



New Albany Planning Commission Agenda
Monday, December 6, 2021 7:00pm

Members of the public must attend the meeting in-person to participate and provide comment at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via Zoom Webinar. There is no public participation via the Zoom Webinar.

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I. Call To Order

II. Roll Call

III. Action of Minutes: None.

IV. Additions or Corrections to Agenda

Swear in All Witnesses/Applicants/Staff whom plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth".

V. Hearing of Visitors for Items Not on Tonight's Agenda

VII. Cases: None.

VIII. Other Business

- Adopt Codified Ordinance 1154
- 2021-2022 Planning Projects Update

IX. Poll members for comment

X. Adjournment



To: Planning Commission
From: Community Development Department
Re: Codified Ordinance Chapter 1154
Date: November 30, 2021

Attached is the proposed codified ordinance 1154 Technology Manufacturing District (TMD) and accompanying New Albany Technology Manufacturing District Landscape and Architecture Standards Plan that is adopted by reference within the ordinance. Staff has inserted comments into Codified Ordinance 1154 to highlight or provide context certain standards.

The goals and intent for this new chapter are:

- Incorporate the best practices from the existing limitation texts and developments within the business park and codify those best practices.
- Provide greater flexibility for large campus developments while providing additional enhanced screening, mounding, and setbacks along principle arterial public streets and residents.
- Provide increased clarity and flexibility regarding permitted uses for developments.
- Allow for larger, holistic rezonings in order to reduce the number of limitation zoning districts. Just within Licking County there are 25 individual limitation and PUD texts (some with additional subareas). Most have verbatim or similar code requirements. However, having so many limitation texts creates complexity and confusion when determining zoning standards for a large sites that include multiple limitation texts. The TMD code will ensure consistency and simplicity for the administration and interpretation of zoning code requirements.

Please feel free to contact city staff if you have any questions.

CHAPTER 1154 – TMD TECHNOLOGY MANUFACTURING DISTRICT

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1154.01 – CONFLICT

Technology Manufacturing Zoning Districts may be established by application in accordance with Chapter 1111. Once property is designated in the TMD classification, the provisions of this chapter and the requirements contained herein, including the provisions of the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan, which are incorporated by reference (see Section 1154.09), shall take precedence over all other conflicting regulations contained in the Codified Ordinances as it pertains to that property.

1154.02 – PURPOSE

These regulations are established to provide for a range of manufacturing, production, industrial and other employment-generating activity contained within or supporting at least one significant use or user. The TMD is intended to further the economic vitality of the City while protecting the health, safety and welfare of the users of the district and residents of the Municipality. It is also intended to streamline review procedures for new development, redevelopment, and expansions of existing development in order to efficiently address market demands, provide certainty of processes, and foster economic growth.

1154.03 – ELIGIBILITY

In order for property to be eligible to be classified with the TMD designation, it must be included within a zoning application pertaining to a minimum of 500 contiguous acres. Alternatively, a property will be so eligible if, when zoned with the TMD designation, its acreage plus the acreage contained within the continuous perimeter of contiguous property that is already zoned in the TMD classification together will equal at least 500 acres. Properties separated by a public right-of-way shall be considered to be contiguous for purposes of this provision.

Upon a rezoning of property into the TMD zoning classification, it shall be designated as “TMD” on the City’s zoning map. The Director or his/her designee shall determine which of the project categories set forth in Section 1154.04 applies to an application for a permit for construction or improvements for development of property with a TMD classification. The review of the application shall be undertaken using the standards that apply to such category as provided in this Chapter.

1154.04 – PROJECT CATEGORIES

(a) “Flagship Project.” A Flagship Project shall be any development proposal on a single parcel or multiple contiguous parcels containing at least 500 acres which are under common ownership or control by a single person or business entity (and, if applicable, its affiliated persons or business entities). This category also shall include modifications to or expansions of an existing Flagship Project. Properties separated by a public right-of-way shall be considered to be contiguous for purposes of this provision.

(b) “Primary Project.” A Primary Project shall be any development proposal that is not a Flagship Project and which contains, as its primary use, at least one use which is permitted in the TMD.

1154.05 – PERMITTED USES

(a) Any use specified as a permitted use or conditional use in the LI, Limited Industrial District under Section 1153 shall be a permitted use within the TMD, except that personal service (Section 1153.03(b)(2)) and retail product sales and service (Section 1153.03(b)(3)), shall be allowed only as accessory uses to a permitted use in this Zoning District and in accordance with Section 1154.07(a).

(b) A park-and-ride facility providing daily parking as the principle use which may include accessory shelters for mass transit passengers or carpooling that typically includes parking lots and associated structures located along or near public transit routes.

(c) Off-site parking

(d) Parking structures

(e) Agriculture

(f) Bulk storage tanks, pads and distribution consisting of tanks, containers, and other similar structures used for the storage and eventual distribution of large quantities of liquids, chemicals, fuels, oils, or similar items to be used in, or are a waste byproduct of, manufacturing processes. Bulk storage tanks and pads may be located above ground and/or below ground, provided that above ground storage tanks and pads shall be subject to the required minimum building setbacks as provided in this Chapter 1154;

Commented [SM1]: PC Note: This allows Industrial Product Sales, Industrial Service, Industrial Manufacturing and Assembly, Manufacturing and Production, Warehouse and Distribution, Research and Production, General Office Activities & Data Centers, Vehicle Service, Radio/Television Broadcast Facility, Off-Premises Signs, Religious exercise facilities and related uses, Car fleet and truck fleet parking.

Commented [SM2]: PC Note: These have always been allowed, and exist, in the business park today but this code provides clarity by specifically calling out this out as a specific permitted use.

(g) **Essential services** which for purposes of this Chapter 1154 shall mean the erection, construction, alteration, or maintenance, by public utilities or municipal or other governmental agencies, of underground or overhead gas, electrical, steam, or water transmission or distribution systems; collection, communication, supply, or disposal systems, including poles, wires, mains, drains, sewers, pipes, conduits, cables, traffic signals, hydrants and other similar equipment and accessories in connection therewith, reasonably necessary for the furnishing of adequate service by such public utilities or municipal or other governmental agencies or for the public health, safety, or general welfare.

Commented [SM3]: PC Note: This exists in other chapters of the codified ordinances and is inserted here to cut down on cross-references to other code section. See C.O. 1127.02(g). The Chapter 1154 definition differs slightly from the one in general Code Section 1105.02, in that it removes the phrase “not including buildings” from the end of the last sentence of the latter Code section.

(h) Water/wastewater treatment facilities consisting of private or public facilities and related infrastructure for the treatment of water and/or wastewater that serve a Flagship Project and are intended to and have projected capacity also to serve one or more Primary Projects. These facilities shall be required to utilize processes and infrastructure that provide environmental benefits such as (but not limited to) conservation, reduction of pollution, and reuse of water.

(i) **Bulk gas yards including generation, storage, and distribution** that consists of facilities for the creation, manufacturing, production, and distribution of bulk gases used in electronics manufacturing and other industries. Such facilities are necessary in order to scale such production and distribution and to reduce costs, ensure adequate supplies to nearby uses, and achieve consistent purity of product. Typical components of these facilities may include compressors, water cooling plants, pre-purification units, and bulk tanks for storage, among others.

Commented [SM4]: PC Note: These have always been allowed, and exist, in the business park today but this code provides clarity by specifically calling out this out as a specific permitted use.

(j) **Electric Switch Yards**

(k) Concrete batch plants within a Flagship Project. These include the operation of a combination of equipment within and/or outside of a structure which bring together water, air, cementitious mixtures, and other aggregate materials to produce concrete for different application types, with the primary purpose of serving uses and users within the TMD.

Commented [SM5]: PC Note: These have always been allowed, and exist, in the business park today but this code provides clarity by specifically calling out this out as a specific permitted use.

(l) **Solar panels** that are ground-mounted, on structures or over paved parking areas.

Commented [SM6]: PC Note: These have always been allowed, and exist, in the business park today but this code provides clarity by specifically calling out this out as a specific permitted use.

(m) Truck cell phone lots. Characterized as short-term parking lots that are designated primarily for use by commercial trucks with drivers waiting to be alerted by cell phone or other means to pick up or drop off freight, supplies, and/or other materials and which may be used for overnight truck parking. Drivers of other vehicles also shall be permitted to use these lots. For purposes of this definition, the term “truck” shall include, but not be limited to: Semi-trailers, flatbeds, tankers, step deck trucks, box freight trucks, dump trucks, slinger trucks, tipper trucks, and cement trucks. These types of lots shall be paved if located within 300 feet of a public street right-of-way. Otherwise, they may be gravel, provided that (i) measures are taken to eliminate the migration of dust from the lot off-site and (ii) a wheel wash is provided for trucks when leaving a lot where wet or muddy conditions are present.

(n) Similar uses, as provided in Section 1127.02(e), except that in the TMD, the Community Development Director or his/her designee shall be responsible for making this determination.

1154.06 – CONDITIONAL USES

Concrete batch plants located within a Primary Project shall be conditional uses within the TMD. The Planning Commission shall review these uses in accordance with the procedures and standards contained within Chapter 1115. In addition, in order to approve a concrete batch plant as a conditional

use within a Primary Project, the Planning Commission must determine that the operation of the use will not materially negatively impact the operations, safety, or viability of any existing uses within a Flagship Project. No concrete batch plants located within 1,500 feet of any perimeter boundary of a Flagship Project shall be reviewed by the Planning Commission unless all owners of real property within the Flagship Project have been provided with written notice of the date, time, and location of the hearing on the conditional use application at least 15 days prior to the date of the hearing. The approval of a conditional use pursuant to this Section 1154.06 shall be effective through the fourth anniversary of the date of the Planning Commission's order to approve the same. The operation of a concrete batch plant beyond this time shall require the filing, review, and approval of an additional conditional use application which, if approved, also shall be effective for a period of four years.

1154.07 – ACCESSORY USES

(a) Personal service and retail product sales and services.

(1) Characteristics. These uses involve the sale, leasing, or rental of products or goods by the property owner or tenant on a property, their affiliates, or third parties unrelated to the owner or tenant. They also include the provision of on-site product repair or services for consumer and business goods and/or on-site personal services or entertainment. Goods are displayed and sold on-site, and use or consumption is primarily on-site. Uses in this category are not permitted to be provided to the general public, but shall be provided to employees, contractors, and business visitors of the particular Flagship Project or Primary Project which they serve.

(2) Examples. Examples include but are not limited to Dry cleaning, Restaurants (without drive-throughs) and cafeterias, Medical, eye, and dental clinics, Pharmacies, Fitness centers (indoor and outdoor), Child day cares, Banks/credit unions.

(b) Private or public security facilities

(c) Security check points and gate houses

(d) Public or private bus and shuttle transit stops

(e) Satellite dishes

(f) Wireless telecommunications facilities

1154.08 – PARCEL AND YARD REQUIREMENTS. The following requirements shall apply in the TMD to the exclusion of those found in Chapter 1165:

(a) Minimum Parcel Area. There shall be a minimum parcel area of 15 acres for Flagship Projects and a minimum parcel area of 5 acres for Primary Projects.

(b) Parcel Frontage. All parcels shall abut a public street, or may instead abut a private drive if either (i) an adjacent parcel or parcels is under common ownership and has frontage on a public street, or (ii) a legally binding perpetual vehicular access easement over adjacent property(ies) that are not under common ownership is placed of record with the office of the recorder in the county in which

the parcel is located or will be of record prior to the issuance of a Planning and Design Permit for that parcel, as contemplated in Section 1154.10.

(c) Parcel Width. All parcels shall have adequate width to provide for yards and distances as required by this Chapter.

(d) Setbacks from Public Rights-of-Way. The following minimum setbacks shall apply to developments that are adjacent to public rights-of-way:

(1) Principal Arterial Streets. Minimum 300 feet for pavement and 500 feet for buildings from the rights-of-way of Principal Arterial Streets, as identified in the City's Strategic Plan. A mound that is a minimum of 6 feet in height and a maximum of 8 feet in height shall be provided within the required minimum pavement setback. Notwithstanding the foregoing, (A) the minimum pavement setback shall be reduced to 200 feet and the minimum building setback shall be reduced to 400 feet provided that a mound that is a minimum of 10 feet in height and a maximum of 12 feet in height is provided within the required minimum pavement setback, and (B) the minimum pavement setback shall be reduced to 100 feet and the minimum building setback shall be reduced to 300 feet provided that a mound that is a minimum of 13 feet in height and a maximum of 15 feet in height is provided within the required minimum pavement setback. All mounds shall include plantings as detailed in the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan that is contemplated in Section 1154.09. The mounding requirements of this subsection may be waived by the Community Development Director or his/her designee where existing tree stands or forested areas achieve similar or better screening as would be present with the mounding. Accessory structures such as security facilities, gate houses, security checkpoints, solar panels, and bus and shuttle transit stops and related improvements may be located as close as 100 feet of the rights-of-way for Principal Arterial Streets and to the front or rear of required mounding.

(2) Major Collector, Other Public Streets, and Front Yards. Minimum 25 feet pavement and 50 feet building setbacks from (A) all rights-of-way other than those containing or planned to contain Principal Arterial Streets and (B) from any front property line that does not abut a public street right-of-way.

(3) Construction Site Setup. For Flagship Projects, during any phases of construction there shall be a minimum 150 foot setback for pavement, material laydown and storage tanks and a minimum 200 foot setback for trailers, structures, buildings, and related items necessary for the construction of improvements. All construction site setup areas within Flagship Projects shall be screened so that they are not visible from adjacent public street rights-of-way.

(e) Side and Rear Yards. The required minimum setbacks from side and rear parcel lines which are not contiguous with a public street right-of-way shall be 25 feet for buildings, structures, service areas, loading areas, and paved parking areas.

(f) Residential Setbacks. Subject to the requirements in Section 1154.14(b), there shall be a one hundred (100)-foot building and pavement setback from any district where residences are a permitted use and when the requirements of Section 1154.08(d)(1) do not apply, provided, however,

that if a building will exceed 65 feet in height, the minimum required building setback shall be 300 feet. The setback requirements in the immediately preceding sentence shall not apply when (i) the property located within the district where residences are a permitted use is under common ownership with the relevant property or (ii) the owner(s) of the property or properties that are protected by this minimum setback requirement sign an affidavit that waives this requirement, which shall be filed with the City. If two contiguous properties have an intervening public street between them, they shall be considered to be abutting.

Commented [SM7]: PC Note: This is the same setback requirements as established in recently approved Jug Street North limitation zoning district.

(g) Interior Setbacks. There shall be a zero minimum building and pavement setback requirement from interior parcel lines when the parcels on each side of a parcel line are under common ownership.

(h) Riparian Corridors. Development in the TMD shall comply with the provisions of Chapter 1155 unless expressly provided in this subsection (h). All streams with a drainage area greater than fifty (50) acres and their riparian corridors shall be preserved. The corridor width shall be a minimum of one hundred (100) feet, with at least twenty-five (25) feet on each side of the centerline of the stream. No pavement, structures, or other impermeable surfaces or improvements shall be permitted in riparian corridors, except for paved leisure trails, benches, and bridges. New vegetation shall be permitted to be planted within these corridors.

Commented [SM8]: PC Note: The one hundred (100) feet with at least twenty-five (25) feet on each side of the centerline of the stream is taken from city code and reproduced here to minimize references to other code chapters.

(i) Maximum Parcel Coverage. There shall be a maximum impervious parcel coverage of 85% on parcels containing Flagship Projects and 75% on parcels containing Primary Projects.

(j) Connectivity. Leisure trails shall be provided in accordance with the requirements in the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan which is referenced in Section 1154.08. The requirements of Section 1165.06 shall not apply in the TMD.

(k) Public Streets. The developer shall dedicate property to the City or other relevant political subdivision as necessary to provide a minimum of 100 feet of right-of-way for Principal Arterial Streets or Major Collector Streets, provided, however, that the minimum required right-of-way to be dedicated to the City or other political subdivision for a Major Collector Street may be reduced to 80 feet if approved by the City Engineer. For public street typologies other than Principal Arterial Streets or Major Collector Streets, the developer shall dedicate property to the City or other relevant political subdivision as necessary to provide a minimum of 60 feet of right-of-way. The property owner shall grant easements to the City which are adjacent to the aforementioned rights-of-way to the minimum extent necessary to provide for the installation and maintenance of streetscape improvements and/or utilities.

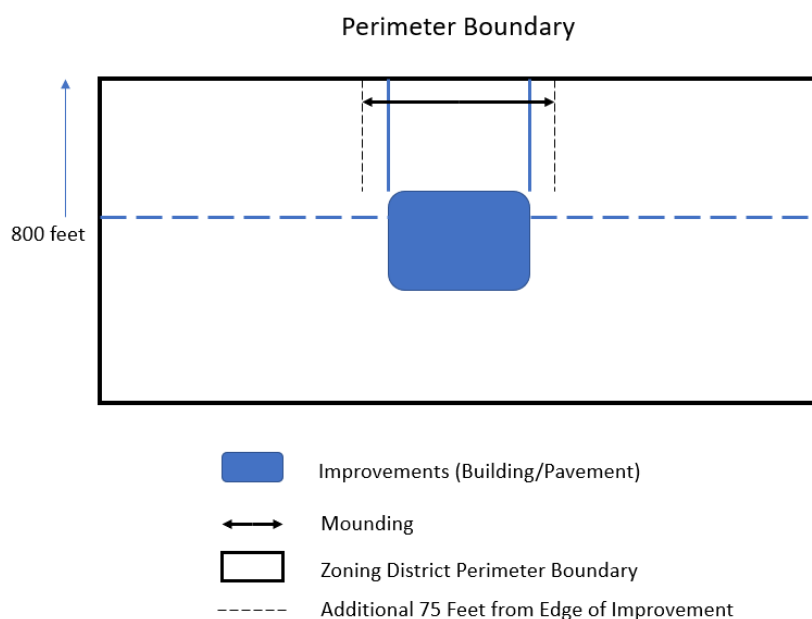
1154.09 – DISTRICT LANDSCAPE AND ARCHITECTURE STANDARDS PLAN

(a) There is hereby adopted, and incorporated by reference, the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan, as if set out at length herein. The New Albany Technology Manufacturing District Landscape and Architecture Standards Plan is meant to minimize references to other sections of the Planning and Zoning Code. The requirements contained therein shall take precedence over and supersede all other regulations contained in the Codified Ordinances, other than those contained in this Chapter 1154. Without limiting the foregoing, the buffering and screening requirements of Section 1171.05 and 1171.06 shall not be required and Chapter 1175 shall not apply to the TMD.

Commented [SM9]: PC Note: This chapter exempts developments from the city landscape code requirements. All of the typical city landscape code requirements have been incorporated into the Standards Plan. This separate plan includes the same landscaping standards as other landscape master plans presented and endorsed by the Planning Commission in the past. In this case it is formally being adopted as part of city code.

(b) **Phasing of Screening:** Required mounding and landscaping as required by the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan shall be installed along the entirety of public street frontages and Residential Property (defined in to 1154.14(b)) lines abutting the TMD concurrent with building construction unless construction of multiple buildings is phased, in which case required mounding and landscaping may be installed in phases. For each phase of development in the TMD, such required mounding and landscaping shall be installed when it is anticipated (as provided in plans associated with relevant permits) that buildings, paved parking areas, or above-ground equipment or utility infrastructure, once constructed within that phase, will be located within 800 feet of the relevant perimeter boundary line. At a minimum for each phase, this mounding and landscaping shall be installed along the portion of the relevant perimeter boundary line of the relevant property between two points which are determined by extending two straight lines from the perimeter boundary line of the property to the furthest distance on each side where planned improvements are to be constructed in that phase, and then adjusting those lines so that they are an additional distance of 150 apart. The following illustration is being provided as an example of this requirement:

Commented [SM10]: PC Note: Same phasing requirements the Planning Commission approved for the Jug Street North limitation text.



1154.10 –SUBMITTAL CONTENT AND REQUIREMENTS

(a) A Planning and Design Permit is required for Flagship Projects and Primary Projects for any of the following:

- (1) Construction or structural alteration of any building, including accessory buildings, paved areas, and site improvements other than landscaping that are visible in whole or in part from

the public right-of-way. For purposes of this Chapter 1154, (A) a building or accessory building shall be deemed to be “visible” if its first or second floor can be viewed from any public street right-of-way at a height of 6 feet above the grade of any portion of that right-of-way, and (b) paved areas and site improvements other than landscaping shall be deemed to be “visible” if they are located within 500 feet of a public street right-of-way and can be seen from that public street right-of-way at a height of 6 feet above the grade of any portion of that right-of-way.

(2) Change in use of an existing building or accessory building.

(b) At a minimum, an application for a Planning and Design Review Permit shall contain the following information in text or map form for the construction or structural alteration of any building, including accessory buildings, and/or other site improvements that are visible in whole or in part from the public right-of-way:

- (1) Completed Planning and Design Permit Application;
- (2) Memorandum of Understanding (MOU) for a traffic analysis detailing the potential impact of vehicular traffic to be generated from the proposed project unless the City waives this requirement;
- (3) Dimensioned Site plan showing location of proposed improvements;
- (4) Architectural renderings indicating building height, material, color palette and screening designs for each building façade;
- (5) Master landscaping and grading plans including streetscape;
- (6) Tree preservation plan where applicable;
- (7) Sign plans indicating illustrations with height and area dimensions, lighting, dimensioned location on the site, materials, and colors; and
- (8) Number and dimensions of existing and proposed off-street parking and/or loading spaces.

(c) Zoning Permits, as contemplated in Sections 1109.02 through 1109.09, shall not be required in the TMD.

(d) Any property zoned in the TMD classification shall not be considered to be located within the Architectural Review District as contemplated in Chapter 1157 and shall be exempt from all requirements contained in that Chapter.

1154.11 –PERMITTING PROCEDURE

(a) The developer of a Flagship Project or Primary Project shall submit separate application submittals for independent review by each respective discipline:

- (1) Planning and Design Permit Application
- (2) Engineering Application.
- (3) Commercial Building Permit Application

Commented [SM11]: PC Note: This changes the administrative review process. Given the anticipated complexity of the administrative review process, a new process has been created and incorporated into this codified ordinance chapter.

Commented [SM12]: PC Note: This has no effect on the review process. This is added for clarity to memorialize how this application type is not applicable.

(b) The applicant shall have the option of filing the Planning and Design, engineering, and building permits as full or phased submittals. Under the phased plan review process, projects for construction may be broken into one or more phases for construction permits and work.

(c) The applications for Planning and Design, engineering, and building permits shall be made on such forms as prescribed by the staff of the City of New Albany along with such plans, drawings, specifications and other materials as required by this Chapter 1154 and as otherwise may be needed by staff.

(d) Once the submittal has been made, the materials for each permit type shall be reviewed by relevant City departments for compliance with this Chapter 1154, the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan, uses, the submittal requirement checklists and all applicable codes and ordinances.

1154.12 - STORAGE; HAZARDOUS MATERIALS

(a) Outdoor Storage. Outdoor storage of materials, equipment, and supplies shall be permitted. Outdoor storage areas for these items are not required to be screened if they are located so that they are not visible from a public street right-of-way or from ground level at a distance of 200 feet from any perimeter boundary line of a parcel that is not under common ownership. Otherwise, such outdoor storage areas shall be fully screened to a height of 8 feet. Outdoor storage areas (whether screened or unscreened) shall comply with minimum setback requirements for pavement.

(b) Hazardous Materials. Due to the nature of the permitted uses in the TMD, hazardous waste and materials storage and processing is anticipated. When such storage and/or processing are operated:

(1) The nature of the storage and processing shall be described in a detailed written statement that shall be submitted as part of an application for a Zoning Permit. This statement also shall provide details regarding the safety measures and protocols that are proposed to prevent the migration of any hazardous materials outside of designated containment areas and procedures that will be implemented upon the occurrence of an event that does or has the potential to damage the environment, persons, or property. This information shall be provided so that relevant City departments and public safety providers will have notice of the presence of these storage and processing operations.

(2) All such storage and/or processing shall comply in all respects with state and federal law and regulations, and shall not be undertaken until such time as all necessary state and federal permits are received and copies of the same are provided to the City.

(3) No such storage and/or processing shall occur within the greater of (A) 200 feet of any perimeter boundary of a parcel that is not under common ownership and (b) an otherwise applicable minimum building setback.

(4) If such storage or processing is undertaken outside of a structure, then all exterior areas where these activities are occurring shall be surrounded by a masonry wall that is at least 10 feet in height, but only if they are wholly or partially visible in whole or in part from a public street right-of-way. Building facades may be used to meet this requirement. Any gates or doors

shall include enhanced security features to ensure that unauthorized individuals cannot gain access to the area.

1154.13 – ARCHITECTURE

(a) Flagship Projects. Flagship Projects shall not be subject to the requirements of the DGRs, provided that such projects meet the requirements of the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan.

(b) Primary Projects. The requirements of this Section 1154.13(b) shall apply only to Primary Projects:

(1) General Regulations for all Primary Projects

A. Service and Loading Areas: Service areas and loading docks shall be screened to limit visibility from off-site.

B. Building designs shall not mix architectural elements or ornamentation from different styles.

C. Buildings shall be required to employ a comparable use of materials on all elevations.

D. The number, location, spacing, and shapes of windows and door openings shall be carefully considered. Primary entrances to buildings shall be made sufficiently prominent that they can be easily identified from a distance.

E. For office buildings and complexes, achieving a human or pedestrian scale is of less concern. When achieving such a scale is desired, it may be achieved by careful attention to width of facades, size and spacing of window and door openings, and floor to floor heights on exterior walls.

F. Use of elements such as shutters, cupolas, dormers, and roof balustrades shall be avoided in building designs that are not based on traditional American architectural styles. Such elements may be employed only when they are common elements of a specific style, and this style shall be replicated in its entirety. When shutters are employed, even if they are non-operable, they must be sized and mounted in a way that gives the appearance of operability.

G. Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, basement window enclosures, and trash containers shall be designed, located, or screened so as to minimize their visibility and visual impact from off-site. Solar energy systems shall be excluded from the requirements of this section.

H. Accessory or ancillary buildings, whether attached or detached, shall be of similar design, materials and construction as the nearest primary structure, if they are visible from a public street right-of-way. Fenestration themes that employ windows, panels

Commented [SM13]: PC Note: These requirements have been taken from General Employment limitation texts approved throughout the business park.

Commented [SM14]: PC Note: Solar panels and systems are excluded to ensure there are no barriers to direct sunlight.

and piers that are consistent with the architectural vocabulary of the building are encouraged.

I. Roof-Mounted Equipment. Complete screening of all roof-mounted equipment shall be required on all four sides of buildings with materials that are consistent and harmonious with the building's façade and character. Such screening shall be provided in order to screen the equipment from off-site view and to buffer sound generated by such equipment. Solar energy systems shall be excluded from the requirements of this section.

Commented [SM15]: PC Note: Solar panels and systems are excluded to ensure there are no barriers to direct sunlight.

J. All building elevations shall be designed to be compatible with each other and to reflect a consistent design approach.

K. Gable or hip roofs shall be avoided unless a building design replicates a traditional American architectural style that employs such roof forms. In non-stylistic contemporary designs, low or flat roofs may be employed. Roof visibility shall be minimized.

L. Exterior building materials shall be appropriate for contemporary suburban designs and shall avoid overly reflective surfaces. Traditional materials such as, but not limited to, wood, stone, brick, and concrete shall be permitted, along with contemporary materials such as, but not limited to, aluminum, metal, glass, stucco, or cementitious fiberboard (e.g., hardiplank or equivalent) shall be permitted on buildings not employing traditional styles. The use of reflective or mirrored glass shall be prohibited.

M. Prefabricated metal buildings, untreated masonry block structures, and buildings featuring poured concrete exterior walls are prohibited. Notwithstanding the foregoing, ancillary structures built and operated for the purpose of enclosing equipment and which are not occupied by a tenants or persons on a regular basis may be constructed using pre-engineered metal.

N. Generally, the quantity of materials selected for a building shall be minimized. A single material selection for the independent building components of roof, wall and accents is permitted (i.e., Architectural Grade shingle roof with Brick Masonry wall and EIFS Cornice and Accents).

O. Loading docks are not required to have the same degree of finish as a main entry unless they are visible from a public right-of-way.

P. Buildings and structure shall be designed to be harmonious in character to other buildings and structures within the same Flagship project or Primary Project, as applicable. Façade colors shall be coordinated to complement each other.

(2) Additional Standards for Non-Office Buildings within Primary Projects: Buildings that are constructed to accommodate certain uses are not governed by the City's Design Guidelines and

Requirements (DGRs). For example, buildings that are constructed for the operation of data centers, manufacturing, warehousing and/or distribution uses are not subject to the DGRs and can present challenges in meeting the community standard for architectural design. Such buildings are necessarily large and typically include long walls that together form a square or rectangular box. The goal for the development of buildings that are not subject to the DGRs is to balance the practical needs of these buildings with the desire to provide exterior designs that are attractive and complimentary to the architecture that will be found elsewhere in the TMD.

Architecture by its nature is a subjective medium, meaning that the adoption of strict objective standards in all instances may not provide the best means for achieving appropriate design. In recognition of this fact, the standards set forth herein provide guidelines and suggestions for designing buildings that are not subject to the DGRs in an effort to set expectations for the quality of architecture that will be expected for these structures. On the other hand, these standards are meant to allow for some flexibility to encourage innovative design provided that the spirit and intent of these provisions are met.

In designing such buildings, the user or applicant shall take into account the following, which are intended to set a level of expectation for the quality of design:

A. Architectural design for all portions of a building or structure that are visible from a public right-of-way (excluding public rights-of-way whose primary purpose is to accommodate truck traffic or service loading areas) shall meet the community standard in terms of quality while taking into account the unique nature of the use(s) that will be found therein.

B. Uninterrupted blank wall facades shall be prohibited to the extent that they are visible from a public right-of-way. Design variations on long exterior walls shall be employed in order to create visual interest. Examples of such design variations include, but are not limited to, the use of offsets, recesses and/or projections, banding, windows, and/or reveals; scoring of building facades; color changes; texture or material changes; and variety in building height.

C. The use of one or more architectural or design elements may be used to soften the aesthetics of the building, such as but not limited to canopies, porticos, overhangs, arches, outdoor patios, community spaces, or similar devices.

D. Contemporary exterior designs, while not required, shall be encouraged in order to create architecture that does not look aged or dated even many years after the facility is built.

E. Landscaping and/or the use of existing vegetation shall be utilized where appropriate to enhance the aesthetics of the building and to lessen its visual impact when viewed from public rights-of-way.

F. Utility yards, essential service areas, bulk storage areas and similar may be paved or gravel. HVAC, generators and similar equipment and associated gravel or concrete yards or pads shall be located subject to the minimum building setbacks.

1154.14 – LANDSCAPING

(a) Tree Preservation Zones shall be established within areas that will be preserved pursuant to applicable federal and state permits and determinations once they are approved and issued by the Ohio Environmental Protection Agency and the U.S. Army Corps of Engineers. These Preservation Areas shall be maintained, protected, and preserved in accordance with such permits. If allowed under applicable permits, trees within Preservation Zones may be removed if they present a potential danger to persons or property. Preservation Zones shall not include those areas where trees and/or wetland areas are allowed to be removed or filled by relevant permits. The final boundaries of the Preservation Zones shall be the same as the boundaries of the portions of the site that will be required to be preserved under applicable federal and state permits, as may be amended from time-to-time.

Commented [SM16]: PC Note: This is the same language used in other limitation texts such Winding Hollow and Jug Street North limited general employment districts.

(b) Residential Buffering. For all perimeter boundaries where the minimum setbacks set forth in Section 1154.08(f) apply and which are not adjacent to a Principal Arterial Street (any real property meeting either of the foregoing criteria to be referred to herein as “Residential Property”), a minimum ten (10)-foot high mound shall be installed along the property line which shall include a landscape buffer on the mound which shall consist of a mixture of deciduous trees, evergreens and bushes to provide an opacity of 75% on the date that is 5 years after planting to a total height of fourteen (14) feet above the top of the mound. The plan for these areas must be reviewed and approved by the City’s Landscape Architect. In areas where existing tree stands or forested areas are present, the City’s Landscape Architect shall not require such mounding and landscaping where the height and opacity requirements can be met by preserving and/or supplementing the tree stands or forested areas.

Commented [SM17]: PC Note: The mounding heights and landscaping requirements is taken from the recently approved Jug Street North limitation text. The Sergakis mound we referred to on the tour is 8 feet in height.

1154.15 – SIGNAGE

(a) All signage shall conform to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany unless otherwise included in the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan.

(b) Flagship Project Address and Directional Signs. The quantity, locations, and area dimensions of address, directional and wayfinding signage internal to Flagship Projects and not visible from a public street right-of-way shall be permitted without any City permits based on the needs of the project to ensure safe flow of pedestrian and vehicular traffic.

Commented [SM18]: PC Note: This is based on best practices and feedback learned from existing large sites such as Facebook and Google. Added here to provide clarity and allow flexibility for internal signage.

(c) Signage as required by other local, state, and federal governmental agencies and regulations shall be permitted by-right.

1154.16 – LIGHTING

(a) All parking lot and private drive lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site. All parking lot and private drive lighting shall be of the same light source type and style. All light poles within parking lots and along private drives shall be black or New Albany green and constructed of metal. Light

Commented [SM19]: PC Note: This is all typical language taken from the Limitation Texts the Planning Commission has approved for the New Albany business park.

poles shall not exceed 30 feet in height, except that light poles located within 300 feet of properties where residential uses exist or are permitted shall be no more than 18 feet in height

(b) No permanent colored lights or neon lights shall be used on the exterior of any building.

(c) All lighting standards and requirements which are not addressed in this Chapter 1154 shall be in accordance with other applicable provisions of the Codified Ordinances.

(d) Public street lighting must meet the City standards and specifications.

(e) No light spillage onto properties which are adjacent to property which is zoned in the TMD classification shall be permitted from lighting sources within the TMD.

1154.17 – PARKING AND LOADING

(a) Flagship Projects shall not have any requirement to provide a minimum or maximum amount of vehicular parking spaces or loading spaces. Drive aisles, parking space, and loading space quantity and dimensions shall conform to the standards set forth in the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan.

(b) Primary Projects shall conform to the standards set forth in Chapter 1167 of the Codified Ordinances of the City of New Albany.

1154.18 – VARIANCES, WAIVERS, AND DEVIATIONS

(a) Variances. Variances from the requirements of this Chapter 1154 or any other applicable provision of the Zoning Ordinance may be requested by an applicant with property that is zoned in the TMD classification. The Planning Commission shall hear and decide variance requests for property within the TMD. Any such variance shall be reviewed in accordance with the criteria, standards, and procedures set forth in Chapter 1113. Waivers or deviations from the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan shall not be considered to be variances, and instead shall be reviewed in accordance with Section 1154.18(b).

(b) Waivers and Deviations. The Community Development Director or his/her designee shall decide requests for waivers or deviations from the requirements of the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan in conjunction with review of a Planning and Design Permit application, and such requests shall not be deemed to be variances. A waiver or deviation shall be approved if the Community Development Director or his/her designee finds:

- a. The proposed waiver or deviation will result in a condition that is equal to or better than the condition or standard which was intended to be achieved by the strict application of the standard for which the request is made; and
- b. The proposal will not cause adverse impacts to surrounding areas, or if such impacts may occur, they are reasonably mitigated.

Commented [SM20]: PC Note: This allows for flexibility in the Landscape and Architecture Standards Plan.

LANDSCAPE DESIGN STANDARDS

November 2021

NEW ALBANY TECHNOLOGY MANUFACTURING DISTRICT

INTENT OF THE
TECHNOLOGY
MANUFACTURING DISTRICT
LANDSCAPE DESIGN
STANDARDS

- **Preserve and refine the rural character of the district along important transportation corridors**
- **Provide design guidelines and principles for the district through which proposed development within the district can be evaluated**
- **Define district roadway character and typologies**
- **Create a district greenway network through appropriately scaled and designed setbacks and development site edge conditions**

EXECUTIVE SUMMARY

The Central Ohio landscape character is rooted in a rural and agrarian heritage. Preservation of this character along major street frontages is the guiding principle of this document, while facilitating development of properties in a manner that seeks to extend the success of the Business Park.

Drawing upon that inspiration, landscape elements in these standards include drainage swales, lanes, bridges, hedgerows, native tree massings, broad earthen berms, and meadow expanses. The intent of this “big” landscape is to ground and appropriately scale the large buildings planned for this district.

The Landscape Design Standards for the New Albany Technology Manufacturing District is an extension of Chapter 1154 - TMD Technology Manufacturing District zoning. Specific standards in this document are intended to supplement the requirements of Chapter 1154.

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BEECH ROAD | MAJOR ARTERIAL EDGE CONDITION EXAMPLE

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November 2021

NEW ALBANY TECHNOLOGY MANUFACTURING DISTRICT

ROADWAY TYPOLOGIES & SETBACKS

ROADWAY TYPOLOGIES & SETBACKS

The following roadway typologies and setback standards provide a framework for the New Albany Technology Manufacturing District (TMD). This framework is supported by standards and recommendations for leisure trails, natural features, and a greenway edge network.

Roadway Typologies

Two primary roadway typologies will be found within the New Albany Technology Manufacturing District: Principal Arterial and Major Collector.

Figures 1 and 2 depict a typical roadway condition for the Principal Arterial typology. Figure 1 is the preferred condition for Principal Arterial roadways.

As the Technology Manufacturing District develops over time new roadways will be needed to support future users, and modifications to existing roadways may be required. The Major Collector roadway typology may be assigned to existing roadways within the district or to new roadways. New minor roadways built within the district shall also be classified as Major Collectors. New roadways bordered on both sides by TMD users, and intended to serve those users (truck traffic) shall be classified as Minor Collectors.

Figures 3 and 4 depict a typical roadway condition for Major Collectors. The specific number of lanes will be determined per roadway based on a future traffic study.

Setbacks

Setbacks along Principal Arterial roadways

will be generous in order to maintain a rural character. The required setbacks will vary based on the placement and height of required mounding and plantings. Chapter 1154 of the Codified Ordinances provides detailed objective standards and requirements for setbacks from Principal Arterial roadways and other streets and perimeter property boundaries, and should be referenced in addition to this document.

Leisure Trails

As an extension of existing and planned New Albany leisure trails, Leisure trails shall be provided within the Technology Manufacturing District.

Principal Arterial roadway typologies should incorporate leisure trails within the ROW on the side of the roadway bordering the district.

At the descretion of the City and based on engineering traffic studies, new roadways within the district may incorporate leisure trails within the ROW on one or both side of the street.

Specific layout/location of leisure trails is illustrated in Figures 1-4.

Roadway Typology Standards
Principal Arterial

Roadway Typology: Refer to Figures 4 & 5

Setback: 500 Feet (Building) & 300 Feet (Pavement)

Mounding: 6-10' Height (Refer to Figures 9 & 10)

Landscaping: Berms shall have a simple mix of meadow & tree groupings placed in massings at 30 trees per 100 linear feet. The intent is to provide 75% opacity screening. (Refer to Figures 10 & 11)

Major Collector (TMD on both sides of street)

Roadway Typology: Refer to Figures 6 & 7

Setback: 50 Feet (Building) & 25 Feet (Pavement)

Landscaping: Setback shall have a simple mix of meadow & tree groupings placed in massings at 10 trees per 100 linear feet. The intent is to provide 40% opacity screening.

Major Collector (TMD on one side of street & residential on one side of street)

Roadway Typology: Refer to Figures 6 & 7

Setback: 200 Feet (Building) & 100 Feet (Pavement)

Mounding: 10' Height (Refer to Figures 9 & 10)

Landscaping: Berms shall have a simple mix of meadow & tree groupings placed in massings at 30 trees per 100 linear feet. The intent is to provide 75% opacity screening. (Refer to Figures 10 & 11)

Natural Features and Greenway Edge Network

Large tree massings, tree stands, and established stream corridors may exist within the Technology Manufacturing District. Whenever possible, natural features should be incorporated into future development. All necessary governmental approvals shall be followed when a riparian corridor will be impacted.

In alignment with existing New Albany design standards, and with the possibility of natural features being relocated or removed within a Flagship Project Site, a greenway edge network shall be established in the district. This greenway corridor will occur within the required setbacks within each development site, and align with the landscape design standards.

If existing trees are located within any perimeter area, mounding may be omitted and the existing trees may be utilized to achieve the required screening. Total amount of required screening will still be applicable and, therefore, additional landscape plantings may be necessary to meet the stated requirements.

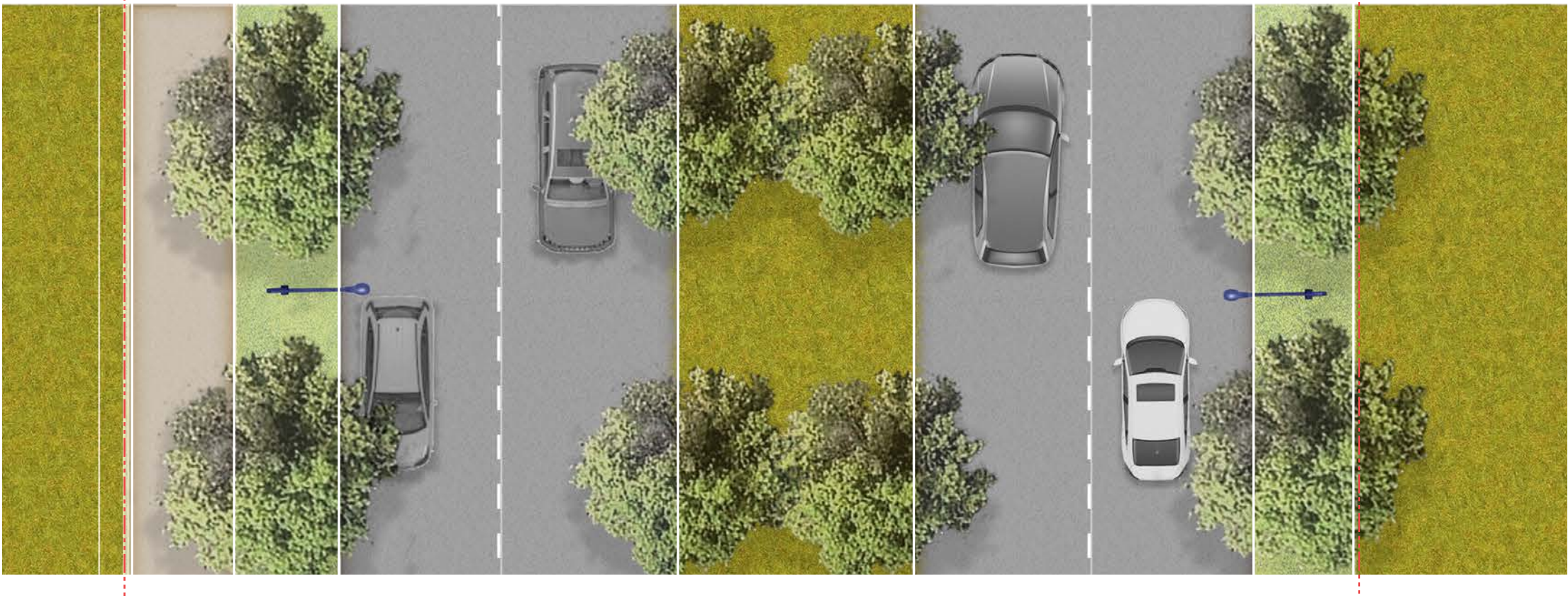
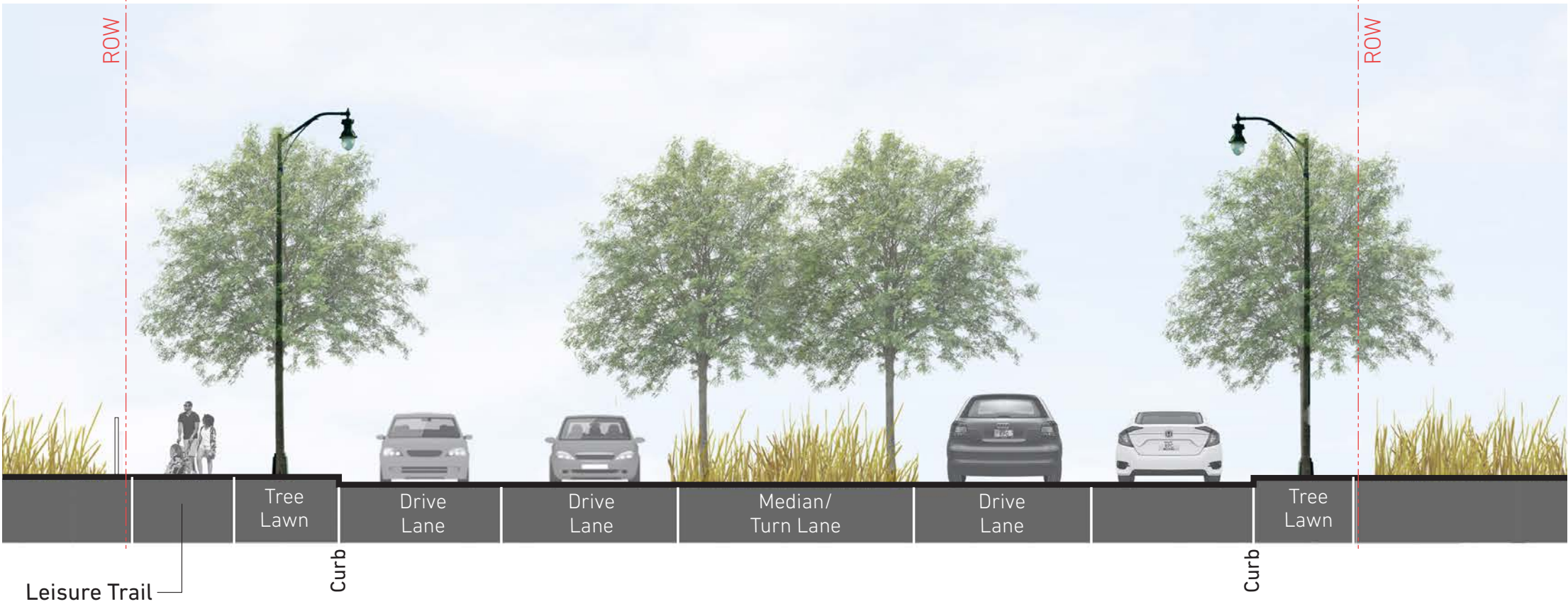
Additionally, required mounds shall be installed within the pavement setbacks, except where a detention pond is used as a gateway feature and is located within the setback area. In this case the required mounding and landscaping shall be installed between the detention pond and any impervious site components. Breaks in, and/or tapering of mounding may occur at vehicular or pedestrian access points, subject to approval of the City’s Landscape Architect.

Development within the TMD shall comply with the provisions of Chapter 1155 in the city zoning ordinance.



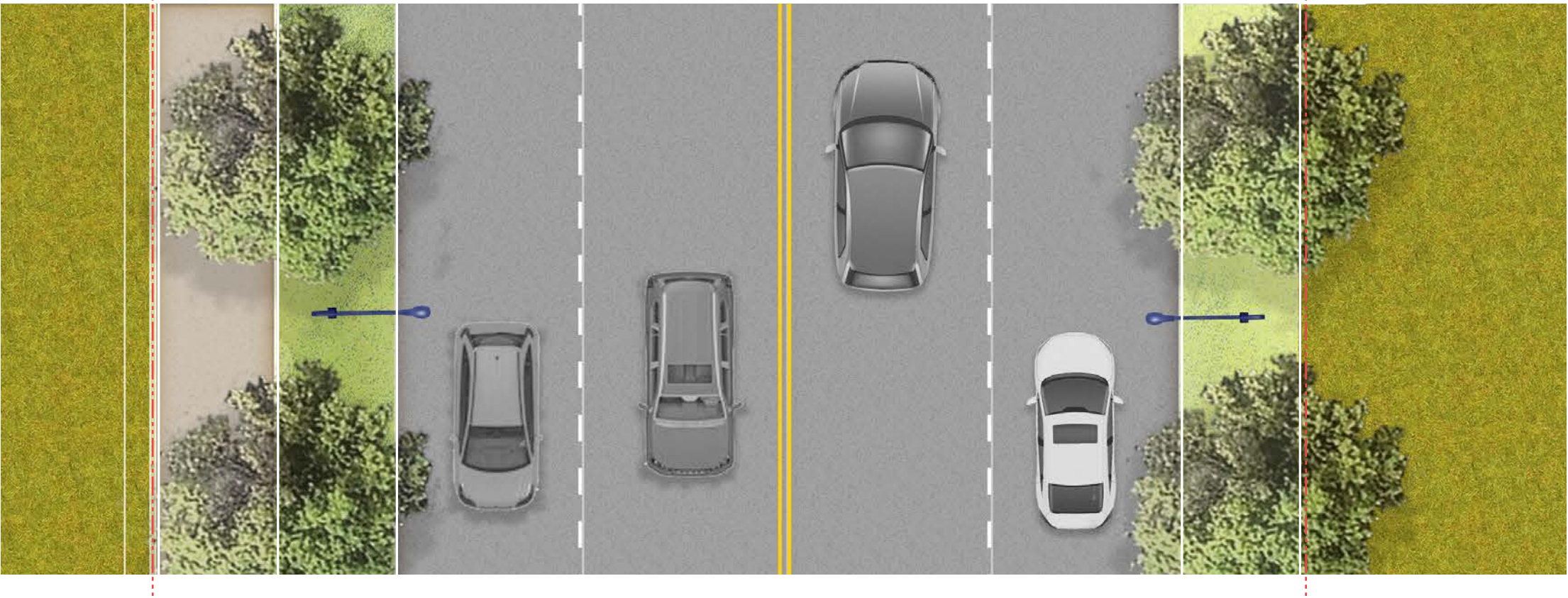
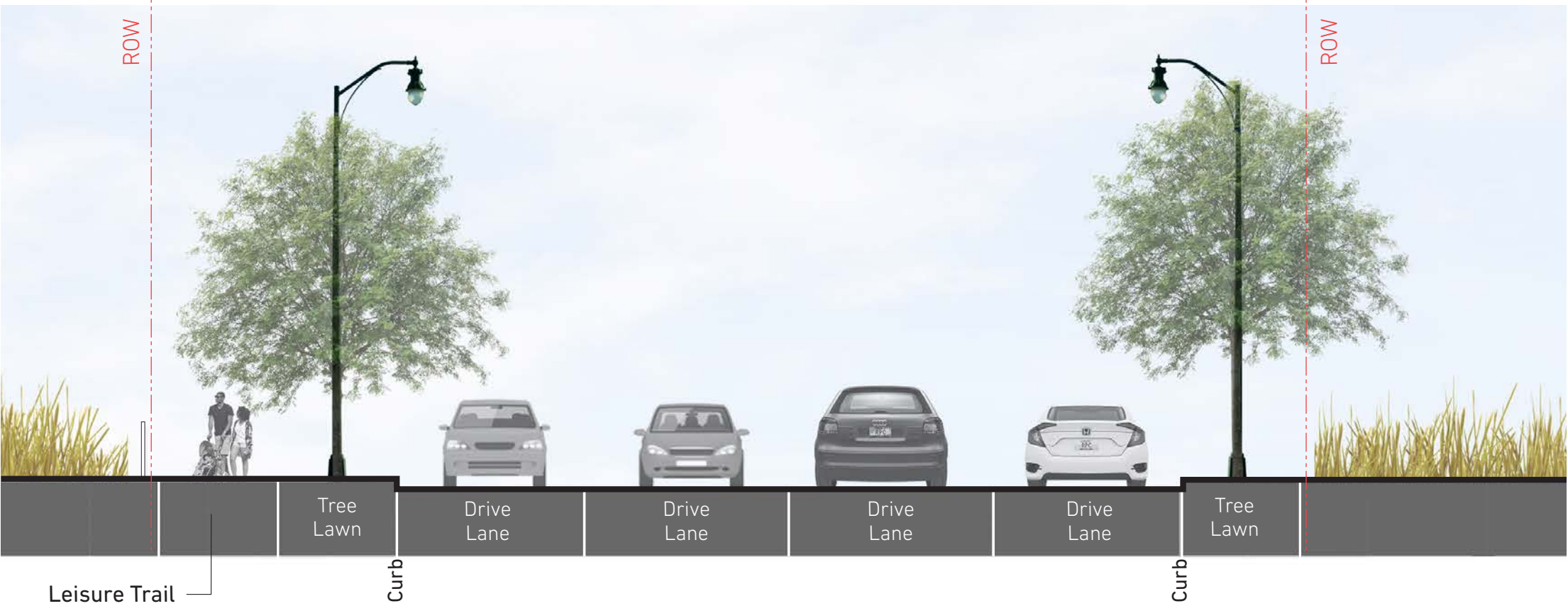
BUSINESS PARK | EDGE CONDITION EXAMPLE

FIGURE 1



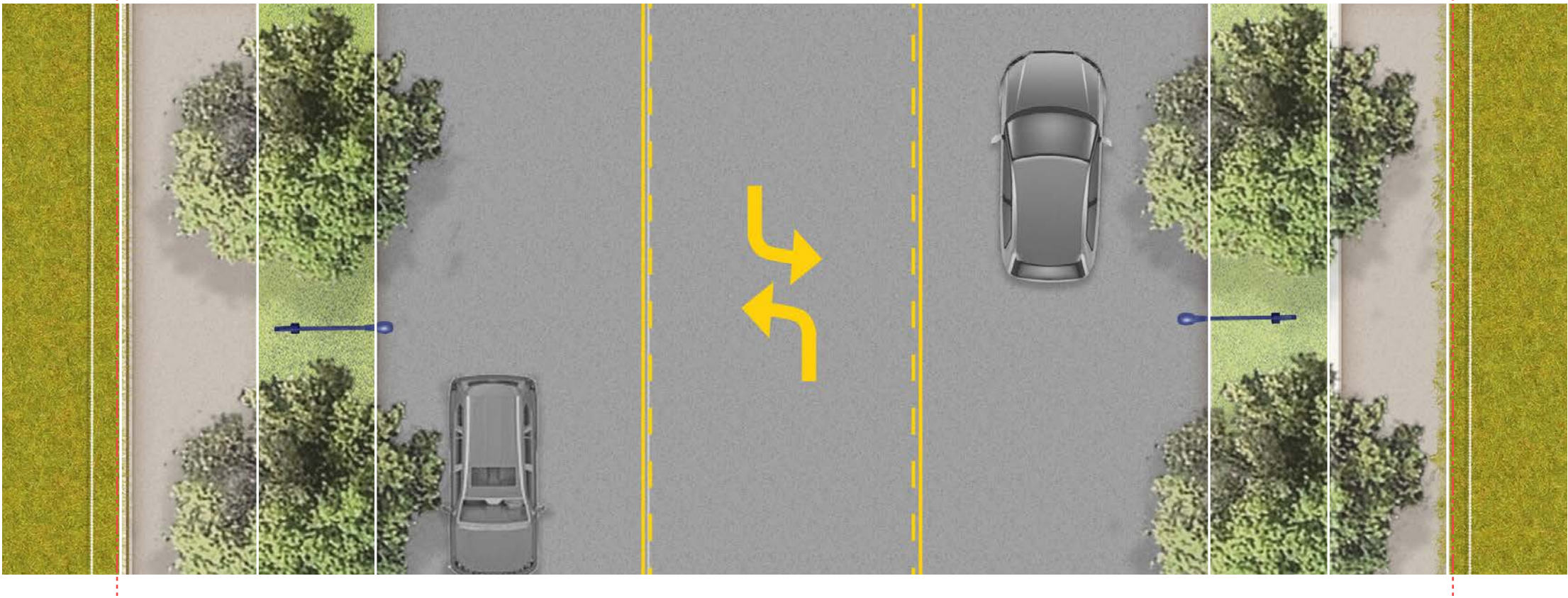
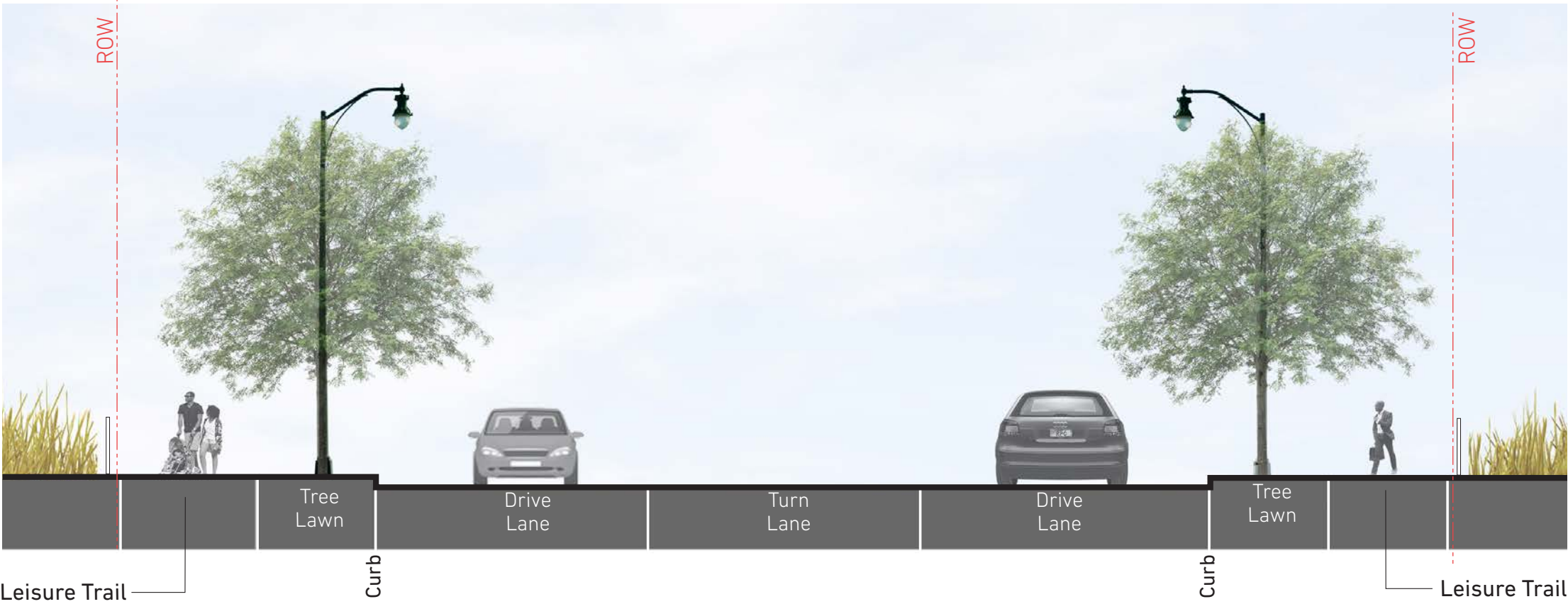
Public Road Section A
Principal Arterial (with Median)

FIGURE 2



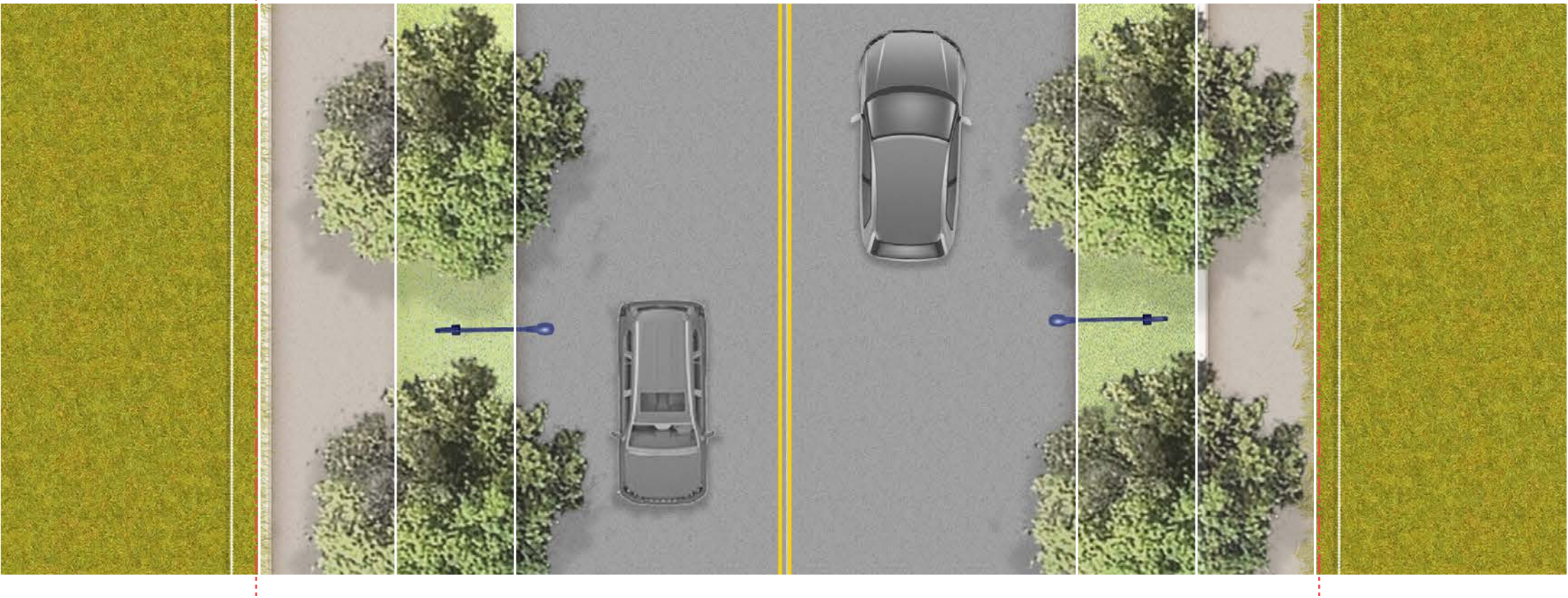
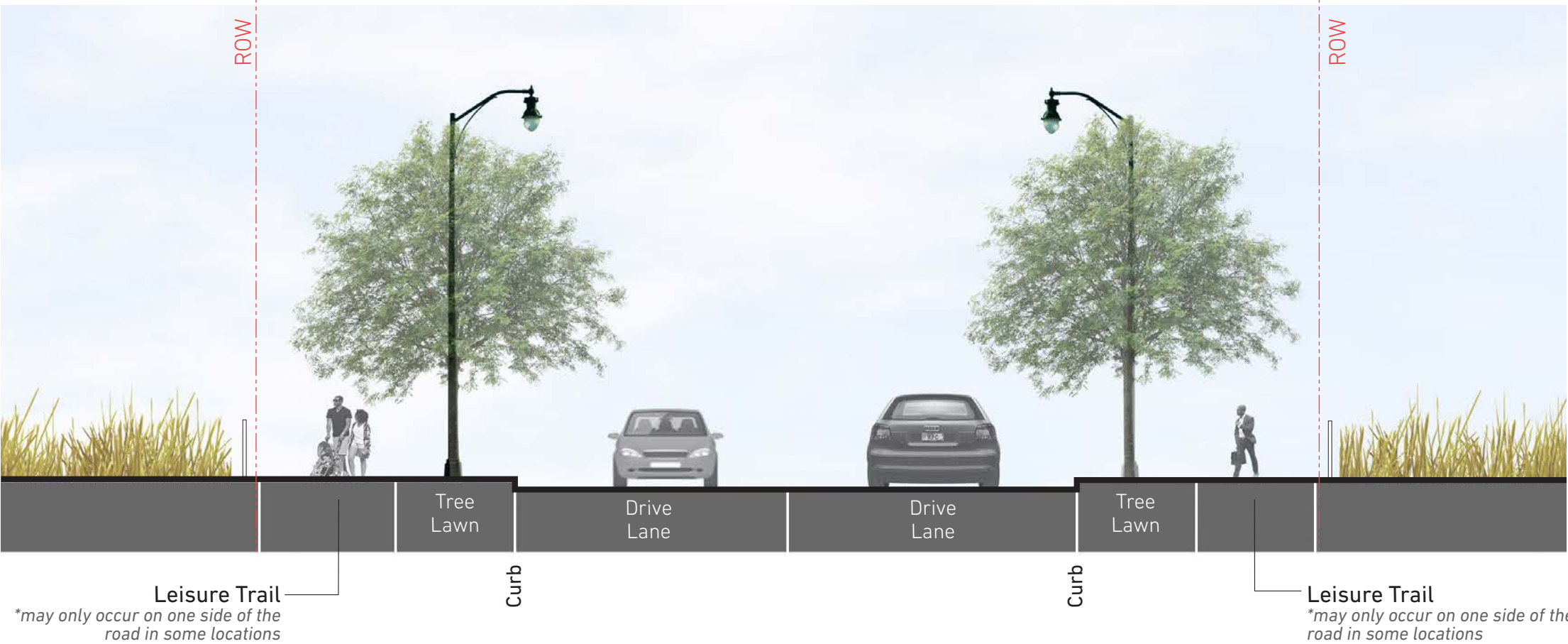
Public Road Section B
Principal Arterial (without Median)

FIGURE 3



Public Road Section C
Major Collector (with Turn Lane)

FIGURE 4



Public Road Section D
Major Collector (without Turn Lane)

LANDSCAPE DESIGN STANDARDS

November 2021

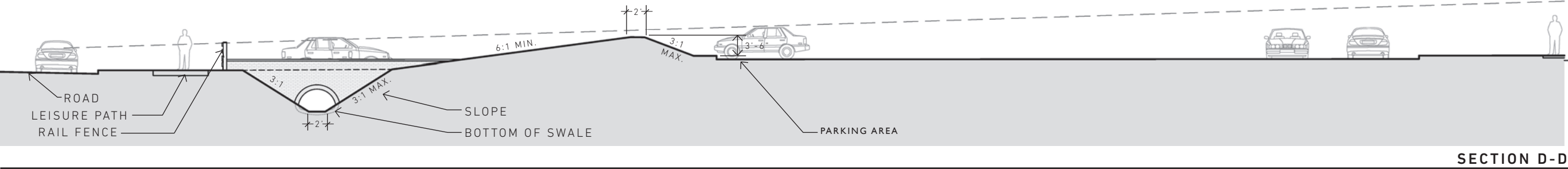
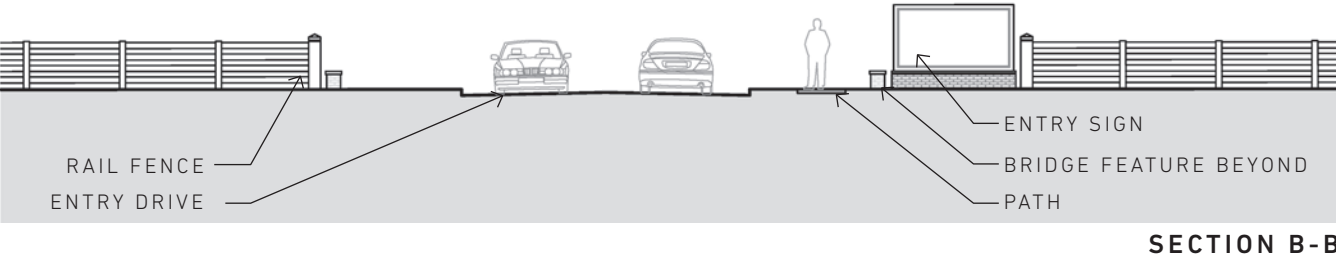
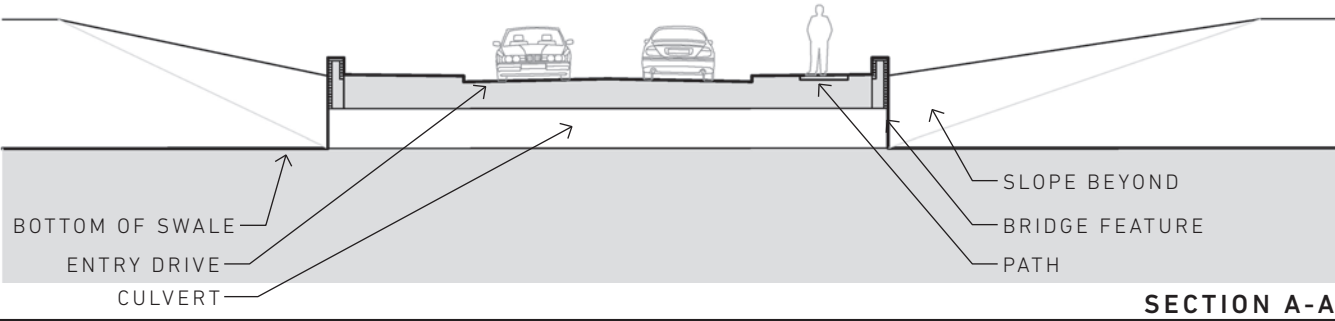
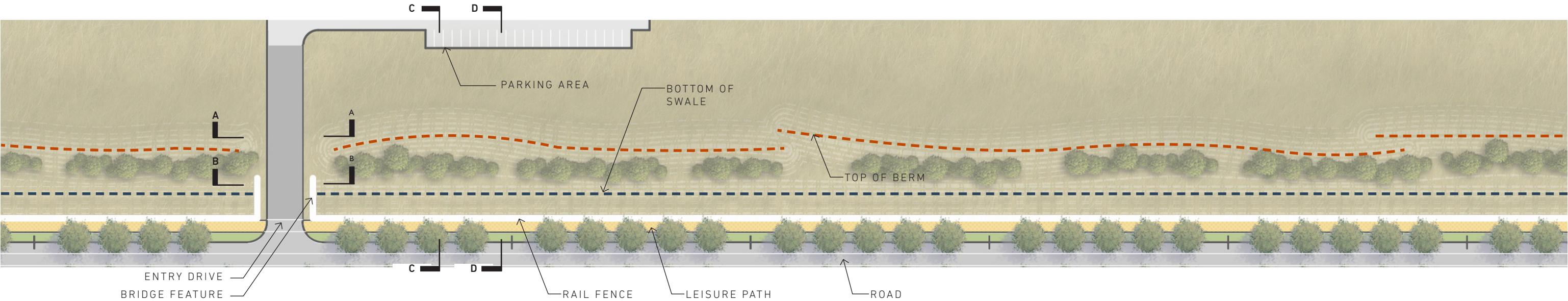
NEW ALBANY TECHNOLOGY MANUFACTURING DISTRICT

Primary Roadway Standards

FIGURE 5
PRIMARY ROADWAYS - SWALE & BERM
GRADING

- If there is a swale condition, the swale shall be sloped at a maximum 3:1 gradient starting from three feet behind the white rail fence to the bottom of swale.
- The bottom of the swale shall be 2’ wide.
- The backslope of the swale shall be sloped at a maximum 3:1 gradient up to the elevation of the adjacent leisure path. From this point further into the development site, the swale shall be sloped at a minimum 6:1 gradient to the top of the berm.
- Berm grading should undulate and vary in both vertical and horizontal dimensions, while remaining within the acceptable slope tolerances. Berm heights should range from 6-10’ and the top of berm widths should range from 2-4’.
- The backslope of the berm should be sloped at a maximum 3:1 gradient. If grade cannot be met, a site wall of cast-in-place concrete or split faced concrete masonry unit block is allowable.
- In the case that berm height is unable to be met around the entirety of the Flagship site, plantings that provide 100% coverage at full foilage may be utilized to meet screening requirements. This condition should not exceed more than 30% of the entirety of the Flagship site edge condition.
- Plant species list: refer to Figure 18.

FIGURE 5

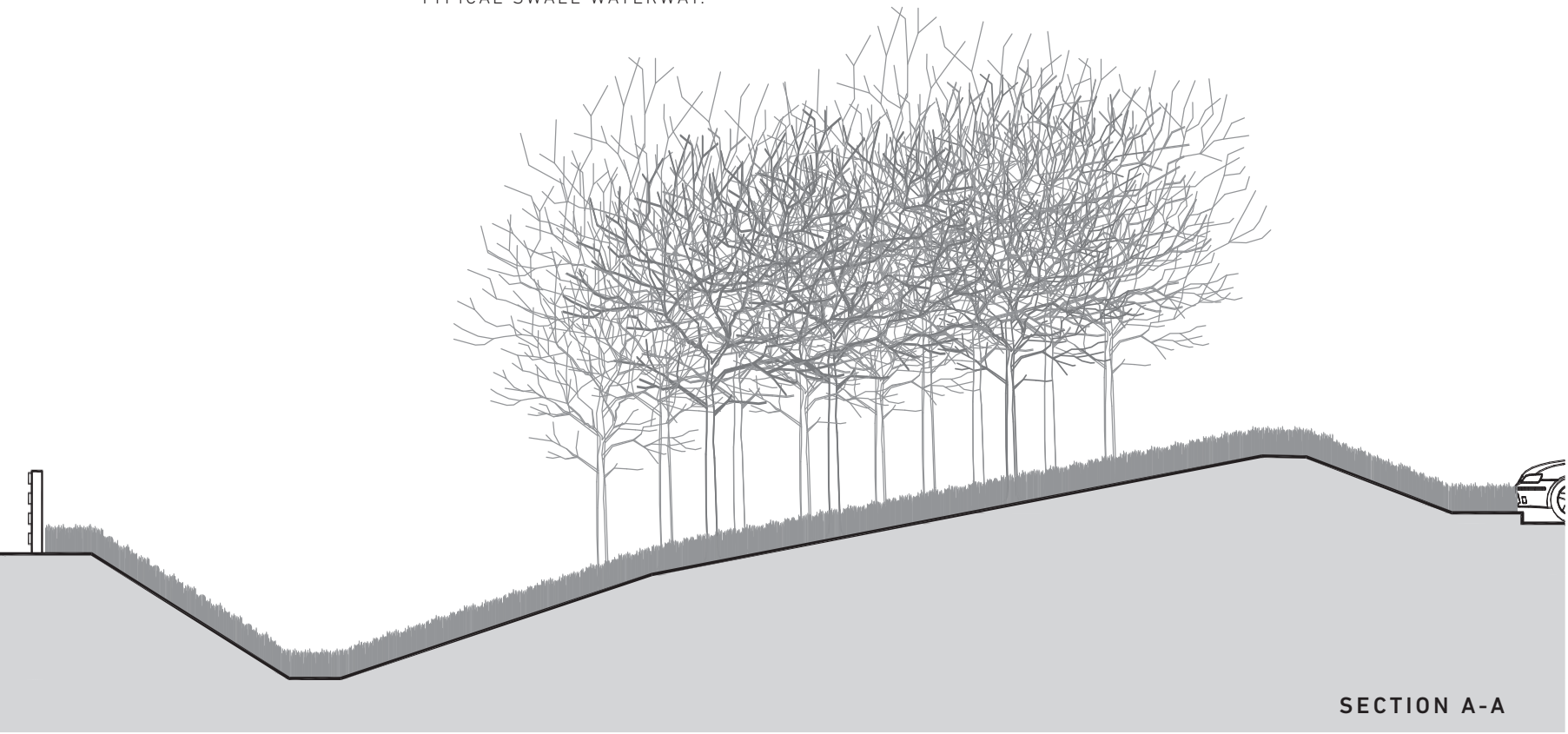
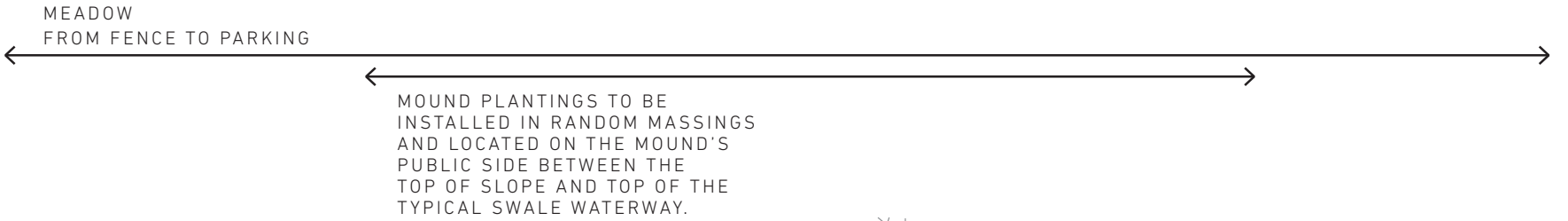
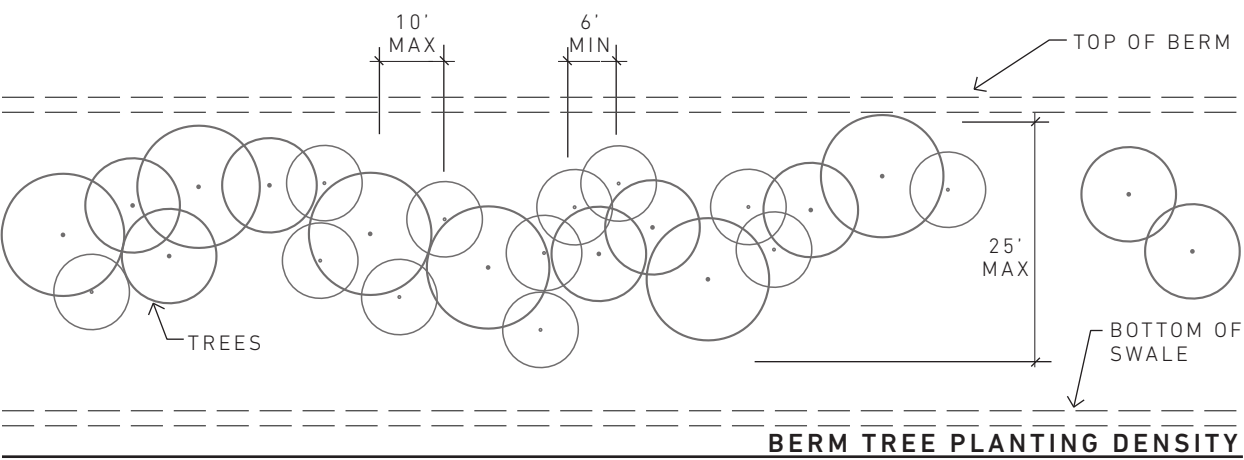


PRIMARY ROAD - SWALE & BERM GRADING

FIGURE 6
PRIMARY ROADWAYS - SWALE & BERM
PLANTING

- Swales shall have a simple meadow mix.
 - Installation method: Seeded (see Construction Guidelines)
- Berms shall have a simple mix of meadow and tree groupings placed in massings
 - Tree installation sizes: Tree sizes to be mixed in at least three different sizes, ranging from 2" to 3" caliper. No more than 50% of trees shall be 2" caliper.
 - Tree species diversity: At least 6 species shall be used per property. No quantity of any given species shall comprise more than 20% of the overall quantity of trees
 - Tree spacing: tree species and sizes are to be randomly spaced in a staggered pattern between 6' and 10' on-center. There should be a minimum of 30 trees per 100 linear feet.
 - Trees shall be underplanted with native woodland shrubs in massings, as indicated on the adjoining diagram.
- Only the back (private) side of the berm can be mown, maintained turf grass. This condition should not be visible from the public ROW.
- Plant species list: refer to Figure 18.

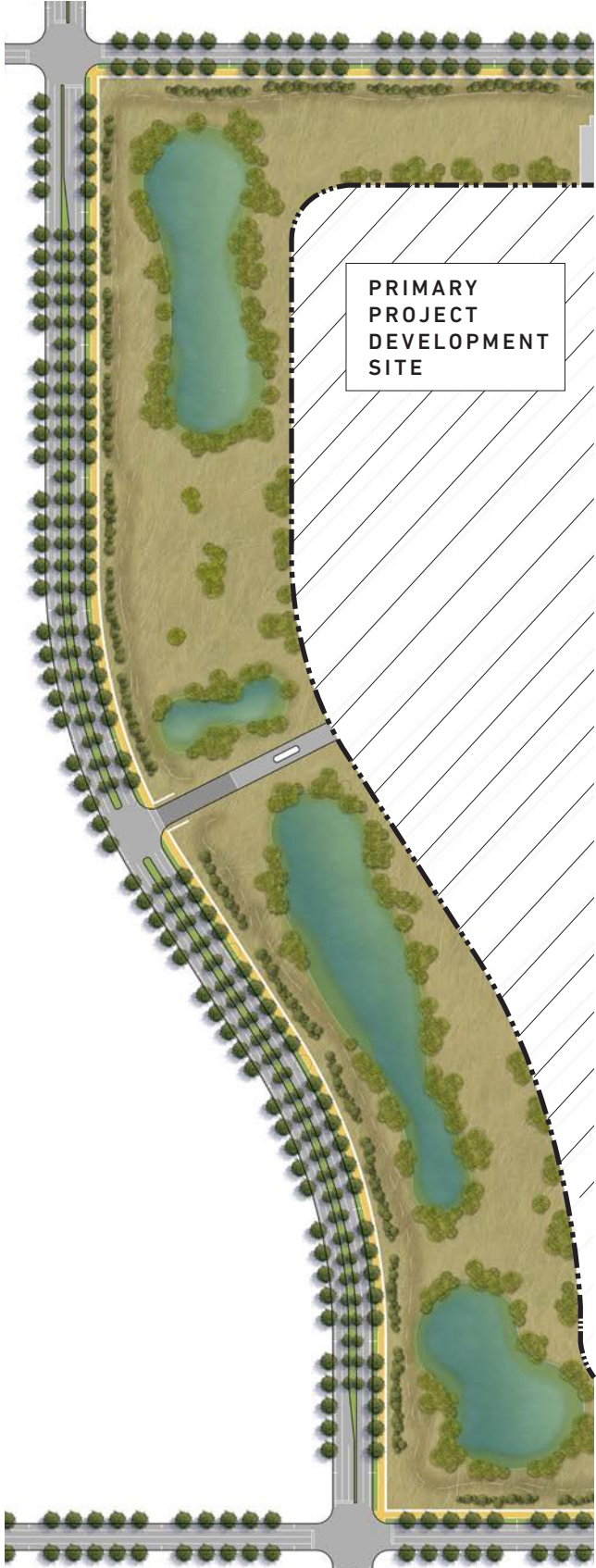
FIGURE 6



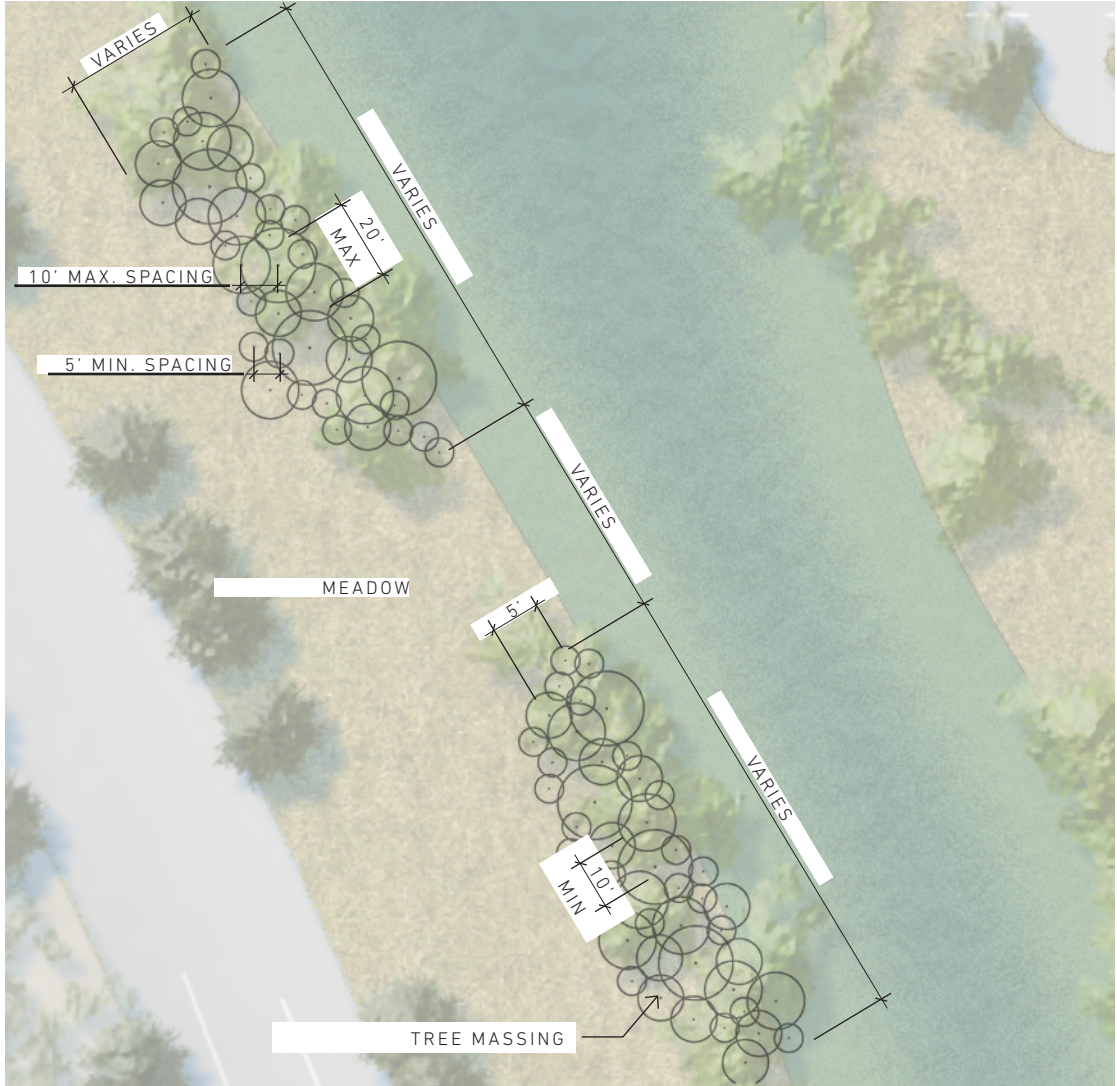
PRIMARY ROAD - SWALE & BERM PLANTING

FIGURE 7
PRIMARY ROADWAYS - DETENTION
POND PLANTING & GRADING

- Ponds shall have a simple edge of meadow grass, wetland plantings (in emergent areas), and tree groupings.
- Ponds shall have a natural shape and be planted and graded in an attractive manner to be aesthetically integrated into the surrounding landscape.
- Meadow shall be same seed mix as swale and berm meadow mix.
- Trees shall be native canopy trees.
 - Species diversity: At least 8 species shall be used. No quantity of any given species shall comprise more than 20% of the overall quantity of trees
 - Installation sizes: trees are to be planted in a variety of sizes, ranging from 3-year seedlings to 1.5" caliper trees. No more than 60% of trees can be seedlings. At least 20% of trees shall be 1.5" caliper.
 - Tree spacing: tree species and sizes are to be randomly spaced in a staggered pattern between 4' and 10' on-center.
- Wetland mix shall be developed in consultation with a wetland ecologist.
- Diffused or bubbler type aeration devices are permitted in stormwater ponds. Fountains or any above-water aeration devices are prohibited.
- Generally, detention pond slopes (from pond shelf) should be an average of 12:1 slope, but no steeper than 6:1 and no more gradual than 20:1.
- Ponds may be constructed within the defined building and pavement setbacks.
- Plant species list: refer to Figure 18.



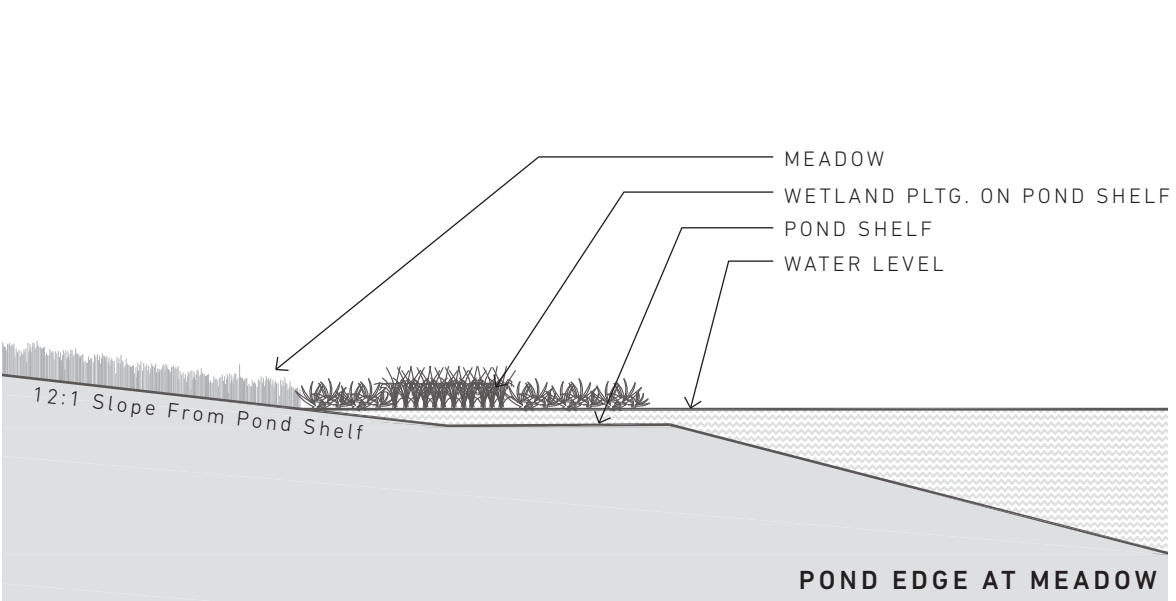
PLANT MASSINGS AT PONDS



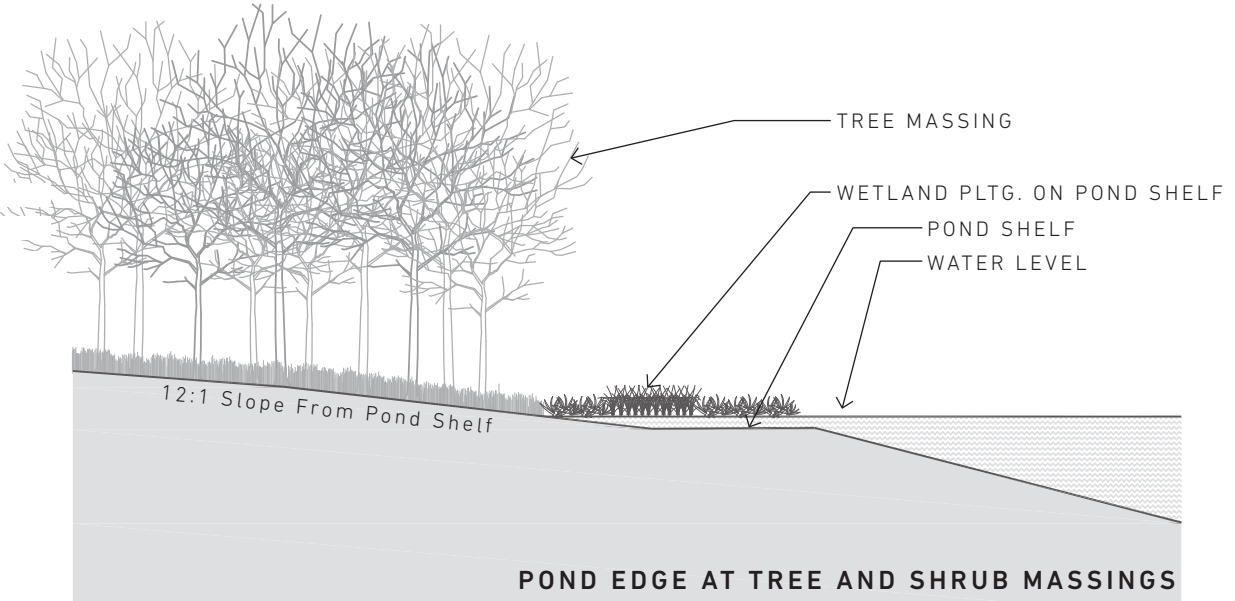
TREE PLANTINGS AT POND EDGE



EXAMPLE: MEADOW AT POND EDGE



POND EDGE AT MEADOW

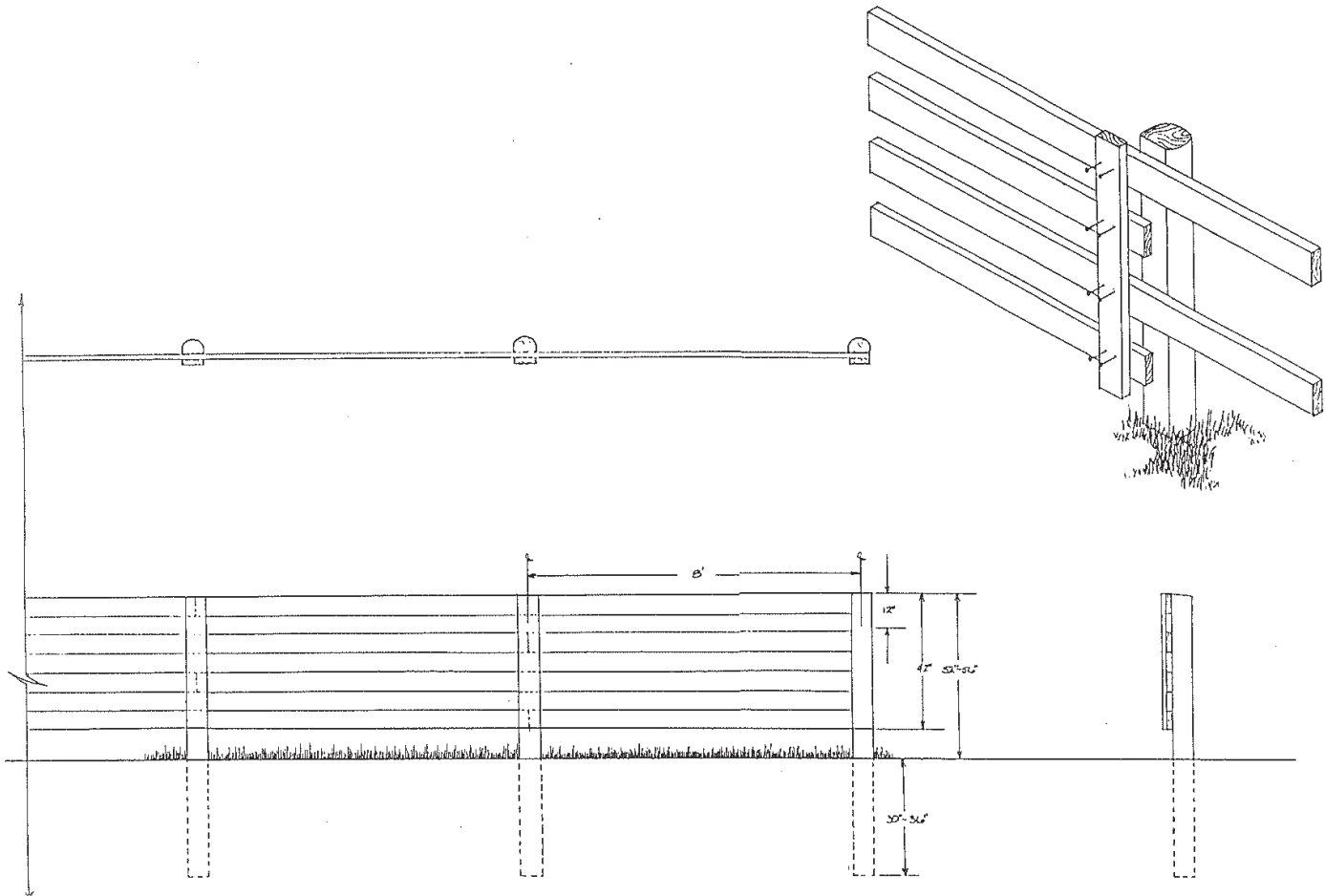


POND EDGE AT TREE AND SHRUB MASSINGS

PRIMARY ROAD - DETENTION POND PLANTING

FIGURE 8
PRIMARY ROADWAYS - RAIL FENCE &
LEISURE PATH

- Fence to be placed on both sides of road.
- Top of fence elevation to match (tolerance of +/- 6") on both sides of road.
- Fence to be located 2' away from leisure path.
- Fence to begin and terminate with a 10" x 10" post.
- Fence character to match the current standard City of New Albany four rail horse fence in each of the following characteristics:
 - Finish: barn and fence paint by Sherwin Williams. Color to be consistent with fencing throughout the City. Primer used for treated wood.
 - Rail: 1"x6"x16', treated rough sawn Poplar
 - Intermediate post: 6"x7'-6", treated Southern Yellow Pine, installed with post driver.
 - End post: 12"x12"x7'-6", treated Southern Yellow Pine.
- A leisure path shall be placed along the inside of the road.
- Leisure path location: 8' from back of curb, consistent.
- Leisure path width: 8' wide.
- Leisure path material: bituminous concrete (asphalt) paving.
- Turf shall be planted between the leisure path and roadway curb and between the leisure path and the rail fence.



FENCE DETAIL



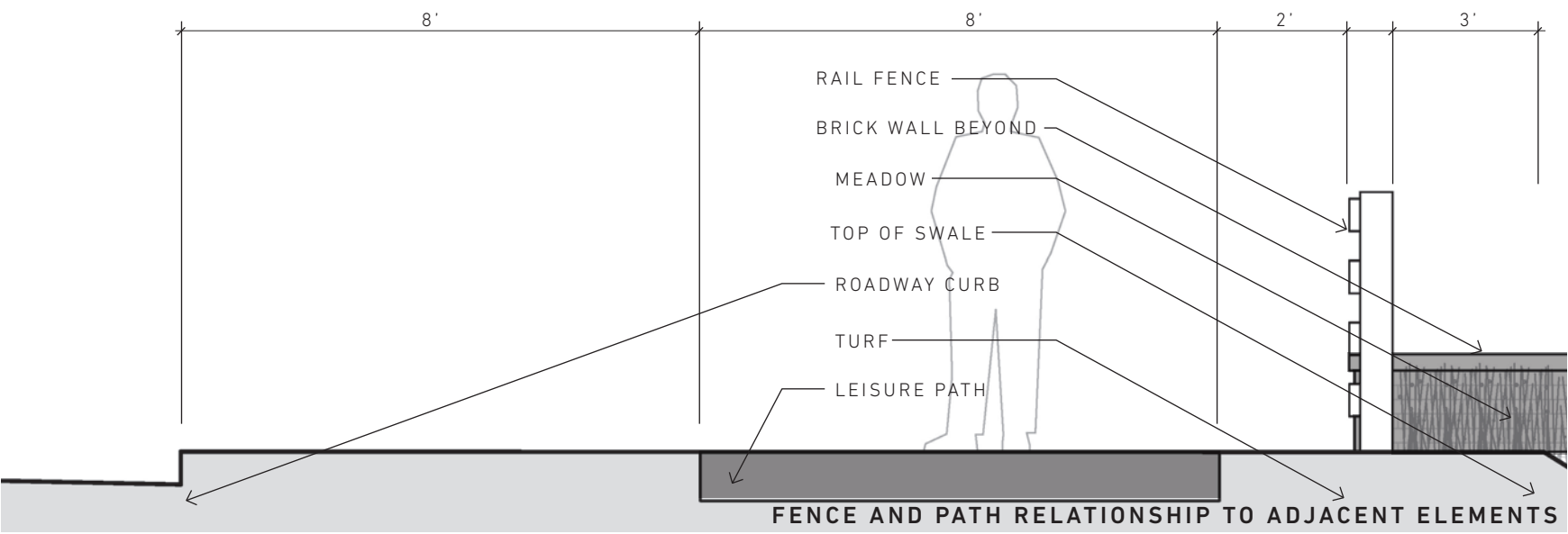
FENCE ELEVATION



FENCE WITH MEADOW GRASS BEHIND



LEISURE PATH WITH FENCE AND TREE LAWN



PRIMARY ROAD - RAIL FENCE & LEISURE PATH

FIGURE 9
PRIMARY ROADS - SIGNAGE & STREET LIGHTING

- All street lights shall match the optics, lamping, and style established within the existing Business Campus.
- Street light metal post, base, and luminaire shall be dark green, final color selection is to be coordinated with the City.
- Street lights shall be located in the middle of the tree lawn between the leisure path and back of road curb
- Street lights shall be spaced according to the current road bid documents, and coordinated with recommended street tree plantings. See Figure 14.
- Wayfinding from Business Park roadways shall direct all deliveries to the truck road.
- Signs shall be permitted at each drive off of the truck road, with an address and company name. The size and character of these signs shall match City regulatory signage.
- The size and character of street signs shall match street signs within the existing business campus. Street signs shall have a mix of upper and lower case letters.



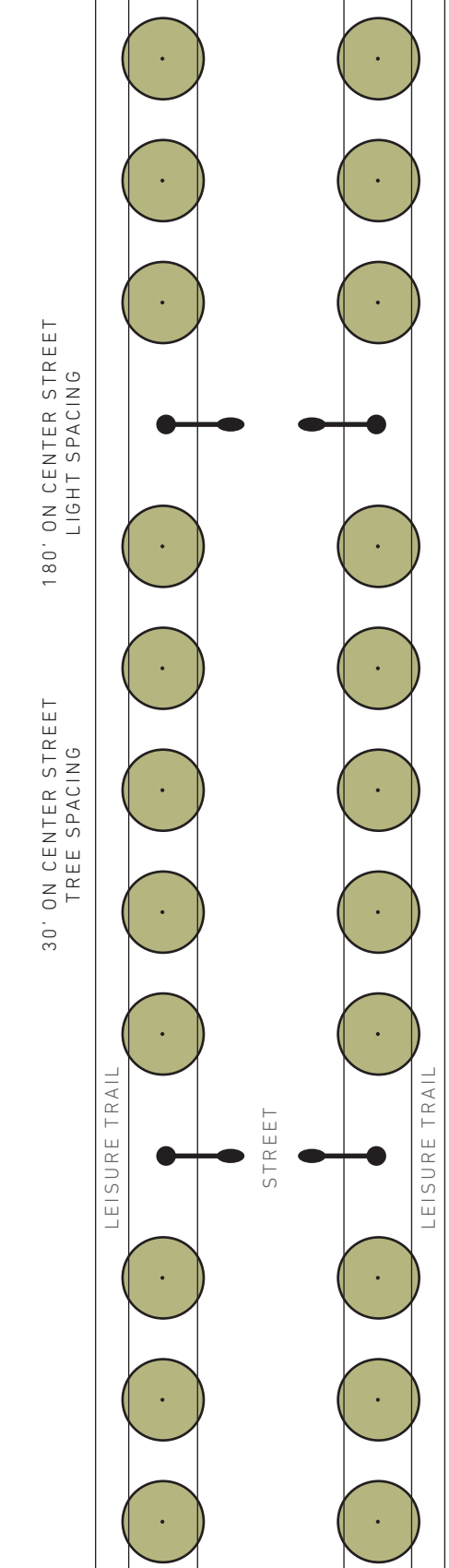
PROPOSED DISTRICT MARKERS



PRIMARY ROAD - SIGNAGE & STREET LIGHTING

FIGURE 10
PRIMARY ROADS - STREET TREE &
STREET LIGHT SPACING

- All street trees shall be canopy trees
- Trees shall be planted in middle of tree lawn between the leisure trail and back of road curb
- Trees shall be planted at a spacing of 30' on center.
- Street lights shall replace street tree locations every 180' (every sixth tree).
- Installation size: 2.5" in AEP easement, 3" caliper elsewhere.
- Tree species list: refer to Figure 18.



PRIMARY ROAD - STREET TREES

ENLARGEMENT PLAN - STREET TREE & STREET LIGHT SPACING

LANDSCAPE DESIGN STANDARDS

November 2021

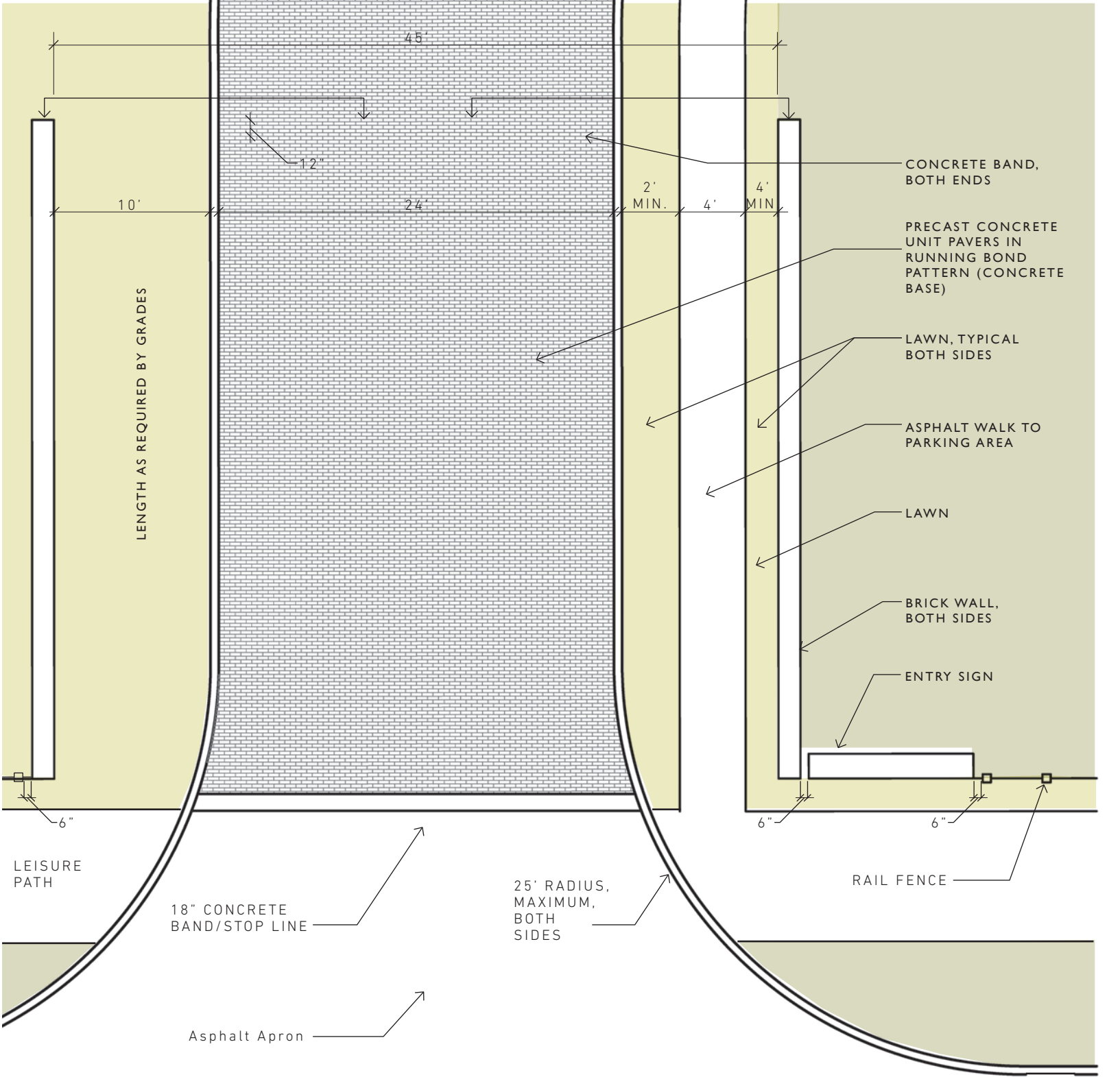
NEW ALBANY TECHNOLOGY MANUFACTURING DISTRICT

D e v e l o p m e n t S i t e

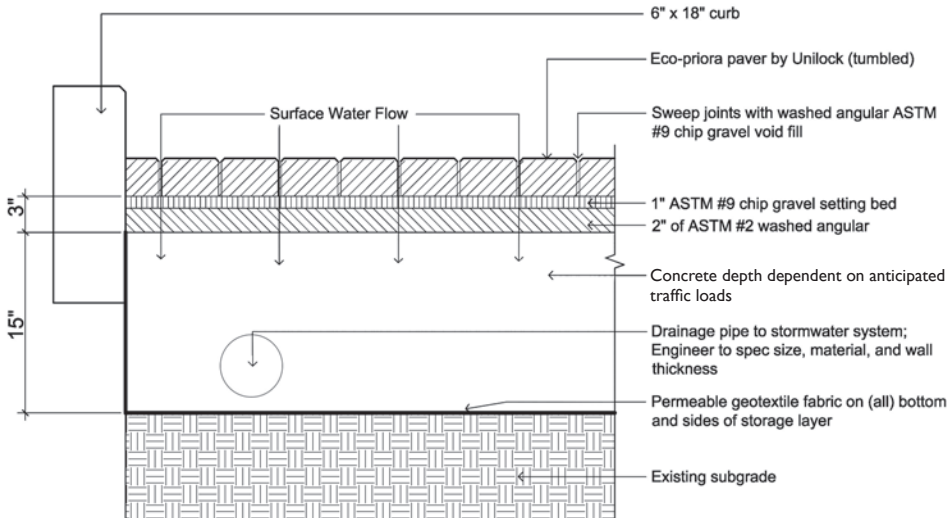
FIGURE 11
DEVELOPMENT SITE - PRIMARY ENTRY DRIVE

Standards set forth below apply to primary vehicular entry drives for employees and visitors. Service drives (trucks) should be asphalt and can vary in width based on engineering (traffic) study.

- Width: drive shall be 24' wide.
- Radii of curbing from entry drive to road shall be 25' maximum.
- Roadway material shall be bituminous concrete
- Roadway material over bridge shall be as follows:
 - Pavers shall be Eco-Priora by Unilock, color: granite, texture: tumbled, size: rectangle (9.36" x 4.68" x 3.12")
 - Field paving shall be precast concrete pavers laid in a running bond pattern and set on an aggregate setting bed and permeable aggregate base.
 - A 12" wide concrete band shall separate the precast concrete pavers from the asphalt roadway.
 - Area of pavers shall equal the length of the bridge minus the two 12" concrete bands.
- Driveway pavers extend back to first parking or drive intersection.
- Pathway adjacent to entry drive shall be 4' wide minimum, and 6' wide maximum. If pathway is wider than 4' wide, additional width shall be split evenly on either side of the pathway centerline.
- Concrete band/stop line shall be 18" wide.



ENTRY DRIVE PLAN VIEW



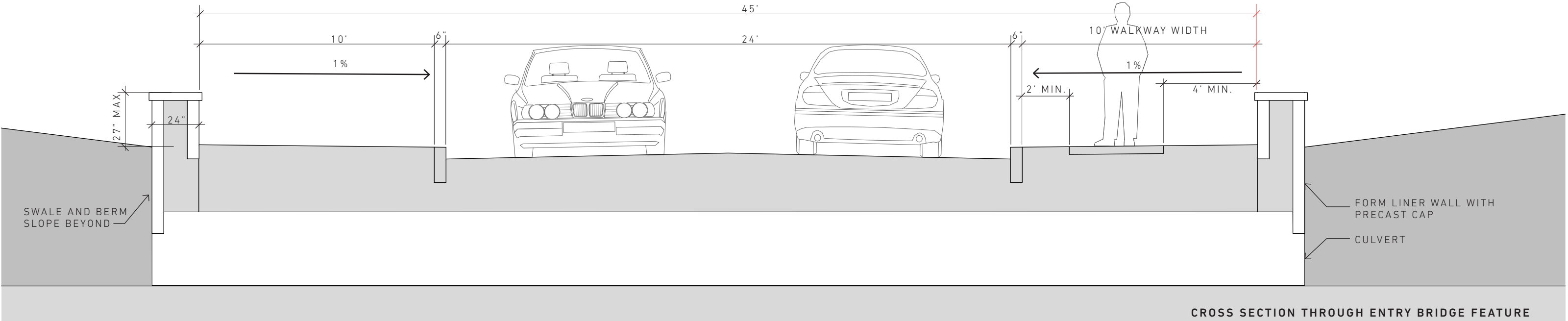
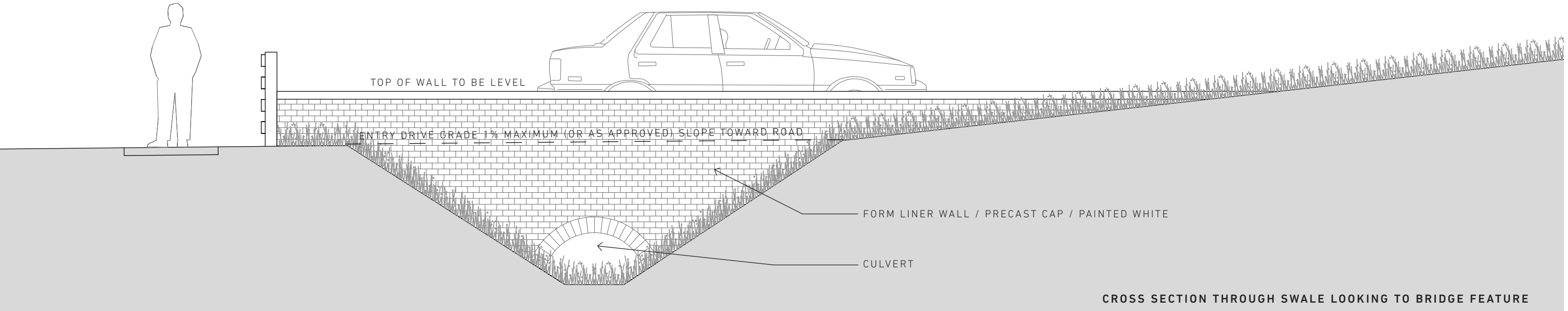
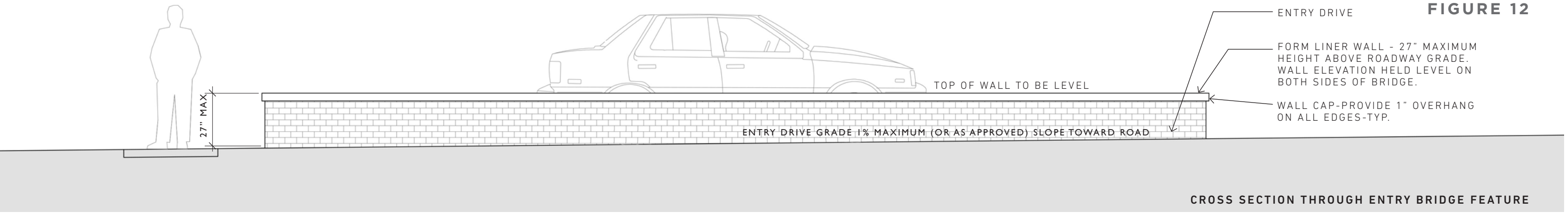
PRECAST CONCRETE UNIT PAVER IMAGE AND SCHEMATIC CONSTRUCTION DETAIL

DEVELOPMENT SITE - ENTRY DRIVE

FIGURE 12
DEVELOPMENT SITE - BRIDGE AT
ENTRY DRIVE

- Bridge wall shall be parallel with entry drive
- Face of bridge wall shall be located 10' away from back of entry drive curb
- Height of bridge wall shall be 27" above finish grade on entry drive side of wall at entrance adjacent to sign wall location (see Figure 17 for sign base details). Top of wall shall be held level.
- Wall width shall be 24".
- Wall Construction: cast in place concrete formliner. Paint color shall match color on fence. Finish face of form liner to be smooth and free of voids. Coordinate appropriate concrete mix design with structural engineer to provide this finished look.
- Capstone: white painted precast stone. minimum lengths of 4' with a thickness of 4". All sections to be equal. Provide 1" overhang on all edges.
- Culvert Size and Shape: arch-shaped or round precast concrete pipe equivalent to 4' diameter flow.
 - Example supplier: Rinker Materials (concrete arch pipe - 54" round equivalent)
- Additional vehicular lanes on entry drives may be warranted based on traffic volumes.

FIGURE 12

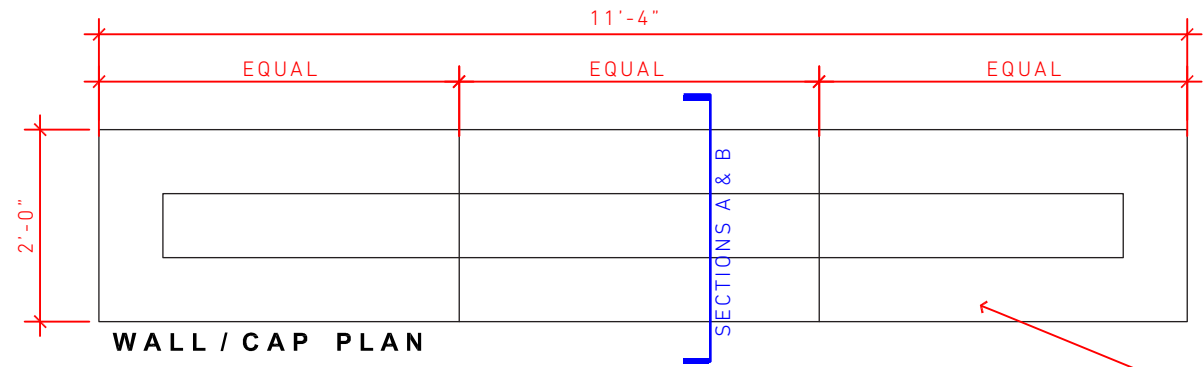


DEVELOPMENT SITE - BRIDGE AT ENTRY DRIVE

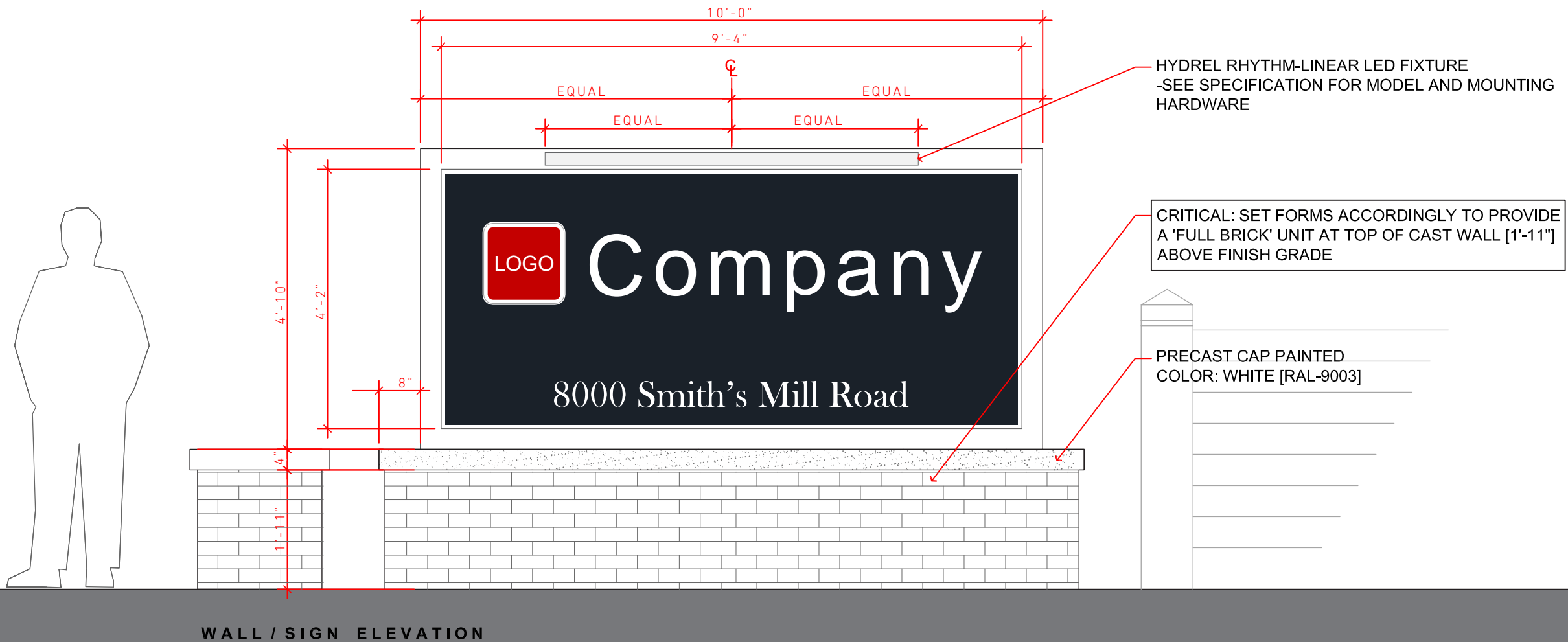
FIGURE 13
DEVELOPMENT SITE - PRIMARY
ENTRANCE SIGNAGE

- Sign shall be parallel with road and in line with white rail fence and end of bridge wall.
- Overall sign size (including brick base element): 11'-0" wide x 7'-2" tall. (Sign size can be assessed on a case-by-case basis - Size defined here is minimum size).
- Sign shall be comprised of a formliner concrete base and aluminum sign frame.
- Wall Base: cast in place concrete formliner. Paint color shall match color on fence. Finish face of form liner to be smooth and free of voids. Coordinate appropriate concrete mix design with structural engineer to provide this finished look.
- Capstone: white painted precast stone. Lengths as shown. Cap thickness: 4". Overhang: 1"-All Sides.
- Metal Sign Frame: painted aluminum, white, RAL 9003.
- Metal Sign Panel: painted aluminum, dark charcoal, RAL 7021.
- Sign Graphics and Type:
 - Letters: 1/2" thick aluminum letters - color: white [RAL 9003]. Letters mounted to face of sign panel (company names and addresses).
 - Colors: Max of Four Colors Permitted
 - Letters: White [RAL 9003]
 - Sign Panel: Charcoal [RAL 7021]
 - Company Logo: Two Color Max.
 - Note: Address font shall be Baskerville BT Regular. Address shall appear on single line.
- Sign Lighting
 - Hydrel: Rhythm-Linear LED Flood - See pages 36-38 for product cutsheet.

NOTE:
1. All electrical / lighting is shown for design intent purposes only.
II. All means / method / mounting / connections / etc. shall conform to all applicable state and local codes.



PRECAST CAP PAINTED
COLOR: WHITE [RAL-9003]

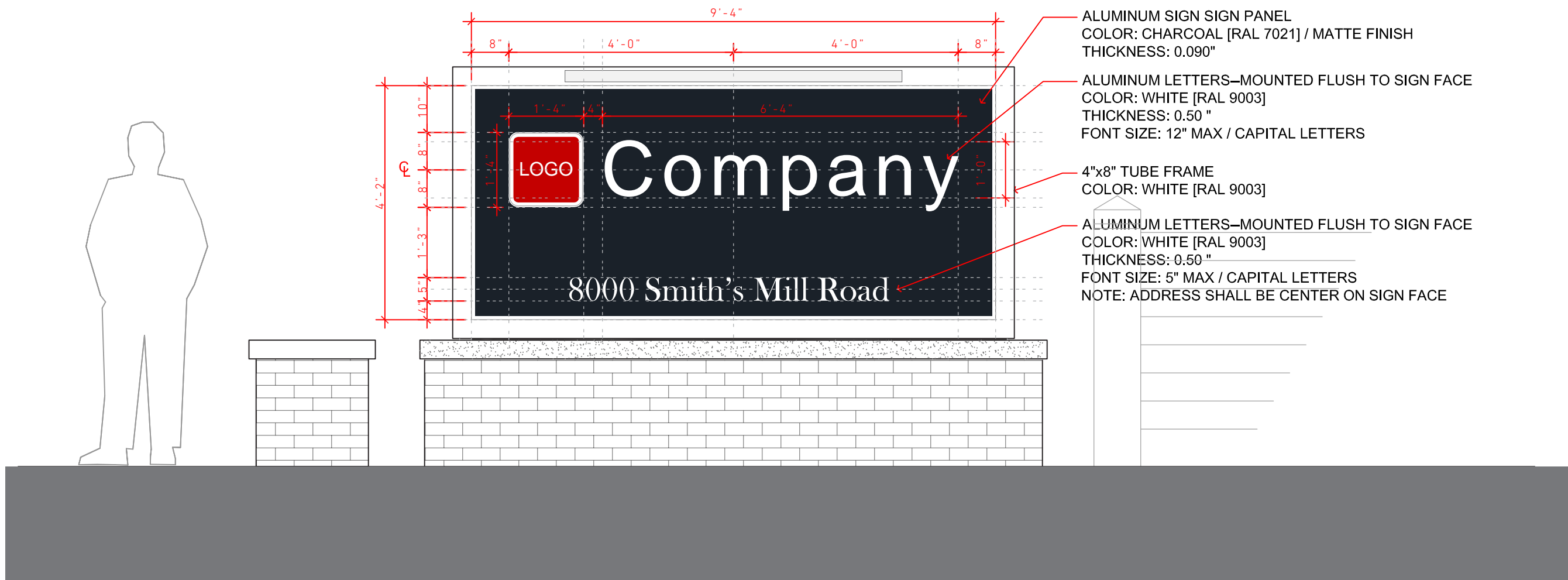


DEVELOPMENT SITE - PRIMARY ENTRANCE SIGNAGE

NOTE:

1. All electrical / lighting is shown for design intent purposes only.

II. All means / method / mounting / connections / etc. shall conform to all applicable state and local codes.

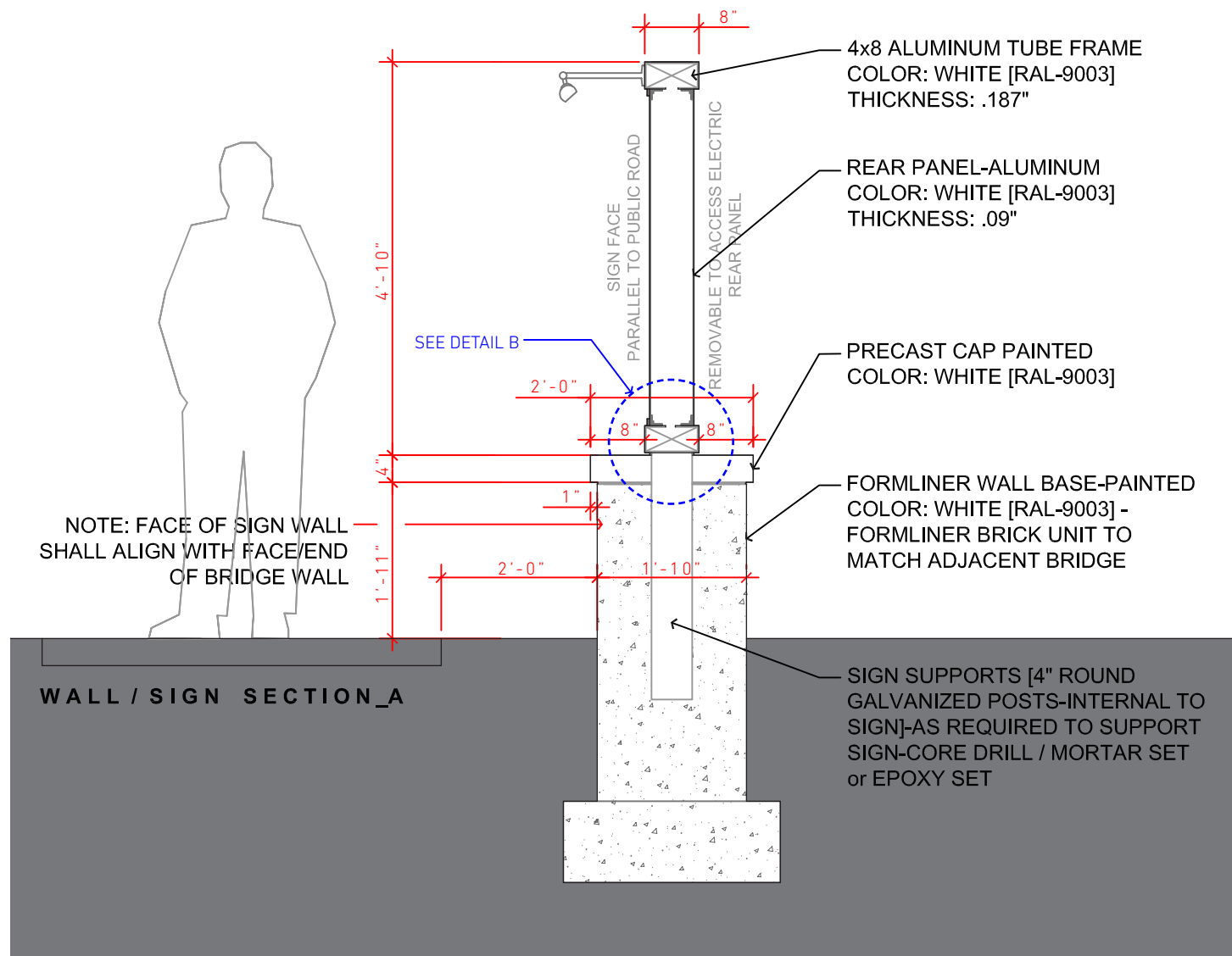


PROPERTY ENTRANCE SIGN_ELEVATION

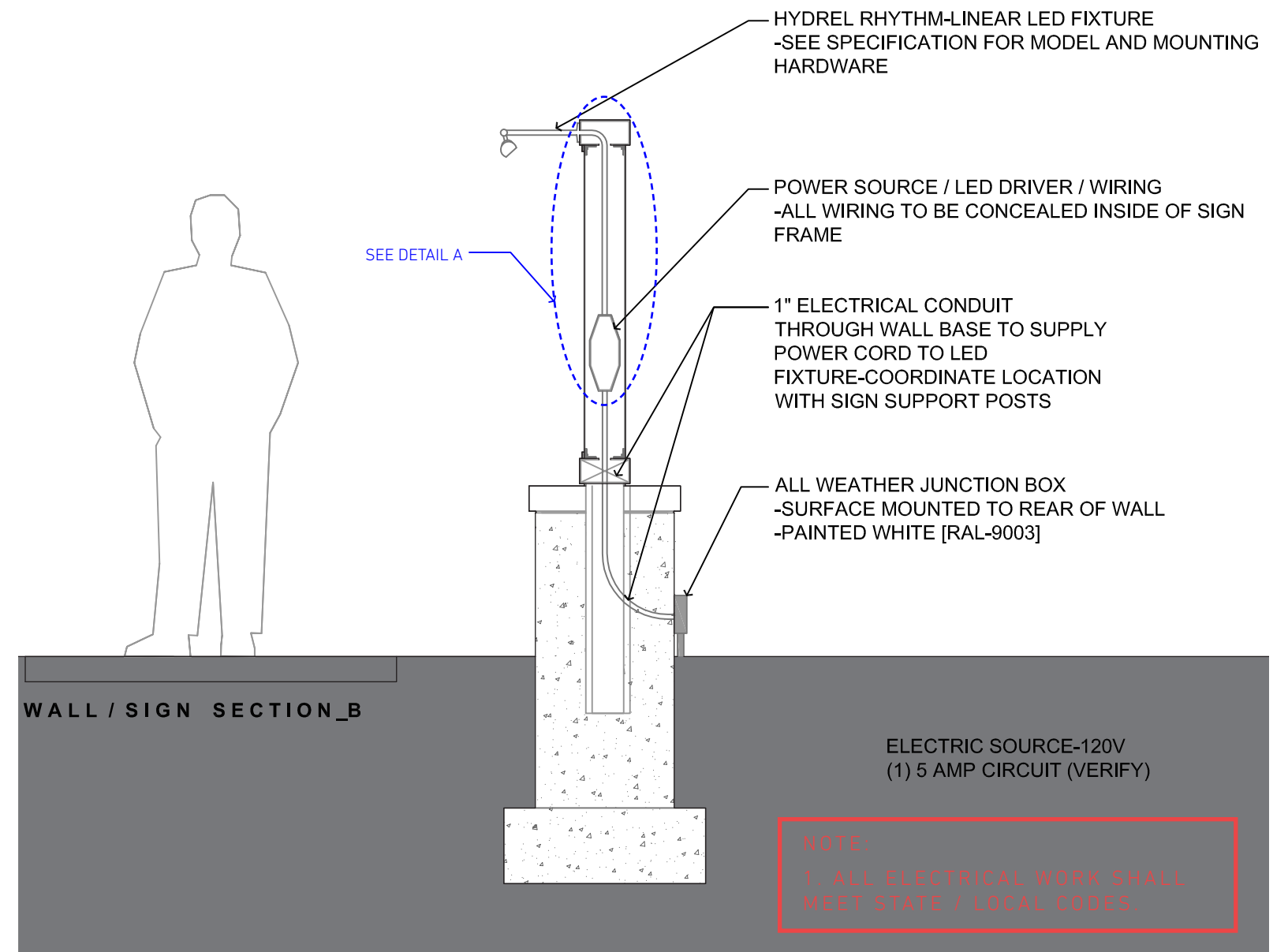
NOTE:

1. All electrical / lighting is shown for design intent purposes only.

II. All means / method / mounting / connections / etc. shall conform to all applicable state and local codes.



PROPERTY ENTRANCE SIGN_SECTION A

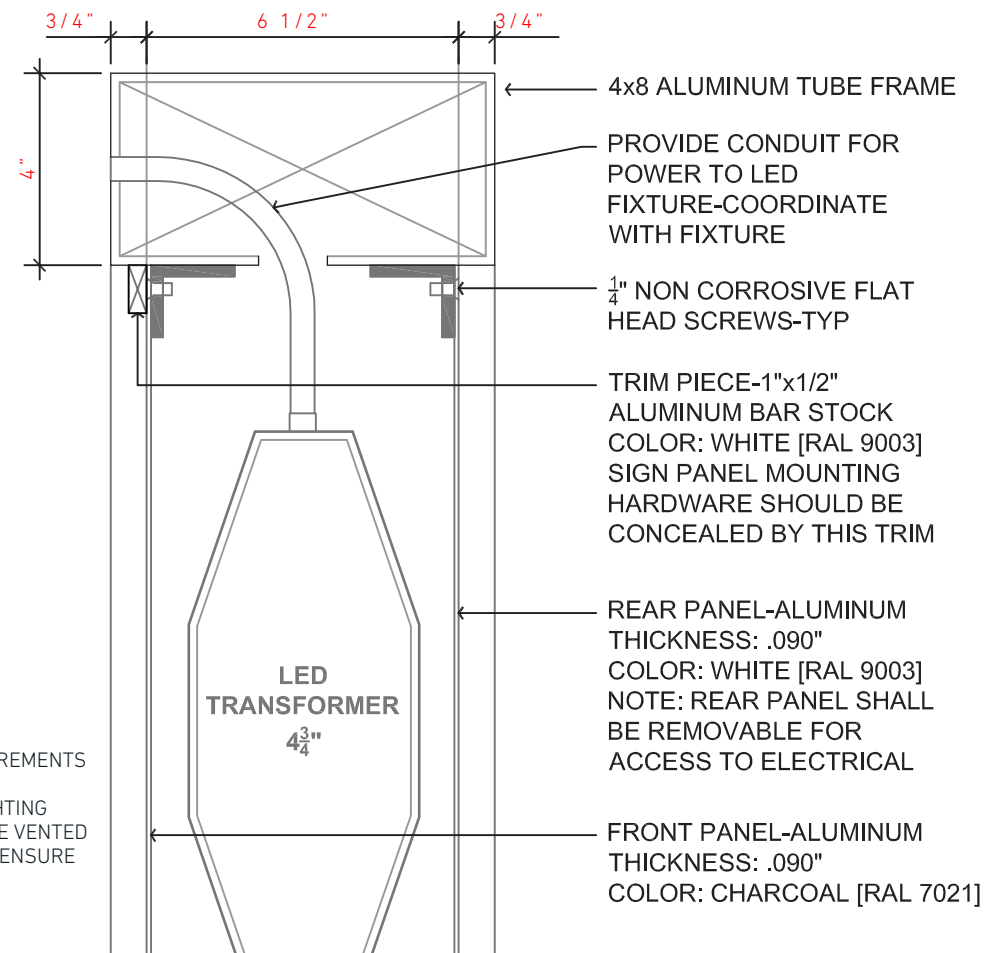


PROPERTY ENTRANCE SIGN_SECTION B

NOTE:

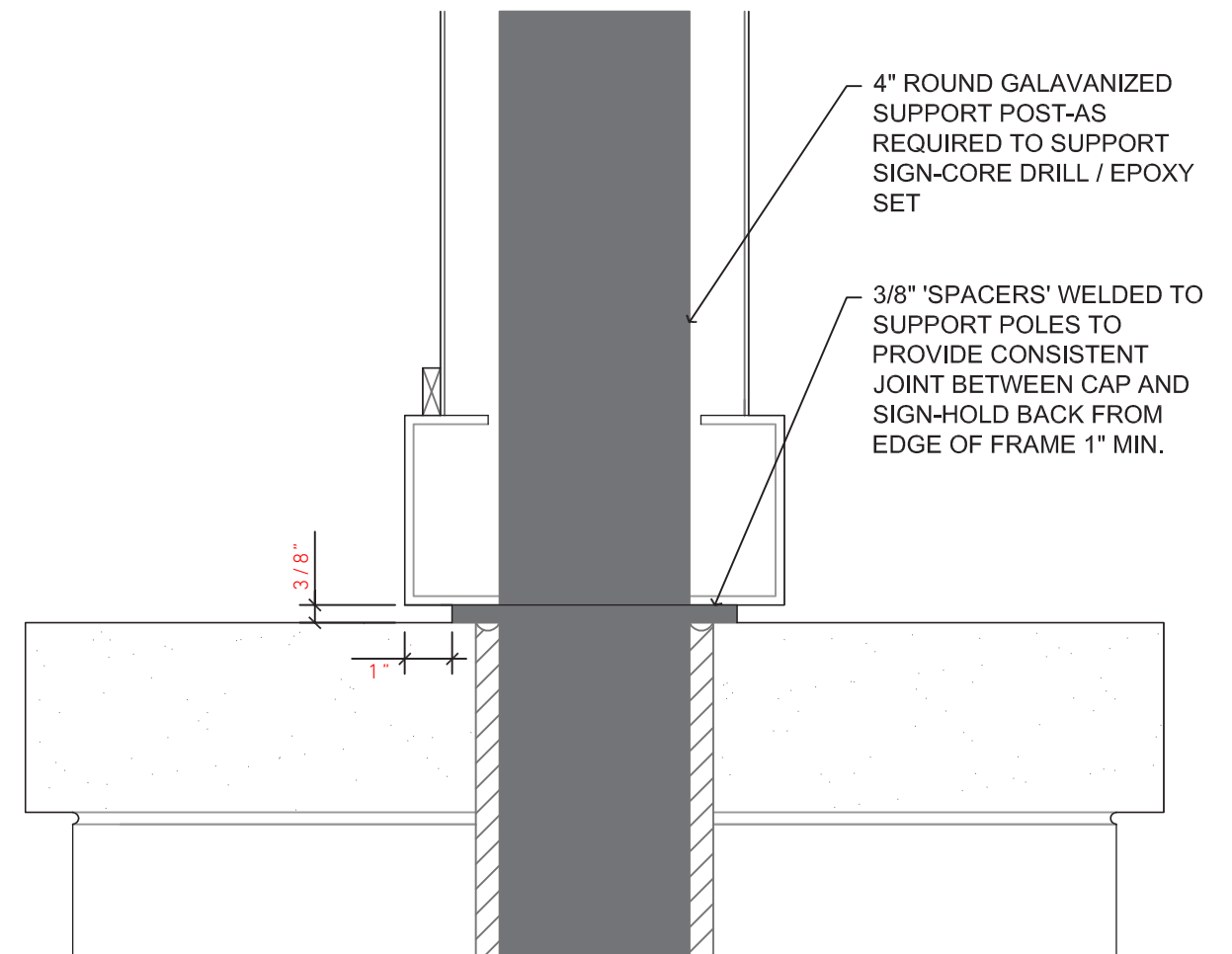
1. All electrical / lighting is shown for design intent purposes only.

II. All means / method / mounting / connections / etc. shall conform to all applicable state and local codes.



A PANEL ATTACHMENT
SCALE: 3" = 1'-0"

DETAIL A



B MOUNTING DETAIL
SCALE: 3" = 1'-0"

DETAIL B



CE-5829 LINEAR LED FLOOD

DESCRIPTION

Hydrel's CE-5829 Linear LED Flood series is a knuckle mount, versatile and distinct LED-based range of linear floodlights, providing designers unlimited options to illuminate and enhance the architecture for interior and exterior applications. Clean, sophisticated lines blend seamlessly with architectural elements and create dramatic washes of light for spectacular effects. Luminaire designs balance day form with function while incorporating the smallest surface mountable power LED's available today. Designed to optimize thermal management, Rhythm luminaires deliver industry best lumen maintenance of 50,000 hours life at 615 mA with 70% lumen maintenance. CE-5829 unique custom finish includes a complete white finish scheme including cord, all external housing and attachment components.

Enclosure Construction: Designed to marry the day-form of the Rhythm wall mount plate, the SSBR power supply enclosure is a wet location housing suitable for surface mounting.

FEATURES & SPECIFICATIONS

MATERIAL: **FIXTURE** - Extruded 6063-T4 aluminum with die cast A360 aluminum mounting. All fasteners are stainless steel.
SSBR - Copper-free cast aluminum A360. All aluminum materials treated prior to anodizing..

LENS: High strength optical grade clear acrylic.

MOUNTING: Knuckle Mount (KM).

SOURCE: Quantity six (6) Rebel™ LED's per linear foot, driven at 615 mA, with maximum power consumption of 13 watts per linear foot. Lumen Maintenance of individual LED light sources have been independently tested to IESNA LM-80 standards. (NOTE: LM-80 does not cover measurement of luminaire.)

POWER SUPPLY: 60W power supply is provided standard with NEMA rated enclosure, and may be remotely located up to 20' (w/ 18AWG). Two (2) 60W power supplies and two (2) NEMA rated enclosures required for 6' luminaires.

VOLTAGE: MVOLT (120-277V) 60HZ.

DISTRIBUTION: 55° Wall Wash Distribution. All photometry tested to IESNA LM-79 Standards.

OPTIONS: EARM12 - Extended Arm 12" (Included).

FASTENERS: Stainless Steel.

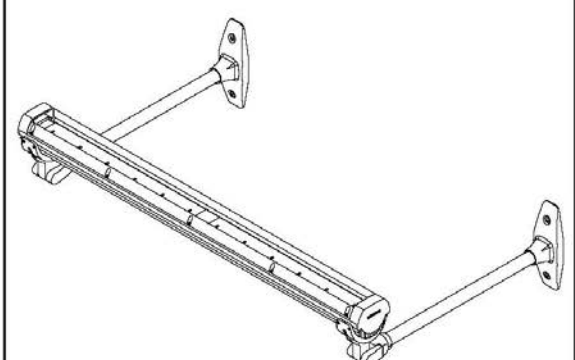
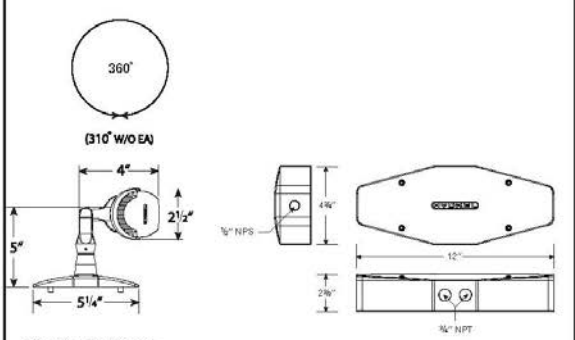
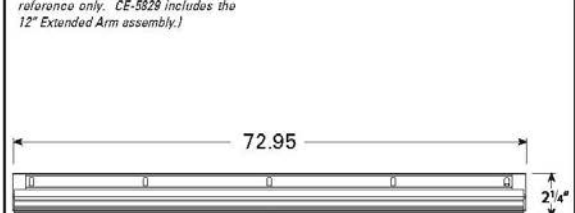
FINISH: : WH - White

WARRANTY: Five (5) year limited warranty. Consult factory for details.

NOTE: HYDREL RESERVES THE RIGHT TO MODIFY SPECIFICATION WITHOUT NOTICE. Any dimension on this sheet is to be assumed as a reference dimension: "Used for information purposes only. It does not govern manufacturing or inspection requirements." (ANSI Y14.5-1973)

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2/6/12
CE-5829 LED

IP66

TYPE	JOB NAME
PART NUMBER	
CE-5829	
	
	
	
APPROVALS	

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LIGHTING CUT SHEET #1



IP66

RHYTHM ORDERING INFORMATION

60-50 Hz Application

Choose the boldface catalog nomenclature that best suits your needs.

PART NO.

EXAMPLE:

RHY6 SSBR	WHT41K	MVOLT	WWD	ASM	EARM-12"	HVSR	CSL20	RAL9003
Model	LED Color	Voltage	Mounting Options	Mounting²	Cord Length⁵	Accessories	Options	Accent Finish
<input type="checkbox"/> RHY2 <input type="checkbox"/> RHY3 <input type="checkbox"/> RHY4 <input type="checkbox"/> RHY6 <input type="checkbox"/> RHY8	<input type="checkbox"/> WHT53K White <input type="checkbox"/> WHT41K White <input type="checkbox"/> WHT30K White <input type="checkbox"/> RED Red <input type="checkbox"/> GRN Green <input type="checkbox"/> BLU Blue	<input type="checkbox"/> MVOLT 120-277VAC <input type="checkbox"/> 12 12VDC	<input type="checkbox"/> EARM Extended Arm Specify length 6", 12" <input type="checkbox"/> EASRM Extended Arm with Strut 12", 18", 24", 36"	<input type="checkbox"/> ASM Adjustable Surface Mount <input type="checkbox"/> SASM Side Adjustable Surface Mount <input type="checkbox"/> KM Knuckle Mount	<input type="checkbox"/> CSL20 20' of cord (18 AWG)	<input type="checkbox"/> HVSR Half Visor <input type="checkbox"/> FVSR Full Visor	<input type="checkbox"/> LDIM ⁴ 0-10V Dimming <input type="checkbox"/> ETE End-to-End	Optional <input type="checkbox"/> RDA Red Accent <input type="checkbox"/> GNA Green Accent <input type="checkbox"/> BUA Blue Accent
Power Supply	Distributions	Finish						
<input type="checkbox"/> SSBR ² Surface Box Rhythm <input type="checkbox"/> NRPS ² NEMA Power Supply <input type="checkbox"/> L/PS ¹ Less Power Supply <input type="checkbox"/> BPCA ⁶ Polymeric Combo Box Aluminum Lid <input type="checkbox"/> BPCB ⁶ Polymeric Combo Box Bronze Lid	<input type="checkbox"/> NSP Narrow Spot <input type="checkbox"/> MFL Medium Flood <input type="checkbox"/> FL Flood <input type="checkbox"/> WFL Wide Flood <input type="checkbox"/> WWD Wall Wash Distribution	<input type="checkbox"/> BLA Black Anodized <input type="checkbox"/> RAL9003 White (custom color) **Note: Entire fixture, cord & end caps to be RAL9003. 20' power cord is 18AWG.						

**SSBR notes: 1/2" NPT
watertight conduit connect to
SSBR conduit hub. (2) SSBR
power supplies per 6ft fixture

LIGHT ENGINE SPECIFICATIONS

COLOR	TYPE	COLOR TEMP	CRI	QTY / LINEAR FOOT	LUMENS / WATT	LUMENS / LINEAR FOOT	INPUT WATTS / LINEAR FOOT
White (WHT53K)	REBEL	5300° K	70	6	75.64	950	12.56
White (WHT41K)	REBEL	4100° K	70	6	75.64	950	12.56
White (WHT30K)	REBEL	3000° K	95	6	46.19	580	12.56
Red (RED)	REBEL	627 nm		6	33.43	440	13.16
Green (GRN)	REBEL	530 nm		6	75.64	950	12.56
Blue (BLU)	REBEL	470 nm		6	19.90	250	12.56

Notes:

- L/PS requires remote 12V +/- 5% DC Power Supply at Site. If L/PS then 12 required.
- Quantity (2) Two Power Supplies provided with RHY6 & RHY8 moduls.
- Two (2) horizontally adjustable mounting arms provided with RHY2, RHY3, and RHY4. Three (3) arms provided with RHY6 and RHY8.
- If LDIM is chosen, SSBR required.
- All fixtures shipped with 20' cord (18 AWG).
- For ground mount applications only.

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Rhythm

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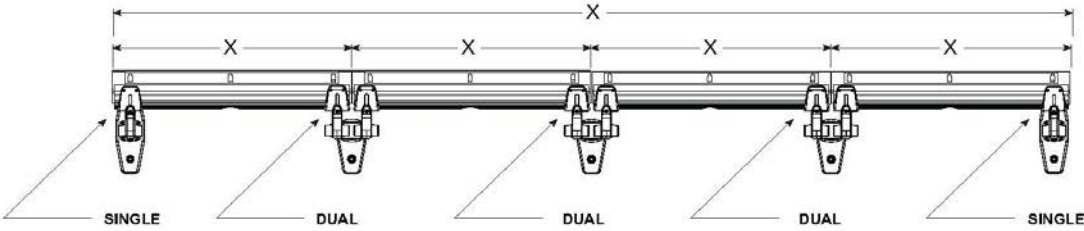
LIGHTING CUT SHEET #2



IP66

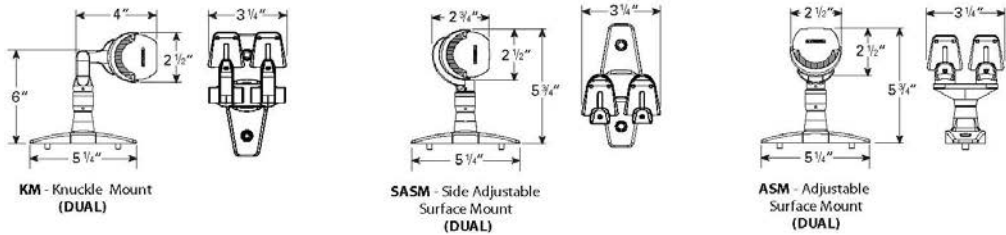
END-TO-END SYSTEM (ETE)

When specifying end-to-end (ETE) option, each luminaire will ship with one single and one dual mounting configuration, ensuring ease of specification and installation everytime.



Refer to housing chart on first page for actual lengths.

ETE - DUAL MOUNT DIMENSIONS



NEMA RATED SURFACE BOX (SSBR)

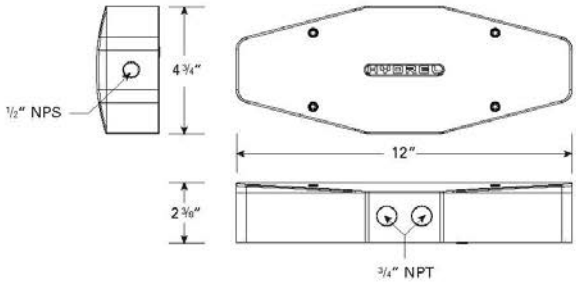
Enclosure Construction: Designed to marry the day-form of the Rhythm wall mount plate, the SSBR power supply enclosure is a wet location housing suitable for surface mounting. The SSBR box is available with side conduit entries or standard with back mounting over recessed splice box.

MATERIAL: Copper-free cast aluminum A360. All aluminum materials treated prior to anodizing.

FINISH: Black powder coat

FASTENERS: Stainless steel tamper resistant

LISTING: CSA, CSA_{US}



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NRPS - NEMA RATED POWER SUPPLY

DESCRIPTION:

Lightweight, compact LED driver designed for remote applications at a maximum of 50 feet. Integrated wiring compartments for easy installation and intended for both indoor/outdoor applications. (UL wet location listed).

SPECIFICATIONS:

MATERIAL: Lightweight extruded aluminum case.

CONDUIT: 1/2" NPT Side with input access plate.

VOLTAGE: MVOLT (120 - 277).

CONSTANT VOLTAGE: 12 Volt DC Calibrated for 5 amps output.

PROTECTION: Over-Voltage, Over-Power and ShortCircuit Protection. Has auto-recovery feature.

TYPE	JOB NAME
PART NUMBER	
APPROVALS	

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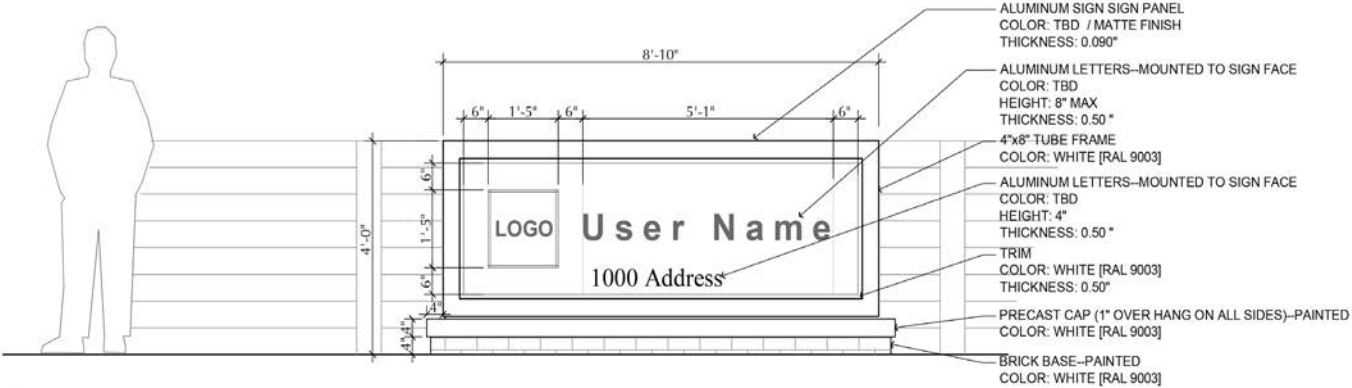
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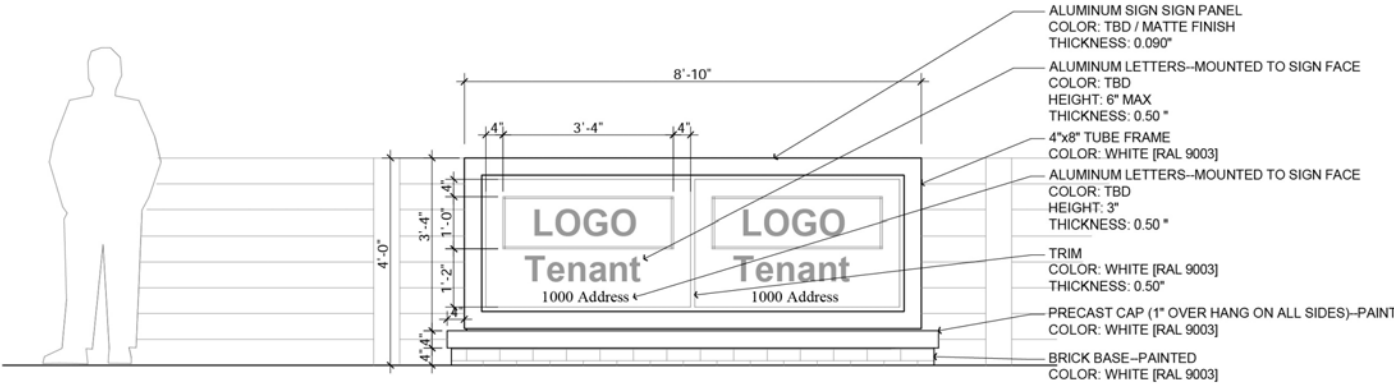
FIGURE 14
DEVELOPMENT SITE - INTERIOR
PROPERTY SIGNAGE

In the special case of secondary signage needed (visible from the public ROW), including address, directional, and other signage required by the state and federal agencies, the following standards shall be met.

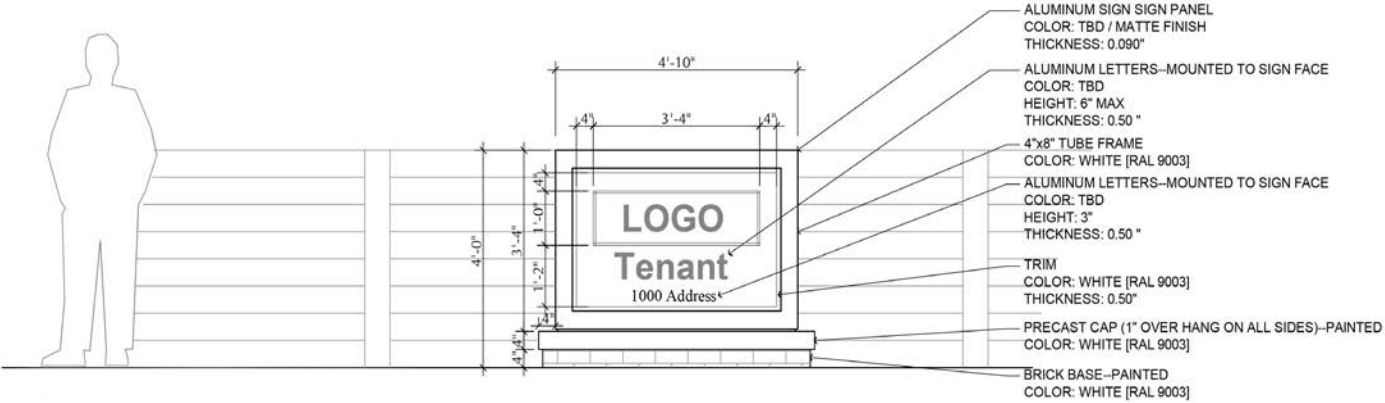
- Sign shall be parallel with road and in line with white rail fence and end of bridge wall.
- If multiple tenants are to be listed, tenants should be included on one sign.
- Refer to Figure 18 exhibits for sign details (materials, sizing, placement).
- In the case of a tenant needing to remain unlisted, an address only sign may be approved to be placed along the fence - as illustrated on the following page.
- Additional internal signage, not seen from the exterior of the site, is permitted by right. The quantity and size of these signs shall be determined by the developer.



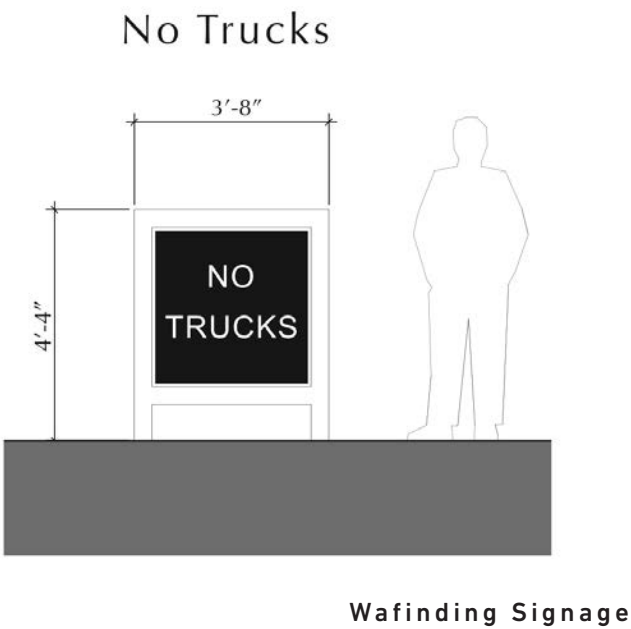
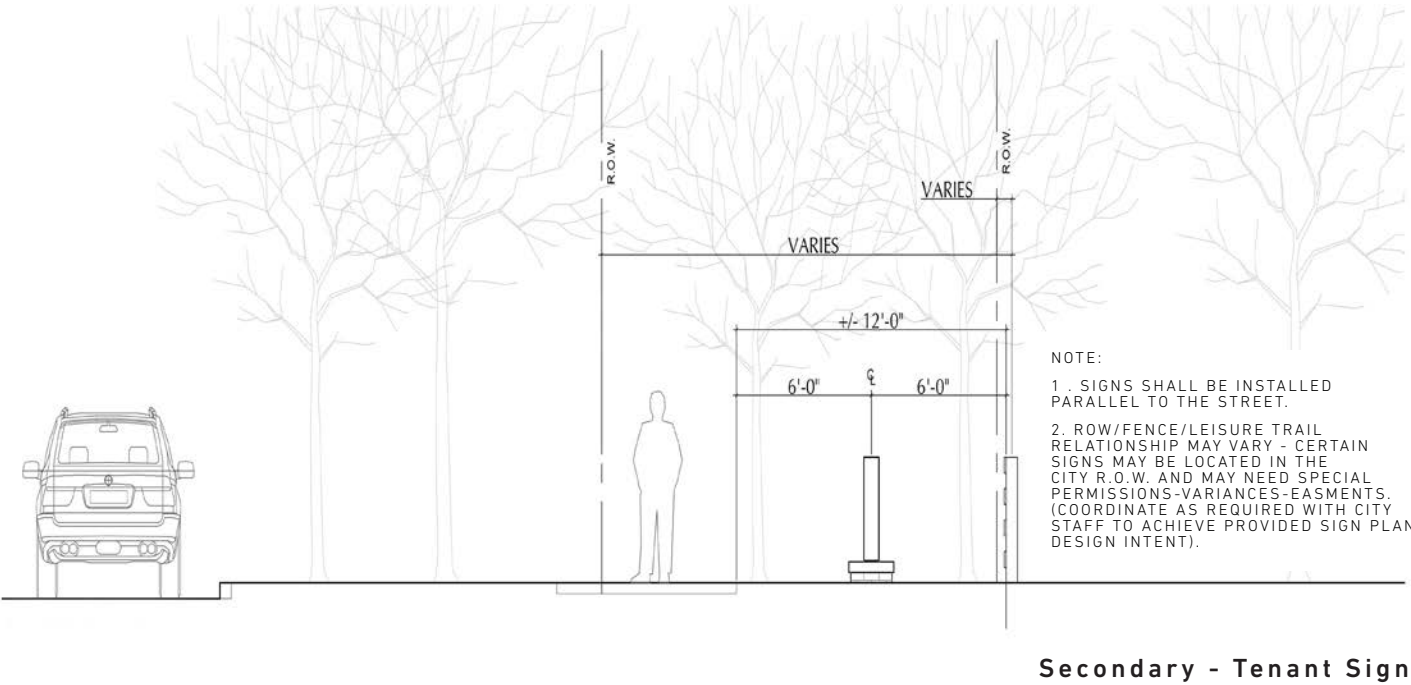
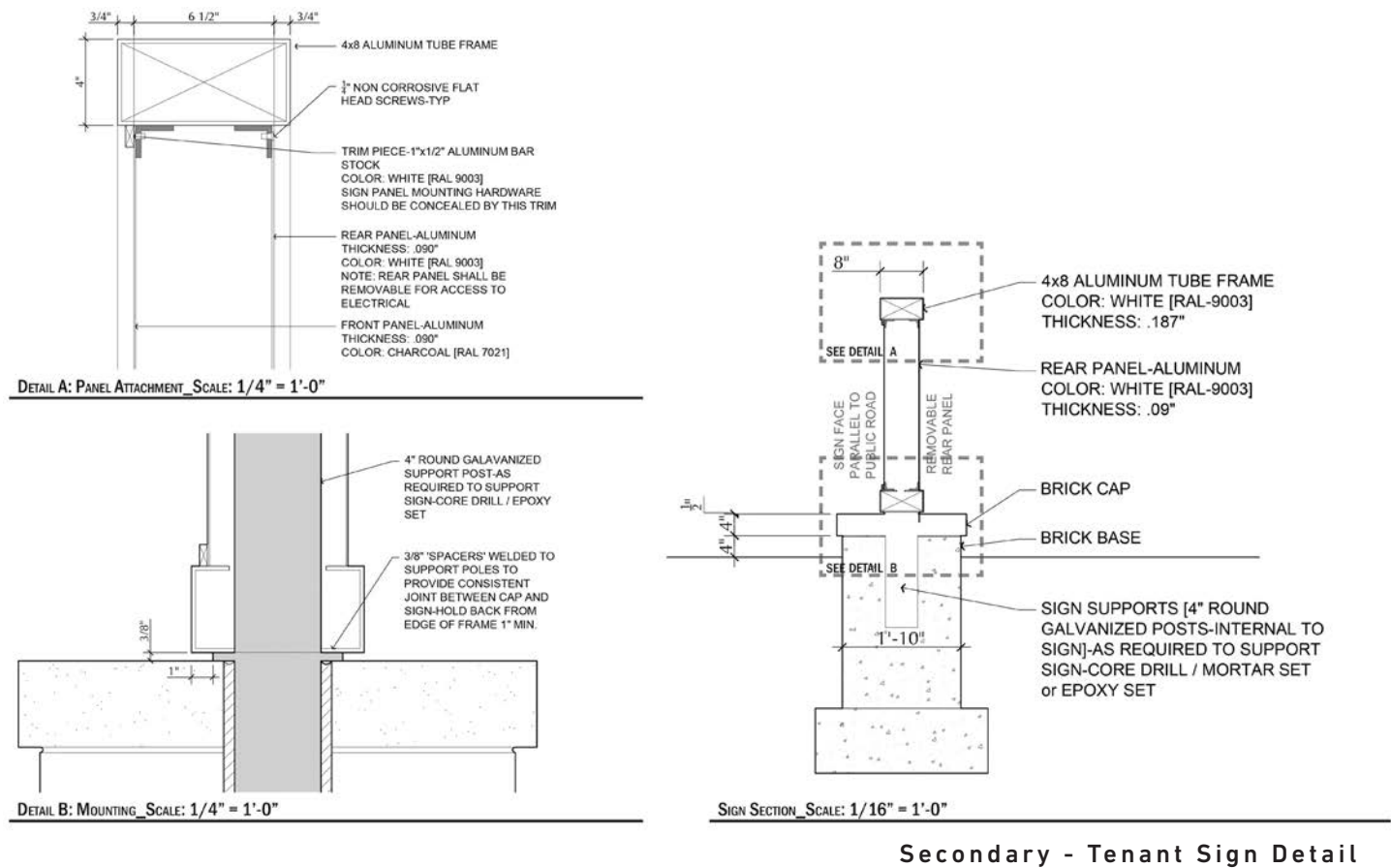
Secondary - Single Tenant Sign



Secondary - Multi-Tenant Sign



Secondary - Single Tenant Sign

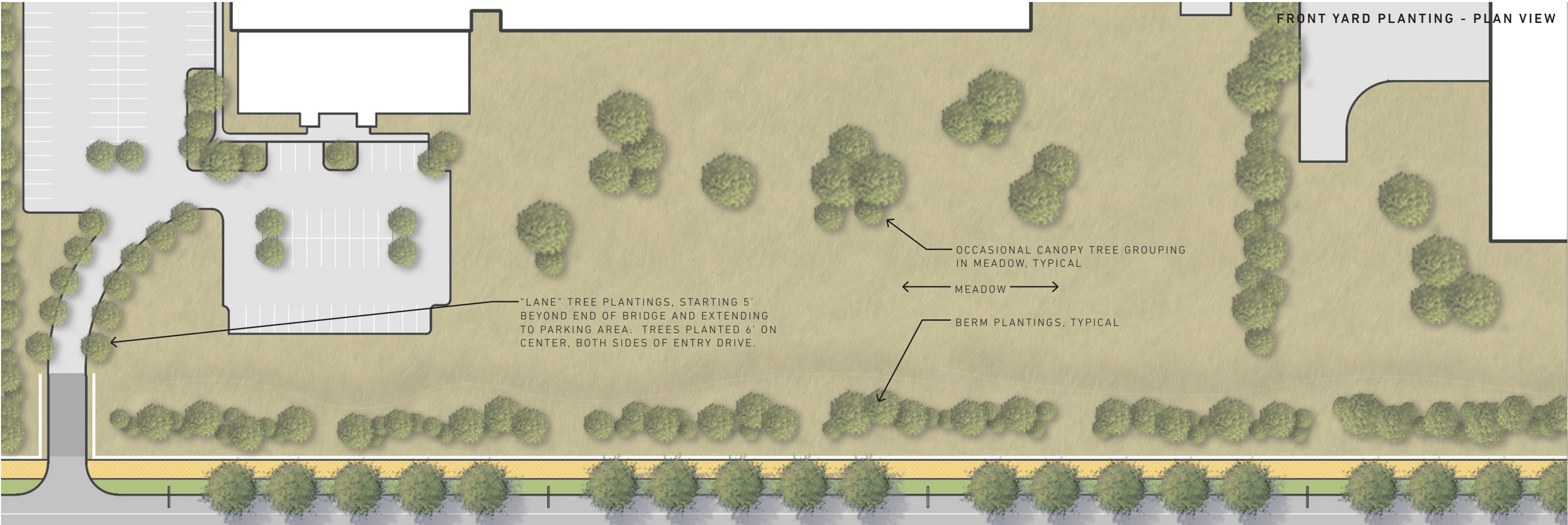
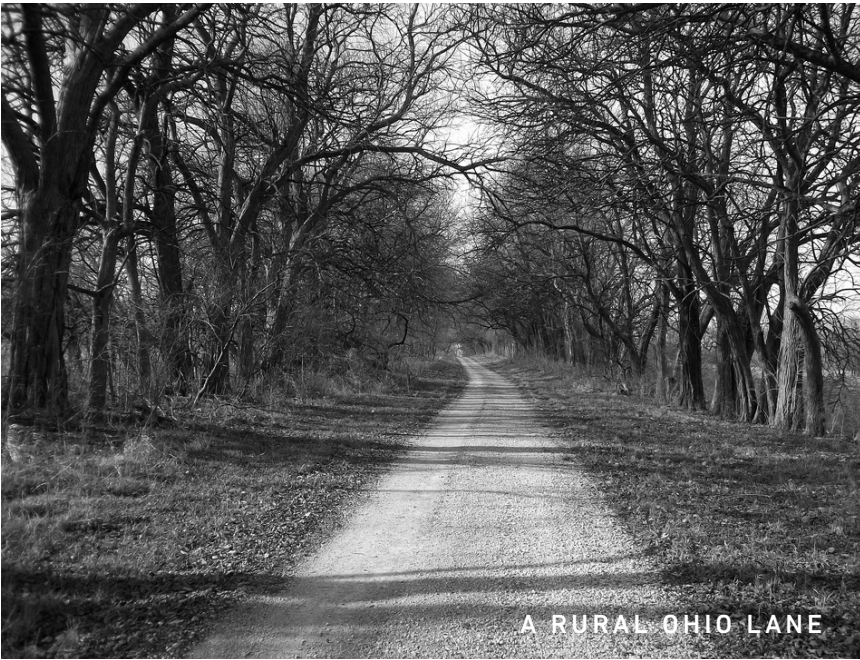


Wayfinding Signage Materials:

- Frame: 4" Steel Tube
- Frame Color: Powder-Coated White [RAL 9003]
- Sign Panel: 36" x 36" Aluminum Sign Panel
- Sign Color: Charcoal [RAL 7021]
- Company Name: 5" White Letters, Font: TBD by Company
- Address: 2.5" White Numbers, Font: New Baskerville
- Street Name: 2.5" White Letters, Font: New Baskerville

FIGURE 15
DEVELOPMENT SITE - FRONT YARD
PLANTING

- Refer to Berm Planting where parking areas abut the back of road berm.
- All front yard plantings shall be meadow and the occasional canopy tree grouping.
- Species diversity: At least 5 species shall be used throughout front yard plantings. No quantity of any given species shall comprise more than 40% of the overall quantity of trees in the front yard plantings.
- Installation sizes: trees are to be planted in a variety of sizes, ranging from 1" to 2" caliper trees. No more than 60% of trees can be 1" caliper.
- Tree spacing: tree species and sizes are to be randomly spaced in a groups of 3 to 6 trees, and spaced between 12' and 18' apart within groupings. Distribution of groupings shall be as generally shown on the overall plan.
- Lane tree plantings shall be planted 6' on center, consistently offset 8' from the end of the entry drive.
- Tree species list: refer to Figure 18.



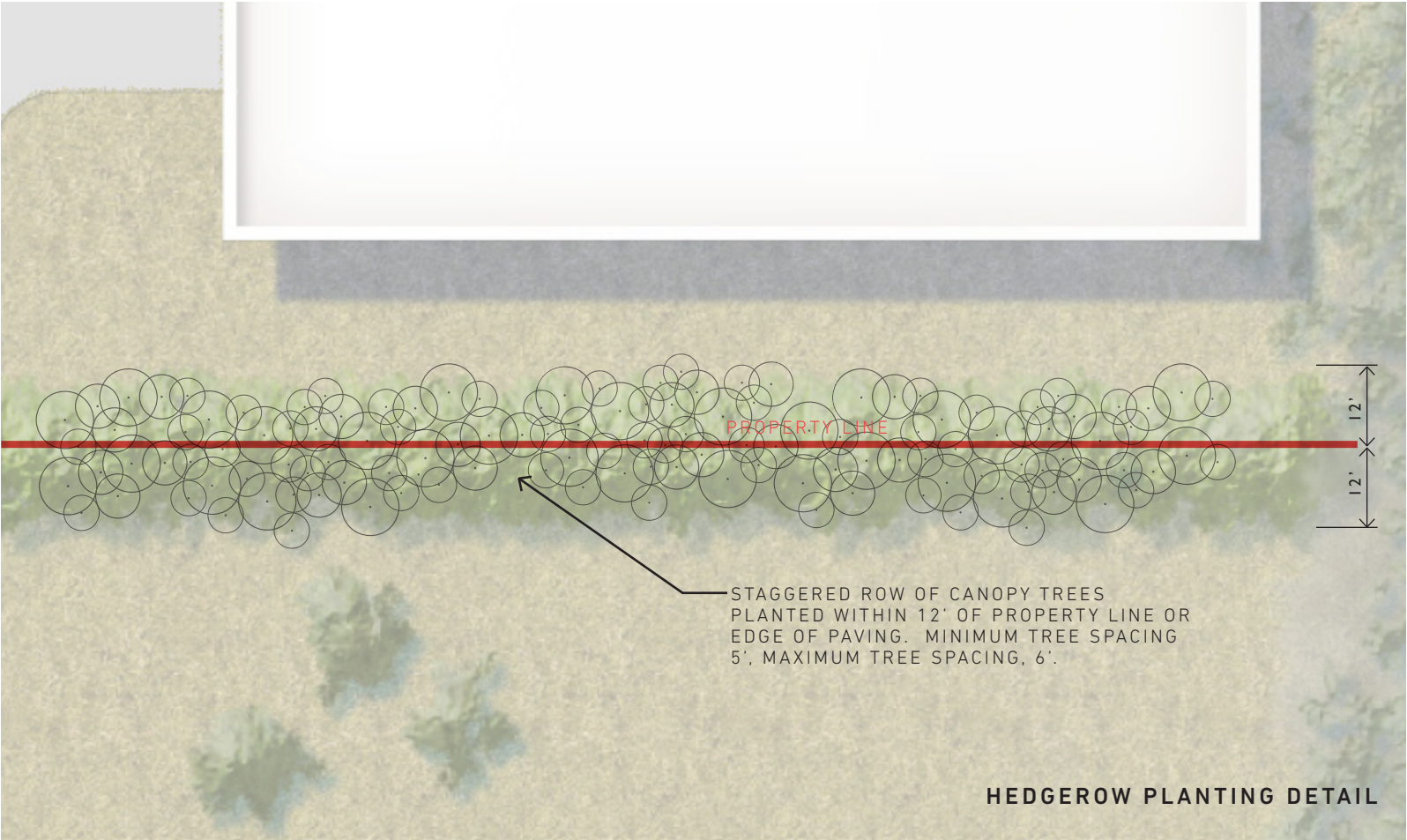
DEVELOPMENT SITE - FRONT YARD PLANTING

FIGURE 16
DEVELOPMENT SITE - HEDGEROW
PLANTING

The following standards apply to Primary Development Sites.

- “Hedgerows” shall be planted between properties.
- Hedgerows shall consist of large deciduous shade and understory trees. Plant material shall be tightly spaced and comparable to the existing mature agricultural hedgerows surrounding the district.
- To either side of the property line, a 12’ wide area shall be planted with native trees as a hedgerow.
- Where hedgerows are planted in swales, begin hedgerow plantings 3’ upslope from the bottom of the swale.
- Species diversity: At least 5 species shall be used. No quantity of any given species shall comprise more than 40% of the overall quantity of trees in the hedgerow.
- Installation sizes: trees are to be planted in a variety of sizes, ranging from 3-year seedlings to 1” caliper trees. No more than 60% of trees can be seedlings. At least 20% of trees shall be 1” caliper.
- All installed plant material will require tree protection until the plant material reaches 3” caliper for single stem trees and 6’ height for understory and/or multistem trees. Tree protection fence should be a neutral color and a minimum 3’ in height.
- Hedgerow tree spacing: tree species and sizes are to be randomly spaced in a staggered pattern between 5’ and 6’ on-center.
- At power line easement, tree species shall be selected to not exceed 30’ height.
- Interior side yards should be meadow with random massings of large deciduous shade trees. Random massings should consist of 3-7 trees and installed at a minimum 3” caliper.
- Tree species list: refer to Figure 18.

FIGURE 16



DEVELOPMENT SITE - SIDE YARD PLANTING

FIGURE 17A
PRIMARY DEVELOPMENT SITE -
PARKING LOT PLANTING

- Parking lot islands shall be planted with native canopy trees and meadow mix.
- Every ten parking spaces shall be separated by one tree island.
- Species diversity: At least 4 species shall be used per parking lot. No quantity of any given species shall comprise more than 50% of the overall quantity of trees in parking areas.
- Installation sizes: trees are to be planted as 3" caliper trees.
- Vehicular parking lots shall be screened from public streets by a 3.5' minimum height evergreen hedge or similar landscaping, wall, mound or combination thereof. Landscaping shall be planted at least 2' in average height when planted and shall conform to the height requirements within 4 years after planting.
- Tree species list: refer to Figure 18.

FIGURE 17B
FLAGSHIP DEVELOPMENT SITE -
PARKING LOT PLANTING

- Parking lot islands shall be planted with native canopy trees and meadow mix.
- To retain tree planting standards, but reduce the footprint of parking on the Flagship Site, the following standard should be met. For every twenty parking spaces one tree shall be planted on site. 50% of these required trees shall be planted in a tree island within the parking lot, spaced one island ever twenty spaces (one tree per island). The remaining 50% shall be planted around the edges of the site (not within the public ROW).
- Species diversity: At least 4 species shall be used per parking lot. No quantity of any given species shall comprise more than 50% of the overall quantity of trees in parking areas.
- Installation sizes: trees are to be planted as 3" caliper trees.
- Vehicular parking lots shall be screened from public streets by a 3.5' minimum height evergreen hedge or similar landscaping, wall, mound or combination thereof. Landscaping shall be planted at least 2' in average height when planted and shall conform to the height requirements within 4 years after planting.
- Tree species list: refer to Figure 18.
- The minimum number of parking spaces provided can be phased and determined by the developer.

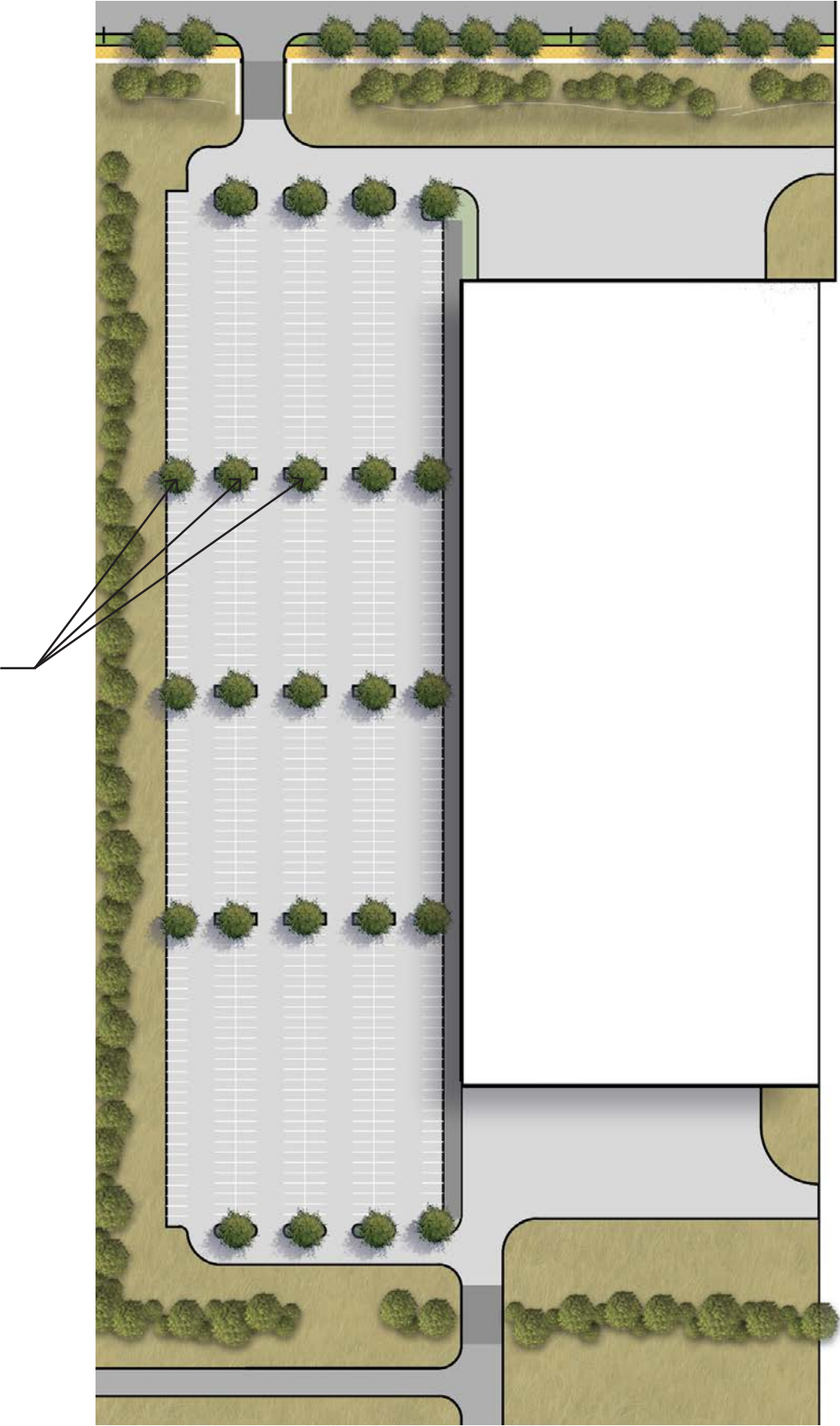
FIGURE 17A
TREES AT PARKING AREAS

MEADOW AND CANOPY
TREES PLANTED IN 9' WIDE
ISLANDS. MINIMUM ONE
ISLAND SEPARATING EVERY 10
PARKING SPACES.



FIGURE 17B
TREES AT PARKING AREAS

MEADOW AND CANOPY
TREES PLANTED IN 9' WIDE
ISLANDS. MINIMUM ONE
ISLAND SEPARATING EVERY
20 PARKING SPACES. THE
REMAINING REQUIRED TREES
SHALL BE PLANTED AROUND
THE EDGES OF THE SITE (NOT
WITHIN THE PUBLIC ROW).



DEVELOPMENT SITE - PARKING LOT PLANTING

FIGURE 18
DEVELOPMENT SITE - PLANTING
GUIDELINES

- Street Trees
- Swale/Berm Plantings
 - Trees
 - Woody Shrubs
 - Meadow Mix
 - Maintained Turf Mix
- Detention Pond Plantings
 - Trees
 - Woody Shrubs
 - Wetland Mix
 - Meadow Mix
- Front Yard / Side Yard Plantings
 - Trees
 - Meadow Mix
 - Maintained Turf Mix
- Hedgerow and Side Yard Plantings
- Parking Lot Trees

Street Trees

- North Leg (dominant): Quercus coccinea - scarlet oak
- North Leg (secondary): Celtis occidentalis - hackberry
- East Leg (dominant): Celtis occidentalis - hackberry
- East Leg (secondary): Quercus bicolor - swamp white oak
- South Leg (dominant): Quercus rubrum - red oak
- South Leg (secondary): Celtis occidentalis - hackberry

Swale/Berm Plantings

- Trees
 - Acer nigrum - black maple
 - Acer saccharum - sugar maple
 - Aesculus flava - yellow buckeye
 - Asimina triloba - common pawpaw
 - Betula lutea - yellow birch
 - Carya ovata - shagbark hickory
 - Celtis occidentalis - hackberry
 - Gleditsia triacanthos var. inermis - thornless honeylocust
 - Juglans nigra - black walnut
 - Liquidambar styraciflua - sweetgum
 - Prunus serotina - wild black cherry
 - Quercus alba - white oak
 - Quercus bicolor - swamp white oak
 - Quercus coccinea - scarlet oak
 - Quercus rubrum - red oak
 - Robinia pseudoacacia - black locust
 - American linden - basswood
- Woody Shrubs
 - Aronia melanocarpa - black chokeberry
 - Comptonia peregrina - sweetfern
 - Diervilla lonicera - dwarf bush-honeysuckle
 - Rhus aromatica - fragrant sumac
 - Rubus odoratus - flowering raspberry
 - Rhus typhina - staghorn sumac
 - Spiraea tomentosa - steeplebush
 - Symphoricarpos albus - common snowberry
 - Vaccinium angustifolium - lowbush blueberry
- Meadow: See Meadow Mix, this sheet.
- Maintained Turf: See Maintained Turf Mix, this sheet.

Swale/Berm Plantings_Alternates

- Trees
 - Quercus sp.
 - Acer sp.
 - Aesculus sp.
 - Fagus sp.
 - Betual sp.
 - Ulmus americana
 - Gleditisia sp.
 - Gymnocladus sp.
 - Pinus Strobus
 - Pinus Nigra
 - Picea Abies
 - Picea Omorika
 - Juniperus Virginiana

Detention Pond Plantings

- Trees
 - Acer rubrum - red maple
 - Asimina triloba - common pawpaw
 - Betula nigra - river birch
 - Gymnocladus dioicus - kentucky coffeetree
 - Juglans nigra - black walnut
 - Liriodendron tulipifera - tuliptree
 - Nyssa sylvatica - black gum
 - Platanus occidentalis - sycamore
 - Populus deltoides - eastern cottonwood
 - Quercus bicolor - swamp white oak
 - Salix discolor - pussy willow
 - Taxodium distichum - bald cypress
- Woody Shrubs
 - Cephalanthus occidentalis - buttonbush
 - Clethra alnifolia - sweet pepperbush
 - Cornus sericea - redosier dogwood
 - Hamamelis virginiana - common witchhazel
 - Ilex verticillata - common winterberry
 - Myrica pensylvanica - northern bayberry
 - Potentilla fruticosa - bush cinquefoil
 - Vaccinium corymbosum - highbush blueberry
- Wetland Shelf - plant list to be developed in consultation with wetland ecologist.
- Meadow: See Meadow Mix, this sheet.

Parking Lot Trees

- Trees
 - Acer nigrum - black maple
 - Acer saccharum - sugar maple
 - Celtis occidentalis - hackberry
 - Gleditsia triacanthos var. inermis - thornless honeylocust
 - Liriodendron tulipifera - tuliptree
 - Platanus occidentalis - sycamore
 - Quercus bicolor - swamp white oak
 - Quercus coccinea - scarlet oak
 - Quercus rubrum - red oak
- Meadow: See Meadow Mix, this sheet.

Front Yard Plantings

- Meadow Trees
 - Aesculus flava - yellow buckeye
 - Fagus grandifolia - american beech
 - Quercus alba - white oak
 - Quercus macrocarpa - bur oak
 - Quercus muehlenbergii - chinkapin oak
 - Robinia pseudoacacia - black locust
 - Platanus occidentalis - sycamore
- Lane Trees
 - Ostrya virginiana - american hophorn-beam
- Meadow: See Meadow Mix, this sheet.
- Maintained Turf: See Maintained Turf Mix, this sheet.

Hedgerow and Side Yard Plantings

- Trees
 - Acer nigrum - black maple
 - Acer saccharum - sugar maple
 - Betula lenta - sweet birch
 - Carya ovata - shagbark hickory
 - Juglans nigra - black walnut
 - Prunus serotina - wild black cherry
 - Quercus alba - white oak
 - Quercus bicolor - swamp white oak
 - Quercus coccinea - scarlet oak
 - Quercus palustris - pin oak
 - Quercus rubrum - red oak
- Trees at AEP easements
 - Amelanchier laevis - allegheny serviceberry
 - Carpinus caroliniana - american hornbeam
 - Crateagus crugalli - cockspur hawthorn
 - Crataegus phaenopyrum - washington hawthorn
 - Oxydendrum arboreum - sourwood (or sorrel tree)
- Meadow: See Meadow Mix, this sheet.
- Maintained Turf: See Maintained Turf Mix, this sheet.

Meadow Mix

- Meadow Mix shall be:
 - 20% Aruba or Audubon red fescue
 - 20% J5 chewings fescue
 - 20% Ecostar hard fescue
 - 20% Marco Polo sheeps fescue
 - 20% annual ryegrassApplication rate shall be 225 lbs per acre.
- Plant seed with “Brillion” type landscape seeding machine that accurately places seed at specified depth and rate and rolls in single operation. Plant seed no deeper than ½ inch. Hydroseeding of meadows is not permitted.
- Plant seed with slit seeder in areas that have been previously graded and seeded with annual ryegrass for erosion control. Plant seed no deeper than ½ inch.
- Apply fertilizer at time of seeding and 30 days after seeding. Use starter fertilizer, 1-2-1, that will provide actual phosphorus of at least 1.5 lbs./1000 sq. ft.
- Maintain meadow no less than 12 months after planting.
- Mow meadow as soon as top growth is tall enough to cut. Repeat mowing to maintain specified height without cutting more than 1/3 of grass height. Remove no more than 1/3 of grass-leaf growth in initial or subsequent mowings. Do not delay mowing until grass blades bend over and become matted. Do not mow when grass is wet. Schedule initial and subsequent mowings to maintain a height of 3 1/2 to 4 inches. Do not mow after 12 months from planting completion.
- Apply 2 applications of a broad spectrum, 3-way selective herbicide to meadow within 12 month after planting. Schedule first application no earlier than 6 months after planting.

Maintained Turf Mix

- Turf Mix shall be:
 - 80% 2 of 3 Tall Fescue
 - 10% Kentucky Blue Grass
 - 10% Perennial RyegrassApplication rate shall be 225 lbs per acre.

General Planting Guidelines

- Trees
 - Trees over 2” shall be nursery tagged by a landscape architect. Trees under 2” shall be visually inspected with representative photographs by a landscape architect.
 - Areas of trees (not individual trees) to be planted along the road and detention ponds shall be staked for approval by a landscape architect.
 - Width of tree planting hole for trees shall be 3 times the diameter of the rootball. Bottom and sides of tree hole shall be loosened prior to planting.
 - Depth of tree planting hole shall be 1.5 times the depth of the rootball, minimum. Container grown or balled and burlapped trees shall be planted on a compacted mound of #57 stone.
 - Trunks of trees under 1” in caliper in size shall be protected with plastic wrap for a period of one year.
 - Seedlings/whips may be planted as bare root stock.
 - All sizes and grades of plant material shall be in accordance with the American Standard for Nursery Stock (latest edition), published by the American Nursery and Landscape Association standards.
- Woody Shrubs
 - Representative photos of woody shrubs shall be approved by a landscape architect.
 - Woody shrub beds shall be staked for approval by a landscape architect.
 - Shrub beds shall be a continuous excavation to the depth of the deepest rootball in the shrub bed. Bottom and sides of shrub bed excavation shall be loosened prior to planting.
 - All sizes and grades of plant material shall be in accordance with the American Standard for Nursery Stock (latest edition), published by the American Nursery and Landscape Association standards.
- Wetland Mix and Meadow Mix
 - Mixes shall be pre-packaged at the specfied species percentages and applied at rates consistent with the seed supplier's recommendations.
 - Bed preparation shall be in accordance with seed supplier's recommendations.
- Planting Soils
 - Planting soils shall be a mix of three components: topsoil, organic amendment, and sand.
 - Topsoil: central Ohio topsoil with a USDA texture classification of clay loam or loam and a pH of 5.5 to 7.0.
 - Organic Amendment: composted yard debris (green waste) compost with a pH of 7.2 to 8.0
 - Sand: ASTM C33 concrete sand.
 - The three components shall be blended into a the following ratio: 4 parts sand, 2 parts topsoil, 1 part compost.

FIGURE 19
DEVELOPMENT SITE - MAINTENANCE

- Trees
- Shrubs
- Meadow
- Turf

<p>Trees</p> <ul style="list-style-type: none">January: Check trunks for rodent damage. Treat appropriately if damage is present. Selectively hand prune limbs to repair, remove damaged limbs, or to 'limb-up' canopy (provided temps are >32 degrees). Do not prune evergreen trees unless necessary for damage repair. Use dormant oils for pest management as required for insect control provided temps remain >32 degrees for 24 hours or more.February: If there's evidence of an insect infestation, dormant horticultural oils are effective as a dormant application – temperatures must be >32 for 24 hours after application to be effective.March: Selectively hand prune limbs to repair, remove damaged limbs, or to 'limb-up' canopy (provided temps are >32 degrees). Do not prune evergreen trees unless necessary for damage repair. Install any new container grown or B&B trees.April: Inspect for potential pest problems at 2 week intervals – document all findings. Remove any/all dead or damaged branches or limbs. Install any new container grown or B&B trees. Closely monitor newly planted trees to ensure root ball has the proper moisture content. Apply mulch tree rings to trees in plant beds and turf areas. Provide 2"-3" depth throughout entire tree ring. Pull mulch 2" away from trunk to prevent mold and rotting.May: Weed mulch tree rings as required. Continue bi-monthly inspections for pest/disease problems. Closely monitor newly planted trees to ensure root ball has the proper moisture content.June/July: Irrigate trees if needed in the early morning hours to prevent evapotranspiration. Trim/remove unwanted limbs from trees as required. Monitor for weed / insect / and disease problems – control as needed. Use pheromone traps to help determine insect problems. Closely monitor newly planted trees to ensure root ball has the proper moisture content. Provide 1" water per week (supplement natural rainfall with irrigation as needed).August: Maintain 2-3" depth mulch tree rings for trees in plant beds and turf areas. Pull mulch 2" away from trunk to prevent mold and rotting. Weed mulch tree rings as required.September: Pesticide application is not recommended at this time unless for heavy infestations. Plan for container grown shade trees and evergreens that can be planted in the fall (Oct./Nov.).October: Fertilize using a granular fertilizer with slow release nitrogen – a 4:1:2 ratio is appropriate – Broadcast over entire root zone / dripline (if root zone includes turf do not exceed 2lbs of nitrogen / 1000 sf).November: Monitor for weed / insect / and disease problems – control as needed. Remove any diseased / damaged / or dead branches. If there's evidence of an insect infestation, dormant horticultural oils are effective as a dormant application – temperatures must be >32 for 24 hours after application to be effective. Renew mulch tree rings - provide 3" depth for trees in plant beds and turf areas. Pull mulch 2" away from trunk.	<ul style="list-style-type: none">December: Monitor for signs of pest problems and desiccation from winter winds. Plants that routinely show dissection may be treated with an application of wilt proof to reduce damage. More than one treatment is detrimental. Plants with reoccurring problems should be removed.	<p>Meadow</p> <ul style="list-style-type: none">April (late): Apply 3-way selective herbicide to control weed populations - Do not apply pre-emergence to areas that need overseeded. Overseeding can take place in April for severe bare areas at rate of 4 lbs / 1000sf - slice seed or seed-a-vator method. (Note: Fall overseed is preferred)May: Mow at 4" height (Single Mow).June - September: No mowing to occurSeptember: Fertilize with 1-1-1 ratio NPK at 1.0 lb actual per 1000 sf. - Apply with broadcast spreader.Oct (early): Mow at 4" height (Single Mow). Overseed thin areas at rate of 4 lbs / 1000sf - slice seed or seed-a-vator methodNovember (late): Fertilize with 1-1-1 ratio NPK at 1.0 lb actual per 1000 sf. - Apply with broadcast spreader.Note: The fine fescue blend that is utilized in the meadow portions of the PC&B campus is designed to be maintained with low fertility and two mowings per year. Fine fescues struggle during hot and dry periods when maintained at traditional lawn heights (+/- 3").	<p>the top 1/4" to remain moist – a thin layer of hydro mulch will help to keep soil from drying out. New sod should be kept moist for 4-5 weeks or until firmly rooted.</p> <ul style="list-style-type: none">July: Maintain turf at 3" height by mowing as needed-removing not more than 1/3 of the blade length in a single mowing. Frequency may decrease during this time due to heat stress. Treat disease with appropriate fungicide if damage is extensive.August: Maintain turf at 3" height by mowing as needed-removing not more than 1/3 of the blade length in a single mowing. Frequency may decrease during this time due to heat stress. Treat disease with appropriate fungicide if damage is extensive. Core aerate prior to fertilization / lawn renovations. Monitor turf for insect and disease problems – Grubs are typical during this month. Cut section of lawn and examine roots for young grubs. Treatment is necessary at populations of 4 grubs / sf.September: Summer Fertilization: Labor Day; fertilize at 1 lb nitrogen / 1000 sf. or as required by soil analysis. Maintain turf at 3" height by mowing as needed-removing not more than 1/3 of the blade length in a single mowing. Frequency may decrease during this time due to heat stress. Treat disease with appropriate fungicide if damage is extensive. Over-seed all bare areas – Rake bare soil and amend with three cubic yards of finely screened compost / 1000 sf. Broadcast seed and hand rake into top 1/4" topsoil. Monitor turf for broadleaf weeds (ground ivy, plantain, dandelion, etc.) and apply treatments as needed.October: Maintain turf at 3" height by mowing as needed-removing not more than 1/3 of the blade length in a single mowing.Treat disease with appropriate fungicide if damage is extensive. Continue monitoring turf for broadleaf weeds (ground ivy, plantain, dandelion, etc.) and apply treatments as needed. Fall Fertilization: Late October; fertilize at 1 lb nitrogen / 1000 sf. or as required by soil analysis.November: Remove fall leaves from turf to prevent damage. Reduce mower cutting height to 1 ½" for last cut of the season – to reduce chance of snow mold and winter burn. Apply spot applications of broadleaf herbicides as required.December: Complete any leaf removal to prevent damage to turf.
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FIGURE 20
FLAGSHIP ARCHITECTURAL
STANDARDS

- Buildings shall be required to employ a comparable use of materials on all elevations
- Accessory or ancillary buildings, whether attached or detached, shall be of similar design, materials and construction as the nearest primary structure, if they are visible from a public street right-of-way. Fenestration themes that employ windows, panels and piers that are consistent with the architectural vocabulary of the building are encouraged.
- All building elevations shall be designed to be compatible with each other and to reflect a consistent design approach.
- Buildings and structure shall be designed to be harmonious in character to other buildings and structures within the same Flagship project or Primary Project, as applicable. Façade colors shall be coordinated to complement each other.
- Architectural design for all portions of a building or structure that are visible from a public right-of-way (excluding public rights-of-way whose primary purpose is to accommodate truck traffic or service loading areas) shall meet the community standard in terms of quality while taking into account the unique nature of the use(s) that will be found therein.
- Landscaping and/or the use of existing vegetation shall be utilized where appropriate to enhance the aesthetics of the building and to lessen its visual impact when viewed from public rights-of-way.

