER BY GAS COMPANY.



**LEGEND**

- (SEE SHEET C-001 FOR GENERAL LEGEND)
- ST PROPOSED STORM SEWER
  - SAN PROPOSED SANITARY SEWER
  - W PROPOSED WATER SERVICE
  - GAS PROPOSED GAS SERVICE
  - E PROPOSED UNDERGROUND ELECTRIC SERVICE
  - T&C PROPOSED UNDERGROUND TELEPHONE & CABLE SERVICE
  - APPURTENANCES
  - UTILITY CONSTRUCTION KEYNOTE



**PROPOSED STRUCTURES**

STRUCT. ID	STRUCTURE DETAILS
A 1	PROPOSED CATCH BASIN (SEE DETAIL XX, SHEET C-503) RIM=1063.90 INV. 12" (N/S)=1060.90
A 2	PROPOSED STORM MANHOLE 48" DIA. (SEE DETAIL XX, SHEET C-503) RIM=1065.15 INV. 12" (N/S)=1059.33
A 3	PROPOSED CATCH BASIN (SEE DETAIL XX, SHEET C-503) RIM=1063.54 INV. 12" (N/S)=1058.85
A 4	PROPOSED CATCH BASIN (SEE DETAIL XX, SHEET C-503) RIM=1065.15 INV. 12" (N/S)=1062.15
A 5	PROPOSED CATCH BASIN (SEE DETAIL XX, SHEET C-503) RIM=1064.58 INV. 12" (N/S)=1060.40
A 6	PROPOSED STORM MANHOLE 48" DIA. (SEE DETAIL XX, SHEET C-503) RIM=1065.15 INV. 12" (N/W)=1060.06
A 7	PROPOSED STORM MANHOLE 48" DIA. (SEE DETAIL XX, SHEET C-503) RIM=1064.17 INV. 12" (N/S)=1057.86
A 8	PROPOSED CATCH BASIN (SEE DETAIL XX, SHEET C-503) RIM=1066.60 INV. 12" (N/W)=1063.60

**EXISTING STRUCTURES**

STRUCT. ID	STRUCTURE DETAILS
ST 1	EXISTING CATCH BASIN RIM=1061.82 INV. 12" HDPE (NE)=1058.92
ST 2	EXISTING CATCH BASIN RIM=1061.77 INV. 4" (NW)=1059.86 INV. 12" HDPE (SW)=1059.02 INV. 18" RCP (SE)=1057.59 INV. 15" HDPE (NE)=1057.58 PROP. 12" HDPE (N)=1057.58
ST 3	EXISTING CATCH BASIN RIM=1065.77 INV. 18" RCP (NW)=1057.13 UNKNOWN (SE)=1057.13
ST 4	EXISTING CATCH BASIN (DEMO) RIM=1066.98 INV. 15" RCP (NW)=1060.19
ST 5	EXISTING CATCH BASIN RIM=1061.77 INV. 15" HDPE (SW)=1059.20 INV. 15" HDPE (NE)=1059.88

REV.	DATE	DESCRIPTION
2/28/2020		PDF APPLICATION

**SHEETZ STORE**  
 9887 U.S. 62  
 NEW ALBANY, OH 43054

**UTILITY PLAN**

ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
RECORD	-
PROJECT MANAGER	DESIGNER

JOB NO.  
**2019059.03**

**C-131**



























DRAWING STATUS		DATE
STATUS		NOVEMBER 8, 2019
ZONING		FEBRUARY 28, 2020

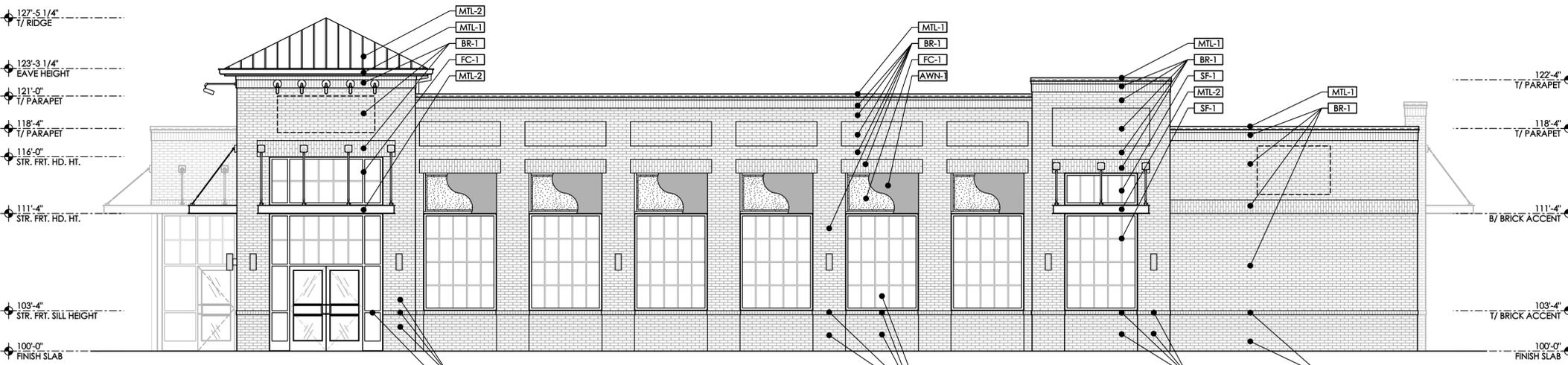
DRAWING TITLE  
**EXTERIOR ELEVATIONS AND FINISH SCHEDULE**

DRAWING NUMBER

**ZA-2.1**

BEAN #00000.00

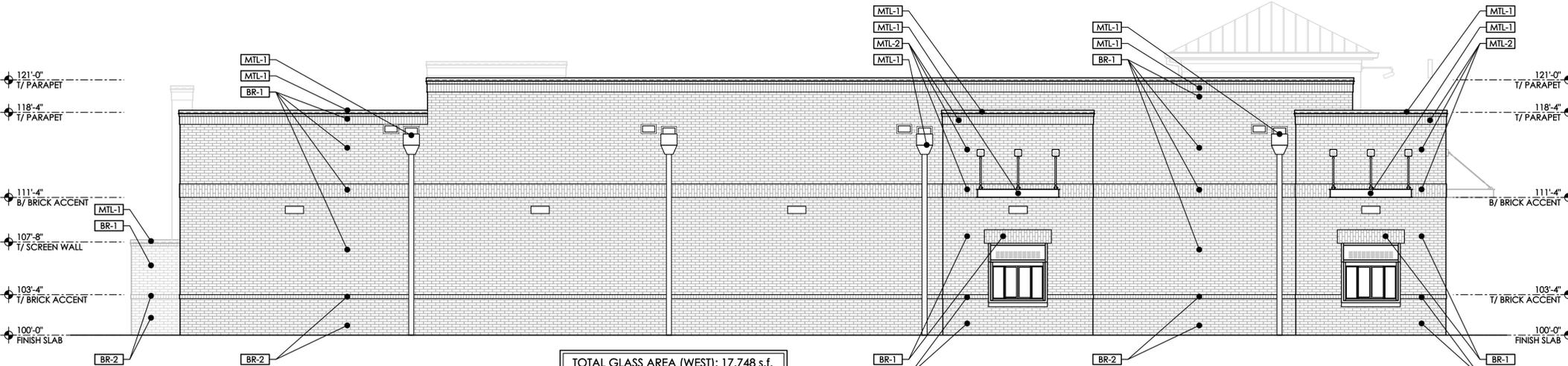
MARK	MANUFACTURER	DESCRIPTION	REMARKS
<b>AWNINGS</b>			
AWN-1	SUNBRELLA	"WALNUT BROWN TWEED"	FRAME TO BE PREFINISHED 'DARK BRONZE'
<b>BRICK</b>			
BR-1	GLEN GERY	ALBANY MODULAR	MORTAR: ARGOS MAGNOLIA BUFF
BR-2	GLEN GERY	ASHMONT MODULAR	MORTAR: ARGOS MAGNOLIA BUFF
<b>FIBER CEMENT</b>			
FC-1	JAMES HARDIE	5/16" FIBER CEMENT PANEL SIDING	PAINT PT-1
<b>METAL</b>			
MTL-1	DMI	DARK BRONZE	-
MTL-2	DMI	PANTONE 201C	STANDING SEAM/CANOPIES
<b>PAINT</b>			
PT-1	SHERWIN-WILLIAMS	MATCH MTL-1	-
PT-2	SHERWIN-WILLIAMS	MATCH FUEL KIOSK "GREY"	-
<b>STOREFRONT FRAMING</b>			
SF-1	TUBELITE	T-14000 SERIES, 2"x4 1/2" FRAMING w/ 1" INSULATED GLAZING	FINISH TO BE DARK BRONZE



**A EAST BUILDING ELEVATION**

SCALE: 3/16" = 1'-0"

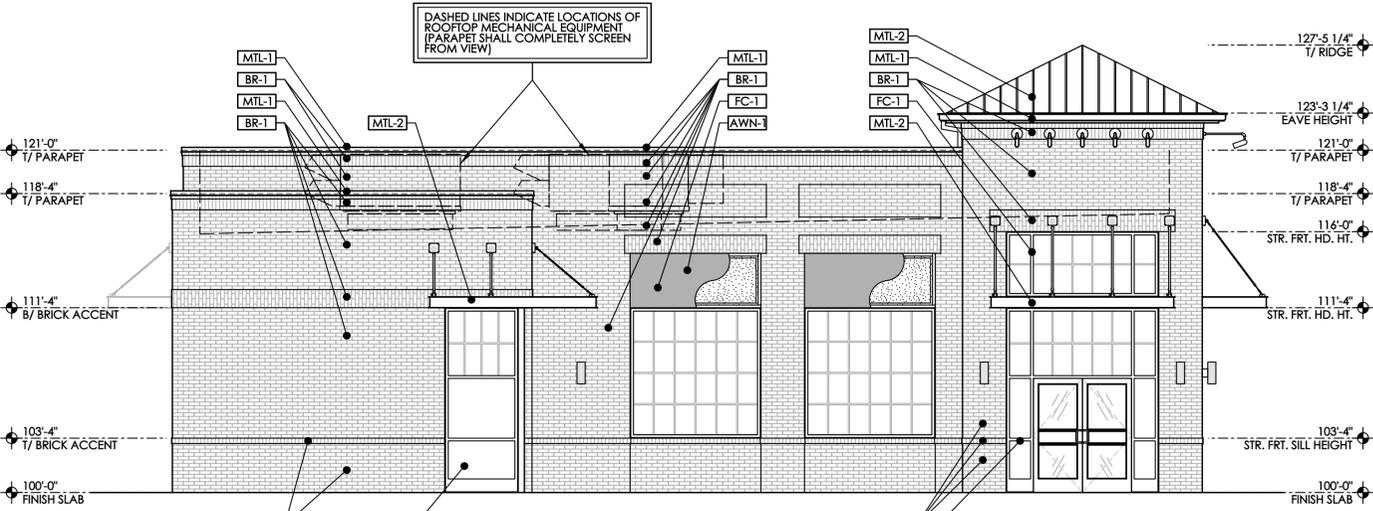
TOTAL GLASS AREA (EAST): 466,9605 s.f.  
 TOTAL WINDOW SIGN AREA: 4,8126 s.f.  
 SIGN TO GLASS PERCENTAGE: 1%



**B WEST BUILDING ELEVATION**

SCALE: 3/16" = 1'-0"

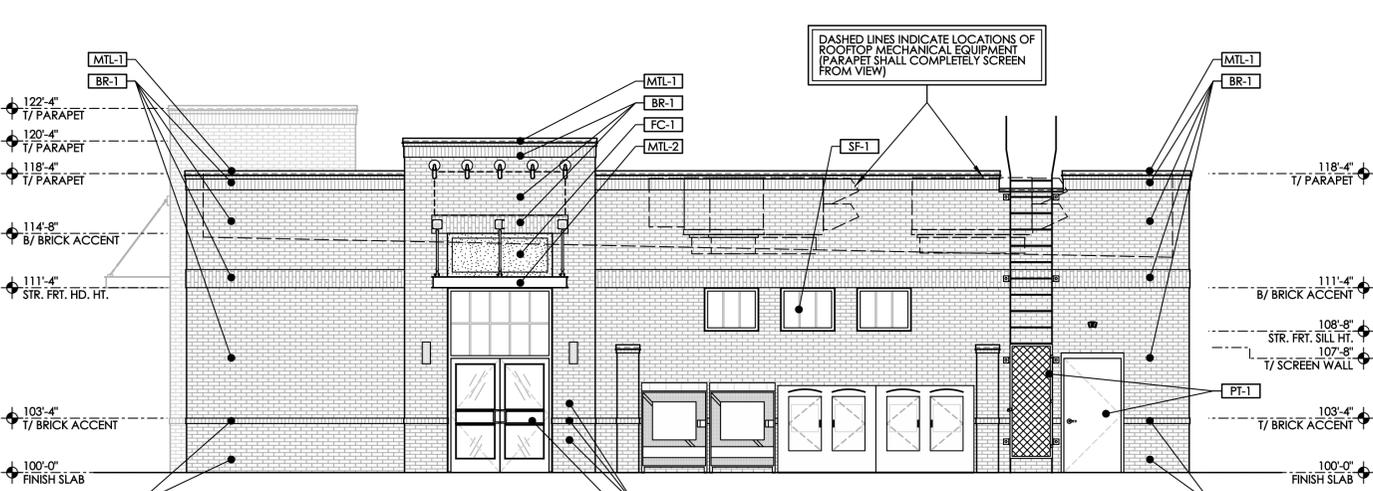
TOTAL GLASS AREA (WEST): 17,748 s.f.  
 TOTAL WINDOW SIGN AREA: 0 s.f.  
 SIGN TO GLASS PERCENTAGE: 0%



**C SOUTH BUILDING ELEVATION**

SCALE: 3/16" = 1'-0"

TOTAL GLASS AREA (SOUTH): 107,0903 s.f.  
 TOTAL WINDOW SIGN AREA: 3,2084 s.f.  
 SIGN TO GLASS PERCENTAGE: 3%



**D NORTH BUILDING ELEVATION**

SCALE: 3/16" = 1'-0"

TOTAL GLASS AREA (NORTH): 70,2951 s.f.  
 TOTAL WINDOW SIGN AREA: 3,2084 s.f.  
 SIGN TO GLASS PERCENTAGE: 4.5%



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 EXPIRATION DATE: 12/31/2016  
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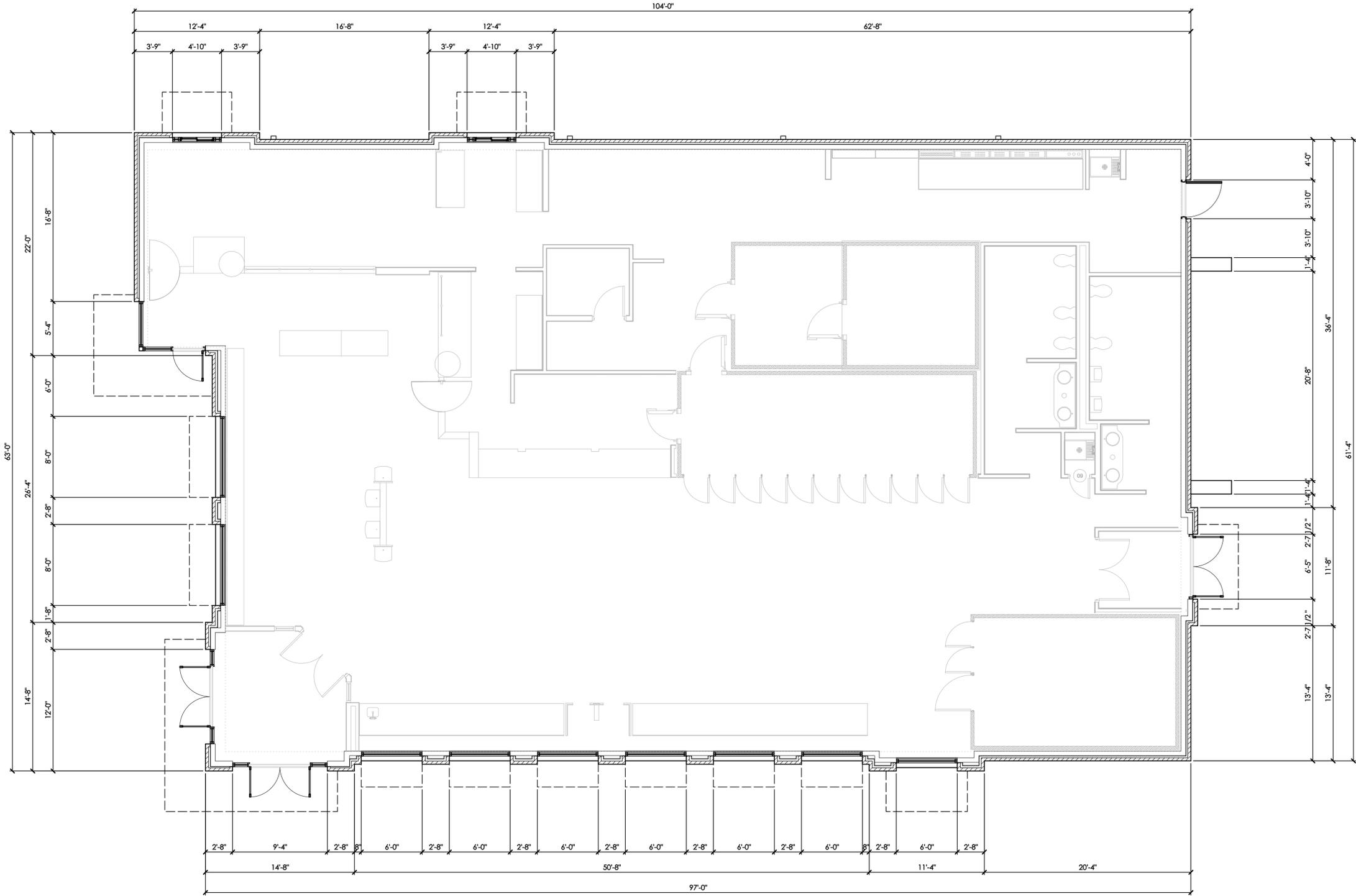
**SHEETZ STORE**  
 9887 U.S. 62  
 NEW ALBANY, OHIO 43054

DRAWING STATUS	
STATUS	DATE
ZONING	NOVEMBER 8, 2019

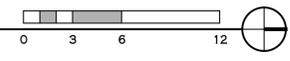
DRAWING TITLE  
**FLOOR PLAN**

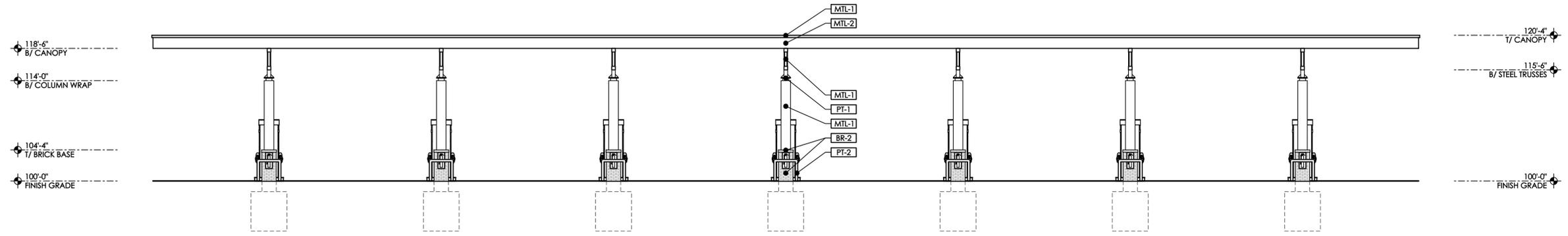
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BEAN #000000.00

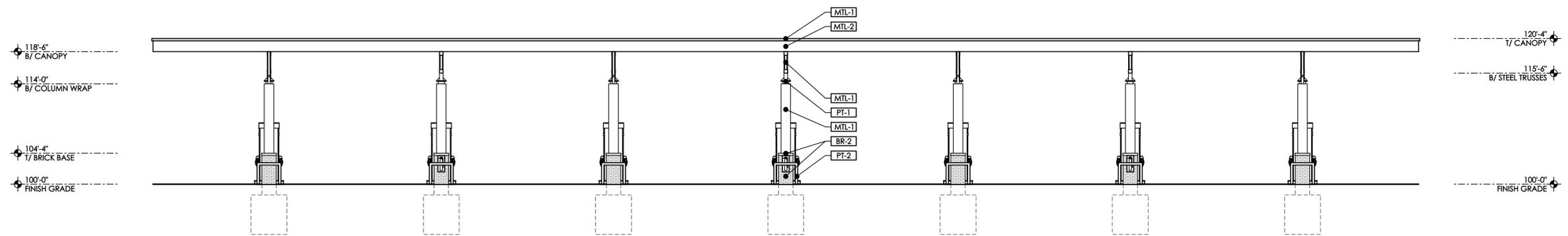


**A FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

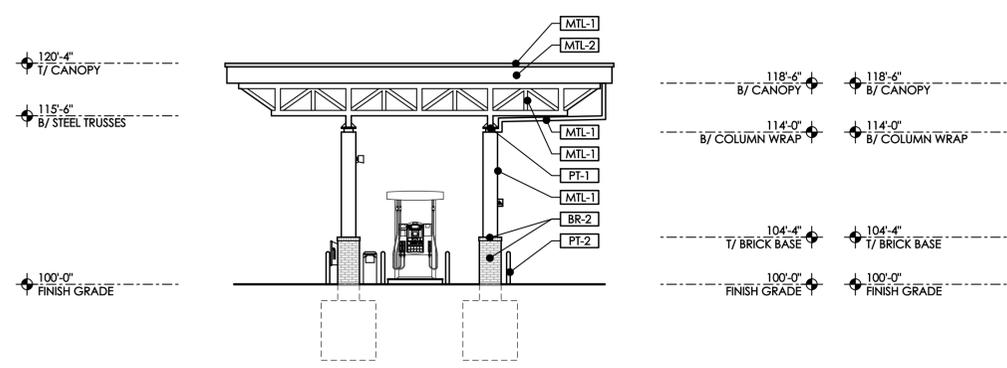




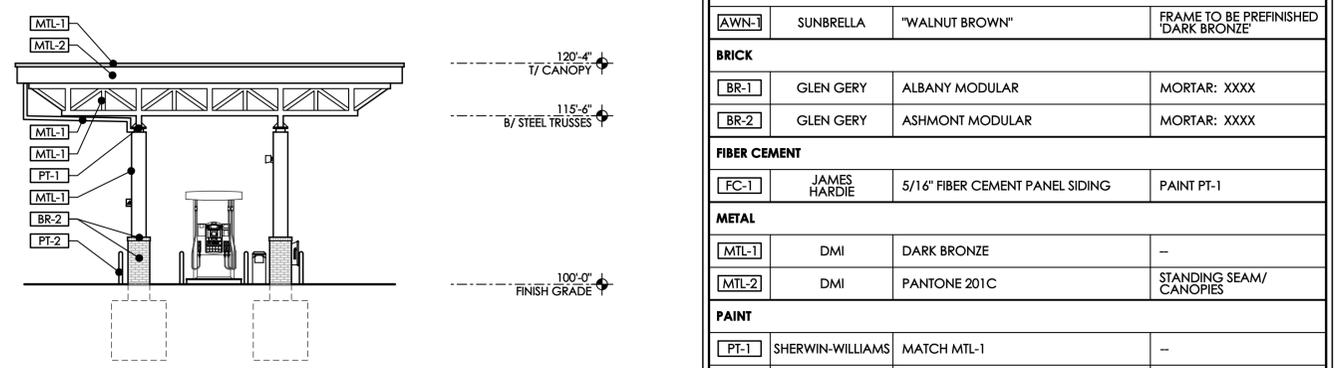
**(A) FUEL CANOPY EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**(B) FUEL CANOPY WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**(C) FUEL CANOPY NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

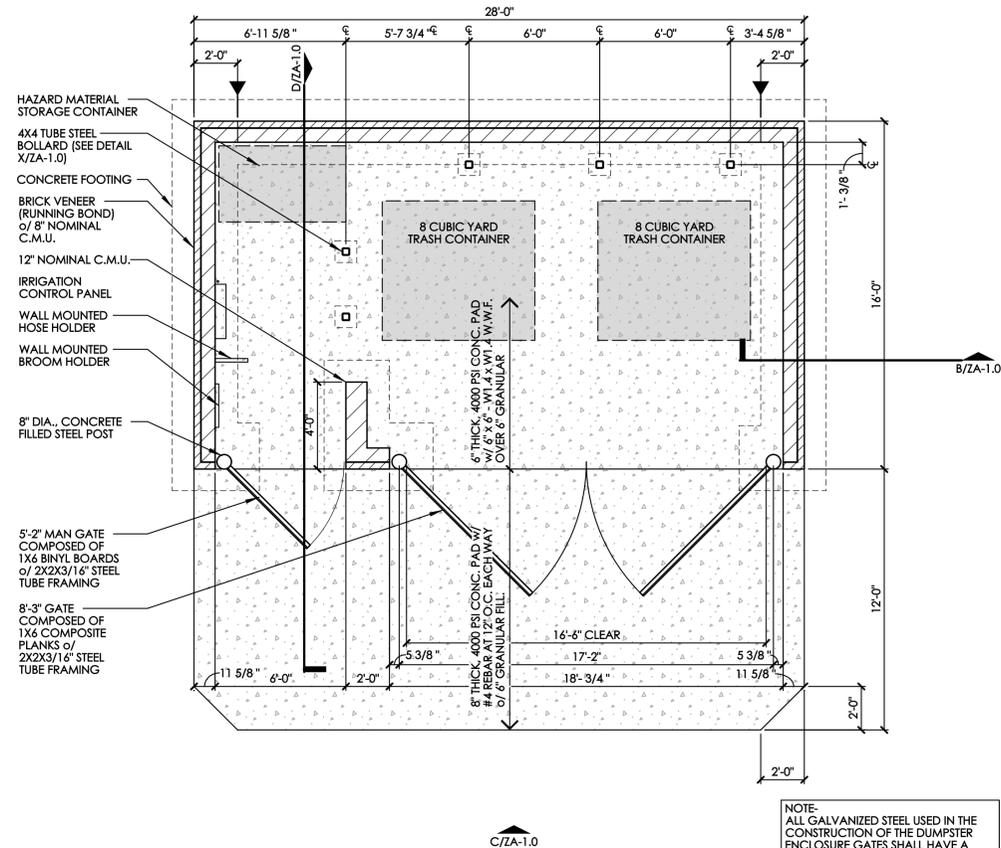


**(D) FUEL CANOPY SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

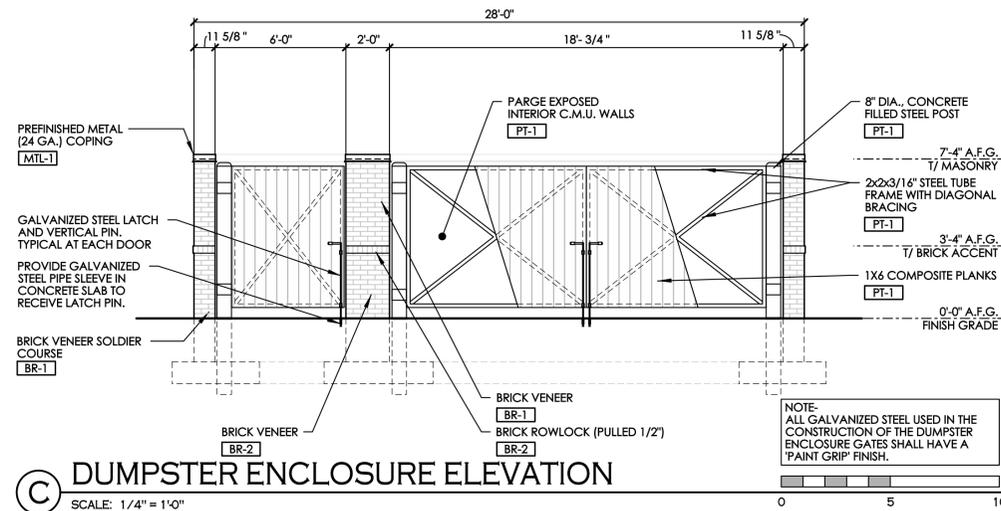
EXTERIOR MATERIAL FINISH KEY			
MARK	MANUFACTURER	DESCRIPTION	REMARKS
<b>AWNINGS</b>			
AWN-1	SUNBRELLA	"WALNUT BROWN"	FRAME TO BE PREFINISHED 'DARK BRONZE'
<b>BRICK</b>			
BR-1	GLEN GERY	ALBANY MODULAR	MORTAR: XXXX
BR-2	GLEN GERY	ASHMONT MODULAR	MORTAR: XXXX
<b>FIBER CEMENT</b>			
FC-1	JAMES HARDIE	5/16" FIBER CEMENT PANEL SIDING	PAINT PT-1
<b>METAL</b>			
MTL-1	DMI	DARK BRONZE	-
MTL-2	DMI	PANTONE 201C	STANDING SEAM/ CANOPIES
<b>PAINT</b>			
PT-1	SHERWIN-WILLIAMS	MATCH MTL-1	-
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<b>STOREFRONT FRAMING</b>			
SF-1	TUBELITE	T-14000 SERIES, 2"x4 1/2" FRAMING w/ 1" INSULATED GLAZING	FINISH TO BE DARK BRONZE

DRAWING STATUS	
STATUS	DATE
ZONING	NOVEMBER 8, 2019

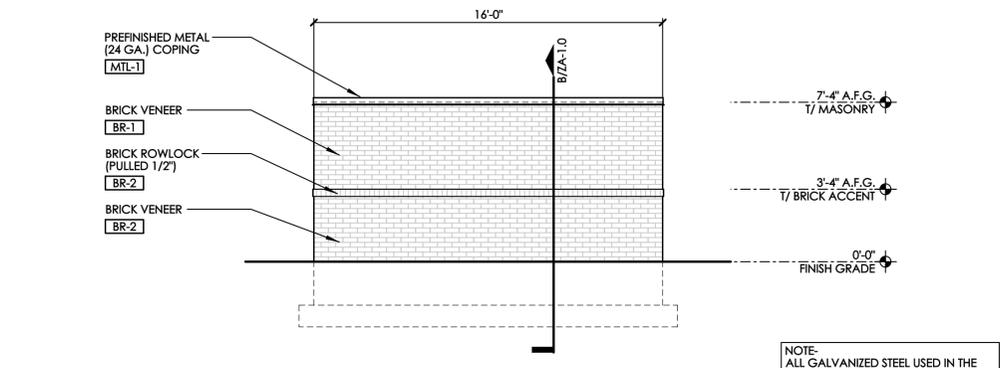
DRAWING TITLE	
FUEL CANOPY PLAN AND ELEVATIONS	
DRAWING NUMBER	
ZA-2.2	
BEAN #00000.00	



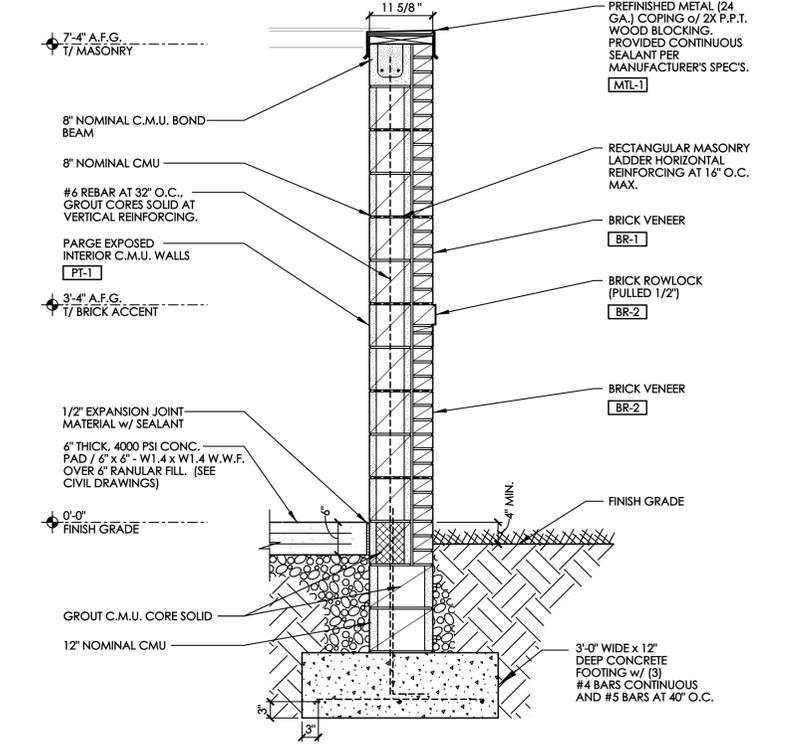
**A DUMPSTER ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"



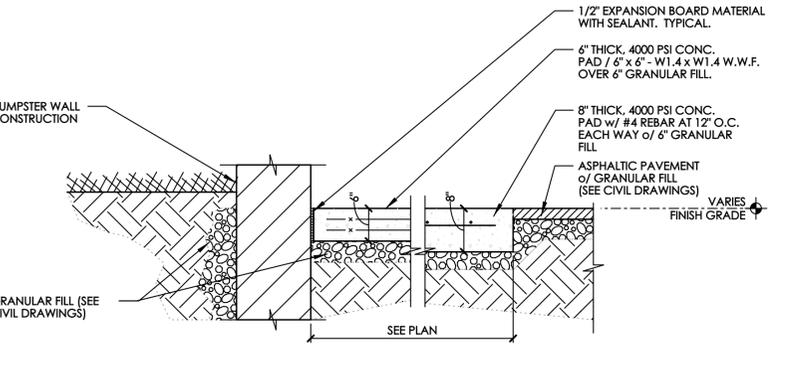
**C DUMPSTER ENCLOSURE ELEVATION**  
SCALE: 1/4" = 1'-0"



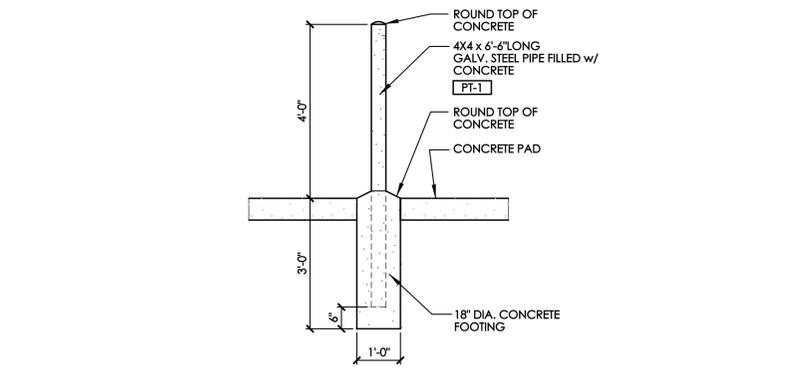
**E DUMPSTER ENCLOSURE ELEVATION**  
SCALE: 1/4" = 1'-0"



**B DUMPSTER ENCLOSURE SECTION**  
SCALE: 3/4" = 1'-0"



**D PAVEMENT SECTION AT DUMPSTER**  
SCALE: 3/4" = 1'-0"



**F BOLLARD DETAIL**  
SCALE: 1/2" = 1'-0"

**BEAN**

J. CARTER BEAN ARCHITECT  
4400 NORTH HIGH STREET  
SUITE 401 • COLUMBUS  
OHIO • 43214  
TEL 614 262 5111  
FAX 614 262 2329

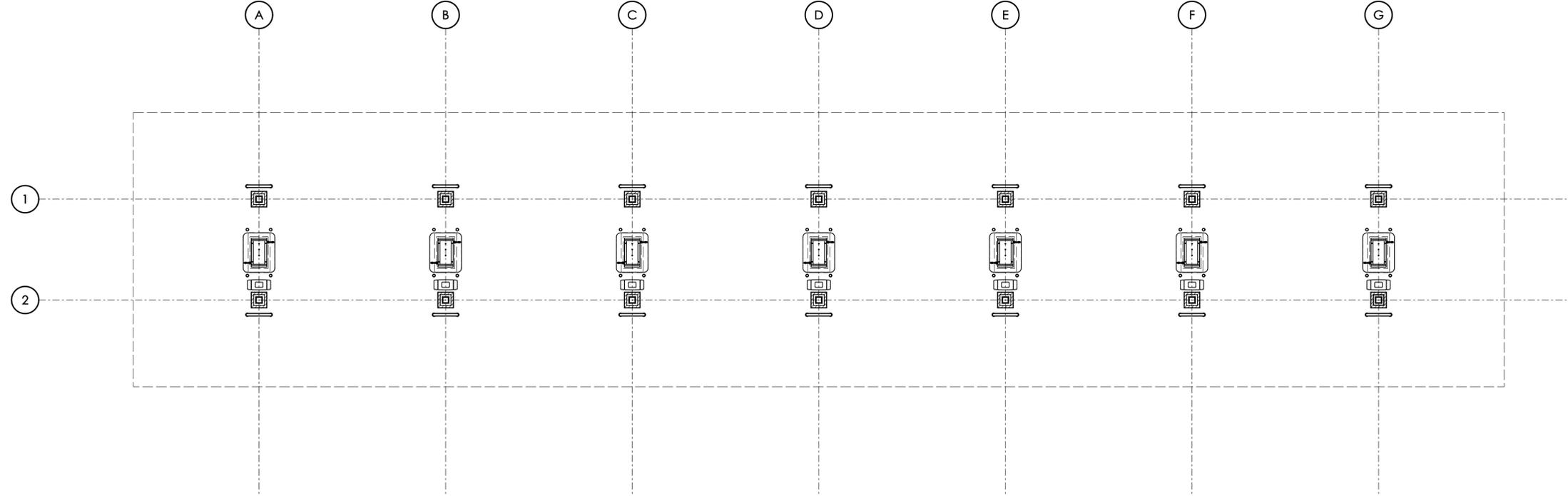
STATE OF OHIO  
J. CARTER BEAN  
1015234  
REGISTERED ARCHITECT

J. CARTER BEAN, LICENSE #1015234  
EXPIRATION DATE: 12/31/2020

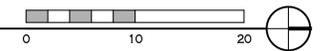
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DRAWING STATUS	
STATUS	DATE
ZONING	NOVEMBER 8, 2019
	FEBRUARY 28, 2020
DRAWING TITLE	
DUMPSTER ENCLOSURE PLAN, ELEVATIONS, AND DETAILS	
DRAWING NUMBER	
ZA-1.0	
BEAN #00000.00	



**(A) FUEL CANOPY PLAN**  
SCALE: 1/8" = 1'-0"



**BEAN**

J. CARTER BEAN ARCHITECT  
4400 NORTH HIGH STREET  
SUITE 401 • COLUMBUS  
OHIO • 43214

TEL: 614 262 5111  
FAX: 614 262 2329

J. CARTER BEAN  
1015234  
REGISTERED ARCHITECT

J. CARTER BEAN, LICENSE #1015234  
EXPIRATION DATE: 12/31/2016

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NEW ALBANY, OHIO 43054

DRAWING STATUS	
STATUS	DATE
ZONING	NOVEMBER 8, 2019

DRAWING TITLE

**FUEL CANOPY PLAN**

DRAWING NUMBER

**ZA-1.2**

BEAN #000000.00

## EXTERIOR LIGHTING LAYOUT



LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1 - 28	A	18.5
29	B	1
30 - 42	C	3
43 - 44	D	9.33
45 - 48	D	12
49 - 53	E	10
54 - 70	F	10
71 - 75	G	19
76 - 85	G	21.5
86 - 101	H	11.33

NOTE:  
- ALL AREA LIGHTS ON NEW 10 FT. POLE MOUNTED ON CONCRETE BASE.  
TOP OF BASE AT GRADE.

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PROPERTY LINES	0.00	0.0	0.0	N.A.	N.A.
SITE PAVED AREA	3.62	20.6	0.0 ***	N.A.	N.A.
UNDEFINED	0.17	11.0	0.0	N.A.	N.A.
UNDER CANOPY	33.80	40	21	1.61	1.90

\*\*\* ILLUMINATION LEVELS ARE THE RESULT OF REQUESTS BY OTHERS  
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE  
FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING  
AND DOES NOT RECOMMEND THESE LEVELS FOR  
SECURITY AND SAFETY REASONS

OWNER/OWNER'S REPRESENTATIVE TO ADJUST  
DRIVE CURRENT ON FIXTURE 'A' VIA DIAL ACCESSIBLE  
IN DRIVER ENCLOSURE TO SWITCH POSITION NOTED  
IN DESCRIPTION COLUMN OF LUMINAIRE SCHEDULE

U.S. 62 (100' R/W)  
JOHNSTOWN ROAD

R/W

LUMINAIRE SCHEDULE												
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	DIMMING (LUMEN MULTIPLIER)	LATF	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	28	A	SINGLE	14415	0.720	1.030	0.742	B3-U0-G0	88.44	2476.32	CREE, INC.	CAN-228-PS-RM-06-E-UL-XX-700-57K (SET TO SWITCH POSITION 3 IN FIELD)
	1	B	SINGLE	11678	1.000	1.040	1.040	B4-U0-G0	86	86	CREE, INC.	OSQ-AAXX w/PGM-1 + OSQ-A-NM-15D-B-57K-UL-XX
	13	C	SINGLE	1441	1.000	1.030	1.030	B1-U0-G1	22	286	CREE, INC.	PWY-EDG-3M-P3-02-E-UL-XX-350-57K
	6	D	SINGLE	2947	1.000	1.030	1.030	B1-U0-G1	36	216	CREE, INC.	SEC-EDG-3M-WM-02-E-UL-XX-525
	5	E	SINGLE	5893	1.000	1.030	1.030	B2-U0-G2	68	340	CREE, INC.	SEC-EDG-3M-WM-04-E-UL-XX-525
	17	F	SINGLE	6010	1.000	1.000	1.000	B1-U0-G2	80	1360	HCT LIGHTING	F177-L-WPC-80WLED-5000K-120-277V-IES4-HSS (90 DEG)-RAL8019-A359-1A-RAL8019-P414-A-4PA-10-RAL8019
	15	G	SINGLE	626	1.000	1.000	1.000	B0-U1-G1	13.841	207.615	TROY-CSL LIGHTING	RA8-LED1140-XX-3 + 3SL30XX
	16	H	SINGLE	328	1.000	1.000	1.000	N.A.	8.1	129.6	B-K LIGHTING, INC.	BKLT CH-LED-e17-FL-BZP-12 (BY OTHERS)

REV.	BY	DATE	DESCRIPTION
R1	DAR	2/14/20	CHANGED AREA LIGHTS FROM CREE TO HCI LIGHTING PER LOCAL REQUIREMENT FOR HISTORIC LOOKING FIXTURES
R2	DAR	2/27/20	CHANGED AREA LIGHTS 'F' TO ACHIEVE 0.0 FC AT PROPERTY LINES; CHANGED FIXTURE 'G' TO WALL MOUNTED GOOSENECK FIXTURE ABOVE BUILDING SIGNAGE

PERSONS USING THIS PROGRAM ARE ADVISED THAT THIS PROGRAM MAY CONTAIN ERRORS WHICH RED LEONARD ASSOCIATES, INC. OR ITS SOFTWARE PROVIDER HAVE NOT OBSERVED. IN ADDITION, THE USE OF THIS PROGRAM TO ADJUST QUANTITIES IS NOT INTENDED TO REMOVE THE RESPONSIBILITY OF THE USER TO VERIFY THE COMPLETENESS OF ANY BILL OF MATERIALS AND THAT THE LAYOUT OR USE OF LUMINAIRE IS IN FULL ACCORDANCE WITH ALL LOCAL, STATE, OR FEDERAL REGULATIONS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

SCALE: 1" = 30'  
LAYOUT BY: DAR  
DATE: 12/1/19  
DWG SIZE: D

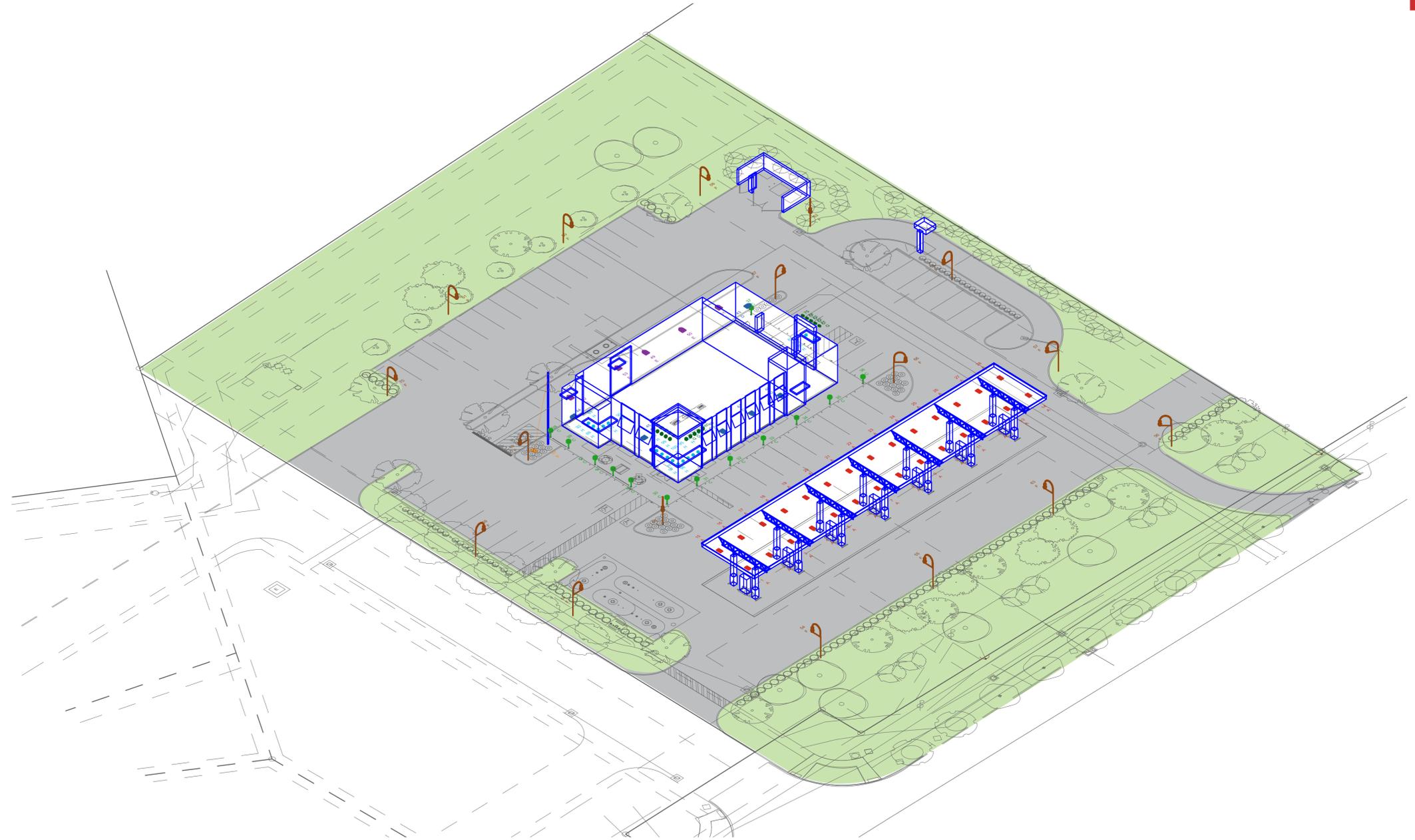
PROJECT NAME:  
**SHEETZ**  
NEW ALBANY, OH  
DRAWING NUMBER:  
**RL-6496-S1-R2**





# PRODUCT DETAIL & PLACEMENT

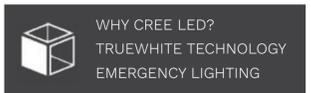
COLOR CODED LABELS, PRODUCT INFORMATION, 3D INTERACTIVE MODEL



LUMINAIRE SCHEDULE												
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	DIMMING (LUMEN MULTIPLIER)	LATF	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	28	A	SINGLE	14415	0.720	1.030	0.742	B3-U0-G0	88.44	2476.32	CREE, INC.	CAN-228-PS-RM-06-E-UL-XX-700-57K (SET TO SWITCH POSITION 3 IN FIELD)
	1	B	SINGLE	11678	1.000	1.040	1.040	B4-U0-G0	86	86	CREE, INC.	OSQ-AAXX w/PGM-1 + OSQ-A-NM-15D-B-57K-UL-XX
	13	C	SINGLE	1441	1.000	1.030	1.030	B1-U0-G1	22	286	CREE, INC.	PWY-EDG-3M-P3-02-E-UL-XX-350-57K
	6	D	SINGLE	2947	1.000	1.030	1.030	B1-U0-G1	36	216	CREE, INC.	SEC-EDG-3M-WM-02-E-UL-XX-525
	5	E	SINGLE	5893	1.000	1.030	1.030	B2-U0-G2	68	340	CREE, INC.	SEC-EDG-3M-WM-04-E-UL-XX-525
	17	F	SINGLE	8010	1.000	1.000	1.000	B1-U0-G2	80	1360	HCT LIGHTING	F177-L-WPC-80WLED-5000K-120-277V-IES4-HSS (90 DEG)-RAL8019-A359-1A-RAL8019-P414-A-4PA-10-RAL8019
	15	G	SINGLE	626	1.000	1.000	1.000	B0-U1-G1	13.841	207.615	TROY-CSL LIGHTING	RA8-LED1140-XX-3 + 3SL30XX
	16	H	SINGLE	328	1.000	1.000	1.000	N.A.	8.1	129.6	B-K LIGHTING, INC.	BKLT CH-LED-e17-FL-BZP-12 (BY OTHERS)



CREE TRUEWHITE® TECHNOLOGY  
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# AREA

SYMBOL:	QTY:	LABEL:
	17	F

F177-L-WPC-LED80W-5000K-120-277V-TYPE IV-  
A359-1A-P414-4PA-18-RALXXXX

**PRODUCT TECHNICAL DATA SHEET**

**F177-LED SERIES**

**Specifications**

**Mounting:** Made from heavy duty cast aluminum to withstand harsh weather.

**Hardware:** All exposed hardware is made of durable stainless steel, with industrial strength nuts.

**Interior Design & Optical:** Energy efficient LED driver is mounted on a removable plate, with gasketed wiring to allow easy driver replacement. L70 at 50,000 hours with CR1070.

**Exterior Design & Finish:** Luminaire is designed to fit post top mounting or pendant mounting with our ornamental arms and poles, and is suitable for wet locations. Finish is electrocoat with thermoplastic polyester powder coat.

**SIZES**

Length	Width	Height	Weight	Mount Size	EPA
24"	24"	17"	20 lbs	3/8" (A) x 1/2" (B)	1.10 sq ft

**PHOTOMETRICS**

**ISO beam**

**Product ordering example:** F177 - L - WPC - LED80W - 5000K - 120-277V - TYPE IV - DIM - RAL9011 BLACK

(800) 287-3175 | www.hclighting.com | © 2015 HCL LIGHTING. We reserve the right to change the product and its information without notice.

# AREA ARM

**A359 SERIES**

**DESCRIPTION:** The arm shall be HCL A359... (specify configuration) arm, consisting of a bent arm mechanically fastened onto a central column, equipped with a pole tenon. Wall bracket shall be welded to an aluminum wall plate.

**MATERIALS:** The arm shall be made of 2-3/8" OD, 0.154" thick aluminum extrusion mechanically fastened to the 4" OD extruded non-fluted aluminum column. All hardware shall be temper resistant, stainless steel.

**CONFIGURATION:** A variety of configurations is available, some of which are illustrated below. Those not illustrated are noted in the bottom left-hand corner. Non-standard configurations may be feasible, please consult factory for details.

**INSTALLATION:** Arms shall be equipped with a 12L x 3-1/2" OD round pole tenon and a 2" ID opening on the future side. Post top arms are not pre-wired and shall be wired by the contractor. Wall brackets shall be pre-wired, with a 1/2" slack for ease of wiring to source on the wall side and for wiring with wire nuts on the future side. Mounting hardware for wall brackets is not included.

**FINISH:** All applicable parts shall receive a standard electrocoat polyester powder coat smooth semi gloss finish with a four part corrosion inhibiting process.

**COLORS:** The five standard RAL colors are listed below. Simply check off the color applicable to your project. Custom colors are available for an additional charge. Please supply a 2" x 2" paint chip.

**Black RAL 9011**   
**Green RAL 6005**   
**Bronze RAL 8019**   
**Grey RAL 7012**   
**White RAL 9016**   
**Custom**

**Additional Configurations Available:** 3B, 3C, 4

**HC Lighting & Illumination**  
 (800) 287-3175 | (905) 238-2648  
 1280 Frewster Drive, Mississauga, Ontario, L4W 1A4, Canada  
 Fax: (905) 238-8660  
 Email: sales@hclighting.com  
 WEB: www.hclighting.com

# AREA POLE BASE

**POLE P414-4P**

**DESCRIPTION:** The pole shall consist of base cover and a shaft. The base cover shall be made from a non-porcelain coating... (800) 287-3175 | (905) 238-2648

**MOUNTING:** The pole shall be supplied with a sturdy steel base and with 4 not spaced galvanized 3/4" x 2-1/2" long 1/2" anchor bolts with two nuts and two washers each. These will install on a 7-1/2" bolt circle with anchor bolts uniform and flush with the ground level or most cutting and shall be formed to the original pattern with complete bottom of pole.

**CONCRETE INFORMATION:** The pole shall be 12" in diameter. The pole shall be XX in height. The base shall be 12" in diameter.

**FINISH:** All applicable parts shall receive a standard electrocoat polyester powder coat smooth semi gloss finish with a four part corrosion inhibiting process.

**ACCESS DOOR:** 7-1/2" diameter access door.

**EPA INFORMATION:**

Model number	Height (ft)	Wall thickness (in)	EPA rating (ft ft)	90 mph (sq ft)	100 mph (sq ft)
P414-AP-10	10	0.125	7.50	6.00	4.86
P414-AP-12	12	0.125	1.00	2.07	2.88
P414-AP-14	14	0.125	2.24	2.07	2.88
P414-AP-16	16	0.125	2.14	2.07	1.80
P414-AP-18	18	0.125	1.88	0.71	1.86
P414-AP-20	20	0.125	0.28	0.33	0.19

**Options:** BRT single receptacle, BRT double receptacle, GR (2) receptacle, BAI-BM single bolt-on, 2x1 banner arm, BAI-CM single bolt-on, 2x1 banner arm with hog ring, BAI-BM single bolt-on, BAI-CM single bolt-on, BAI-BM single bolt-on, BAI-CM single bolt-on, BAI-BM single bolt-on, BAI-CM single bolt-on, BAI-BM single bolt-on, BAI-CM single bolt-on, BAI-BM single bolt-on, BAI-CM single bolt-on.

**Ordering Sequence Example:** Luminaire F100-L-4-FPC-150WPS-120V-LXLS-A307-2A-P414-AP-12-RAL9011-S1C1

**HC Lighting & Illumination**  
 (800) 287-3175 | (905) 238-2648  
 1280 Frewster Drive, Mississauga, Ontario, L4W 1A4, Canada  
 Fax: (905) 238-8660  
 Email: sales@hclighting.com  
 WEB: www.hclighting.com

# SHADE

SYMBOL:	QTY:	LABEL:
	15	G

RA8-LED1140-XX-3 + 3SL30XX

**ANGLE REFLECTOR**  
Aluminum Shade with Glass and Guard Options

**Electrical:** 120V input (277V available in arm and post option only). Integrated power supply allows the fixture to be connected directly into line voltage. LED is compatible with Triac/0-10V dimmers.

**Mounting:** 1/2" or 3/4" for arms. Flush mount and post available only in 12".

**Finishes:** Shade and mounting finish options. Available in 21 standard and 2 specialty finishes with optional coastal coating to protect finish in coastal environments (add "C" to the finish). Interior shade is painted glass white.

**Optional Accessories:** Glass, Cast Guard, Wire Cage or Wire Guard options available.

**Listing:** UL listed to US and Canadian standards for wet locations.

**Angle Reflector Order Matrix (Example RA100A/01)**

Quantity	Lamp / LED	Medium Base (100W MAX)	Finish	Coastal Coating Option	Accessories	Mounting Type
1	RA8-LED	1178 LED (200W/90 CH / 1180W)	BL (Black)	<input type="checkbox"/>	GL (Glass)	12 (12" P)
1	RA8-LED	1178 LED (200W/90 CH / 1180W)	BR (Bronze)	<input type="checkbox"/>	GL (Glass)	12 (12" P)
1	RA8-LED	1178 LED (200W/90 CH / 1180W)	GR (Grey)	<input type="checkbox"/>	GL (Glass)	12 (12" P)
1	RA8-LED	1178 LED (200W/90 CH / 1180W)	WH (White)	<input type="checkbox"/>	GL (Glass)	12 (12" P)
1	RA8-LED	1178 LED (200W/90 CH / 1180W)	WH (White)	<input type="checkbox"/>	GL (Glass)	12 (12" P)

**KEY: Standard Finishes**

- BL (Black)
- BR (Bronze)
- GR (Grey)
- WH (White)
- XX (Custom)
- XX (Custom)
- XX (Custom)
- XX (Custom)

**Specialty Finishes**

- SA (Satin Aluminum)
- WT (White)

**Angle Reflector**  
Aluminum Shade with Glass and Guard Options

**Glass Enclosure:** Glass is available in clear (CG), frosted (FG) or opal (OGG).

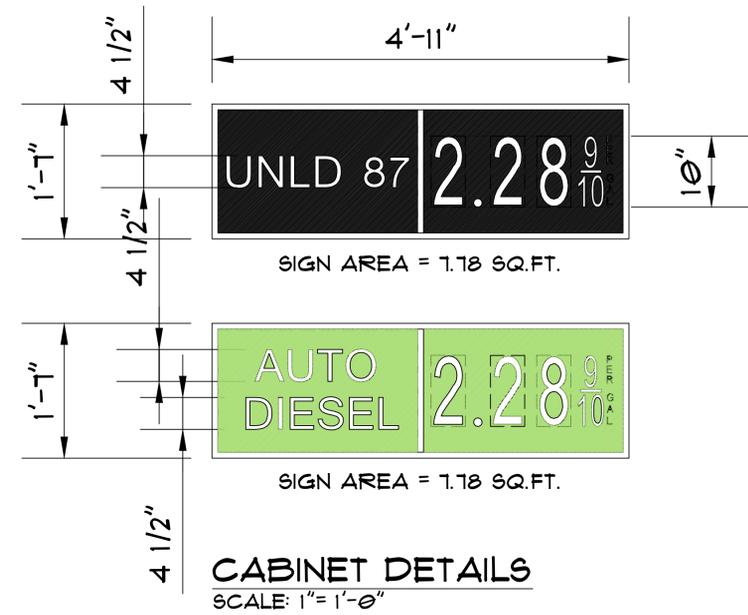
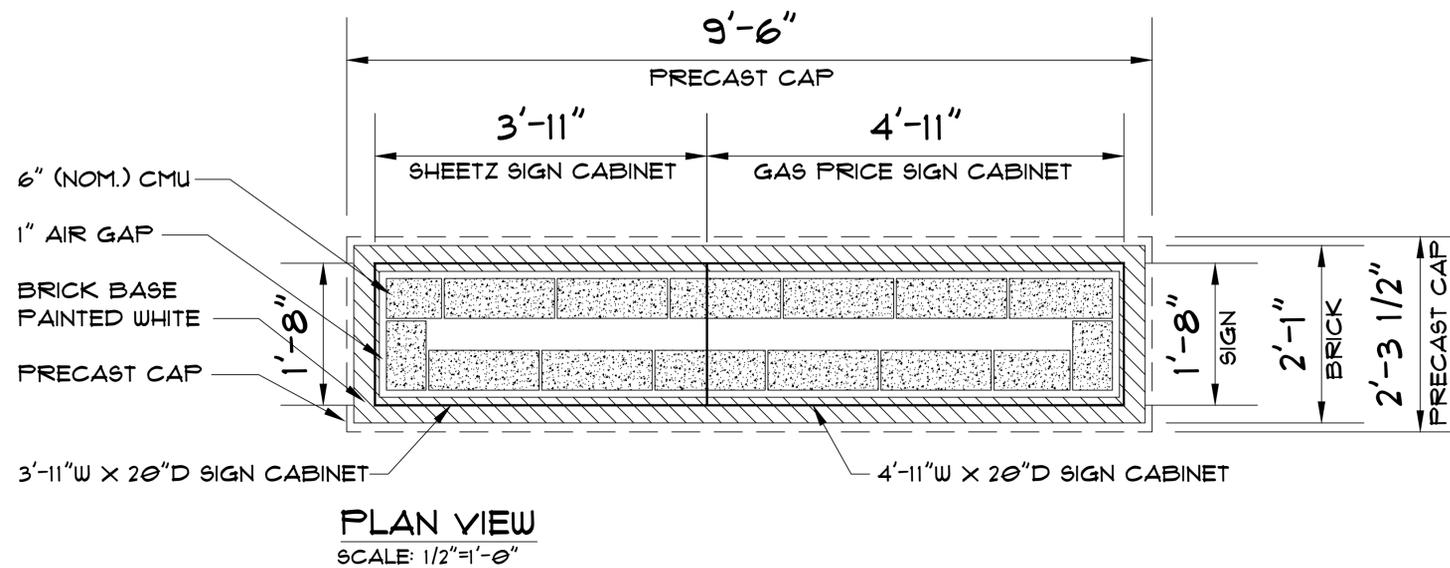
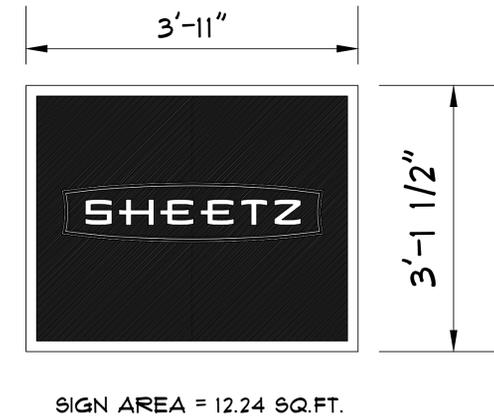
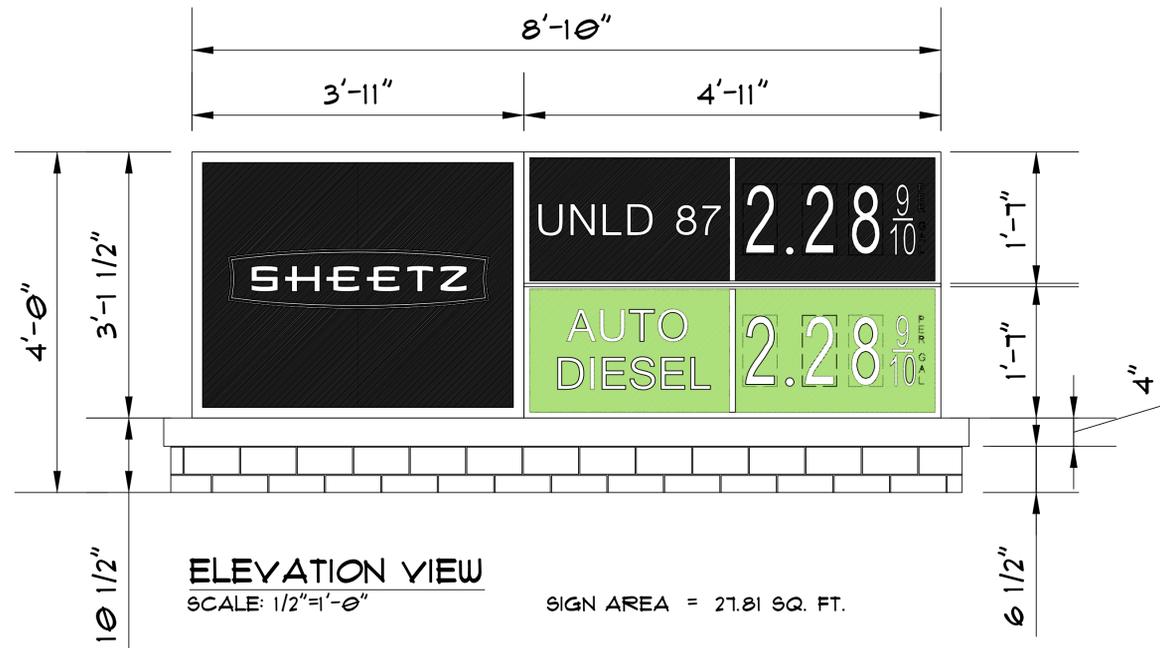
**Cast Guard with Glass Enclosure:** Cast guard can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified. Note: For galvanized shade finishes, cast guard is unfinished raw aluminum.

**Wire Cage with Glass Enclosure:** Wire cage can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified. Note: For galvanized shade finishes, wire cage is finished in Painted Natural Aluminum.

**Wire Guard (WG):** Wire guard can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified. Note: For galvanized shade finishes, wire guard is finished in Painted Natural Aluminum.

**HC Lighting & Illumination**  
 (800) 287-3175 | (905) 238-2648  
 1280 Frewster Drive, Mississauga, Ontario, L4W 1A4, Canada  
 Fax: (905) 238-8660  
 Email: sales@hclighting.com  
 WEB: www.hclighting.com





NO.	DATE	BY	DESCRIPTION

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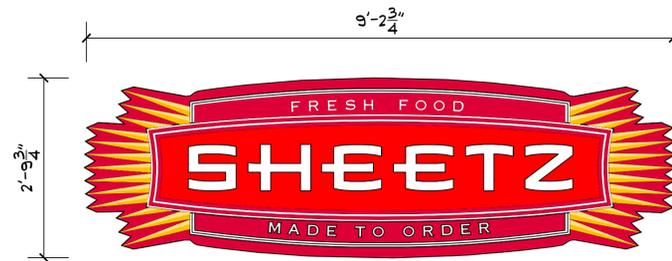
351 Sheetz Way, Claysburg, PA 16625 (814)239-6013

GAS PRICE  
MONUMENT SIGN  
DETAILS

NEW SHEETZ STORE  
"NEW ALBANY"  
INT. OF WALTON PARKWAY  
AND JOHNSTOWN ROAD  
NEW ALBANY, OHIO

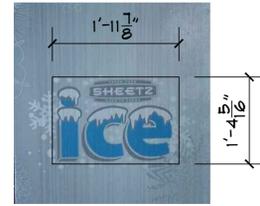
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**BUILDING SIGNS**



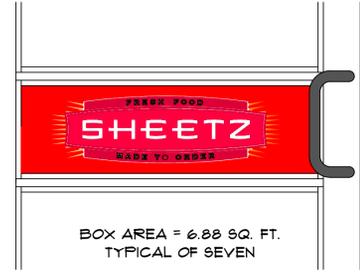
OUTLINE AREA = 21.65 SQ. FT.  
BOX AREA = 25.94 SQ. FT.  
TYPICAL OF THREE  
COLOR RESTRICTIONS

WALL MOUNTED "SHEETZ" BUILDING SIGN  
3/4" = 1'-0"



BOX AREA = 1.53 SQ. FT.  
TYPICAL OF FOUR

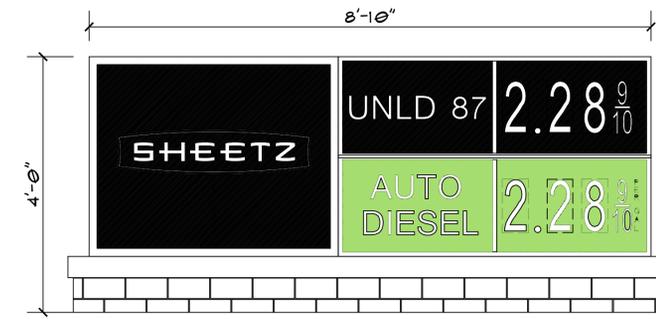
ICE MERCHANDISER GRAPHIC  
3/4" = 1'-0"



BOX AREA = 6.88 SQ. FT.  
TYPICAL OF SEVEN

DOOR PANEL SIGN  
1 1/2' = 1'-0"

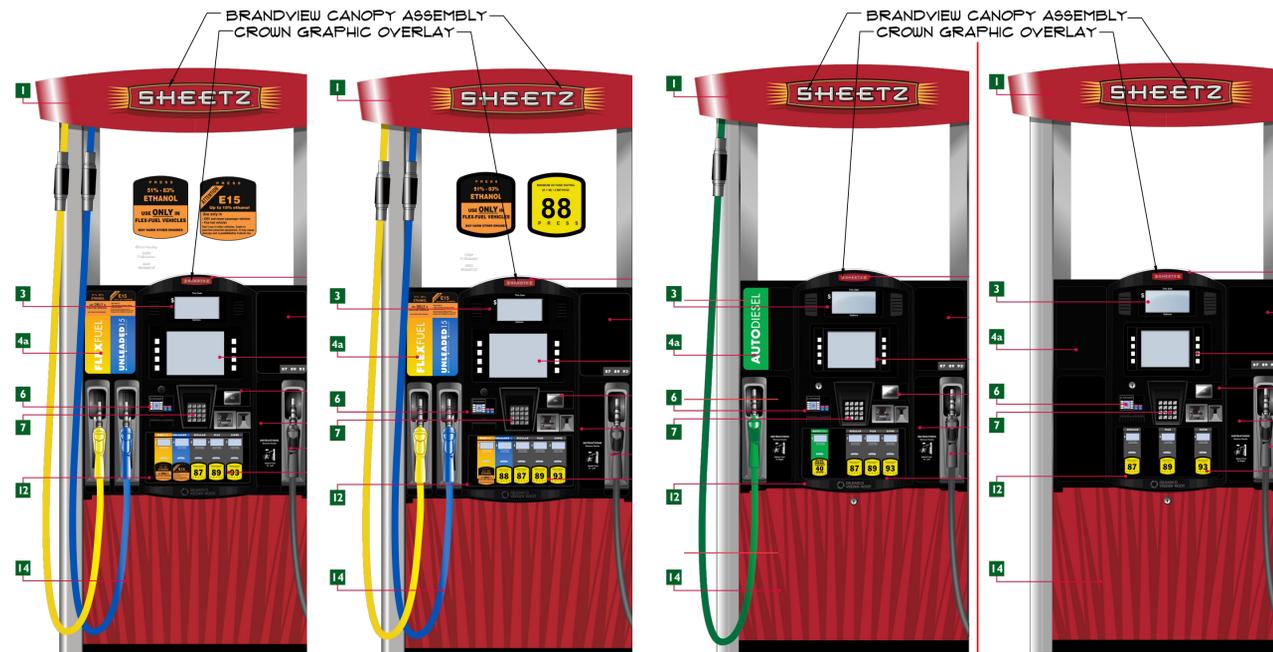
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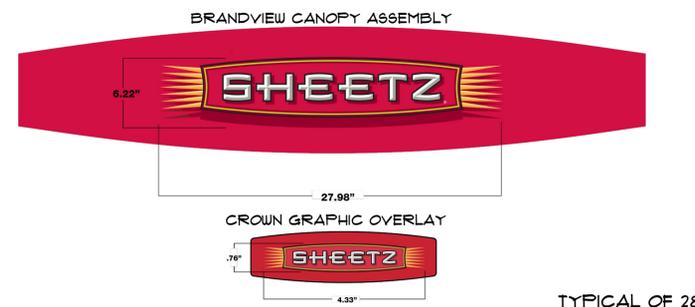
SIGN AREA = 21.81 SQ. FT.

MONUMENT SIGN  
3/4" = 1'-0"

**DISPENSER GRAPHICS**

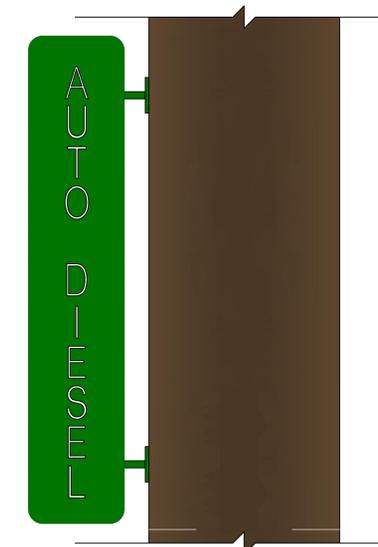


DISPENSER GRAPHICS  
NOT TO SCALE



DISPENSER LOGO DETAILS  
NOT TO SCALE

**AWNING SIGNS**



OUTLINE AREA = 5.08 SQ. FT.  
TYPICAL OF FOUR

GAS CANOPY COLUMN MOUNTED "AUTO DIESEL" FLAG SIGN  
1/4" = 1'-0"

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SIGN  
AREA  
BREAKDOWN

NEW SHEETZ STORE  
"NEW ALBANY"  
INT. OF WALTON PARKWAY  
AND JOHNSTOWN ROAD  
NEW ALBANY, OHIO

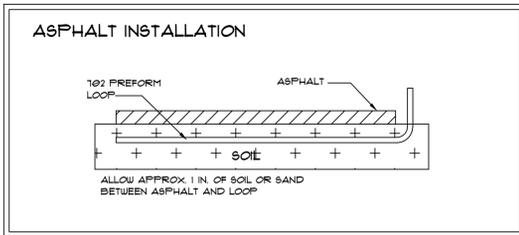
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REVISIONS

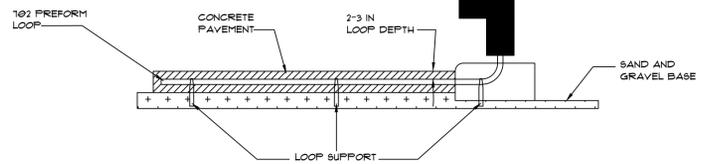
DATE BY

DESCRIPTION

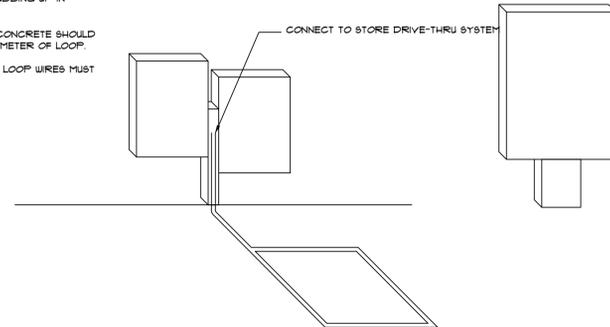
G:\Sheetz\contract\OH-172551-New Albany-Johnstown Road\Signs\New Albany- coversheet.dwg, 12/17/2019 2:40:16 PM



- INSTRUCTIONS**
1. POSITION PREFORM LOOP APPROXIMATELY 1'-3" FROM CURB, CENTERED IN FRONT OF THE MENUBOARD OR SPEAKER POST.
  2. LOOP SHOULD BE INSTALLED 2" - 3" BELOW THE SURFACE OF THE PAVEMENT. (5" MAX. DEPTH)
  3. IF INSTALLED IN ASPHALT, COVER LOOP WITH 1" MIN. SOIL OR SAND TO PROTECT FROM HOT ASPHALT.
  4. CONNECT LOOP TO 1/2" CONDUIT STUBBING UP IN MENUBOARD/SPEAKER POST.
  5. WIRE MESH OR REINFORCEMENT IN CONCRETE SHOULD BE CUT AWAY IN MIN. OF 6" FROM PERIMETER OF LOOP.
  6. ALL CONNECTIONS AND SPLICES TO LOOP WIRES MUST BE SOLDERED.

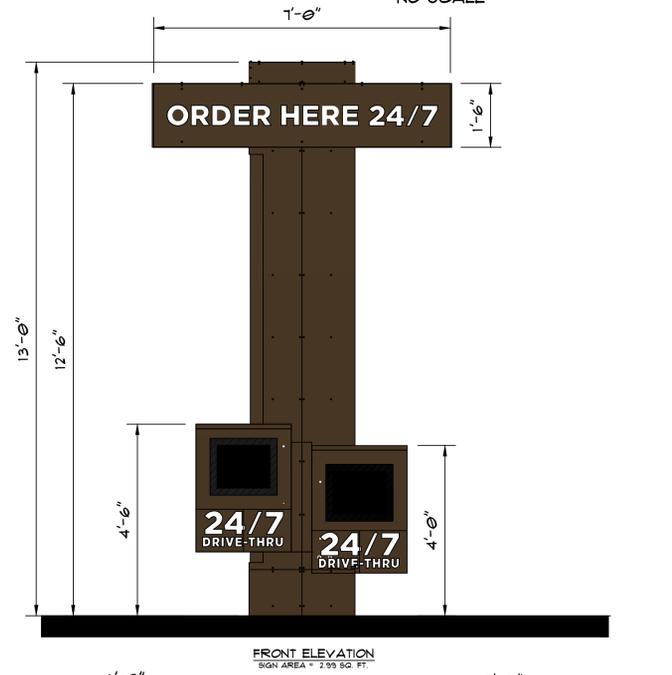


SIDE VIEW INSTALLED

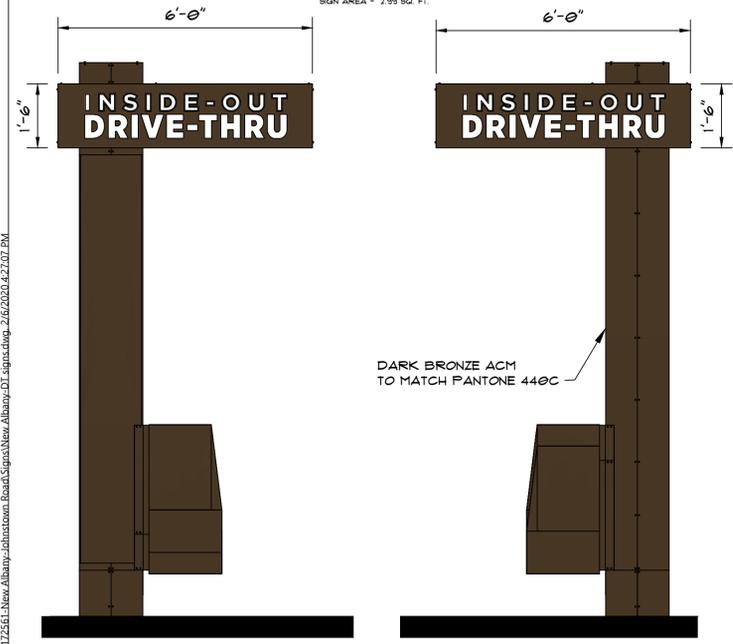


MENUBOARD W/ SPEAKER POST INSTALLATION  
NO SCALE

CONCRETE INSTALLATION  
NO SCALE



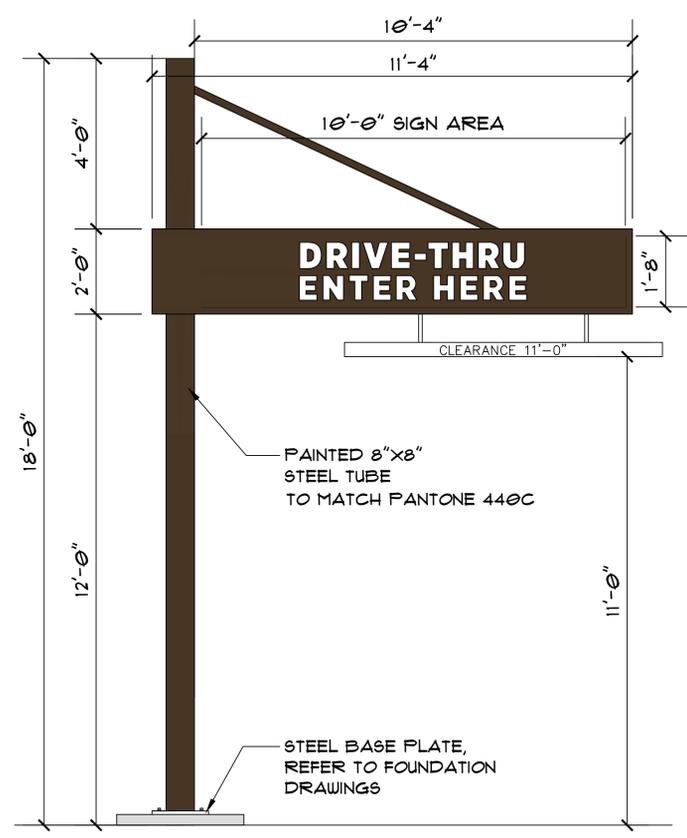
FRONT ELEVATION  
SIGN AREA = 2.95 SQ. FT.



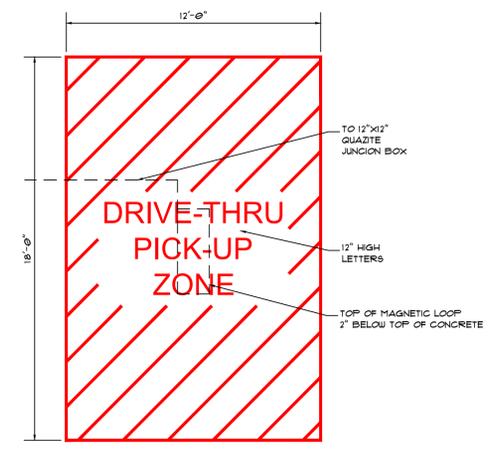
LEFT ELEVATION  
SIGN AREA = 4.63 SQ. FT.

RIGHT ELEVATION  
SIGN AREA = 4.63 SQ. FT.

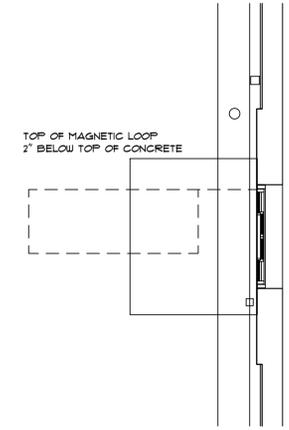
ORDER POINT ELEVATIONS  
SCALE: 1/2" = 1'-0"



CANTILEVERED CLEARANCE BAR DETAILS  
SIGN AREA = 6.36 SQ. FT.



PARKING SPACE PAINTING DIAGRAM



DRIVE THRU WINDOW DETAIL  
SCALE: 1/2" = 1'-0"

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DRIVE THRU  
SIGNAGE DETAILS

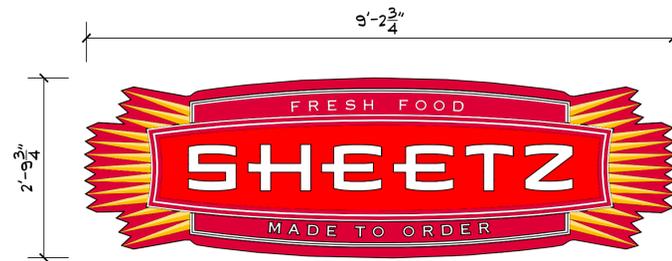
NEW SHEETZ STORE  
"NEW ALBANY"  
INT. OF WALTON PARKWAY  
AND JOHNSTOWN ROAD  
NEW ALBANY, OHIO

SCALE: AS NOTED  
DATE: 02-06-20  
DRAWN BY: RK, NPL  
FILENAME: ALBANY-DT SIGNS

DT-1

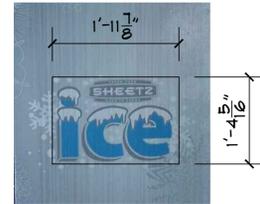
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**BUILDING SIGNS**



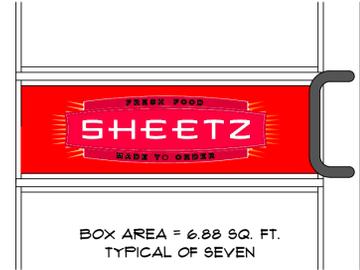
OUTLINE AREA = 21.65 SQ. FT.  
 BOX AREA = 25.94 SQ. FT.  
 TYPICAL OF THREE  
 COLOR RESTRICTIONS

WALL MOUNTED "SHEETZ" BUILDING SIGN  
 3/4" = 1'-0"



BOX AREA = 1.53 SQ. FT.  
 TYPICAL OF FOUR

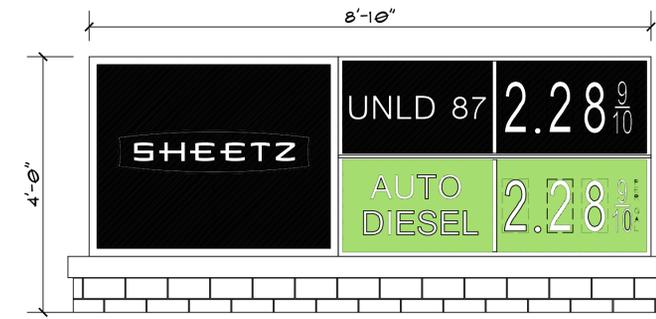
ICE MERCHANDISER GRAPHIC  
 3/4" = 1'-0"



BOX AREA = 6.88 SQ. FT.  
 TYPICAL OF SEVEN

DOOR PANEL SIGN  
 1 1/2" = 1'-0"

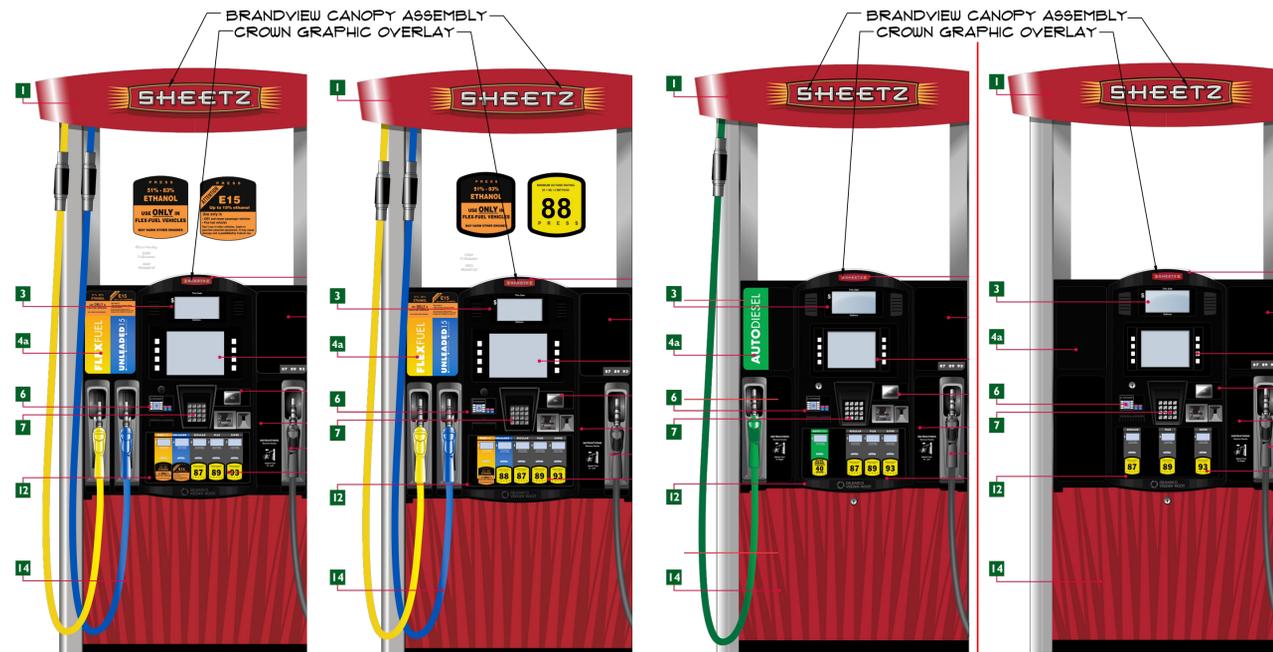
**MONUMENT SIGN**



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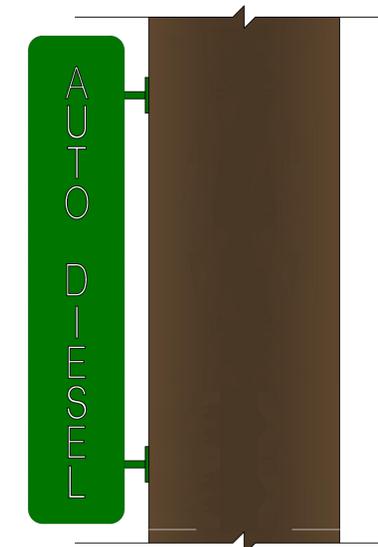
MONUMENT SIGN  
 3/4" = 1'-0"

**DISPENSER GRAPHICS**



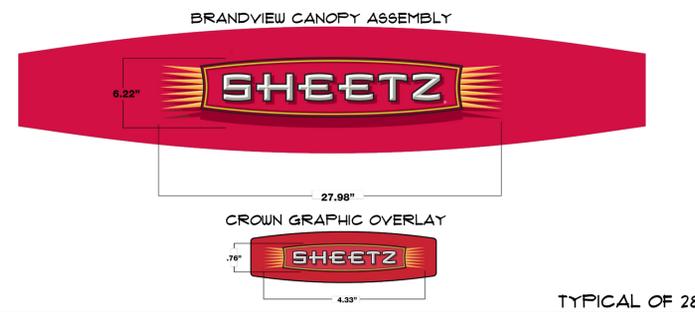
DISPENSER GRAPHICS  
 NOT TO SCALE

**AWNING SIGNS**



OUTLINE AREA = 5.08 SQ. FT.  
 TYPICAL OF FOUR

GAS CANOPY COLUMN MOUNTED "AUTO DIESEL" FLAG SIGN  
 1/4" = 1'-0"



DISPENSER LOGO DETAILS  
 NOT TO SCALE

TYPICAL OF 28

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SIGN  
 AREA  
 BREAKDOWN

NEW SHEETZ STORE  
 "NEW ALBANY"  
 INT. OF WALTON PARKWAY  
 AND JOHNSTOWN ROAD  
 NEW ALBANY, OHIO

SCALE: AS NOTED  
 DATE: 12-11-19  
 DRAWN BY: NMS  
 FILENAME: ANY-COVERSHEET

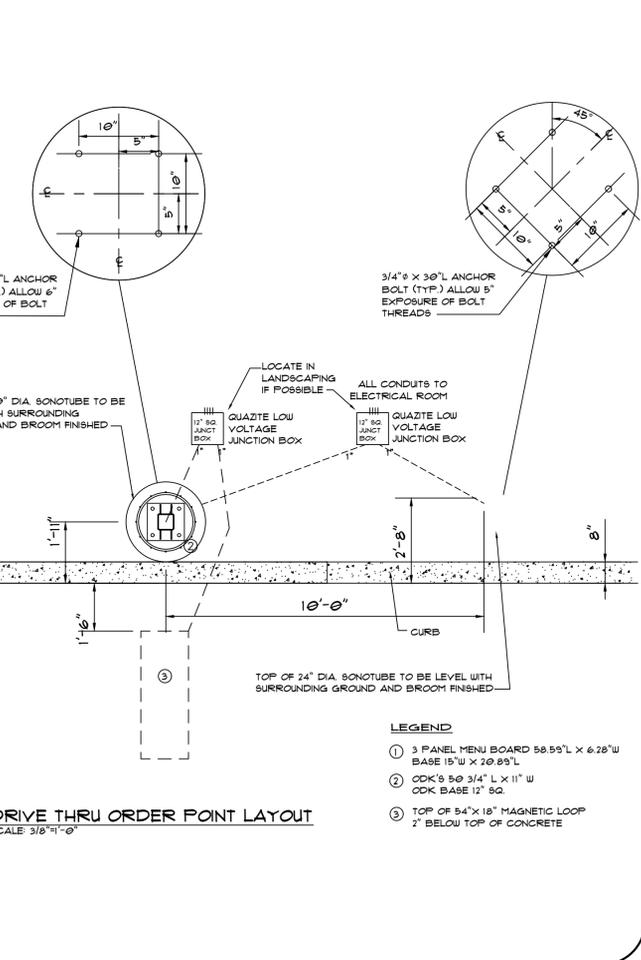
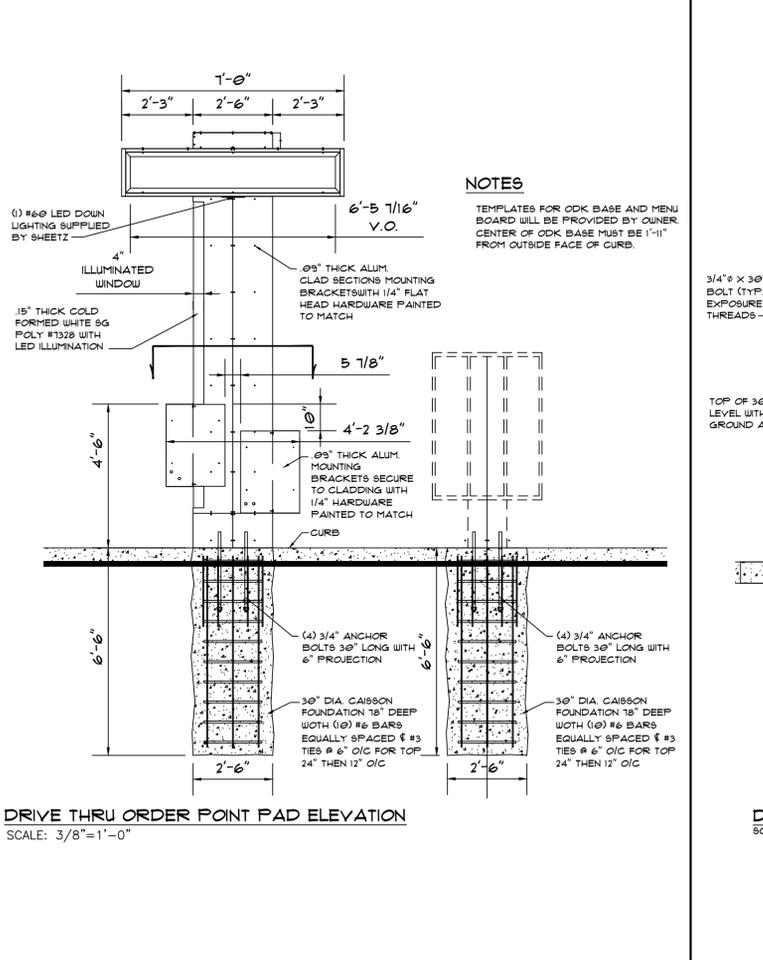
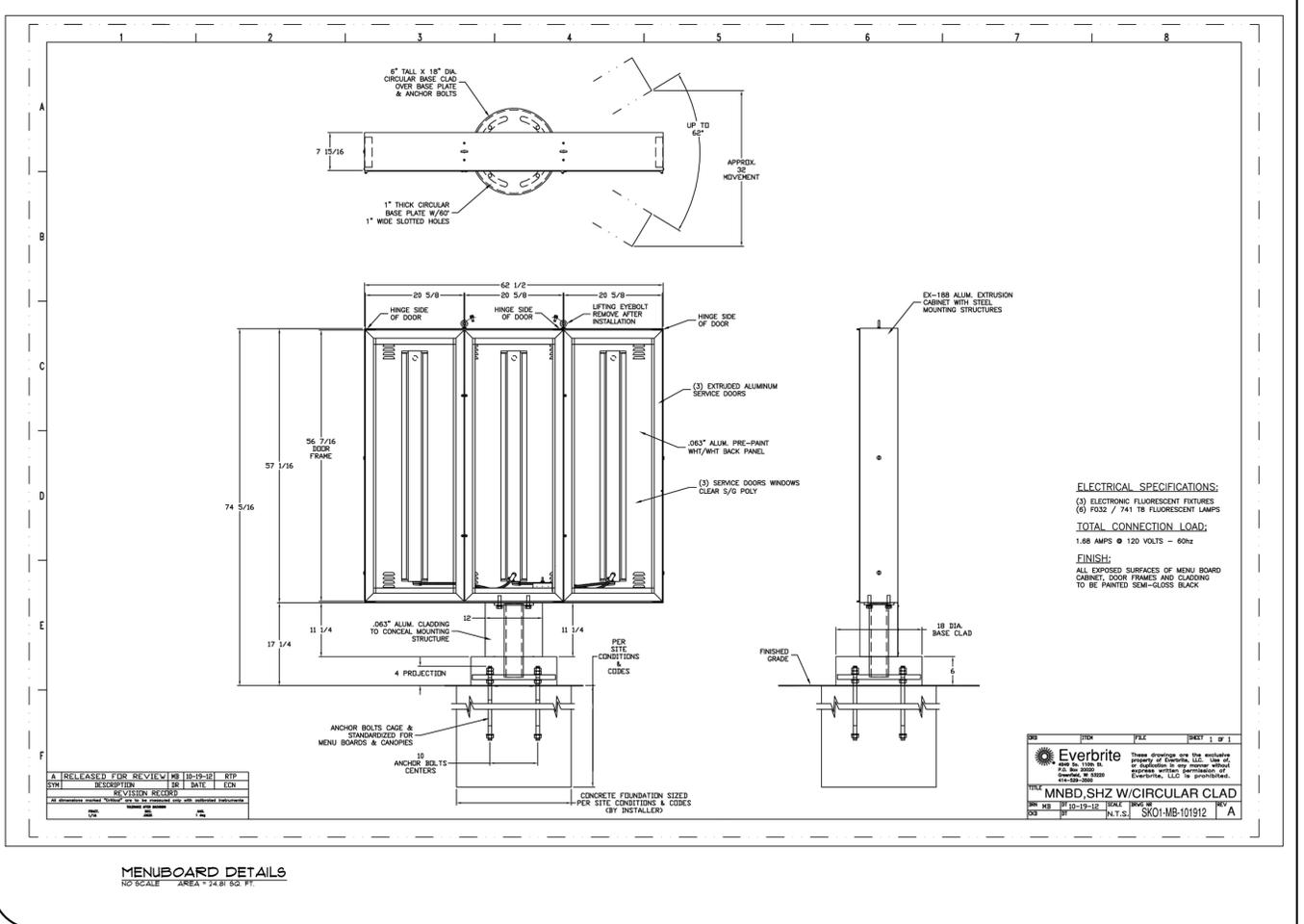
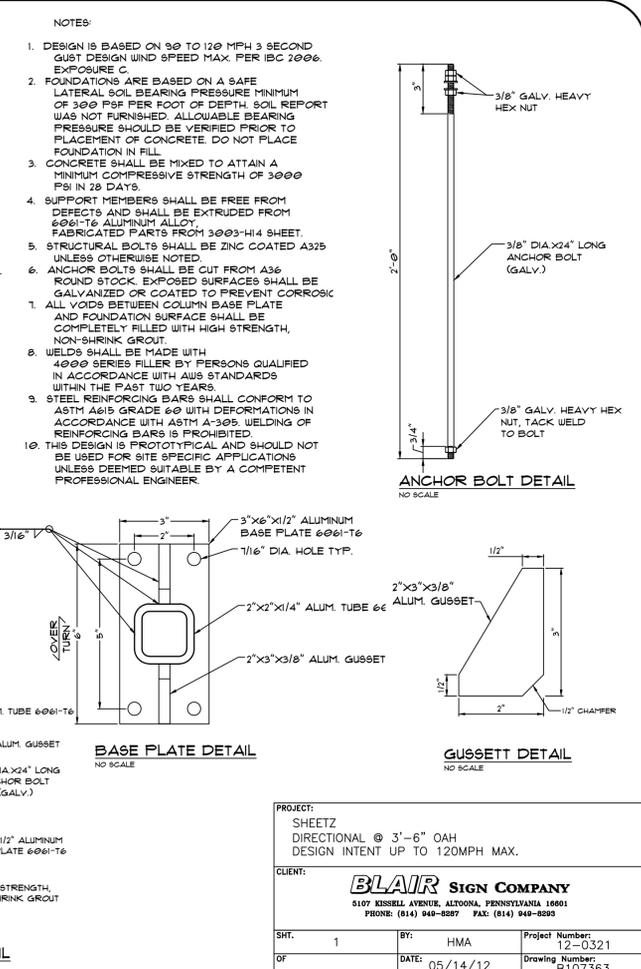
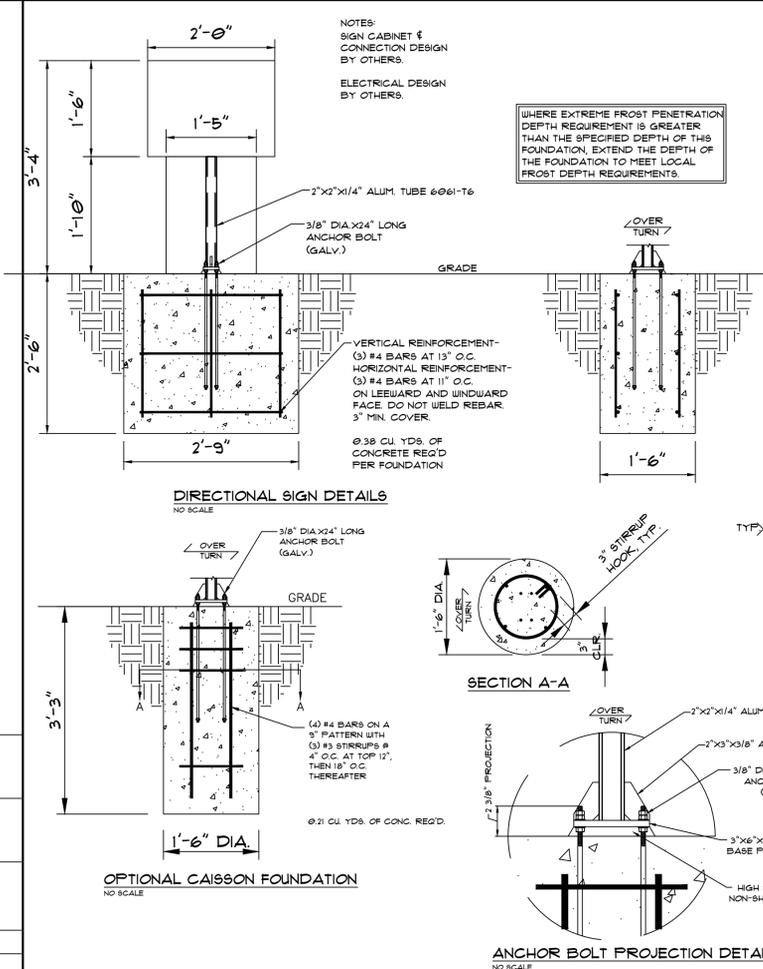
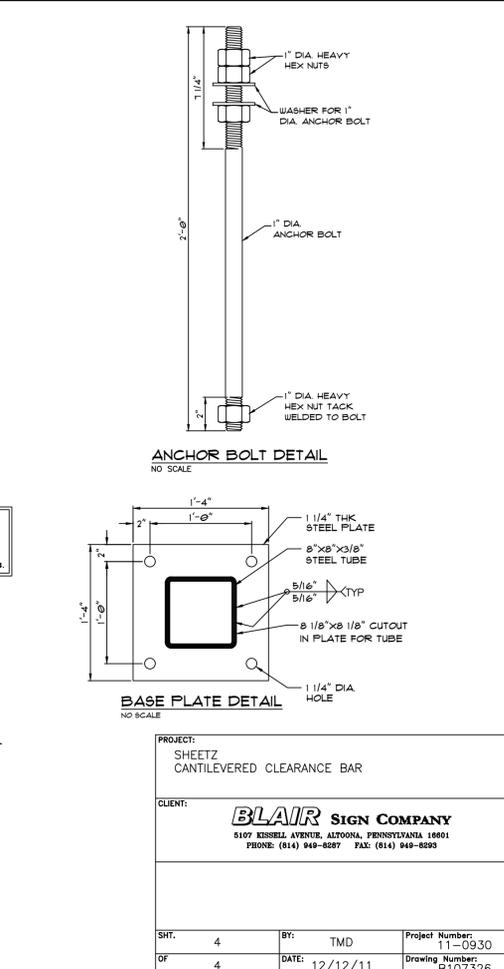
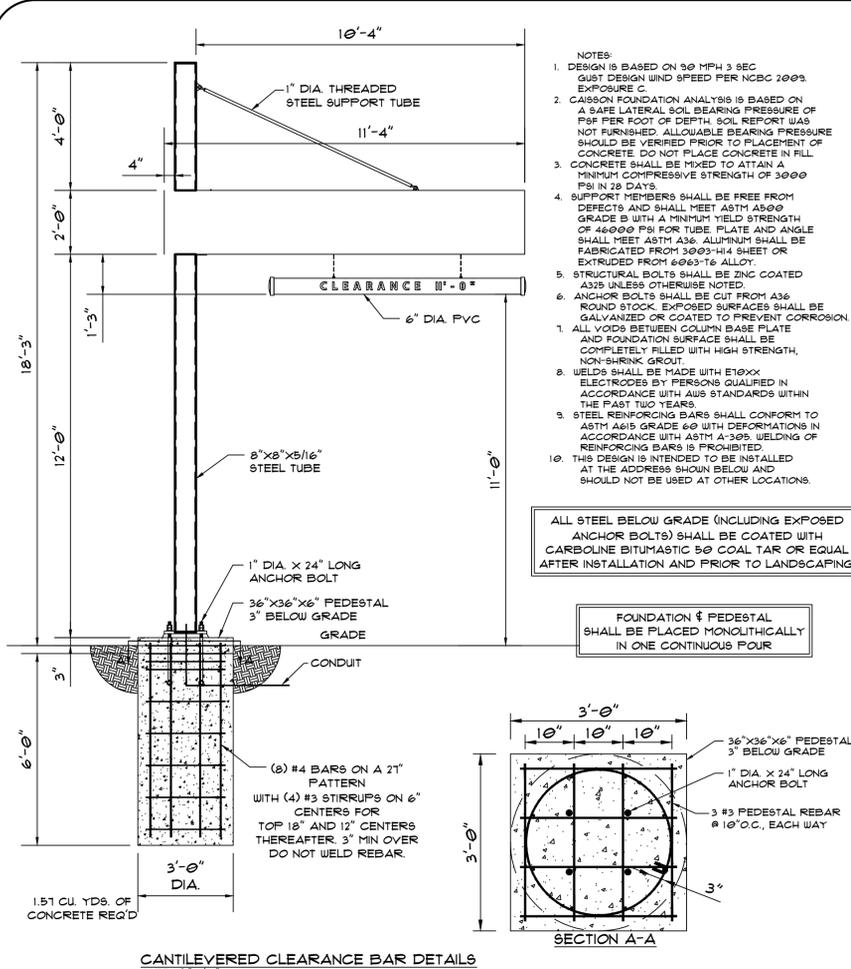
REVISIONS

DATE BY

DESCRIPTION

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**Convenience Architecture and Design P.C.**  
 351 Sheetz Way, Claysburg, PA 16625  
 (814)239-6013

**DETAILS**

**NEW SHEETZ STORE "NEW ALBANY"**  
 INT. OF WALTON PARKWAY AND JOHNSTOWN ROAD  
 NEW ALBANY, OHIO

DESCRIPTION	DATE	BY	REVISIONS

SCALE: AS NOTED  
 DATE: 12-02-10  
 DRAWN BY: NPI  
 FILENAME: NEW ALBANY-DT SIGNS

DT-2

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**Planning Commission Staff Report  
March 16, 2020 Meeting**

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**JUG ROAD AND INNOVATION CAMPUS WAY WEST  
CONDITIONAL USE**

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LOCATION: Generally located north of and adjacent to Innovation Campus Way West (PIDs: 222-005107 and 222-002133)  
APPLICANT: The New Albany Company LLC c/o Aaron Underhill, Esq.  
REQUEST: Conditional Use for Manufacturing and Production  
ZONING: L-GE Limited General Employment District  
STRATEGIC PLAN: Office District  
APPLICATION: CU-19-2020

Review based on: Application materials February 18, 2020

*Staff report completed by Chris Christian, Planner*

**I. REQUEST AND BACKGROUND**

The applicant requests approval for manufacturing and production as a conditional use for 34.4+/- acres within a portion of the Jug Road and Innovation Campus Way West. The subject property is zoned L-GE and the proposed conditional use will allow for the manufacturing, processing, fabrication, packaging, or assembly of goods. If approved, the conditional use will apply to 34.4+/- acres within the overall 170.18+/- acre zoning district.

**II. SITE DESCRIPTION & USE**

This site is located within the Jug Road and Innovation Campus Way West district which was rezoned on August 3, 2018 via Ordinance O-12-2018. The site is located north of and adjacent to Innovation Campus Way West. Current permitted uses at this site include: warehouse and distribution, research and production, data center and office uses. The neighboring uses and zoning districts include L-GE to the east, west and south and residential uses to the north. The site is currently undeveloped.

**III. EVALUATION**

The general standards for Conditional Uses are contained in Codified Ordinance Section 1115.03. The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location meets all of the following requirements:

- (a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*
  - The limitation text associated with the rezoning of the property places additional requirements above the General Employment District requirements on the development of the property. These requirements further ensure that the character of the area is preserved and enhanced by future development.
  - The Planning Commission has approved the same request for numerous other zoning districts on the north side of State Route 161. Manufacturing and production uses are permitted use in the following zoning districts: Harrison East, Harrison

West, the Winding Hollow zoning districts as well as Beech Road West and Innovation District Subarea A, both of which are just east of this property.

- The limitation text establishes setbacks that are more stringent than the minimum GE requirements.
  - The text requires a minimum pavement and building setback of 100 feet from Jug Street right-of-way and a minimum pavement and building setback of 25 feet from the Innovation Campus Way right-of-way.
  - There shall be a minimum pavement setback and 100 foot building setback from all perimeter boundaries of this zoning district that are adjacent to a property where residential uses are permitted.
  - The property is directly adjacent to three residentially used properties where the setbacks are increased even further. The zoning text states that for these properties, there shall be a minimum 60 foot pavement setback and a building setback of 125 feet.
- The text also establishes screening for adjacent residential uses. A developer is required to install a minimum 6 foot high mound along any property line that is adjacent to a residentially zoned property and be planted with a landscape buffer that provides 75% opacity within five years after planning to a total height of 10 feet above ground level. The property is directly adjacent to three residentially used properties where the mound must be a minimum of 8 feet in height and the required landscape screening must also be provided.
- A private site improvement plan that establishes grading and underground utilities for the site has been submitted to the city and meets all of the mounding requirements. A building permit has not been submitted and there is no known end user(s) for the site at this time. Site and building plans for proposed developments within this subarea will be approved on a user by user basis. Approval of these individual site plans should be subject to staff approval, as part of the approval of individual zoning & building permits.
- The Planning Commission has approved similar conditional use applications for manufacturing and production uses in other zoning districts within the New Albany Business Park. This has enabled the city to land several economic development projects with quick construction timelines. To maintain a competitive advantage over other locations, upon approval of the conditional use application it will be exempt from time limitations of C.O. 1115.07. Because speed to market is one of the most important factors when a company is undertaking site selections, having the conditional use previously approved has a positive benefit to the city's economic development goals and fiscal strength.

*(b) The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.*

- The proposed use will complement the office and distribution uses which are permitted uses within the overall area. The New Albany Business Park contains of five industry clusters. This portion of the business park is planned for manufacturing, warehousing, and distribution uses. New Albany's Personal Care and Beauty Campus is the first of its kind in the country, and has attracted global industry leaders as a result of its ability to seamlessly integrate product manufacturing, labeling, packaging and distribution within a single campus.
- Additional design guidelines for warehouse type manufacturing facilities contained in the zoning text further ensure their compatibility with the character of the area. The same architectural requirements as the surrounding commercial areas are required.
- The City's Design Guidelines and Requirements do not provide architectural standards for warehouse and distribution type facilities. Due to the inherent size and nature of these facilities careful attention must be paid to their design to ensure they are appropriately integrated into the rest of the business park. Jug Road and

Innovation Campus Way West text includes specific design requirements for uses not governed by the DGRs, which ensures the quality design of these buildings.

- (c) *The use will not be hazardous to existing or future neighboring uses.*
- The use will be subject to Codified Ordinance Section 1153.06 which requires that no land or structure within the GE District shall be used or occupied in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable impact on any land which is located in any other zoning district.
- (d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*
- This site is located north of and adjacent to Innovation Campus Way West. This conditional use will not have any more impact on public facilities and services than will the uses that are permitted in the underlying zoning. Sewer and water service is available for the extension in this location.
  - The proposed manufacturing and production use will produce no new students for the school district.
- (e) *The proposed use will not be detrimental to the economic welfare of the community.*
- The proposed manufacturing and production uses will generate income tax for the City by the creation of new jobs.
- (f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*
- The use will be subject to Codified Ordinance Section 1153.06 which requires that no land or structure within the GE District shall be used or occupied in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable impact on any land which is located in any other zoning district.
  - The zoning text requires the complete screening of roof-mounted equipment on all four sides of the building with materials that are consistent and harmonious with the building's façade and character for sound and views. This will provide additional noise abatement to neighboring properties in addition to improved aesthetics.
- (g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*
- The infrastructure in this portion of the city is being designed to accommodate the traffic associated with commercial uses.
  - There is no reason to believe that that traffic generated by the manufacturing and production uses will have any greater impact than traffic for permitted users in the GE district. The limitation text commits to provide additional right-of-way along major corridors to ensure there is adequate service.
  - Due to the proximity of this site to the State Route 161 interchange and its location adjacent to commercially zoned land in the existing business park to the east, south and west, the site appears to be most appropriate for manufacturing and production uses.

## **V. RECOMMENDATION**

### ***Basis for Approval:***

The overall proposal appears to be consistent with the code requirements for conditional uses and meets the development standards and recommendations contained in the 2014 New Albany Strategic Plan and the New Albany Economic Development Strategic Plan. The proposed manufacturing and production use will likely compliment the permitted uses within the subarea. The New Albany Business Park contains infrastructure designed to accommodate the traffic

associated with manufacturing and production uses and is strategically located close to State Route 161. The zoning text requires greater separation and landscape screening requirement from residentially zoned properties than what would normally be required in a General Employment (GE) zoning district. This conditional use meets the recommendations in the New Albany Economic Development Strategic Plan by providing additional business type diversity, and attracting supply-chain and technology industries and technology.

Staff recommends approval provided that the Planning Commission finds the proposal meets sufficient basis for approval.

## **VI. ACTION**

### **Suggested Motion for CU-19-2020:**

**To approve conditional use application CU-19-2020 based on the findings in the staff report with following condition of approval (conditions may be added)**

1. Approval of individual site plans for manufacturing and production users are subject to staff approval to confirm compliance with all applicable zoning requirements.

### **Approximate Site Location:**





Community Development Department  
Planning Application

RECEIVED  
FEB 18 2020

Case # \_\_\_\_\_  
Board \_\_\_\_\_  
Mtg. Date \_\_\_\_\_

Project Information

Site Address 0 Innovation Campus Way

Parcel Numbers 222-005107 and 222-002133

Acres 34.4 +/- # of lots created \_\_\_\_\_

Choose Application Type	Circle all Details that Apply			
<input type="checkbox"/> Appeal				
<input type="checkbox"/> Certificate of Appropriateness				
<input checked="" type="checkbox"/> Conditional Use				
<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment
<input type="checkbox"/> Plat	Preliminary	Final		
<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment	
<input type="checkbox"/> Minor Commercial Subdivision				
<input type="checkbox"/> Vacation	Easement		Street	
<input type="checkbox"/> Variance				
<input type="checkbox"/> Extension Request				
<input type="checkbox"/> Zoning	Amendment (rezoning)	Text Modification		

Description of Request: To allow manufacturing and production uses as a conditional use.

Contacts

Property Owner's Name: The New Albany Company LLC c/o Aaron L. Underhill, Esq.  
 Address: Underhill & Hodge LLC, 8000 Walton Parkway, Suite 260  
 City, State, Zip: New Albany, OH 43054  
 Phone number: 614.335.9320 Fax: 614.335.9329  
 Email: aaron@uhlfirm.com

Applicant's Name: The New Albany Company LLC c/o Aaron L. Underhill, Esq.  
 Address: Underhill & Hodge LLC, 8000 Walton Parkway, Suite 260  
 City, State, Zip: New Albany, OH 43054  
 Phone number: 614.335.9320 Fax: 614.335.9329  
 Email: aaron@uhlfirm.com

Signature

Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.

By: *Aaron L. Underhill*  
 Signature of Owner Aaron L. Underhill, attorney for owner Date: 2-18-2020  
 Signature of Applicant By: *Aaron L. Underhill* Date: 2-18-2020  
Aaron L. Underhill, attorney for applicant

**APPLICANT:**

The New Albany Company LLC  
c/o Aaron L. Underhill, Esq.  
Underhill & Hodge LLC  
8000 Walton Parkway, Suite 260  
New Albany, OH 43054

**PROPERTY OWNER:**

The New Albany Company LLC  
8000 Walton Parkway, Suite 120  
New Albany, OH 43054

**ATTORNEY:**

Aaron L. Underhill, Esq.  
Underhill & Hodge LLC  
8000 Walton Parkway, Suite 260  
New Albany, OH 43054

**SURROUNDING PROPERTY OWNERS:**

Abercrombie & Fitch Management Co.  
6301 Fitch Path  
New Albany, OH 43054

NAP Farm LLC  
6360 Evans Road  
New Albany, OH 43054

Michael Sergakis  
4942 Reed Road  
Columbus, OH 43220

New Albany Powergrid LLC  
1800 Wazee Street, Suite 318  
Denver, CO 80202

## Conditional Use Statement

### 34.4+/- Acres Located Within the Jug Road and Innovation Campus Way West Zoning District

The applicant, The New Albany Company LLC (“NACO”), requests approval of a conditional use to allow “manufacturing and production” uses to be operated on a limited portion of property located within the Innovation Campus Way West Zoning District. The subject property (the “Property”) consists of 34.4+/- acres located to the west of and adjacent to the Franklin County-Licking County boundary line and to the north and south of and adjacent to Innovation Campus Way West. The Property is zoned in the L-GE, Limited General Employment District classification. The zoning limitation text that applies to the Property allows for the review and approval of conditional uses that are set forth in Section 1153.02 of the Codified Ordinances.

Manufacturing and production uses are more particularly described in Section 1153.03(a)(3) of the Codified Ordinances, and generally include (among other uses contemplated therein) “the manufacturing, processing, fabrication, packaging, or assembly of goods.” Section 1115.03 of the Codified Ordinances provides that the Planning Commission is to approve a conditional use if it meets all of the following requirements:

**(a) The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.**

The zoning limitation text associated with the approved zoning of the Property provides requirements for the development of the Property over and above that which are required by the Zoning Ordinance. For instance, Section 1153.04 of the Codified Ordinances provides that, in a GE, General Employment District, the required minimum rear yard pavement and building setback is 25 feet and, where adjacent to a residentially-zoned property, these minimum setbacks are 50 feet. The zoning limitation text that applies to the Property requires a minimum pavement setback of 50 feet and a minimum building setback of 125 feet. Furthermore, the approved zoning text requires a mound with a minimum height of 8 feet along the rear of the Property with landscaping that is to reach a 75% level of opacity at 10 feet above ground level within 5 years. Numerous other requirements and standards are contained within the zoning limitation text which provide commitments that will result in development of the Property in a manner that meets or exceeds the requirements of the Zoning Ordinance.

**(b) The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.**

This same conditional use request has been approved in various locations throughout the City’s Business Park and is appropriate on the Property given its proximity to other similar and compatible uses. For example, Abercrombie & Fitch operates two large distribution



centers on land located to the southwest of the Property. Property to the east, west, and south is zoned L-GE or otherwise allows GE uses. Manufacturing and production uses have been approved as conditional uses in various portions of the Business Park such as (but not limited to): (a) the Beech Road West Zoning District (35.45+/- acres), located to the east of the Property; (b) the Harrison East Zoning District (178+/- acres); (c) the Harrison West Zoning District (18.16+/- acres); and (d) the Winding Hollow Zoning District (310.15+/- acres). The zoning for the Property contains greater minimum setback requirements from perimeter boundaries than the zonings for those other districts, which generally require 25 feet for pavement and 50 feet for buildings where adjacent to residentially-zoned parcels.

**(c) The use will not be hazardous to existing or future neighboring uses.**

Setback, buffering, and mounding requirements that are specifically set forth in the zoning limitation text that applies to the Property will ensure that the operation of the conditional use will not be hazardous to existing or future neighboring uses.

**(d) The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.**

The City and the applicant have already made significant investment in the construction of Innovation Way West, a public street that runs westward from Beech Road. The intention is that this public street will be extended in the future to serve the Property and real estate to the east, using right-of-way that has already been dedicated for this purpose. Water and sanitary sewer infrastructure is located within the vicinity of the Property. The New Albany Plain Local School District will benefit from the conditional use by receiving the benefit of increased tax revenues from non-residential development.

**(e) The proposed use will not be detrimental to the economic welfare of the community.**

The proposed conditional use will be of a clear economic benefit to the community. It has the potential to create a significant number of jobs and income taxes. Development and operation of the conditional use will also increase the value of the Property through the construction of buildings and other improvements thereon.

**(f) The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.**

The conditional use will be subject to Codified Ordinances Section 1153.06, which requires that no land or structure within the GE district shall be used or occupied in such a manner as to create any dangerous, injurious, noxious or otherwise objectionable impact on any land which is located in any other zoning district.

**(g) Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.**

Innovation Campus Way West is anticipated to be extended westward in the future to serve the Property and other sites. The existing portion of this street is designed to accommodate commercial traffic, and it is expected that the extension of this street will have a similar design. There is no reason to believe that traffic generated by the conditional use will have any greater impact on traffic than other permitted uses in the GE district.

33.423 ACRES

Situated in the State of Ohio, County of Franklin, City of New Albany, lying in Lot 21, Section 11, Quarter Township 1, Township 2, Range 16, United States Military District, and being part of the remainder of that 36.399 acre tract conveyed to Carole A. Ritchie, Trustee (1/2 interest), by deeds of record in Official Record 34566C10 and Instrument Number 199705160001871, and Cynthia L. Bowlin, Trustee (1/2 interest) by deed of record in Instrument Number Official Record 34771G20, (all references are to the records of the Recorder's Office, Franklin County or Licking County, Ohio, as noted) being more particularly described as follows:

BEGINNING at a 5/8 inch rebar capped "SLSS 6612" found in the northerly line of that 26.169 acre tract conveyed to New Albany Powergrid LLC by deed of record in Instrument Number 201903130028215, at the common corner of said 36.399 acre tract and Lot 3 of that subdivision entitled "Brad Holbert Subdivision", of record in Plat Book 69, Page 79 (Franklin County), being in the line common to said Lot 21 and Lot 8, Section 11, Quarter Township 4 of said Township 2, Range 16, said rebar being North 86° 55' 02" West, a distance of 1306.86 feet from a 3/4 inch iron pin found in the line common to said Franklin and Licking Counties and at the common corner of said Lot 21; said Lot 8; Half Section 15, Quarter Township 3; and Lot 33, Quarter Township 2 of said Township 2, Range 16;

Thence with the line common to said 36.399 acre tract and said Lot 3, the following courses and distances:

North 03° 35' 06" East, a distance of 548.45 feet to a 5/8 inch rebar capped "SLSS 6612" found at a point of curvature;

With the arc of a curve to the left, having a central angle of 02° 12' 47", a radius of 452.07 feet, an arc length of 17.46 feet, a chord bearing of North 58° 50' 59" West and chord distance of 17.46 feet to a 5/8 inch rebar capped "SLSS 6612" found at a point of tangency;

North 59° 57' 23" West, a distance of 148.21 feet to a 5/8 inch rebar capped "SLSS 6612" found at a point of curvature;

With the arc of a curve to the right, having a central angle of 44° 06' 55", a radius of 333.56 feet, an arc length of 256.83 feet, a chord bearing of North 37° 54' 56" West and chord distance of 250.53 feet to an iron pin set at a point of tangency; and

North 15° 51' 29" West, partially with the easterly right-of-way line of Evans Road, as dedicated in Plat Book 69, Page 79 (Franklin County), (passing a 5/8 inch rebar capped "SLSS 6612" found at an angle point in said easterly right-of-way line at a distance of 27.61 feet) a total distance of 36.26 feet to a magnetic nail set at a northwesterly corner of said 36.399 acre tract, being the northerly terminus of said easterly right-of-way line and the southerly line of that portion of Evans Road as dedicated in Plat Book 32, Page 121;

Thence South 86° 09' 53" East, with the easterly right-of-way line of said Evans Road (P.B. 32, P. 121), with a northerly line of said 36.399 acre tract, a distance of 3.55 feet to a 5/8 inch rebar found (0.31 feet south);

Thence North 03° 49' 17" East, with said easterly right-of-way line, the westerly line of said 36.399 acre tract, a distance of 248.80 feet to 3/4 inch iron pipe found at the common corner of said 36.399 acre tract and that 1.2 acre tract conveyed as Parcel One to NAP Farm, LLC and Rockbridge Ventures, LLC by deed of record in Instrument Number 200702220031748;

Thence South 86° 40' 07" East, with the northerly line of said 36.399 acre tract, the southerly line of said 1.2 acre tract, that 5.0 acre tract conveyed as Parcel Two to NAP Farm, LLC and Rockbridge Ventures, LLC by deed of record in Instrument Number 200702220031748, and that 13.924 acre tract conveyed to Michael S. Sergakis by deed of record in Instrument Number 199711200148917, (passing an axle found at a distance of 6.10 feet) a total distance of 1628.97 feet to 3/4 inch iron pipe found at the common corner of said 36.399

33.423 ACRES

-2-

and 13.924 acre tract, in the westerly line of that 109.033 acre tract conveyed to New Albany Powergrid LLC by deed of record in Instrument Number 201903150004808 (Licking County), being in the line common to said Franklin and Licking Counties, and said Lot 21 and Lot 33;

Thence South 03° 36' 33" West, with the line common to said 36.399 and 109.033 acre tracts, the line common to said Franklin and Licking Counties and Lots 21 and 33, a distance of 1001.85 feet to an iron pin set in the northerly right-of-way line of Innovation Campus Way West, as dedicated in Plat Book 126, Page 90 (Franklin County) and Instrument Number 201908020115781 (Licking County), at the common corner of a remainder of said 36.399 acre tract and a remainder of said 109.033 acre tract, being North 03° 36' 33" East, a distance of 109.89 feet from a 3/4 inch iron pin found at the common corner of said Lot 21, Lot 33, Half Section 15, and Lot 8;

Thence with the northerly right-of way line of said Innovation Campus Way West, the southerly line of a remainder of said 36.399 acre tract, the following courses and distances:

North 86° 55' 22" West, a distance of 1060.92 feet to an iron pin set at a point of curvature;

With the arc of a curve to the right, having a central angle of 52° 37' 00", a radius of 55.00 feet, an arc length of 50.51 feet, a chord bearing of North 60° 36' 52" West and chord distance of 48.75 feet to an iron pin set at a point of reverse curvature; and

With the arc of a curve to the left, having a central angle of 185° 52' 05", a radius of 85.00 feet, an arc length of 275.74 feet, a chord bearing of South 52° 45' 36" West and chord distance of 169.78 feet to an iron pin set in the northerly line of said 26.169 acre tract, being the line common to said Lot 21 and Lot 8;

Thence North 85° 55' 02" West, with the line common to said 36.399 and 26.169 acre tracts, the line common to said Lots 21 and 8, a distance of 73.62 feet to the POINT OF BEGINNING, containing 33.423 acres, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

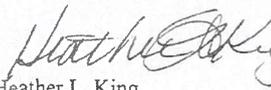
Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The Bearings shown hereon are based on the Ohio State Plane Coordinate System South Zone as per NAD83 (1986 Adjustment). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected Franklin County Engineering monuments Frank 80 and Frank 180. The portion of the centerline of Beech Road, having a bearing of North 03° 25' 04" East, is designated the "basis of bearings" for this description.

This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.

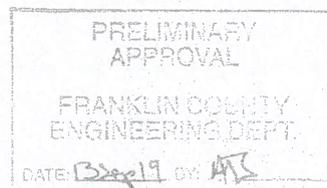


EVANS, MECHWART, HAMBLETON & TILTON, INC.

  
Heather L. King  
Professional Surveyor No. 8307

8/13/19  
Date

HLK: ap  
33\_423 ac 20190946-VS-BNDY-01.doc



1.013 ACRES

Situated in the State of Ohio, County of Franklin, City of New Albany, lying in Lot 21, Section 11, Quarter Township 1, Township 2, Range 16, United States Military District, and being part of the remainder of that 36.399 acre tract conveyed to Carole A. Ritchie, Trustee (1/2 interest), by deeds of record in Official Record 34566C10 and Instrument Number 199705160001871, and Cynthia L. Bowlin, Trustee (1/2 interest) by deed of record in Instrument Number Official Record 34771G20, (all references are to the records of the Recorder's Office, Franklin County or Licking County, Ohio, as noted) being more particularly described as follows:

BEGINNING at a 3/4 inch iron pipe found in the line common to said Franklin and Licking Counties, at the common corner of said 36.399 acre tract, that 26.169 acre tract conveyed to New Albany Powergrid LLC by deed of record in Instrument Number 201903130028215 (Franklin County), that 35.000 acre tract conveyed to Columbus Southern Power Company by deed of record in Instrument Number 200603160007394 (Franklin County), and that 109.033 acre tract conveyed to New Albany Powergrid LLC by deed of record in Instrument Number 201903150004808 (Licking County), being the common corner of said Lot 21; Lot 8, Section 11, Quarter Township 4; Half Section 15, Quarter Township 3; and Lot 33, Quarter Township 2 of said Township 2, Range 16;

Thence North 85° 55' 02" West, with the line common to said 36.399 and 26.169 acre tracts, the line common to said Lots 21 and 8, a distance of 1111.49 feet to an iron pin set at a point on a curve in the southerly right-of-way line of Innovation Campus Way West, as dedicated in Plat Book 126, Page 90 (Franklin County) and Instrument Number 201908020115781 (Licking County);

Thence with the southerly right-of-way line of said Innovation Campus Way West, the northerly line of a remainder of said 36.399 acre tract, the following courses and distances:

With the arc of a curve to the left, having a central angle of 07° 52' 37", a radius of 85.00 feet, an arc length of 11.69 feet, a chord bearing of North 44° 23' 56" East and chord distance of 11.68 feet to an iron pin set at a point of reverse curvature;

With the arc of a curve to the right, having a central angle of 52° 37' 00", a radius of 55.00 feet, an arc length of 50.51 feet, a chord bearing of North 66° 46' 08" East and chord distance of 48.75 feet to an iron pin set at point of tangency; and

South 86° 55' 22" East, a distance of 1060.37 feet to an iron pin set at the common corner of a remainder of said 36.399 acre tract and a remainder of said 109.033 acre tract, being in the line common to said Franklin and Licking Counties and said Lots 21 and 33;

Thence South 03° 36' 33" West, with the line common to said 36.399 and 109.033 acre tracts, the line common to said Franklin and Licking Counties and said Lots 21 and 33, a distance of 49.89 feet to the POINT OF BEGINNING, containing 1.013 acres, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The Bearings shown hereon are based on the Ohio State Plane Coordinate System South Zone as per NAD83 (1986 Adjustment). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected Franklin County Engineering monuments Frank 80 and Frank 180. The portion of the centerline of Beech Road, having a bearing of North 03° 25' 04" East, is designated the "basis of bearings" for this description.

This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.



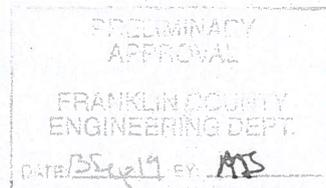
EVANS, MECHWART, HAMBLETON & TILTON, INC.

Heather L. King  
Heather L. King  
Professional Surveyor No. 8307

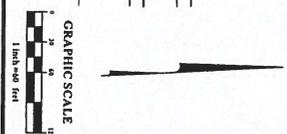
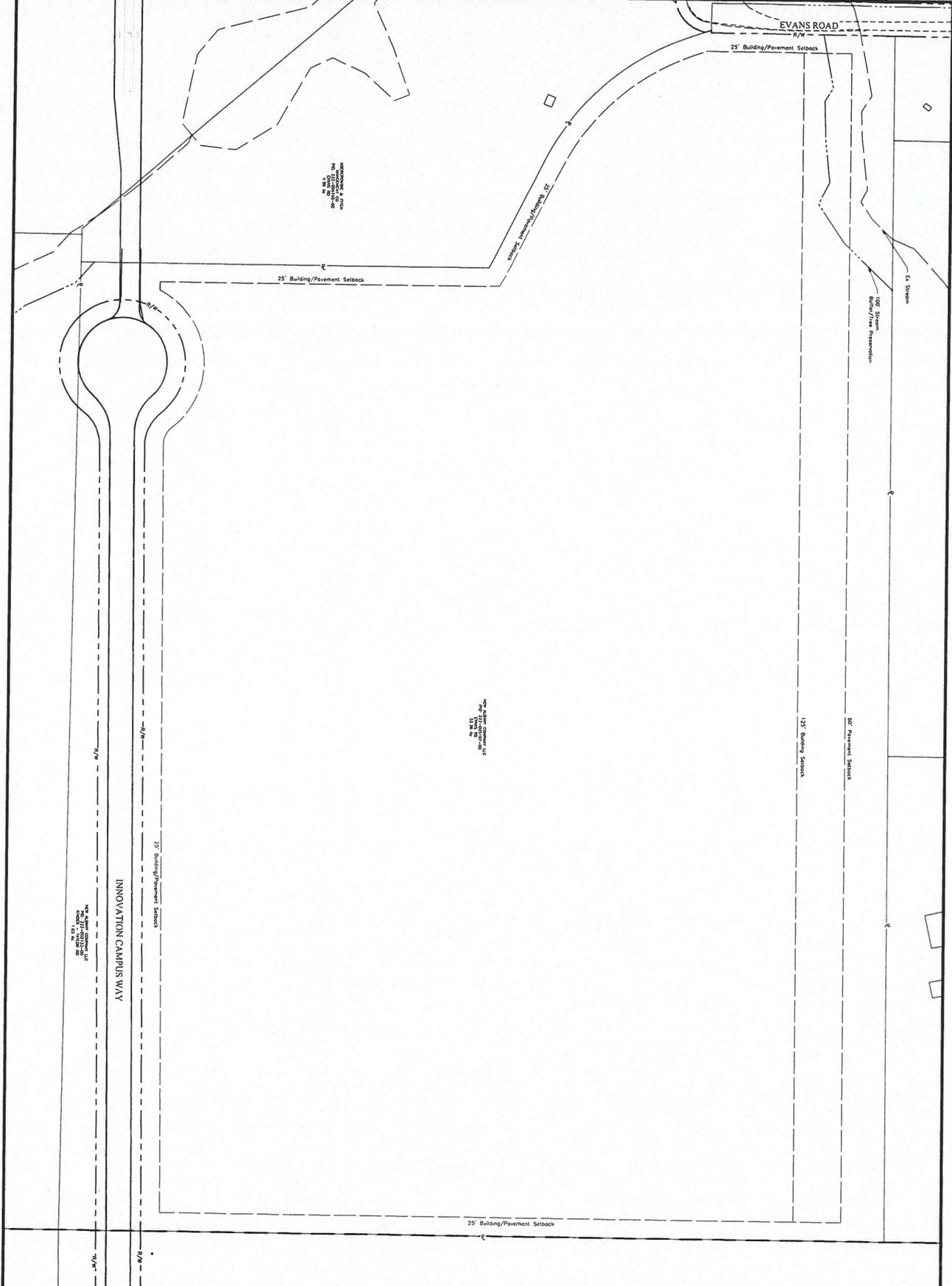
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Date

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**GRAPHIC SCALE**  
 1 inch = 50 feet

**DATE**  
 January 8, 2018

**SCALE**  
 1" = 50'

**PROJECT**  
 2018-117

**SHEET**  
 1/1

**EMHT**  
 ENGINEERING, ARCHITECTURE, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE, PLANNING & SURVEYING  
 2500 New Albany Road, Columbus, OH 43224  
 Phone: 614.776.4300 Fax: 614.776.4301  
 emht.com

CITY OF NEW ALBANY, LICKING COUNTY, OHIO  
 EXHIBIT  
 FOR  
**SITE J**  
**INNOVATION CAMPUS WAY**  
 ZONING EXHIBIT

REVISIONS		
NO.	DATE	DESCRIPTION

# ENGAGE NEW ALBANY

## SUMMARY REPORT NO.2

February 28, 2020

### INTRODUCTION

The second task of the Engage New Albany Strategic Plan was the visioning and opportunities analysis, which roughly took place from September 2019 to January 2020.

The following is a summary of MKSK's findings for the second task of Engage New Albany. The information is organized into the following sections:

1. Community Engagement Summary
2. Subcommittee Meetings
3. Steering Committee Meeting No. 3
4. Community Workshop No. 2

Task three of Engage New Albany is the plan synthesis and is expected to be completed by late spring 2020 and ready for adoption.

### COMMUNITY ENGAGEMENT SUMMARY

The graphic below is a summary of the total number of people engaged to-date during the first and second tasks of the strategic planning process.





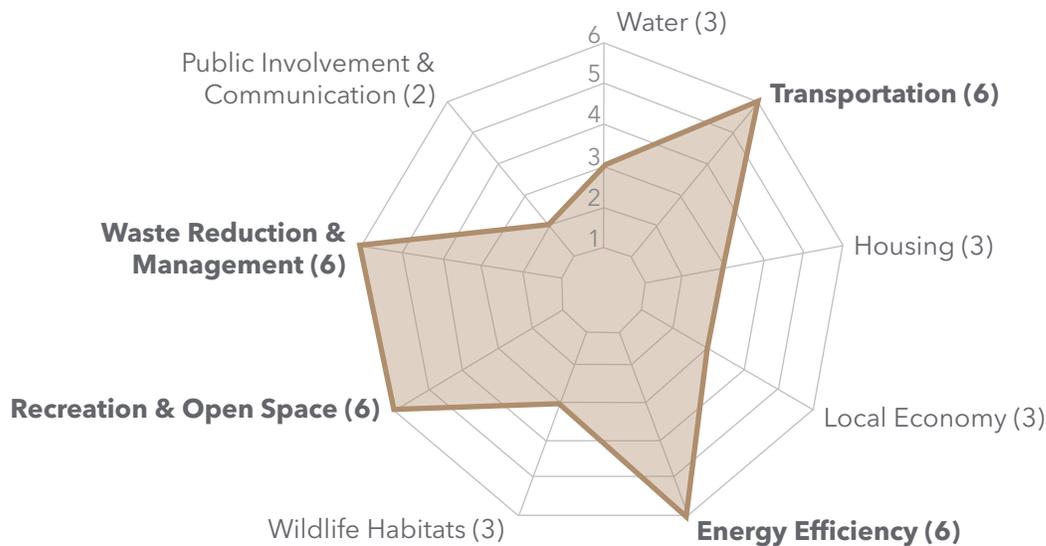
## SUBCOMMITTEE MEETINGS

The 41-member Steering Committee guiding the strategic planning process was further divided into two subcommittees: transportation and sustainability. These topics were chosen because they are priorities for this plan and require additional input and guidance from the Steering Committee. During task 2 of the planning process, the subcommittees each met for the second time. The results of these meetings are summarized on the following pages.

### Sustainability Subcommittee

The 9-member Sustainability Subcommittee met for the second time on October 16, 2019 from 8:30 - 10 a.m. at City Hall. The planning team gave a presentation that consisted of background and existing conditions information and then facilitated discussion and an interactive Mentimeter activity afterwards. The results of that discussion and activity are below:

*Top sustainability topics to focus on in this plan:*



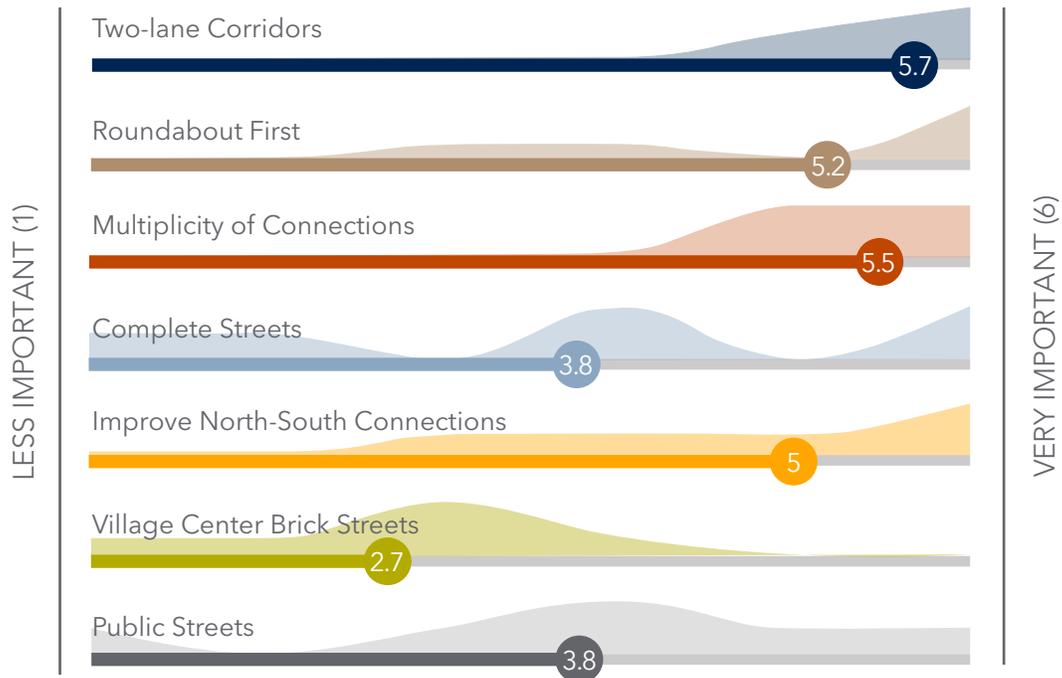
*What recommendations do you think would have the biggest impact on sustainability in New Albany?*

- Educational programs and campaigns to raise awareness and provide resources about sustainability within the community
- Adopt policies that position the City to be a regional leader in sustainability and to set the example for businesses and residents
- Adopt renewable energy to power public facilities and incentivize residents to switch to renewable energy to power their homes and vehicles
- Improve waste management through recycling and composting and focus on reducing dependence on single use plastics
- Continue to focus on encouraging mode shifts to alternative transportation by making the City more pedestrian and bike-friendly
- Focus on nature preservation, green infrastructure, and sustainable landscaping practices

## Transportation Subcommittee

The 7-member Transportation Subcommittee met for the second time on December 18, 2019 from 8:30 - 10 a.m. at City Hall. The planning team gave a presentation that consisted of existing conditions, growth and trends, and potential strategies moving forward. Following the presentation, the subcommittee discussed their thoughts on transportation in New Albany and completed an interactive Mentimeter activity. The results of that discussion and activity are below:

*How important are the following policies to you?*



*What would make you and New Albany residents more likely to use transit?*

- More frequent service
- Convenient schedule
- Few transfers
- Easy access to destinations

*What would make you and New Albany residents more likely to walk or bike?*

- Access to more destinations within walking/biking distance
- Sense of safety
- A more connected system of pedestrian and bike infrastructure
- Maintain leisure trail system and remove snow in the winter

## STEERING COMMITTEE #3

The third Steering Committee meeting was held on January 8, 2020 from 8:30 a.m. to 10 a.m. at the Heit Center, which was attended by about **25 committee members**. The purpose of this meeting was to unveil the proposed strategic direction to the committee members to get their feedback before presenting the information to the public at the Community Workshop #2. The majority of the meeting was occupied by the presentation of the strategic direction, which was organized into the following five topics:

- New Albany Growth
- Mobility & Connectivity
- Sustainability & Environment
- Parks & Wellness
- Strengthening the Village Center

After each topic, the planning team paused to hear feedback from the committee. The committee members were in favor of all the strategies presented and provided comments that the planning team used to refine the strategies before presenting them at Community Workshop #2. Steering Committee members who were unable to attend or wanted to voice further thoughts were able to fill out an online survey after the meeting, which 5 committee members completed.

Below are a few comments received from Steering Committee #2.

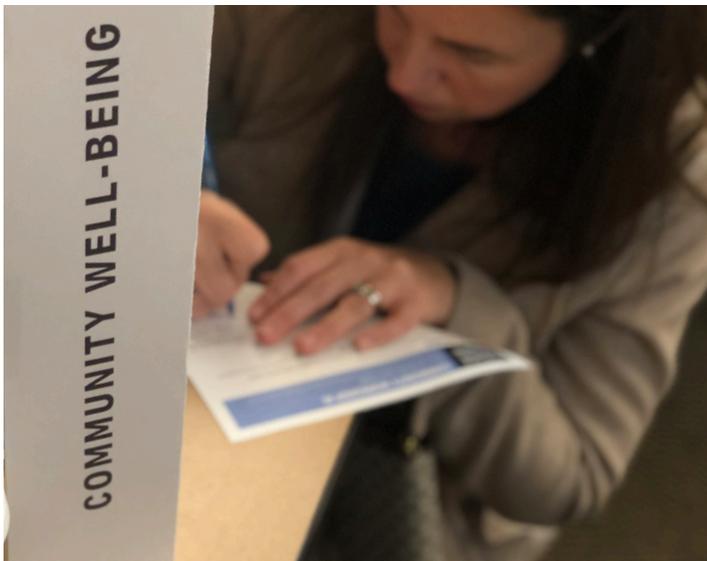


## COMMUNITY WORKSHOP #2

The goal of the second community workshop was to present the draft strategies and objectives to the general public and gather their feedback. The workshop was held on January 16th from 6-8 p.m. at the Columbus Metropolitan Library - New Albany Branch. After a 45-minute presentation, the public was invited to visit 7 different stations, each covering a plan topic area. The stations were:

- Land Use
- Mobility
- Village Center
- Sustainability
- Parks & Recreation
- Community Well-Being
- General Comments

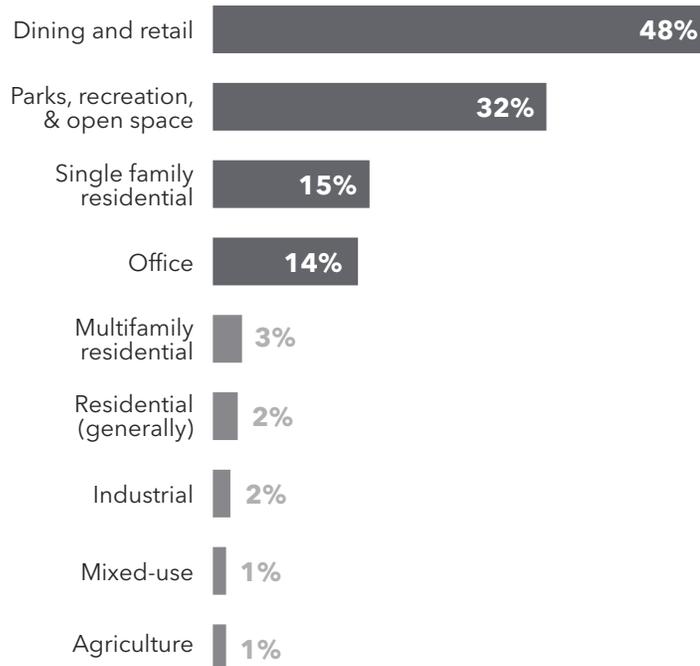
A kid's station was also incorporated into the set-up to encourage families and caretakers of children to attend. The kids were given coloring pages and invited to use their imagination to design a community park, downtown area, and a neighborhood. **More than 75 people** attended the in-person community workshop #2.



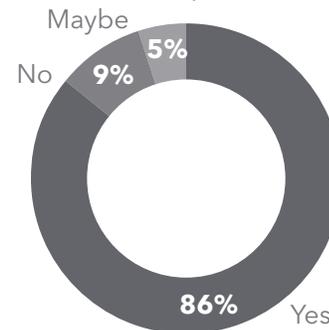
After the in-person workshop, an online survey was included on the project website, and which **180 people completed**. The average time to complete the online survey was **17 minutes**. The combined results from the in-person workshop and online survey are included below and organized by topic.

## LAND USE

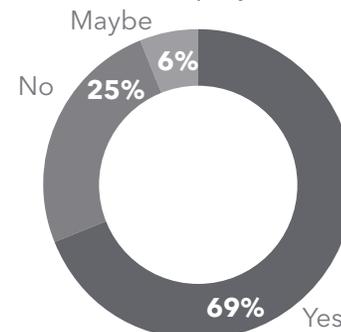
What type of land uses would you like to see more of in New Albany? (n=179)\*



Should New Albany strive to be a life-span community where people can live their entire lives within the city if they so desire and provide the housing types to make this possible? (n=159)

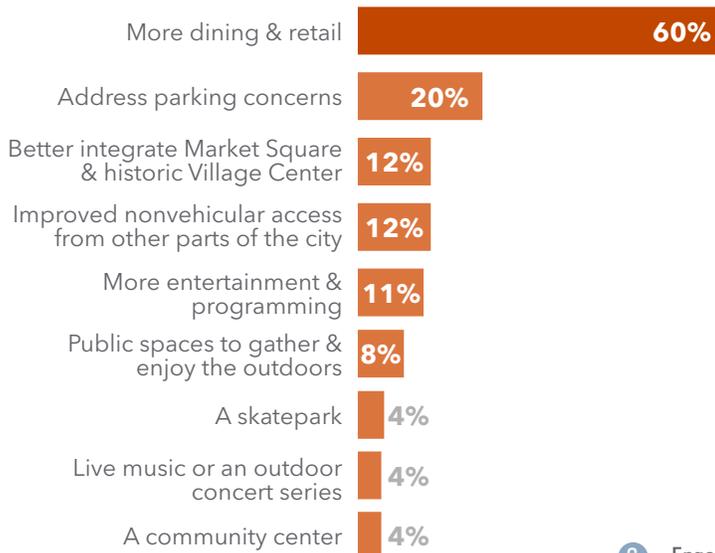


Should New Albany add retail areas within the city, but outside of the Village Center if they are limited in geography and designed to serve the adjoining neighborhoods and/or employment centers? (n=174)

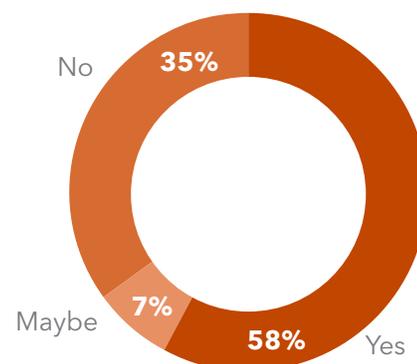


## VILLAGE CENTER

What would make the Village Center even more of a destination for you and your family? What would you like to see more of in the Village Center? (n=186)\*



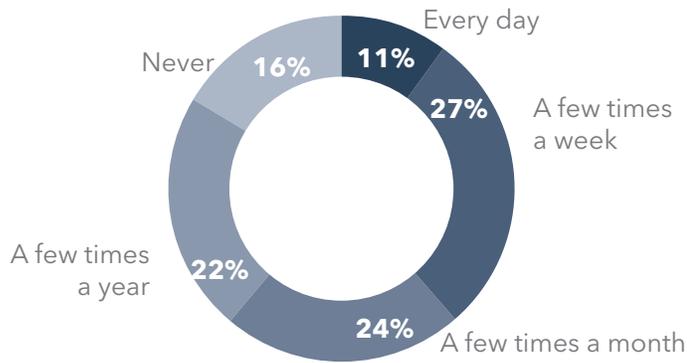
Are you supportive of adding walkable, cluster neighborhoods (similar to Ashton Grove, Keswick, Market & Main, and Ealy Crossing) connected to the Village Center? (n=166)



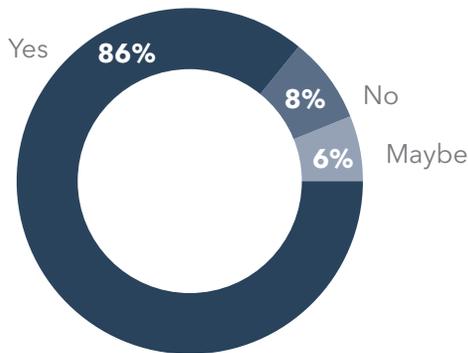
\*=percentages don't equal 100 because responses could count for more than 1 theme

## MOBILITY

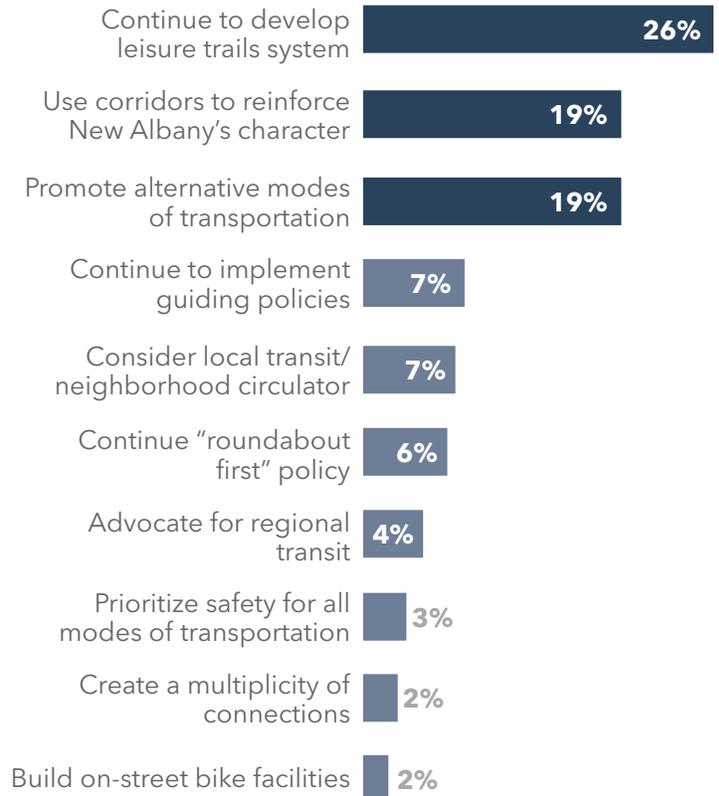
How often do you or your family walk or bike to a destination within New Albany? (n=184)



Do you agree that we should preserve the character of New Albany's corridors in our efforts to improve traffic flow? (n=167)

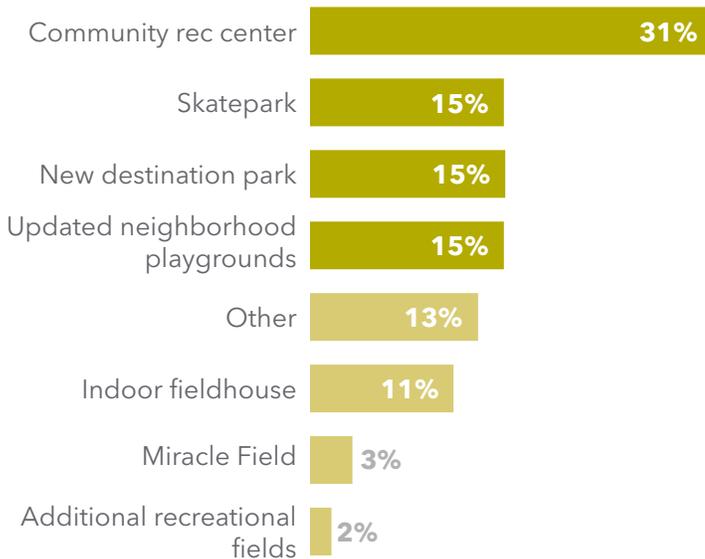


Which of the mobility strategies for New Albany would you prioritize? (n=164)\*

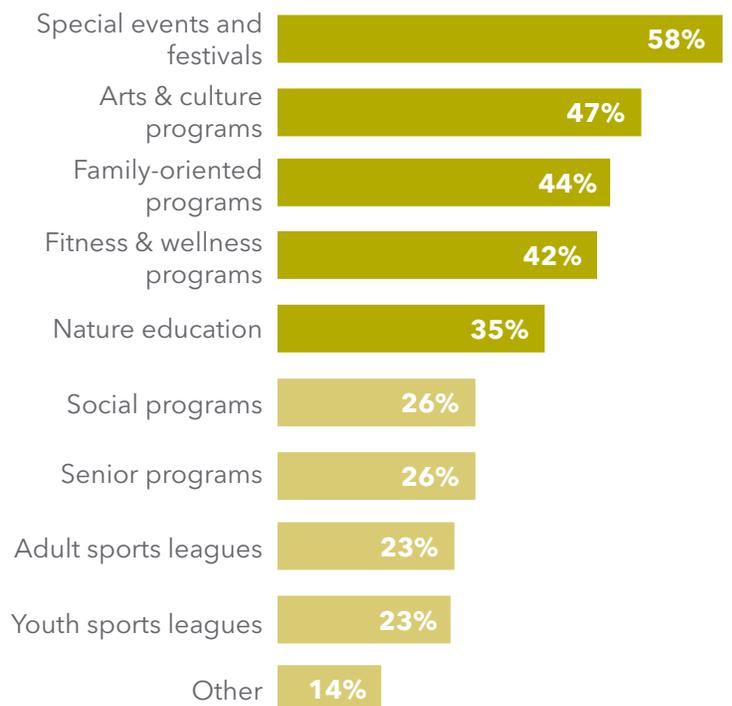


## PARKS & RECREATION

What is the top parks & recreation improvement you would like to see in the New Albany community? (n=197)\*



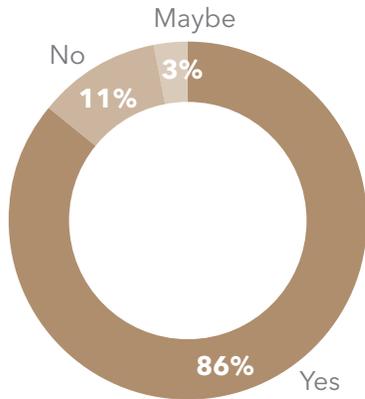
What types of additional programming would you like to see in the New Albany community? (n=192)\*



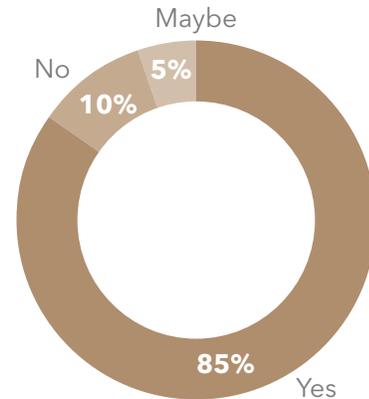
\*=percentages don't equal 100 because responses could count for more than 1 theme

## SUSTAINABILITY

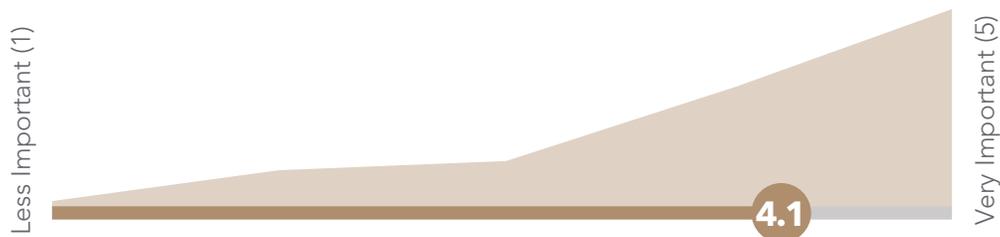
Would you be supportive of converting some of the setbacks along New Albany's road corridors from turf grass to native prairie meadows, wooded areas, or local food production? (n=167)



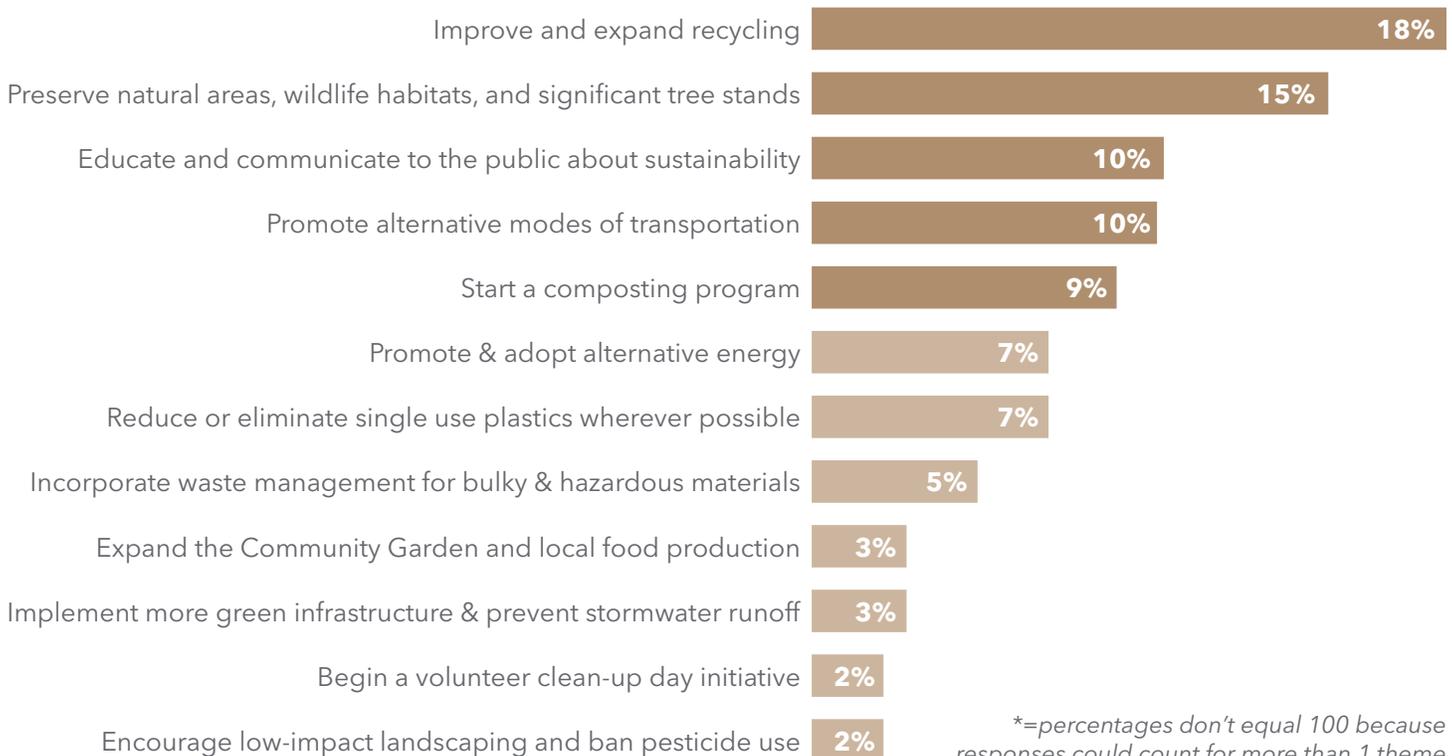
Do you think the City should promote the use of solar panels and geothermal systems in our community? (n=175)



How important is it for the City to address and promote sustainability? (n=183)



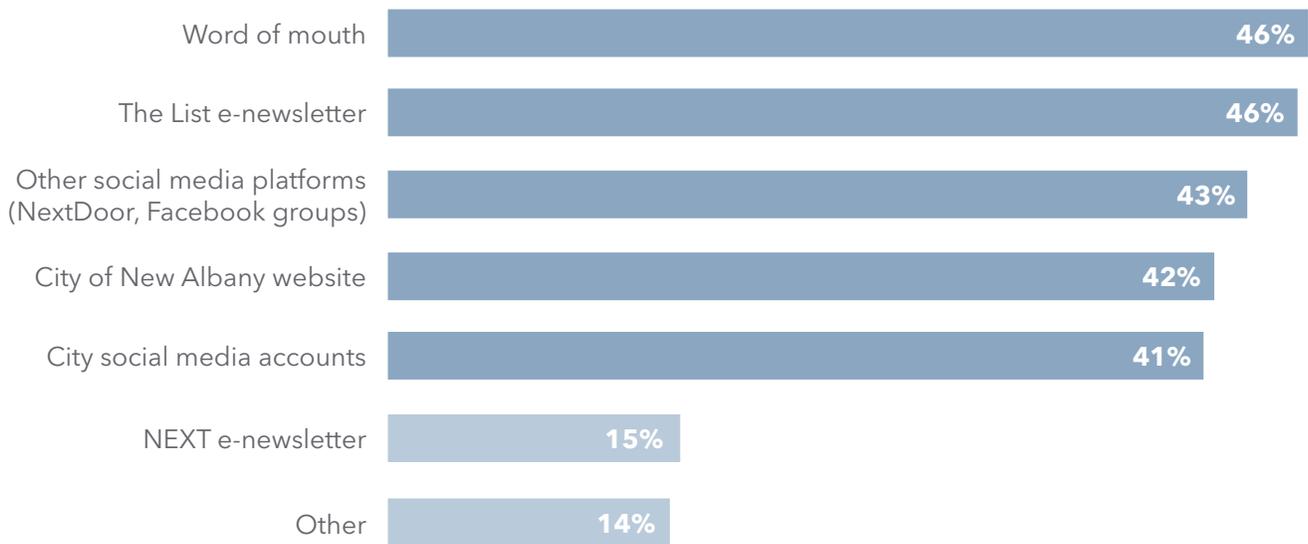
What else should the City do to improve environmental sustainability in New Albany? (n=147)\*



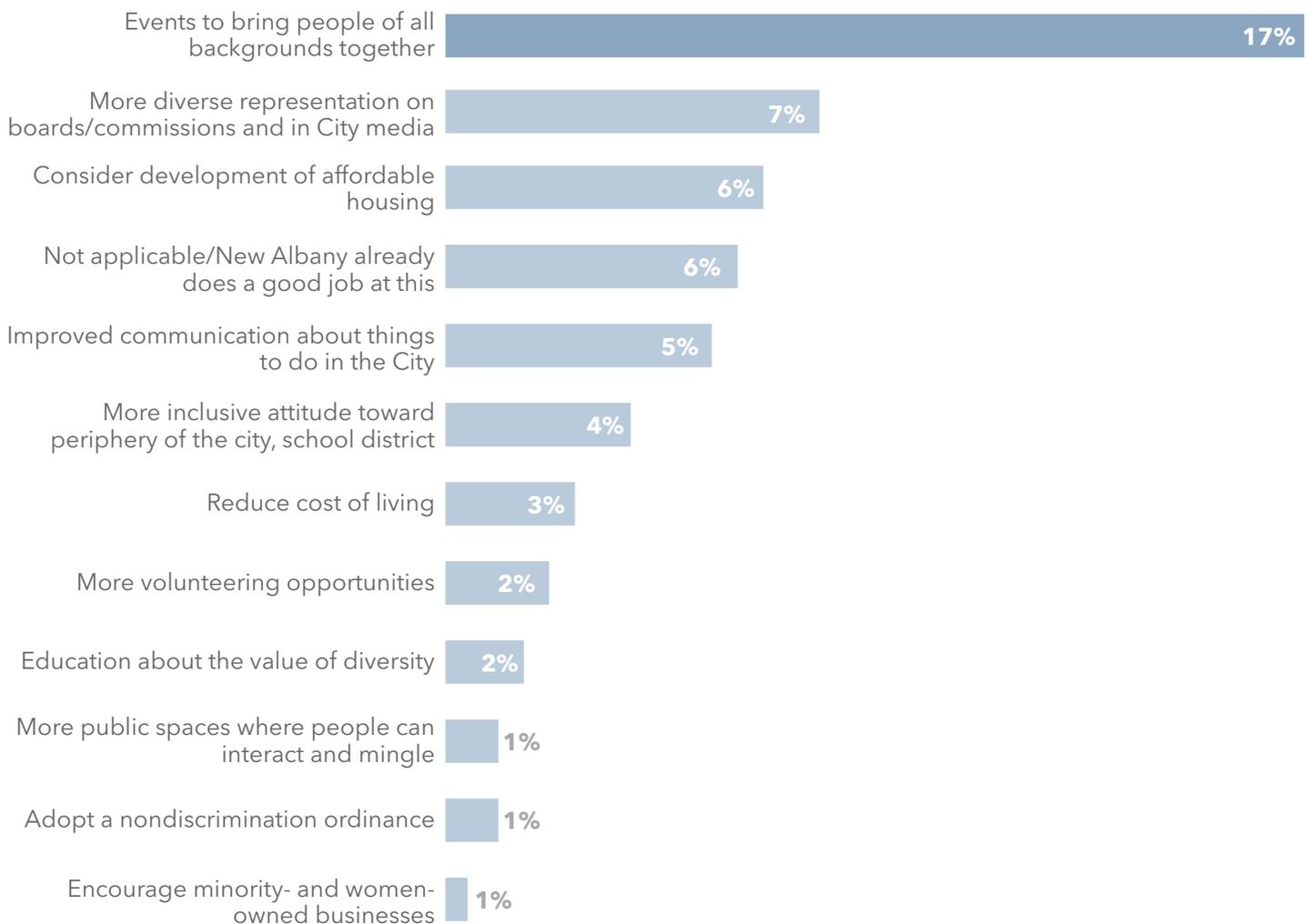
\*=percentages don't equal 100 because responses could count for more than 1 theme

## COMMUNITY WELL-BEING

What communication methods do you currently rely on for City-related information? (n=190)\*



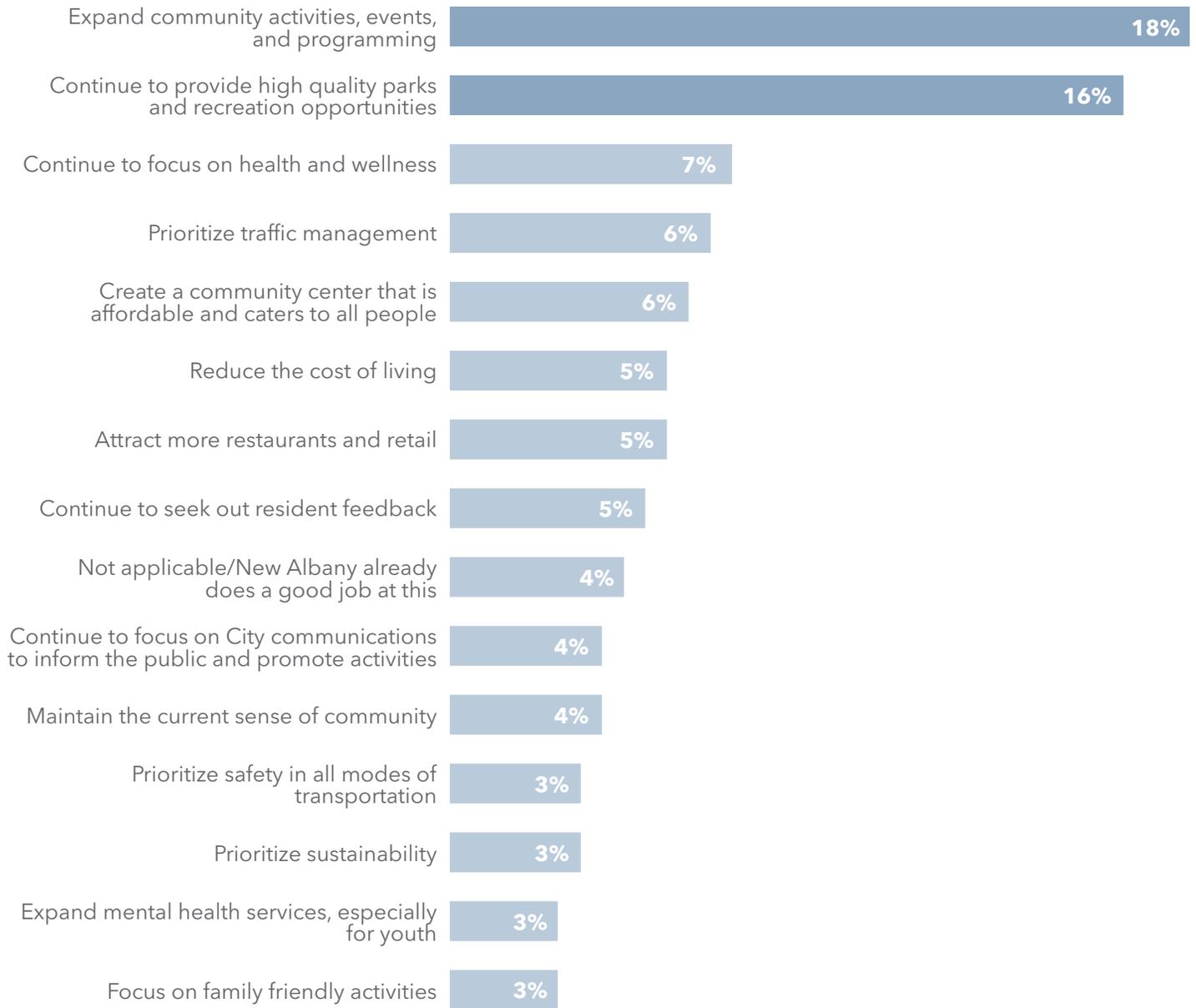
What are some ways that New Albany can improve as an inclusive and welcoming place for all people? (n=142)\*



\*=percentages don't equal 100 because responses could count for more than 1 theme



What can the City and community do to improve the well-being and happiness of the people that live and work here? (n=138)\*



\*=percentages don't equal 100 because responses could count for more than 1 theme