



New Albany Architectural Review Board Agenda (Amended)
Monday, January 10, 2022 7:00pm

Members of the public must attend the meeting in-person to participate and provide comment at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via Zoom Webinar. There is no public participation via the Zoom Webinar.

<https://us02web.zoom.us/j/86274485344>

Or dial in using your phone: 646-558-8656

Access Code/Webinar ID: 862-7448-5344

I. Call To Order

II. Roll Call

III. Action of Minutes: December 13, 2021

IV. Additions or Corrections to Agenda

Swear in All Witnesses/Applicants/Staff whom plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth".

V. Hearing of Visitors for Items Not on Tonight's Agenda

VII. Cases:

ARB-134-2021 Certificate of Appropriateness

Certificate of Appropriateness to add new windows at 3 North High Street (PID: 222-000010-00).

Applicant: Maletz Architects, Inc.

ARB-135-2021 Certificate of Appropriateness

Certificate of Appropriateness to extend and enlarge the front porch, reconstruct a portion of the building and the removal and relocation of window and doors at 24 E Main Street (PID: 222-000043-00).

Applicant: Maletz Architects, Inc.

ARB-136-2021 Certificate of Appropriateness & Waivers

Certificate of Appropriateness for the construction of a new multi-unit building generally located north of Main Street and south of Keswick Drive and McDonald Lane (PID: 222-000043-00). Waivers have been requested to the following Urban Center Code development standards:

- Waiver to UCC Section 2.69 to allow the Main Street lot width to be 220+/- feet where code allows a maximum of 200 feet.
- Waiver to UCC Section 2.69(c) to allow the rear yard setback to be 7.5+/- feet where code requires a minimum 15-foot setback.
- Waiver to UCC Section 2.71.2 to allow 17 parking spaces to be provided on site where code allows a maximum of 12.

Applicant: Richmond Main Investments, LLC

VIII. Other Business

IX. Poll members for comment

X. Adjournment



**New Albany Architectural Review Board
December 13, 2021 DRAFT Minutes**

New Albany Architectural Review Board met in regular session in the Council Chambers at Village Hall, 99 W Main Street and was called to order by Architectural Review Board Chair Mr. Alan Hinson at 7:00 p.m.

Those answering roll call:

Mr. Alan Hinson, Chair	Present
Mr. Francis Strahler	Present
Mr. Jonathan Iten	Present
Mr. Jim Brown	Present
Mr. E.J. Thomas	Present
Mr. Andrew Maletz	Present
Ms. Traci Moore	Present
Mr. Michael Durik	Present

Staff members present: Mr. Chris Christian, Planner; and Josie Taylor, Clerk.

Mr. Durik swore Ms. Moore in as a new member of the Architectural Review Board (hereafter, "ARB").

Mr. Hinson asked if there were any additions or corrections to the Agenda.

Mr. Christian stated none from staff.

Mr. Hinson asked if anyone wanted to discuss items not on tonight's Agenda. (No response).

Moved by Mr. Iten to approve the November 8, 2021 meeting minutes as amended by Mr. Iten's written and verbal comments, seconded by Mr. Brown. Upon roll call: Mr. Iten, yea; Mr. Brown, yea; Mr. Thomas, yea; Mr. Maletz, yea; Ms. Moore, yea; Mr. Strahler, yea; Mr. Hinson, yea. Yea, 7; Nay, 0; Abstain, 0. Motion passed by a 7-0 vote.

Mr. Hinson swore Mr. Sean Alley to tell the truth and nothing but the truth.

Mr. Alley stated yes.

ARB-119-2021 Certificate of Appropriateness

Certificate of Appropriateness for a new wall sign for Hardgrove Law at 15W. Main Street (PID: 222-000081).

Applicant: ProSign Studio c/o Sean Allen

Mr. Christian presented the staff report.

Mr. Hinson asked the applicant to provide comments and noted that he had one question.

Mr. Sean Alley, applicant, stated sure.

Mr. Hinson noted that the sign would be large on the side of the building and asked if a sculpted white edge could be put around it to accent the perimeter.

Mr. Alley asked if he was suggesting a white border around it.

Mr. Hinson stated yes.

Mr. Maletz stated the white edge should be more in line with those used on surrounding signs.

Mr. Alley asked if the white border should be on the outside or inset a little bit.

Mr. Iten asked what staff's recommendation would be.

Mr. Christian stated they had seen it done both ways.

Mr. Hinson stated it was a rounded edge, sculpted corner.

Mr. Maletz stated it should be the outside edge.

Moved by Mr. Thomas to approve the certificate of appropriateness for ARB-119-2021 with the revisions discussed regarding the addition of a sculpted, white edge on the outside border, seconded by Mr. Hinson. Upon roll call vote: Mr. Thomas, yea; Mr. Hinson, yea; Mr. Strahler, yea; Mr. Iten, yea; Mr. Brown, yea; Mr. Maletz, yea; Ms. Moore, Yea, 7; Nay, 0; Abstain, 0. Motion carried by a 7-0 vote.

Other Business

Mr. Christian provided a review of the work completed by the ARB and thanked all members of the ARB for their work this year.

Poll Members for Comment

Mr. Hinson asked ARB members for their comments.

Mr. Iten wished all happy holidays.

Mr. Maletz stated he was the architect of record on several upcoming projects that would be before the ARB in January and might not be present for those meetings.

Mr. Durik stated he would not be available for January's meeting but would ask other City Council members to sit in.

Mr. Hinson stated he too would not be available for January's meeting.

Moved by Mr. Maletz to adjourn, seconded by Mr. Hinson. Upon roll call vote: Mr. Maletz, yea; Mr. Hinson, yea; Mr. Iten, yea; Mr. Strahler, yea; Mr. Brown, yea; Mr. Thomas, yea; Ms. Moore, yea. Yea, 7; Nay, 0; Abstain, 0. Motion carried by a 7-0 vote.

Meeting adjourned at 7:14 p.m.

Submitted by Josie Taylor.

APPENDIX



Architectural Review Board Staff Report December 13, 2021

HARDGROVE ATTORNEYS AT LAW SIGN CERTIFICATE OF APPROPRIATENESS

LOCATION: 15 W Main Street (PID: 222-000081)
APPLICANT: ProSign Studio c/o Sean Alley
REQUEST: Certificate of Appropriateness
ZONING: Urban Center, Historic Core
STRATEGIC PLAN: Village Center
APPLICATION: ARB-119-2021

Review based on: Application materials received on November 12 and 22, 2021.

Staff report prepared by Chris Christian, Planner.

I. REQUEST AND BACKGROUND

The applicant requests review and approval of one wall mounted panel sign at 15 W Main Street for Hardgrove Attorneys at Law.

Per Section 1157.07(b) any major environmental change to a property located within the Village Center requires a certificate of appropriateness issued by the Architectural Review Board. In considering this request for new signage in the Village Center, the Architectural Review Board is directed to evaluate the application based on criteria in Chapter 1157 and Chapter 1169.

II. SITE DESCRIPTION & USE

The property is zoned Urban Center located within the Historic Core sub-district therefore, the city's sign code regulations apply to the site. The site contains a 756 square foot building used for commercial uses and was previously occupied by Vintage Restyled.

III. EVALUATION

A. Certificate of Appropriateness

The ARB's review is pursuant to C.O. Section 1157.06. No environmental change shall be made to any property within the City of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.07 Design Appropriateness**, the modifications to the building and site should be evaluated on these criteria:

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
 - Per the city sign code section 1169.14(a) each building or structure in the Historic Core sub-district shall be allowed three (3) sign types including, but not limited to, hanging, awning and wall signs.

Wall Sign Board

- City sign code chapter 1169.16(h) permits one wall sign per business entrance. The wall signs are permitted to be 1 square foot per linear square foot of building frontage, not to exceed 30 square feet. These wall signs are required to have a maximum of 18" projection from the building; a minimum of 1" sign relief; and, maximum lettering height of 24". External, internal, and neon lighting are permitted.
 - The applicant is proposing to install one wall sign above the entrance on the front elevation with the following dimensions:
 - a. Area: 96" x 36" = 24 square feet [meets code]
 - b. Location: One sign located above the entrance on the Main Street elevation [meets code].
 - c. Lighting: none proposed [meets code].
 - d. Relief: 1.5" [meets code].
 - e. Colors: New Albany blue sign board, tan/gold logo, and white lettering (total of three) [meets code].
 - f. Material: PVC or HDU back panel [meets code].
 - g. Lettering height: maximum height of 4.75 inches [meets code]
 - The wall sign will feature the company logo and read "Hardgrove Nicholas Attorneys at Law Wills•Trusts•Estates."
 - There is an existing single post sign along the frontage of Main Street. The applicant proposes to reface this sign with their logo and graphics. A sign reface does not constitute as a major environmental change per C.O. 1157.07 and therefore does not require ARB review and approval.
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*
 - The wall sign is an appropriate sign type for this building and site.
 3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
 - The sign is appropriately located above the building entrance and does not block any architectural features.
 4. *All buildings, structures and sites shall be recognized as products of their own time.*
 - The building is a product of its own time and as such should utilize signs appropriate to its scale and style, while considering its surroundings. The sign is 96 inches wide and the total entryway width, including the door casing, is 79 inches. Therefore, the sign will extend 8.5 inches beyond each side of the door casing but fits in between the windows on each side of the door.
 5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
 - Not Applicable.
 6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
 - Not Applicable.

7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
- It does not appear that the signs will affect the original structure, if removed or altered in the future.

IV. RECOMMENDATION

Staff recommends approval of this application provided that the ARB finds that the proposal meets sufficient basis for approval. The proposed wall sign is appropriate for the building that it is located on and is appropriately designed to match the scale of the site and building.

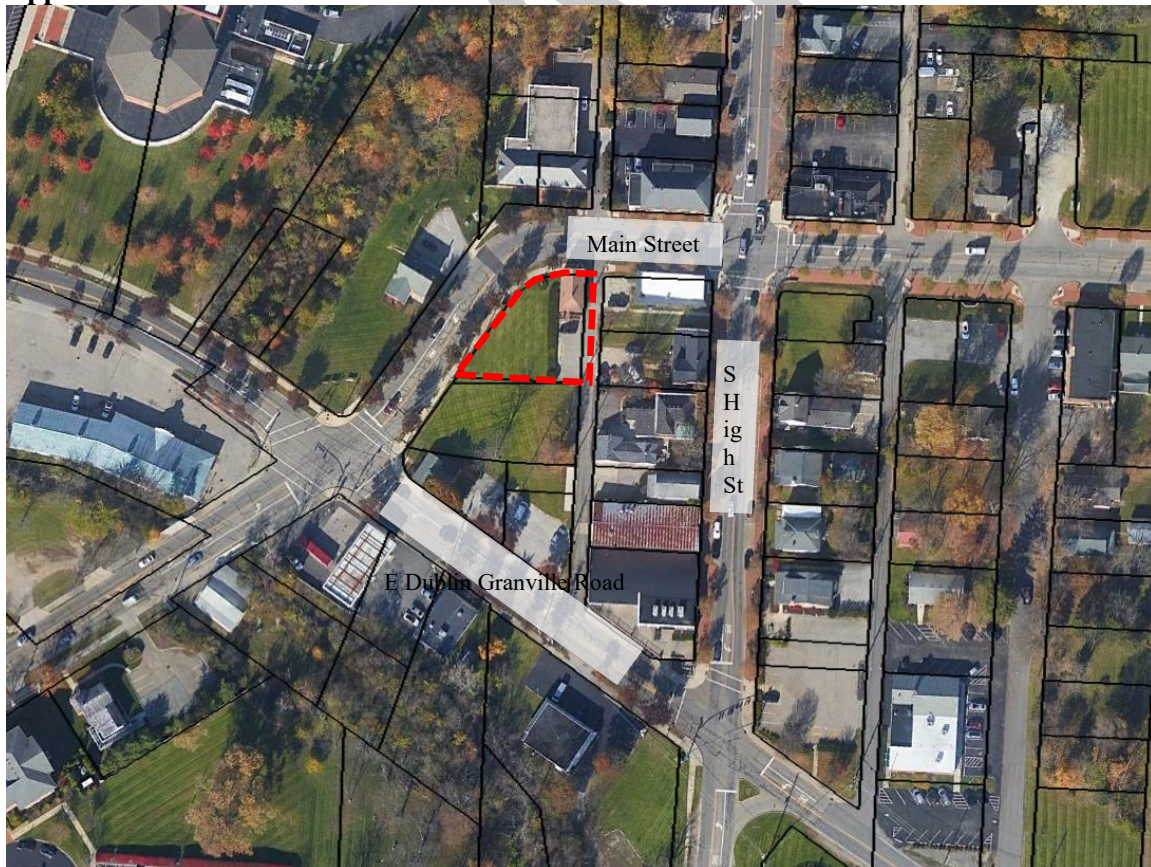
V. ACTION

Should the Architectural Review Board find sufficient basis for approval the following motions would be appropriate. Conditions of approval may be added.

Suggested Motion for ARB-119-2021:

Move to approve Certificate of Appropriateness application ARB-119-2021 (conditions of approval may be added).

Approximate Site Location:



Source: Google Earth



**Architectural Review Board Staff Report
January 10, 2022 Meeting**

**CERTIFICATE OF APPROPRIATENESS
3 NORTH HIGH**

LOCATION: 3 North High Street (PID: 222-000010-00)
APPLICANT: Maletz Architects, Inc
REQUEST: Certificate of Appropriateness
ZONING: Urban Center District within the Historic Core Sub-District
STRATEGIC PLAN: Village Center
APPLICATION: ARB-134-2021

Review based on: Application materials received on December 10, 2021.

Staff report prepared by Chris Christian, Planner.

I. REQUEST AND BACKGROUND

This certificate of appropriateness application is for the addition of four new windows on the building located at 3 North High Street. There are no proposed changes to the site, landscaping, signage or lighting.

C.O. 1157.06 states that no environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. C.O. 1157.07 states that exterior building changes that modify or reconstruct any exterior features of an existing structure, that are not considered minor changes, must be reviewed and approved by the ARB prior to the work being completed. New windows are classified as reconstruction of exterior features therefore they are subject to the review and approval of the ARB.

II. SITE DESCRIPTION & USE

The property is .11 acres in size and contains a 4,320 square foot office building that was constructed in 1920 according to the Franklin County Auditor's Office. The building is currently being remodeled to accommodate new tenants.

III. EVALUATION

The ARB's review is pursuant to C.O. Section 1157.06 (Architectural Review Overlay District). No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the building and site should be evaluated on these criteria:

Certificate of Appropriateness

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
 - Section 3 of the New Albany Design Guidelines and Requirements provides the requirements for commercial buildings inside the Village Center. Section III (II.E.7) states that when a

window design has been selected for a building, the same design must be used on all elevations.

- The applicant proposes to add 4 new windows to an existing building. Two of the windows will be located on the north, parking lot elevation of the building and two on the rear elevation that sides on to Main Street.
 - In order to meet the regulations in the Design Guideline and Requirements and match the windows used on the rest of the building, the applicant proposes to install vinyl clad, double hung windows with the same trim and finishes used on other windows. The DGRs permits the use of vinyl clad windows.
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*
 - There are no proposed changes to the existing landscape design, lighting, vehicular or pedestrian circulation or signage as part of this project.
 3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
 - The proposed windows are appropriately located on the building and will not destroy any distinguishing original qualities or character of the building.
 4. *All buildings, structures and sites shall be recognized as products of their own time.*
 - The proposed windows are of new construction and appear to be appropriately located on the building.
 5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
 - It appears that the applicant has chosen the location for the windows while being sensitive to the historic architecture of the building.
 6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
 - Not Applicable
 7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
 - It does not appear that the essential form and integrity of the original structure would be destroyed if the windows were removed from the building at a later date.

IV. RECOMMENDATION

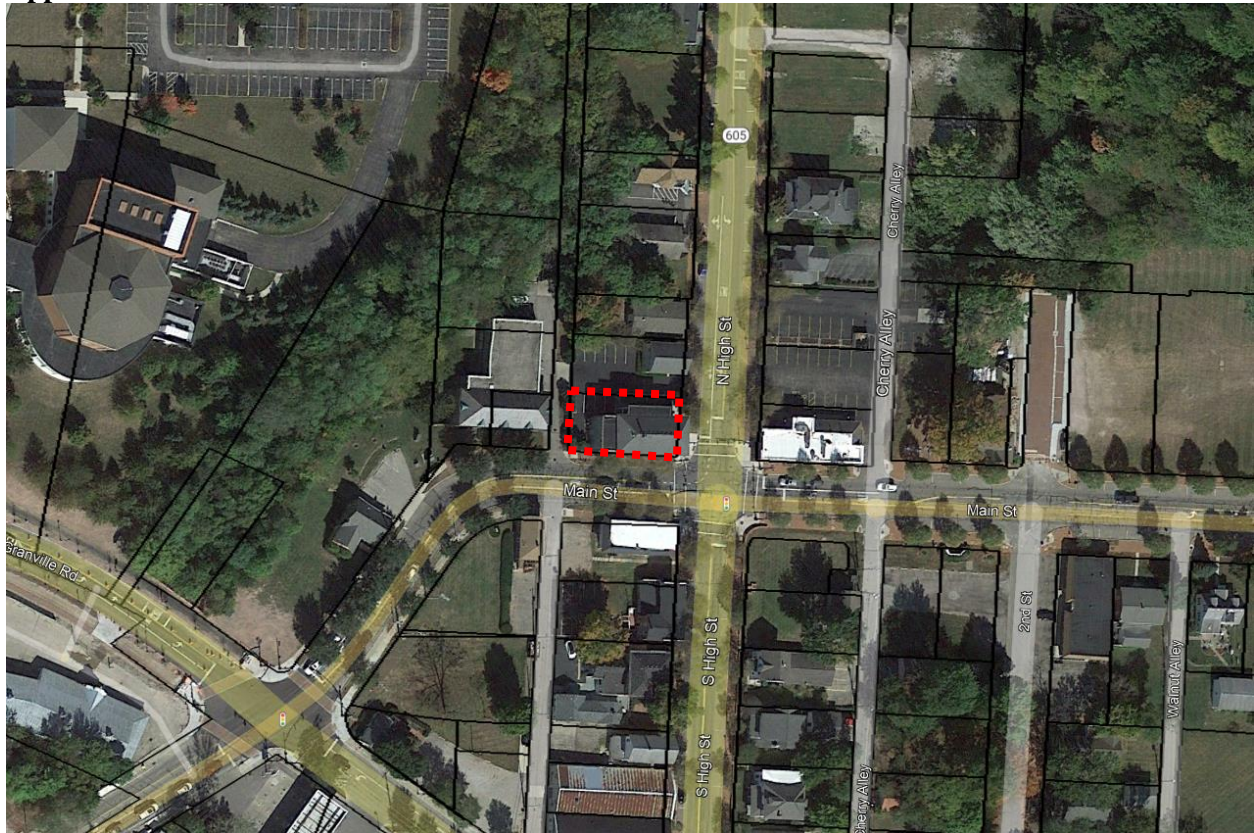
The Architectural Review Board should evaluate the overall proposal based on the requirements in the Design Guidelines and Requirements. The proposed windows match the existing windows on the building, are appropriately located and will not destroy any existing architectural features of the building which meets all of the applicable DGR requirements for commercial buildings in the Village Center.

V. ACTION

Should the ARB find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

Move to approve application ARB-134-2021 (conditions of approval may be added).

Approximate Site Location:



Source: Google Earth



Community Development Department

Planning Application

Case # _____
Board _____
Mtg. Date _____

Site Address 3 North High St., New Albany Ohio 43054

Parcel Numbers 222-000010-00

Acres .2

of lots created 1

Project Information

Choose Application Type

Circle all Details that Apply

- | | | | | |
|--|----------------------|-------------------|---------------|-----------|
| <input type="checkbox"/> Appeal | | | | |
| <input checked="" type="checkbox"/> Certificate of Appropriateness | | | | |
| <input type="checkbox"/> Conditional Use | | | | |
| <input type="checkbox"/> Development Plan | Preliminary | Final | Comprehensive | Amendment |
| <input type="checkbox"/> Plat | Preliminary | Final | | |
| <input type="checkbox"/> Lot Changes | Combination | Split | Adjustment | |
| <input type="checkbox"/> Minor Commercial Subdivision | | | | |
| <input type="checkbox"/> Vacation | Easement | | Street | |
| <input type="checkbox"/> Variance | | | | |
| <input type="checkbox"/> Extension Request | | | | |
| <input type="checkbox"/> Zoning | Amendment (rezoning) | Text Modification | | |

Description of Request: This application addresses modifications to the west and south elevations of the existing building
(1) Remove single window assembly on the west elevation and replace with double window as noted (2) add two windows to the south
elevation as noted.

Contacts

Property Owner's Name: ~~Blue Horseshoe Partners, LLC~~ PKM LLC

Address: 25 Ealy Crossing South

City, State, Zip: New Albany Ohio 43054

Phone number: 614-206-1999

Fax: _____

Email: lance@bluehorseshoe.com

Applicant's Name: Maletz Architects, Inc.

Address: 11 South High St.

City, State, Zip: New Albany Ohio 43054

Phone number: 614-973-9450

Fax: _____

Email: andrew@maletzarchitects.com

Signature

Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.

Signature of Owner

Signature of Applicant

Date: 12/15/21

Date: 12/15/21

PROPOSED EXTERIOR IMPROVEMENTS
3 NORTH HIGH ST., NEW ALBANY OHIO 43054



MALETZ ARCHITECTS, INC.
4075 CHELSEA GREEN W
NEW ALBANY OHIO 43054
614.973.9450

PROPOSED IMPROVEMENTS

3 NORTH HIGH STREET
New Albany OH 43054

SCALE: 1" = 10'-0"

DRAWN BY: ASM

DATE: 12/15/2021

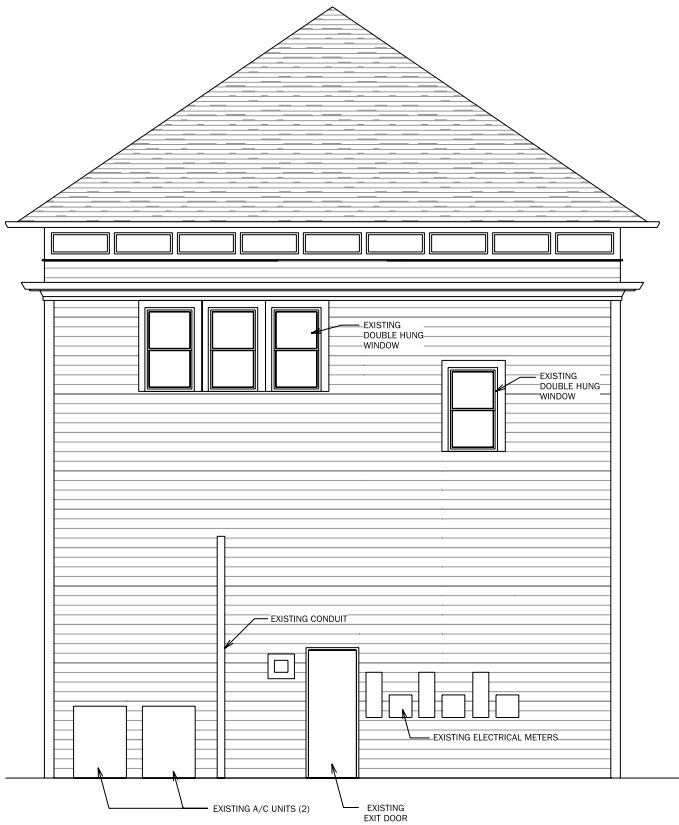
PAGE: 1 of 2

WEST ELEV

A100



EXISTING WEST ELEVATION
SCALE: 1" = 10'-0"



EXISTING SOUTH ELEVATION
SCALE: 1" = 10'-0"



PROPOSED WEST ELEVATION
SCALE: 1" = 10'-0"



3 N HIGH - SOUTH PROPOSED
SCALE: 1" = 10'-0"



MALETZ ARCHITECTS, INC.
4075 CHELSEA GREEN W
NEW ALBANY OHIO 43054
614.973.9450

PROPOSED IMPROVEMENTS

3 NORTH HIGHT STREET
New Albany OH 43054

SCALE: As Noted

DRAWN BY: ASM

DATE: 12/15/2021

PAGE: 2 of 2

PHOTOS

A102



**Architectural Review Board Staff Report
January 10, 2022 Meeting**

**CERTIFICATE OF APPROPRIATENESS
24 E MAIN STREET**

LOCATION: 24 E Main Street (PID: 222-000043)
APPLICANT: Maletz Architects, Inc
REQUEST: Certificate of Appropriateness
ZONING: Urban Center District within the Historic Core Sub-District
STRATEGIC PLAN: Village Center
APPLICATION: ARB-135-2021

Review based on: Application materials received on December 10, 2021 and January 3, 2022.

Staff report prepared by Chris Christian, Planner.

I. REQUEST AND BACKGROUND

On November 14, 2018, the ARB approved the following exterior modifications to the building located at 24 E. Main Street (ARB-73-2018). Waivers were also approved to allow 10 parking spaces to be installed and for the parking lot to be located 0 feet from the western property line. The building is under active construction and some of these improvements have been made to the site/building. All of the original conditions of approval still apply and are listed in the motion section of this staff report.

- Enlarging and modifying the front porch;
- Removing shutters;
- Removal of stone façade;
- The addition of hardie board siding;
- Replacement of existing windows;
- The addition of a cupola;
- The addition of a chimney; and
- A new parking lot with a dumpster

According to the applicant, the entire building will be used as a bar and restaurant and the following exterior modifications are being requested as part of this application in addition to those previously approved via application ARB-73-2018.

- Extend and enlarge the front porch;
- Reconstruct a portion of the rear of the building; and
- The removal and relocation of windows and doors

C.O. 1157.06 states that no environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. C.O. 1157.07 states that exterior building changes that modify or reconstruct any exterior features

of an existing structure, that are not considered minor changes, must be reviewed and approved by the ARB prior to the work being completed. The proposed changes are considered Major Environmental Changes and therefore must be reviewed and approved by the ARB.

II. SITE DESCRIPTION & USE

The site is zoned UCD Urban Center District, within the Historic Core Sub-district. According to the Franklin County Auditor the building was originally constructed in 1910 and renovated in 1978 and is .20+/- acres in size. The previous tenants of this property were Wayside Floral and Griffin's Floral.

III. EVALUATION

The ARB's review is pursuant to C.O. Section 1157.06 (Architectural Review Overlay District). No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the building and site should be evaluated on these criteria:

Certificate of Appropriateness

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
 - Section 3 of the New Albany Design Guidelines and Requirements provides the requirements for commercial buildings inside the Village Center.
 - DGR Section III (II.A.1.) states that buildings shall follow the stylistic practice of traditional American commercial architectural and the design and detail characteristics shall be carefully studied and faithfully rendered in the new building design. The ARB previously approved several exterior building modifications for this site (ARB-73-2018).
 - The applicant proposes the following exterior changes to the building:
 - Extend and enlarge the front porch;
 - Reconstruct a portion of the rear of the building; and
 - The removal and relocation of windows and doors
 - The applicant proposes to extend the previously approved front porch and wrap it around to the west elevation on both the first and second floors. All of the proposed column, trim and railing details appear to be consistent with the previously approved front porch elevation. These areas will provide outdoor seating for restaurant guests.
 - The existing double French doors on the east elevation will be replaced by a single door that matches the details provided on the original ARB application.
 - The existing wing at the rear of the building is proposed to become a kitchen which will result in the following modifications:
 - The existing door and windows to be removed on the eastern elevation;
 - The windows on the rear elevation to be removed;
 - A new door on the rear elevation; and
 - The roof shape of the existing wing of the building will be squared off and trim details added.
 - It appears that all of the proposed exterior building modifications appropriately relate to the original ARB approval through the use of same hardi board siding material, roof and porch trim and details. While the applicant proposes to replace the double French doors on the east elevation, there are still two building entrances along this elevation.
 - All of the original conditions of approval related to the building architecture still apply and are listed in the motion section of the staff report.
 - Staff recommends an additional condition of approval that the two lots that make up the development site be combined.

2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*
 - A site plan was submitted as part of the application however it appears that the location of the parking lot is inconsistent with the Second Street improvement plans that were completed by the city. Staff recommends a condition of approval that the site plan be updated as part of the building permit submittal.
 - A detailed landscape plan was not submitted as part of this application and per the original conditional of approval—one will be required to be submitted as part of the building permit.
 - A new English garden and herb garden are identified on the site plan that were not previously shown however, the details for these areas was not provided as part of the application. Staff recommends a condition of approval that these details be provided with the landscape plan as part of the building permit and be subject to staff approval.
3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
 - The proposed modifications and additions appear to preserve the original quality and character of the building that were previously approved by the ARB through the use of the same building materials, trim and railing details.
4. *All buildings, structures and sites shall be recognized as products of their own time.*
 - The proposed improvements are of new construction and appear to be appropriate based on the previous approved design of the building.
5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
 - It appears that the applicant has made the proposed modifications while being sensitive to the original improvements approved for the building.
6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
 - Not Applicable
7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
 - It does not appear that the essential form and integrity of the original structure would be destroyed if any of the improvements were removed from the building at a later date.

IV. RECOMMENDATION

The Architectural Review Board should evaluate the overall proposal based on the requirements in the Design Guidelines and Requirements. All of the proposed exterior building modifications appear to be consistent with the design previously approved design through the use of the same building materials, trim elements and railing details. All previous conditions of approval placed on the original application will carry over to this application and reviewed as part of the building permit. The proposed modifications will allow this historic building to be reused as a new restaurant and bar in the Village Center.

V. ACTION

Should the ARB find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

Move to approve application ARB-135-2021 with the following conditions of approval (conditions of approval may be added).

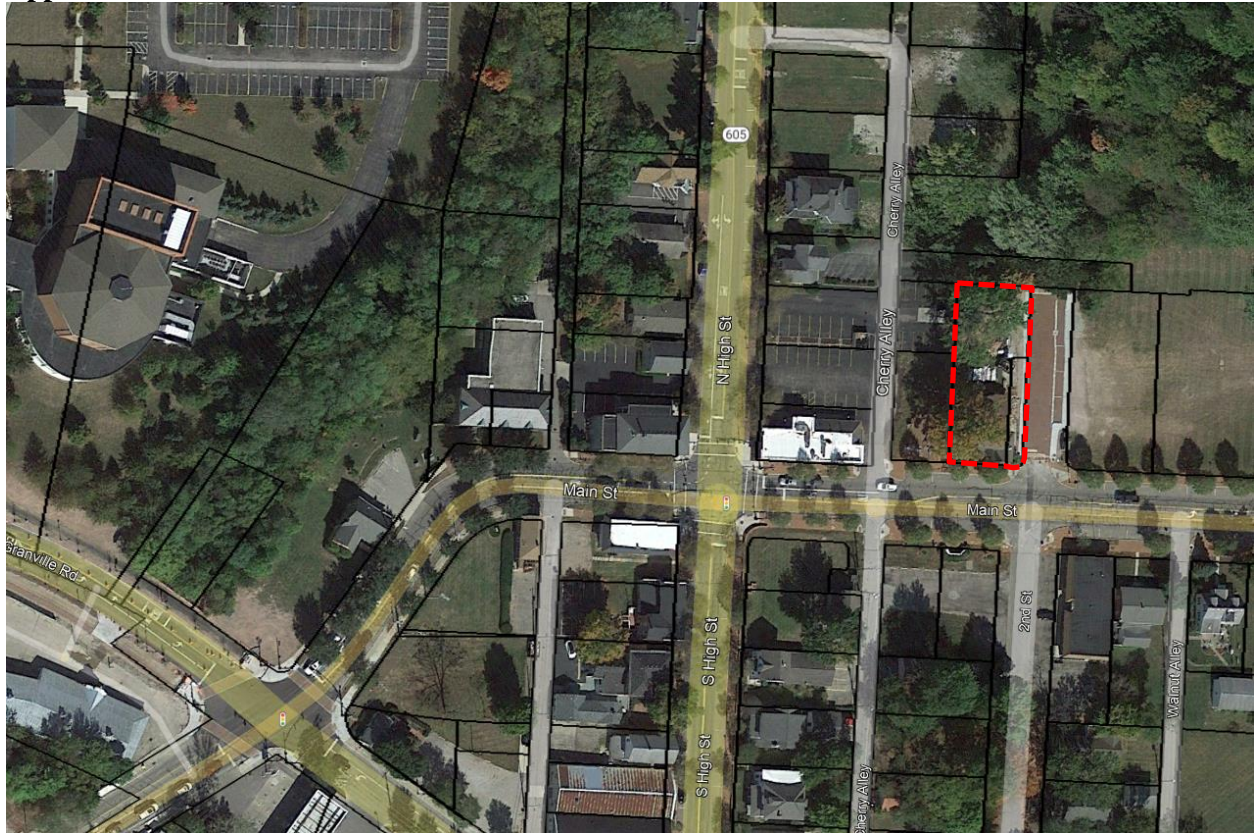
Previous Conditions of Approval from ARB-73-2018:

1. The solarium must be white.
2. The final column and entablature detailing be subject to staff approval.
3. The proposed future parking lot be installed at such time that the City builds the Second Street extension.
4. Final design and location of the parking lot is subject to staff approval.
5. Final alignment and design of the streetscape along the proposed road is subject to staff approval.
6. A landscape plan must be submitted for staff's review and approval.
7. The dumpster enclosure must be submitted for staff's review and approval and it must meet the required setbacks, and height requirements.
8. One canopy tree must be installed near the parking lot to meet code requirements.
9. One tree with a tree planting total of 2.5" must be installed to meet code requirements.
10. Any rooftop units must screen on all four sides for sight and sound, final screening will be subject to staff approval.
11. A photometric plan must be submitted to show that there is zero or near zero-foot candle intensity along all parcel boundaries, if any parking lot lighting were to be installed.
12. Parking spaces must be sized to 9' x 19', with a 22-foot-wide drive aisle to match the standards found in the city's parking code.
13. All ground mechanical devices and utility structures should be located in the side or rear yard and shall be fully screened from streets and neighboring
14. The proposed parking lot be aligned with the existing parking lots to create a continuously connect circulation aisle, and a cross access easement be provided.

New Conditions of Approval:

15. The English and herb garden details must be provided as part of the landscape plan and are subject to staff approval.
16. The two lots must be combined.

Approximate Site Location:



Source: Google Earth



Community Development Department

Planning Application

Case # _____
Board _____
Mtg. Date _____

Project Information

Site Address 24 East Main St., New Albany Ohio 43054

Parcel Numbers 222-000043-00

Acres .2 # of lots created 1

Choose Application Type	Circle all Details that Apply			
<input type="checkbox"/> Appeal				
<input checked="" type="checkbox"/> Certificate of Appropriateness				
<input type="checkbox"/> Conditional Use				
<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment
<input type="checkbox"/> Plat	Preliminary	Final		
<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment	
<input type="checkbox"/> Minor Commercial Subdivision				
<input type="checkbox"/> Vacation	Easement		Street	
<input type="checkbox"/> Variance				
<input type="checkbox"/> Extension Request				
<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification	

Description of Request: This application is a follow up to a previously approved COA (ARB 73-2018) on 11/14/18.

The proposed modifications to the exterior are highlighted in the attached drawings as follows: (1) Extend and enlarge front porch and railing.
(2) reconstruct approximately 275 SF of the existing footprint labeled 'Kitchen' to provide additional headroom and (3) removal / relocation
of existing windows and doors as noted.

Contacts

Property Owner's Name: Blue Horseshoe Partners, LLC
Address: 25 Ealy Crossing South
City, State, Zip: New Albany Ohio 43054
Phone number: 614-206-1999 Fax: _____
Email: lance@bluehorseshoe.com

Applicant's Name: Maletz Architects, Inc.
Address: 11 South High St.
City, State, Zip: New Albany Ohio 43054
Phone number: 614-973-9450 Fax: _____
Email: andrew@maletzarchitects.com

Signature

Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.

Signature of Owner [Signature] Date: 12/15/21
Signature of Applicant [Signature] Date: 12/15/21



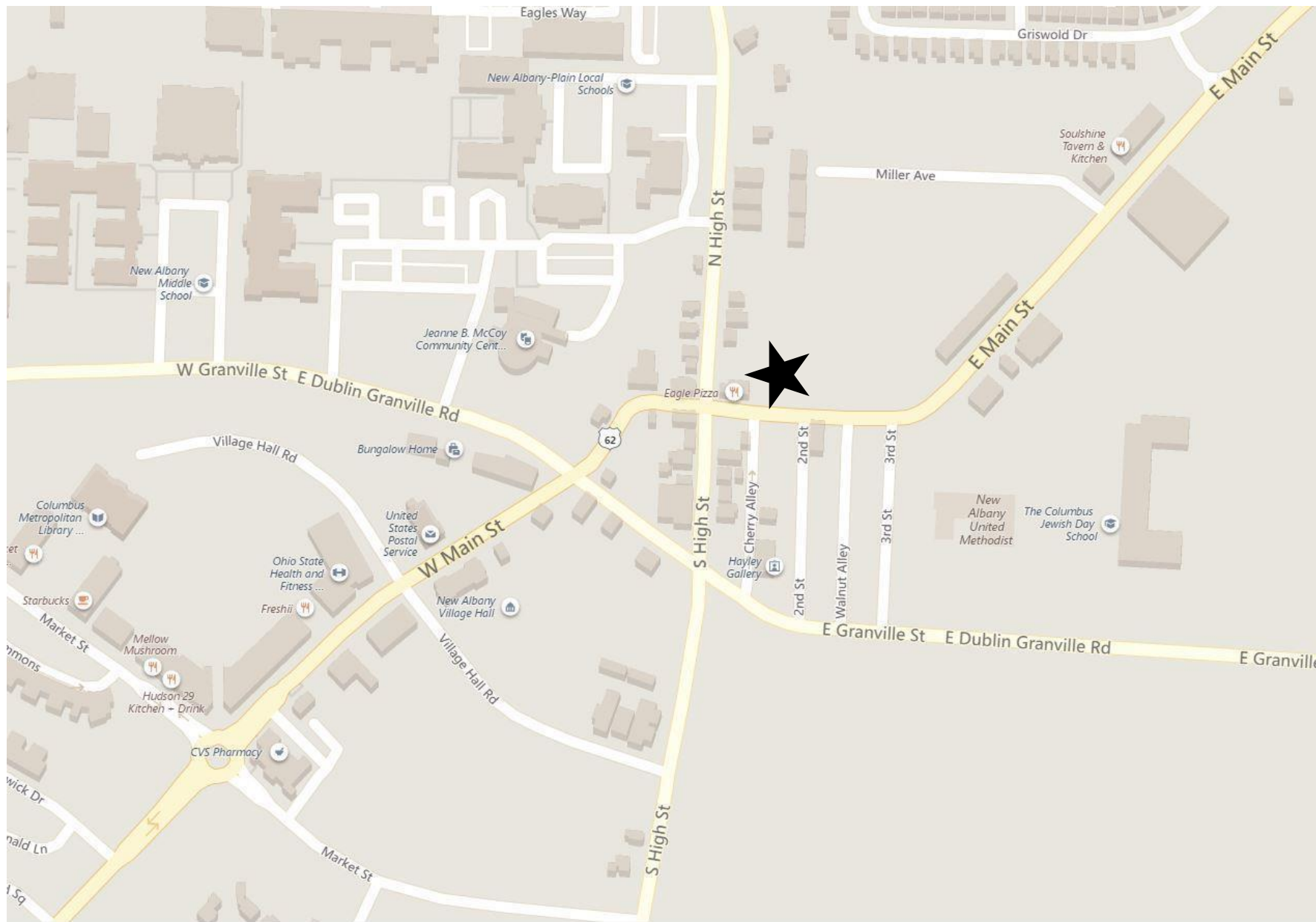
PROPOSED TENANT IMPROVEMENTS FOR 24 E. MAIN STREET

24 EAST MAIN ST.
NEW ALBANY, OH 43054

DRAWING INDEX

COVER SHEET	G000
SITE PLANS	C100
FOUNDATION PLAN	A100
MAIN FLOOR PLANS	A101
SECOND FLOOR PLANS	A102
EAST ELEVATION	A200
WEST ELEVATION	A201
SOUTH ELEVATION	A202
NORTH ELEVATION	A203

SITE LOCATION



PROJECT DESCRIPTION

THE EXISTING STRUCTURE WAS RENOVATED IN 2019 FOLLOWING ARB APPROVAL IN FALL 2018 AND INCLUDED EXTERIOR AND INTERIOR IMPROVEMENTS. EXTERIOR IMPROVEMENTS INCLUDED THE NEW WINDOWS, HARDIE-PANEL SIDING, ROOFING AND SITE IMPROVMENTS.

THE PROPOSED WORK ASSOCIATED WITH THIS APPLICATION IS AS FOLLOWS:
1. MODIFICATIONS TO EXISTING WINDOW LOCATIONS
2. NEW PARTIAL ROOF AT PROPOSED KITCHEN
3. EXPANDED FRONT PORCH
4. TENANT FIT-OUT FOR RESTAURANT/ BAR

ARCHITECT:
MALETZ ARCHITECTS, INC.
ANDREW MALETZ, OHIO LICENSE
#99-12452

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2017 EDITION OF THE OHIO BUILDING CODE, UNLESS NOTED OTHERWISE.
- IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES AND REGULATIONS WITHIN THE DOCUMENTS THE MORE STRINGENT PROVISION SHALL GOVERN.
- DIMENSIONS ARE TO FINISH FACE FOR INTERIOR WALLS AND FACE OF STUD FOR EXTERIOR WALLS UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FIELD VERIFY ALL MATERIALS, DIMENSIONS, AND CONDITIONS INDICATED ON DRAWINGS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF VARIATIONS FROM THE DRAWINGS.
- EXISTING SITE EASEMENTS AND UTILITY CONDITIONS INDICATED TO REMAIN SHALL NOT BE DISTURBED BY THE WORK WITHOUT CONSENT OF THE ARCHITECT/OWNER, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- SITE WORK: INCLUDES ALL DEMOLITION, SITE CLEARING, EXCAVATION, FILLING, GRADING DRAINAGE, AND RELATED ITEMS NECESSARY TO COMPLETE THE WORK INDICATED ON DRAWINGS.
- SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE. BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS (INCLUDING SAFETY), EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADINGS INDICATED ON DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, AND CONDITIONS SHOWN ON STRUCTURAL DRAWINGS OR NOTED IN STRUCTURAL SPECIFICATIONS. ANY VARIANCES WITHIN STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR WITH CONDITIONS ENCOUNTERED AT JOB SITE, SHALL BE REPORTED TO OWNER IN WRITING BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE.
- CONTRACTOR SHALL RIGIDLY ADHERE TO ALL LAWS, CODES, AND ORDINANCES WHICH APPLY TO THIS WORK AND NOTIFY AND RECEIVE CLARIFICATION FROM OWNER IN WRITING OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND GOVERNING REGULATIONS.

- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS OF THE 2013 RESIDENTIAL BUILDING CODE. RESEARCH RECOMMENDATIONS: WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE SUBMITTED TO THE ARCHITECT IN WRITING FOR REVIEW.
- BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND, OWNER SHALL BE NOTIFIED IMMEDIATELY.
- BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT RETAINING WALLS UNTIL:
A. CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIED 28 DAY STRENGTH, AND
B. STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETE AND FULLY NAILED AND ANCHORED.
- EXISTING CONDITIONS SCHEDULED OR INDICATED TO REMAIN UNCHANGED SHALL REMAIN UNLESS SPECIFICALLY IN WRITING BY THE LOCAL BUILDING INSPECTION DEPARTMENT.
- ALL CONTRACTORS ARE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DISTURBED OR DAMAGED MATERIALS DURING THE SCOPE OF THIS PROJECT.
- CONTRACTOR IS TO EXTEND EXISTING SITE UTILITY LINES AS REQUIRED FOR NEW CONSTRUCTION.
- MAINTAIN MIN. FROST DEPTH REQUIRED IN ACCORDANCE WITH LOCAL BUILDING CODES AT ALL LOCATIONS.
- COORDINATE LOCATION OF ALL DOWNSPOUTS WITH SITE CONTRACTOR.
- ALL DOOR & WINDOWS OPENINGS ARE CENTERED ON WALL OR 4" FROM CORNER UNLESS OTHERWISE NOTED.
- ALL HEADERS AT WINDOWS, CASSED OPENINGS AND DOORS SPANNING LESS THAN 4'-0" IN WIDTH TO BE (2) 2x6. ALL HEADERS AT WINDOWS, CASSED OPENINGS AND DOORS SPANNING BETWEEN 4'-0" AND 6'-0" IN WIDTH TO BE (2) 2x8.



Proposed Improvements to 24 East Main St.

24 East Main St.
New Albany OH 43054

APPROVED BY:

REVISIONS:

SCALE: 1/4" = 1'-0"

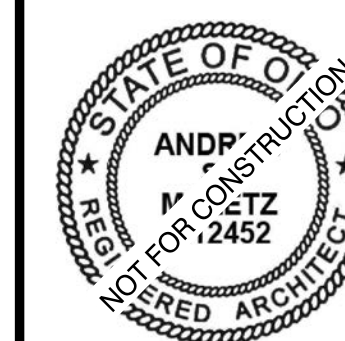
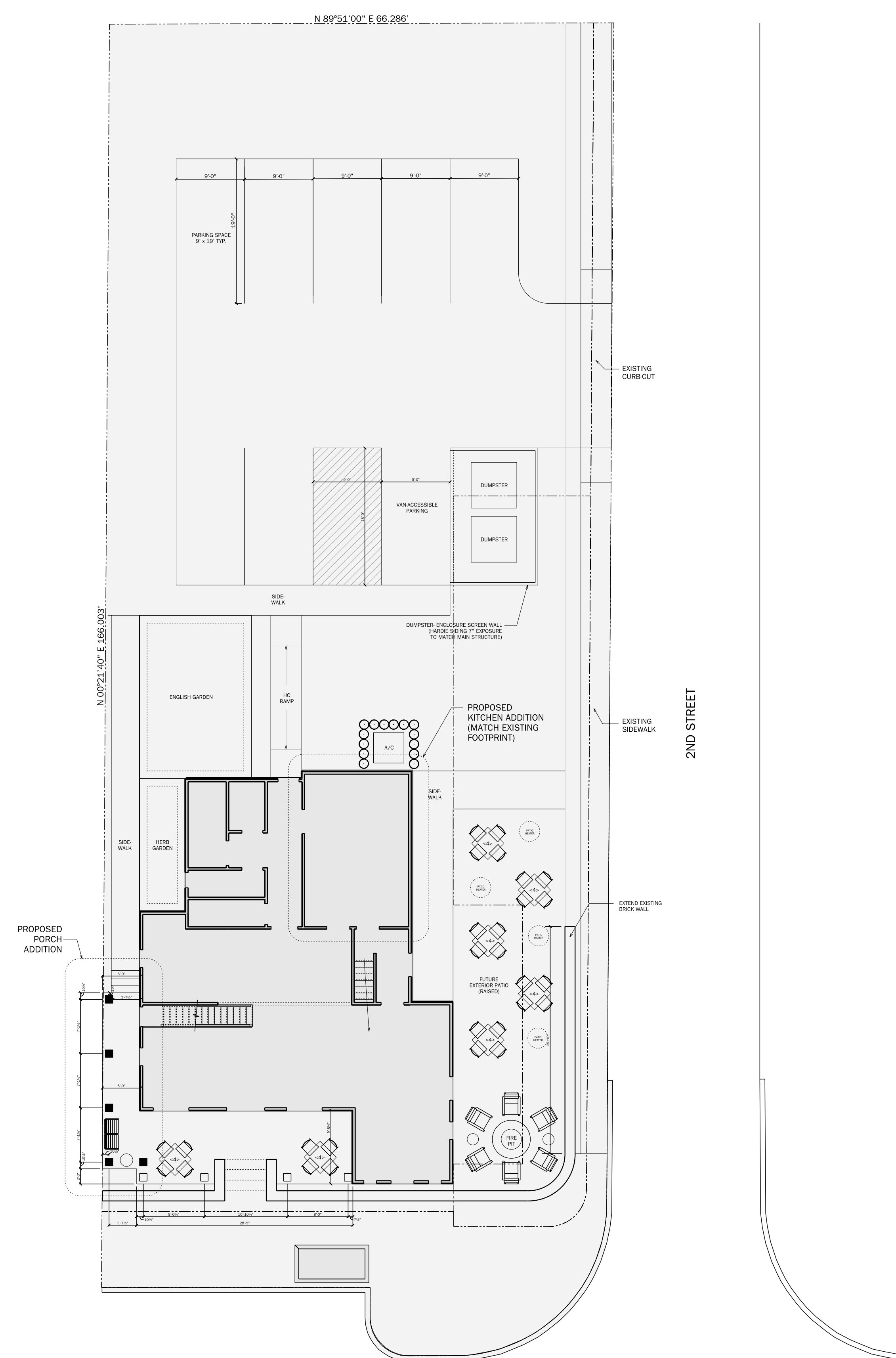
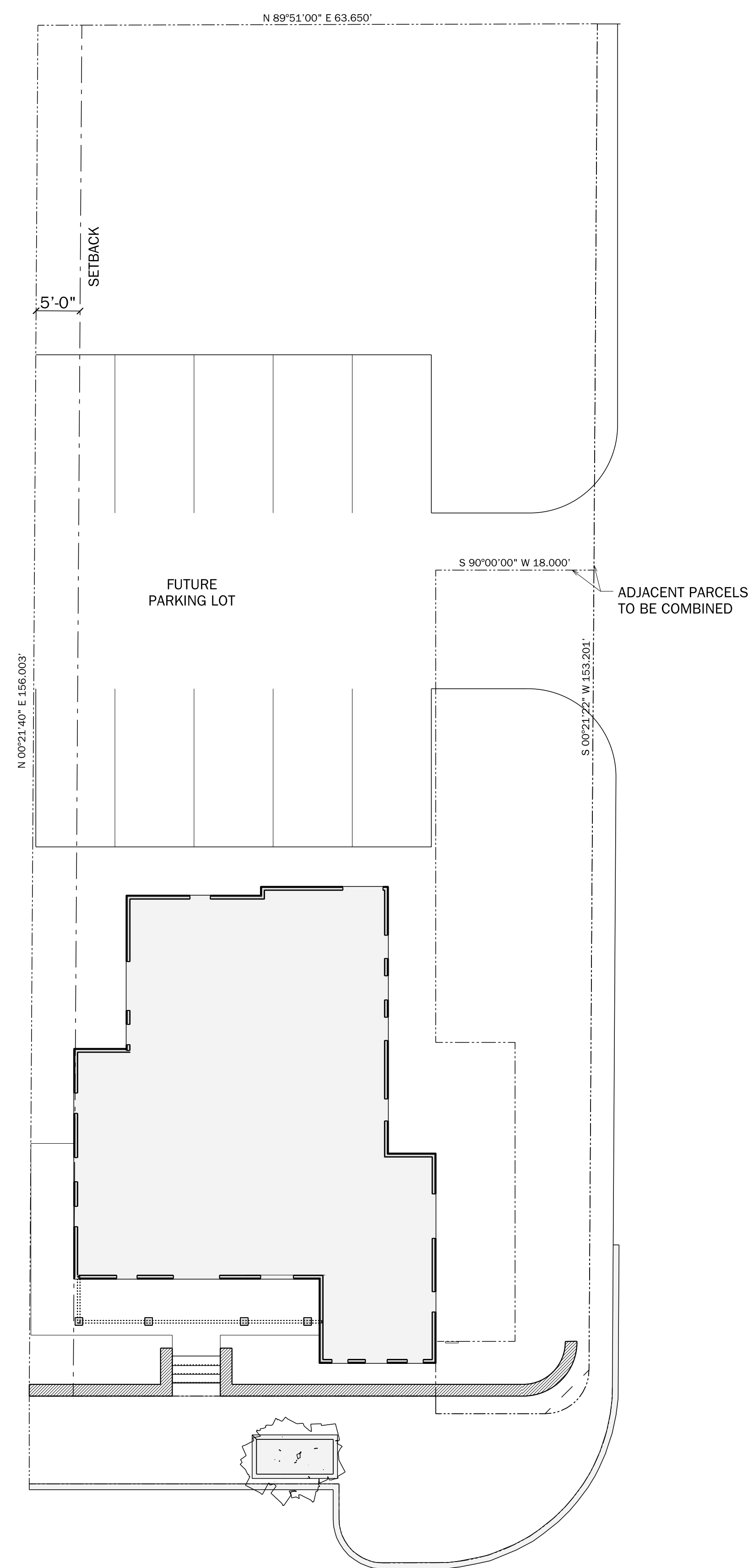
DRAWN BY: ASM

DATE: 12/15/2021

PAGE: 1 of 9

COVER SHEET

G000



PROPOSED TENANT IMPROVEMENTS

24 East Main St.
New Albany OH 43054

APPROVED BY:

REVISIONS:

SCALE: 1" = 10'-0"

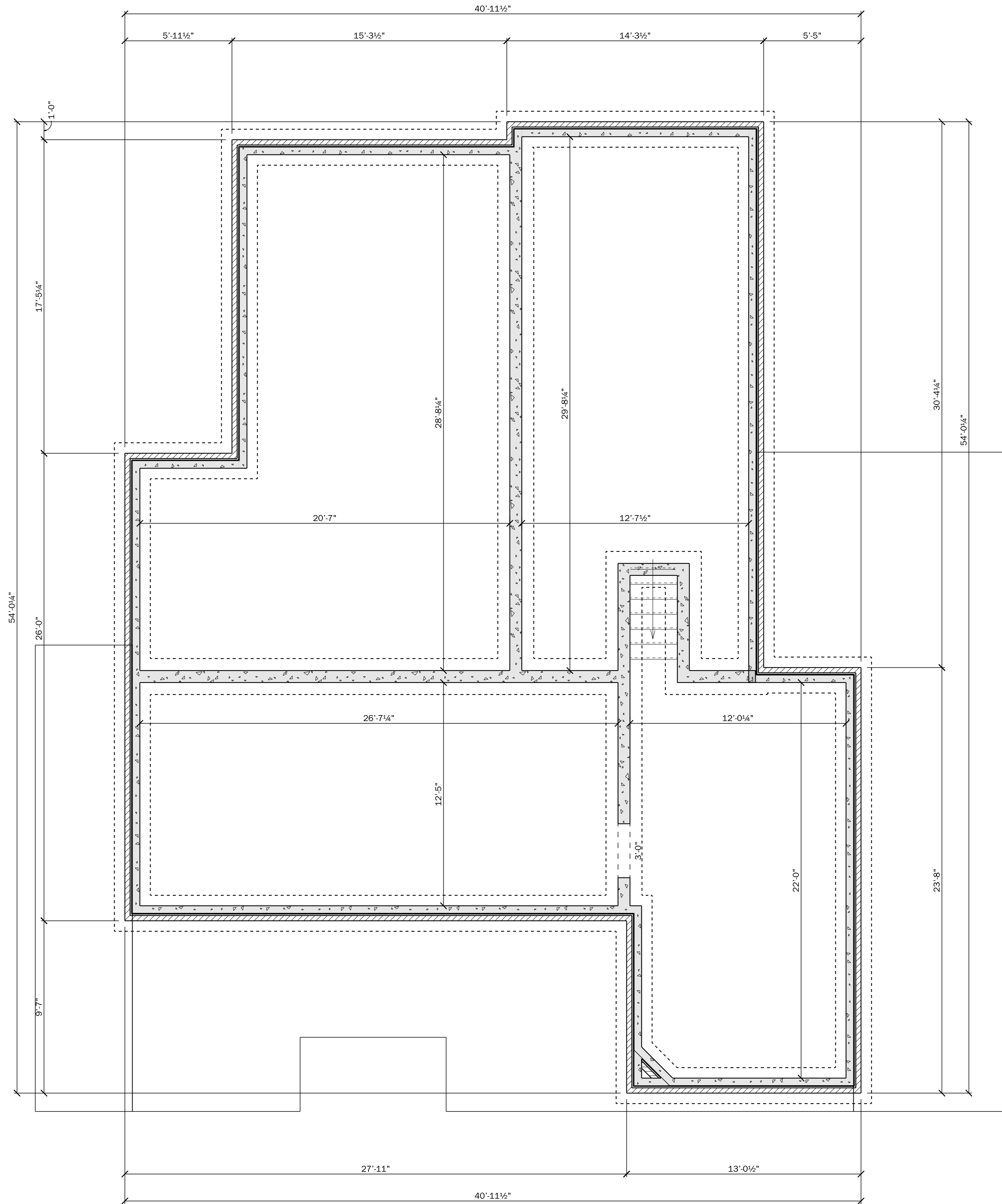
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DATE: 1/3/2022

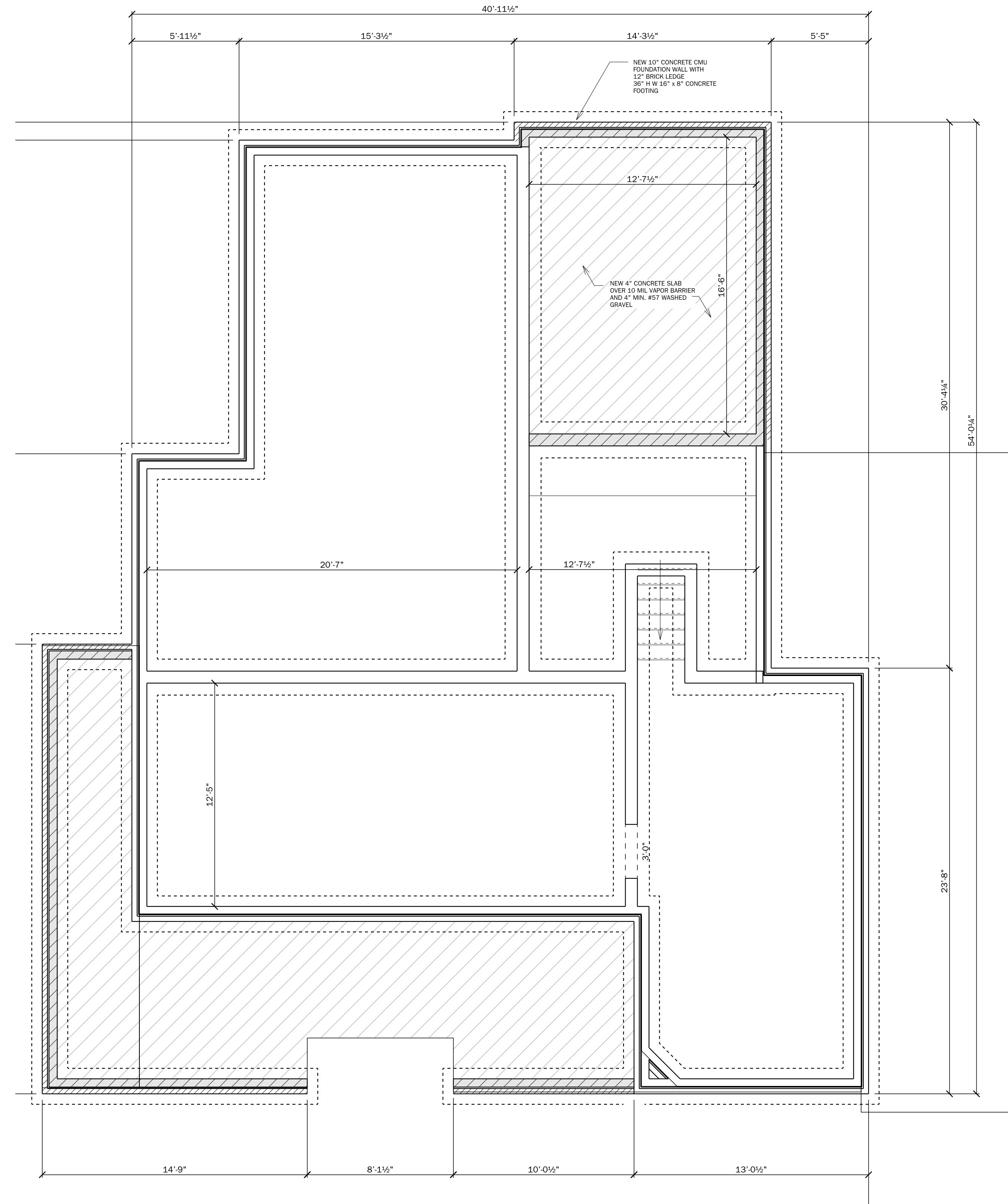
PAGE: 2 of 9

SITE PLAN

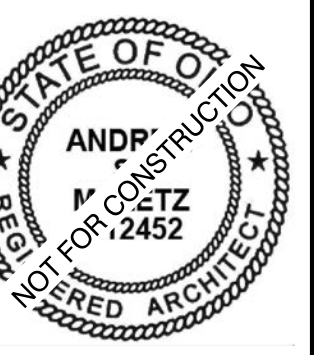
C100



EXISTING BASEMENT
SCALE: 1/4" = 1'-0"



PROPOSED BASEMENT
SCALE: 1/4" = 1'-0"



MALETZ ARCHITECTS, INC.
NEW ALBANY, OHIO 43054
PH: 419-245-2452
ARCHITECTURE + BUILD

Proposed Improvements to 24 East Main St.

24 East Main St.
New Albany OH 43054

APPROVED BY:

REVISIONS:

SCALE: 1/4" = 1'-0"

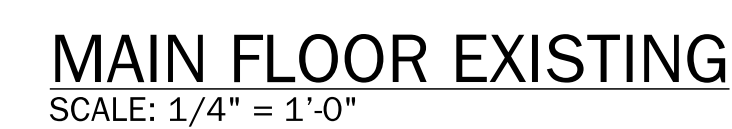
DRAWN BY: ASM

DATE: 12/15/2021

PAGE: 3 of 9

FOUNDATION

A100



PROPOSED
KITCHEN ADDITION
(MATCH EXISTING
FOOTPRINT)



Proposed Improvements to 24 East Main St.
24 East Main St.

APPROVED BY:

VISIONS:

SCALE: $1/4" = 1'-0"$

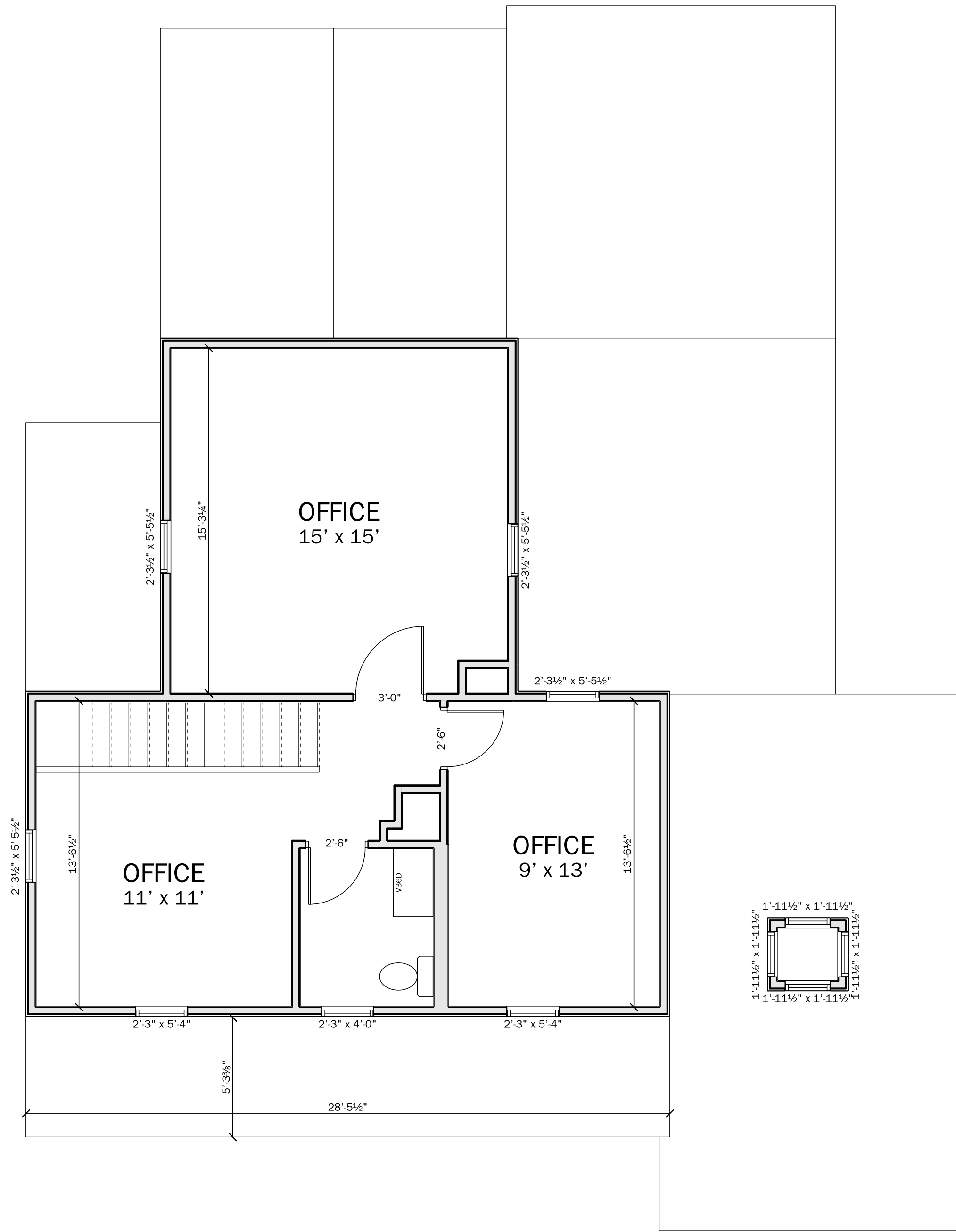
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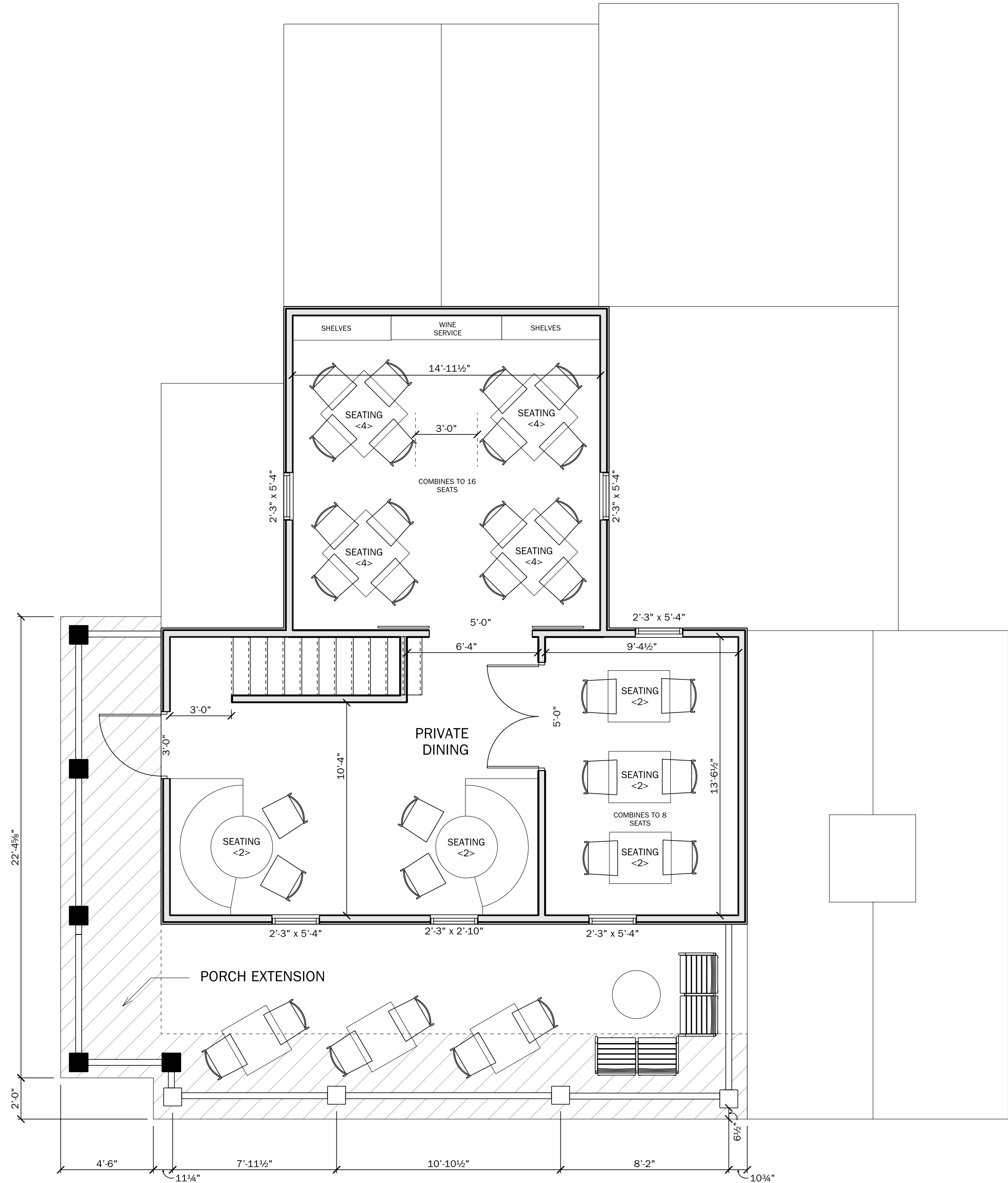
GE: 4 of 9

MAIN FLOOR

A101



SECOND FLOOR EXISTING
SCALE: 1/4" = 1'-0"



SECOND FLOOR PROPOSED
SCALE: 1/4" = 1'-0"



Proposed Improvements to 24 East Main St.
24 East Main St.
New Albany
OH 43054

APPROVED BY:

REVISIONS:

SCALE: 1/4" = 1'-0"

DRAWN BY: ASM

DATE: 12/15/2021

PAGE: 5 of 9

SECOND FLOOR

A102



EAST ELEVATION (APPROVED 2018)
SCALE: 1/4" = 1'-0"



EAST ELEVATION PROPOSED
SCALE: 1/4" = 1'-0"



Proposed Improvements to 24 East Main St.
24 East Main St.
New Albany
OH 43054

APPROVED BY:

REVISIONS:

SCALE: 1/4" = 1'-0"

DRAWN BY: ASM

DATE: 12/15/2021

PAGE: 6 of 9

EAST ELEVATION

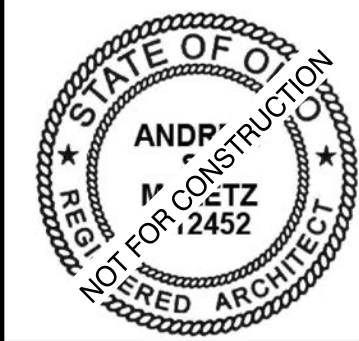
A200



WEST ELEVATION (APPROVED 2018)
SCALE: 1/4" = 1'-0"



WEST ELEVATION PROPOSED
SCALE: 1/4" = 1'-0"



Proposed Improvements to 24 East Main St.
24 East Main St.
New Albany
OH 43054

APPROVED BY:

REVISIONS:

SCALE: 1/4" = 1'-0"

DRAWN BY: ASM

DATE: 12/15/2021

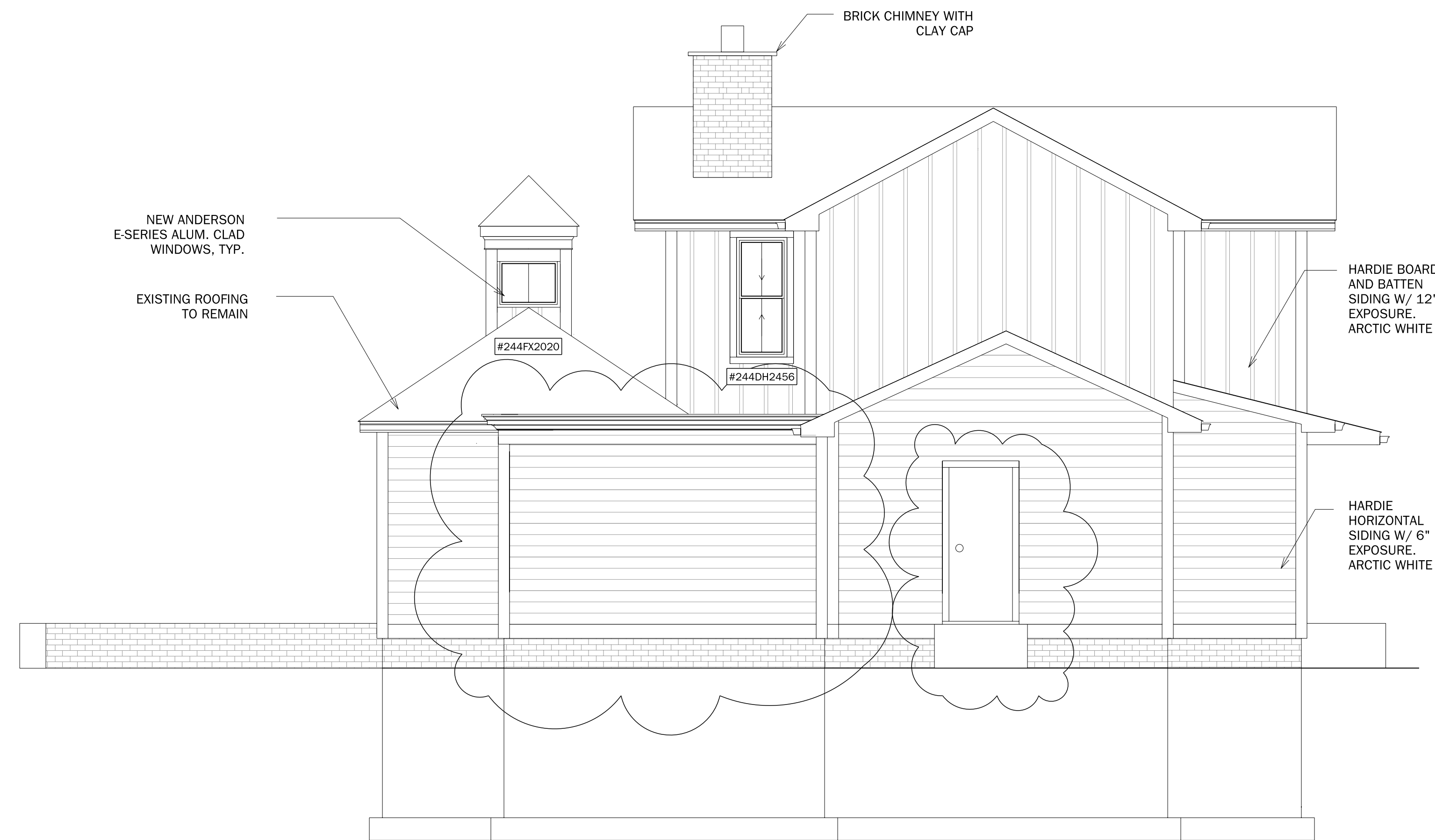
PAGE: 7 of 9

WEST ELEVATION

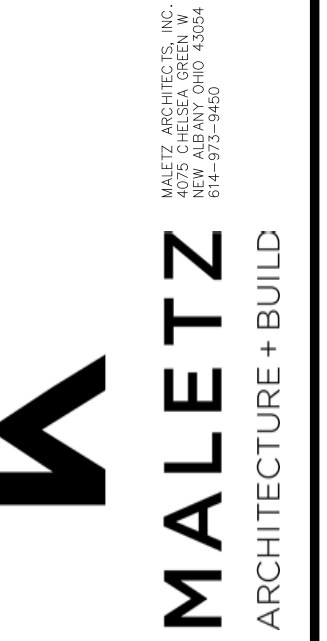
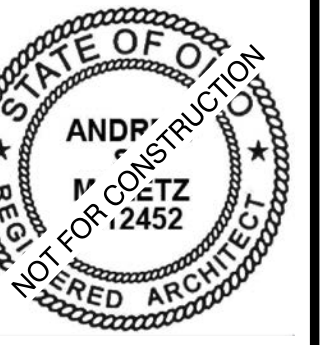
A201



NORTH ELEVATION (APPROVED 2018)
SCALE: 1/4" = 1'-0"



NORTH ELEVATION PROPOSED
SCALE: 1/4" = 1'-0"



Proposed Improvements to 24 East Main St.

24 East Main St.
New Albany
OH 43054

APPROVED BY:

REVISIONS:

SCALE: 1/4" = 1'-0"

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DATE: 12/15/2021

PAGE: 8 of 9

NORTH ELEVATION

A202



SOUTH ELEVATION (APPROVED 2018)
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION PROPOSED
SCALE: 1/4" = 1'-0"



Proposed Improvements to 24 East Main St.
24 East Main St.
New Albany

OH 43054

APPROVED BY:

REVISIONS:

SCALE: 1/4" = 1'-0"

DRAWN BY: ASM

DATE: 12/15/2021

PAGE: 9 of 9

SOUTH ELEVATION

A203



**Architectural Review Board Staff Report
January 10, 2022 Meeting**

**CERTIFICATE OF APPROPRIATENESS & WAIVERS
RICHMOND SQUARE MULTI-UNIT BUILDING**

LOCATION: Generally located north of Main Street and south of Keswick Drive and McDonald Lane (PID: 222-000043-00)
APPLICANT: Richmond Main Investments LLC
REQUEST: Certificate of Appropriateness & Waivers
ZONING: Urban Center District within the Core Residential Sub-District
STRATEGIC PLAN: Village Center
APPLICATION: ARB-136-2021

Review based on: Application materials received on December 10th and 28th, 2021.

Staff report prepared by Chris Christian, Planner.

I. REQUEST AND BACKGROUND

This certificate of appropriateness application is for a new multi-unit building located generally north of Main Street and south of Keswick Drive and McDonald Lane. The project will be broken up into two phases. This application requests complete approval for phase one and just the building footprint for phase two of the development. The applicant will return to the ARB at a later date for approval of the architecture, landscape and other exterior improvements for phase two of the development project. The first phase of the project includes 8 condominium units within a multi-unit building and an underground parking garage with 17 parking spaces within the footprint of the building.

The site is located within the Urban Center Code Core Residential sub-district and the New Albany Country Club, Section 21: subarea 2 I-PUD zoning district. Per Codified Ordinance 1158.03(c), properties within the Architectural Review Overlay District that are zoned PUD before Chapter 1158 of the city code was adopted in 2011, are permitted to either develop under the requirements of the underlying PUD zoning or the Urban Center Code. The applicant has elected to develop under the Urban Center Code, therefore the requirements of the Urban Center Code, the New Albany Design Guidelines and Requirements and city code apply to this site.

On March 11, 2013 the ARB approved a waiver to allow the multi-unit building typology to be developed on this site which is located within the Core Residential sub-district where this building typology is not permitted by right (ARB-02-2013).

The applicant requests the following waivers as part of the application.

- (A) Waiver to UCC Section 2.69 to allow the Main Street lot width to be 220+/- feet where code allows a maximum of 200 feet.
- (B) Waiver to UCC Section 2.69(c) to allow the rear yard setback (McDonald Lane) to be 7.5+/- feet where code requires a minimum 15-foot setback.

- (C) Waiver to UCC Section 2.71.2 to allow 17 parking spaces to be provided on site where code allows a maximum of 12.

II. SITE DESCRIPTION & USE

The property is 0.75 acres in size, is currently vacant and is generally located north of Main Street and south of Keswick Drive and McDonald Lane. In 2005, the ARB and Planning Commission approved a final development plan for Richmond Square or Section 21 of the New Albany Country Club. This development included traditional Georgian rowhouses to be developed fronting onto Richmond Square and Keswick Drive. Some of these rowhouses were developed on Richmond Square however the plans for this specific piece of property were withdrawn by the developer. The site is surrounded by residentially zoned and used properties.

III. EVALUATION

The ARB's review is pursuant to C.O. Section 1157.06 (Architectural Review Overlay District). No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the building and site should be evaluated on these criteria:

A. Certificate of Appropriateness

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
 - Section 2 of the New Albany Design Guidelines and Requirements provides the requirements for multi-unit residential buildings inside the Village Center. Section II (IV.B.1) requires multi-unit buildings to be based on an American architectural precedent described in section 1 of the DGRs. The city architect and applicant have identified the Georgian architectural style for the proposed building which meets this requirement.
 - This infill site is unique in the Village Center as it is located in between two different architectural form contexts. One is Richmond Square where traditional, Georgian rowhouse architecture is employed and the other being the existing Market and Main multi-unit buildings. The applicant states that it is their goal to pull architectural cues from the Richmond Square context while constructing a multi-unit building like Market and Main. The city architect has reviewed the proposal and is supportive of the design stating that the shape, proportion, scale and breakdown of individual elements are appropriate and relate to both the Richmond Square as well as the Market and Main architecture.
 - DGR Section II (IV.F.1) states that the materials used for multi-unit buildings shall be appropriate and typical of materials traditionally used in the Georgian architectural style. In general, the DGRs recommend wood siding and brick as preferred exterior materials but allows other materials to be used if approved by the ARB. The applicant identifies the following exterior materials on the plans:
 - Brick as the primary façade material;
 - Wood;
 - Asphalt roof shingles;
 - Limestone; and
 - Aluminum clad, double hung windows

There are several building elements where the proposed material is not identified on the plans. Staff recommends that the ARB confirm the proposed material for the 3rd story trim, columns and mechanical screen wall. If a composite material is used, staff recommends that it be subject to staff approval.

 - The city architect states that the submitted drawings appear to be schematic at this point and will need to be further developed. Some of his observations include that there are doors and windows missing brick jack arches or headers as well as cornice, belt courses and parapet

caps all need detailing. Staff recommends a condition of approval that these final architectural elements be subject to the city architect's approval.

- DGR Section II (IV.C.2) states that the massing of building forms shall be consistent with traditional practice and the use of “U”, “E” and “H” shaped building are encouraged in order to allow the admission of natural light into the building. The proposed building is designed as more in a half “H” shape which meets this DGR recommendation.
- DGR Section II (IV.C.3) states that the orientation of main building facades with primary entrances shall be oriented towards the primary street that the building is located on. Further, the DGRs require multi-unit buildings to have distinctive, central entrances that address the primary street in a way that creates an active and appropriate Village Center streetscape.
 - This site is unique in that it has three frontages: Main Street, Richmond Square and Keswick Drive. The applicant has located the building entrance along the Main Street elevation which is appropriate as it is the primary road corridor.
 - The entrance is setback approximately 53+/- feet from the front elevation along Main Street to create a courtyard type entrance. While the entrance into the building is setback from the front building façade, the applicant provides a private courtyard space in this area with steps, sidewalk ramps and private landscape elements. This procession from the public to private realms accomplishes the goals of the DGRs and makes the building entrance easily identifiable and activates the streetscape.
- DGR Section II (IV.B.4) states that garages shall be clearly secondary in nature by means of a simplified design that is compatible with the primary structure and no garage doors are permitted to be visible from the primary street (Main Street). The applicant has accomplished and far exceeded this requirement as they propose to provide parking underground, within the footprint of the building.
- DGR Section II (IV.B.8) states that elements such as meter boxes, utility conduits, roof and wall projections and trash containers shall be designed and located as to minimize their visibility and visual impact. The applicant has identified a roof screening wall for mechanical equipment and staff recommends a conditional of approval that any proposed rooftop mechanical units be screened to the height of the unit.

2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*

Landscape

- Urban Center Code Section 2.74.1 requires all street and side yards, where present, to be landscaped with trees, shrubs, grass, ground cover and other plant materials. A conceptual landscape plan was submitted as part of the application that shows the general location of proposed landscape improvements for the site but does not include any size or species details. Since a detailed landscape plan was not submitted, staff recommends a condition of approval that it be subject to staff approval and that all landscape code requires be met for the site.
 - The conceptual landscape plan shows several improvements near the courtyard area that are located within the right-of-way including an urn and private landscaping. Staff recommends a condition of approval that the urn be relocated outside of the right-of-way and that the applicant enter into an agreement with the city that the proposed courtyard landscaping be maintained by the property owner, and not the city, in perpetuity.
 - The plan shows the conceptual rooftop terrace that is landscaped but is not subject to the review and approval of staff or the ARB.

Lighting

- A detailed lighting plan was not submitted for review and staff recommends a condition of approval that one be submitted and be subject to staff approval.

Parking and Circulation

- Urban Center Code Section 2.71.1 requires all lots to provide off street parking spaces in the rear yard. The applicant is meeting this requirement by providing an underground parking garage within the footprint of the building. The garage will be accessed behind the building, off of McDonald Lane.
- Multi-unit buildings are permitted to provide a maximum of one off-street parking space per unit plus an additional ½ space is permitted for each additional bedroom in the building. There are 8 units and 16 bedrooms in the building therefore the applicant is permitted to provide a maximum of 12 off street parking spaces. The applicant is exceeding this maximum by providing 17 spaces in the parking garage and a waiver has been requested which will be evaluated under a separate section of the staff report.
- In addition to the off-street parking provided, the building will front onto Richmond Square where there are 8 existing on street parking spaces immediately adjacent to the building. The applicant will also provide 5 additional on-street parking spaces along Main Street in order to match the established streetscape in the immediate area.
- Per Urban Center Code Section 5.30.3, one bicycle parking space is required to be provided on site based on the number of off-street parking spaces. The applicant proposes to install two bicycle parking spaces to meet this requirement however, they are shown to be located within the right-of-way. Staff recommends a condition of approval that they are relocated on private property, subject to staff approval.

Streetscape

- A modified version of the Signature Street typology is being used at this site to provide the same streetscape employed at the adjacent Market and Main multi-unit buildings along Main Street. This original streetscape was approved by the ARB and by staff in accordance with Urban Center Code Section 5.2.1 (ARB-31-2016).
- The city has always placed an importance of undergrounding utilities and their appurtenances whenever possible especially in the Village Center. There are 3 existing utility boxes that are installed within the Main Street streetscape. If these utilities are able to be relocated, it appears that there may be sufficient space to add an additional on-street parking space. Staff recommends a condition of approval that these existing utility boxes are either installed underground or relocated to behind the existing sidewalk on Main Street, subject to the city's engineer's approval.
- Urban Center Code Section 5.1 identifies Richmond Square as a Village Avenue. Per UCC section 5.15, a 6-foot sidewalk is required to be provided along this road frontage and connect into the existing sidewalk along the Main Street frontage. The engineering plans do not show this sidewalk being installed however it is being show on the architectural site plan. Staff recommends a condition of approval that the 6-foot sidewalk be added along Richmond Square and connected into the existing sidewalk sections along both Richmond Square and Main Street.

Signage

- No signage was submitted for review. All new signage will be subject to ARB review and approval at a later date.

3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*

- The site is currently vacant and is located in the immediate vicinity of the Richmond Square development and the Market and Main multi-unit buildings. The city architect has reviewed and approved the submittal stating this design picks up on adjacent architecture and does a nice job continuing the theme, and it will feel very much at home in the surrounding context.
4. *All buildings, structures and sites shall be recognized as products of their own time.*
 - The proposed building is new construction and is appropriately designed using the Georgian architectural style.
 5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
 - The city architect states that the shape, proportion and breakdown of architectural elements are appropriate for the proposed architectural style and compliments existing buildings in the immediate area.
 6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
 - Not Applicable
 7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
 - Not applicable.

B. Urban Center Code Compliance

On March 11, 2013 the ARB approved a waiver to allow the multi-unit building typology to be developed on this site which is located within the Core Residential sub-district where this building typology is not permitted by right (ARB-02-2013). Since the Urban Center Code does not contain lot and building standards for the multi-unit building in the Core Residential sub-district, staff is evaluating the proposal under the Village Core sub-district's standards.

Standard	Minimum	Maximum	Proposed
Lot Area	10,000 sq. ft.	No max	.75 acres (32,670 sq. ft)
Lot Width	90 ft	200 ft	220 +/- feet (Main St) [waiver requested] 165 +/- feet (Richmond) [Meets code] 105 +/- feet (Keswick) [meets code]
Lot Coverage	No min	75%	66% at full build out (21,534 sq. ft.) [meets code]
Street Yard	5 feet	15 feet	5 ft (Richmond) [meets code] 15 ft (Main St) [meets code] 13.5 ft (Keswick Drive)
Side Yard	5 feet	No max	5.3 ft. [meets code]
Rear Yard	15 feet	No max	7.5 feet at its shortest [waiver requested]
Building Width	70%	100%	90% (Main Street) [meets code] 90% (Richmond Square) [meets code] 81% (Keswick Drive) [meets code]
Stories	2	3	3 [meets code]
Height	No min	55 feet	53 feet (from level 0 to ridge of roof) [meets code]

- Per Urban Center Code Section 2.72.3, trash containers are required to be stored out of public view and screened from adjacent properties. This requirement is met as the trash container will be stored internal to the building, inside the garage.

C. Waiver Requests

The ARB's review is pursuant to C.O. Section **1113.11 Action by the Architectural Review Board for Waivers**, within thirty (30) days after the public meeting, the ARB shall either approve, approve with supplementary conditions, or disapprove the request for a waiver. The ARB shall only approve a waiver or approve a waiver with supplementary conditions if the ARB finds that the waiver, if granted, would:

1. *Provide an appropriate design or pattern of development considering the context in which the development is proposed and the purpose of the particular standard. In evaluating the context as it is used in the criteria, the ARB may consider the relationship of the proposed development with adjacent structures, the immediate neighborhood setting, or a broader vicinity to determine if the waiver is warranted;*
2. *Substantially meet the intent of the standard that the applicant is attempting to seek a waiver from, and fit within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirements;*
3. *Be necessary for reasons of fairness due to unusual site specific constraints; and*
4. *Not detrimentally affect the public health, safety or general welfare.*

The applicant requests the following waivers as part of the application.

- (A) Waiver to UCC Section 2.69 to allow the Main Street lot width to be 220+/- feet where code allows a maximum of 200 feet.
- (B) Waiver to UCC Section 2.69(c) to allow the rear yard setback (McDonald Lane) to be 7.5+/- feet where code requires a minimum 15-foot setback.
- (C) Waiver to UCC Section 2.71.2 to allow 17 parking spaces to be provided on site where code allows a maximum of 12.

(A) Waiver to UCC Section 2.69 to allow the Main Street lot width to be 220+/- feet where code allows a maximum of 200 feet.

The following should be considered in the board's decision:

1. Urban Center Code Section 2.69 states that the maximum lot width is 200 feet. The existing Main Street lot width for this property is 220+/- feet therefore a waiver is required.
2. The intent of requirement is to ensure that buildings with blank, unattractive facades are avoided so that a pedestrian scaled and oriented environment is achieved in the Village Center through development/redevelopment of historic, smaller lots and blocks that are typically found in the Historic Village Center. While the lot is wider than code allows, the applicant proposes to provide breaks in the elevation via recesses, projections and varying roof forms. These strategies ensure that a pedestrian scaled and oriented built environment is achieved in the Village Center which substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and Design Guidelines and Requirements.
3. The existing lot width provides and appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. The applicant is not exceeding the lot width of the existing Market and Main multi-unit building lots in the immediate area where the ARB approved this same waiver request. Constructing a multi-unit building on this site is appropriate due to the context in which it is located and that these buildings are typically located on larger, wider lots.
4. It appears that granting the waiver is necessary for reasons of fairness due to unusual site-specific constraints and characteristics. On March 11, 2013 the ARB approved a waiver to allow the

multi-unit building typology to be developed on this site which is located within the Core Residential sub-district where this building typology is not permitted by right (ARB-02-2013). This building typology is typically developed on larger and wider lots, like the Market and Main multi-unit lots which are immediately adjacent to this site where the ARB granted the same waiver request (ARB-31-2016). This existing lot width condition is at no fault of the applicant as it is an existing, non-conforming condition that the Urban Center Code does not take into consideration.

5. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

(B) Waiver to UCC Section 2.69(c) to allow the rear yard setback (McDonald Lane) to be 7.5+/- feet where code requires a minimum 15-foot setback.

The following should be considered in the board's decision:

1. Urban Center Code Section 2.69(c) states that the required rear yard setback for a multi-unit building is 15 feet. The applicant proposes a 7.5+/- foot setback along the rear property line (McDonald Lane), therefore a waiver is required. Due to the unique shape of the lot and curvature of McDonald Lane, the setback line varies along the rear yard lot line and only a portion of the building encroaches into this setback.
2. The intent of this requirement is to encourage private parking to be located there. The Urban Center Code's rear yard is a building setback but parking lot and detached structures are permitting to be setback between zero and five feet from the alley. The applicant is meeting this intent by providing underground parking within the footprint of the building, that is accessed in the rear yard off of McDonald Lane. Due to the fact that the applicant is providing underground parking, a larger rear yard is not necessary to be provided.
3. The Urban Center Code does not contemplate underground parking. The closest building typology that contemplates providing parking within the footprint of a structure is a coach house which is described as a detached structure, typically constructed as part of a covered parking structure. If one were to be constructed at this site as part of this development it would be permitted have a 0-foot setback from McDonald Lane which is an alley. While the applicant is not meeting the primary building setback requirement, they are providing the parking area at the rear of the building, adjacent to the alley as contemplated for other parking structures in the Urban Center Code. For this reason, the smaller setback at the rear yard provides an appropriate pattern of development considering the context in which it is located.
4. It appears that granting the waiver is necessary for reasons of fairness due to unusual site-specific constraints and characteristics. This is an existing lot that is uniquely shaped due to the curvature of McDonald Lane which runs along the rear property line. Due to this curve, the setback line varies along the rear lot line, placing unique constraints on the applicant to meet the requirement. While the applicant is encroaching into the setback area, it is not along the entire length of the lot line and the encroachments are greater at the bends in the road.
5. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

(C) Waiver to UCC Section 2.71.2 to allow 17 parking spaces to be provided on site where code allows a maximum of 12.

The following should be considered in the board's decision:

1. Urban Center Code Section 2.69 states that multi-unit buildings are permitted to provide a maximum of one off-street parking space per unit plus an additional ½ space is permitted for each additional bedroom in the building. There are 8 units and 16 bedrooms in the building therefore the applicant is permitted to provide a maximum of 12 off street parking spaces. The applicant is exceeding this maximum by providing 17 spaces in the parking garage therefore a waiver is required.

2. The intent of code requirement is to discourage excessively large surface parking lots. The applicant is meeting this requirement as they are providing all of the parking underground, within the footprint of the building thereby substantially meeting the intent of the standard that the applicant is attempting to seek a waiver.
3. While the applicant is exceeding the maximum number of parking spaces allowed, they are providing one parking space per bedroom to ensure that there is sufficient parking on site to handle the maximum demand that can be generated from the development. This is the same number of parking spaces and ratio provided for the existing Market and Main multi-unit buildings where this same waiver was granted (ARB-31-2016). For these reasons, granting the waiver provides an appropriate pattern of development considering the context in which the development is located.
4. It appears that granting the waiver is necessary for reasons of fairness due to unusual site-specific constraints and characteristics. The Urban Center Code does not consider underground parking lot development within the footprint of a multi-unit building. The intent of this requirement is to discourage excessively large surface parking lots from being developed. Providing underground parking at this site eliminates all of these visual and physical concerns and because the Urban Center Code does not consider this unique site condition, the applicant is still required to seek a waiver.
5. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

IV. RECOMMENDATION

The Architectural Review Board should evaluate the overall proposal based on the requirements in the Design Guidelines and Requirements, Urban Center Code, and city Codified Ordinances. This site is unique in the Village Center as it is located in between two different architectural form contexts. One is Richmond Square where traditional, Georgian rowhouse architecture is employed and the other being the existing Market and Main multi-unit buildings. The applicant has successfully pulled cues from the existing Richmond Square architecture while building a multi-unit structure that also relates to the existing Market and Main multi-unit buildings. This is accomplished by the use of similar high-quality building materials, the building's shape and proportion, the use of parapet walls and side gabled roof forms employed on adjacent structures. Further, the applicant proposes to match the existing Main Street streetscape which ensures that a consistent, welcoming pedestrian environment will continue to be achieved along this road. All of these elements contribute to providing an appropriate gateway into the Village Center on Main Street.

While the existing lot width exceeds the maximum of 200 feet, the applicant is substantially meeting the intent of this requirement by providing an attractive building elevation along the Main Street road frontage by providing breaks and recesses in the architecture. The applicant is also providing underground parking within the footprint of the building, something that is not contemplated in the Urban Center Code but goes above and beyond the goal to minimize the size of surface parking lots. Due to this unique development strategy, it appears to appropriate to allow a greater number of parking spaces on the site and allow the building to be located closer to the rear property line as the spaces are screened and there is no longer a need to provide additional space in the rear yard for parking.

V. ACTION

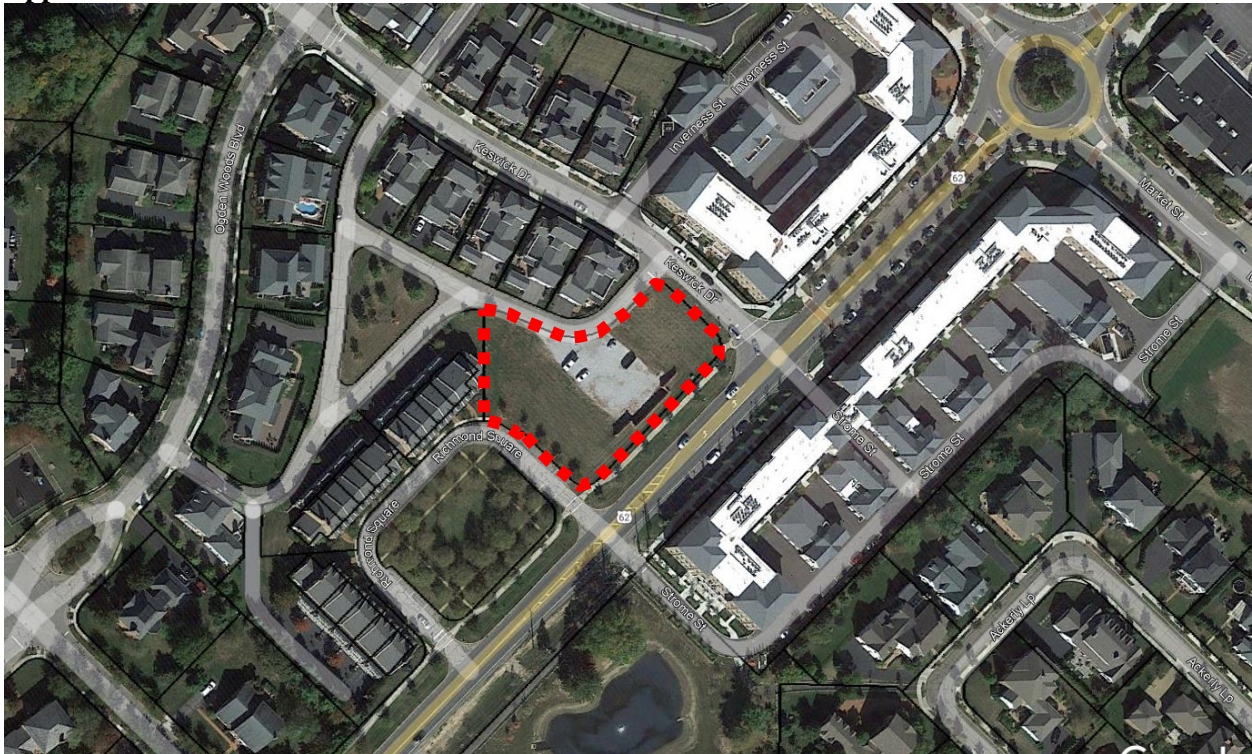
Should the ARB find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

Move to approve application ARB-136-2021 subject to the following conditions of approval:

1. If a composite material is to be used for trim and/or screening elements, the use and type of material is subject to staff approval.

2. Brick jack arches or headers as well as cornice, belt courses and parapet caps' detailing are subject to the city architect's approval.
3. The rooftop screening must be provided to the top of the mechanical units, subject to staff approval.
4. The existing utility boxes along Main Street must either be vaulted or relocated to behind the existing sidewalk, subject to the city engineer's approval.
5. A landscape plan must be submitted and meet all city landscape code requirements, subject to staff approval.
6. The proposed urn must be relocated outside of the right-of-way and the applicant must enter into an agreement with the city that the proposed courtyard landscaping be maintained by the property owner, and not the city, in perpetuity.
7. A lighting plan must be submitted and is subject to staff approval.
8. A 6-foot sidewalk be added along Richmond Square and connected into the existing sidewalk sections along both Richmond Square and Main Street, subject to staff approval.
9. The bicycle parking spaces must be relocated outside of the right-of-way, subject to staff approval.

Approximate Site Location:



Source: Google Earth

Permit # _____
Board _____
Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>Richmond Square & Main Street</u>																																																										
	Parcel Numbers <u>222-003934</u>																																																										
	Acres <u>0.75 Acres</u> # of lots created <u>N/A</u>																																																										
Choose Application Type	Circle all Details that Apply																																																										
	<table><tr><td><input type="checkbox"/> Appeal</td><td></td><td></td><td></td><td></td></tr><tr><td><input checked="" type="checkbox"/> Certificate of Appropriateness ARB</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Conditional Use</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Development Plan</td><td>Preliminary</td><td>Final</td><td>Comprehensive</td><td>Amendment</td></tr><tr><td><input type="checkbox"/> Plat</td><td>Preliminary</td><td>Final</td><td></td><td></td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td>Combination</td><td>Split</td><td>Adjustment</td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Vacation</td><td>Easement</td><td></td><td>Street</td><td></td></tr><tr><td><input type="checkbox"/> Variance</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Extension Request</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Zoning</td><td>Amendment (rezoning)</td><td></td><td>Text Modification</td><td></td></tr></table>					<input type="checkbox"/> Appeal					<input checked="" type="checkbox"/> Certificate of Appropriateness ARB					<input type="checkbox"/> Conditional Use					<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment	<input type="checkbox"/> Plat	Preliminary	Final			<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment		<input type="checkbox"/> Minor Commercial Subdivision					<input type="checkbox"/> Vacation	Easement		Street		<input type="checkbox"/> Variance					<input type="checkbox"/> Extension Request					<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification
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<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification																																																								
Description of Request:	<u>First phase of 3 story condominium building with 8 units and a lower level parking garage between Richmond Square and Keswick Drive on the west side of Main Street.</u>																																																										
Contacts	Property Owner's Name: <u>Richmond Acquisition LLC</u>																																																										
	Address: <u>8000 Walton Parkway, Suite 120</u> City, State, Zip: <u>New Albany, OH 43054</u> Phone number: <u>(614) 939-8000</u> Fax: _____ Email: <u>TRubey@newalbanycompany.com</u>																																																										
Applicant's Name:	<u>Richmond Main Investments, LLC</u>																																																										
	Address: <u>4016 Townsfair Way, Suite 201</u> City, State, Zip: <u>Columbus, OH 43219</u> Phone number: <u>(614) 414-7300</u> Fax: _____ Email: <u>dfurukawa@steiner.com</u>																																																										
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																																																										
	Signature of Owner <u>[Signature]</u> Date: <u>12-10-21</u> Signature of Applicant <u>[Signature]</u> Date: <u>DEC. 2021</u>																																																										



MALETZ ARCHITECTURE & BUILD
11 SOUTH HIGH STREET
NEW ALBANY, OHIO 43054

(614) 973-9450
andrew@maletzarchitects.com

12/28/21

Architectural Review Board
99 West Main Street
New Albany, OH 43054

RE: Richmond Square

To Whom It May Concern:

This letter is intended to provide additional architectural clarification associated with the proposed Richmond Square Phase I development, pertaining to the Village Center Residential Design Guidelines and Requirements (DGR).

The architectural language exhibited on Richmond Square (Phase I) pulls from architectural cues within the existing Richmond Square context. The typology, while still condominiums, are structured in a Federal style format in lieu of the existing townhouse style as desired by market research and demand. This shift in structure is express appropriately in the Richmond Square Phase I iteration and brings forth additional tradition Georgian architectural characteristics. All introduced characteristics are present in many Georgian terraced row townhouses within the London fabric as classical precedence for the American Georgian style. All elements have been carefully examined and approved by the New Albany Architectural Review Committee and RAMSA (Robert AM Stern Architects) in New York.

As for the primary entrance, facing main street in anticipation of Phase I, will be along the front façade of the whole development. While the entrance is set back from the street, it is done so intentionally to provide a sense of procession from the street up into an enclosed courtyard as referenced in the DGR's. This affect is to shelter the visitor from the bustling public realm into a private entrance court clearly marked by steps with flanking symmetrical ramped sidewalks and landscaping. This design concept will be replicated at the centrally located entrance for Richmond Square Phase II.

Sincerely,
Maletz Architects Inc.

Andrew S. Maletz, Architect
Ohio License #99-12452

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
CERTIFICATE OF APPROPRIATENESS
FOR
RICHMOND SQUARE
2021

GENERAL NOTES

NOTE "A": AGRICULTURAL RECOUPMENT: GRANTOR, BEING THE DULY AUTHORIZED REPRESENTATIVE OF THE DEVELOPER Dedicating the property described in this plat, hereby agrees that grantor will indemnify the City of New Albany, Ohio, for and hold it harmless from any agricultural recoupments assessed or levied in the future against the property dedicated herein which result from grantor's conversion of the property from agricultural use.

NOTE "B": ALL OF THE AREA HEREBY PLATTED ARE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR FRANKLIN, COUNTY, OHIO AND INCORPORATED AREAS, MAP NUMBERED 39049C0212 K WITH EFFECTIVE DATE OF JUNE 17, 2008.

NOTE "C": VEHICULAR ACCESS: NO VEHICULAR ACCESS TO BE IN EFFECT UNTIL SUCH TIME AS THE PUBLIC RIGHT--OF--WAY IS EXTENDED BY PLAT OR DEED.

NOTE "D": NO FIRE HYDRANTS SHALL BE LOCATED IN A RADIUS.

NOTE "E": STREET LIGHTS AND TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ALBANY STANDARDS AND CONSISTENT WITH EXISTING COUNTRY CLUB COMMUNITIES.

NOTE "F": ANY FENCE OR ENTRANCE FEATURE THAT WILL ENCROACH INTO THE RIGHT OF WAY WILL REQUIRE A CODE VARIANCE AND A RIGHT A WAY PERMIT. SUCH FENCES SHALL CONFORM TO A DESIGN AND BE LOCATED ONLY AT SUCH LOCATIONS AS MAY BE APPROVED BY THE CITY OF NEW ALBANY AND THE DESIGN REVIEW COMMITTEE OF THE NEW ALBANY COUNTRY CLUB ASSOCIATION, INC. THE CITY OF NEW ALBANY OR THEIR DESIGNEE SHALL HAVE THE RIGHT TO REMOVE SUCH FENCES AS NECESSARY TO PERFORM ANY MAINTENANCE, REPAIR OR REPLACEMENT OF UTILITIES OR ROADWAY WITHIN SUCH RIGHTS--OF--WAY. THE CITY OF NEW ALBANY OR THEIR DESIGNEE SHALL HAVE NO LIABILITY TO THE OWNERS OF SUCH LOTS FOR SUCH REMOVAL. IF THE CITY OF NEW ALBANY OR THEIR DESIGNEE, SO REMOVES ANY SUCH FENCES, THE HOMEOWNER'S ASSOCIATION SHALL, PROMPTLY AFTER COMPLETION OF WORK BY THE CITY OF NEW ALBANY OR THEIR DESIGNEE, REPLACE SUCH FENCES.

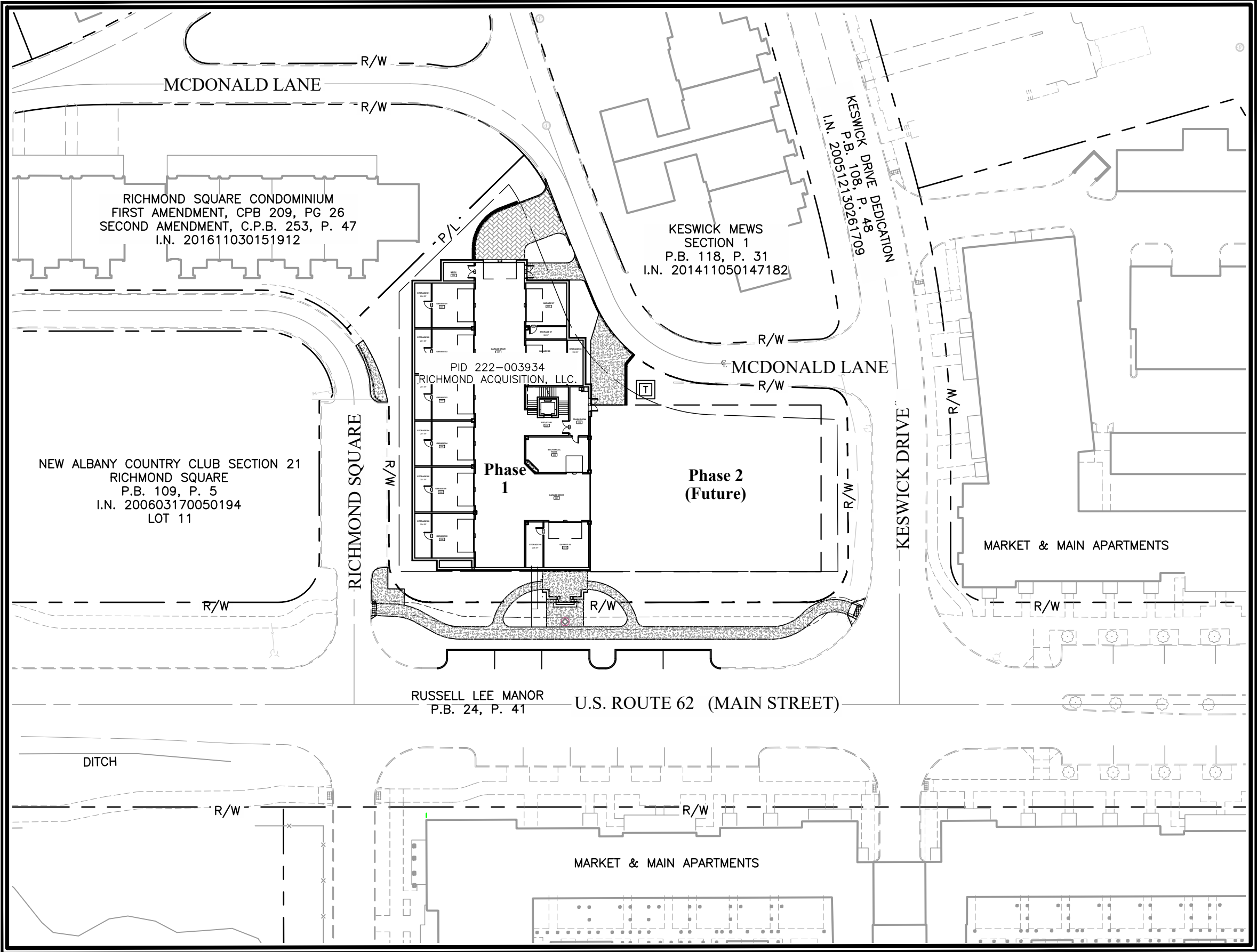
SITE DATA

PARCEL I.D. NUMBER:	222--003934
ACREAGE:	0.75 Acres
ZONING:	Urban Center
PARKING SUMMARY:	
EXISTING STREET PARKING SPACES	16
PROPOSED GARAGE PARKING SPACES	17
PROPOSED STREET SPACES (MAIN ST.)	5
BUILDING SUMMARY:	
PROPOSED UNITS	8
PROPOSED BEDROOMS	16

PARKING NARRATIVE

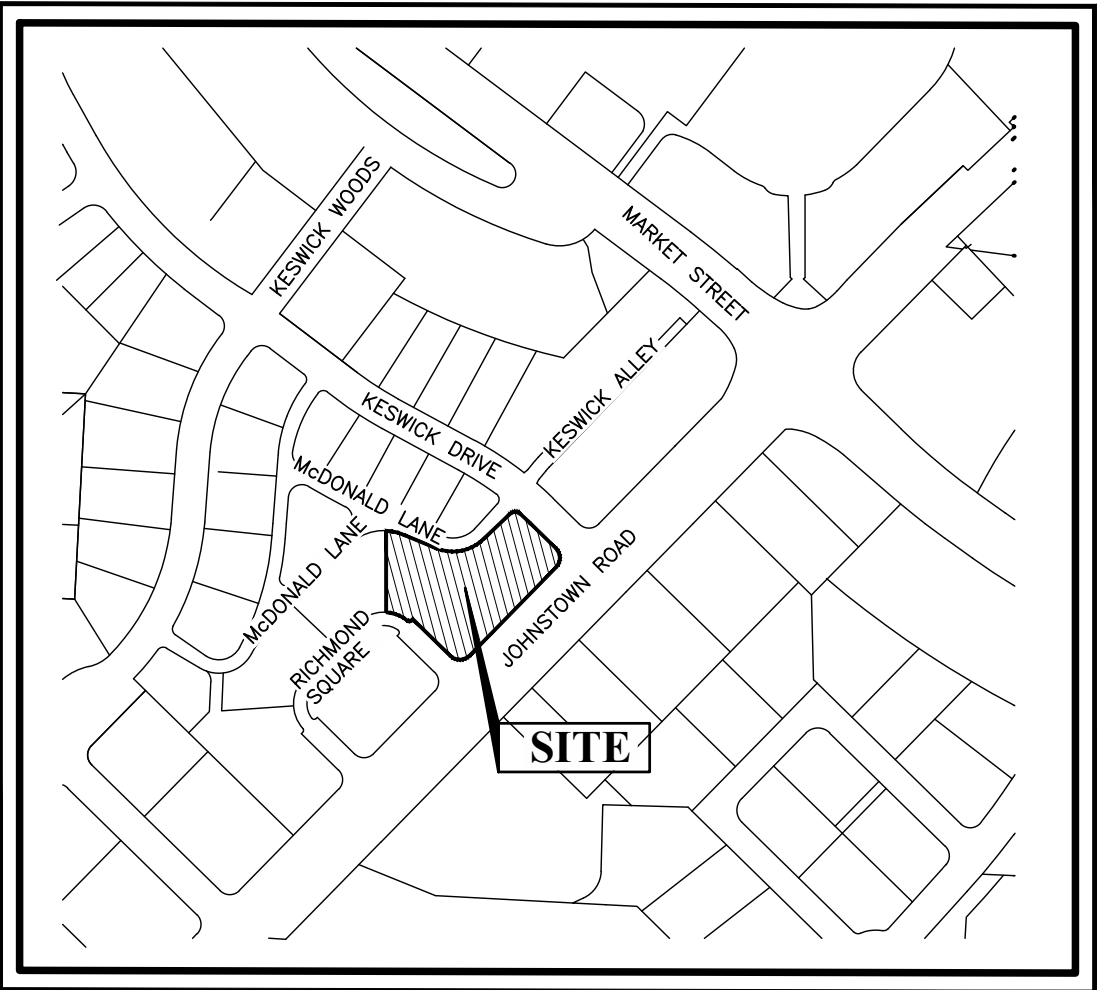
THE PROPOSED CONDOMINIUM PROJECT WILL PROVIDE MORE THAN ONE PARKING SPACE PER BEDROOM WITHIN THE LOWER LEVEL GARAGE, AND FIVE ADDITIONAL ON STREET PARKING SPACES WILL BE ADDED ON MAIN STREET. THE GARAGE ALSO INCLUDES STORAGE SPACE ON THE SIDES OF EACH GARAGE, AND A DEDICATED 200 SQUARE FOOT STORAGE ROOM FOR EACH UNIT. THIS ADDITIONAL STORAGE CONTRIBUTES TO THE PARKING DEMAND SO THAT THE GARAGE PARKING AREA CAN BE DEDICATED FOR VEHICLES.

ADDITIONALLY, THERE ARE 8 ON STREET PARKING SPACES IMMEDIATELY ADJACENT TO THE NEW BUILDING ON RICHMOND SQUARE, AND 8 ADDITIONAL ON STREET PARKING SPACES ON THE OPPOSITE SIDE OF RICHMOND SQUARE. THESE 16 TOTAL ON STREET SPACES WILL BE SHARED WITH THE 13 EXISTING UNITS WITHIN RICHMOND SQUARE, BUT ALL OF THESE EXISTING UNITS HAVE ACCESS TO 2 GARAGE SPACES AND 2 DRIVEWAY SPACES THAT REDUCE THE DEMAND FOR THE RICHMOND SQUARE SPACES.



INDEX MAP

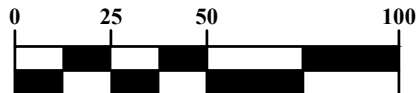
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VICINITY MAP

Not to Scale

GRAPHIC SCALE



1 inch = 50 feet

SHEET INDEX

TITLE SHEET	1
EXISTING CONDITIONS	2
SITE PLAN	3
GRADING & UTILITY PLAN	4
LANDSCAPE PLAN (BY MKSK)	L1.0

DEVELOPER

Richmond Main Investments, LLC.
4016 Townsair Way, Suite 201
Columbus, Ohio 43219
Tel: (614) 414-7300
dfurukawa@steiner.com

OWNER

Richmond Acquisition, LLC
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054
Tel: (614) 939-8000
TRubey@newalbanycompany.com

ENGINEER

EMH&T Inc.
Brian Quackenbush, PE
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614) 775-4390
bquackenbush@emht.com

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
CERTIFICATE OF APPROPRIATENESS
FOR
RICHMOND SQUARE
TITLE SHEET

EMH&T
Brian Quackenbush, PE
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614) 775-4390
bquackenbush@emht.com

DATE
DECEMBER 10, 2021

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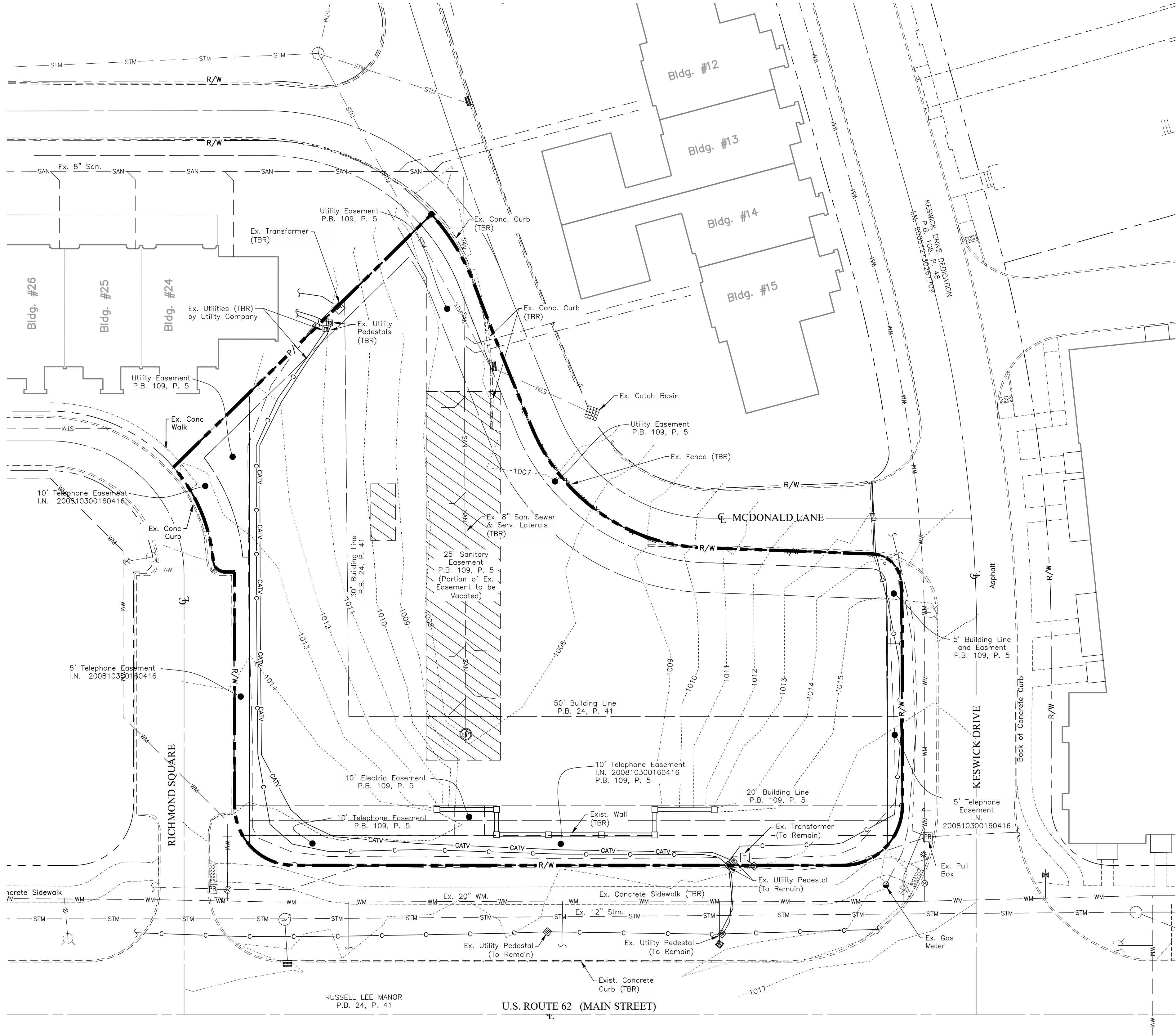
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20210240

SHEET
1 / 4

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REVISIONS
RICHMOND MAIN INVESTMENTS, LLC.

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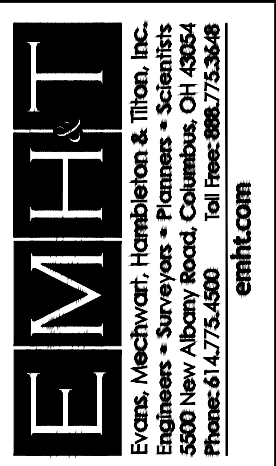


LEGEND	
Sign	Gas Marker Post
Telephone Pedestal Box	Sprinkler Control Box
Light Pole	Water Service
Electric Access Cover	Fire Hydrant
Electric Transformer	Water Valve
Electric Pull Box	WM — Water Line
Sanitary Sewer Manhole	GM — Gas Line
Catch Basin	STM — Storm Line
Storm Sewer Grate Manhole	E — Underground Electric
	C — Underground Communication
	CATV — Cable TV

REVISIONS		
MARK	DATE	DESCRIPTION
1	12/29/21	Revised per City Comments

RICHMOND MAIN INVESTMENTS, LLC.

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
CERTIFICATE OF APPROPRIATENESS
FOR
RICHMOND SQUARE
EXISTING CONDITIONS



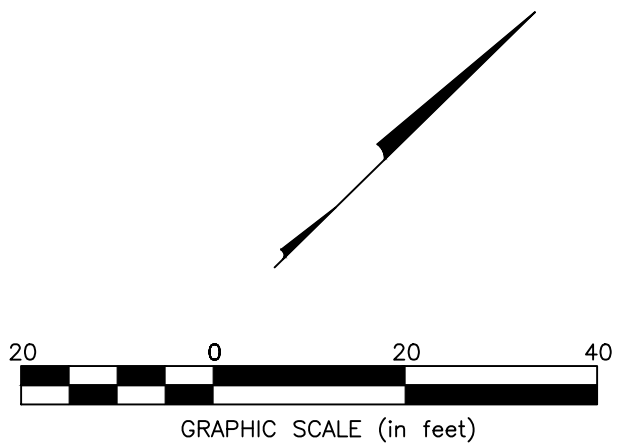
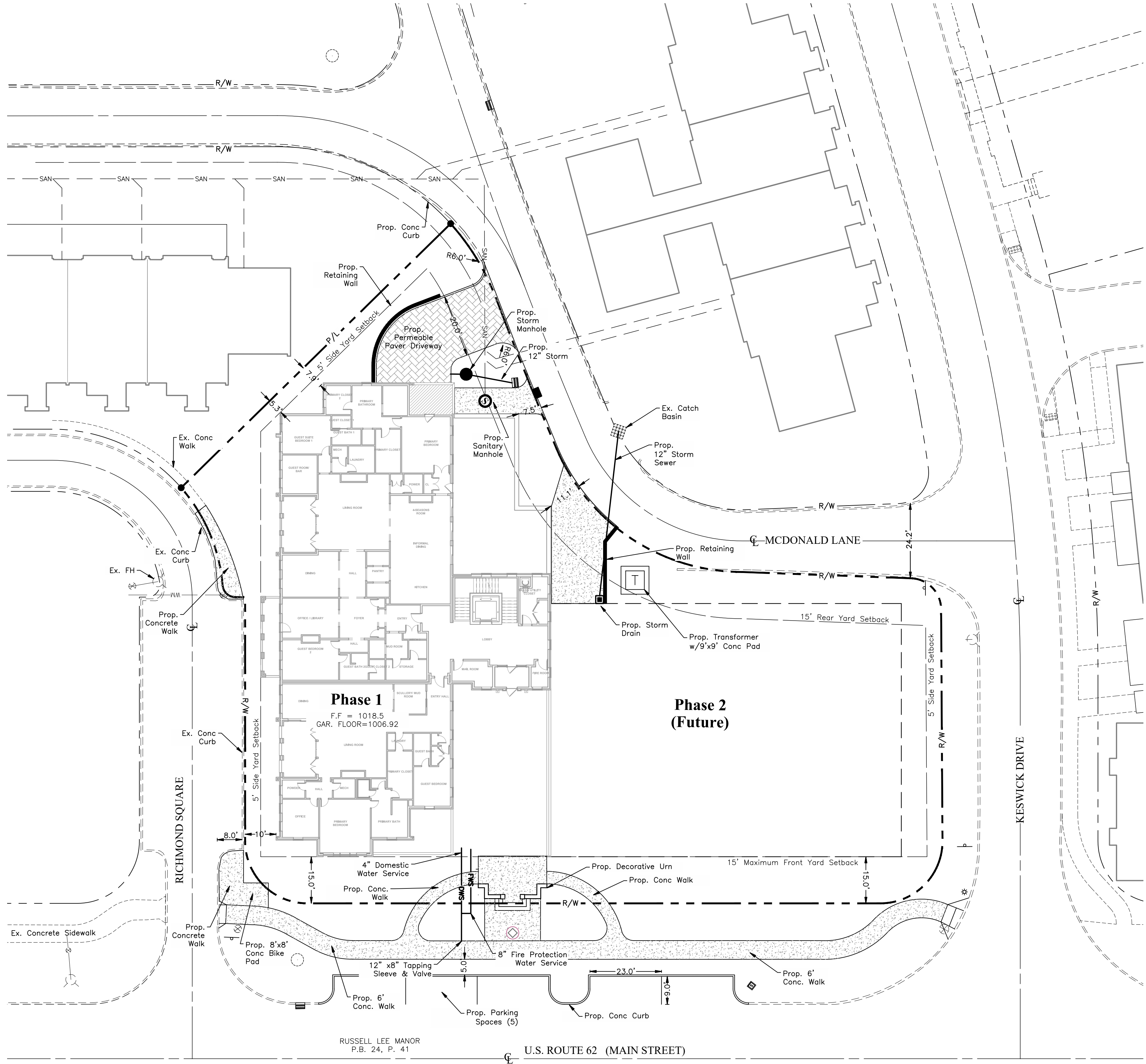
DATE
DECEMBER 10, 2021

SCALE
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JOB NO.
20210240

SHEET
2 / 4

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LEGEND	
Sign	Gas Marker Post
Telephone Pedestal Box	Sprinkler Control Box
Light Pole	Water Service
Electric Access Cover	Fire Hydrant
Electric Transformer	Water Valve
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Storm Sewer Grate Manhole	E Underground Electric
	C Underground Communication
	CATV Cable TV

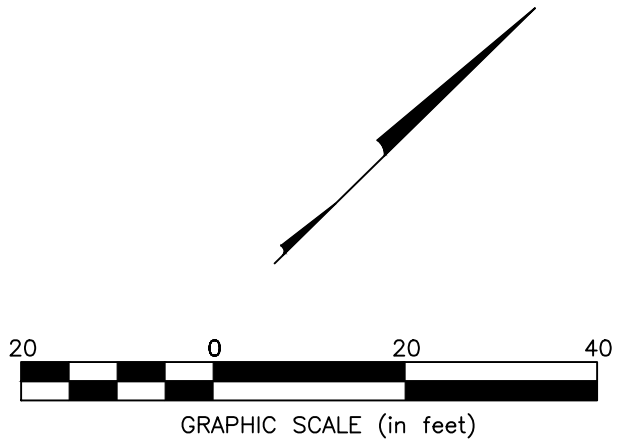
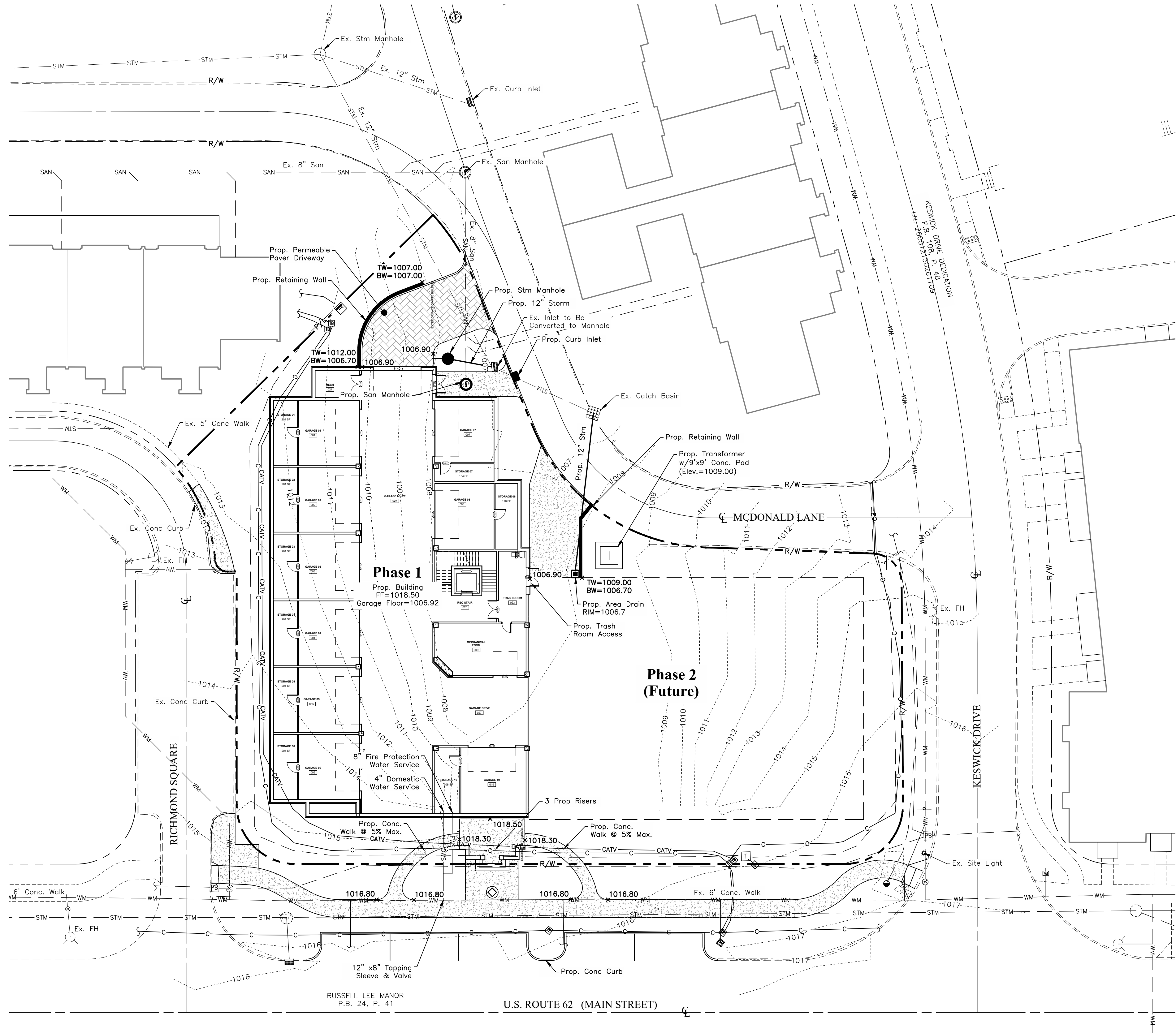
REVISIONS		
MARK	DATE	DESCRIPTION
1	12/29/21	Revised per City Comments

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
CERTIFICATE OF APPROPRIATENESS
FOR
RICHMOND SQUARE
SITE PLAN

EMHT
Engineering, Mapping, Hydrology & Technology, Inc.
Engineers - Surveyors - Planners - Scientists
5600 New Albany Road, Columbus, OH 43264
Phone 614/751-6500 Toll Free 888/751-6500
emht.com

DATE	DECEMBER 10, 2021
SCALE	1" = 20'
JOB NO.	20210240
SHEET	3 / 4

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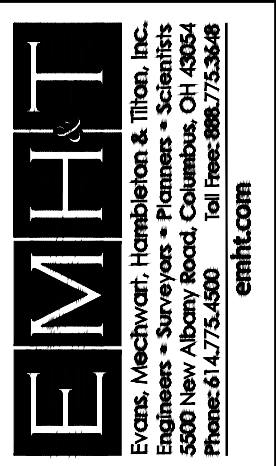


LEGEND	
Sign	Gas Marker Post
Telephone Pedestal Box	Sprinkler Control Box
Light Pole	Water Service
Electric Access Cover	Fire Hydrant
Electric Transformer	Water Valve
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REVISIONS		
MARK	DATE	DESCRIPTION
1	12/28/21	Revised per City Comments

RICHMOND MAIN INVESTMENTS, LLC.

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
CERTIFICATE OF APPROPRIATENESS
FOR
RICHMOND SQUARE
GRADING & UTILITY PLAN

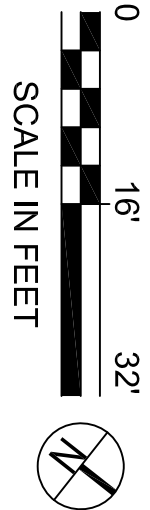


DATE
DECEMBER 10, 2021

SCALE
1" = 20'

JOB NO.
20210240

SHEET
4 / 4



Sheet Key:

= SHADE TREE

= SMALL ORNAMENTAL TREE

= COLUMNAR TREE

= SCREEN HEDGE

= LOW FORMAL EVERGREEN HEDGE

= PYRAMIDAL EVERGREEN

= FLOWERING DECIDUOUS SHRUB

= POTTED COLUMNAR EVERGREEN

= GROUNDCOVER BORDER OF LOW DECIDUOUS SHRUB, EVERGREEN GROUNDCOVER, OR PERENNIALS

client / developer
Richmond Main Investments, LLC

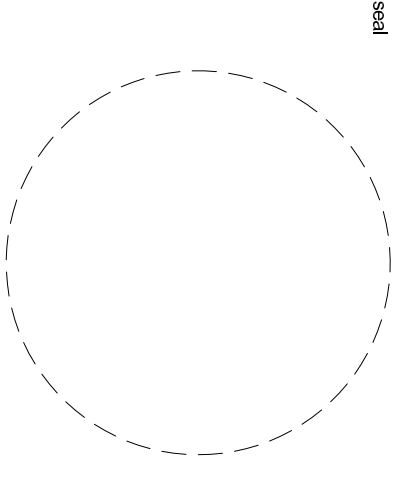
project name
**RICHMOND
SQUARE**

project address
City of New Albany
Franklin County, Ohio

consultant 1
Malitz Architects, Inc.
4075 Chelsea Green W.
New Albany, Ohio 43054
P 614.973.3450
consultant 2
EWMKT
5500 New Albany Road W
New Albany, Ohio 43054
P 614.775.4500

CHECK SET
Not For Construction

revision	date	issued



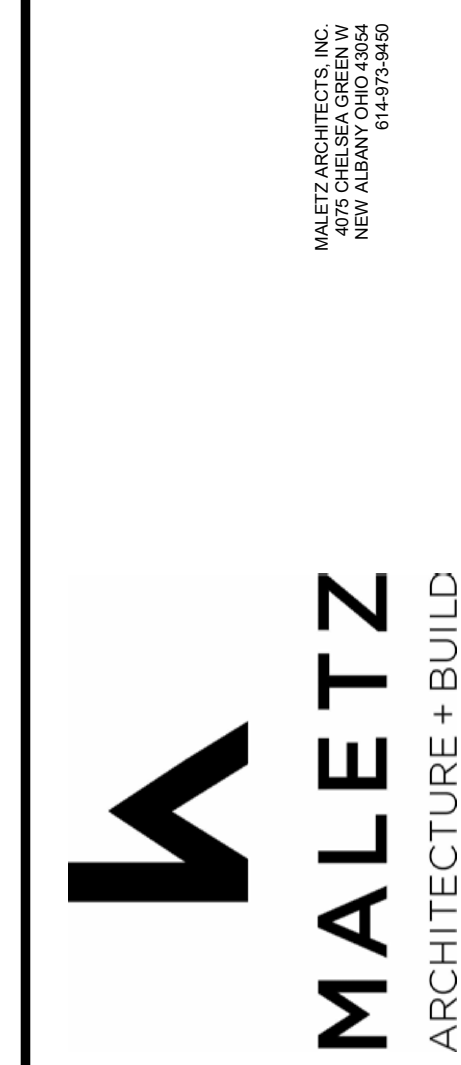
issue date	project number
12.10.2021	621303

sheet name
**SITE LANDSCAPE
PLAN**

L1.0



**JOHNSTOWN ROAD
NEW ALBANY, OH 43054**



JOHNSTOWN ROAD
NEW ALBANY.OH 43054

REVISIONS	
#	Description

AERIAL MAP

PROPOSED SITE



THE PROPOSED STRUCTURE SHALL CONSIST OF 3-STORY MULTI-FAMILY LUXURY CONDOMINIUM BUILT UP FROM A CONCRETE PODIUM PARKING GARAGE. THE STRUCTURE CONSIST OF EIGHT UNITS WITH EIGHT DEDICATED GARAGES. THE NEW STRUCTURE SHALL UTILIZE THE EXISTING UTILITY SERVICE ROUTING LOCATED ON THE PROPERTY. SITE GRADING SHALL BE CONSISTENT WITH THE NEW ALBANY MASTER GRADING PLAN AND SITE PAVING REQUIREMENTS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OHIO BUILDING CODE, AND IN COMPLIANCE WITH THE RULES AND REGULATIONS OF NEW ALBANY DEVELOPMENT REQUIREMENTS.

PROJECT CONTACTS

ARCHITECT

MALETZ ARCHITECTS, INC.
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CODE INFORMATION

BUILDING	2017 OHIO BUILDING CODE
PLUMBING	2017 OHIO PLUMBING CODE
MECHANICAL	2017 OHIO MECHANICAL CODE
ELECTRICAL	2017 NATIONAL ELECTRICAL CODE
ENERGY	2009 INTERNATIONAL ENERGY CONSERVATION CODE; CHAPTER 11 2017 OBC
FIRE	2017 OHIO FIRE CODE; NFPA 13 CODE

PROJECT INFORMATION

AREA CALCULATION - GROSS AREA PHASE 1

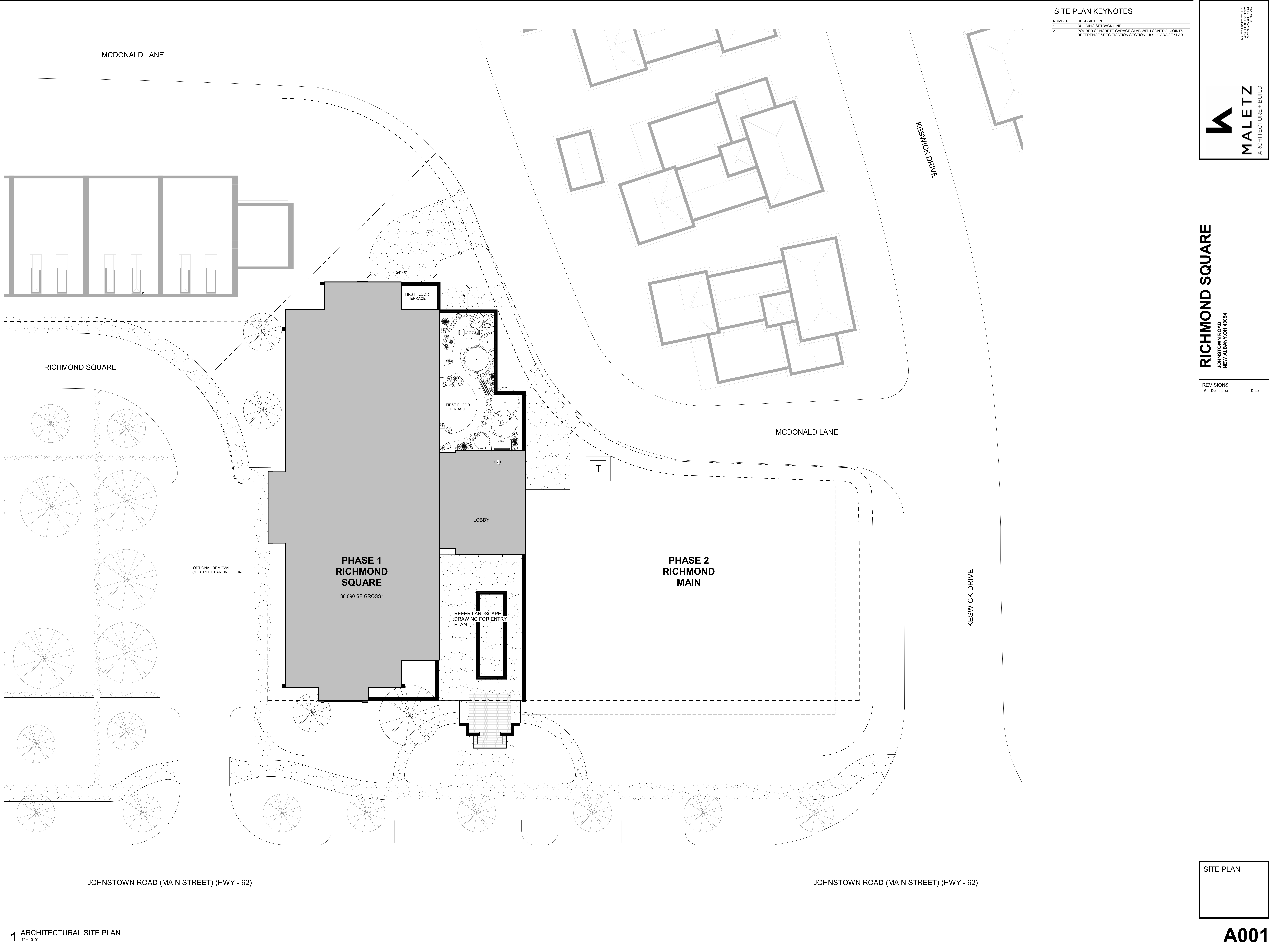
LEVEL	AREA	PERIMETER	COMMENTS
LEVEL 0 (GARAGE) - PHASE 1	12325 SF	478' - 3 29/32"	
LEVEL 1	9196 SF	495' - 2 29/32"	
LEVEL 2	9198 SF	495' - 5 3/16"	
LEVEL 3	7371 SF	454' - 4 5/8"	
TOTAL AREA	38090 SF		

AREA CALCULATION - NET AREA PHASE 1

LEVEL 0		AREA	COMMENTS
BUILDING COMMON AREA		4965 SF	
MECHANICAL AREA		919 SF	
UNIT GARAGE		4168 SF	
UNIT/UNIT GARAGE STORAGE		1751 SF	
TOTAL AREA		11803 SF	
LEVEL 1		AREA	COMMENTS
COVERED TERRACE		647 SF	
RSQ 101		2446 SF	
RSQ 102		1870 SF	
RSQ 103		2447 SF	
RSQ COMMON - 1ST FLOOR LOBBY		1002 SF	ELEVATOR LOBBY AND CORRIDOR
TERRACE		1433 SF	
TOTAL AREA		9844 SF	
LEVEL 2		AREA	COMMENTS
COVERED TERRACE		646 SF	
RSQ 201		2450 SF	
RSQ 202		1846 SF	
RSQ 203		2481 SF	
RSQ COMMON - 2ND FLOOR LOBBY		986 SF	ELEVATOR LOBBY AND CORRIDOR
TOTAL AREA		8408 SF	
LEVEL 3		AREA	COMMENTS
COVERED TERRACE		230 SF	
OPTIONAL TERRACE / GREENHOUSE		271 SF	
RSQ 301		2562 SF	
RSQ 302		2761 SF	
RSQ COMMON - 3RD FLOOR LOBBY		1029 SF	ELEVATOR LOBBY AND CORRIDOR
TERRACE		1337 SF	
TOTAL AREA		8190 SF	

COVER SHEET

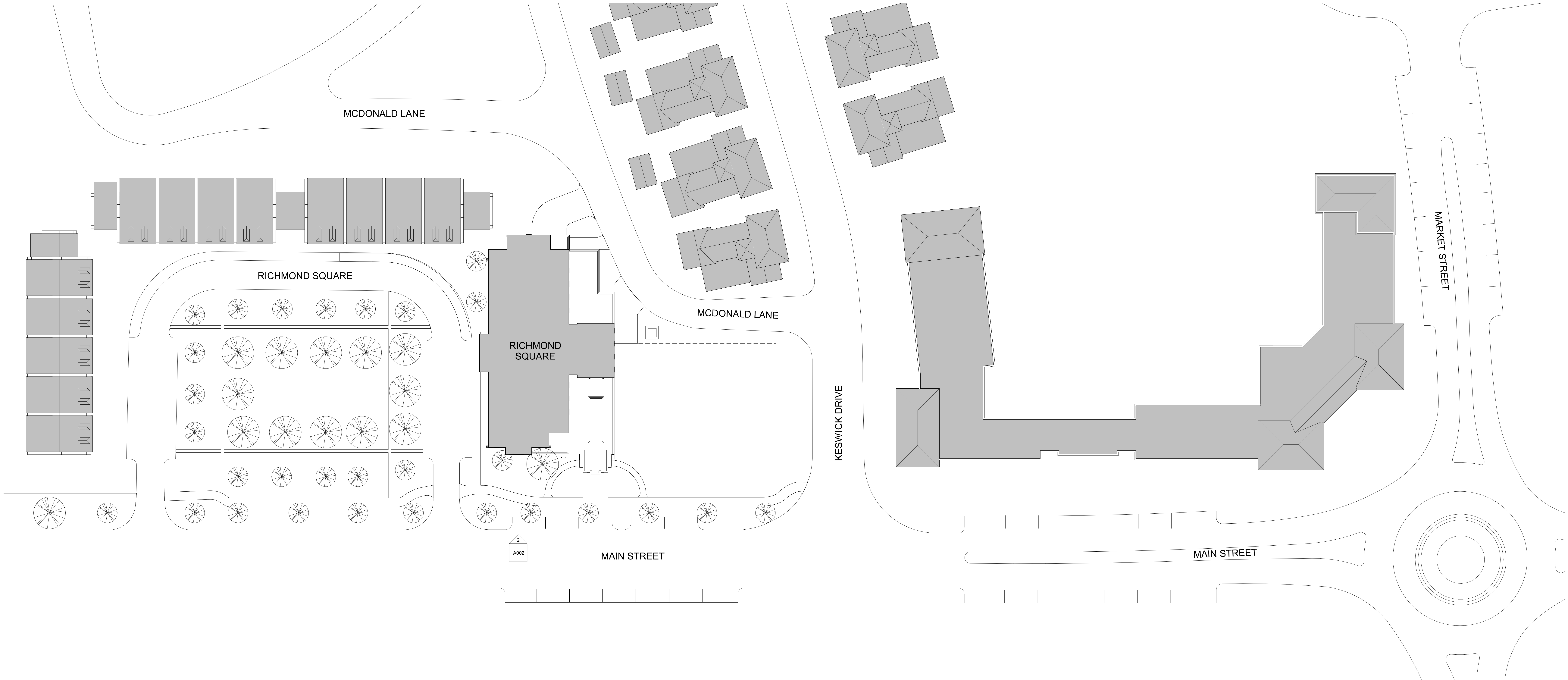
G001



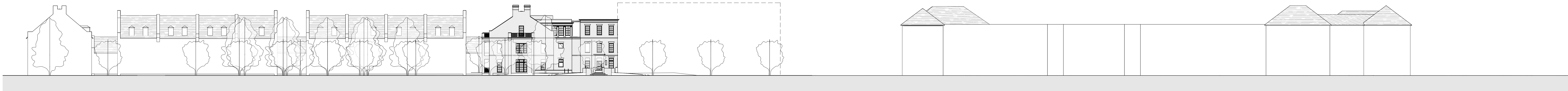
RICHMOND SQUARE
JOHNSTOWN ROAD
NEW ALBANY OH 43054

REVISIONS		
#	Description	Date

FOR REFERENCE ONLY



ARCHITECTURAL SITE PLAN



MAIN STREET ELEVATION



- GENERAL NOTES**
- A. REFERENCE FLOOR PLAN AND WALL PARTITION LEGEND FOR ATYPICAL WALL ASSEMBLIES.
 - B. ALL INTERIOR DIMENSIONS ARE FACE-TO-FACE OF "ROUGH" STUD WALLS.
 - C. ALL CEILING HEIGHTS TO BE SPECIFIED ON REFLECTED CEILING PLAN.
 - D. PROVIDE FIRESTOPPING OF HORIZONTAL AND VERTICAL CONCEALED SPACES IN STUD WALLS AND DROPPED SOFFITS.
 - E. PROVIDE HEAD FLASHING AT ALL EXTERIOR DOORS AND WINDOWS.

KEYNOTES

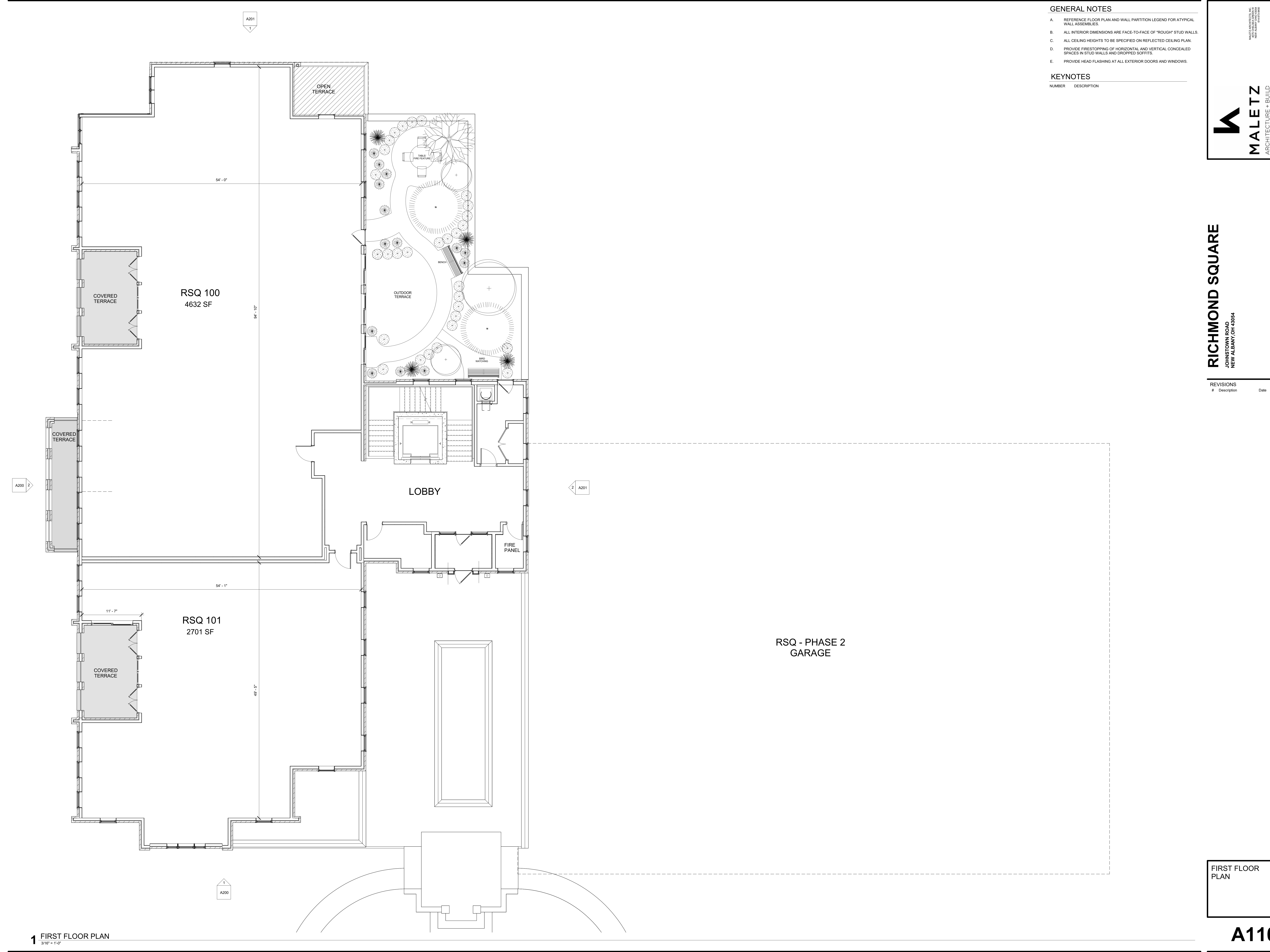
NUMBER	DESCRIPTION
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DOOR SCHEDULE - BASEMENT FLOOR				
MARK	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT
D-08	6'-0"	8'-0"	6'-4"	8'-4"
D-10	16'-0"	8'-0"	16'-2"	8'-1"
D-11	8'-0"	8'-0"	8'-2"	8'-1"

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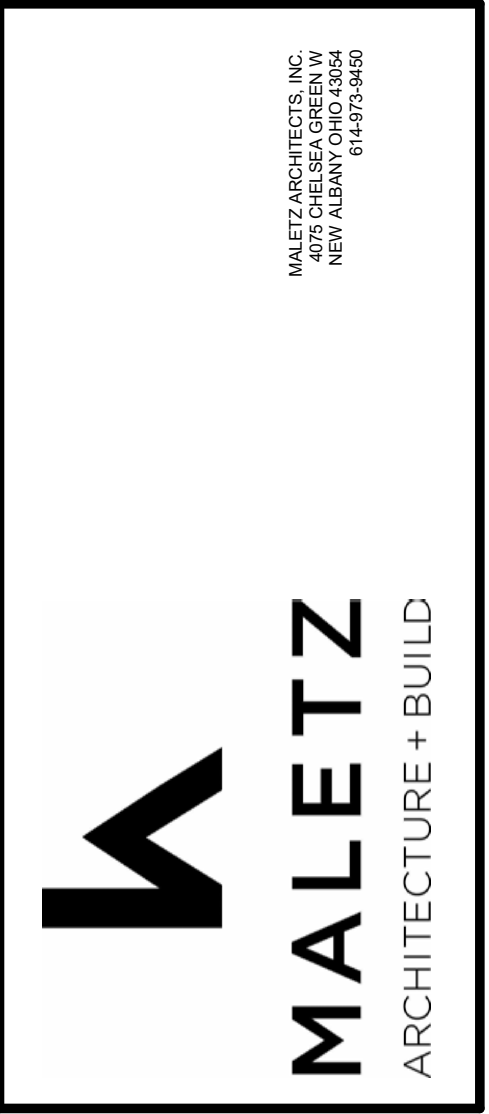
GARAGE FLOOR PLAN



- GENERAL NOTES**
- A. REFERENCE FLOOR PLAN AND WALL PARTITION LEGEND FOR ATYPICAL WALL ASSEMBLIES.
 - B. ALL INTERIOR DIMENSIONS ARE FACE-TO-FACE OF "ROUGH" STUD WALLS.
 - C. ALL CEILING HEIGHTS TO BE SPECIFIED ON REFLECTED CEILING PLAN.
 - D. PROVIDE FIRESTOPPING OF HORIZONTAL AND VERTICAL CONCEALED SPACES IN STUD WALLS AND DROPPED SOFFITS.
 - E. PROVIDE HEAD FLASHING AT ALL EXTERIOR DOORS AND WINDOWS.

KEYNOTES

NUMBER	DESCRIPTION
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FIRST FLOOR PLAN

A110

A201
1

RSQ 203
2682 SF

11' - 7"

COVERED
TERRACE

RSQ 202
1937 SF

CORRIDOR

54' - 1"

11' - 7"

COVERED
TERRACE

RSQ 201
2701 SF

A201
2

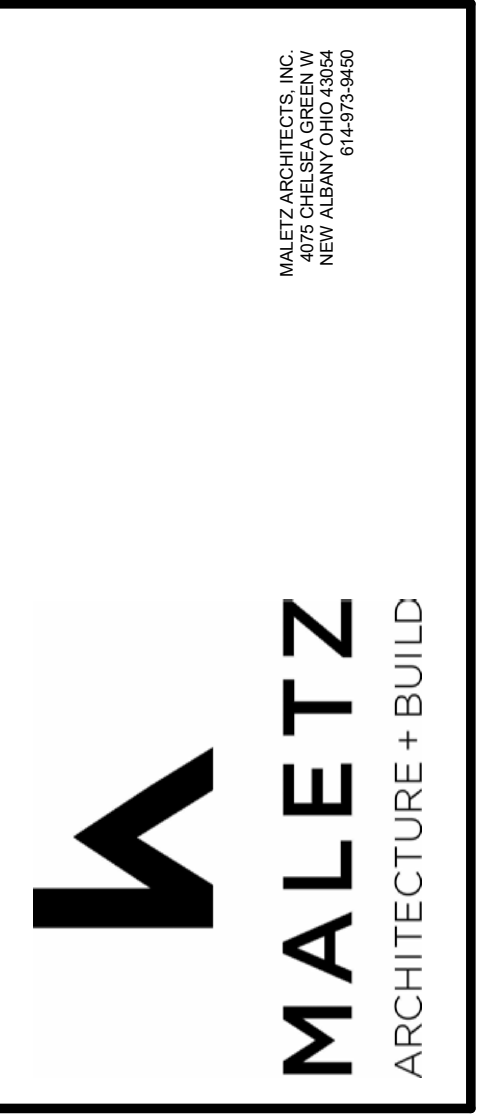
RSQ - PHASE 2
GARAGE

GENERAL NOTES

- A. REFERENCE FLOOR PLAN AND WALL PARTITION LEGEND FOR ATYPICAL WALL ASSEMBLIES.
- B. ALL INTERIOR DIMENSIONS ARE FACE-TO-FACE OF "ROUGH" STUD WALLS.
- C. ALL CEILING HEIGHTS TO BE SPECIFIED ON REFLECTED CEILING PLAN.
- D. PROVIDE FIRESTOPPING OF HORIZONTAL AND VERTICAL CONCEALED SPACES IN STUD WALLS AND DROPPED SOFFITS.
- E. PROVIDE HEAD FLASHING AT ALL EXTERIOR DOORS AND WINDOWS.

KEYNOTES

NUMBER DESCRIPTION

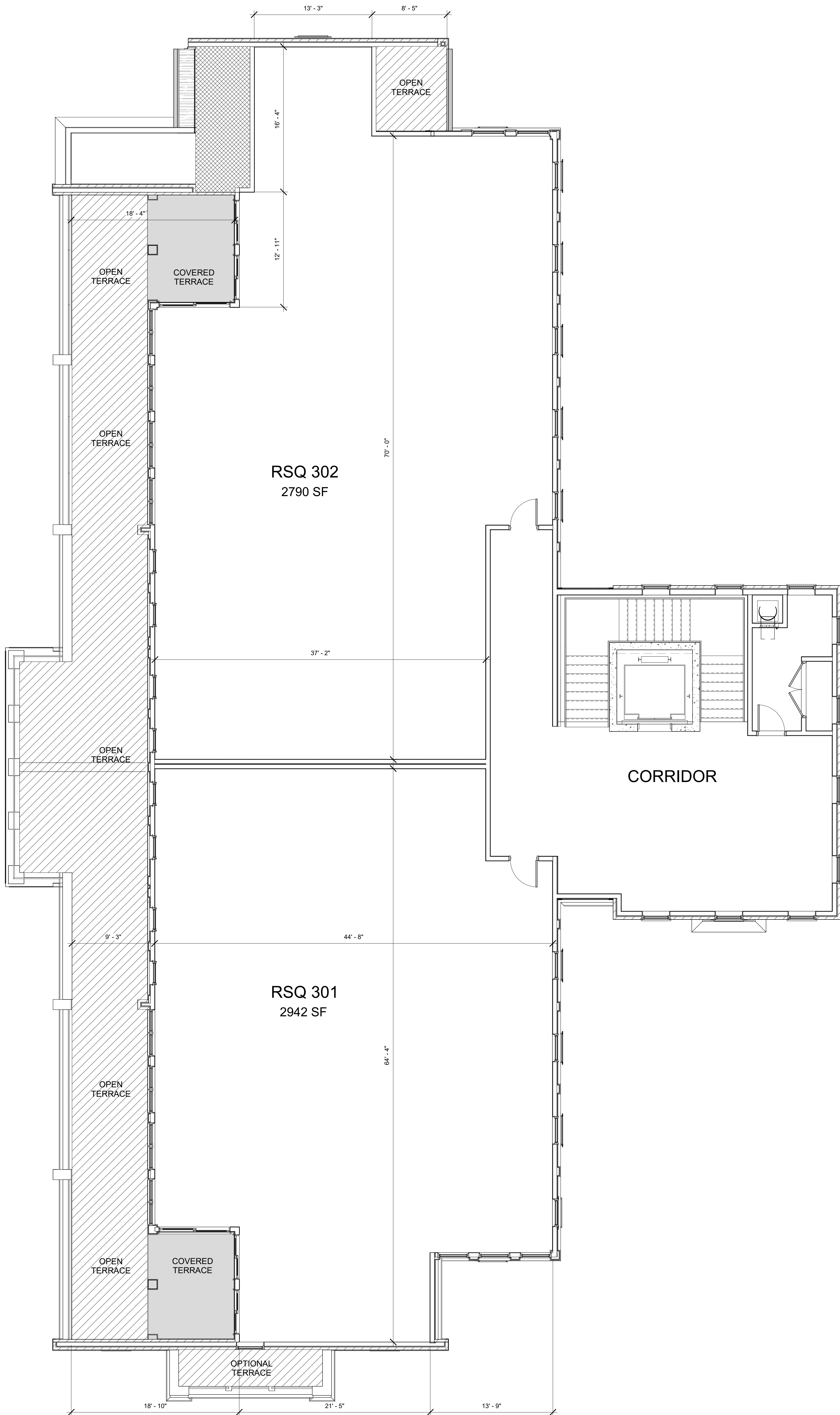


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REVISIONS		
#	Description	Date

SECOND FLOOR
PLAN

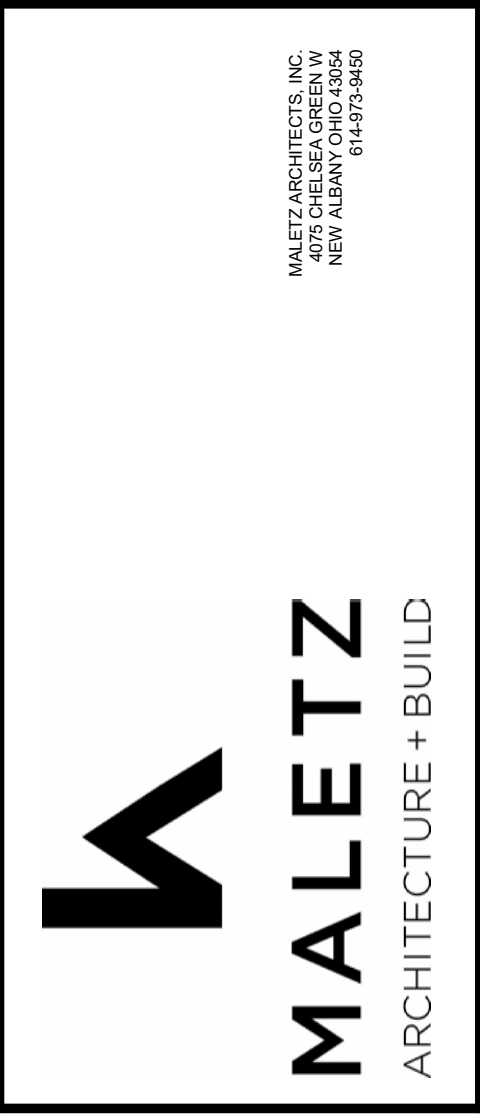
A120



- GENERAL NOTES**
- A. REFERENCE FLOOR PLAN AND WALL PARTITION LEGEND FOR ATYPICAL WALL ASSEMBLIES.
 - B. ALL INTERIOR DIMENSIONS ARE FACE-TO-FACE OF "ROUGH" STUD WALLS.
 - C. ALL CEILING HEIGHTS TO BE SPECIFIED ON REFLECTED CEILING PLAN.
 - D. PROVIDE FIRESTOPPING OF HORIZONTAL AND VERTICAL CONCEALED SPACES IN STUD WALLS AND DROPPED SOFFITS.
 - E. PROVIDE HEAD FLASHING AT ALL EXTERIOR DOORS AND WINDOWS.

KEYNOTES

NUMBER	DESCRIPTION
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THIRD FLOOR
PLAN

A130



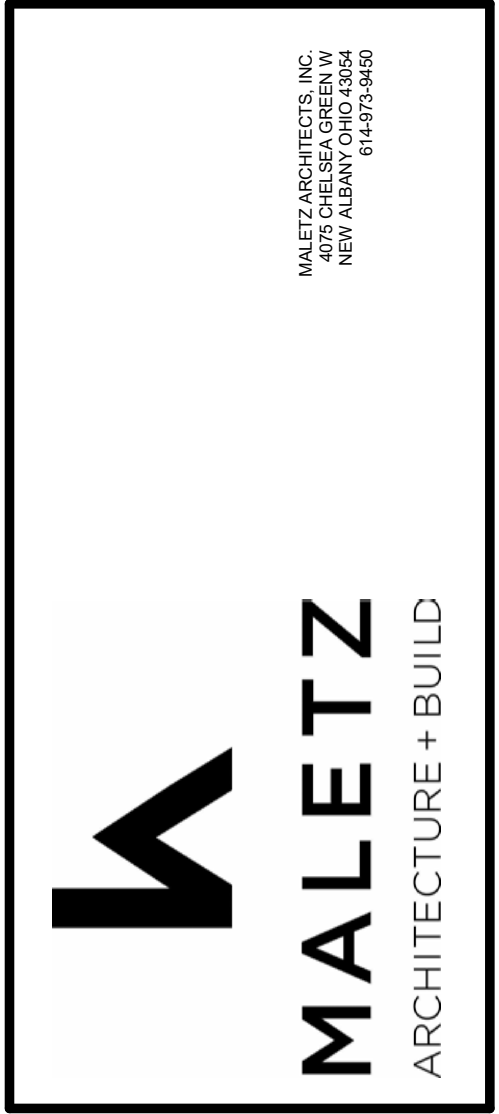
2 LEFT (WEST) ELEVATION
3/16" = 1'-0"



1 FRONT (SOUTH) ELEVATION
3/16" = 1'-0"

ELEVATION KEYNOTES

NUMBER DESCRIPTION

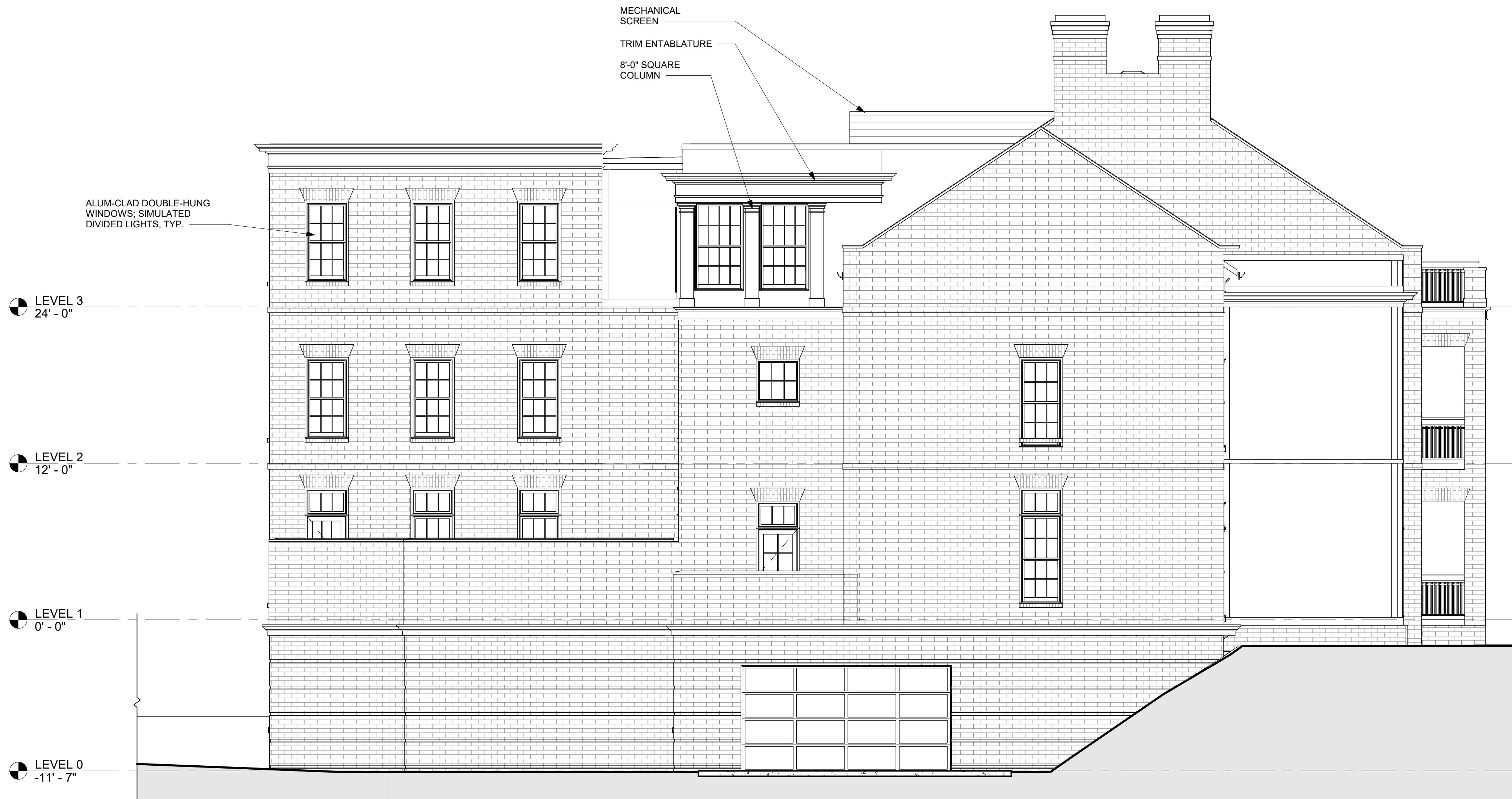


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2 RSQ RIGHT (EAST) ELEVATION
3/16" = 1'-0"

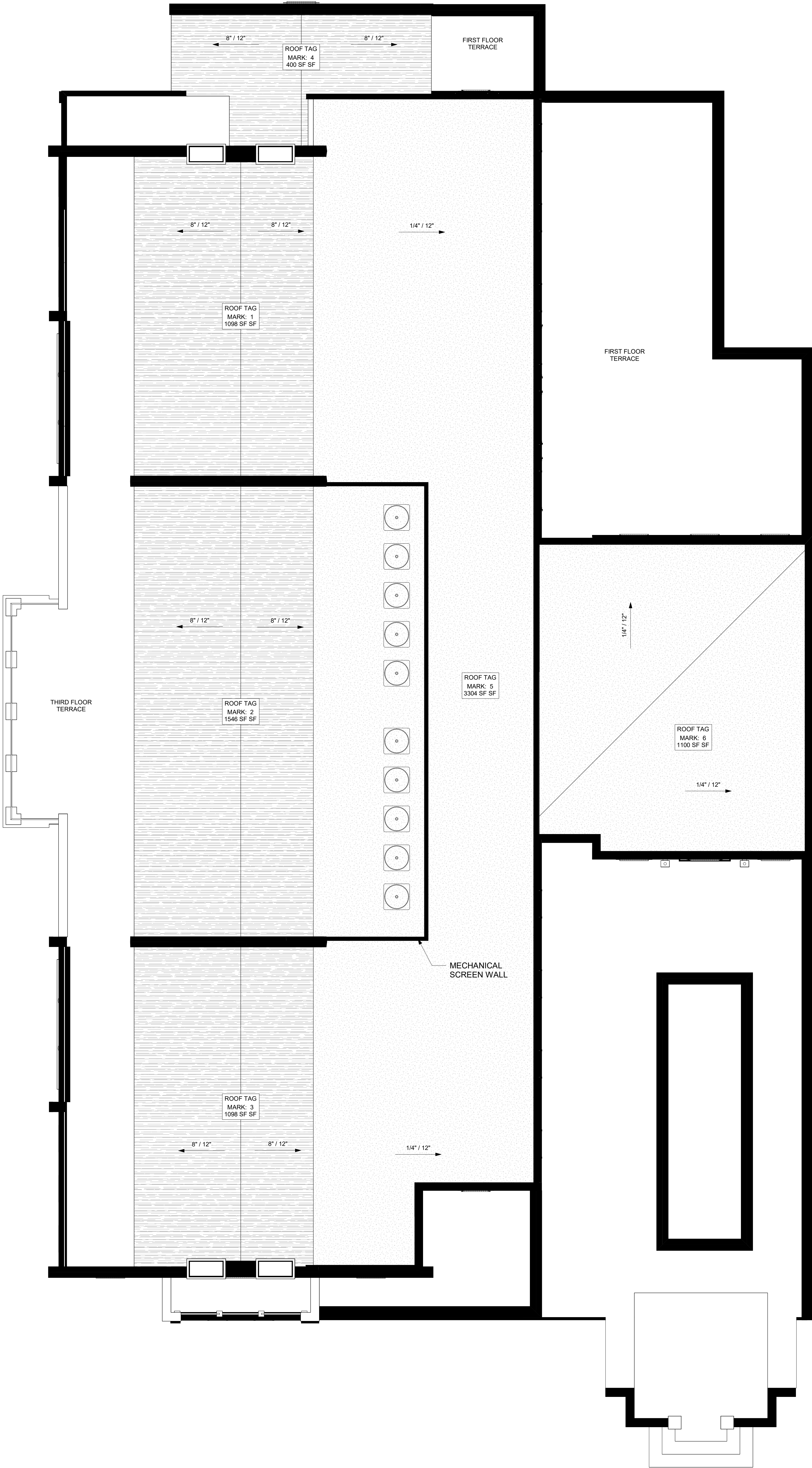


1 REAR (NORTH) ELEVATION
3/16" = 1'-0"

FOR REFERENCE ONLY

EXTERIOR
ELEVATIONS

A201



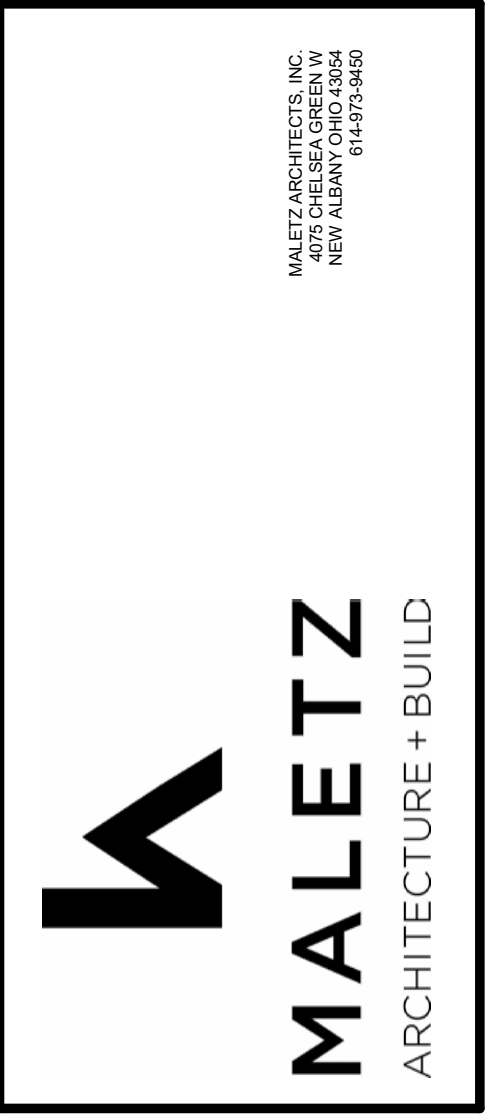
ROOF VENTILATION AREA CALCULATION SCHEDULE

NOTE: ROOF VENTILATION FACTOR IS BASED ON R806.2 MINIMUM VENT AREA FACTOR OF 1/150.

MARK	DESCRIPTION	ROOF AREA	ROOF VENTILATION FACTOR	VENTILATION AREA	ROOF SLOPE	# OF SQUARES	COMMENTS
1	ASPHALT SHINGLE	1099 SF			8/12	11	
2	ASPHALT SHINGLE	1546 SF			8/12	15	
3	ASPHALT SHINGLE	1098 SF			8/12	11	
4	ASPHALT SHINGLE	400 SF			8/12	4	
5	EPDM LOW SLOPE ROOF	3304 SF			1/4" / 12"	33	
6	EPDM LOW SLOPE ROOF	1100 SF			1/4" / 12"	11	

ROOF PLAN KEYNOTES

NUMBER DESCRIPTION



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RSQ - PHASE 2
GARAGE

