

New Albany Planning Commission Agenda

Monday, August 15, 2022 7:00pm

Members of the public must attend the meeting in-person to participate and provide comment at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at https://newalbanyohio.org/answers/streaming-meetings/

- I. Call To Order
- II. Roll Call
- **III. Action of Minutes:** June 6, 2022

June 20, 2022

IV. Additions or Corrections to Agenda

Swear in All Witnesses/Applicants/Staff whom plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth".

- V. Hearing of Visitors for Items Not on Tonight's Agenda
- VII. Cases:

FDM-81-2022 Final Development Plan Modification

Final development plan modification to allow for a building expansion and site modifications on 2.06 acres located at 5161 Forest Drive (PID: 222-004860).

Applicant: Carter Bean Architect LLC, c/o Carter Bean

Motion of Acceptance of staff reports and related documents into the record for FDM-81-2022.

Motion of approval for application FDM-81-2022 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

- VIII. Other Business
- IX. Poll members for comment
- X. Adjournment



Planning Commission met in regular session in the Council Chambers at Village Hall, 99 W. Main Street and was called to order by Planning Commission Chair Mr. Neil Kirby at 7:00 p.m.

Those answering roll call:

Mr. Neil Kirby, Chair	Present
Mr. David Wallace	Present
Mr. Hans Schell	Present
Ms. Sarah Briggs	Present
Mr. Bruce Larsen	Present
Mr. Matt Shull (Council liaison)	Absent

Staff members present: Steven Mayer, Development Services Coordinator; Benjamin Albrecht, Interim City Attorney; and Josie Taylor, Clerk.

City Council members present: Michael Durik and Chip Fellows.

Mr. Kirby asked if there were any additions or corrections to the Agenda.

Mr. Christian stated none from staff.

Mr. Kirby swore all who would be speaking before the Planning Commission (hereafter, "PC") this evening to tell the truth and nothing but the truth.

Mr. Kirby asked if there were any persons wishing to speak to the PC on items not on tonight's Agenda. (No response.)

Other Business

Engage New Albany Strategic Plan Addendum Workshop Planning and Zoning Code Updates Workshop Design Guidelines and Requirements Update Workshop

Mr. Christian presented the workshop topics.

Ms. Sarah Lilly, Associate Planner, MKSK, presented the process used in the review conducted, the findings, and recommendations.

Mr. Christian presented a review of the proposed updates.

Mr. Kirby asked if in the PUD rezoning process the Architectural Review Board would review a rezoning application prior to the PC reviewing the plans.

Mr. Christian stated, yes, the order would be the Architectural Review Board first and then the PC.

Mr. Kirby asked if the PC would still review it.

Mr. Christian stated yes.

Mr. Schell stated there were lots of concerns the first time the hamlet concept was reviewed.

Mr. Schell noted this was very similar to the original proposal.

Mr. Mayer stated that the NoNA project had issues as the City did not have Code ordinances in place at that time for the hamlets.

Mr. Jeff Pongonis, MKSK, stated MKSK had developed the capacity plan to meet the City's rules and guidelines based on the work staff had done on the Codes and ordinances. Mr. Pongonis stated this was similar to NoNA in part due to the size and features of the hamlet land.

Mr. Schell asked what the acreage was in this location.

Mr. Pongonis stated it was 33 acres.

Mr. Wallace asked how the hamlet density of six (6) per acre compared to that of Keswick.

Mr. Pongonis stated they had used Keswick as part of the study.

Ms. Lilly stated Keswick had a density of fifteen (15).

Mr. Wallace asked if the density was then just part of this conceptual plan.

Mr. Pongonis stated yes.

Mr. Mayer stated the building heights were also similar to those in Keswick.

Mr. Wallace asked how the heights of forty (40) feet and 55 feet here related to the heights seen in Keswick.

Mr. Pongonis stated the Keswick buildings peaked at about forty (40) feat and three (3) stories tall.

Ms. Lilly stated the recommendations were to have buildings of forty (40) feet within 250 feet of Central College Road and S.R. 605 as well as the commercial buildings fronting on Central College Road. Ms. Lilly stated the 55 foot buildings were more for the core of the development and for interest.

Mr. Wallace asked if the density would be less than that at the Village Center.

Mr. Pongonis stated yes.

Mr. Wallace stated thank you.

Mr. Schell asked how this kind of density would affect student numbers in the schools.

Mr. Mayer stated a school impact statement was required to be submitted as part of a rezoning process.

Mr. Kirby asked if there was a mathematical formula based on the number of units.

Mr. Kirk Smith, member of the public, stated 198 units.

Mr. Kirby asked if that would then be .8 times 198.

Mr. Mayer stated that was the number used for single family residences and noted it was lower in multi-family structures. Mr. Mayer noted it might not be a fair comparison.

Mr. Kirby stated it would provide an upper bound in that case if all those units were single family homes. Mr. Kirby stated the upper bound would be fifteen (15) to sixteen (16) added children for the schools if the units were all single family homes.

Mr. Mayer stated he could find additional details on these numbers and added that this was a one case scenario and could vary.

Mr. Kirby stated that as this checked all the boxes it could be used to run the numbers as if it were truly going to be built.

Mr. Mayer stated yes, but the number of single family and other uses would still need to be determined for those numbers.

Mr. Pongonis stated they could use this plan, with their unit types, to develop an example for the next presentation.

Mr. Kirby stated right, it could vary, but this was information the public wanted to know.

Mr. Wallace asked if more residential units would fit or could be added to this location or was this the maximum number expected.

Mr. Pongonis stated this was a forecast and could vary based on the types of units. Mr. Pongonis stated they were providing flexibility to the City based on its rules and regulations as well as offering something the market would want.

Mr. Schell asked if it would offer any age restricted units.

Mr. Pongonis stated there could be.

Mr. Schell stated that previous feedback about the hamlet included concerns about overloading schools and traffic and the communication about these issues needed to be strong.

Mr. Wallace stated prior feedback included concerns related to both traffic and schools even though the thought was there would not be large impacts to each. Mr. Wallace stated he agreed communication was important.

Mr. Pongonis stated they would keep that in mind. Mr. Pongonis stated that traffic was important and, based on this conceptual plan, there should not be traffic added at peak demand times.

Mr. Kirby asked how many feet from the intersection of S.R. 605 and Central College Road the two roads shown on the screen would be.

Mr. Pongonis stated one was about 350 feet and the other was about 600 feet, as best he could remember.

- Mr. Kirby asked when the stacking lanes would start for the turn lanes.
- Mr. Pongonis asked if that was in terms of the total car lengths.
- Mr. Kirby asked to see an overlay with marks on it for reference points to see if a left turn could be made safely.
- Mr. Pongonis said they could take a crack at that.
- Mr. Wallace asked if the hamlet concept would take traffic circles into account.
- Mr. Pongonis stated that would be part of the traffic planning to be completed on this.
- Mr. Kirby asked if permission from the Ohio Department of Transportation (hereafter, "ODOT") would be needed on S.R. 605.
- Mr. Mayer stated that would be reviewed as part of the re-zoning. Mr. Mayer stated there had been minimal traffic impact from the NoNA plan. Mr. Mayer stated that a lower speed limit had also been proposed for this development.
- Mr. Kirby noted he wanted to have these types of questions answered for the public.
- Mr. Mayer stated no widening had been needed for the NoNA plan.
- Mr. Pongonis stated the assumption was that the current roads were suitable and only perhaps one or two turn lanes would be needed.
- Mr. Kirby asked what Mr. Pongonis would be the top ten (10) types of uses in the hamlet.
- Mr. Pongonis stated it would be the same as Market Square with offices, small cafes, office, restaurants, perhaps a dentist's office.
- Mr. Kirby asked if there would be others.
- Mr. Pongonis stated personal services, yoga studios, hair salons, nail boutiques, small retail, boutique offices, etc.
- Mr. Kirby stated it would be good for all to have an idea of what could be there.
- Mr. Pongonis stated those were the things they meant as well as smaller scale restaurants, ice cream, coffee, etc., things residents would find desirable.
- Mr. Schell asked if underground parking would be available or if it was too expensive.
- Mr. Pongonis stated that for a developer it would be more costly than surface or elevated parking but that would be for a developer to decide. Mr. Pongonis stated underground parking was mostly used in multi-family units. Mr. Pongonis stated this would be on-street parking.
- Mr. Kirby asked how they would get the right mix of uses in the hamlet.

Mr. Mayer stated this had been discussed and they believed that the ratio of a minimum of 200 feet of mixed commercial development for each dwelling unit provided the right mix.

Mr. Kirby asked if this hamlet became the perfect location for small restaurants then how many of them would be too many.

Mr. Mayer stated he believed it would be the other development standards that would drive that, such as those for height maximums, parking requirements, density, traffic studies, etc.

Mr. Pongonis stated parking and other requirements would affect this issue per the New Albany standards.

Mr. Kirby stated that assumed the PC would review a potential use.

Mr. Wallace asked at what stage a use review would occur.

Mr. Kirby stated that any use already permitted would not go before the PC, so if both office or retail could be there then a retail space taken over by an office renter would not go before the PC.

Mr. Pongonis stated the market would evolve over time and the plan would need to inform what could be on the site.

Mr. Christian stated staff expected to have the text contain a review of the parking model as new uses occurred.

Mr. Kirby asked what would happen if it was not.

Mr. Christian stated it would become a Code enforcement issue.

Mr. Mayer stated he believed in those cases a variance would be needed.

Mr. Kirby stated parking was a shared resource and each renter, based on use, should have a number of parking spots available based on that use.

Mr. Mayer stated he believed the zoning text could contain a provision for City review of parking when tenants changed.

Mr. Kirby stated that in addition to floor space then the new tenant would need to also obtain parking for their new use.

Mr. Pongonis stated these developments would have a scorecard and tenants would need to meet or not exceed a set of expectations.

Mr. Wallace asked where that type of concept would need to be reflected.

Mr. Mayer stated he believed that would be in the PUD text.

Mr. Wallace stated the issue was that when the PC approved something like this it would not know what type of commercial use would go in.

Mr. Pongonis stated that as part of the users' parking model they could review parking needs.

- Mr. Wallace stated that while there may be expectations at the start the market could eventually drive the preferred types of commercial uses.
- Mr. Pongonis stated the scorecard model would help with that.
- Mr. Mayer stated if potential users would not be meeting the model standards they would not be able to conduct that use on the location or they would need to request a variance.
- Mr. Wallace asked how it would be controlled once approved by the PC.
- Mr. Mayer stated staff would review each time a tenant change occurred.
- Mr. Kirby asked if the DGRs could include a mention of this issue.
- Mr. Mayer stated they could look into doing that.
- Mr. Kirby stated it was being done with storm water and other shared resources.
- Mr. Mayer stated they could look into the parking code or DGRs to see where it may be best.
- Mr. Kirby asked if any members of the public wanted to provide any comments.
- Mr. Kirk Smith, 6830 Central College Road, stated he lived very close to the proposed townhomes and asked if there was already a developer working on this location.
- Mr. Mayer stated he was not sure if this had changed hands since the last proposal.
- Mr. Smith asked if it was still Steiner.
- Mr. Mayer stated he was not sure.
- Mr. Smith stated that would be seen on public records, so it had not changed hands. Mr. Smith asked if MKSK had worked with Steiner.
- Mr. Pongonis stated no, MKSK worked directly with the City.
- A member of the audience made a comment.
- Mr. Kirby requested the comment be stated for the record at the microphone.
- Mr. Smith stated the question had been whether MKSK had worked with the developer and that had been answered as a 'no.'
- Mr. Kirby asked if the question was whether any developer had hired MKSK and noted that he believed only the City had hired MKSK.
- Mr. Pongonis stated only the City had hired MKSK.
- Mr. Smith stated the concerns from the prior proposal were about density, schools, and a preference for no multi-family housing units. Mr. Smith stated the density in this plan of six (6) units per acre was too high and asked how many acres were in Keswick.

Mr. Mayer stated he did not know.

Mr. Smith asked if the six (6) units could be decreased to three (3) units and that would still be a lot of cars and people.

Mr. Pongonis stated the density was a question of comparisons. Mr. Pongonis stated that in the Windsor single-family community the density was six (6) units per acre and that could be used to look at apples to apples.

Mr. Smith asked what the ownership percentage would be in the flats and townhomes and would there be any rentals.

Mr. Mayer stated those types of assignments had not been made.

Mr. Smith asked if it would be up to the developer to do that.

Mr. Mayer stated yes.

Mr. Kirby stated Ohio law allowed any homeowner to rent his or her house.

Mr. Smith stated he wanted to know the intent and asked if there would be a homeowners association here.

Mr. Kirby stated this was not a proposal, this was just a review of what a hamlet would look like.

Mr. Albrecht stated he wanted to affirm that any homeowner could rent his or her home and that could not be regulated.

Mr. Smith asked if a review would not occur until a proposal was made.

Mr. Mayer stated it was a two-step process with the PUD text first reviewed by the PC and City Council. Mr. Mayer stated if that was approved then the developer would need to return to the PC and the Architectural Review Board for approvals.

Mr. Smith asked if it would still need to go back to the PC.

Mr. Mayer stated that was correct.

Mr. Smith stated he felt that 198 units were a lot for such a small site.

Ms. Caroline Salt, 5430 Snyder Loop in the Enclave community, said she wanted more definition and to have more things set in stone, such as the 40 foot height limits, as time passed.

Mr. Kirby asked if others wished to speak.

Ms. Trisha Segnini, 7267 New Albany Links Drive, HOA president and real estate agent, stated the residents of New Albany Links needed to pass this one thirty (30) acre corner to get almost anywhere. Ms. Segnini stated they still did not know what the hamlet would be and wanted more details regarding density, school numbers, park space, what could be there, and what

could not be put in the hamlet. Ms. Segnini stated they were not against development but wanted more details about it.

Mr. Kirby stated that paymen-in-lieu of for park space would need to be agreed to by the PC and City Council and was not automatic.

Ms. Segnini stated developers could trade then.

Mr. Kirby said they could ask, but it might not pass, developers did not have a right to it.

Mr. Mayer stated the Code already allowed payment-in-lieu of for all areas of the City, not just the hamlet.

Mr. Kirby noted that New Albany Links existed because the park land could be moved around.

Ms. Segnini stated open land next to her house had been traded and now there was a house there. Ms. Segnini said she was concerned there was not enough park land and, if it could be traded for residential units to achieve profitability for a developer, then she did not support that.

Mr. Kirby stated the public could return when there was a concrete proposal for this and also mentioned that the earlier they could work with the developer on any development the easier it would be to make any changes.

Mr. Smith asked if a hamlet had to be there.

Mr. Mayer stated it was part of the Engage New Albany plan and noted there was an underlying commercial use there.

Mr. Kirby asked if the by-right zoning was commercial.

Mr. Mayer stated it was residential by-right but the underlying recommended use was commercial. Mr. Mayer stated there was no requirement for a hamlet here, but based on resident feedback the hamlet provided many of the things residents wanted.

Mr. Smith asked if the impetus was from the Strategic New Albany then the top wish was for single-family homes.

Ms. Lilly stated the slide Mr. Smith was speaking about provided a summary of feedback received and there were also other reasons for the hamlet concept, including lack of retail north of S.R. 161.

Mr. Kirby stated the rule was usually that people would walk a distance of 900 feet and asked what the distance was for biking.

Mr. Pongonis stated people would normally walk or bike for about five (5) to ten (10) minutes.

Mr. Kirby stated he would like to know what this hamlet location was close to, which communities, which residents, etc. would be close to this location.

Mr. Pongonis stated that a ten (10) minute walk or bike ride would serve lots of residents.

- Mr. Kirby stated the residential lots were mostly on an east/west location and asked if this was the best location.
- Mr. Mayer stated they had looked at alternative hamlet locations originally but felt this location was the best opportunity for a hamlet.
- Mr. Kirby asked if it this was more developable or if this was the best location.
- Mr. Mayer stated it was the best location based on what was around it.
- Mr. Kirby stated this needed to be defendable to other developers who might then also want to develop a hamlet elsewhere.
- Mr. Mayer stated hamlets could not be moved and were for specific locations.
- Ms. Segnini asked if the second hamlet had been replaced.
- Mr. Mayer stated there was only one (1) hamlet.
- Ms. Segnini asked if this was only for this location or for all hamlets.
- Mr. Mayer stated the development standards presented today were for this geographic site.
- Ms. Segnini stated this would demolish homes and asked if those residents would be helped with relocation.
- Mr. Mayer stated sellers would need to work that out with developers.
- Ms. Segnini asked if a new hamlet could be put in and what would the parameters for that be.
- Mr. Mayer stated the Strategic Plan would need to support the development of a location for it to move forward.
- Mr. Kirby stated there were few abilities to tell a developer 'no."
- Ms. Segnini stated traffic reviews and investigation should be conducted.
- Mr. Schell stated traffic studies would be needed prior to approval.
- Ms. Segnini stated traffic studies should be done during school hours.
- Mr. Schell stated that would normally be a requirement for the PC.
- Mr. Kirby stated ODOT controlled S.R. 605 so that was also part of the review.
- Mr. Mayer stated those were good questions but they did not yet have those answers but they would.
- Ms. Segnini stated okay, thank you.
- Mr. Smith stated a hamlet was not required or needed here and the PC could stop it.

Mr. Kirby stated that a lot of text from 1187 had been moved and asked if any of the applicability of the chapter had changed.

Mr. Mayer stated they believed it should all still be applicable.

Mr. Kirby stated right.

Mr. Mayer stated park and open space requirements in subdivisions were also now part of the hamlet requirements.

Mr. Kirby asked if text in DGR section 5 had changed.

Mr. Christian stated it was only one (1) sentence on page 8, and was shown in red, and applied only to non-single family detached.

Mr. Kirby asked what the negation applied to.

Mr. Christian stated that if it was not single-family detached, residential development then those standards would apply.

Mr. Kirby stated the text as written might be misread.

Mr. Christian stated they could review the wording on that.

Mr. Mayer stated they were trying to say that if it was not the typical suburban detached residential neighborhood and was outside the Village Center, then it would apply, as in the case of townhomes and anything other than a single-family detached home.

Mr. Kirby stated so anything other than single-family detached was likely the intent.

Mr. Christian stated they would look at that.

Mr. Kirby asked if this applied outside the Village Center and to R1.

Mr. Mayer stated the DGRs were an overlay on top of any district and could apply depending on what was the proposed development type in that zoning district.

Mr. Kirby stated the document applied to any R1 outside of the Village Center.

Mr. Mayer stated it would not need to be an R1 and it applied to any ...

Mr. Kirby stated that would include things like the New Albany Farms and it read like it was meant for tighter suburban development. Mr. Kirby asked if the text that had not changed was up for review.

Mr. Mayer stated they reviewed and felt comfortable with the current DGR and development standards and wanted to focus only on the hamlet standards but could do other updates later.

Mr. Wallace stated that multi-family should be Roman numberal III and not Roman numberal II.

Mr. Mayer stated thank you.

Mr. Christian stated that for the next meeting the PC members would have more information on this and there would also be more public information available.

Mr. Albrecht stated that if members were to abstain in the future they should do so before they participated and noted that if they participated, then their only options would be to approve or disapprove in some form.

Mr. Mayer said anyone with feedback or questions could contact staff.

Poll Members for Comment

Mr. Kirby adjourned the meeting at 8:40 p.m.

Submitted by Josie Taylor.



APPENDIX





Planning Commission met in regular session in the Council Chambers at Village Hall, 99 W. Main Street and was called to order by Planning Commission Vice Chair Mr. David Wallace at 7:08 p.m.

Those answering roll call:

Mr. Neil Kirby, Chair
Mr. David Wallace
Mr. Hans Schell
Ms. Sarah Briggs
Mr. Bruce Larsen
Ms. Andrea Wiltrout (Council liaison)
Present, arrived 7:19 p.m.
Present
Present
Present
Present
Present

Staff members present: Chris Christian, Planner; Jay Herskowitz, City Engineer for Mr. Ferris; Benjamin Albrecht, Interim City Attorney; and Josie Taylor, Clerk.

Mr. Wallace noted that he would be leading the meeting as Vice Chair until Mr. Kirby's arrival, and, if Mr. Kirby did not arrive, then he would continue to lead the meeting.

Moved by Mr. Larsen to approve the May 2, 2022 and May 16, 2022 meeting minutes, seconded by Ms. Briggs. Upon roll call: Mr. Larsen, yea; Ms. Briggs, yea; Mr. Schell, yea; Mr. Wallace, yea. Yea, 4; Nay, 0; Abstain, 0. Motion passed by a 4-0 vote.

Mr. Wallace asked if there were any additions or corrections to the Agenda.

Mr. Christian stated the applicant for VAR-59-2022 had requested the variance be tabled.

Mr. Wallace swore all who would be speaking before the Planning Commission (hereafter, "PC") this evening to tell the truth and nothing but the truth.

Mr. Wallace asked if there were any persons wishing to speak to the Planning Commission (hereafter, "PC") on items not on tonight's Agenda. (No response.)

VAR-59-2022 Variance

Variance to West Nine 2 Subarea C zoning text section 4(d) to allow a covered porch to be setback approximately 21.5 +/- feet from the rear property line where the zoning text requires a 30-foot setback at 7210 Ebrington Round (PID: 222-004754-00).

Applicant: f5 Design/Architecture c/o Todd Parker

Moved by Mr. Larsen to table VAR-59-2022 until the next regularly scheduled PC meeting on July 18, 2022, seconded by Mr. Schell. Upon roll call: Mr. Larsen, yea; Mr. Schell, yea; Ms. Briggs, yea; Mr. Wallace, yea. Yea, 4; Nay, 0; Abstain, 0. Motion passed by a 4-0 vote.

ZC-60-2022 Zoning Amendment

Rezoning of 25.12+/- acres from Infill Planned Unit Development (I-PUD) to Infill Planned Unit Development (I-PUD) generally located east of the Bob Evans site, south of Smith's Mill Road and north of State Route 161 (portion of PID: 093-107046-00.000).

Applicant: Aaron Underhill, Esq.

Mr. Christian presented the staff report.

Mr. Wallace asked if the fourth bullet point, regarding the reduction of setbacks along Smiths Mill Road, was not being requested.

Mr. Christian stated yes, the applicant had agreed to meet the existing setback on that road.

Mr. Wallace asked if the applicant wanted to provide comments on this application.

Mr. Aaron Underhill, Underhill & Hodge for MBJ Holdings, discussed the application and the site

Mr. Wallace asked to have the map of the area put up on the presentation and asked Mr. Underhill to indicate where the uses in that area were.

Mr. Underhill discussed prior re-zonings and uses in the area. Mr. Underhill noted the location at this time was expected to have more demand for office and distribution and that was the reason for this application.

Mr. Wallace asked why the setback on the eastern boundary had been reduced.

Mr. Tom Rubey, MBJ Holdings, stated the eastern boundary reduction was so that the two (2) parcels would function more cohesively.

Mr. Wallace stated he was not sure why those factors would require a reduced setback.

Mr. Rubey stated there were parking, building, and landscaping setbacks as well as storm water management issues and allowing a reduced setback on these two (2) parcels would allow their development to be more seamless.

Mr. Wallace stated okay.

Mr. Larsen stated he believed the ownership of the two (2) parcels was the same.

Mr. Rubey stated it was not under the same ownership but would be cooperative, complimentary uses with different ownership.

Mr. Larsen noted a combined site would eliminate that.

Mr. Rubey stated if they were combined it would.

Mr. Underhill stated they did not intend the building to be that close so if the PC wanted them to adhere to Code on that, that would not be a problem, it was more about the pavement, circulation, and storm water management.

Mr. Schell asked how Ohio Health felt about this.

Mr. Rubey stated they were working on this at this time.

Mr. Underhill stated it was normally a collaboration between the parties on these types of matters.

Mr. Schell asked if there had been another setback that had been requested but had then been waived.

Mr. Underhill stated the setbacks along Smiths Mill Road had been reduced but now they would adhere to the existing setbacks to the east along Smiths Mill Road.

Mr. Wallace asked about the access points on Smiths Mill Road noted on page 5, Section F.

Mr. Christian illustrated where that was on the presentation screen and noted it had to do with their need to prevent there being more curb cuts than had originally been planned for.

Mr. Wallace stated okay and noted this language was then referring to an access point that was not directly associated with the parcel being discussed at this time.

Mr. Christian stated correct.

Mr. Wallace asked if there were only a potential two (2) access points for this parcel.

Mr. Christian stated yes, there could potentially be two (2), but even more could be supported with a traffic analysis.

Mr. Wallace asked if this referred to the area as a whole then, not just this parcel.

Mr. Underhill stated it would likely align with other access points across the street.

Mr. Wallace stated got it and asked if there could then be another road inside the parcels that could connect.

Mr. Underhill stated right.

Mr. Wallace asked if the text was clear.

Mr. Christian stated it was from staff's perspective.

Mr. Underhill stated they believed the same language was good for consistency.

Mr. Larsen asked if there were an actual layout on the site would it be handled by staff or would it return to the PC.

Mr. Christian stated that if it were a GE use, which it likely would be, then staff would review it.

Mr. Larsen asked if he had heard correctly on the adjustment to the fifteen (15) foot easement that staff would be open to no building there, just pavement.

Mr. Underhill stated correct.

Mr. Larsen asked if a future tenant required more landscaping on the site, would the applicant be open to that.

Mr. Underhill stated yes.

Mr. Larsen stated he would personally support that.

Moved by Mr. Wallace to accept the staff reports and related documents into the record for ZC-60-2022, seconded by Mr. Schell. Upon roll call: Mr. Wallace, yea; Mr. Schell, yea; Ms. Briggs, yea; Mr. Larsen, yea; Mr. Kirby, abstain. Yea, 4; Nay, 0; Abstain, 1. Motion passed by a 4-0-1 vote.

Moved by Mr. Wallace to approve ZC-60-2022 based on the findings in the staff report with the added condition that the applicant has agreed to a fifteen (15) foot pavement setback and a 25 foot building setback and additional landscaping may be added subject to the review and approval of the City landscape architect, seconded by Ms. Briggs. Upon roll call: Mr. Wallace, yea; Ms. Briggs, yea; Mr. Larsen, yea; Mr. Schell, yea; Mr. Kirby, abstain. Yea, 4; Nay, 0; Abstain, 1. Motion passed by a 4-0-1 vote.

- Mr. Kirby noted he abstained as he had not been present for this discussion.
- Mr. Wallace continued to lead the PC meeting following Mr. Kirby's arrival.

FDP-62-2022 Final Development Plan

Final development plan application for a Moo Moo car wash development generally located south of US-62 within the Canini Trust Corp (PID: 222-000347-00).

Applicant: The Mannik & Smith Group, Inc. c/o Kyle Wrentmore

- Mr. Christian presented the staff reports for both FDP-62-2022 and VAR-63-2022.
- Mr. Wallace asked if there was any engineering on this.
- Mr. Herskowitz stated engineering had reviewed this and made several comments including adding monumentation, revising the ingress and egress to align with the hotel curb cut on the south side of Woodcrest Drive, and Ohio Department of Transportation (hereafter, "ODOT") criteria required that the sign placed in the public right-of-way was offset two (2) feet by a leisure path or sidewalk.
- Mr. Wallace stated thank you.
- Mr. Larsen asked how staff determined the square footage of signage that was not a rectangular shape, was it calculated based on a true rectangle.
- Mr. Christian stated staff did and noted they drew an imaginary box around it.
- Mr. Wallace asked for the applicant's comments.

Mr. Underhill, appearing for the applicant, noted much of this application was driven by the traffic study. Mr. Underhill introduced Mr. Jeff Gilmore, Moo Moo Car Wash, and Mr. Kyle Wrentmore, Mannik & Smith.

Mr. Gilmore stated the location would be open from 7 a.m. to 8 p.m. Monday through Saturday and 9 a.m. to 6 p.m. on Sundays. Mr. Gilmore stated they normally had consistent volume and worked to remove peaks. Mr. Gilmore stated the site had been modified to incorporate Woodcrest access and noted they staffed appropriately on days of high use and worked to mitigate traffic issues. Mr. Gilmore stated they had a bail lane for those who could not go through the car wash and it was perhaps used twice a month. Mr. Gilmore said they had a designated member lane. Mr. Gilmore stated they could wash up to one hundred (100) cars per hour and they normally stacked three (3) or four (4) cars deep. Mr. Gilmore stated they mainly used their lighting in the winter when it got dark earlier.

Mr. Schell noted the center with the vacuums had two (2) sides and asked if one customer entered would they need to back out to be able to leave.

Mr. Gilmore stated they normally had people exit the car wash then go to the back.

Mr. Schell asked how they would get out.

Mr. Gilmore stated it was a normal parking aisle, drivers would pull in, vacuum, back out, and then exit.

Mr. Schell asked if that was typical of other locations where there were two (2) sides.

Mr. Gilmore stated yes, they tried to have dual vacuums when sites permitted.

Mr. Schell stated so it would be like a typical parking lot and drivers would just need to be careful when backing out. Mr. Schell asked if they had any issues at their other locations.

Mr. Gilmore stated they could not prevent stupid.

Mr. Schell asked of their existing 24 units, how many had this design.

Mr. Gilmore stated at least 85%.

Mr. Christian stated drive aisle widths were typically at 22 feet and this was 24 feet.

Mr. Gilmore stated the spaces were twelve (12) feet wide and had lots of room for ingress and egress.

Ms. Briggs asked if there was one way in and one way out for the vacuums.

Mr. Gilmore stated correct.

Ms. Briggs asked if a driver was to exist the vacuum would the driver run into those exiting the car wash.

Mr. Gilmore stated cars exited the car wash every 45 seconds, providing an adequate window of time for cars at the vacuums to exit those spaces. Mr. Gilmore noted Woodcrest should be easy to get on and most customers did not vacuum.

Ms. Briggs asked if this was the same design used in numerous other locations.

Mr. Gilmore stated yes.

Ms. Briggs asked if there were three (3) kiosks.

Mr. Gilmore stated yes.

Ms. Briggs asked if one faced a different way.

Mr. Gilmore stated they all faced the same way.

- Ms. Briggs asked if the digital signs were at each kiosk.
- Mr. Gilmore stated that was correct.
- Ms. Briggs stated she assumed these would be similar to the ones Dairy Queen used.
- Mr. Christian stated he did not know.
- Ms. Briggs asked if the signs would not face U.S. 62.
- Mr. Gilmore stated that was correct, but if there were no cars present then they would.
- Ms. Briggs asked where employee parking was located.
- Mr. Gilmore stated there were two (2) spaces shown for staff.
- Mr. Kirby stated at the bottom, by the back.
- Mr. Wallace and Ms. Briggs indicated the employee spots.
- Mr. Kirby stated by the vacuums.
- Mr. Gilmore stated there was a handicapped spot and two standard parking spaces.
- Mr. Larsen asked how many employees would be on the site at maximum capacity times.
- Mr. Gilmore stated two (2) to four (4) when busy.
- Mr. Larsen asked if four (4) spots would be needed for those peak times.
- Mr. Gilmore stated they often worked with neighbors when extra parking was needed and noted that at this time they had not set up such an arrangement at this location.
- Mr. Larsen asked if they then had two (2) spots and one handicapped spot.
- Mr. Gilmore said yes.
- Ms. Briggs asked if the handicapped spot was for someone who was vacuuming.
- Mr. Gilmore stated there was not a vacuum there, it was just a requirement.
- Ms. Briggs stated okay.
- Mr. Kirby stated he believed Dairy Queen had a variance for size and number of signs but not a digital variance.
- Ms. Briggs stated thank you.
- Mr. Larsen stated that signage would have ideally been along Forrest Drive had the entrance been there but staff had asked the applicant to have the entrance from the back side. Mr. Larsen noted that in that case the longer side of the building would have faced U.S. 62 which would have permitted a large sign.

- Mr. Gilmore stated the building had always been oriented vertically.
- Mr. Larsen asked if then the shorter side would have always been toward U.S. 62.
- Mr. Gilmore stated yes.
- Mr. Larsen stated he understood why the need to advertise with a larger sign where cars driving by would see it, but why would they also want a larger sign on the back side of the buildings where customers would be exiting.
- Mr. Gilmore stated that would be consistent with their standards and the scale was right.
- Mr. Larsen asked if there were other options.
- Mr. Gilmore stated it was their model and they did not have a smaller one.
- Mr. Larsen stated he understood.
- Mr. Kirby asked if there was no conflict with this use.
- Mr. Christian stated correct.
- Mr. Kirby asked if the variance was due to the unique use here.
- Mr. Christian stated it was more due to the location and proximity to public roadways.
- Mr. Kirby asked if Dairy Queen had not needed this set of variances.
- Mr. Christian stated they would not have needed that as Dairy Queen had not had direct access to Forrest Drive.
- Mr. Kirby stated he was looking to see why this variance was not universally applicable in order to prevent precedents in the future.
- Mr. Underhill stated all done here was due to circulation and building orientation.
- Mr. Kirby asked if there were any conflicts with the conditions in the staff report or from Engineering.
- Mr. Underhill stated no.
- Mr. Wallace asked if there would be landscaping to screen the kiosks. Mr. Wallace stated he wanted to ensure staff would have approval over any landscaping so it would screen the kiosks from U.S. 62 and other areas and asked if the applicant would agree to that.
- Mr. Underhill stated absolutely.
- Mr. Christian stated MKSK would also look at it and an additional eighteen (18) trees would also be added along the front.

Mr. Kirby stated the additional landscape screening should be added to condition 2 in the staff report as that already involved landscaping.

Mr. Schell asked if the plot on the right was currently owned by the same party.

Mr. Underhill stated yes.

Mr. Schell asked what would likely go there.

Mr. Underhill stated a food service use would be most likely.

Mr. Schell asked if there would not be any issues with a high traffic food establishment having an entrance on the same street.

Mr. Underhill stated he did not think so.

Mr. Schell noted that could get backed up.

Mr. Kirby asked if the digital signs would be off when they were closed.

Mr. Underhill stated correct.

Mr. Larsen stated he would request that, due to parking volumes at peak times, the applicant have three (3) parking spots and one (1) handicapped spot.

Mr. Gilmore stated they could close all of the vacuum spaces and use them for staff. Mr. Gilmore stated they wanted the flexibility and this had not been an issue on their high volume sites.

Mr. Kirby asked if they did not have an agreement from a neighbor would they agree to sacrifice the vacuum spots for staff.

Mr. Gilmore stated yes.

Ms. Briggs asked if there were 24 vacuum spots at this site.

Mr. Wrentmore stated fifteen (15).

Mr. Wallace asked if any members of the public had any comments. (No response.)

Moved by Mr. Wallace to accept the staff reports and related documents into the record for FDP-62-2022, seconded by Mr. Kirby. Upon roll call: Mr. Wallace, yea; Mr. Kirby, yea; Mr. Schell, yea; Ms. Briggs, yea; Mr. Larsen, yea. Yea, 5; Nay, 0; Abstain, 0. Motion passed by a 5-0 vote.

Moved by Mr. Kirby to approve FDP-62-2022 based on the findings in the staff report with the conditions listed in the staff report and the additional conditions that:

- 1. The applicant agrees to use vacuum cleaner spots for employee parking if applicant cannot execute an agreement for additional parking on days when they need additional parking;
- 2. Modify existing condition 2 in the staff report to add language for the screening of the digital signs along U.S. 62 frontage;

seconded by Ms. Briggs. Upon roll call: Mr. Kirby, yea; Ms. Briggs, yea; Mr. Larsen, yea; Mr. Schell, yea; Mr. Wallace, yea. Yea, 5; Nay, 0; Abstain, 0. Motion passed by a 5-0 vote.

VAR-63-2022 Variances

Variances to the building/site orientation and site and building signage requirements associated with a final development plan application for a Moo Moo car wash development generally located south of US-62 within the Canini Trust Corp (PID: 222-000617).

Applicant: The Mannik & Smith Group, Inc. c/o Kyle Wrentmore

Moved by Mr. Wallace to accept the staff reports and related documents into the record, for VAR-63-2022, seconded by Mr. Kirby. Upon roll call: Mr. Wallace, yea; Mr. Kirby, yea; Mr. Schell, yea; Ms. Briggs, yea; Mr. Larsen, yea. Yea, 5; Nay, 0; Abstain, 0. Motion passed by a 5-0 vote.

Moved by Mr. Kirby to approve VAR-63-2022 based on the findings in the staff report with the conditions listed in the staff report and the additional condition 4. that the digital signs be turned off when the car wash is closed, seconded by Mr. Schell. Upon roll call: Mr. Kirby, yea; Mr. Schell, yea; Mr. Wallace, yea; Ms. Briggs, yea; Mr. Larsen, yea. Yea, 5; Nay, 0; Abstain, 0. Motion passed by a 5-0 vote.

PC took a break from 8:03 p.m. to 8:18 p.m.

Other Business

Engage New Albany Strategic Plan Hamlet Focus Area Planning and Zoning Code Updates Design Guidelines and Requirements Update

Mr. Christian presented the topics and noted this was a framework for development, not a development proposal.

Ms. Sarah Lilly, Associate Planner, MKSK, discussed the process used and how the hamlet concept was developed.

Ms. Ashley Solether, Landscape Architect, MKSK, discussed the development of the layout of the hamlet.

Ms. Lilly reviewed the standards developers of a hamlet would need to meet.

Mr. Christian completed the presentation and discussed the proposed Code updates to §1157, §1165, §1187, and the Design Guidelines & Requirements (hereafter, "DGR").

Mr. Wallace asked if PC members had any questions.

Mr. Kirby asked if the gross density for housing units could not exceed six (6) per acre, and 25% was to be open space, was there enough park land built in.

Mr. Christian stated he believed that would need to be evaluated as part of re-zoning and the final development plan process, but he believed that based on their test fit, yes.

Mr. Kirby asked if it had been an easy fit for the test fit.

Mr. Christian stated yes.

Mr. Kirby noted the park land on this was necessary for viability so that people could walk there.

Mr. Christian stated he believed that was right.

Mr. Kirby asked what this hamlet did that the City's downtown did not do or should do.

Mr. Jeff Pongonis, MKSK, stated the Village Center had critical mass there with lots of commercial space. Mr. Pongonis stated he believed the hamlet would not have a lot of impact on the Village Center.

Mr. Kirby asked if this was the right time for this.

Mr. Pongonis stated the scales differed and were not apples to apples. Mr. Pongonis stated he believed if there was room for a Dunkin Donuts on the Trust Corp. site then there would be room for one in the hamlet.

Mr. Kirby noted that the downtown still contained good sites.

Mr. Pongonis stated there were still good sites downtown.

Mr. Kirby asked if those should be prioritized first.

Ms. Adrienne Joly, New Albany Administrative Services Director, stated they saw this as meeting demand to have amenities closer to other parts of the community. Ms. Joly stated this was more of a transition from suburban to more commercial areas. Ms. Joly stated this was a tool for future use and the timing was right to be ahead of that.

Mr. Kirby asked what the housing density was to the north.

Ms. Joly stated it was more suburban and residential with the Links to the north east...

Mr. Kirby stated okay. Mr. Kirby asked if this was too small or if this size made it viable.

Ms. Joly stated the location formed a bridge east to west between Columbus and New Albany and made it viable.

Mr. Pongonis stated the size was sufficient for variety and viability without competing with the Village Center.

Mr. Kirby asked if it was self contained enough to prevent it from becoming a second downtown, to keep surrounding developers from adding to the hamlet.

Mr. Christian stated any districts would be evaluated by the PC to determine what would be appropriate.

Mr. Kirby stated tools were needed to keep developers from adding or enlarging the hamlet space.

Mr. Pongonis stated the framework and Strategic Plan could help protect the hamlet from evolving in unwanted ways.

Ms. Joly stated yes, the Strategic Plan would be used as well as evaluations regarding needs in the community.

Mr. Larsen stated the Strategic Plan showed Discover commercial use on one corner and the other three (3) corners were mixed use, and noted this looked like the hamlet was a three (3) corner concept.

Ms. Joly stated she believed these were the standards the PC could use to evaluate if a proposal was appropriate for the area proposed.

Mr. Larsen asked why this was not defined as the three corners to begin with, why did they downsize to this particular size.

Mr. Wallace asked to have the Strategic Plan put up at the presentation.

Mr. Christian stated they had reviewed current land uses in the older business parks to see what would be appropriate if those areas were to be redeveloped. Mr. Christian stated that would include this site, as well as the other three (3), but the standards developed for this area would also apply there.

Mr. Larsen asked why not start there, with all three (3) corners.

Mr. Christian noted that they had developed the standards and were then using this location to test the standards, not that they were saying someone had to put a hamlet there.

Ms. Wiltrout asked how would someone know where a hamlet could be placed.

Mr. Christian stated that in addition to these standards developers would also be looking at areas where the City saw the type of use they were considering would be appropriate.

Ms. Wiltrout asked what the actual request to be voted up through City Council was here, was it just for this site or for the area around it.

Mr. Christian stated they were asking City Council to take action on the development standards themselves which could apply to any site.

Ms. Joly stated the geographic area was not part of the standards, the standards were for use in any location where they would be applicable.

Mr. Larsen asked why not define all four (4) corners as potential hamlet sites.

Ms. Joly stated the zoning was very parcel specific whereas the uses on a parcel were normally more broadly determined.

Mr. Larsen stated he would like to know City Council's perspective on this as he felt the use of the site implied it was for this location.

Ms. Joly stated that was right, but this was not a development proposal. Ms. Joly stated this was shown in images because a visual description was an easier way to define a concept and develop the standards.

Mr. Larsen stated an evaluation could be done outside of this amendment, but this amendment showed a specific area.

Ms. Joly stated the words in this amendment were what was important and the visuals were just so people would have a sense of what it could look like.

Mr. Larsen stated it read differently to him.

Ms. Joly stated that was fair input.

Mr. Kirby stated the first of (3) three items was recommending the Strategic Plan Hamlet Focus Area change to City Council.

Ms. Joly stated that was right.

Mr. Schell stated he understood that, but there had been public push back when the first proposal was made and now they were being asked to agree to a plan with 6:1 density and only 25% green space. Mr. Schell stated that once approved that would be the new standard for the future.

Mr. Pongonis stated New Albany had significantly surpassed that density a few times already.

Mr. Schell stated the public push back on this was significant enough that City Council had not approved it.

Ms. Joly stated the six (6) units per one (1) acre was the minimum density to support the retail and restaurants in the hamlet. Ms. Joly stated they needed critical mass to succeed. Ms. Joly also noted that these standards would provide a tool that could be used in future evaluations.

Mr. Schell stated he agreed there should be standards, but he felt he did not know if the standards here were the right standards for the residents of New Albany.

Mr. Wallace stated he understood that these standards had come about due to community interest in this type of development and one of the things that met that demand was the hamlet concept. Mr. Wallace stated he believed City Council had denied a prior proposal partly due to the lack of development standards. Mr. Wallace stated they now had standards developed by professionals which they would evaluate and vote on. Mr. Wallace asked if his understanding was correct.

Ms. Joly stated it was correct.

Mr. Wallace asked Mr. Christian if it was accurate that just having standards did not mean a hamlet would be developed at the corner of Central College and SR 605, only that if a development proposal were made they would then have criteria to evaluate it.

Mr. Christian stated correct.

Mr. Schell asked if the PC could hear from City Council what reasons had caused the prior proposal to be voted down.

Mr. Wiltrout stated she had not been with City Council at that time.

Ms. Joly stated she could provide the minutes on that and she would not want to rely on her memory.

Mr. Albrecht stated the minutes would be more appropriate.

Mr. Kirby noted they had discussed making courtyards into amenities and that they would count open space. Mr. Kirby asked if the standards allowed the PC to decline a courtyard as open space if it was not publicly available.

Mr. Christian stated if it was not dedicated publicly then it would not count as open space.

Mr. Kirby mentioned that the Links considered the golf course open space but residents could not just enter and walk there.

Ms. Joly stated the City had learned since then and as long as it was publicly dedicated and accessible then it counted toward open space.

Mr. Kirby stated he wanted to be sure he could say if it was not public it would not count.

Mr. Pongonis stated the standard practice was that open spaces be publicly accessible.

Mr. Kirby asked if Mr. Pongonis could do a compare/contrast with Evans Farms.

Mr. Pongonis stated he believed they had wanted substantially more commercial on Evans Farms.

Mr. Kirby stated the scale differed and did not apply here.

Ms. Briggs asked Mr. Christian to pull up the conceptual slide. Ms. Briggs asked if when reviewed earlier this month it had included a section she highlighted on the presentation screen.

Mr. Christian stated yes.

Ms. Briggs asked if the PC voted on this and approved it, what happened next, City Council could make changes.

Mr. Christian stated this would be recommended to City Council and City Council would take final action on the development standards.

Ms. Briggs asked if City Council could make changes.

Mr. Christian stated yes.

Ms. Briggs stated thank you.

Mr. Larsen asked if they could make the density 1:1 and then, in areas where there would not be a school impact, such as with an age restricted area, have a higher density there.

Mr. Christian stated they were recommending 6:1 density and developers could make 25% of that age restricted but noted that for these standards they wanted a 6:1 ratio to be met. Mr. Christian noted the 6:1 was the minimum needed to ensure critical mass.

Mr. Larsen noted the public was concerned with school density and if it were age restricted that would help with schools.

Ms. Joly stated the age restricted development was done in the re-zoning process and not as part of standards development and school impact statements were part of the re-zoning process.

Mr. Larsen stated thank you.

Mr. Kirby asked if this was not short shrift to the concept of age in place and all ages.

Ms. Joly stated there had been discussions of both older people and young families having the ability to live in the community.

Mr. Kirby asked why there was mention of 6:1 being a maximum as well as a minimum.

Ms. Joly stated 6:1 was the minimum needed to work for viability.

Mr. Kirby stated school impact due to density was a pain point and should be part of the standards so it could be a tool for the PC.

Ms. Joly stated that was good feedback. Ms. Joly stated she believed the re-zoning process addressed that and there would be additional information at that time to evaluate, such as the type an number of units involved.

Mr. Christian stated the size of the units would also affect that.

Mr. Kirby asked if the PC could deny a zoning request if the PC said it had to be partially age restricted.

Mr. Albrecht stated probably not if it met other requirements.

Mr. Kirby stated the lack of standards the PC could use as a basis of denial could be serious.

Mr. Albrecht stated he would need to look further into the age restriction issue, but believed that as land was purchased with certain zoning and parameters ...

Mr. Kirby stated they were create a re-zoning class and were trying to establish the factors they could review to say yes or no to a developer.

Mr. Albrecht stated he would need to verify that before providing a response.

Mr. Kirby stated that if baked in then a developer would know that was part of the deal.

Mr. Albrecht stated he did not know if the framework could be set up that way. Mr. Albrecht stated he thought it would have to be part of the re-zoning process and the developer would have to volunteer to do that, it could not be mandated.

Mr. Kirby asked if they could deny it on the school impact issue.

Mr. Albrecht stated he thought that would be a factor for consideration.

Mr. Wallace asked if the age restricted piece could be used to ensure the density requirement was being met.

Mr. Kirby stated he would like to say school density meant there could not be that many units, or the unit mix would not work, etc.

Mr. Wallace stated that if the developer could meet the 6:1 needed for viability then they were meeting the requirement.

Mr. Kirby stated school impact was a community issue he'd like to address.

Mr. Larsen stated the commercial space was 200 square feet per unit. Mr. Larsen said that if they had units of 400 square feet then they were at fifty percent (50%) commercial to one (1) but if they had 4,000 square foot single family homes they were then at a five (5) or six (6) percent ratio. Mr. Larsen stated he believed that should be more of a percentage basis than a hard number. Mr. Larsen stated that in the Engage New Albany Plan buildings were forty (40) feet tall at the perimeter and 55 foot buildings as well. Mr. Larsen stated the 2020 Strategic Plan discussed two (2) stories at the perimeter and three (3) elsewhere. Mr. Larsen asked if that was purposely done or an oversight.

Mr. Christian stated the current DGRs stated the current limit was three (3) stories for any multi-family outside of the Village Center and also noted the community had a 45 foot residential height limit. Mr. Christian stated this had informed that.

Mr. Wallace asked if members of the public had any comments or question.

Mr. Matt McFadden, 7073 Maynard Place East, stated the PC did not need to approve anything and could vote no. Mr. McFadden asked if the 6:1 minimum needed viability was for the hamlet and completely contained or did that consider the forty percent (40%) of the city that was within a ten (10) to twelve (12) minute bike ride.

Mr. Christian stated that was for the hamlet itself.

Mr. McFadden asked why not make it 4 or 3:1. Mr. McFadden asked if 6:1 was a minimum then how long before a developer asked why not 8:1 which was close.

Mr. Kirby stated the standard was no more than 6:1 for density, so if a developer asked for 8:1 then the PC could say no, 6:1 is the maximum for density.

Ms. Joly stated they would want to see this incorporated into the zoning text and noted they did not do any variances for density.

Mr. McFadden asked if that would also apply to the park land percentage.

Mr. Christian stated that was now built into the Code with these changes.

Mr. McFadden noted that traffic and school impact would be massively important, particularly to those like him with children who will be in the schools for the next fifteen (15) years or so and who will all be driving down SR 605 as well as west down SR 161, etc.

Mr. Wallace stated thank you.

Ms. Trisha Segnini, 7267 New Albany Links Drive, HOA president and real estate agent, stated more answers and information were need for the local area. Ms. Segnini stated the total number of units was important also how much park space and could any of it be traded. Ms. Segnini stated they should be as restrictive as possible up front and multi-family was not needed here.

Mr. Kirby asked staff if fee-in-lieu of or trade was optional to accept.

Ms. Joly stated yes, that was discretionary.

Ms. Segnini asked if they wanted to trade to have more residential in there or to have less park space, they needed to know what they were getting.

Mr. Kirby stated it was optional for New Albany to allow park space to be traded and the City could decline for cause.

Ms. Segnini asked if it was built in or could the PC decide that.

Ms. Joly stated that to her it was built in by the standards for the hamlet.

Ms. Segnini asked if a retirement home would be part of the plan.

Ms. Joly stated site features lend themselves to certain uses in certain places.

Ms. Segnini stated the public was open to more discussion, thank you.

Mr. Wallace asked for others.

Mr. Bob Segnini, 7267 New Albany Links Drive, stated the community did not want apartments but noted they did want the restaurants. Mr. Segnini stated they also wanted more information about how things were determined, such as the density of 6:1 and what made something viable. Mr. Segnini stated they wanted what was best for the community, not for the developer.

Mr. Kirby asked staff if viability here was to the merchants or the developers.

Mr. Pongonis stated the viability was not for the developer but for the site.

Mr. Kirby asked if MKSK could provide business cards to allow for discussion with residents.

Mr. Pongonis stated he would be happy to.

Mr. Wallace asked if others had any comments.

Mr. Schell asked if police and fire needed to be involved at this time.

Ms. Joly stated that was not done at this point, that would be at the re-zoning and final development plan stage.

Mr. Schell asked if school impacts were found to be high, would that be grounds to deny a proposal.

Mr. Albrecht stated it could be a factor to consider.

Mr. Larsen asked if there was development on an intersection, would they establish setbacks to enable a roundabout.

Ms. Joly stated the City had a roundabout first policy for the City, but a traffic study would determine the need for that during the re-zoning or final development plan stage.

Mr. Kirby asked if ODOT permission would be needed on SR 605.

Ms. Joly stated yes.

Mr. Wallace asked staff if a motion to recommend to City Council was needed here.

Mr. Albrecht stated yes.

Mr. Wallace asked if they could do all three (3) at once.

Mr. Albrecht stated yes, that was fine.

Moved by Mr. Wallace to accept the staff reports and related documents into the record, seconded by Mr. Kirby. Upon roll call: Mr. Wallace, yea; Mr. Kirby, yea; Mr. Larsen, yea; Ms. Briggs, yea; Mr. Schell, yea. Yea, 5; Nay, 0; Abstain, 0. Motion passed by a 5-0 vote.

Moved by Mr. Kirby to recommend for approval to City Council the Engage New Albany Strategic Plan Addendum, the Planning and Zoning Code Updates, and Design Guidelines and Requirements Update and to request that City Council have language about age restricted or unit balance added, seconded by Mr. Wallace. Upon roll call: Mr. Kirby, yea; Mr. Wallace, yea; Mr. Schell, yea; Ms. Briggs, yea; Mr. Larsen, no. Yea, 4; Nay, 1; Abstain, 0. Motion passed by a 4-1 vote.

Mr. Schell stated he thanked MKSK for their work, but he was still not sure that 6:1 number was right, but he was relying on the experts.

Mr. Larsen stated he did not believe they had worked through and fully defined the geographical area, nor the heights and scale here. Mr. Larsen noted he felt the way this was portrayed it may be misleading and could be better presented.

Poll Members for Comment

Mr. Wallace adjourned the meeting at 10:00 p.m.

Submitted by Josie Taylor.

APPENDIX



Planning Commission Staff Report June 20, 2022 Meeting

BEECH CROSSING WEST ZONING AMENDMENT

LOCATION: Generally located east of the Bob Evans site, south of Smith's Mill Road and

north of State Route 161 (portion of PID: 093-107046-00.000)

APPLICANT: MBJ Holdings LLC, c/o Aaron Underhill

REQUEST: Zoning Amendment

ZONING: Infill Planned Unit Development (I-PUD) to Infill Planned Unit Development

(I-PUD)

STRATEGIC PLAN: Employment Center

APPLICATION: ZC-60-2022

Review based on: Application materials received May 20, 2022.

Staff report completed by Chris Christian, Planner.

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation to rezone 25.120+/- acres of land from Infill Planned Unit Development (I-PUD) to Infill Planned Unit Development (I-PUD) for an area to be known as the "Beech Crossing West Zoning District".

The proposed rezoning proposes to:

- Add warehousing and distribution uses as permitted uses on the property in addition to the other General Employment (GE) uses that are permitted under the existing zoning.
- Eliminate C-3 (retail, restaurant, personal service etc.) uses that were permitted on a limited portion of the property;
- Eliminate CF Community Facilities uses that were permitted on the entirety of the land;
- Reduce the setback along Smith's Mill Road; and,
- Reduce the required eastern property line setback for this site.

II. SITE DESCRIPTION & USE

The overall 25.120 +/- acre site consists of one parcel and is located in Licking County. The site has frontage on Smiths Mill Road and is located north of SR 161, generally west of Beech Road, and east of the Lower.com site. Immediate neighboring zoning districts include the Columbus Southern Power Company GE Zoning District to the north, the Blacklick L-GE Subarea D Zoning District to the west, and the Beech Crossing Zoning District directly to the east of the site. The site is currently vacant.

III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.09. Upon review of the proposed amendment to the zoning map, the

Commission is to make recommendation to City Council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

<u>Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall</u> consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

In addition to these requirements, Codified Ordinance Chapter 1159.08 provides the basis of approval for a preliminary development plan in an I-PUD zoning district:

- (a) That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;
- (b) That the proposed development is in general conformity with the Strategic Plan or portion thereof as it may apply;
- (c) That the proposed development advances the general welfare of the Municipality;
- (d) That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;
- (e) Various types of land or building proposed in the project;
- (f) Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density of dwelling units may not violate any contractual agreement contained in any utility contract then in effect;
- (g) Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- (h) Building heights of all structures with regard to their visual impact on adjacent facilities;
- (i) Front, side and rear yard definitions and uses where they occur at the development periphery;
- (j) Gross commercial building area;
- (k) Area ratios and designation of the land surfaces to which they apply;
- (l) Spaces between buildings and open areas;
- (m) Width of streets in the project;
- (n) Setbacks from streets:
- (o) Off-street parking and loading standards;
- (p) The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- (q) The potential impact of the proposed plan on the student population of the local school district(s);
- (r) The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required):
- (s) The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

A. New Albany Strategic Plan

The Engage New Albany Strategic Plan lists the following development standards for the Employment Center future land use district:

- 1. No freeway/pole signs are allowed.
- 2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.

- 3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
- 4. Sites with multiple buildings should be well organized and clustered if possible.
- 5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
- 6. All office developments should plan for regional stormwater management.
- 7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
- 8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of the road corridor.
- 9. Combined curb cuts and cross-access easements are encouraged.
- 10. The use of materials, colors, and texture to break up large scale facades is required.

B. Use, Site and Layout

- 1. The proposed text rezones approximately 25.120+/- acres from Infill Planned Unit Development (I-PUD) to Infilled Planned Unit Development (I-PUD).
- 2. The following table provides an overview of the proposed zoning use changes compared to the existing Beech Crossing I-PUD zoning district text:

Use Category	Existing Zoning Text	Proposed Zoning Text
Community Facility	Permitted on the entire	Not permitted
(CF) Uses	property	
C-3 Uses (Retail,	Permitted on a limited	Not permitted
Personal Service,	portion of the property	
Restaurant etc.)		
Certain General	Permitted	Permitted
Employment (GE)		
Uses		
Warehousing and	Not Permitted	Permitted
Distribution Uses		

- 3. The proposed text carries over the existing list of prohibited uses including but not limited to: industrial product sales and services, mini-warehouses, off-premises signs, radio/television broadcast facilities, and sexually oriented business.
- 4. The text establishes the following setbacks which are consistent with those established in surrounding zoning districts:

Perimeter Boundary	Existing Zoning Text	Proposed Pavement & Building Setback	
SR 161 (Southern)	125 foot building and	125 foot building and	
	pavement setback	pavement setback from the	
	from the edge of	edge of right-of-way	
	right-of-way		
Eastern Boundary	25 feet building and	15 feet building and	
	pavement setback	pavement setback	
Western Boundary	25 feet building and	25 feet building and	
	pavement setback	pavement setback	
Smith's Mill Road	55 feet pavement and	55 feet pavement and 100	
(Northern)	100 feet for buildings	feet for buildings from the	
	from the edge of	edge of right-of-way	
	right-of-way		

- 5. The text contains the same provision for elimination of setbacks for building and pavement when this zoning district and any adjacent parcel located outside of this zoning district come under common ownership, are zoned to allow compatible non-residential uses, and are combined into a single parcel.
- 6. Due to the proximity of this site to the SR 161 interchange and its location adjacent to commercially zoned and used land in the existing Licking County business park to the east and west, the site appears to be most appropriate for commercial development.

C. Access, Loading, Parking

- 1. The proposed text contains the same language from the existing Beech Crossing zoning text regarding the number of access points permitted along Smith's Mill Road (ZC-102-2019). The text permits the following curb cuts:
 - a. One full movement access point on the south side of Smith's Mill Road at its intersection with the Outparcel Access Road. This curb cut exists today.
 - b. Two other full movement access points along Smith's Mill Road, provided that they are adequately spaces from one another in order to preserve traffic safety.
 - c. Additional access points may be permitted if approved by the city based on a traffic analysis that is approved by the City Traffic Engineer.
- 2. The city engineer reviewed the application and determined that no additional right-of-way is needed.
- 3. Parking will be provided per code requirements (Chapter 1167) and will be evaluated at the time of development of the site.
- 4. City code requires an 8-foot-wide leisure trail to be installed along Smiths Mill Road

D. Architectural Standards

- 1. The proposed rezoning carries over the same architectural standards for General Employment uses as they exist in the Beech Crossing text today.
- 2. The proposed text maintains a maximum 65-foot building height limitation, consistent with other GE zoning texts in the New Albany Business Park.
- 3. The proposed text contains the same architectural requirements as surrounding business park zoning districts.
- 4. The City's Design Guidelines and Requirements do not provide architectural standards for warehouse and distribution type facilities. Due to the inherent size and nature of these facilities careful attention must be paid to their design to ensure they are appropriately integrated into the rest of the business park. This zoning text contains specific design requirements for uses not governed by the DGRs, which will ensure the quality design of these buildings.
- 5. The proposed text contains a requirement for complete, four-sided screening of all roof-mounted equipment for sight and sound.
- 6. The proposed text requires all accessory structures, generators, storage tanks, trash receptacles or any other similar improvement to be located behind a building façade that that does not front onto a public road.

E. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Maximum lot coverage for this subarea is 80%. This matches the surrounding zoning districts.
- 2. The proposed zoning text contains the same landscaping, open space and screening standards as the existing Beech Crossing zoning district.
- 3. In addition to street trees, additional trees must be planted within the setback areas along both Smith's Mill Road and State Route 161 at a rate of 6 trees for every 100 feet of road frontage

- along the perimeter. The trees may be grouped or regularly spaced to create a more natural appearance.
- 4. Minimum tree sizes and heights for on-site trees match the standards in the surrounding business districts.
- 5. Four-board white horse fence will be required along both State Route 161 Smiths Mill Road.
- 6. A gas line easement burdens the southwestern portion of the zoning district along and near SR 161. The proposed zoning text takes this easement into account and states that the horse fence and street trees will be placed outside of the right-of-way and gas line easement.

F. Lighting & Signage

- 1. The proposed text retains the lighting and signage standards found in the existing Beech Crossing I-PUD zoning text.
- 2. All signage shall conform to the standards set forth in Codified Ordinance Section 1169.
- 3. All lighting shall be cut-off type fixtures and down cast to minimize light spilling beyond the boundaries of the site. The maximum height is 30 feet.
- 4. The zoning text requires landscape lighting details to be included in the landscape plan which is subject to review and approval by the City Landscape Architect.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and has no comments.

V. RECOMMENDATION

Basis for Approval:

The proposed rezoning is consistent with the principles of commercial development in the Engage New Albany strategic plan and the existing business park in Licking County. The text contains the same development standards as the surrounding zoning districts where General Employment (GE) uses are permitted as well as provisions landscape provisions that exist today in the Beech Crossing zoning district which will ensure a consistent development pattern in the immediate area.

- 1. The rezoning will result in a more comprehensive planned redevelopment of the area and will ensure compatibility between uses (1111.06(a)).
- 2. The IPUD rezoning application is an appropriate application for the request (1111.06(e)).
- 3. The overall effect of the development advances and benefits the general welfare of the community (1111.06(f)).
- 4. The proposed rezoning will allow for the development of businesses that will generate revenue for the school district while eliminating residential units having a positive impact on the school district (1111.06(h)).

Staff recommends approval provided that the Planning Commission finds the proposal meets sufficient basis for approval.

VI. ACTION

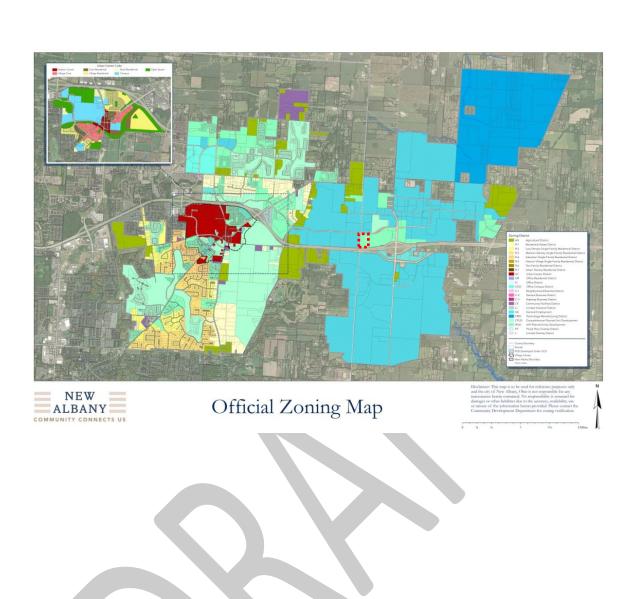
Suggested Motion for ZC-60-2022:

Move to recommend approval to City Council of Zoning Change application ZC-60-2022 (conditions of approval may be added).

Approximate Site Location:



Zoning Map:





Planning Commission Staff Report June 20, 2022 Meeting

MOO MOO CARWASH FINAL DEVELOPMENT PLAN

LOCATION: 1.10+/- acre site within the Canini Trust Corp (PID: 222-000347)

APPLICANT: The Mannik & Smith Group, Inc. c/o Kyle Wrentmore

REQUEST: Final Development Plan

ZONING: Canini Trust Corp I-PUD: Subarea 8D

STRATEGIC PLAN: Retail

APPLICATION: FDP-62-2022

Review based on: Application materials received on March 10, 2022.

Staff report completed by Chris Christian, Planner

II. REQUEST AND BACKGROUND

The application is for a proposed Moo Moo carwash located south of US-62 within the Canini Trust Corp. The development includes an automated carwash and car vacuums on a 1.10-acre site.

The applicant is also applying for several variances related to this final development plan under application VAR-63-2022. Information and evaluation of the variance requests are under a separate staff report.

This site is part of the Canini Trust Corp I-PUD: Subarea 8D zoning district that was approved by the Planning Commission during their March 21, 2022 meeting (ZC-21-2022) and adopted by City Council (O-10-2022).

II. SITE DESCRIPTION & USE

The site is located on the southwest corner of US-62 and Forest Drive within the Canini Trust Corp zoning district. The site is 1.10+/- acres and is currently undeveloped and is bounded by US 62, Forest Drive and Woodcrest Way on all four sides.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- (a) That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;
- (b) That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;
- (c) That the proposed development advances the general welfare of the Municipality;

- (d) That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;
- (e) Various types of land or building proposed in the project;
- (f) Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;
- (g) Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- (h) Building heights of all structures with regard to their visual impact on adjacent facilities;
- (i) Front, side and rear yard definitions and uses where they occur at the development periphery;
- (i) Gross commercial building area;
- (k) Area ratios and designation of the land surfaces to which they apply;
- (l) Spaces between buildings and open areas;
- (m) Width of streets in the project;
- (n) Setbacks from streets;
- (o) Off-street parking and loading standards;
- (p) The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- (q) The potential impact of the proposed plan on the student population of the local school district(s);
- (r) The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- (s) The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. Ensure that future growth and development occurs in general accordance with the Strategic Plan;
- b. Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible
- c. Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;
- d. Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;
- e. Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;
- f. Foster the safe, efficient and economic use of land, transportation, public facilities and services:
- g. Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;
- h. Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;
- *i.* Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- *j.* Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;
- k. Provide an environment of stable character compatible with surrounding areas; and
- l. Provide for innovations in land development, especially for affordable housing and infill development.

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan lists the following development standards for the Neighborhood Retail future land use category:

- 1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
- 2. Combined curb cuts and cross access easements are encouraged.
- 3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
- 4. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
- 5. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

- 1. The applicant proposes to develop a 3,751 sq. ft. Moo Moo carwash on a 1.10 acre site. The Canini Trust Corp: Subarea 8D zoning text permits drive-through automated car washes and related accessory uses including car vacuums which are also proposed for the site.
- 2. The proposed use is appropriate given the proximity of this site to State Route 161 and the surrounding commercial development surrounding this site. Some of the surrounding uses include Home2Suites, the Turkey Hill gas station, convenience store and car wash as well as Dairy Queen and Popeyes which is currently under construction.
- 3. Zoning text section III(E) states that the vehicular entry point into the carwash must be located at the rear of the building so that traffic exits the building through the building elevation facing US 62. As proposed, the circulation is revised so the entrance into the carwash will be located along the US-62 elevation and the exit along the Woodcrest way elevation and a variance to this requirement has been requested.
- 4. Zoning text section III(A)(4) requires that the total lot coverage, which includes areas of pavement and building, to not exceed 75%_and this requirement is met as the lot coverage is 56%.

5. The zoning text section 8a.01 requires the following setbacks:

Road	Requirement	Proposed
US-62	75 building and pavement setback	75 foot pavement [meets code]
	from the edge of right-of-way	
		117 +/- building [meets code]
Forest Drive	15 foot building and pavement setback	30+/- foot pavement [meets code]
	from the edge of right-of-way	
		27+/- foot building [meets code]
Northern Boundary	0 foot building and pavement setback	5+/- foot pavement [meets code]
(adjacent to future		
development site)		114+/- foot building [meets code]
Woodcrest Way	10 foot building and pavement from	10+/- foot pavement [meets code]
	the edge of pavement	
		38+/- foot building [meets code]

B. Access, Loading, Parking

1. Zoning text section III(C)(3) states that vehicular access to this site must be provided from Woodcrest Way and Forest Drive only. The site will be accessed from one full access along Woodcrest Way which is a private road. Queueing to enter the carwash will be provided around the perimeter of the site, with vacuums at the center of it. Once vehicles exit the carwash, they may either turn into the vacuum area or leave the site via the curb cut along Woodcrest Way. An exit only, escape lane is also proposed along Woodcrest Way in order to ensure there is an

- exit for vehicles that are too large to go through the drive through. This exit will be blocked off under normal day to day operations and not used as a normal exit or entrance into the site.
- 2. The zoning text section further states that at the time of a final development plan, a traffic analyses may be required at the discretion of the city traffic engineer. A traffic study was provided by the applicant and the city traffic engineer is supportive of the proposed site circulation pattern and curb cut locations.
- 3. Zoning text section III(C)(4) states that a car wash shall provide at least two aisles to queue vehicles for entry into the carwash and a third aisle must be provided to allow customers and visitors to bypass the queuing aisles and exit the property. Further, the text requires two means of ingress/egress to be provided where vacuums are present on the site. The applicant is partially meeting these requirements as three drive aisles are present, one of which could be used by customers to bypass queuing cars and exit the property via the escape lane along Forest Drive. Due to the orientation of the site/building, which was largely dictated by the traffic study, the applicant is only providing one means of ingress/egress in the vacuum area of the site and a variance has been requested.
- 4. Zoning text section III(C)(1) states that the Planning Commission shall review and approve the number of required parking spaces as part of this final development plan as city code does not provide standards for an automated car wash use.
 - a) A total of 15 vacuum spaces are being provided with an additional 3 standard parking spaces, including one handicap parking space. <u>Based on the proposed use, it appears that the number of parking spaces for visitors is sufficient however, staff recommends that the Planning Commission confirm with the applicant where the employees will park on the site.</u>
- 5. Per C.O. 1167.03(a) the minimum parking space dimensions required are 9 feet wide and 19 feet long and the applicant is meeting this requirement.
- 6. Per C.O. 1167.03(a) the minimum maneuvering lane width size is 22 feet for this development type and this is requirement is met.
- 7. Per the approved final development plan for the Canini Trust Corp's Woodcrest Way private road network and the requirements of the zoning text, the applicant is required to install a 5 foot sidewalk along Woodcrest Way and Forest Drive and these requirement is met.

C. Architectural Standards

- 1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design.
- 2. The zoning text contains architectural standards and is also regulated by Section 6 of the Design Guidelines and Requirements (Commercial outside the Village Center).
- 3. The zoning text states that the maximum building height within this zoning district shall not exceed 35 feet. The proposed building height is approximately 25 +/- feet therefore this requirement is being met.
- 4. The applicant is proposing to use brick and fiber cement panels as the primary building materials which are permitted as well as asphalt roof shingles. The design of the building and use of materials is appropriate and complimentary to the other buildings in the immediate area.
- 5. Zoning text section III(D)(2) states that all visible elevations of a building shall receive similar treatment in style, materials and design so that no visible side is of a lesser visual character than any other. The applicant is accomplishing this requirement by utilizing four-sided architecture. The proposed car wash architecture is designed to resemble a historic American barn.
- 6. DGR Section 6(I)(A)(12) states that buildings shall have operable and active front doors along all public and private roads. However, the zoning text exempts carwash uses from exempt meeting this requirement as long as a rear and side door is provided on the building and this requirement is met.
- 7. C.O. 1171.05(b) states that all trash and garbage container systems must be screened. The applicant proposes to install a dumpster enclosure thereby meeting this requirement.

8. There are no rooftop mechanical units proposed for the building.

D. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Codified Ordinance 1171.06(a)(3) requires one tree per 10 parking spaces. The applicant is providing parking spaces thereby requiring 2 trees and the applicant is meeting this requirement.
- 2. The zoning text section III(G)(4) requires that there be a minimum of eight (8) deciduous or ornamental trees per 100 lineal feet planted throughout the setback areas along US-62 and Forest Drive. The proposed site has approximately 194 feet of frontage along US-62, requiring 16 trees to be installed and the site has 247 feet of frontage along Forest Drive, requiring 20 trees to be installed. In order to meet these requirements, staff recommends a condition of approval that 18 additional buffer trees must be installed within the US-62 setback area.
- 3. C.O. 1171.04(a) requires that street trees must be planted along Forest Drive and US-62 at a rate of one tree for every 30 feet. There are 8 existing street trees along US-62 meeting the requirement along this roadway. The applicant is required to install 8 trees along Forest Drive and they are exceeding this requirement by providing 13.
- 4. C.O. 1171.06(2) requires a minimum of 5% interior parking lot landscaping on the site. The applicant is meeting and exceeding this requirement by providing 6% interior parking landscaping on the site.
- 5. Per zoning text section III(G)(3), parking lots shall be screened from US-62 with a minimum 30-inch-high evergreen landscape hedge or wall and this requirement is met.
- 6. The City Landscape Architect has reviewed the referenced plan in accordance with the landscaping requirements found in the New Albany Codified Ordinances and zoning text and provides in a memo attached to this staff report. <u>Staff recommends all the City Landscape Architect's comments are met, subject to staff approval.</u>

E. Lighting & Signage

- 1. The applicant submitted a photometric plan showing zero light spillage onto adjacent properties.
- 2. Zoning text section III(H)(3)(a) requires all parking lot and private driveway light poles to be cut-off and downcast, not exceed 18 feet in height, painted New Albany Green and the use the same fixture that has been used at Dairy Queen and throughout the Canini Trust Corp. These requirements are being met.

Wall Signs

C.O. 1169.16(d) permits one wall mounted sign per building frontage. One square foot of sign face is permitted per each lineal foot of the building, not to exceed 50 square feet in size. The applicant proposes to install two identical wall signs on the building, one on the front (US 62 frontage) and one on the rear (Woodcrest Way) elevations with the following dimensions.

Wall Signs

- a. Area: 50 square feet [does not meet code and a variance has been requested]
- b. Lettering height: 14 inches at the tallest [meets code]
- c. Location: one on the north and one on the south building elevations [meets code]
- d. Lighting: external, gooseneck [meets code]
- e. Relief: 1.5 inches [meets code]
- f. Color: red, white and black (total 3) [meets code]
- g. Materials: HDU panel [meets code]
- The sign will read \$5 MooMoo Carwash Express and Vacuum" and feature the company logo

- 3. The applicant proposes to install three drive thru menu board sign at the front of the site which is permitted C.O. 1169.11(c) as long as they are screened from public rights-of-way which they are according to the landscape plan. The proposed menu board signs are digital and a variance has been requested. All other code requirements for this sign type are met.
- 4. The applicant proposes to install a monument sign along the US-62 frontage of the site. The proposed monument sign meets all of the requirements of the Canini Trust Corp Master Sign Recommendations Plan however, a portion of the proposed sign is located in the right-of-way which is not permitted per C.O. 1169.05(a) and a variance has been requested.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided comments in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval.

V. RECOMMENDATION

Staff recommends approval of the MooMoo Carwash final development plan provided that the Planning Commission finds the proposal meets sufficient basis for approval. The proposal is meeting many of the goals of the Engage New Albany Strategic Plan such as providing pedestrian access along roadways and into the site and utilizing high quality building materials by incorporating four-sided architecture. The city traffic engineer has reviewed the traffic study and is supportive of the general site circulation as it will not negatively impact traffic on adjacent roadways. The proposed development is in an appropriate location given the context of the surrounding area and will serve as an amenity for the New Albany Business Park. The proposed building is very well designed and is consistent with other retail buildings in the immediate area.

VI. ACTION

Suggested Motion for FDP-62-2022 (Conditions of approval may be added):

Move to approve FDP-62-2022 with the following conditions:

- 1. 18 additional trees must be planted within the US-62 building and pavement setback area.
- 2. The city landscape architect comments must be addressed, subject to staff approval.
- 3. The city engineer comments must be addressed, subject to staff approval.

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Planning Commission Staff Report June 20, 2022 Meeting

MOO MOO CARWASH VARIANCES

LOCATION: 1.10+/- acre site within the Canini Trust Corp (PID: 222-000347)

APPLICANT: REQUEST:

The Mannik & Smith Group, Inc. c/o Kyle Wrentmore

(A) Variance to zoning text section III(E) to allow the entry point of the carwash to be located at the front of the building where the text requires it be located at the rear of the building.

(B) Variance to zoning text section III(C)(4) to allow one entry/exit point for a car vacuum area where the text requires two means of entry/exit.

(C) Variance to C.O. 1169.16(d) to allow two wall signs to be 50 sq. ft. in size where code allows a maximum of 31 sq. ft. based on the frontage of the building.

(D) Variance to C.O. 1169.05(A) to allow a monument sign to be located partially in the public right-of-way.

(E) Variance to C.O. 1169.04 to allow digital menu board signs where code prohibits digital/electronic signs.

ZONING: Canini Trust Corp I-PUD: Subarea 8D

STRATEGIC PLAN: Retail

APPLICATION: VAR-63-2022

Review based on: Application materials received on March 10 and April 10, 2022.

Staff report completed by Chris Christian, Planner

III. REQUEST AND BACKGROUND

The applicant requests variances in conjunction with the final development plan (FDP-62-2022) for a Moo Moo carwash located south of US-62 within the Canini Trust Corp. The development includes an automated carwash and car vacuums on a 1.10-acre site.

The applicant requests the following variances:

- (A) Variance to zoning text section III(E) to allow the entry point of the carwash to be located at the front of the building where the text requires it be located at the rear of the building.
- (B) Variance to zoning text section III(C)(4) to allow one entry/exit point for a car vacuum area where the text requires two means of entry/exit.
- (C) Variance to C.O. 1169.16(d) to allow two wall signs to be 50 sq. ft. in size where code allows a maximum of 31 sq. ft. based on the frontage of the building.
- (D) Variance to C.O. 1169.05(A) to allow a monument sign to be located partially in the public right-of-way.
- (E) Variance to C.O. 1169.04 to allow digital menu board signs where code prohibits digital/electronic signs.

II. SITE DESCRIPTION & USE

The site is located on the southwest corner of US-62 and Forest Drive within the Canini Trust Corp zoning district. The site is 1.10+/- acres and is currently undeveloped and is bounded by US 62, Forest Drive and Woodcrest Way on all four sides.

III. EVALUATION

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

- 1. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.
- 2. Whether the variance is substantial.
- 3. Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."
- 4. Whether the variance would adversely affect the delivery of government services.
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction.
- 6. Whether the problem can be solved by some manner other than the granting of a variance.
- 7. Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.

Plus, the following criteria as established in the zoning code (Section 1113.06):

- 8. That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- 9. That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- 10. That the special conditions and circumstances do not result from the action of the applicant.
- 11. That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- 12. That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

III. RECOMMENDATION

Considerations and Basis for Decision

- (A) Variance to zoning text section III(E) to allow the entry point of the carwash to be located at the front of the building where the text requires it be located at the rear of the building.
- (B) Variance to zoning text section $\mathrm{III}(C)(4)$ to allow one entry/exit point for a car vacuum area where the text requires two means of entry/exit.

The following should be considered in the Commission's decision:

- 1. Section III(E) of the Canini Trust Corp Subarea 8D zoning text requires that the vehicular entry point into a building containing a car wash use shall be located in the rear of the building such that traffic will exit the building through the front. In simpler terms, the intent of this requirement is to ensure that the car wash entrance would be located in the rear of the site, opposite of US-62. As submitted, the entrance into the proposed car wash is located along the US-62 elevation of the building therefore, a variance is required.
- 2. Section III(C)(4) of the zoning text states that where automobile vacuum parking spaces are located, at least two means of ingress/egress shall be provided. As submitted, the applicant proposes to install only one entry/exit point from the vacuum area therefore a variance is required.
- 3. The applicant submitted a traffic study for the proposed development as required by the city traffic engineer per the requirements of the zoning text. The purpose of this requirement is to ensure that the proposed use will not have a negative impact on traffic for the adjacent roadways, particularly US-62. In order to accomplish this, the city traffic engineer provided the following direction to the applicant:
 - a. Locate the primary curb cut(s) into the site along Woodcrest Way which is a private roadway.
 - b. Prohibit regular traffic access along Forest Drive due to the proximity of US-62 based on the findings of the traffic study.
- 4. In order to meet these requirements, provide sufficient queuing on the site and eliminate any potential for a negative impact on US-62, and, the applicant flipped the orientation of the building as proposed which resulted in the proposed variance requests.
- 5. The variance request preserves the "spirit and intent" of the zoning requirement. The intent of the requirement is to ensure that the drive-thru functions of the proposed use are screened from primary roadways and in this case, US-62. While the applicant proposes to have this function of the building facing US-62, they are providing landscape screening in order to provide a visual buffer. The city landscape architect has reviewed the proposed landscape plan with these requirements in mind as part of the final development plan application (FDP-62-2022) and recommended some modifications in order to ensure the intent of this requirement is still met as part of the variance request.
- 6. The intent of the requirement for providing two means of ingress/egress for the vacuum area is to that additional connectivity will provide better traffic flow within the site and ease of access between the different functions of the site. While the applicant proposes to deviate from this original requirement, an additional ingress/egress access would not improve traffic flow on the site and would likely have a negative impact on it based on the city traffic engineer's review of site circulation. It appears that the original intent of the requirement is met while only providing one mean of access.
- 7. Additionally, while the orientation of the building is different than what is required, the visual impact of the structure will not change as it is designed with a 360-degree architectural approach with the same building materials and treatments being used on all side of the building. When the business is not operating, the public will not be able to perceive which side of the building is the front or rear.
- 8. If the variance requests are not granted, the applicant would be forced to reorient the site circulation pattern which may result in the curb cuts into the property to be located on Forest Drive. As stated, the city traffic engineer is not supportive of any permanent curb cuts along Forest Drive in order to preserve acceptable traffic control and access into the site which in turn has a direct impact on public roadways in the immediate area, namely US-62 which is a heaviest traveled road in the city. For these reasons, if the variance requests are not granted, the essential character of the neighborhood may be altered and the adjoining property owners may suffer a substantial detriment.

(C) Variance to C.O. 1169.16(d) to allow two wall signs to be 50 sq. ft. in size where code allows a maximum of 31 sq. ft. based on the frontage of the building.

The following should be considered in the Commission's decision:

- 1. The applicant requests to allow two identical, MooMoo Car Wash wall signs to be 50 square feet in size where the zoning text allows a maximum area of 31 sq. ft. for all retail buildings.
- 2. The applicant proposes to install two identical wall signs, one on the US-62 elevation and one on the Woodcrest Way building elevation.
- 3. The variance appears to meet the spirit and intent of the zoning text which is to ensure that wall signs are appropriately scaled in relation to the building on which they are located. The proposed wall signs are appropriately integrated into the architecture of the building which will make these signs feel more like a part of overall building design.
- 4. It does not appear the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment" by approving this variance. While the sign is larger than permitted, the design is unobtrusive. Additionally, there are no overly bright or jarring colors. Additionally, other sites within the Canini Trust Corp and the Walton-62 zoning districts have received variances to exceed the sign area limitations for the same reasons as described above.
- 5. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

(D) Variance to C.O. 1169.05(A) to allow a monument sign to be located approximately 8 feet in the public right-of-way.

The following should be considered in the Commission's decision:

- 1. C.O. 1169.05(a) states that signs may not be installed in any public easement, right-of-way, or no build zone, except publicly owned signs such as traffic control signs and directional signs. The applicant proposes to install their monument sign in the location required by the zoning text however it is partially located in the right-of-way therefore, a variance is required.
- 2. Staff is supportive of the variance request as it does not appear to be substantial. The zoning text requires developers to follow the Canini Trust Corp Master Sign Plan which was approved by the Planning Commission. Since then, many monument signs have been installed within this area, meeting the requirements of the sign plan. The plan includes requirements for size, color and location. The plan requires monument signs to be placed between the horse fence and leisure trail, both of which are existing along US-62 today. The variance is required in order for the sign to meet the location requirements and be consistent with other sign locations along US-62. While the sign is located within the right-of-way, it would not be obvious that this is the case unless you were looking at the lot lines on paper.
- 3. The special conditions and circumstances do not result from the action of the applicant. The sign requires monument signs to be placed between the horse fence and leisure trail, both of which are existing along US-62 today. These are located a consistent distance from the public street, but the right-of-way narrows, resulting in the need for this variance.
- 4. There appear to be special conditions and circumstances which are peculiar to this property that justify the variance request. While the sign plan accounts for size, color and location requirements, it does not take the varying right-of-way location along US-62 in account. In addition to the existing horse fence and leisure trail, there are also existing gas and water lines running along the frontage of the property, limiting where this sign could be located. If the sign were to be relocated just outside of the right-of-way it would be installed above these utility lines which could not be supported. As proposed, the sign is not located above any utility lines and the city engineer is supportive of its location.
- 5. <u>Staff recommends a condition of approval requiring a hold harmless agreement to be entered</u> into which specifies that the applicant is responsible for maintenance, ownership and liability

- concerning the sign subject to the review and approval of the city law director and a right-of-way permit must be obtained.
- 6. With this condition of approval. it does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

(E) Variance to C.O. 1169.04 to allow digital menu board signs where code prohibits digital/electronic signs.

The following should be considered in the Commission's decision:

- 1. C.O. 1169.04 states that digital/electronic signs are a prohibited sign type. The applicant proposes to allow three pay stations for the car wash each of which include a small digital menu board therefore, a variance is required. The Planning Commission has approved digital menu board signs in the immediate area following the same general principles below. It appears that these same general principles and conditions of approval are applicable to this site and staff recommends approval of the variance with the conditions specified below. However, staff recommends that the Planning Commission weigh these same factors for this specific proposal when making a determination.
- 2. The city's codified ordinances state the purpose of the sign regulations are to are intended to provide design regulations for sign types so that they may fit harmoniously with structures and their surroundings. It is the intent of these regulations to prevent signs from becoming a distraction or obstruction to the safe flow of pedestrian and vehicular traffic, to prevent signs from becoming a nuisance factor to adjacent properties or uses, to protect and encourage a healthful economic and business environment in the community, and thereby protect the general health, safety, and welfare of the community. Accordingly, the city's sign code codified ordinance chapter 1169.04 lists flashing, animated, and electronic signs as prohibited sign types. Staff recommends a condition of approval requiring the menu board sign does not employ any animated or flashing features on the sign.
- 3. Additionally, in order to meet spirit and intent of a typical menu sign, staff recommends the menu must be static so it not used as a reader board with scrolling or frequent display changes.
- 4. To prevent the sign from becoming a nuisance factor to adjacent properties or uses at night staff recommends an automatic brightness dimmer is installed to ensure the sign is not overly bright. There will be landscaping installed in between the location of the proposed menu signs and US-62. This additional landscaping will provide buffering in order to limit the view of them from off-site.
- 5. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

II. RECOMMENDATION

Staff is supportive of the variances related to the site orientation and circulation due to the findings of the traffic study submitted with the final development plan which has been reviewed and approved by the city traffic engineer. The city staff goals for this private site layout are to (1) maximize the number of cars that can be queued on-site and (2) ensure the proper on-site circulation to maximize functionality of the drive-through. Additionally, to ensure there are no off-site impacts, the applicant (1) removed a permanent curb cut along Forest Drive and (2) submitted a traffic study showing traffic generated from the site doesn't negatively impact the public streets. City staff and the developer agree the only way to accomplish all of the on-site and off-site goals is to flip the orientation of the building and have one entry/exit point from the vacuum area. Additionally, the wall sign size and monument sign location variances are appropriate as the signs are designed and located in similar locations as

other signs within the same zoning district and therefore will complement the area.

The Planning Commission should evaluate the appropriateness of using a digital menu board sign at this site for this application. The board has approved digital menu board signs for other sites in the immediate area and it appears that the same standards of approval for those signs would apply in this case. The proposed electronic menu board sign may be appropriate if there are parameters in place to ensure the sign is unobtrusive as possible to ensure it doesn't become a nuisance or distraction. For this reason, staff recommends additional restrictions and regulations regarding the display and brightness of the sign are implemented to ensure it meets the purpose of the sign code regulations.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate (The Planning Commission can make one motion for all variances or separate motions for each variance request):

Move to approve application VAR-63-2022, subject to the following conditions:

- 1. A hold harmless agreement to be entered into which specifies that the applicant is responsible for maintenance, ownership and liability concerning the sign subject to the review and approval of the city law director and a right-of-way permit must be obtained. The electronic menu-board signs do not display any flashing, moving or animated graphics.
- 2. The menu must be static so it not used as a reader board with scrolling or frequent display changes.
- 3. An automatic brightness dimmer is installed to ensure the menu sign is not overly bright.



Source: Google Earth



To: Planning Commission

From: Community Development Department

Re: Hamlet Development Standards, Codified Ordinance and Design Guidelines and

Requirements Updates

Date: June 14, 2022

Throughout the Engage New Albany public outreach process, the planning team heard from the community about the need for more housing types for all life stages and the desire, especially from residents north of State Route 161, for more active and walkable destinations. In response, the Engage New Albany Strategic Plan, adopted in 2021, includes the hamlet development concept to introduce walkable retail and commercial uses that are integrated with residential area.

After an initial proposal in late 2021, New Albany city council directed city staff to further study the hamlet concept to determine the best application of it in New Albany. The planning team for this project included city staff as well as the city landscape and urban design consultants, MKSK. Beginning in January 2022, the planning team worked collaboratively to create multiple hamlet development scenarios which included different site layouts, land use compositions, densities and various other factors in order to determine the most ideal hamlet development pattern for New Albany.

Based on a review of relevant literature and several case studies of similar developments in other communities, the planning team developed a list of essential components for a hamlet development in New Albany. Together, these components contribute to the creation of a development with strong character and a sense of place that fits within the existing character of New Albany. The essential components of a New Albany hamlet include the following:

COMPONENTS OF A HAMLET

Based on a review of relevant literature and existing developments in other communities, the planning team developed a list of essential components for a hamlet development in New Albany. Together, these components will contribute to the creation a development with strong character and a sense of place that fits with the existing character of development in New Albany. The components of a New Albany hamlet include the following:



Compact, walkable neighborhood pattern - A key feature of hamlets is walkability, which is achieved through more compact development patterns, connected streets and pathways, and pedestrian-oriented design of blocks and buildings.



Central, organizing public space framed by streets and buildings - Public space is at the heart of a New Albany hamlet. This can take the form of an activated open space, plaza, or square. This space should be bordered by streets and buildings on at least a couple of sides to frame the public space and create a center of activity for the hamlet.



Active ground floor uses - A vibrant pedestrian experience in a hamlet is achieved through various means, including by creating an active first floor. In mixed-use buildings, the ground floor should be occupied by restaurants, shops, service businesses, and other similar uses that promote pedestrian activity throughout the day.



Prioritization of streets, sidewalks, and pedestrian/bike connections – A connected mobility network of streets, sidewalks, and leisure trails is an essential component to move people to, from, and within a hamlet.



Contains a mix of two or more uses - By incorporating more than one land use, a hamlet can become a community destination rather than simply a development. A mix of uses creates a multi-functional place where people can live, work, shop, explore, relax, and more.



Memorable architecture, public spaces, and placemaking elements -Components of the public realm, such as architecture, signage, public spaces, site furnishings, and public art should be utilized in a New Albany hamlet to create a strong sense of place.



Emphasizes a discipline of materiality - New Albany is known for its highquality development and a hamlet should be no exception. A hamlet should utilize materials that are of a uniquely New Albany vernacular.



Integrated parking on-street and behind buildings - Parking should be intermixed with the rest of the built environment in a hamlet. Streetscape design can include on-street parking spaces, which provides a buffer between vehicular traffic and the pedestrian realm. Larger surface parking areas that are adequately screened and located behind buildings can blend seamlessly with the rest of a development.



Context sensitive design that leverages surroundings - A New Albany hamlet is not a cookie cutter development, but rather is a bespoke place with a character that is distinctly New Albany. By utilizing the surrounding context and natural features in the site design, a hamlet can become seamlessly embedded into the community.

Using these essential components, the planning team prepared a preferred development scenario and associated development standards as follows. These development standards build upon the original development standards found in the Engage New Albany Strategic Plan by adding

recommendations for residential density, commercial and residential space ratios, and building heights.

DEVELOPMENT STANDARDS

The planning team tested various development scenarios to arrive at a preferred site plan (see p. 17), which then informed the creation of the following development standards. These new standards deviate slightly from the original hamlet development standards included in the Engage New Albany Strategic Plan (found on p. 74) because the hamlet concept has been further studied and its application in New Albany better defined. The following standards outline important requirements for any proposed hamlet development.

- The gross density of a hamlet development is not to exceed six (6) dwelling units per acre.
- A hamlet development should be comprised of about 75% developed land to 25% parks and open space.
- 3. A hamlet development should include a ratio of approximately 200 square feet of commercial uses for every 1 dwelling unit to ensure a vibrant mixed-use development. Commercial uses include administrative, business, and professional offices; retail stores; restaurants; hotels; and personal services. Drive thru businesses should be limited within the site in order to preserve the pedestrianoriented character of a hamlet.
- Ground floor and commercial uses in a hamlet should be complementary in nature with other uses on-site to encourage activity throughout the day, rather than at peak times.
- Buildings may not be taller than 55 feet in height around the civic green, at least 250 feet from Central College Road and SR 605/New Albany-Condit Road, nor taller than 40 feet at the perimeter.
- Public streets within a hamlet should be lined by buildings, with exceptions for limited drives, public spaces, and properly screened parking.
- Garages shall face the rear of lots. No garage doors may face primary streets.

- Parking must be integrated throughout the site through on-street parking on public streets, surface parking located behind primary buildings, limited surface parking located beside primary buildings, and structured parking. Surface parking lots must be properly screened from the street.
- Drive locations should be kept to a minimum and the placement of buildings should encourage pedestrian activity.
- 10. Anyone seeking to build a hamlet development must submit a parking model to demonstrate sufficient parking is provided for the mix of residents, employees, and visitors to the site; shared parking among complementary uses is strongly encouraged on the site and the installation of excess parking is discouraged. If the tenants of the hamlet significantly change or is the use mix changes, the developer must resubmit the parking model to city zoning staff for review.
- 11. A hamlet development proposal should submit an overall master plan for the area showing how it fits together appropriately in terms of connectivity, site layout, uses, and aesthetics.
- A hamlet development is expected to go through the Planned Unit Development (PUD) rezoning process. The city's Architectural Review Board (ARB) should review final development plans.
- A hamlet development proposal must reference the applicable chapters of the New Albany Design Guidelines & Requirements (DGRs).

The planning team proposes to add a hamlet focus area to the Engage New Albany strategic plan as an addendum. The focus area will include these essential components, development standards, and background. Based on these development standards, the planning team proposes to update the following sections of city code in order to provide requirements for hamlet development proposals in the future.

Chapter 1157 -ARD Architectural Review Overlay District

In order to be consistent with the proposed development standards, this section of code was updated to require Hamlet final development plans to be reviewed by the Architectural Review Board who will make a recommendation to the Planning Commission.

Chapter 1187 – Subdivision Regulations

City staff proposes to relocate parkland and open space requirements from this section of code to C.O. 1165 (General Development Standards). This change is designed to ensure that requirements for dedication of parkland and open space are triggered with hamlet developments.

Chapter 1165 – General Development Standards

Prior to this code update, there were no parkland and open space requirements specifically for hamlet developments. The code update requires hamlets to provide a combined parkland and open space amount of 25% as recommended in the proposed development standards. In addition, the code change provides clarity to existing sections of the parkland and open space code and contemplates different types of open space amenities that may be provided in a hamlet development including but not limited to plazas and courtyards.

New Albany Design Guidelines and Requirements Section: Residential Outside Village Center

Staff proposes to update this section of the Design Guidelines and Requirements in order to provide clarity on the requirements for single family and multi-family development products.

During the June 20th Planning Commission meeting, city staff as well as MKSK will be in attendance to present this focus area plan and associated code changes. Staff is asking the Planning Commission to make a formal recommendation of approval to City Council during the meeting.

Please feel free to contact city staff if you have any questions.

ENGAGE NEW ALBANY

You're part of the plan

NEW ALBANY HAMLET

Focus Area Plan

June 2022



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INTRODUCTION

PURPOSE & OVERVIEW

The concept of hamlets in New Albany originated from the Rocky Fork Blacklick Accord plans from 1996 and 2001. These plans contemplated the eventual buildout of the entire Plain Township area and the needs of residents north of SR 161. One of the recommendations to address the changing development patterns in this area was the creation of small hamlets at geographically spaced locations, with the goal of creating walkable, mixed-use environments connected to surrounding neighborhoods and integrated into an open space network. The original hamlet concept focused on a focal green space, residential development around the green, limited retail around the green, and some public parking.

The Engage New Albany Strategic Plan, adopted in 2021, revived the hamlet concept to accommodate the original vision and the present desires of residents. Through the Engage New Albany planning process, the community expressed the need for more housing types for all life stages and the desire, especially for residents north of SR 161, for more activity and walkable destinations in that part of the city. The Strategic Plan recommended two hamlets at defined locations in New Albany north of SR 161, including the immediate vicinity of SR 605/New Albany-Condit Road and Central College Road. In 2022, the Strategic Plan was updated to remove the hamlet concept at the "five points" intersection and this focus area was created to elaborate on the recommendation for a hamlet at the latter location.

The city of New Albany studied this concept further to determine the best application of the hamlet locally. This focus area summarizes the outcomes and recommendations that derived from additional evaluation and planning. This New Albany Hamlet Focus Area is the first revision to the Engage New Albany Strategic Plan.

PROCESS

The planning team for this work included select staff from the city of New Albany as well as a team from MKSK. Beginning in January 2022, the planning team collaborated to create multiple development scenarios for the hamlet site. These scenarios had different layouts, land use compositions, densities, and various other factors. The purpose of this development scenario exercise was to determine an appropriate development pattern for a New Albany hamlet. Using the agreed upon development framework (shown on p. 11), the planning team created a more detailed site plan (shown on p. 14 - 15), and a plan showing the preferred land uses on-site (see p. 17). Finally, using these agreed upon plans, the planning team created hamlet development standards (found on p. 18).

COMPONENTS OF A HAMLET

Based on a review of relevant literature and existing developments in other communities, the planning team developed a list of essential components for a hamlet development in New Albany. Together, these components will contribute to the creation a development with strong character and a sense of place that fits with the existing character of development in New Albany. The components of a New Albany hamlet include the following:



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Active ground floor uses - A vibrant pedestrian experience in a hamlet is achieved through various means, including by creating an active first floor. In mixed-use buildings, the ground floor should be occupied by restaurants, shops, service businesses, and other similar uses that promote pedestrian activity throughout the day.



Prioritization of streets, sidewalks, and pedestrian/bike connections – A connected mobility network of streets, sidewalks, and leisure trails is an essential component to move people to, from, and within a hamlet.



Contains a mix of two or more uses - By incorporating more than one land use, a hamlet can become a community destination rather than simply a development. A mix of uses creates a multi-functional place where people can live, work, shop, explore, relax, and more.



Memorable architecture, public spaces, and placemaking elements - Components of the public realm, such as architecture, signage, public spaces, site furnishings, and public art should be utilized in a New Albany hamlet to create a strong sense of place.



Emphasizes a discipline of materiality - New Albany is known for its high-quality development and a hamlet should be no exception. A hamlet should utilize materials that are of a uniquely New Albany vernacular.



Integrated parking on-street and behind buildings - Parking should be intermixed with the rest of the built environment in a hamlet. Streetscape design can include on-street parking spaces, which provides a buffer between vehicular traffic and the pedestrian realm. Larger surface parking areas that are adequately screened and located behind buildings can blend seamlessly with the rest of a development.



Context sensitive design that leverages surroundings - A New Albany hamlet is not a cookie cutter development, but rather is a bespoke place with a character that is distinctly New Albany. By utilizing the surrounding context and natural features in the site design, a hamlet can become seamlessly embedded into the community.

DEVELOPMENT FRAMEWORK

PLAN COMPONENTS & USE

The recommendations put forth in this document build upon the recommendations in the Strategic Plan, which should be consulted for additional details and information.

The New Albany Hamlet Focus Area covers four topics:

- <u>Existing Conditions</u>: This outlines the current area conditions and context.
- <u>Future Land Use:</u> This identifies the desired application of the hamlet land use in New Albany, including an updated future land use map.
- <u>Future Development:</u> This illustrates the potential future development of the New Albany Hamlet.
- <u>Development Standards:</u> This outlines the requirements for a proposed hamlet development and site plan.

EXISTING CONDITIONS

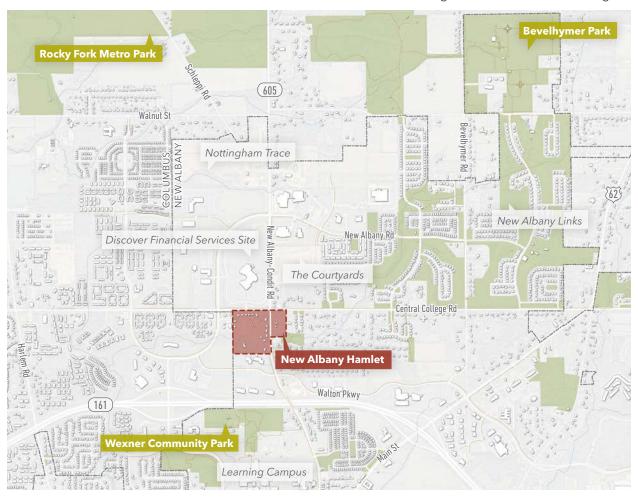
The New Albany Hamlet site lies at the intersection of SR 605/New Albany-Condit Road and Central College Road. The site, which is roughly 33 acres, is comprised of parcels at the southwest and southeast corners of that intersection, as shown in the diagram on the following page. The site is bounded to the north by Central College Road, to the east by single family residential areas, to the south by commercial uses, and to the west by the city of New Albany boundary with the city of Columbus. Additionally, the Sugar Run corridor, which runs east and west, bisects the site along the south.

The portion of the site that sits west of SR 605/New Albany-Condit Road is within New Albany's International Business Park. More Business Park uses are located north and south of the site. The former Discover Financial Services site sits directly north of the hamlet site. This now vacant property presents a significant opportunity to develop a vibrant, more pedestrian-oriented node at this intersection.

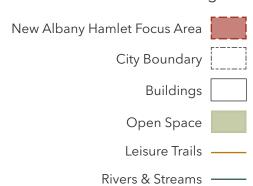
To the west, which is located within the city of Columbus, single family and multifamily residential comprise much of the developed land. The rest remains undeveloped or agricultural land. To the east, in the city of New Albany, single family residential is the predominant use. A couple age-restricted communities, Nottingham Trace and The Courtyards at New Albany, have also been developed in the vicinity off of SR 605/New Albany-Condit Road recently.

The diagram on the following page (p. 7) illustrates the existing site conditions and context. This site was previously identified in the Engage New Albany Strategic Plan as a future mixed-use area (see Engage New Albany p. 195).

Existing Conditions and Context Diagram



Legend



FUTURE LAND USE

New Albany's future land use map (see following page 9) identifies desired future land use patterns for the city of New Albany and its future expansion areas, as well as the development strategies for each type of land use.

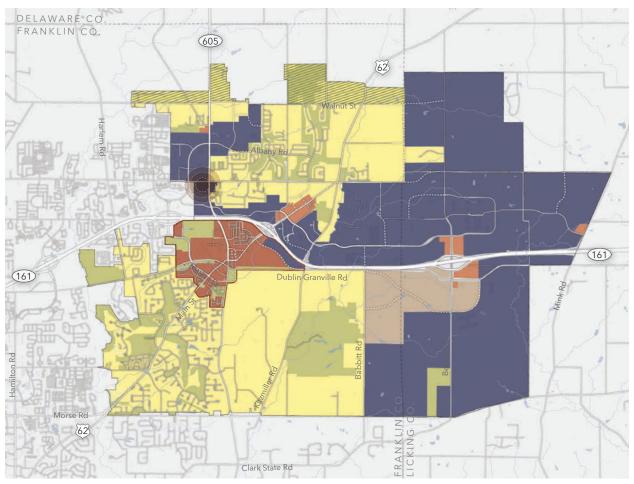
The future land use map on the following pages has been updated to show only one hamlet in the vicinity of the area around Central College Road and SR 605/New Albany-Condit Road. The original Engage New Albany future land use map depicted a second location in the vicinity of the "five points" intersection at US 62 and Central College Road. This second hamlet has been removed from the future land use map.

Hamlet development is strongly recommended for the area shown on the future land use map, but it is not required. If a hamlet is not developed, this area can be developed based on the underlying land use. The underlying land use at this location is Employment Center, which allows for large office buildings, like Discover Financial Services, Commercial Vehicle Group, PharmaForce, Inc., and others in the vicinity. If a hamlet is developed, it should meet the standards listed on p. 18. This plan also provides a development framework to guide the development of a hamlet at the recommended site.

The hamlet land use is a type of mixed-use development intended to introduce walkable retail and commercial uses that are integrated with residential uses. The concept differs from New Albany's retail and mixed-use districts in its scale, design, and pedestrian orientation. While this land use type does encourage a walkable mixed-use environment, it is intended to be complementary to other retail nodes in the city, like the Village Center, while still providing some amenities within easy access to residents who live north of SR 161.

For further explanation of the other land uses shown on the future land use map, please refer to the full Engage New Albany Strategic Plan (p. 53-53).

Updated Future Land Use Map



Legend



^{*} Note: General hamlet location. See focus area for defined location.

FUTURE DEVELOPMENT

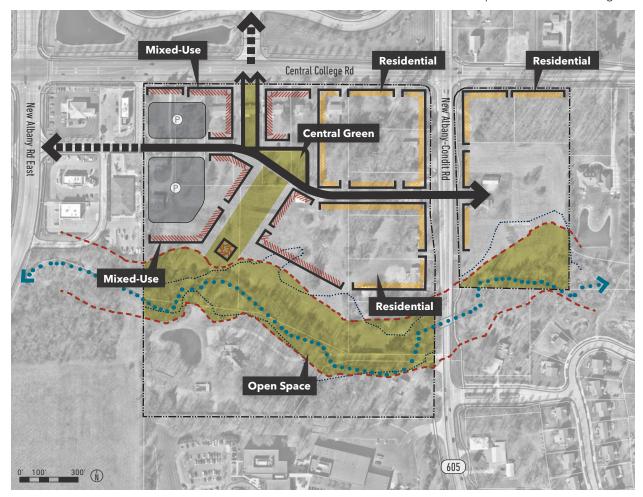
While the potential build-out of the New Albany hamlet is dependent on several factors, including a willing developer to realize the hamlet vision, this plan puts forth a proposed hamlet development scenario. The exact details of the final site plan may deviate from what is shown in this plan, but the overall vision and development framework laid out in the following pages are meant to serve as a guide for the development of this site. The development framework diagram on the following page (p. 11) illustrates the preferred site layout and framework elements. This framework was selected as the preferred option after testing a few different scenarios. When creating the development framework scenarios, the planning team considered a number of factors, including the surrounding context and uses, environmental constraints, potential street connections, block layout, and site accessibility.

Key drivers for the development of this site include the integration of natural features and open space, the creation of a network of streets and mobility connections, and the identification of appropriate land uses. The following pages outline the vision for a hamlet on this site, culminating in development standards to ensure that any proposed hamlet development meets the desires and needs of the community.









Natural Features & Open Spaces

The site has existing natural features, which should be incorporated into any future development. Sugar Run, which runs east and west on the southern portion of the site is a defining feature, providing important ecological benefits for the site and the broader region. As such, streams like one are protected by a Stream Corridor Protection Zone (SCPZ), which encompasses both the stream and its riparian buffer. This restriction lends itself to creating a linear public green space amenity along the stream corridor. This green space would be more passive and natural compared to other green space on-site. Preserving this space will also help to mitigate flooding and negative impacts from stormwater runoff.



Other public green spaces on-site would include a central green at the heart of the mixed-use commercial core of the development. This green space serves as an organizing feature around which buildings can be oriented. Additionally, small green spaces should fill interstitial spaces in the residential portions of the site to provide amenities for residents. Finally, above-ground stormwater facilities may be needed on-site. To the extent possible, these stormwater facilities should be amenitized to be transformed into a public open space amenity through attractive plantings, boardwalks, and other landscape design features.

Streets & Connections

A roadway network needs to be created as part of any development of this site. This means the creation of new public streets that provide access to the site. The diagram on the following page shows one potential street layout, with a public street that bisects the site, connecting Central College Road and SR 605/New Albany-Condit Road. This street would be a good contender to be constructed as a "green street", using brick instead of asphalt as it is more permeable for stormwater and is longer lasting, contributing to more environmentally sustainable roadway design.

As development occurs in this area, bike and pedestrian facilities should also be incorporated into the planning and design. Leisure trails with a minimum width of 8' should be included on both sides of Central College Road and SR 605/New Albany-Condit Road. On-street bike facilities are also recommended for Central College Road and SR 605/New Albany-Condit Road. For these roadways, shared road markings and signs are recommended to match the designations found in the Bike New Albany Plan. Within the development, leisure trails should also be added along the Sugar Run stream corridor, connecting to the larger leisure trail network.

Creating these leisure trail connections would fill a critical gap in the system and would help to provide access to local and regional green spaces. Within the site, ample sidewalks should also be utilized to provide safe access to destinations within the development.





CASE STUDY

I'On Village | Mount Pleasant, SC

Situated along the Cooper River in Mount Pleasant, South Carolina, I'On Village is a mixeduse traditional neighborhood on 243 acres of land. I'On Square - the neighborhood's civic and commercial center contains more than 30,000 square feet of office and retail space. Surrounding the square are six residential boroughs with a diversity of Lowcountry housing styles and architecture.

Developed using traditional neighborhood design principles, I'On was built as a walkable community, with tree-lined streets, wide sidewalks, and a network of connected paths to support pedestrian traffic as the primary form of transportation. Although built for pedestrians, the streets can also accommodate vehicles, but are designed to slow traffic and create a safe environment for all roadway users. Only guests and visitors can park at the front of a lot, or on the street, all other vehicles are required to be parked at the rear of the lot, adequately screened from view.













Land Uses & Buildings

The overall hamlet land use was described on p. 8. Within the site, a mix of uses is recommended to create the quality of place and the economic viability for this type of development. The recommended mix of land uses for a hamlet development include open space, detached single-family residential, attached single-family residential, mixed-use residential buildings with ground floor commercial, and commercial. The preferred site plan on the following page (p. 17) illustrates how these various uses can be organized within the site. Commercial frontage on Central College Road on the northwest portion of the site acts as a transition zone from the adjacent autooriented retail to the west. An inviting public street leads to a mixed-use core, which is organized around a focal green space, creating a hub of activity and vibrancy where the community can gather.

Attractive townhomes create frontage and contribute to a neighborhood-feel along Central College Road and SR 605/New Albany-Condit Road. Traditional single-family homes on the eastern portion of the site provide a buffer zone for the adjacent single-family neighborhoods to the east and south. An assisted living facility is situated on the southern portion of the site, overlooking the stream corridor. This would create housing for older adults to age-in-place in New Albany and would be connected by pathways to the hub of activity north of the stream.

Open space and green corridors are essential components of the hamlet development and should be integrated into the overall site vision. This is described in more detail on p. 10-12.

Finally, parking is integrated with the other land uses to enable the development without compromising the hamlet character.









Over-parking the development, or constructing too much parking, will detract from the quality of the place and is not the highest and best use of the land. Therefore, it is essential to develop a parking model that is appropriate for the mix of uses onsite and allows for shared parking between various uses.

Buildings in a hamlet should represent the quality and character that is distinctive of New Albany. The previous hamlet standards outlined in Engage New Albany allowed for two- to three-story buildings. After reviewing local examples of surrounding heights of both residential and commercial buildings in the area, these height standards have been updated to be expressed in feet to add more specificity and direction (see p. 18). These standards allow for variation in roof lines and other architectural details, such as dormers. More architectural and design guidelines for buildings can be found in New Albany's Design Guidelines & Requirements (DGRs).



DEVELOPMENT STANDARDS

The planning team tested various development scenarios to arrive at a preferred site plan (see p. 17), which then informed the creation of the following development standards. These new standards deviate slightly from the original hamlet development standards included in the Engage New Albany Strategic Plan (found on p. 74) because the hamlet concept has been further studied and its application in New Albany better defined. The following standards outline important requirements for any proposed hamlet development.

- 1. The gross density of a hamlet development is not to exceed six (6) dwelling units per acre.
- 2. A hamlet development should be comprised of about 75% developed land to 25% parks and open space.
- 3. A hamlet development should include a ratio of approximately 200 square feet of commercial uses for every 1 dwelling unit to ensure a vibrant mixed-use development. Commercial uses include administrative, business, and professional offices; retail stores; restaurants; hotels; and personal services. Drive thru businesses should be limited within the site in order to preserve the pedestrian-oriented character of a hamlet.
- 4. Ground floor and commercial uses in a hamlet should be complementary in nature with other uses on-site to encourage activity throughout the day, rather than at peak times.
- 5. Buildings may not be taller than 55 feet in height around the civic green, at least 250 feet from Central College Road and SR 605/New Albany-Condit Road, nor taller than 40 feet at the perimeter.
- Public streets within a hamlet should be lined by buildings, with exceptions for limited drives, public spaces, and properly screened parking.
- 7. Garages shall face the rear of lots. No garage doors may face primary streets.

- 8. Parking must be integrated throughout the site through on-street parking on public streets, surface parking located behind primary buildings, limited surface parking located beside primary buildings, and structured parking. Surface parking lots must be properly screened from the street.
- 9. Drive locations should be kept to a minimum and the placement of buildings should encourage pedestrian activity.
- 10. Anyone seeking to build a hamlet development must submit a parking model to demonstrate sufficient parking is provided for the mix of residents, employees, and visitors to the site; shared parking among complementary uses is strongly encouraged on the site and the installation of excess parking is discouraged. If the tenants of the hamlet significantly change or is the use mix changes, the developer must resubmit the parking model to city zoning staff for review.
- 11. A hamlet development proposal should submit an overall master plan for the area showing how it fits together appropriately in terms of connectivity, site layout, uses, and aesthetics.
- 12. A hamlet development is expected to go through the Planned Unit Development (PUD) rezoning process. The city's Architectural Review Board (ARB) should review final development plans.
- 13. A hamlet development proposal must reference the applicable chapters of the New Albany Design Guidelines & Requirements (DGRs).

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PLACEHO RENDERING

Preserving the Character of New Albany's Roadways

Central College Road and SR 605 are important roadways that connect the whole community from east to west and north to south, respectively. The hamlet prioritizes and preserves New Albany's unique character, including at the edges along these two roadways. Along SR 605, townhomes are setback from the roadway to provide a peaceful atmosphere for residents and to preserve the scenic qualities of the corridor. The same priority and treatment is given to the south side of Central College Road.

LDER FOR FROM 605

PLACEHOLDER FOR OF MIXED

Creating a Community Gathering Place

The hamlet's mixed-use, multi-functional core becomes a place for the whole community to gather and enjoy. The central green provides a public space for people to linger in between their trips to the adjacent businesses and for hamlet residents to frequent and mingle. A pavilion at the terminus of the central green overlooks a lush and naturalized green space, which leads to the serene Sugar Run corridor. Comfortable streets encourage strolling, cycling, and exploring within the hamlet and leisure trails connect to the core, providing easy access for all.

OR RENDERING -USE CORE

PLACEHOLDE EYE REN

The Vision for a New Albany Hamlet

A New Albany hamlet is a one-of-a-kind place in Central Ohio, while also blending seamlessly with the rest of the New Albany community. Through the vision and recommendations set forth in this plan, a hamlet can be a welcoming and exciting place for residents, workers, business owners, and visitors to enjoy.

R FOR BIRDS DERING

PART ELEVEN - PLANNING AND ZONING CODE TITLE THREE - ZONING DISTRICTS AND REGULATIONS CHAPTER 1157 ARD ARCHITECTURAL REVIEW OVERLAY DISTRICT

CHAPTER 1157 ARD ARCHITECTURAL REVIEW OVERLAY DISTRICT1

1157.01 ADOPTION.

There is hereby adopted and incorporated by reference, the New Albany Design Guidelines and Requirements, as if set out at length herein.

(Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.02 PURPOSE.

- (a) The City of New Albany contains numerous architectural and environmental assets that establish an environmental character. This environmental character is directly linked to the economic, social, historical and cultural health and well being of the community. The purpose of the Architectural Review District is to protect and preserve these assets, by regulating the architectural characteristics of structures and their surroundings, as well as the preservation and protection of buildings of architectural or historical significance throughout the City. The Architectural Review District has also been created to recognize, preserve and enhance the architectural and historical character of the community and to prevent intrusions and alterations within the established zoning districts which would be incompatible with their established character.
- (b) The Architectural Review District is an Overlay District. This means that the requirements of this chapter are requirements which must be met in addition to the established requirements and standards of the base district over which the Architectural Review District is placed.

(Ord. 10-98. Passed 8-4-98; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.03 DEFINITIONS.

As used in this chapter, the following words shall be defined as:

- (a) "Applicant" means any person, persons, association, organization, partnership, unit of government, public body or corporation who applies for a certificate of appropriateness in order to undertake an environmental change within the District.
- (b) "Board" means the Architectural Review Board of the City of New Albany.
- (c) "Certificate of Appropriateness" means a certificate authorizing any environmental change within the Architectural Review District.
- (d) "Design Guidelines and Requirements" means the building, construction and design standards that apply to any environmental change within the City of New Albany. The Design Guidelines and Requirements shall have the force and effect of law.
- (e) "District" means the Architectural Review Overlay District.

¹Cross reference(s)—Historic Village District - see P. & Z. Ch. 1135

- (f) "Environmental change" means new construction or alterations which change, modify, reconstruct, remove or demolish any exterior features of an existing structure.
- (g) <u>"Hamlet" or "Hamlet Area" means that area defined as a Hamlet in the Strategic Plan of the City of New Albany. (Reserved)</u>
- (hhi) "Preserve" or "preservation" means the process, including maintenance, or treating of an existing building to arrest or slow future deterioration, stabilize the structure, and provide structural safety without changing or adversely affecting the character or appearance of the structure.
- (iii) "Owner" means the owner of record, and the term shall include the plural as well as the singular.
- (jjk) "Village Center" or Village Center Area" means that area defined as the Village Center in the Village Center Strategic Plan of the City of New Albany.

(Ord. 10-98. Passed 8-4-98; Ord. 12-99. Passed 10-5-99; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.04 DISTRICT BOUNDARIES.

The Architectural Review District shall consist of all zoning districts in the City of New Albany and shall apply to all environmental changes: private, municipal, and to the extent municipal design review is not pre-empted by state or federal law, all other government environmental changes.

(Ord. 10-98. Passed 8-4-98; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.05 ARCHITECTURAL REVIEW BOARD.

- (a) The Architectural Review Board is hereby established and shall consist of seven (7) members, any two (2) of which may be members of the New Albany Planning Commission.
- (b) All members shall be appointed by Council for terms of three (3) years. Initial term lengths shall be staggered so as to provide continuity of membership on the Board. Initially, two (2) persons shall be appointed to one-year terms, two (2) members shall be appointed to two-year terms, and three (3) members shall be appointed to three-year terms. Thereafter, all members shall be appointed to three-year terms.
- (c) Except in special circumstances outlined in this paragraph, all members shall be residents of the City of New Albany. At least two (2) members of the Architectural Review Board shall be professionals in the following fields: architecture, landscape architecture, city planning, interior design, industrial design, engineering or other allied design professions. If no residents within the Municipality of New Albany who are members of these professions wish to serve on the Architectural Review Board, then applicants from the unincorporated area of Plain Township who are in these professions may be appointed. Each time a Township resident's term expires, Council shall advertise to determine if a municipal resident is qualified and desires to take the seat. Council shall select a qualified municipal resident for membership over a qualified Township resident.
- (b) All members shall be appointed by Council for terms of three (3) years. Initial term lengths shall be staggered so as to provide continuity of membership on the Board. Initially, two (2) persons shall be appointed to one-year terms, two (2) members shall be appointed to two-year terms, and three (3) members shall be appointed to three-year terms. Thereafter, all members shall be appointed to three-year terms.
- (c) Except in special circumstances outlined in this paragraph, all members shall be residents of the City of New Albany. At least two (2) members of the Architectural Review Board shall be professionals in the following fields: architecture, landscape architecture, city planning, interior design, industrial design, engineering or

other allied design professions. If no residents within the Municipality of New Albany who are members of these professions wish to serve on the Architectural Review Board, then applicants from the unincorporated area of Plain Township who are in these professions may be appointed. Each time a Township resident's term expires, Council shall advertise to determine if a municipal resident is qualified and desires to take the seat. Council shall select a qualified municipal resident for membership over a qualified Township resident.

(Ord. 10-98. Passed 8-4-98; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.06 CERTIFICATE OF APPROPRIATENESS REQUIRED.

No environmental change shall be made to any property within the City of New Albany until a certificate of appropriateness (COA) has been properly applied for, and issued by staff or the Board. No building permit or zoning permit shall be issued for any major or minor environmental change now or hereafter in the Architectural Review District or subject to the architectural review process, unless a certificate of appropriateness has been issued. In cases where a standard is not required by the zoning text or code, then a "no permit required" certificate may be issued by staff.

(Ord. 10-98. Passed 8-4-98; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.07 MAJOR AND MINOR ENVIRONMENTAL CHANGES.

Environmental changes are divided into two (2) categories as follows:

Major	Minor
 New construction Alterations which change, modify, reconstruct, remove or demolish any exterior features of an existing structure that are not considered to be minor modifications Demolition Building additions The addition of signage Changes to nonconforming signs New, relocated and expanded parking lots Patios, porches and other defined outdoor areas used for dining or other commercial activities Multiple minor changes may be defined as a major change, as determined by the Community Development Department Similar changes as determined by the Community Development Department Hamlet Area Final Development Plan 	 Addition or deletion of awnings or canopies Replacement of windows and doors Gutters Skylights Solar panels Satellite dishes Face changes to otherwise conforming signs Changes to paint and siding colors Changes in materials but not in appearance Re-roofs Landscape modifications The construction of sports fields and associated bleachers, fences, dugouts and like facilities not requiring a commercial building permit, as approved by the Community Development Department Modifications to off-street parking and loading areas Accessory buildings Fences Walls Decks Porches Patios (residential) Swimming pools and spas Similar changes as determined by the Community Development Department

(Ord. O-08-2011. Passed 5-17-11.)

1157.08 PROCEDURE FOR CERTIFICATE OF APPROPRIATENESS.

- (a) The application for a certificate of appropriateness shall be made on such forms as prescribed by the staff of the City of New Albany, along with such plans, drawings, specifications and other materials as may be needed by staff or the Board to make a determination.
 - (1) The materials that may be required include but are not limited to:
 - A. A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
 - B. A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations and landscaping.
 - C. Illustration of all existing building elevations to scale.
 - D. Illustrations of all proposed building elevations to scale.
 - E. Samples of proposed building materials.
 - F. Color samples for proposed roof, siding, etc.
 - (2) For review of signage, the following submittal requirements apply:
 - A. Illustrations of all existing site signage including wall and ground.
 - B. Illustrations of proposed signage to scale.
 - C. A dimensioned site plan showing location of existing ground mounted signs.
 - D. A dimensioned site plan showing the proposed location of ground mounted signs.
 - E. Samples of proposed sign materials.
 - F. Color samples of proposed sign(s).
 - G. Proposed lighting plan for sign(s).
- (b) (1) Any major environmental change, or zoning change, to any property located within the Village Center Area, requires a certificate of appropriateness from the Architectural Review Board. Applicants shall file an application for a Certificate of Appropriateness at least thirty (30) days prior to the Architectural Review Board meeting.
 - (2) In the case of a Certificate of Appropriateness application for a property in a Planned Unit Development (PUD) Zoning District within the Village Center Area, the Architectural Review Board shall review the proposal and make a recommendation to the Planning Commission at the time of rezoning or the preliminary development plan. After the preliminary development plan, any alterations, modifications or other environmental changes to the zoning requirements of a Planned Unit Development within the Village Center require a Certificate of Appropriateness issued by the Planning Commission.
 - (3) In the case of a Certificate of Appropriateness application for a property in a Hamlet Area, the
 Architectural Review Board shall review the proposal and make a recommendation to the Planning
 Commission at the time of final development plan. After the final development plan, any alterations,
 modifications or other environmental changes to the zoning requirements for a Hamlet Area will be
 subject to the review and approval of the Planning Commission.

- (c) Any major environmental change to a property located outside the Village Center Area, requires a certificate of appropriateness issued by the City Manager's designee.
- (d) Any minor environmental change requires a Certificate of Appropriateness issued by the City Manager's designee.
- (e) Any major or minor environmental change which requires a waiver to the requirements of this chapter requires a Certificate of Appropriateness to be issued by the Architectural Review Board.
- (f) Upon review of the application for a certificate of appropriateness, the ARB or staff member shall determine whether the proposed environmental change promotes, preserves and enhances the architectural and historical Architectural Review District, set forth in Section 1157.02. As a part of its review, the ARB or staff member will ensure that, at a minimum, the proposed environmental change complies with the criteria set forth in Section 1157.08 and the design Guidelines and Requirements incorporated into this section by reference. Upon completion of its review, the ARB or staff member will issue or deny a certificate of appropriateness to the applicant.
- (g) In determining the appropriateness of specific environmental change, the Board shall conduct a public meeting on the project and/or solicit input from staff members or other consultants to the Municipality.

(Ord. 12-99. Passed 10-5-99; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.09 CRITERIA FOR EVALUATION OF APPLICATION FOR CERTIFICATION OF DESIGN APPROPRIATENESS.

In considering the appropriateness of any proposed environmental change, including landscaping or exterior signage, the Architectural Review Board or City staff member shall consider the following, as a part of its review:

- (a) The compliance of the application with the Design Guidelines and Requirements. The proposed environmental change is to comply with the Design Guidelines and Requirements of the City, incorporated by reference.
- (b) The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.
- (c) The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural or environmental features should be avoided when possible.
- (d) All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance inconsistent or inappropriate to the original integrity of the building shall be discouraged.
- (e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.
- (f) The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials. Cleaning methods that will damage building materials should be avoided.
- (g) Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired. Additions to the least significant and least visible of historic properties should be given priority over other designs.

- (h) Where, prior to the effective date of the Design Guidelines and Requirements (September 20, 2007), certificates of appropriateness have been previously issued for 33.3% of the total number of approved homes within a residential PUD, a certificate of appropriateness which differs from the applicable Design Guidelines and Requirements may be issued for additional homes/new house elevations within such PUD. Provided however that any such additional homes/new house elevations which deviate from the Design Guidelines and Requirements shall utilize previously-approved architectural features consistent with those of homes already permitted within such PUD, and shall also comply with any architectural-feature provisions set forth in the applicable zoning text. In such cases:
 - (1) The request for use of the same architectural features shall be made as part of the certificate of appropriateness application. The request should include a written description of the feature proposed with addresses and photos of the copied architectural features; however, additional information may be required for review. Several architectural features may be proposed for one house on a single request/application. Each request will be evaluated individually on a house-by-house basis.
 - (2) For the purposes of this division (h), "architectural feature" shall mean the elements of the house, not approved by a variance, that contribute to the house style, which may include the mixing of architectural features from different architectural styles. Examples of such architectural features include pediments, window styles and details, eave details, door details, porches, etc. However, shutters shall not be undersized for the windows with which they are associated.

(Ord. 10-98. Passed 8-4-98; Ord. 26-2007. Passed 8-21-07; Ord. 01-2008. Passed 2-5-08; Ord. O-08-2011. Passed 5-17-11.)

1157.10 DEMOLITION OF STRUCTURES.

In cases where an applicant applies for a certificate of appropriateness to demolish a structure, the ARB or staff member shall grant the demolition and issue a certificate of appropriateness when at least one of the following conditions prevails.

- (a) The structure contains no features of architectural and historic significance to the character of the individual precinct within which it is located.
- (b) There exists no reasonable economic use for the structure as it exists or as it might be restored, and that there exists no feasible and prudent alternative to demolition.
- (c) Deterioration has progressed to the point where it is not economically feasible to restore the structure.

(Ord. 10-98. Passed 8-4-98; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.11 MAINTENANCE.

Nothing in this chapter shall be construed to prevent ordinary maintenance or repair of any property within the Architectural Review District, nor shall anything in this chapter be construed to prevent any change, including the construction, reconstruction, alteration or demolition of any feature which in the view of the Zoning Inspector is required for the public safety because of an unsafe, insecure or dangerous condition.

(Ord. 10-98. Passed 8-4-98; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

1157.12 WAIVERS.

Any person or entity owning or having an interest in property that seeks to perform an environmental change may file an application to obtain a waiver from the requirements of this chapter in conformance with the criteria standards, and procedures set forth in Chapter 1113.

(Ord. O-08-2011. Passed 5-17-11.)

1157.13 APPEALS.

The Architectural Review Board shall hear and decide appeals from any decisions or interpretations made by City staff under this chapter. Any such appeal shall be in conformance with the criteria standards and procedures set forth in Chapter 1113.

(Ord. O-08-2011. Passed 5-17-11.)

1157.99 PENALTY.

- (a) Whoever constructs, reconstructs, alters, or modifies any exterior architectural or environmental feature now or hereafter within the Architectural Review District in violation of this chapter, shall be subject to the penalties specified in Section 1109.99.
- (b) Any individual or individual property owner that demolishes a structure within the Architectural Review District in violation of this chapter shall be subject to a fine of up to ten thousand dollars (\$10,000.00).
- (c) Any partnership, association, business entity, etc. that demolishes or causes the demolition of a structure within the Architectural Review District in violation of this chapter shall be subject to a fine of up to fifty thousand dollars (\$50,000.00).

(Ord. 10-98. Passed 8-4-98; Ord. 26-2007. Passed 8-21-07; Ord. O-08-2011. Passed 5-17-11.)

CHAPTER 1165 GENERAL DEVELOPMENT STANDARDS¹

1165.01 DEFINITIONS.

- (a) "Accessory structure" shall be defined as a subordinate structure or surface, located on the same lot as a principal building/structure, which is incidental to the use of the principal building/structure. Accessory structure are categorized into two (2) groups: Detached Structures or Recreational Amenities.
- (b) "Architectural Features" are defined as cornices, canopies, eaves, pilasters, stairs, sills or other similar features.
- (c) "Building Service Features" are defined as egress window pits, mechanical pits, mechanical units and generators, and similar features.
- (d) "Deck" shall be defined as an accessory structure and is further defined as a horizontal platform supported by any combination of posts, beams, foundations, and/or joists with or without handrails, steps or terraces.
- (e) "Detached Structures" are defined as detached garages, enclosed, accessory buildings larger than two hundred (200) square feet, pool houses, and other structures not considered to be Recreational Amenities located in a residentially zoned district.
- (f) "Elevated surface" shall be defined as an artificial rise or elevation above the natural grade of the surrounding ground created with earth, rock, wood or other material.
- (g) "Recreational Amenities" are defined as buildings which are two hundred (200) square feet or less. any sized deck, patio, fireplaces, pergolas, gazebo and similar located in a residentially zoned district.
- (h) "Side Yard" shall be defined as the area measured from a side lot line to the required side yard setback line extending from the front lot line to the rear lot line.
- (i) "Open Sided Structure" shall be defined as a free-standing, unheated structure unenclosed except for a structural system supporting a roof, and screen panels which may be used to enclose the open spaces between structural elements. An open-sided structure includes but may not be limited to a gazebo, tent, pergola, canopy or trellis.
- (j) "Hamlet" or "Hamlet Area" means that area defined as a Hamlet in the Strategic Plan of the City of New Albany.

(Ord. O-27-2019 . Passed 9-17-19.)

Cross reference(s)—Gasoline service station defined - see P. & Z. 1105.02; Home occupation defined - see P. & Z. 1105.02

¹Editor's note(s)—Ord. O-27-2019, passed September 17, 2019, in effect repealed the former Chapter 1165, and enacted a new Chapter 1165 as set out herein. The former Chapter 1165 pertained to similar subject matter and derived from Ord. 20-90. Passed 6-19-90; Ord. 72-92. Passed 12-15-92; Ord. 29-2001. Passed 8-21-01; Ord. 27-2007. Passed 8-21-07; Ord. 06-2009. Passed 3-17-09; Ord. O-08-2011. Passed 5-17-11.

1165.02 BUILDING REQUIREMENTS.

- (a) <u>Frontage Required.</u> No building, structure, or improvement shall be constructed or altered unless its lot fronts on a publicly dedicated and improved street or thoroughfare within the Municipality.
- (b) <u>Front Yard Requirements.</u> All front yard space shall be maintained in accordance with at least one (1) of the following provisions:
 - (1) Landscaped by lawns, shrubbery, trees or other plantings. Such planting shall be maintained in a neat and orderly state.
 - (2) In all districts, driveways may be located in front yards; if needed in rear yards, rear yard access is permitted off of alleys. In districts where single-family residences are not a permitted use, front yard setbacks may also be used for parking areas, consistent with the regulations of Chapter 1167.
- (c) <u>Corner Lots.</u> Lots fronting on more than one street shall provide the required front yard on both streets.
- (d) <u>Architectural Features Encroachment.</u> May project into a setback no more than three (3) feet with a minimum of two (2) feet maintained to any adjoining lot line.
- (e) <u>Building Service Features Encroachment.</u> May project into a setback no more than five (5) feet with a minimum of two (2) feet maintained to any adjoining lot line.
- (f) <u>Rural Setbacks.</u> All buildings should respect the setbacks of all rural designated roads established in the <u>VillageCity</u>'s Strategic Plan.

(Ord. O-27-2019 . Passed 9-17-19.)

1165.03 HEIGHT.

Height regulations specified in the various zoning districts shall not apply to chimneys, tanks, cupolas, domes, spires, or similar structures attached provided that the height of all structures and buildings, including those mentioned above, shall not constitute a hazard to safe landing and take-off of aircraft from an established airport.

(Ord. O-27-2019 . Passed 9-17-19.)

1165.04 ACCESSORY USES OR STRUCTURES.

- (a) <u>Detached Structures.</u> Shall comply with the following requirements:
 - (1) Area. For lots less than one acre, a structure may have an area up to eight hundred (800) square feet; for lots between one (1) acre and two (2) acres, a structure may have an area up to one thousand two hundred (1,200) square feet, and for lots larger than two (2) acres may have an area up to one thousand six hundred (1,600) square feet.
 - (2) Location.
 - A. Shall not project beyond any front elevation of the primary structure or located within the front yard;
 - B. Shall be located at least ten (10) feet from the primary structure and any other detached accessory structures situated on the same lot; and
 - C. Shall not be located within an easement.
 - D. Shall be located ten (10) feet from any side lot line.

- E. Shall be located thirty (30) feet from any rear lot line.
- (3) <u>Height.</u> Shall not exceed the height of the primary structure and in no case shall exceed twenty-five (25) feet in height.
- (4) <u>Materials.</u> All finished roof surfaces, except for flat roofs, shall be metal, seal-tab asphalt shingles, slate or wood shingles. All other finished surfaces must be complementary to the primary structure and be wood, brick, composite siding, or any combination thereof.
- (5) <u>Number.</u> Only two detached accessory structures shall be permitted as regulated by this section. Recreational Amenities are exempt from the number limitation in this section.
- (6) <u>Lot Coverage</u>. All detached structures shall follow the lot coverage requirements found in the property's PUD or residential zoning district. R-1 zoned districts shall have a maximum twenty percent (20%) lot coverage for accessory structures.
- (7) No detached accessory structure shall be erected or constructed prior to the erection or construction of the principal or main building, except in conjunction with the same.
- (8) <u>Drainage Improvements.</u> Additional drainage improvements and or direct connections to the storm sewer system may be required, subject to the approval of the City Manager or designee.
- (b) Recreational Amenities. Shall comply with the following requirements:
 - (1) <u>Materials.</u> All finished roof surfaces, except for flat roofs, shall be metal, seal-tab asphalt shingles, and slate or wood shingles. All other finished surfaces must be wood, brick, stone, composite siding, screen, or any combination thereof.
 - (2) <u>Lighting.</u> Illumination of the open-sided structure exterior is prohibited. Illumination within the structure shall not exceed seventy (70) foot-candles measured at a horizontal plane three (3) feet above the finished floor.
 - (3) Location.
 - A. Shall not project beyond any front elevation of the primary structure or located within the front yard except an open, uncovered porch/paved terrace may project into the required front yard for distance of no greater than fourteen (14) feet.
 - B. Shall not be located within an easement.
 - C. Shall not be located nearer to any side or rear property line than ten (10) feet, except uncovered porch/paved terrace may be located up to five (5) feet away from any side or rear property line.
 - (4) <u>Height.</u> All Recreational Amenities are limited to one (1) story; and the height to the top of the highest roof ridge beam, or to the highest point of any other roof form, from the finished floor shall not exceed fifteen (15) feet.
 - (5) No recreational amenities shall be erected or constructed prior to the erection or construction of the principal or main building, except in conjunction with the same.
 - (6) Additional Restrictions for Recreational Amenities.
 - A. <u>Deck Restrictions.</u> Decks shall comply with the following requirements, in addition to the requirements above in Section 1165.04(b):
 - 1. The area below a deck which exceeds more than two (2) feet above grade at any point within six (6) feet of the deck's perimeter shall be screened;
 - (i) Second story decks, which are decks with a minimum of seven (7) feet of head-room from the ground to the deck, are exempt from this requirement.

- 2. Decks which encroach into the required rear yard shall have no walls or roof planes, or permanently attached benches, seats, or other structures of any kind, weatherproof or not, except a guardrail which may be up to forty-two (42) inches in height above the top of the deck. The handgrip portion of the rail shall not be more than three and one-half (3½) inches in width, if the handgrip is flat.
- All decks shall be attached or contiguous to the principal structure or principal building;
- B. <u>Open-Sided Structure Restrictions.</u> An open-sided structure must meet the following minimum design criteria, in addition to the requirements above in Section 1165.04(b):
 - 1. <u>Measurement.</u> The area of all open-sided structures shall be measured post-to-post.
 - 2. <u>Grading.</u> If the open-sided structure is built on a mound, deck, or other elevated surface, the height of this elevated surface at its highest point above grade shall be added to the height of the structure to determine the overall height of the open-sided structure measured.
 - 3. <u>Lot Coverage.</u> All open sided structures shall be subject to and included in the lot coverage requirements found in the property's PUD or residential zoning district. R-1 zoned districts shall have a maximum twenty percent (20%) lot coverage for accessory structures.
- C. <u>Drainage Improvements.</u> Additional drainage improvements and or direct connections to the storm sewer system may be required, subject to the approval of the City Manager or designee, if more than fifty percent (50%) of the rear yard buildable area is occupied by Recreational Amenities. For the purposes of this section rear yard buildable area is defined as the interior lot area bounded by the rear yard setback line, the side yard setback lines, and rear of the principle structure.

(Ord. O-27-2019 . Passed 9-17-19.)

1165.05 MINIMUM FLOOR AREA REQUIREMENTS.

No single-family residential dwelling shall have floor area of less than one thousand two hundred (1,200) square feet. No two-family dwelling shall have floor area of less than eight hundred fifty (850) square feet for each family. No multiple family dwelling shall have a floor area of less than eight hundred (800) square feet for each family.

(Ord. O-27-2019 . Passed 9-17-19.)

1165.06 CONNECTIVITY.

The following regulations shall apply to all new development. For the purposes of this section, "new development" shall be any construction involving the replacement of an existing primary structure, construction on a site currently without a primary building or when a commercial parking area is being repayed or constructed.

- (a) Sidewalks.
 - Sidewalks are required along all public rights-of-way unless a leisure trail is required. The
 minimum sidewalk width shall be five (5) feet or greater as determined by the width of existing
 sidewalks.
 - 2. Sidewalks shall be constructed per the Village-City standard and made of concrete, brick, stone, simulated stone, or simulated brick. The design and installation of sidewalk paving materials other than concrete shall be in accordance with manufacturer recommendations and are subject

to <u>Village-City</u> Engineer and Community Development Department approval. Simulated materials shall correctly simulate appearance of brick or stone.

(b) Leisure Trails.

- Leisure trails shall be constructed along streams and roads in accordance with the Village's City's
 Strategic Plan or as otherwise required.
- 2. Leisure trails shall be asphalt and have a minimum width of eight (8) feet unless otherwise specified by the Community Development Department. All leisure trails shall be constructed per the Village-City standard.
- (c) <u>Fees In-Lieu of Sidewalk and Trail Construction.</u> Where special circumstances exist for sidewalk and trail construction as required in divisions (a) and (b) of this section, a fee in-lieu may be considered according to the procedure in Section 1187.18.
- (d) Where there are open spaces between buildings, excluding single-family and town homes, pedestrian connections shall be established between rear parking areas and the sidewalk in front of the building.

(Ord. O-27-2019 . Passed 9-17-19.)

1165.07 HOME OCCUPATIONS.

Home occupations or professions shall be regulated as permitted, accessory, or conditional uses pursuant to Chapters 1129 through 1139. A home occupation shall comply with the following standards:

- (a) The use shall be clearly incidental and secondary to residential use of the dwelling and not more than fiftenn (15) percent of dwelling unit floor area is devoted to the home occupation.
- (b) The home occupation shall not generate greater traffic volume than is normal for a residential neighborhood.
- (c) Not more than one person, other than immediate family residing at the premises, shall be employed in such occupation.
- (d) External indication of such home occupation shall be limited to one non-illuminated sign, not more than two (2) square feet, attached flat against the structure.
- (e) The sale of products, stock, or commodities shall be limited to those produced on the premises.
- (f) Any need for parking generated by conduct of the home occupation shall meet off-street parking requirements of this Zoning Code, and shall not be located in any front yard.
- (g) No equipment or process shall be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to normal sense off the lot, if the occupation is conducted in a single-family residence; or outside the dwelling unit if conducted in other than a single-family residence.
- (h) No home occupation shall be conducted from any accessory building on the lot.
 - In particular, a home occupation shall consist primarily of rendering specific personal services, such as those performed by a seamstress, member of the clergy, physician, dentist, lawyer, engineer, architect, accountant, artist, or private teacher. The home occupation shall be performed by the occupant of the premises and shall include employment of not more than one non-resident of the premises.

(Ord. O-27-2019 . Passed 9-17-19.)

1165.08 GASOLINE SERVICE STATION.

Gasoline service stations, or retail establishments selling gasoline as an ancillary activity, are listed as conditional and permitted uses in the C-1, C-2, and C-3 zoning districts. In addition to the requirements of the district in which the gasoline service station is located, and other provisions of this chapter, such establishments shall be subject to the following requirements:

- (a) Minimum Lot Size. Twenty thousand (20,000) square feet.
- (b) Minimum Building or Structure Size. The building shall have an enclosed area of not less than eight hundred (800) square feet if any service is offered on or from the premises other than the delivery of gasoline, diesel fuel or oil for use as vehicle fuel or lubrication. If a gasoline service station offers no service other than the delivery of gasoline, diesel fuel or oil into vehicles, the enclosed area of the building shall not be less than six hundred (600) square feet. No such limited gasoline service station may offer to provide lubrication, oil changes, repairs, or other equipment installation.
- (c) Minimum Frontage. The lot on which a gasoline service station is located shall have frontage of not less than one hundred fifty (150) feet along a dedicated and improved street designated as not less than minor arterial status on the New Albany Thoroughfare Plan. If a gasoline service station is located on the corner of two (2) or more intersection streets, it shall have one hundred fifty (150) feet of frontage on each intersecting streets.
- (d) <u>Location.</u> No gasoline service station shall be located on any lot within two hundred (200) feet of any zoning district where residences are permitted.
- (e) <u>Setbacks.</u> The pump island setback in a gasoline service station, which shall be the minimum location for pumps dispensing fuel or oil products, shall be forty (40) feet from any right-of-way of any street, and forty (40) feet from any adjoining property line. Any building located on such premises shall be located not less than fifty (50) feet from the right-of-way of any street.
- (f) <u>Driveways and Parking Areas.</u> Driveways and parking areas shall be paved and properly drained. The landscaping of areas along the perimeter of the lot is required, pursuant to Chapter 1171.
- (g) Parking. Gasoline service stations shall be subject to the parking and loading provisions of Chapter 1167. In addition, no inoperable or damaged motor vehicle shall be parked outside a gasoline service station building in excess of seventy-two (72) hours. Parking areas shall be located not closer than five (5) feet to the main building.
- (h) Outside Storage. Outside storage shall be in accordance with the following requirements:
 - (1) All vending machines, except ice machines and telephone booths, shall be located inside the main building.
 - (2) Only one (1) permanent or one (1) portable display rack for oil, antifreeze, or other automotive products shall be permitted on each pump island. No such rack shall be located closer than twenty-five (25) feet to the street right-of-way line or adjoining property line. All other displays or merchandise outside the main building is prohibited.
 - (3) All hydraulic hoists, oil pits, lubricants and greasing, and other repair equipment shall be enclosed completely within the main building.
- (i) <u>Signs.</u> All signs used in connection with gasoline service stations shall be in conformance with the regulations for general retail and commercial uses as specified in Chapter 1169.

(Ord. O-27-2019 . Passed 9-17-19.)

1165.09 MODEL HOME STANDARDS.

Residential model homes and temporary lot sales offices are newly-constructed homes or temporary structures placed in a newly-constructed subdivision and used by a homebuilder or developer to display home styles and lot availability in a subdivision to promote the sale of new housing units. The model home or sales office may be staffed and furnished.

- (a) When making its decision to approve, disapprove or approve with conditions an application for a residential model home, the Planning Commission shall consider that the model home:
 - (1) Is appropriately located within the community and sited so that it is easily accessible without creating a nuisance or hazard to nearby properties.
 - (2) Is integrated into the residential character of the neighborhood with external lighting in conformity with customary residential lighting.
 - (3) Is approved with a limited duration which shall be determined by the Planning Commission after consultation with the applicant. Extensions of time may be granted by the Planning Commission, but decisions must be based on the same criteria as outlined in this section.
 - (4) Is identified by no more than one sign which shall be in compliance with regulations governing signage.
 - (5) Shall not be used as a general real estate brokerage office where the sale of properties not owned or previously owned wholly or in part by the applicant occurs.
- (b) The Planning Commission shall also consider and may set conditions on the following as part of its decision to allow a residential model home:
 - (1) Hours of operation.
 - (2) Number and types of employees; and maximum number of employees to be on the site at any one (1) time.
 - (3) Provisions for parking for employees and customers.
 - (4) Size, lighting, content and location of signage (no internally lighted signage shall be permitted).
 - (5) Landscaping and screening.
 - (6) The use of temporary sales offices (i.e., manufactured homes, mobile homes or trailers) on the site of a newly constructed subdivision shall be discouraged.
- (c) In addition to the above-listed criteria for model homes, permission to occupy a temporary sales office for the purpose of home and lot sales within a newly constructed subdivision shall be granted only if the following conditions are met:
 - (1) Such facility is located on a main arterial roadway or highway.
 - (2) Such facility is substantially screened by the use of landscaping and/or mounding.
 - (3) Such facility shall not create a nuisance to surrounding properties.
 - (4) Such other conditions as the Planning Commission deems appropriate.
 - (5) Sales offices in trailers or mobile homes are permitted for a duration of twelve (12) months.

 Users of such facilities may apply to the Planning Commission for an extension of an additional twelve (12) months.

(Ord. O-27-2019 . Passed 9-17-19.)

1165.10 PARKLAND AND OPEN SPACE DEDICATION REQUIREMENTS

(a) Land Dedication . The following parkland and open space requirements shall be used to determine basic mandatory land dedication with each type of new development listed below. These requirements shall not apply to existing lots and/or homes that are being improved or reconstructed

Development Type/Zoning	Parkland Dedication	Open Space Requirement
(1) Residential	2,400 square feet per	In residential developments of two
	<u>dwelling unit</u>	(2) acres or more, a minimum of
		twenty percent (20%) of the gross
		developed land area shall be
		common open space.
(2) Commercial	Exempt from parkland and open space dedication requirements.	
(3) Hamlets	Combined twenty-five percent (25%) of the gross developed land	
	area shall be dedicated as common parkland and open space	
	requirement.	

Such area shall constitute ground, location facilities/equipment (per requirements of division (c) of this section suitable for municipally-owned and operated parks, recreation facilities and open space as reviewed and approved by the Parks and Trails Advisory Board and the Planning Commission and approved by the Council. Although encouraged, such land dedication need not be located within the area of such proposed development. Where a developer owns multiple parcels of development ground within the Municipality, it shall be permissible for such developer to make a open space/parkland dedication for its current and future development. If such dedication is made, no open space/parklands shall be required in future development by such developer, its successors and assigns until such park-dedication has been utilized through the development of dwelling units at the required a ratios of twenty-four hundred (2,400) square feet of such park dedication per dwelling unit.

Wet and dry stormwater basins shall not be considered parkland or open space.

- (b) Provisions of Private Recreation Facilities . If the resulting parkland or open space dedication is determined to be of insufficient size or inappropriately located, or if public ownership and operation of such recreational areas is not feasible, the Municipality may request that an applicant plan for the provision of privately financed and owned recreational facilities. A public access easement shall be provided to the Municipality. Such privately-owned parkland or open space shall be subject to the technical assessment provision of this section.
- (c) Parkland and Open Space Technical Assessment: The following suitability and quality criteria shall be used to provide an assessment and recommendation relative to the appropriateness of proposed land dedication or area/facility, i.e., playground, park, recreational area/facility, and open space. The criteria to be used shall include, but not be limited to the following:
 - (1) Minimum size for each service level:

<u>Playgrounds</u>	2 acres
Neighborhood Parks	<u>5 acres</u>
<u>Playfields</u>	10 acres
Community Parks	40 acres

(2) Suitability of the following for the proposed use.

- A. Soils and geology.
- B. Topography and drainage.
- C. Location and impact of designated floodways and floodway fringe areas.
- D. Extent of natural vegetation and tree cover. Preservation of wooded areas is a top priority.
- E. The degree of access of proposed area to pedestrians and vehicles, where appropriate. Public accessibility is a top priority.
- (3) The proposed recreational facilities and site improvement to be made.
- (4) A schedule indicating how actual construction of the proposed park/open space and improvements are to be phased in relationship with the overall project.
- (5) How both ownership and maintenance of such areas is to be undertaken.
- (6) Residential development as categorized in C.O. 1165.10(a)(1) must be within one thousand two hundred (1,200) feet of playground equipment and a Pocket Park or a larger size park for development categorized in C.O. 1165.
 - The Community Development Department will conduct a review of the proposed land dedication or private facility/area or open space and include a recommendation in the staff report.
- (7) Types of open space permitted within Hamlet developments include, but are not limited to, one or more of the following amenities: courtyards, pocket plazas, tennis courts, plazas, greens, squares, or greenways. Where appropriate, open space areas may be constructed of permanent materials and be permanently integrated into the design of the development. Open spaces shall be designed, landscaped, and furnished to be consistent with the character of the development. Conservation easements, wetlands, and similar environmentally sensitive areas may count toward the required open space.
- (d) Fees In-Lieu of Parkland and Open Space Land Dedication: Mandatory land dedications may be waived when Council has adopted a motion establishing a priority for payment in lieu fees instead of accepting land dedications. Such in-lieu fees shall be designated for a specific community wide park, recreational or open space use. Such community wide use shall benefit the current and future residents.
 - (1) Nothing in this section or any other section shall preclude the developer from transferring to the Municipality, land for public use, or expending in-lieu funds in excess of the mandatory requirements.
 - (2) The in-lieu fees shall be established by resolution of Council as based upon the average value per acre of the total gross site prior to construction or improvements. To calculate this estimate, the total value of the development, as determined by an appraisal, shall be divided by the total gross acreage of the development. The resulting figure shall be the averaged value of the development on a per-acre basis.
 - (3) The appraisal shall be conducted, completed and submitted to the Municipality prior to final plat approval. The appraisal shall be prepared by a certified appraiser approved by the Municipality and paid for by the applicant. The appraisal shall be reviewed and approved by Council.
 - (4) Should the VillageCity have concerns about the appraisal provided by the developer's appraiser, a separate appraiser may be retained by the VillageCity to provide the appraisal for the site.
- (e) Prohibition.
 - (1) No building permits for construction or improvements of homes will not be issued by the Municipality for the subject site or subdivision subdivision until such land dedication or payment of fees in-lieu land dedications are conveyed to and accepted by Council and conveyed to the City.

- (2) Applications for zoning and/or building permits for construction or improvements will not be accepted by the Municipality for the subject site or subdivision until such land dedication or payment of fees inlieu land dedications are conveyed to and accepted by Council.
- (f) Effective Period: The land dedication and payment of in-lieu fees required by this section shall be conveyed to the Municipality following approval by Council of the final plat and within sixty (60) days of such approval by Council.

(Ord. 77-91. Passed 10-15-91; Ord. 31-2007. Passed 8-21-07; Ord. 42-2007. Passed 12-18-08.)

CHAPTER 1187 SUBDIVISION REGULATIONS¹

1187.01 DEFINITIONS.

The following words and phrases when used in this chapter shall have the meaning here described.

- (a) "Easement" means a grant by property owner(s) to another party or parties for a specific use of a described portion of property.
- (b) "Improvements" means street pavements, with or without curbs and/or gutters, sidewalks, water mains, sanitary and storm sewers, stormwater management facilities, erosion and sedimentation measures, grading and shaping, street lights, landscaping, screening and buffering and other related matters normally associated with the development of land into development sites.
- (c) "Lot" means a division of land and described on a recorded subdivision plat or recorded deed by metes and bounds description.
- (d) "Minor commercial subdivision" means a commercially zoned parcel, with an approved Final Development Plan or equivalent plan, with public road frontage, which does not involve the opening, widening or extension of a public street and does not involve more than five (5) lots after the original tract has been completely subdivided.
- (e) "Plat" means a map of a subdivision described by accurate distances and bearings.
- (f) "Right-of-way" means the width between property lines of a street, roadway, easement.
- (g) "Subdivision" means the division of any parcel of land shown as a unit or as contiguous units on the last preceding tax roll, into two (2) or more parcels, sites, or lots, any one of which is less than five (5) acres for the purpose, whether immediate or future, of the transfer of ownership provided, however, that the division or partition of land into parcels of more than five (5) acres not involving any new streets or easements of access, or the sale or exchange of parcels between adjoining lot owners, where such sale or exchange does not create additional building sites, shall be exempt. The improvement of one or more parcels of land for residential, commercial or industrial structures or groups of structures involving the division or allocation of land for the opening, widening or extension of any street or streets, except for private streets serving industrial structures, the division or allocation of land as open spaces for common use by owners, occupants or lease holders or as easements for the extension and maintenance of public sewer, water, storm drainage or other public facilities.

(Ord. 77-91. Passed 10-15-91; Ord. 08-2007. Passed 2-20-07; Ord. 31-2007. Passed 8-21-07.)

Plat and contents - see ORC 711.01 et seq.;

Lot numbering and revision - see ORC 711.02, 711.06, 711.28 et seq.;

Plat acknowledgment and recording - see ORC 711.06;

Engineer to approve plats; inspection of streets and acceptance - see Ohio 711.08, 711.09;

Plat approval by planning authority; minimum lot area - see ORC 711.09;

Violations of rules and regulations - see ORC 711.102

¹Cross reference(s)—Plat and subdivision defined - see ORC 711.001;

1187.15 SUBDIVISION STANDARDS, PARKLAND DEDICATION.

- (a) <u>Land Dedication</u>. The basic mandatory land dedication with each plat shall be twenty-four hundred (2,400) square feet per dwelling unit. Such area shall constitute ground, location facilities/equipment (per requirements of division (c) of this section suitable for municipally owned and operated parks, recreation facilities and open space as reviewed and approved by the Parks and Trails Advisory Board and the Planning Commission and approved by the Council. Although encouraged, such land dedication need not be located within the area of such plat. Where a developer owns multiple parcels of development ground within the Municipality, it shall be permissible for such developer to make a park dedication for its current and future development. If such dedication is made, no parks shall be required in future development by such developer, its successors and assigns until such park dedication has been utilized through the development of dwelling units at a ratio of twenty-four hundred (2,400) square feet of such park dedication per dwelling unit.
- (b) Provisions of Private Recreation Facilities. If the resulting parkland dedication is determined to be of insufficient size or inappropriately located, or if public ownership and operation of such recreational areas is not feasible, the Municipality may request that an applicant plan for the provision of privately financed and owned recreational facilities. A public access easement shall be provided to the Municipality. Such privately-owned open space shall be subject to the technical assessment provision of this section.
- (c) <u>Technical Assessment</u>. The following suitability and quality criteria shall be used to provide an assessment and recommendation relative to the appropriateness of proposed land dedication or area/facility, i.e., playground, park, recreational area/facility and open space. The criteria to be used shall include, but not be limited to the following:
 - (1) Minimum size for each service level:

Playgrounds	2 acres
Neighborhood Parks	5 acres
Playfields	10 acres
Community Parks	40 acres

- (2) Suitability of the following for the proposed use.
 - A. Soils and geology.
 - B. Topography and drainage.
 - C. Location and impact of designated floodways and floodway fringe areas.
 - D. Extent of natural vegetation and tree cover. Preservation of wooded areas is a top priority.
 - E. The degree of access of proposed area to pedestrians and vehicles, where appropriate. Public accessibility is a top priority.
- (3) The proposed recreational facilities and site improvement to be made.
- (4) A schedule indicating how actual construction of the proposed park/open space and improvements are to be phased in relationship with the overall project.
- (5) How both ownership and maintenance of such areas is to be undertaken.
- (6) Residences must be within one thousand two hundred (1,200) feet of playground equipment and a Pocket Park or a larger size park.

The Community Development Department will conduct a review of the proposed land dedication or private facility/area or open space and include a recommendation in the staff report.

- (d) <u>Fees In-Lieu of Land Dedication</u>. Mandatory land dedications may be waived when Council has adopted a motion establishing a priority for payment in lieu fees instead of accepting land dedications. Such in-lieu fees shall be designated for a specific community wide park, recreational or open space use. Such community wide use shall benefit the current and future residents.
 - (1) Nothing in this section or any other section shall preclude the subdivider from transferring to the Municipality, land for public use, or expending in-lieu funds in excess of the mandatory requirements.
 - (2) The in-lieu fees shall be established by resolution of Council as based upon the average value per acre of the total gross site prior to construction or improvements. To calculate this estimate, the total value of the development, as determined by an appraisal, shall be divided by the total gross acreage of the development. The resulting figure shall be the averaged value of the development on a per-acre basis.
 - (3) The appraisal shall be conducted, completed and submitted to the Municipality prior to final plat approval. The appraisal shall be prepared by a certified appraiser approved by the Municipality and paid for by the applicant. The appraisal shall be reviewed and approved by Council.
 - (4) Should the Village have concerns about the appraisal provided by the developer's appraiser, a separate appraiser may be retained by the Village to provide the appraisal for the site.

(e) Prohibition.

- (1) No permits for construction or improvements will not be issued by the Municipality for the subject subdivision until such land dedication or payment of fees in-lieu land dedications are conveyed to and accepted by Council.
- (2) Applications for zoning and/or building permits for construction or improvements will not be accepted by the Municipality for the subject site or subdivision until such land dedication or payment of fees inlieu land dedications are conveyed to and accepted by Council.
- (f) <u>Effective Period</u>. The land dedication and payment of in-lieu fees required by this section shall be conveyed to the Municipality following approval by Council of the final plat and within sixty (60) days of such approval by Council.

(Ord. 77-91. Passed 10-15-91; Ord. 31-2007. Passed 8-21-07; Ord. 42-2007. Passed 12-18-08.)

1187.16 SUBDIVISION STANDARDS. OPEN SPACE.

- (a) In addition to the parkland dedication requirements in Section 1187.15, in residential developments of two (2) acres or more, a minimum of twenty percent (20%) of the gross developed land area shall be common open space. Wet and dry stormwater basins shall not be considered open space.
- (b) Publicly and privately-owned parks and open space must be accessible by roadway or public access easement.
- (c) The technical assessment in Section 1187.15(c) shall apply to the evaluation of the suitability of the proposed open space.
- (d) Fees in-lieu dedication of land for open space shall be established by the same method as the parkland fees in-lieu of dedication in Section 1187.15(d).

(Ord. 31-2007, Passed 8-21-07; Ord. 42-2007, Passed 12-18-08.)

1187.17 SUBDIVISION STANDARDS, GENERAL.

Features of any proposed subdivision not specifically set out or provided for herein, shall be at least equal to the generally accepted good practice existing at the time such subdivision is proposed. Conformity to the applicable standards of the Franklin County Subdivision Regulations, not in conflict herewith, promulgated by the Mid-Ohio Regional Planning Commission, of which this Municipality is a contributing member, shall be deemed satisfactory compliance with this section.

(Ord. 77-91. Passed 10-15-91; Ord. 31-2007. Passed 8-21-07.)

1187.18 FEE IN-LIEU OF SIDEWALK AND TRAIL CONSTRUCTION.

- (a) <u>Council Approval Required</u>. Council shall have the authority to approve applications for a fee in-lieu of sidewalk and/or trail construction.
- (b) <u>Criteria for Approval</u>. A fee payment in-lieu of sidewalk or trail may be permissible when a sidewalk or trail is found by Council to be not appropriate due to one of the following conditions:
 - (1) Sidewalk and/or trail construction is impracticable due to topographical conditions or site constraints;
 - (2) Sidewalks and/or trails do not exist in the area, there is not a likelihood for sidewalks and/or trails to be constructed in the near future, and that a fee in-lieu would better serve the community than a sidewalk or trail installed in the required location.
- (c) Calculation of Fees In-Lieu of Sidewalk or Trail Installation. The in-lieu fees shall be based upon the current cost of constructing sidewalks and/or trails in their required locations. The applicant shall provide a construction cost estimate, paid for by the applicant, to the Community Development Department a minimum of fifteen (15) working days prior to the council meeting at which the applicant desires his application to be heard. The submitted estimate shall be reviewed by the Village Engineer. The estimate shall be evaluated based on three (3) current quotes/estimates for construction materials and other information as needed. The estimate information shall then be reviewed and approved by Council.
- (d) <u>Effective Period</u>. The payment of in-lieu fees required by this section shall be conveyed to the Village of New Albany following approval by Council of the fee in-lieu and within sixty (60) days of receiving notice of such approval by Council.
- (e) <u>Permits Issued</u>. Permits for construction or improvements will not be issued by the Municipality for the subject development until payment of fees in-lieu sidewalk and/or dedications are conveyed to and accepted by the Village.

(Ord. 31-2007. Passed 8-21-07.)

1187.19 CONSTRUCTION DRAWINGS.

- (a) All construction drawings shall be on a horizontal scale of one inch to fifty (50) feet, and a vertical scale of one inch to five (5) feet. The sheet size shall be twenty-two (22) inches by thirty-six (36) inches. Sheet material shall be mylar with a minimum thickness of 0.03 mils.
- (b) Upon approval and acceptance of all improvements, the original construction drawings for the improvements shall be revised to reflect the actual construction. All drawings, including the master grade plan or reproductions thereof on mylar, shall become the property of the Municipality and shall be on file in the office of the Municipal Engineer.

(Ord. 77-91. Passed 10-15-91; Ord. 31-2007. Passed 8-21-07.)

1187.20 VARIANCES.

In cases where it is deemed that hardships, topography or other factual deterrent conditions prevail, variations and exceptions from the dimensional standards and improvement requirements, as set forth in these regulations, may be requested of the Planning Commission, but must be approved by Council.

(Ord. 77-91. Passed 10-15-91; Ord. 31-2007. Passed 8-21-07.)

1187.21 FEES.

Council shall have the authority to establish a schedule of fees for the filing, review and processing of applications. Council may periodically review the fee structure and make adjustments as deemed appropriate. Fees are non-refundable and shall be paid in full at the time of filing. Fees shall be set by separate ordinance.

(Ord. 31-2007. Passed 8-21-07.)

1187.22 MINOR COMMERCIAL SUBDIVISIONS.

- (a) Not withstanding anything to the contrary, approval without a plat of a minor commercial subdivision may be granted by the Community Development Director or designee if the proposed minor subdivision of a parcel of land meets all of the following conditions:
 - (1) A final development plan according to Chapter 1159 or an equivalent plan has been approved by the Planning Commission;
 - (2) The proposed subdivision is located along an existing public road, has frontage along a public street and involves no opening, widening or extension of any street;
 - (3) No more than five (5) lots are created after the original parcel has been completely subdivided;
 - (4) The proposed subdivision is not contrary to other subdivision, zoning, and other applicable regulations; and
 - (5) The property has been surveyed and a survey drawing, legal description of the property and other information as may be pertinent or required for appropriate action are submitted with the application.
- (b) If approval is given under these provisions, the Community Development Director or designee shall, within ten (10) working days after submission, approve such proposed minor subdivision and, upon presentation of a conveyance for said parcel, shall stamp "Approved by New Albany; No Plat Required", and the authorized representative of the Commission shall sign the conveyance.
- (c) For the purpose of this section, "original parcel" means the parcel existing as of the effective date of this section of the Subdivision Regulations (February 20, 2007).

(Ord. 08-2007. Passed 2-20-07; Ord. 31-2007. Passed 8-21-07.)

1187.23 SUCCESSION IN GOVERNMENT.

All references herein to officers or departments existing under Village government shall also refer to those officials or departments succeeding to the same or similar function upon advancement to city status.

(Ord. 77-91. Passed 10-15-91; Ord. 08-2007. Passed 2-20-07; Ord. 31-2007. Passed 8-21-07.)



NEW ALBANY, OHIO

RESIDENTIAL OUTSIDE VILLAGE CENTER

DESIGN GUIDELINES & REQUIREMENTS

SECTION 5

(AMENDED JUNE 2022)





High style designs incorporate specific architectural elements.



Buildings should be oriented toward primary streets and sidewalks.

I. Overview

This section applies to all residential development in New Albany that is outside of the Village Center. Standards for new residential buildings located outside the Village Center vary little from the standards used within that district. The goals in both areas are the same: creation of high-quality new buildings that enhance the character and livability of New Albany.

A. Site Characteristics

The siting of a building on a lot is an important design feature, as are elements such as orientation to the lot boundaries; setback from the public right-of-way; spaces between buildings; driveways and parking areas; landscaping and open space; and connections to other parts of the neighborhood and community.

A great deal of the attractiveness and high quality of the physical character of New Albany is due to careful design that blends all these elements into a harmonious composition. This arises from the fact that the spaces between and around buildings can be as important as the buildings themselves.

As in the choice of architectural style, traditional practice suggests workable ways in which both the man-made and the natural settings in New Albany can be treated to work hand-in-hand with the community's architecture.

New Albany's zoning requirements have a significant impact on site design. Refer to the New Albany Zoning Ordinance when beginning project planning, and always confer as early as possible with staff about a planned project.

In addition to zoning requirements, the following guidelines apply to site planning for all residential buildings outside the Village Center.

- 1. Asphalt, brick, stone, or simulated stone driveway pavers are appropriate surfaces for driveways and parking areas.
- 2. Parking areas and garage sites should be located at the rear of lots.
- 3. In addition to creating a setback, as defined in the Zoning Ordinance, a new building's site shall take account of precedent set by adjacent and/or nearby buildings, including the size, shape, and scale of spaces between the buildings. Consistency with traditional practice and with existing developed sites is the most appropriate.
- 4. Lot sizes may vary in size, and creation of appropriate green spaces between buildings is encouraged. Excessively large or excessively small spaces between buildings shall be avoided.
- 5. Buildings should face onto open spaces and natural corridors. A road is often best used to create an edge along these spaces.
- 6. For townhouses and apartment buildings, front setbacks should be appropriate to the setting, building type, architectural style and relationship to the surrounding buildings.



No garage doors face this street, enhancing the feel of a traditional streetscape.



Primary elevations should face public streets and open spaces.



Vernacular designs often include interesting elements and details.



These historic shutters are operable and made to fit the window opening.

II. Single-Family

A. Building Characteristics

Single-family homes are the most common residential building type in New Albany, and therefore have a significant impact on the visual quality of the community. The key to successful design of homes and accessory structures is a thorough understanding of traditional design practices as illustrated in the "American Architectural Precedent" section of these standards, as well as in A Field Guide to American Houses. This information, as well as the guidance provided by the "Guiding Principles" section and additional information sources outlined in Section 1, will provide a sound basis for creative design of new structures.

B. Design

- 1. Buildings shall be in one of the architectural styles described in the "American Architectural Precedent" section of these standards. The only permitted exception is in the case of individual lots of record existing prior to 1990. In such cases, any traditional American architectural style may be employed, provided that such architectural style is similar to that of an existing home within a radius of one-quarter of a mile. No such homes utilizing this exception shall be constructed without first obtaining a Certificate of Design Appropriateness pursuant to Codified Ordinances of New Albany. Properties utilizing this exemption shall not be required to comply with requirements of the Design Guidelines and Requirements which are inconsistent with the architectural style proposed.
- 2. Building designs shall not mix elements from different styles. Designs must be accurate renderings of traditional historical styles. The number, location, spacing, and shapes of window and door openings should be the same as those used in traditional historical styles.
- 3. Garages and outbuildings shall be clearly secondary in character, by means of a simplified design compatible with that of the primary structure. Garages may be attached or detached and must have single-bay doors no greater than ten feet in width. Side load garages on corner lots should be designed to minimize their visual impact. Side load garage doors facing a public street must be set back at least 20 feet from all portions of the front façade of the house.
- 4. Side or rear vehicular entry into garages is strongly encouraged. If garage doors face the primary street, the facade of the garage shall be set back a minimum of ten feet from all portions of the principal facade of the primary building.

- 5. Over-use of elements such as shutters, cupolas, and roof balustrades shall be avoided. Such elements may be employed only when they are common elements of specific architectural styles. When shutters are employed, even if they are non-operable, they must be sized and mounted in a way that gives the appearance of operability.
- 6. Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, basement window enclosures, and trash containers shall be designed and located so as to minimize their visibility and visual impact.

C. Form

- 1. Building forms shall follow forms depicted in the "American Architectural Precedent" section and in A Field Guide to American Houses. Building forms shall be appropriate for the particular architectural style being employed, as shown in the examples given in the sources cited above.
- 2. Massing of building forms (the way in which forms are fit together to create a complete composition) shall be consistent with traditional practice as depicted in the cited sources.
- 3. Orientation of main building facades, those with the primary entrances, shall be toward the primary street on which the building is located.
- 4. All building elevations shall be designed in a manner consistent with the selected architectural style. Refer to Guiding Principle #1 regarding design of all elevations of a building. Random mixing of exterior materials shall be avoided.
- 5. Particular attention shall be paid to correct proportions of building walls; gable and roof surface slopes; window and door openings; and window sash and glass panes. Proportions illustrated in the "American Architectural Precedent" and in the book A Field Guide to American Houses shall be observed.



This building is oriented toward the street, with the wing containing a side-load garage secondary in character to the house



Here the large main mass predominaates, with smaller forms used for the wings.



Historic entrances and windows were carefully proportioned and finely detailed.

D. Scale

- 1. New building designs shall exhibit the same sense of scale as was typical of the traditional architectural style selected for that building. Significant variance from traditional scale shall be avoided.
- 2. Building scale shall be controlled by careful attention to width of facades and to floor-to-floor heights on exterior walls. In general, the architectural styles selected as appropriate for New Albany are of modest or intimate scale rather than large or grand. In some cases, a larger scale for buildings designed in the Colonial Revival and Georgian Revival styles may be appropriate and will be considered on a case-by-case basis.

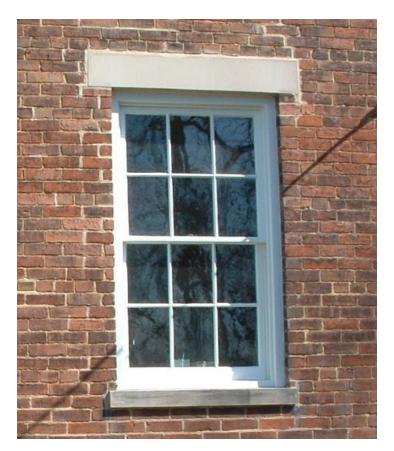
E. Height

- 1. Building height may vary between a minimum of 1.5 and a maximum of 2.5 stories. The number of stories is measured at the main entrance to the building. Walk-out basements do not count toward building height. All half-stories must have the appearance of being occupiable through the use of windows, dormers, or other architectural elements, unless otherwise appropriate for the proposed architectural style.
- 2. Entrances to the first floor of a building shall be a minimum of two feet above grade.
- 3. The height of garages, wings, dependencies, and detached structures shall not exceed the height of the roof peak of the main portion of the building.

F. Materials

- 1. The materials of which new buildings are constructed shall be appropriate for and typical of materials traditionally used in the architectural style in which the building is constructed. In general, wood siding and brick are preferred exterior materials. The use of alternate materials such as hardi-plank, vinyl, and other modern materials may be appropriate when they are used in the same way as traditional materials would have been used. This means that the shape, size, profile, and surface texture of alternate materials must exactly match historical practice when these elements were made of wood. Especially close attention must be paid to details such as cornerboards, window and door trim, soffits and eaves, and porch trim to ensure a correct match to traditional wood elements. Use of façade materials other than brick or wood requires review by the Architectural Review Board.
- 2. Exterior material selection shall be guided by examples given in the "American Architectural Precedent" section and in A Field Guide to American Houses.

- 3. Exposed concrete foundation walls are not permitted.
- 4. All exposed exterior chimneys shall be constructed of brick. Wood, artificial siding and stucco, as well as fireboxes that utilize cantilevered floor joist construction, are not permitted on chimneys.
- 5. Skylights must not be visible from the public right-of-way.
- 6. Historically, true divided-light wood window sash were the only ones available for multi-paned windows. Today most people prefer to simulate the divided-light look. However, great care must be taken to ensure that the divided-light look and the proportions of the window panes are correct. The only acceptable form of this window is one in which the glass panes have vertical proportions (height greater than width) and correctly-profiled muntins with an internal spacer that gives the appearance of a muntin extending through the glass. In addition, there must be an offset between the upper and lower sash to give the window a double-hung appearance. No snap-in or flat muntins will be approved. New windows must be made of wood and may have either vinyl or aluminum cladding on the exterior.
- 7. Another appropriate option is to use true wood or clad one-over-one windows. The window sash need not be operable if it correctly simulates a double-hung appearance.
- 8. When a window design has been selected for a building, the same design must be used on all elevations. Use of other window designs as "accent" windows must be appropriate for the architectural style of the building.



This historic true divided-light window illustrates correct vertical proportions for window panes.



Multi-family buildings often follow traditional architectural design practices.



This entrance serves multiple apartments and is clearly visible to pedestrians.

II. Multi-Family

This section applies to all non-single family, detached residential development.

A. Design

- 1. Buildings shall be in one of the architectural styles described in the "American Architectural Precedent" section of these standards. A building's design must be derived from examples of traditional American architecture that was built in a scale appropriate to that of the proposed new building. High quality, simple designs are encouraged.
- 2. Building designs shall not mix elements from different styles. Designs must be accurate renderings of traditional historical styles. The number, location, spacing, and shapes of window and door openings shall be the same as those used in traditional historical styles.
- 3. Buildings that do not have individual entrances to residential units shall follow traditional practice by employing distinctive central entrances that facilitate pedestrian access.
- 4. Garages and outbuildings shall be clearly secondary in character, by means of a simplified design compatible with that of the primary structure. Garages may be attached or detached and must have single-bay doors no greater than ten feet in width.
- 5. Garage doors may not face toward the primary street.
- 6. Over-use of elements such as shutters, cupolas, and roof balustrades shall be avoided. Such elements may be employed only when they are common elements of specific architectural styles. When shutters are employed, even if they are non-operable, they must be sized and mounted in a way that gives the appearance of operability.
- 7. Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, basement window enclosures, and trash containers shall be designed and located so as to minimize their visibility and visual impact.

B. Form

1. Building forms shall follow forms depicted in the "American Architectural Precedent" section and in A Field Guide to American Houses. Building forms shall be appropriate for the particular architectural

style being employed, as shown in the examples given in the sources cited above.

- 2. Massing of building forms (the way in which forms are fit together to create a complete composition) shall be consistent with traditional practice as depicted in the cited sources. Use of traditional "U," "E," and "H" shapes, which maximize admission of natural light to the building interior, is encouraged.
- 3. Orientation of main building facades, those with the primary entrances, shall be toward the primary street on which the building is located. When "U," "E," and "H" building shapes are used, entrances may also be on non-primary facades but must open onto courtyard areas that have sidewalks connected both to the internal system of walks and to walks along public streets.
- 4. All building elevations shall be designed in a manner consistent with the selected architectural style. Refer to Guiding Principle #1 regarding design of all elevations of a building. Random mixing of exterior materials shall be avoided.
- 5. Maximum building length should not exceed 160 feet unless otherwise found appropriate to the building design, context, scale and massing.
- 6. Particular attention shall be paid to correct proportions of building walls; gable and roof surface slopes; window and door openings; and window sash and glass panes. Proportions illustrated in the "American Architectural Precedent" and in the book A Field Guide to American Houses shall be observed.

C. Scale

- 1. New building designs shall exhibit the same sense of scale as was typical of the traditional architectural style selected for that building. Significant variance from traditional scale shall be avoided.
- 2. Building scale shall be controlled by careful attention to width of facades and to floor-to-floor heights on exterior walls. In general, the architectural styles selected as appropriate for New Albany are of modest or intimate scale rather than large or grand. In some cases, a larger scale for buildings designed in the Colonial Revival and



This U-shaped building has a landscaped courtyard to connect the building to the street.



Three story buildings are appropriate for townhouses and apartment buildings.



When a courtyard is located within the recessed wings of a building, the entire courtyard may be at least two feet above grade.

Georgian Revival styles may be appropriate and will be considered on a case-by-case basis.

D. Height and Length

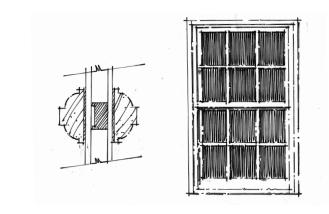
- 1. Building height may vary between a minimum of 1.5 and a maximum of three stories. In general, a minimum height of two stories is most appropriate for townhouse and apartment building types and is encouraged. The number of stories is measured above grade at the primary entrance to the building. Walk-out basements do not count toward height. All half-stories must have the appearance of being occupiable through the use of windows, dormers, or other architectural elements, unless otherwise appropriate for the proposed architectural style.
- 2. Entrances to the first floor of a building shall be a minimum of two feet above grade. In cases where a building has courtyards recessed within wings of the building, the entire courtyard may be placed at least two feet above the surrounding grade and entrances may be located at the grade of the courtyard.
- 3. The height of garages, wings, ells, dependencies, and similar portions of a building shall not exceed the height of the roof peak of the main portion of the building.

E. Materials

1. The materials of which new buildings are constructed shall be appropriate for and typical of materials traditionally used in the architectural style in which the building is constructed. In general, wood siding and brick are preferred exterior materials. The use of alternate materials such as hardi-plank, vinyl, and other modern materials may be appropriate when they are used in the same way as traditional materials would have been used. This means that the shape, size, profile, and surface texture of alternate materials must exactly match historical practice when these elements were made of wood. Especially close attention must be paid to details such as cornerboards, window and door trim, soffits and eaves, and porch trim to ensure a correct match to traditional wood elements. Use of façade materials

other than brick or wood require approval by the Architectural Review Board.

- 2. Exterior material selection shall be guided by examples given in the "American Architectural Precedent" section and in A Field Guide to American Houses.
- 3. Exposed concrete foundation walls are not permitted.
- 4. All exposed exterior chimneys shall be constructed of brick. Wood, artificial siding and stucco, as well as fireboxes that utilize cantilevered floor joist construction are not permitted on chimneys.
- 5. Skylights must not be visible from the public right-of-way.
- 6. Historically, true divided-light wood window sash were the only ones available for multi-paned windows. Today most people prefer to simulate the divided-light look. However, great care must be taken to ensure that the divided-light look and the proportions of the window panes are correct. The only acceptable form of this window is one in which the glass panes have vertical proportions (height greater than width) and correctly-profiled muntins with an internal spacer that gives the appearance of a muntin extending through the glass. In addition, there must be an offset between the upper and lower sash to give the window a double-hung appearance. No snap-in or flat muntins will be approved. New windows must be made of wood and may have either vinyl or aluminum cladding on the exterior.
- 7. Another appropriate option is to use true wood or clad one-over-one windows. The window sash need not be operable if it correctly simulates a double-hung appearance.
- 8. When a window design has been selected for a building, the same design must be used on all elevations. Use of other window designs as "accent" windows must be appropriate for the architectural style of the building.



Good quality new windows can simulate traditional through-the-glass muntins.



5

PHOTO CREDITS & DRAWINGS

BENJAMIN D. RICKEY & CO.

MSI

VILLAGE OF NEW ALBANY

GUIDELINES TEXT BY:
NANCY RECCHIE & JEFF DARBEE,
BENJAMIN D. RICKEY & CO.

GRAPHIC DESIGN BY:
MARGO PUFFENBERGER,
MSI



Permit #	
Board	
Mtg. Date	



Community Development Planning Application

	Site Address 5161 Forest Dri	ve, New Albany, Ohio 43054	1			
	Parcel Numbers 222-004860					
	Acres 2.06 ac	# of lots created 1 (e	xisting)			
	Classic Association Toronto					
	Choose Application Type □ □ Appeal	Circle a	ll Details that Apply			
Project Information	□ Certificate of Appropriateness □ Conditional Use XiDevelopment Plan □ Plat	Preliminary Final Preliminary Final	Comprehensive Amendment			
Tet	□□Lot Changes	Combination Split	Adjustment			
oJu	□□Minor Commercial Subdivisio					
í I	□□Vacation	Easement	Street			
jec	□□Variance □□Extension Request					
Pro	□□Zoning	Amendment (rezoning)	Text Modification			
	Description CD and American		aved Final Development Blan			
	Description of Request: Amendment to previously approved Final Development Plan to allow for building expansion and site modifications.					
	Property Owner's Name: Tara Miller / DTMB Properties LLC					
	Address: 5161	Forest Drive				
		Albany, Ohio 43054				
		75-2003 newalbanyballet.com	Fax:			
ets	Eman. taras	newalbarryballet.com				
tac						
Contacts		an / J. Carter Bean Architect	LLC			
)		h High Street, Suite 401				
	City, State, Zip: Columbus Phone number: 614-595-2	, Ohio 43214	Fax:			
		eanarchitects.com	rax.			
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.					
Si	Signature of Owner Signature of Applicant	Law Mille	Date: 7/14/22 Date: 7/14/22			

Appeal			250.00					
	Certificate of Appropriateness							
		two family residential	100.00					
		esidential or commercial	300.00					
	ARB - Signage		75.00					
Conditional Use	8 8		600.00					
	– Preliminary PUD	or Comprehensive						
· · · · · · · · · · · · · · · · · ·	Planning fee	First 10 acres	750.00					
	C	Each additional 5 acres or part thereof	50.00 / each					
	Engineering fee	1-25 lots	155.00 / each					
	0 0	Minimum fee	1000.00					
	Engineering fee	26 - 50 lots	3875.00					
	8 8	Each additional lot over 26	75.00 / each					
	Engineering fee	Over 51 lots	5750.00					
		Each additional lot over 51	50.00 / each					
Development Plan	– Final PUD	2001 additional for 0101 01						
Bevelopment I tun	Planning fee	First 10 acres	650.00					
	8	Each additional 5 acres or part thereof	50.00					
	Engineering fee	1-25 lots						
	Engineering ree	(minimum fee \$1,000.00)	155.00 / each					
	Engineering fee	26 – 50 lots	3875.00					
		Each additional lot over 26	75.00 / each					
	Engineering fee	Over 51 lots	5750.00					
	0 0	Each additional lot over 51	50.00 / each					
Development Plan	– Non-PUD		300.00					
-	/ Text Amendment		600.00					
Plat – Road Prelim								
	Planning fee		350.00					
	Engineering fee	no lots on either side of street	1.00 / LF					
	8	lots on one side of street	.50 / LF					
		Minimum fee	1,000.00					
Plat – Road Final								
	Planning fee		350.00					
	Engineering fee	no lots on either side of street	1.00 / LF					
	8	lots on one side of street	.50 / LF					
		Minimum fee	1,000.00					
Plat – Subdivision	Preliminary		·					
	Planning		650.00					
	\mathcal{S}	Plus each lot	50.00 / each					
	Engineering fee	1-25 lots						
	5 8	(minimum fee \$1,000.00)	155.00 / each					
	Engineering fee	26 – 50 lots	3875.00					
		Each lot over 26	75.00 / each					
	Engineering fee	Over 51 lots	5750.00					
		Each lot over 51	50.00 / each					

Plat – Subdivision Final					
Planning		650.00			
_	Plus each lot	15.00 / each	<u> </u>		
Engineering fee	1-25 lots				
	(minimum fee \$1,000.00)	155.00 /each			
Engineering fee	26-50 lots	3875.00			
	Each lot over 26	75.00 / each			
Engineering fee	Over 51 lots	5750.00			
	Each lot over 51	50.00 / each			
Lot Changes		200.00			
Minor Commercial Subdivision	200.00				
Vacation (Street or Easement)	1200.00				
Variance					
Non-single family, commerci	600.00				
Single Family residence	250.00				
In conjunction with Certificat	100.00				
Extension Request		0.00			
Zoning					
Rezoning - First 1	0 acres	700.00			
	Each additional 5 acres or part thereof	50.00 / each			
Rezoning to Rock	y Fork Blacklick Accord	250.00			
Text Modification	600.00				
Easement Encroachment	800.00				

ARCHITECT

July 14, 2022

Mr. Stephen Mayer & Mr. Chris Christian

Community Development Department

99 West Main Street

P.O. Box 188

New Albany, Ohio 43054

Re: Architectural Justification
New Albany Ballet Company
5161 Forest Drive
New Albany, Ohio 43054

Dear Mr. Mayer & Mr. Christian:

Per the Canini Trust Corp Subarea 8a.03(1), the following is our architectural explanation and justification explaining the significant architectural features of the proposed building additions and how it they relate to the existing structure.

The intent of our original building design was for the building is to appear as though it was a repurposed warehouse. The structure incorporated brick as the primary material, with a cast stone base. As part of the 'repurposing' aspect of the design, we utilized a more modern exposed structural steel and fiber cement paneling and trim to accentuate the entry element.

For the additions, we are proposing to expand upon the detailing of the modern entry element of the building. The entry element and additions also speak to the passage of time regarding materiality and construction technology... it is a combination of 'old' and 'new'.

As an example, the image below is of the Restoration Hardware building in the Meatpacking district of New York City. This facility consists of an old, masonry warehouse building which has been renovated and added onto for current day use as a retail and entertainment facility. This combination of old and new is a very descriptive example of what we intend to achieve at the New Albany Ballet Company:



As is consistent with the original building, the proposed roofs would be 'flat' with straight parapets, which is consistent with the existing structure.

Generally speaking, many and various structural steel and fiber cement panel and trim details have been incorporated to provide texture and visual interest to the building. All facades have been equally detailed with elements that visually break the faces.

As is also consistent with the existing building the ends of the additions are mostly solid due to the interior use of the spaces: These walls require floor-to-ceiling, wall-to-wall mirrors for dance training purposes. In the original design, a change in brick was utilized to continue the window patterning, but provide solid walls:



For the proposed additions, we intend to pattern the end walls using fiber cement paneling and trim, which are the primary finish materials for these additions. Additionally, the existing building utilizes a structural steel cross bracing system, which is exposed to the interior. The Owner and occupants have often commented on the visual interest that these elements provide, so we have opted to expose these to the exterior (which can also be seen in the previous image of Restoration Hardware).



4400 NORTH HIGH STREET SUITE 401 COLUMBUS, OHIO 43214 TEL 614.262.BEAN FAX 614.262.2329

For the window fenestration, we propose the use of an aluminum storefront system with muntins to match the

existing.



We feel that these additions will, not only, provide the Owner with the functionality she needs, but complement and enhance an already handsome structure.

Sincerely,



Carter Bean



4400 NORTH HIGH STREET SUITE 401 COLUMBUS, OHIO 43214 IEL 614.262.BEAN FAX 614.262.2329

July 14, 2022

Mr. Stephen Mayer & Mr. Chris Christian **Community Development Department** 99 West Main Street P.O. Box 188 New Albany, Ohio 43054

Site Circulation and Parking Re: **New Albany Ballet Company** 5161 Forest Drive New Albany, Ohio 43054

Dear Mr. Mayer & Mr. Christian:

As per the original Final Development Plan for this facility, we provided 58 parking spaces with a drop-off area in front of / on the south side of the building. This amount of parking has comfortably served this facility and it's enrollment since opening.

During Covid, the enrollment for this facility has more than doubled. Even with these larger numbers, the amount of existing spaces parking has been sufficient. However, what has become problematic is the drop-off area. Since it is provided, most parents queue vehicles in this area rather than utilize the parking spaces. This, on occasion, can cause a backup, which disrupts site circulation.

To resolve this issue, we are proposing the removal of the drop-off area, which will be replaced with 12, new head-in parking spaces. This, in conjunction with the reconfiguration of the parking fields on the east and west ends of the building, will result in a net gain of 7 parking spaces.

Furthermore, we are proposing a new right-out curb cut on Forest Drive, which will create a more direct path of circulation through the site (from west to east), which will be beneficial for, both, customers and emergency vehicles. The two existing curb cuts shall remain unchanged.

Since enrollment increased 2 years ago; is not anticipated to increase from its current level; and parking has been working, the Owner is confident that the removal of the drop off; increase in parking spaces; and better flow through the site will be more than sufficient to accommodate her operation.

Sincerely,

Carter Bean

2.064 Acre ~ Boundary Survey North of Forest Drive East of Smith's Mill Road

Situated in the State of Ohio, County of Franklin, Village of New Albany, Farm Lot 23, Quarter Township 1, Township 2, Range 16, being part of an Original 30.885 acre tract of land conveyed to Smith Mill Ventures, LLC of record in Instrument Number 200608170162929 and being more particularly described as follows:

Beginning, for reference, at a point in the center of a ball, being the center of Reserve "A" in the centerline of Forest Drive (R/W Varies) as dedicated in Forest Drive Dedication and Easements Section 2, Phase 1" of record in Plat Book 112, Page 40;

Thence along the centerline of Forest Drive as dedicated in said Forest Drive Dedication and Easements Section 2, Phase 1 and in Forest Drive Dedication and Easements Section 2, Phase 2 of record in Plat Book 114, Page 1, S 58° 05' 06' W, 476.67 feet;

Thence across said Forest Drive, N 31° 54' 54" W, 25.00 feet to a magnail found at the southwesterly corner of a 3.047 acre tract conveyed to New Albany Hotel Associates, LLC of record in Instrument Number 201102010016510, being in the northerly right-of-way line of said Forest Drive, and being the *True Point of Beginning* for the land herein described as follows;

Thence along said northerly right-of-way line, S 58° 05' 06" W, 310.51 feet to and iron pin set;

Thence across said Original 30.885 acre tract the following seven (7) courses;

- 1. N 31° 42' 18" W, 277.81 feet to an iron pin set;
- 2. With a curve to the right, having a central angle of 89° 46' 57" and a radius of 24.50 feet, an arc length of 38.39 feet, a chord bearing and chord distance of N 13° 11' 10" E, 34.58 feet to an iron pin set;
- 3. N 58° 04' 39" E, 40.45 feet to an iron pin set;
- 4. With a curve to the right, having a central angle of 15° 19' 06" and a radius of 233.50 feet, an arc length of 62.43 feet, a chord bearing and chord distance of N 65° 44' 11" E, 62.24 feet to an iron pin set;
- 5. N 73° 24' 44" E, 11.23 feet to an iron pin set;
- 6. With a curve to the left, having a central angle of 15° 21' 05" and a radius of 266.50 feet, an arc length of 71.40 feet, a chord bearing and chord distance of N 65° 43' 11" E, 71.19 feet to an iron pin set:
- 7. N 58° 02' 39" E, 101.32 feet to an iron pin set in the westerly line of said 3.047 acre tract;

Thence along the westerly line of said 3.047 acre tract, S 31° 56' 46" E, 281.58 feet to the *Point of Beginning*, containing 2.064 acre of land, more or less.

The above description was written by Advanced Civil Design, Inc. on May 15, 2015 from existing records and a field survey performed in May of 2015. A drawing of the above description has been prepared and is a part hereof.

Iron pins set are 3/4" diameter iron pipe, 30" long and capped Advanced 7661.

Bearings are based on the Ohio State Plane Coordinate System, South Zone, NAD83 NSRS 2007. Said bearings were derived from GPS observation that determine a portion of the northerly right of way line of Forest Drive between a magnail found and an iron pin set, having a bearing of S 58° 05' 06" W.

ADVANCED CIVIL DESIGN, INC.

Jonathan E. Phelps, P.S. Reg. 8241

Date

2.064 Ac. ~ Boundary Survey

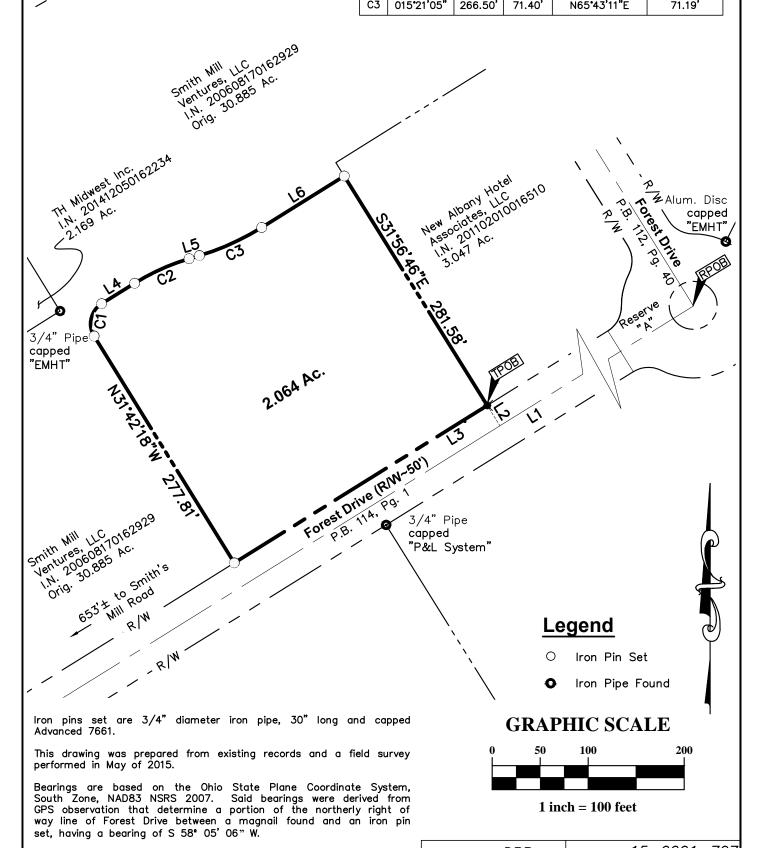
SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, VILLAGE OF NEW ALBANY LOCATED IN FARM LOT 23, QUARTER TOWNSHIP 1, TOWNSHIP 2, RANGE 16 UNITED STATES MILITARY DISTRICT



LINE TABLE					
LINE	DISTANCE	BEARING			
L1	476.67	S58°05'06"W			
L2	25.00'	N31°54'54"W			
L3	310.51	S58°05'06"W			

LINE TABLE					
LINE	DISTANCE	BEARING			
L4	40.45	N58°04'39"E			
L5	11.23'	N73°23'44"E			
L6	101.32'	N58°02'39"E			

CURVE TABLE						
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.	
C1	089*46'57"	24.50'	38.39'	N13"11'10"E	34.58'	
C2	015*19'06"	233.50'	62.43'	N65*44'11"E	62.24'	
С3	015*21'05"	266.50'	71.40'	N65°43'11"E	71.19'	



DRAWN BY: *DRB* JOB NO.: 15-0001-707

DATE: 05/15/2015 CHECKED BY: *BCK*



422 Beecher Road Gahanna, Ohio 43230

ph 614.428.7750 fax 614.428.7755

ENGINEERS SURVEYORS

OFFICE BUILDINGS AND THE PERMITTED USES IN THE CODIFIED ORDINANCES OF THE CITY OF NEW ALBANY, OCD OFFICE CAMPUS DISTRICT, SECTION 1144.02 AND THE CONDITIONAL USES CONTAINED IN SECTION 114.03, PROVIDED THAT THE CONDITIONAL USES COMPLY WITH CHAPTER 1155.

COMMERCIAL BUILDINGS AND THE PERMITTED USES CONTAINED IN THE CODIFIED ORDINANCES OF THE CITY OF NEW ALBANY, C-2 GENERAL BUSINESS (COMMERCIAL) DISTRICT, SECTION 1147.02 AND THE CONDITIONAL USES CONTAINED IN SECTION 1147.03, HOTELS AND GASOLINE SERVICE STATIONS WHICH SHALL CONFORM TO THE STANDARDS SET

COMMERCIAL BUILDING TYPES SHALL COMPLY WITH THE DESIGN GUIDELINES OF THE DEVELOPMENT STANDARDS. PLEASE REFER TO THE APPLICABLE MATERIAL SUBMITTED BY THE ARCHITECT RELATIVE TO THE BUILDING

UNLESS OTHERWISE SPECIFIED IN THE WRITTEN TEXT AND/OR DETAILS CONTAINED WITHIN THE SUBMITTAL DRAWINGS, THE DEVELOPMENT STANDARDS OF PART ELEVEN OF THE CODIFIED ORDINANCES OF THE CITY OF NEW ALBANY SHALL

BASIC DEVELOPMENT STANDARDS ARE COMPILED REGARDING DENSITY, SITE ISSUES, TRAFFIC CIRCULATION, LANDSCAPE AND ARCHITECTURAL STANDARDS. THESE STANDARDS ENSURE CONSISTENCY AND QUALITY FOR THIS PARCEL AND

THE DEVELOPMENT AREA LIES IN FLOOD ZONE X (AREAS TO BE DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 39049C0208 K (DATED JUNE 17, 2008).

THE EXISTING STORMWATER MANAGEMENT FEATURES WERE DESIGNED IN ACCORDANCE WITH THE CITY OF NEW ALBANY'S AND APPLICABLE PORTIONS OF THE STATE OF OHIO'S STORMWATER MANAGEMENT POLICIES. THE CURREN' SITE IS TRIBUTARY A TO PREVIOUSLY ESTABLISHED REGIONAL DETENTION AREA. THE PROPOSED LAYOUT WILL CONTINUE TO DRAIN TO THE EXISTING STORMWATER CONVEYANCE SYSTEM WHICH DRAINS TO ONE OF THE REGIONAL BASINS. THE BASIN IS SIZED TO ACCOMMODATE THE REQUIRED VOLUMES FOR SEDIMENT AND RUNOFF STORAGE ASSOCIATED WITH THE CHANGES IN BOTH PRE AND POST CONSTRUCTION WATER QUALITY AND QUANTITY.

EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE IMPLEMENTED AS A PART OF THE PROJECT DEVELOPMENT. INSTALLATION AND MAINTENANCE WILL BE IN ACCORDANCE WITH THE CITY OF NEW ALBANY STANDARDS AND IN COMPLIANCE WITH THE OEPA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH

THIS PARCEL AREA IS TRIBUTARY TO AN EXISTING 8" MAINLINE SANITARY SEWER THAT EXISTS IN AN EASEMENT ALONG THE SOUTHEASTERN BOUNDARY OF THIS DEVELOPMENT. THE EXISTING MAINLINE SEWER WAS CONSTRUCTED UNDER PLAN NUMBER CC-14984. THE EXISTING 6" SANITARY SERVICE PIPE SHOWN HEREON, WHICH IS TAPPED ONTO THE EXISTING 8" MAIN, WILL CONTINUE TO PROVIDE GRAVITY SEWER SERVICE TO THE BUILDING.

WATER SUPPLY (DOMESTIC SERVICE & FIRE PROTECTION)

THE WATER SUPPLY REQUIREMENT OF THE PROPOSED STRUCTURE REMAINS A SINGLE 1-1/2" DOMESTIC SERVICE LINE THAT IS TAPPED OFF AN EXISTING 12" WATER MAIN RUNNING ALONG THE WEST SIDE OF FOREST DRIVE. THE EXISTING 12" MAIN WAS INSTALLED WITH THE FOREST DRIVE PUBLIC ROADWAY IMPROVEMENTS INCLUDING PUBLIC FIRE

FIRE PROTECTION FOR THIS PROJECT WILL BE CONTINUE TO BE ACCOMMODATED BY THE PUBLIC FIRE HYDRANTS LOCATED ON THE WESTERN SIDE OF FOREST DRIVE.

LANDSCAPING/SIGNAGE/LIGHTING

SEE LANDSCAPE PLANS AND APPLICABLE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS RELATED TO THIS SECTION

ENVIRONMENTAL

NO DETERMINATION HAS BEEN MADE BY THE CITY OF NEW ALBANY, OHIO AS TO WHETHER THE AREA PROPOSED CONTAINS AREA(S) THAT COULD BE CLASSIFIED AS WETLANDS BY THE ARMY CORPS OF ENGINEERS. IT IS THE DEVELOPER'S RESPONSIBILITY TO DETERMINE WHETHER WETLANDS EXIST ON THE SITE. THE CITY OF NEW ALBANY, OHIO APPROVAL OF THIS FINAL DEVELOPMENT PLAN DOES NOT IMPLY ANY APPROVAL OF THE SITE AS IT MAY PERTAIN TO WETLANDS. UNDER THE PREVIOUS DEVELOPMENT PLANS FOR THIS SITE, NO ISSUES OR PRESENCE OF CLASSIFIED AREAS ARE ANTICIPATED.

BENCHMARKS

BASED ON FRANKLIN COUNTY MONUMENTS (NAVD 1988 DATUM).

Site BM 1 - TOP OF BOLT ON BOTTOM FLANGE OF EXISTING FIRE Site BM 2 - TOP OF CASTING OF EXISTING SANITARY SEWER MANHOLE, NORTH RIM HYDRANT SOUTHEAST SIDE ELEV. = 1069.95ELEV. = 1064.33

PROFESSIONAL ENGINEER DATE

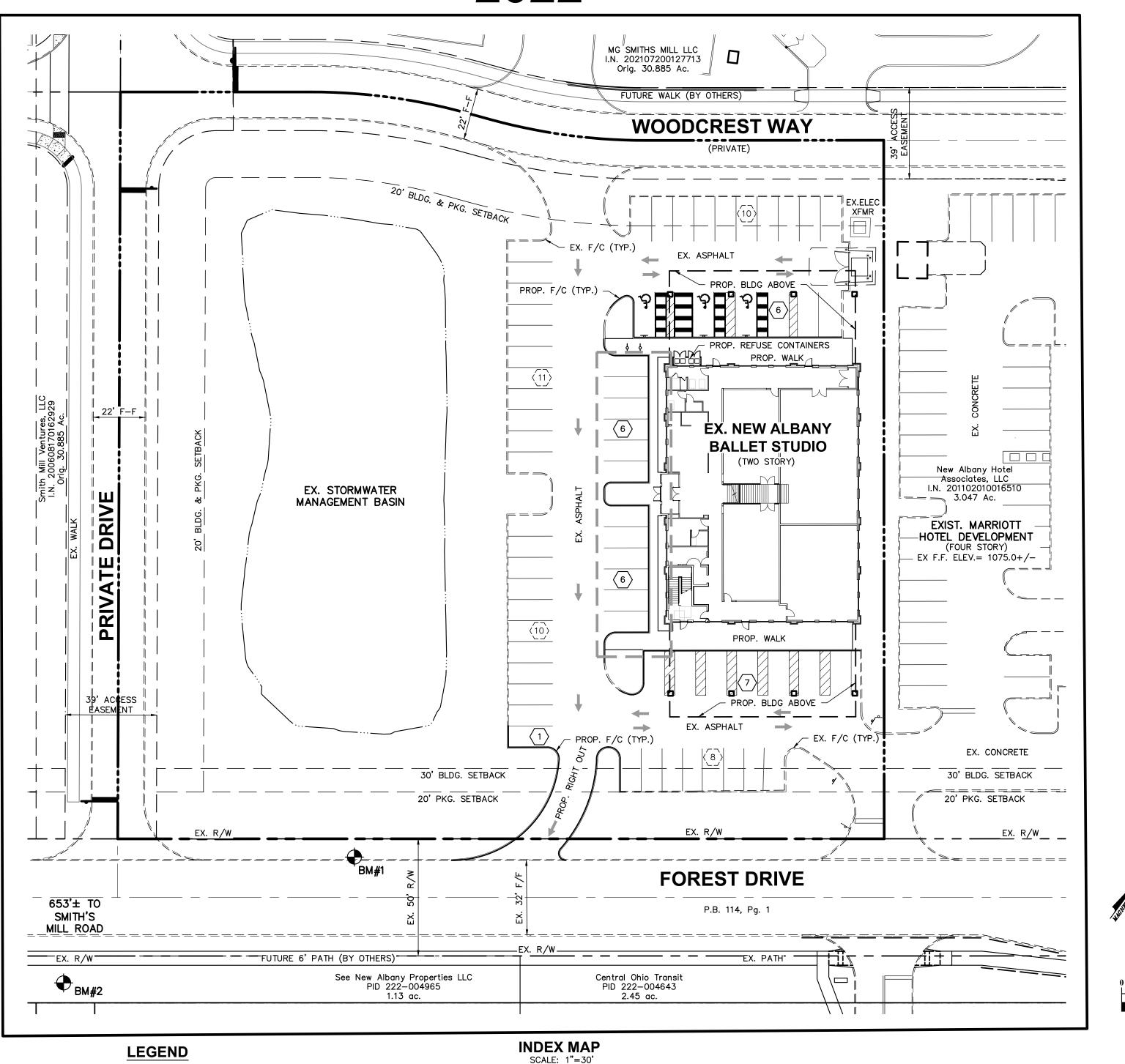
DATE PROFESSIONAL SURVEYOR

DATE PLANNING COMMISSION CHAIR

DATE VICE CHAIR OR DESIGNEE

NEW ALBANY, FRANKLIN COUNTY, OHIO FINAL DEVELOPMENT PLAN **FOR** NEW ALBANY BALLET CO.

2022

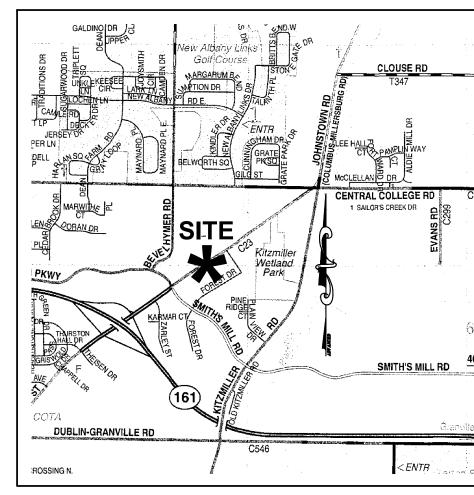


EXISTING PARKING COUNT

TRAFFIC FLOW ARROW

PHASE I CONSTRUCTION

PROPOSED PARKING COUNT



LOCATION MAP

INDEX OF DRAWINGS

TITLE SHEET SITE, GRADING & UTILITY PLAN TRUCK TURN EXHIBIT

SITE DATA

GENERAL

ZONING CLASSIFICATION: TOTAL SUBAREA ACREAGE: TOTAL SITE ACREAGE:

BUILDING

EXISTING USE: **EXISTING SIZE:**

PROPOSED ADDITION: TOTAL BUILDING SIZE:

PARKING

EXISTING PARKING REQUIRED: PROPOSED PARKING REQUIRED: **EXISTING PARKING:**

PROPOSED TOTAL PARKING:

GRAPHIC SCALE

1 inch = 30 feet

LOT COVERAGE TOTAL HARD SURFACE AREA: GREEN SPACE AREA: PERCENTAGE OF IMPERVIOUS AREA:

PARKING LOT SURFACE AREAS INTERIOR LANDSCAPE AREA: PERCENTAGE OF INTERIOR L/S AREA: SEE LANDSCAPE PLAN

2,332 SQ. FT. 37,266 SQ. FT. 52,468 SQ. FT.

SUBAREA 8A, MIXED USE

ASSEMBLY (BALLET STUDIO)

23.5± ACRES

2.31 ACRES

18,313 SQ. FT.

24,447 SQ. FT.

(2-STORY)

6,134 SQ. FT.

(1 PER 200 SQ. FT.)

(3 W/ H.C. ACCESS)

SEE LANDSCAPE PLAN SEE LANDSCAPE PLAN

DEVELOPER

RENIER CONSTRUCTION

2164 CITYGATE DRIVE COLUMBUS, OHIO 43219 (614) 866-4580 PH. (614) 866-0115 FAX

ARCHITECT

J. CARTER BEAN ARCHITECT

4400 NORTH HIGH STREET, SUITE 401 COLUMBUS, OHIO 43214 (614) 262-2326 PH. (614) 262-2329 FAX

LANDSCAPE ARCHITECT

FARIS PLANNING & DESIGN

4876 CEMETERY ROAD HILLIARD, OH 43026 (614) 487-1964 PH.

ADVANCED CIVIL DESIGN, INC.



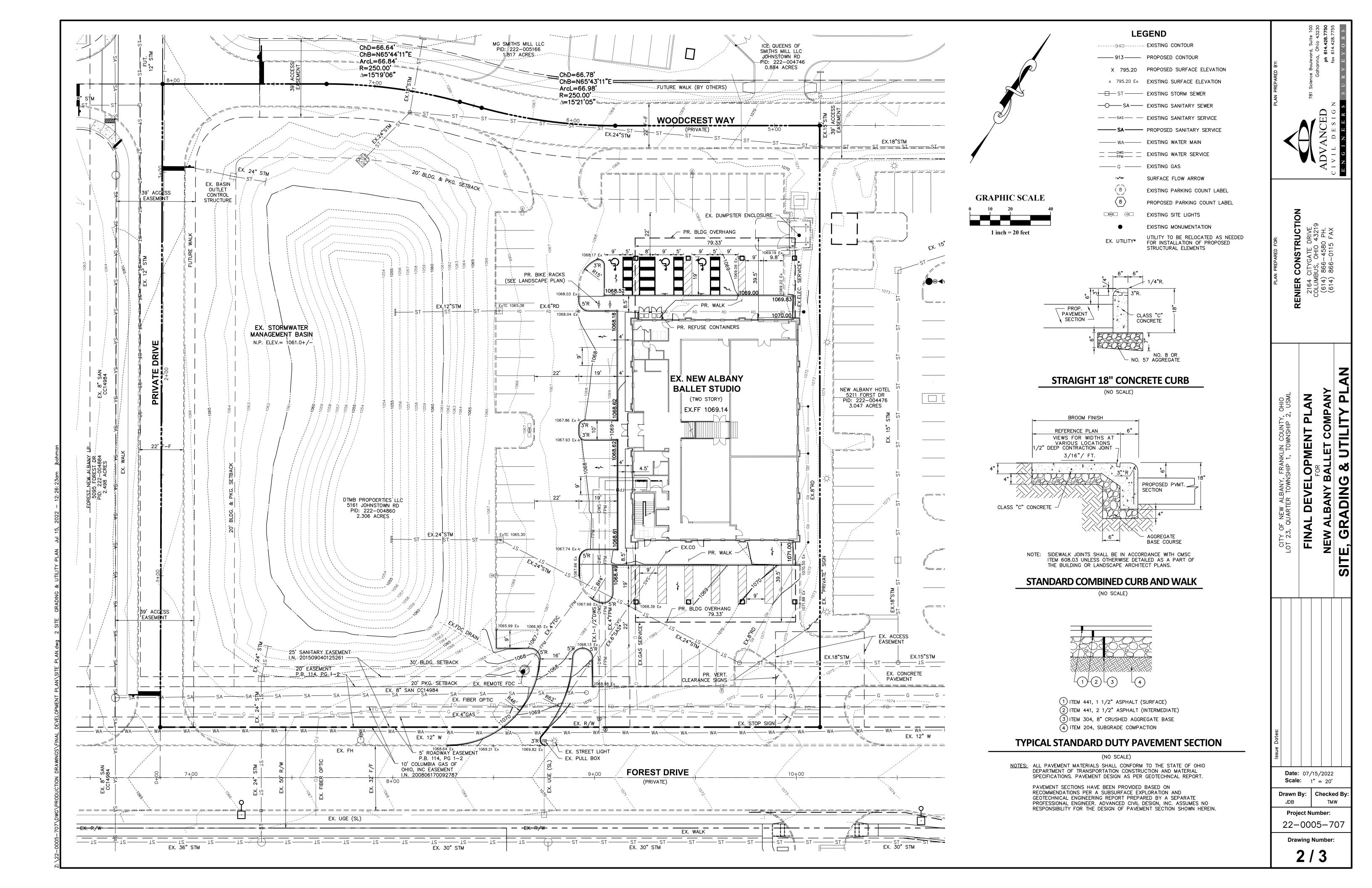
781 Science Boulevard, Suite 100 ph 614.428.7750 fax 614.428.7755

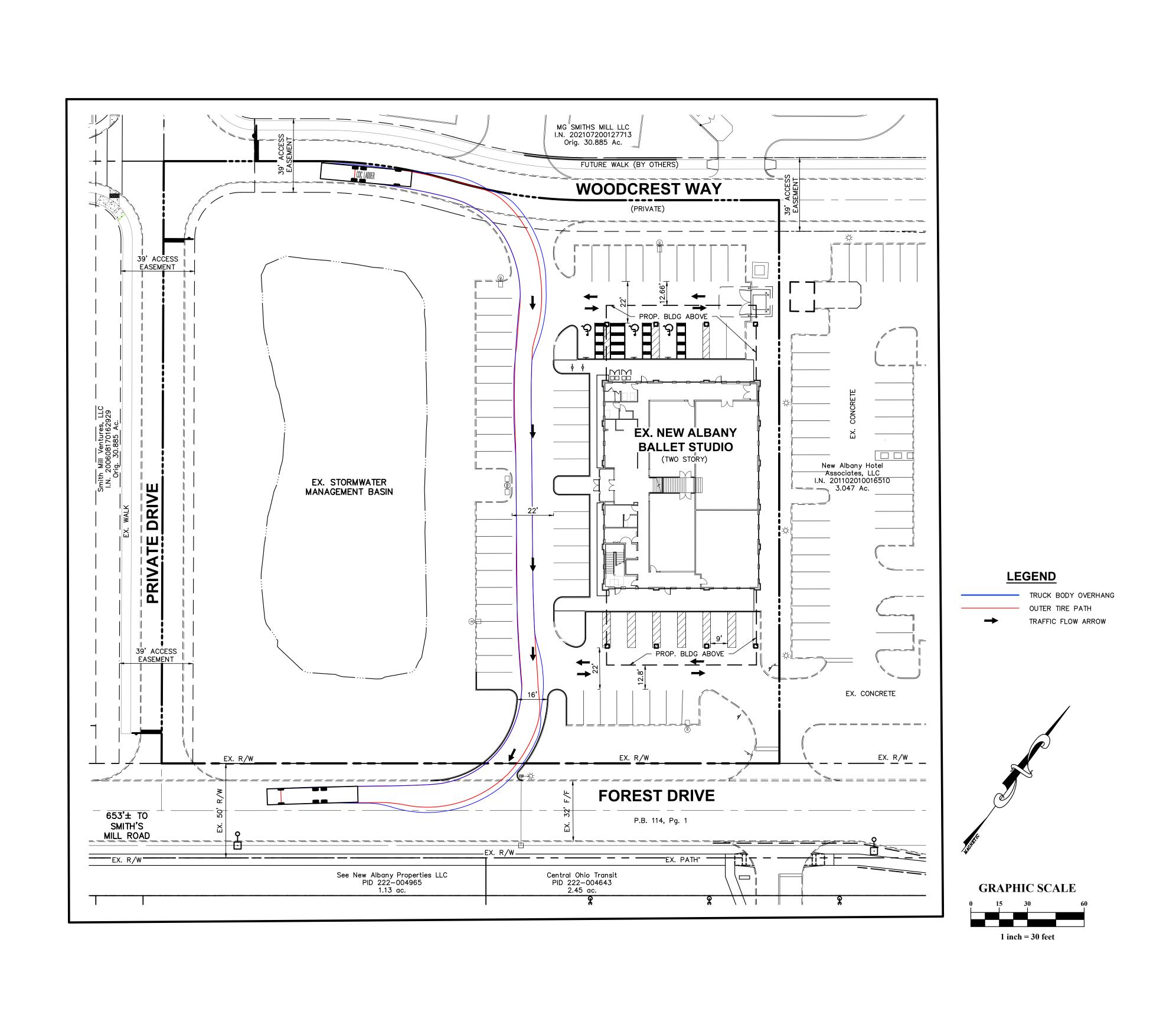
ENGINEERS SURVEYORS TWARNER@ADVANCEDCIVILDESIGN.COM

Date: 07/15/2022 **Scale:** 1" = 30'Drawn By: Checked By

Project Number: 22-0005-707

Drawing Number:





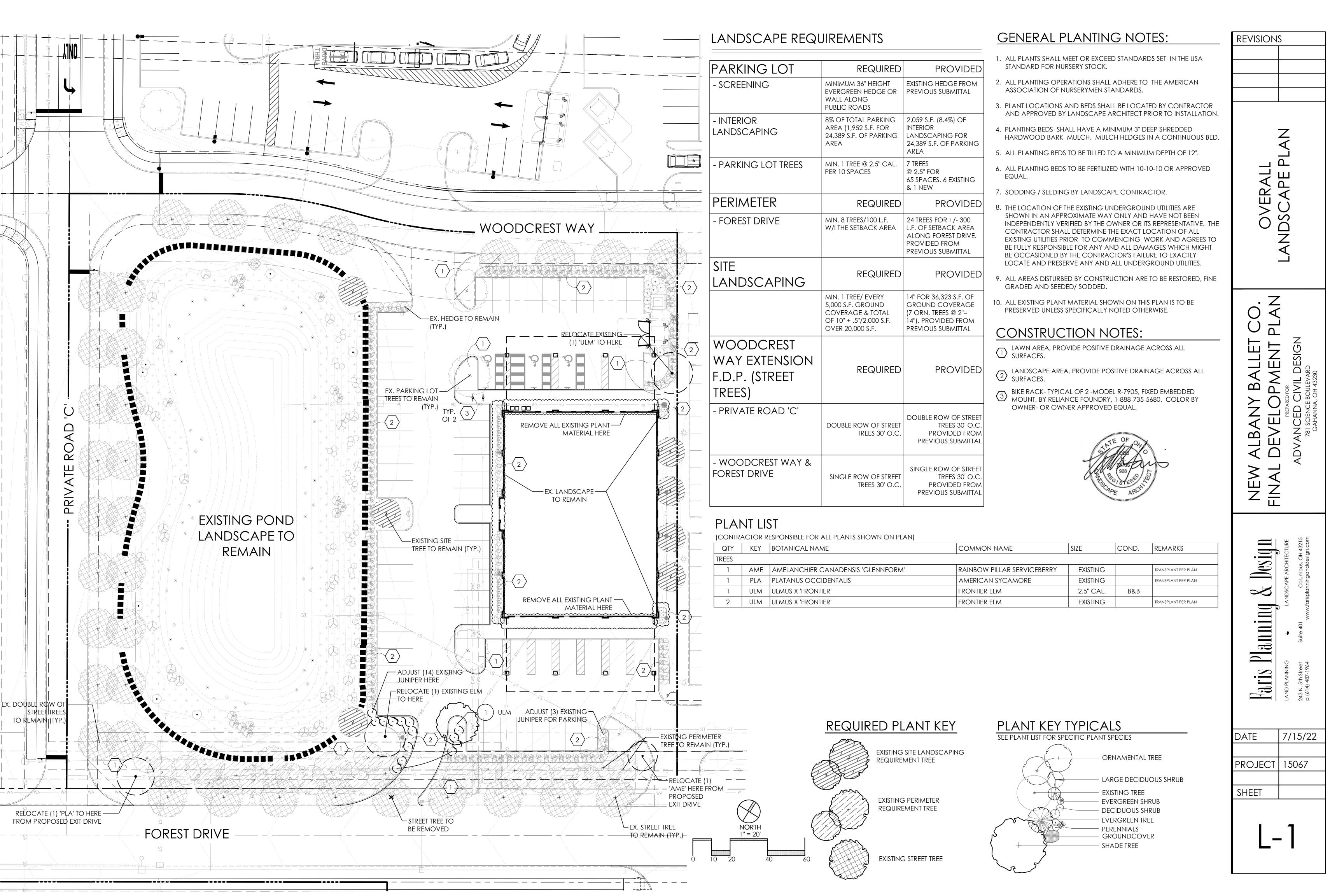
CITY OF NEW ALBANY, FRANKLIN COUN
LOT 23, QUARTER TOWNSHIP 1, TOWNSH
FINAL DEVELOPMENT P
FOR
NEW ALBANY BALLET
TRUCK TURN EXH

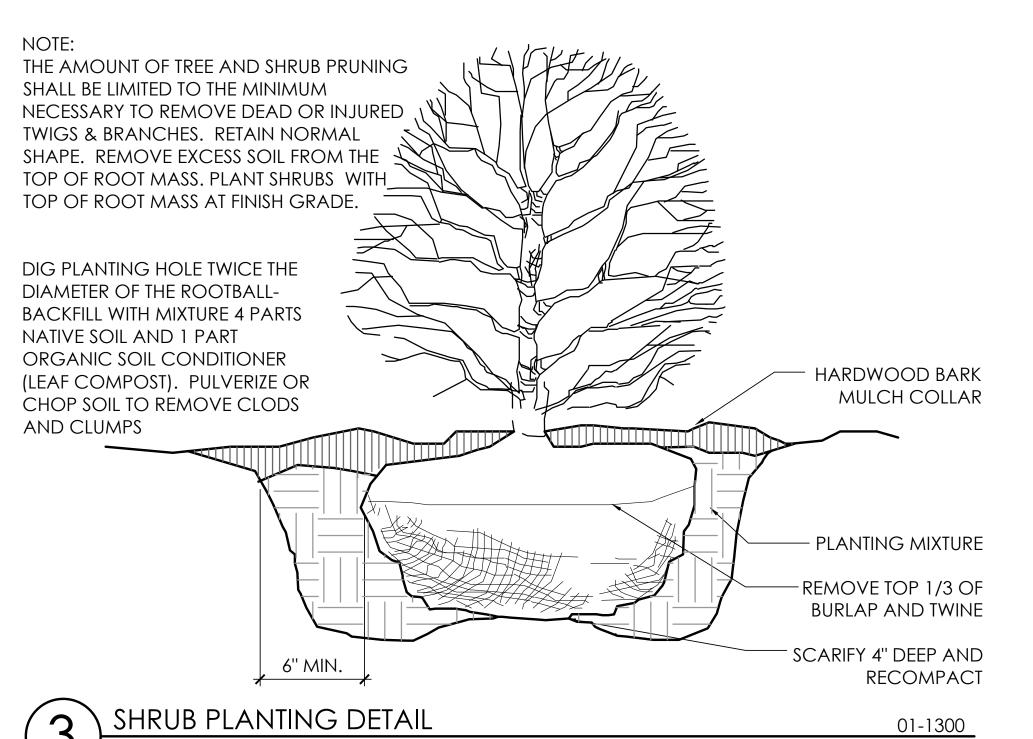
Date: 07/15/2022 Scale: 1" = 30' Drawn By: Checked By:

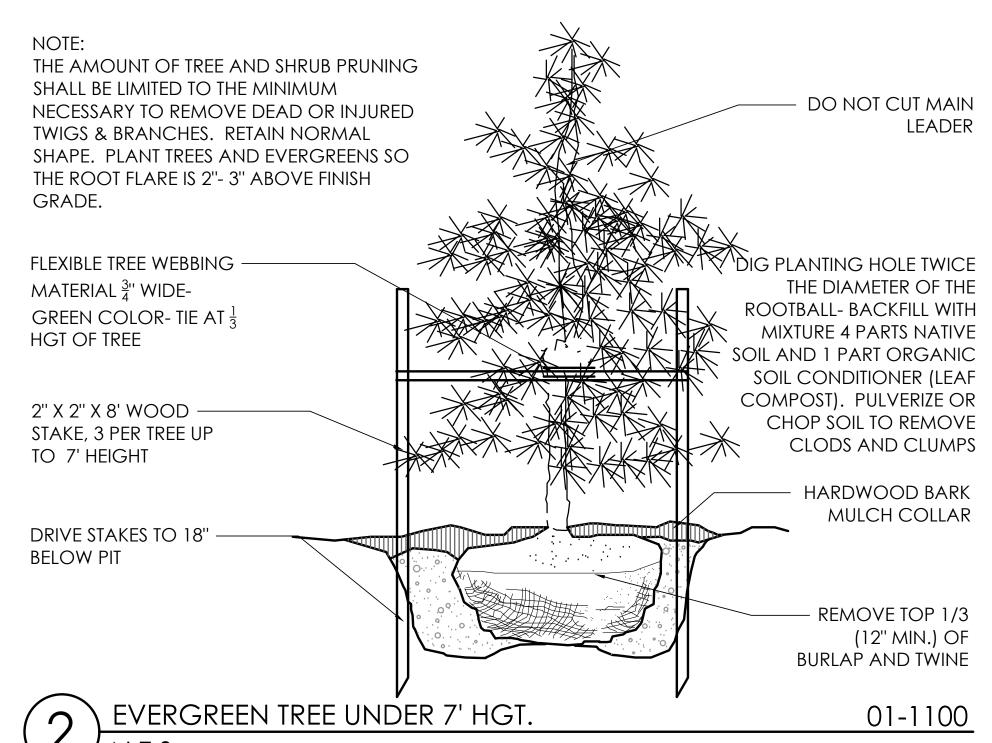
> Project Number: 22-0005-707

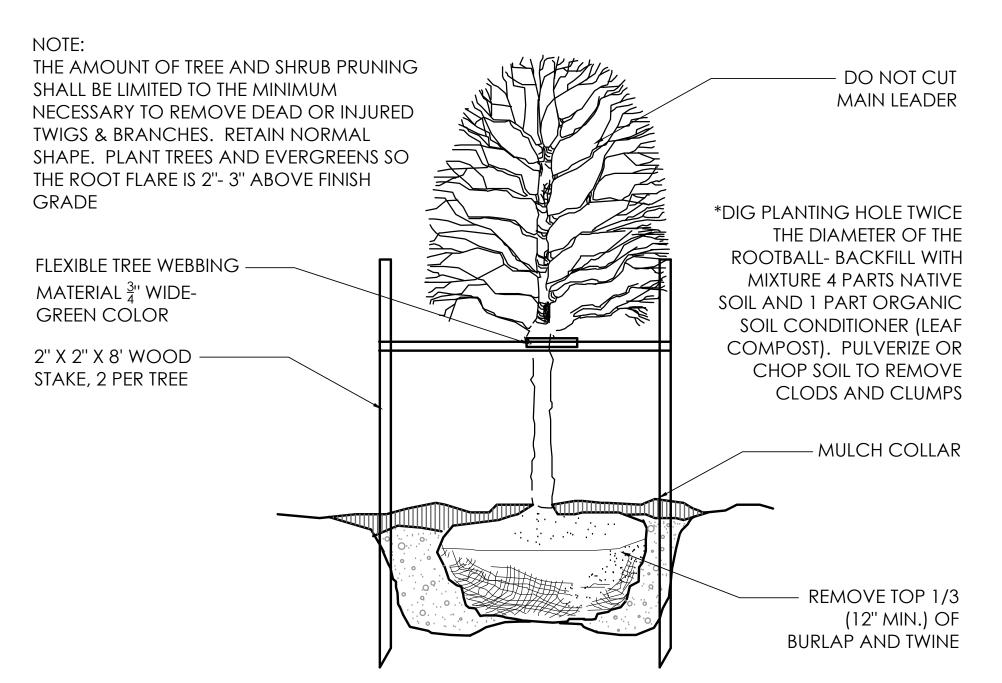
Drawing Number:

3/3









DECIDUOUS TREE

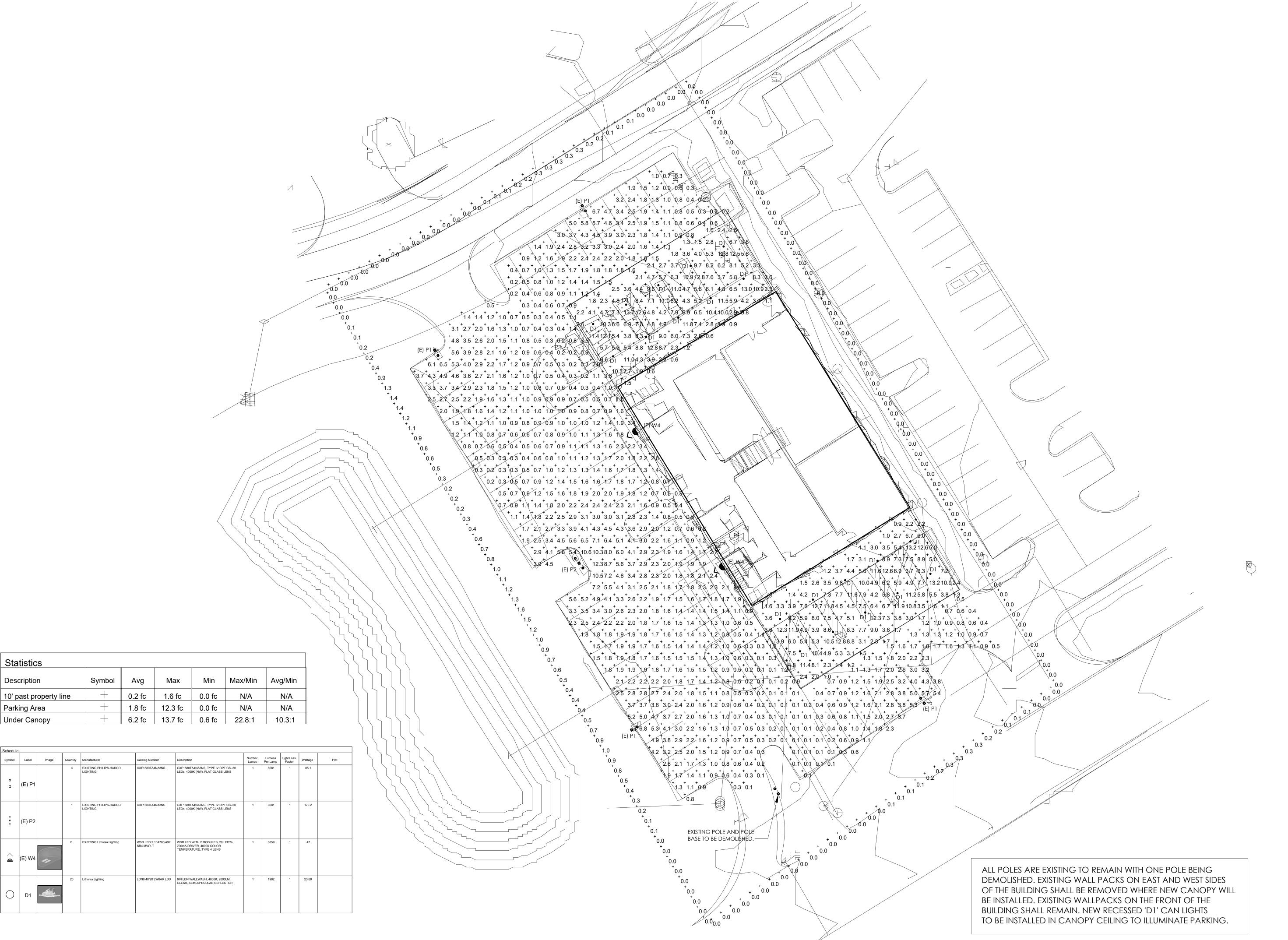
N.T.S.

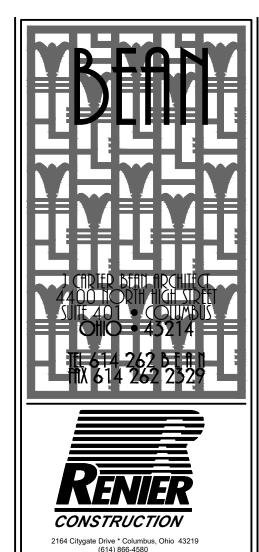


REVISIONS NDSC/ DETAIL MENT Ω 田 LB & Design Faris Planning PROJECT 15067 SHEET

01-1001

7/15/22







ORE: IY, O RENIER SITYGATE DR

DRAWING STATUS FINAL DEV. PLAN 07.15.2022

SITE LIGHTING **PHOTOMETRIC** PLAN

DRAWING NUMBER



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment.

Two combination ½"-3/4" and four ½" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

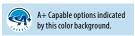
BUY AMERICAN — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to <u>www.acuitybrands.com/buy-american</u> for additional

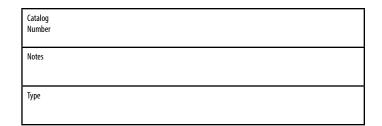
WARRANTY - 5 - year limited warranty. This is the only warranty provided and no other statements in this specificationsheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.







LDN6

6" Open and WallWash LED Non-IC **New Construction Downlight**













Example: LDN6 35/15 LO6AR LSS MVOLT EZ10



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

LDN6					
Series	Color temperature	Lumens ¹	Aperture/Trim Color	Finish	Voltage
LDN6 6" round	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens 20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens 50 5000 lumens	LO6 Downlight LW6 Wallwash	LSS Semi-specular LD Matte diffuse LS Specular	MVOLT Multi-volt 120 120V 277 277V 347 ³ 347V

Driver Op	ptions	
D10 Minimum dimming 10% driver for use with JOT D1 Minimum dimming 19% driver for use with JOT EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10% EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10% EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1% EDAB eldoLED DALI SOLDRIVE	RW ⁵ White painted flange RBL ⁵ Black painted flange	NB0® nLight™ Lumen Compensation JOT¹³ Wireless room control with "Just One Touch" pairing NPS80EZ7 nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). NPS80EZER7 nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit. HAO ¹¹ High ambient option CP ¹² Chicago Plenum RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Available only in RRLA, RRLB, RRLAE, and RRLC12S. Refer to RRL spec sheet on www. acuitybrands.com for the RELOC product specifications. NLTAIREN2®.¹¹0 NLIght® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options NLTAIREM2®.¹¹0 NLTAIREM2®.¹0 NLTAIREM2®

Accessories: Order as separate catalog number.

PS1055CP FMC Power Sentry batterypack, T20 compliant, field installable, 10w constant power EAC ISSM 375 Compact interruptible emergency AC power system EAC ISSM 125 Compact interruptible emergency AC power system Oversized trim ring with 8" outside diameter GRA68 JZ Sloped Ceiling Adapter. Degree of slope must be specified SCA6 (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D

Notes

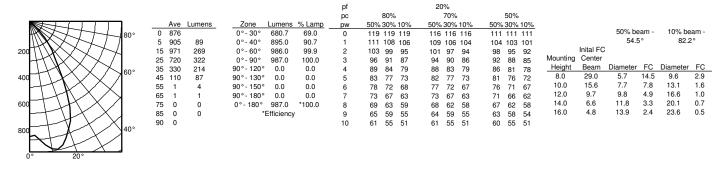
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- Available with clear (AR) reflector only.
- 12.5" of plenum depth or top access required for battery pack maintenance.
- Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
- Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
- 10 NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations.
- Fixture height is 6.5" for all lumen packages with HAO.
- Must specify voltage for 3000lm and above. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option. Must specify D10 or D1 driver. Not available with nLight options. Not avail-
- able with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.
- When combined with EZ1 or EZ10 drivers, can be used as a normal power sensing device for nLight AIR devices and lumiaires with EM options.

LDN6 **DOWNLIGHTING**

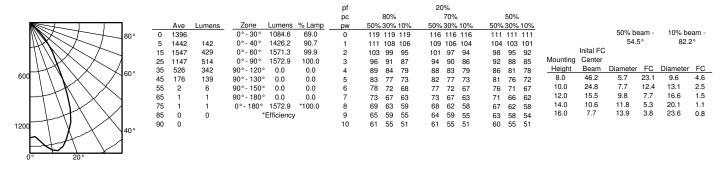
PHOTOMETRY

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance Data at 30" Above Floor for
				a Single Luminaire

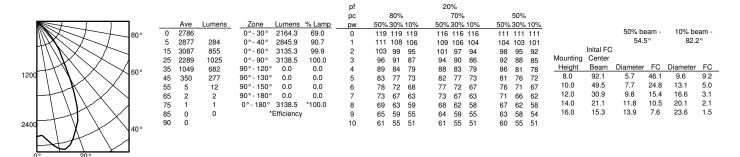
LDN6 35/10 L06AR, input watts: 10.44, delivered lumens: 987.10, LM/W = 94.54, spacing criterion at 0 = 1.02, test no. ISF 30716P262.



LDN6 35/15 LO6AR, input watts: 17.52, delivered lumens: 1572.9, LM/W = 89.77, spacing criterion at 0 = 1.02, test no. ISF 30716P265.

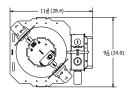


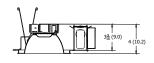
LDN6 35/30 LO6AR, input watts: 34.75, delivered lumens: 3138.5, LM/W = 90.31, spacing criterion at 0 = 1.02, test no. ISF 30716P274.



* All dimensions are inches (centimeters) unless otherwise noted.

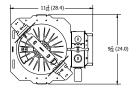
LDN6 500 - 1500 LUMENS

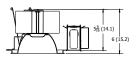




Aperture: 6-1/4 (15.9) Ceiling Opening: 7-1/8 (18.1) Overlap Trim: 7-1/2 (19.1)

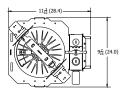
LDN6 2000 - 3000 LUMENS

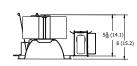




Aperture: 6-1/4 (15.9) Ceiling Opening: 7-1/8 (18.1) Overlap Trim: 7-1/2 (19.1)

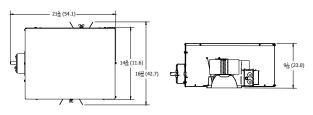
LDN6 4000 - 5000 LUMENS





Marked Spacing: 24 x 24 x 10 Aperture: 6-1/4 (15.9) Ceiling Opening: 7-1/8 (18.1) Overlap Trim: 7-1/2 (19.1)

LDN6 CP

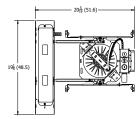


Aperture: 6-1/4 (15.9) Ceiling Opening: 7-1/8 (18.1) Overlap Trim: 7-1/2 (19.1)

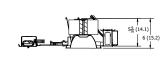
LDN6

Nominal

LDN6 EL







HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE

Use the formula below to estimate the delivered lumens in emergency mode

Delivered Lumens = 1.25 x P x LPW

P = Ouput power of emergency driver. P = 10W for PS1055CP

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at Designlight Consortium.

Lumens	Lumens	Wattage	Lm/W
500	527.9	5.8	90.5
750	758.1	8.9	85.1
1000	950.1	10.4	91.0
1500	1514	17.5	86.4
2000	2006	22.5	89.1
2500	2504	28.3	88.6
3000	3021	34.8	86.9
4000	4008	44.3	90.6
5000	4975	57.7	86.3

LUMEN OUTPUT MULTIPLIERS - FINISH						
Clear (AR) White (WR) Black (B						
Specular (LS)	1.0	N/A	N/A			
Semi-specular (LSS)	0.950	N/A	N/A			
Matte diffuse (LD)	0.85	N/A	N/A			
Painted	N/A	0.87	0.73			

LUMEN OUTPUT MULTIPLIERS - CCT					
	2700K	3000K	3500K	4000K	5000K
80CRI	0.950	0.966	1.000	1.025	1.101

Notes

- Tested in accordance with IESNA LM-79-08.
- $\bullet \quad \text{Tested to current IES and NEMA standards under stabilized laboratory conditions.} \\$
- · CRI: 80 typical.



ADDITIONAL DATA

JOT

The Sensor Switch JOT enabled solution offers a wireless, app-free approach to single room lighting control. JOT enabled products use Bluetooth® Low Energy (BLE) technology to enable wireless dimming and switching.

Diagram







LDN6 Series

() ()



Sensor Switch WSXA JOT

- Power: Install JOT enabled fixtures and controls as instructed.
- Pair: Insert the pairing tool into the pinhole on the wall switch; press and hold any button for 6 seconds.
- Play: Once paired, each fixture will individually dim down to 10% brightness. All products will be fully functional.

C	OMPATIBLE 0-10V WALL-MOUNT DIMMERS		
MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE	
	Diva® DVTV		
	Diva® DVSCTV	1	
Lutron®	Nova T® NTFTV		
	Nova® NFTV	1	
	AWSMT-7DW	CN100	
	AWSMG-7DW	PE300	
Leviton®	AMRMG-7DW		
	Leviton Centura Fluorescent Control System		
	IllumaTech® IP7 Series		
	ISD BC		
Synergy®	SLD LPCS	RDMFC	
	Digital Equinox (DEQ BC)		
Douglas Lighting Controls	WPC-5721		
	Tap Glide TG600FAM120 (120V)		
Entertainment Technology	Tap Glide Heatsink TGH1500FAM120 (120V)]	
	Oasis 0A2000FAMU		
Honeywell	EL7315A1019	EL7305A1010	
noneywen	EL7315A1009	(optional)	
	Preset slide: PS-010-IV and PS-010-WH		
	Preset slide: PS-010-3W-IV and PS-010-3W-WH		
HUNT Dimming	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V		
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V		
	Remote mounted unit: FD-010		
Lehigh Electronic Products	Solitaire	PBX	
PDM Electrical Products	WPC-5721		
Starfield Controls	TR61 with DALI interface port	RT03 DALInet Router	
WattStopper®	LS-4 used with LCD-101 and LCD-103		

******* Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a shaded background*
- This luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a shaded background*

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

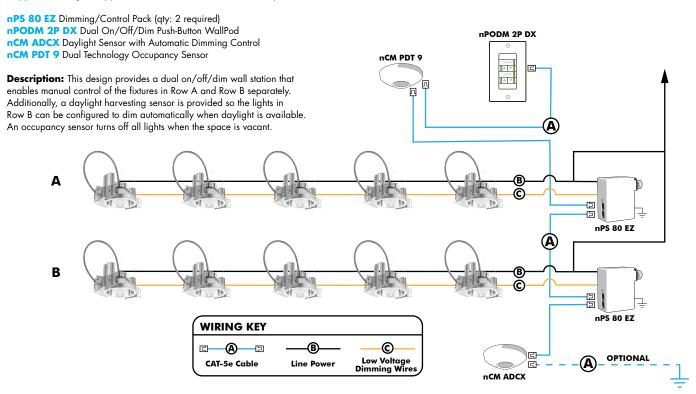


LDN₆

EXAMPLE

Group Fixture Control*

*Application diagram applies for fixtures with eldoLED drivers only.



Choose Wall Controls

nLight offers multiple styles of wall controls - each with varying features and user experience.



Push-Button Wallpod Traditional tactile buttons and LED user feedback



Graphic WallpodFull color touch screen provides a sophisticated look and feel

nLight [®] Wired Controls Accessories:							
$Order\ as\ separate\ catalog\ number.\ Visit\ \underline{www.acuitybrands.com/products/controls/nlight}\ for\ complete\ listing\ of\ nLight\ controls.$							
WallPod Stations Model number Occupancy sensors Model Number							
On/Off	nPODM (Color)	Small motion 360°, ceiling (PIR/dual Tech)	nCM 9 / nCM PDT 9				
On/Off & Raise/Lower	nPOD DX (Color)	Large motion 360°, ceiling (PIR/dual tech)	nCM 10 / nCM PDT 10				
Graphic Touchscreen	nPOD GFX (Color)	Wide View (PIR/dual tech)	nWV 16 / nWV PDT 16				
Photocell controls	Model Number	Wall Switch w/ Raise/Lower (PIR/dual tech)	nWSX LV DX / nWSX PDT LV DX				
Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model Number				
		10', CAT5 10FT	CATS 10FT J1				
		15, CATS 15FT	CATS 15FT J1				

nLight® AIR Control Accessories: Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlightair.

Wall switches	Model number
On/Off single pole	rPODB [color]
On/Off two pole	rPODB 2P [color]
On/Off & raise/lower single pole	rPODB DX [color]
On/Off & raise/lower two pole	rPODB 2P DX [color]
On/Off & raise/lower single pole	rPODBZ DX WH¹

Notes

Can only be ordered with the RES7Z zone control sensor version.

UL924 Sequence of Operation

The below information applies to all nLight AIR devices with an EM option.

- EM devices will remain at their high-end trim and ignore wireless lighting control commands, unless a normal-power-sensed (NPS) broadcast is received at least every 8 seconds.
- Using the CLAIRITY+ mobile app, EM devices must be associated with a group that includes a normal power sensing device to receive NPS broadcasts.
- Only non-emergency rPP20, rLSXR, rSBOR, rSDGR, and nLight AIR luminaires with version 3.4 or later firmware can provide normal power sensing for EM devices. See specification sheets for control devices and luminaires for more information on options that support normal power sensing.

nLight AIR

nLight AIR is the ideal solution for retrofit or new construction spaces where adding communication is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each Lithonia LDN Luminaire. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.









Simple as 1,2,3

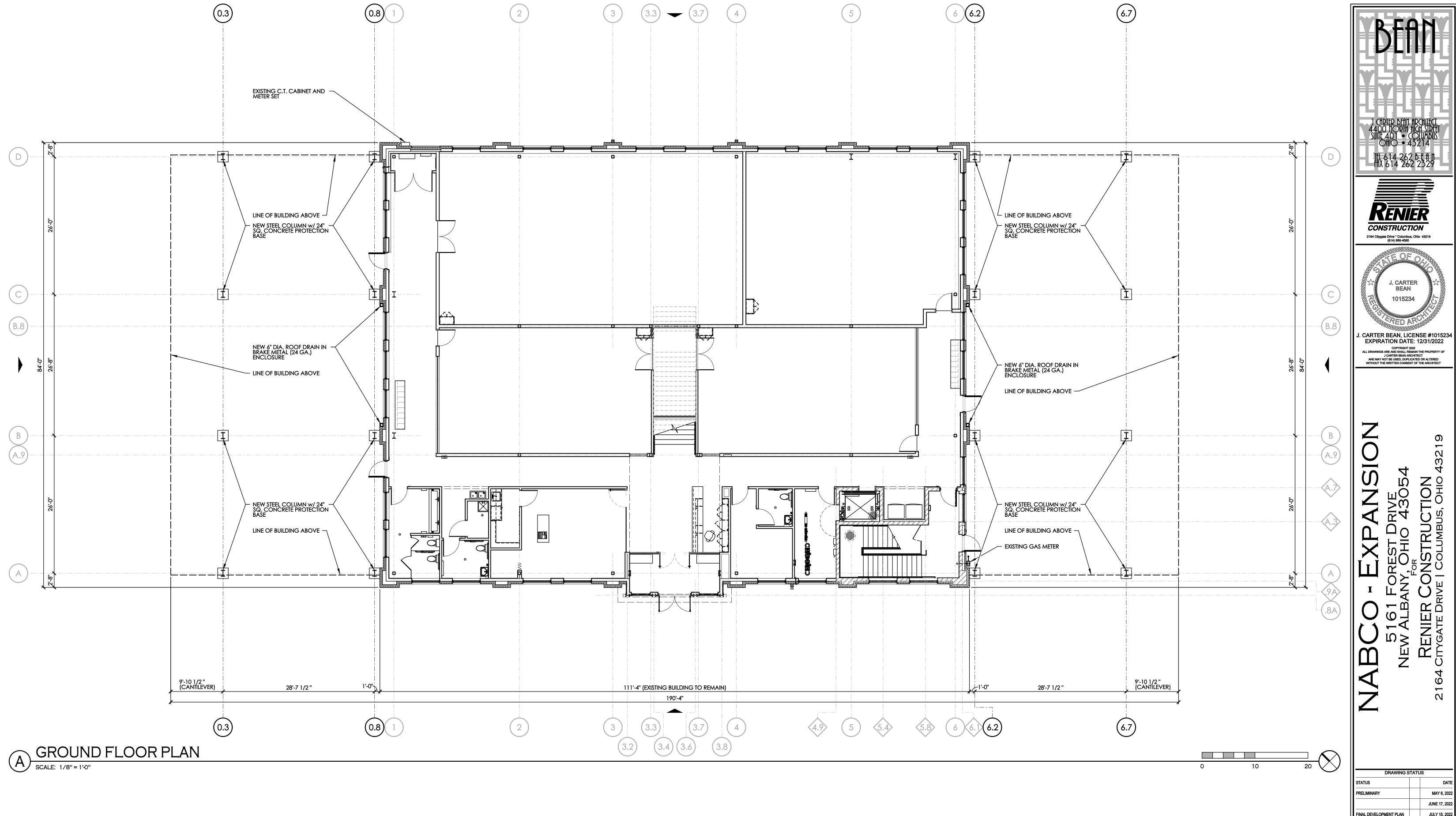
- 1. Install the nLight® AIR fixtures with embedded smart sensor
- 2. Install the wireless battery-powered wall switch
- 3. With CLAIRITY app, pair the fixtures with the wall switch and if desired, customize the sensor settings for the desired outcome



nLight AIR rPODB 2P DX



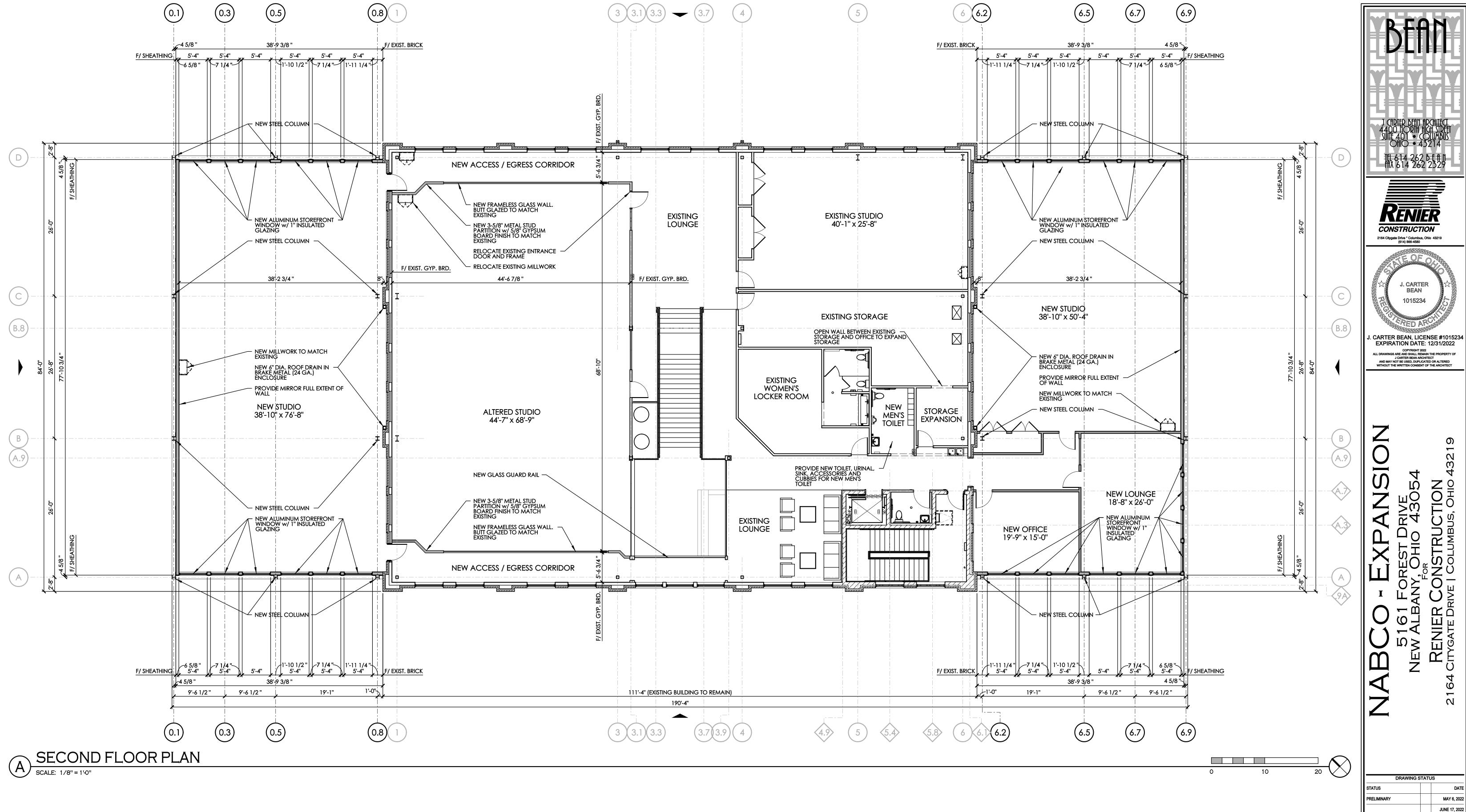
Mobile Device



J. CARTER

DRAWING STATUS JUNE 17, 2022 JULY 15, 2022 FINAL DEVELOPMENT PLAN GROUND FLOOR PLAN

BEAN #15013.00



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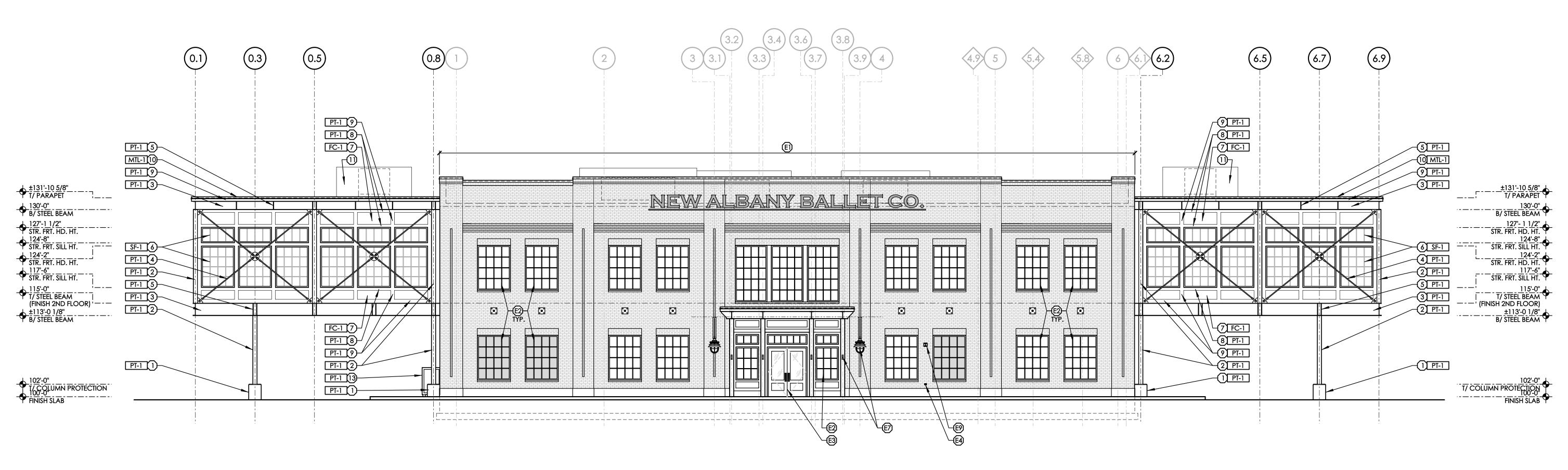
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J. CARTER BEAN

DRAWING STATUS JUNE 17, 2022 FINAL DEVELOPMENT PLAN JULY 15, 2022 SECOND FLOOR PLAN

BEAN #15013.00

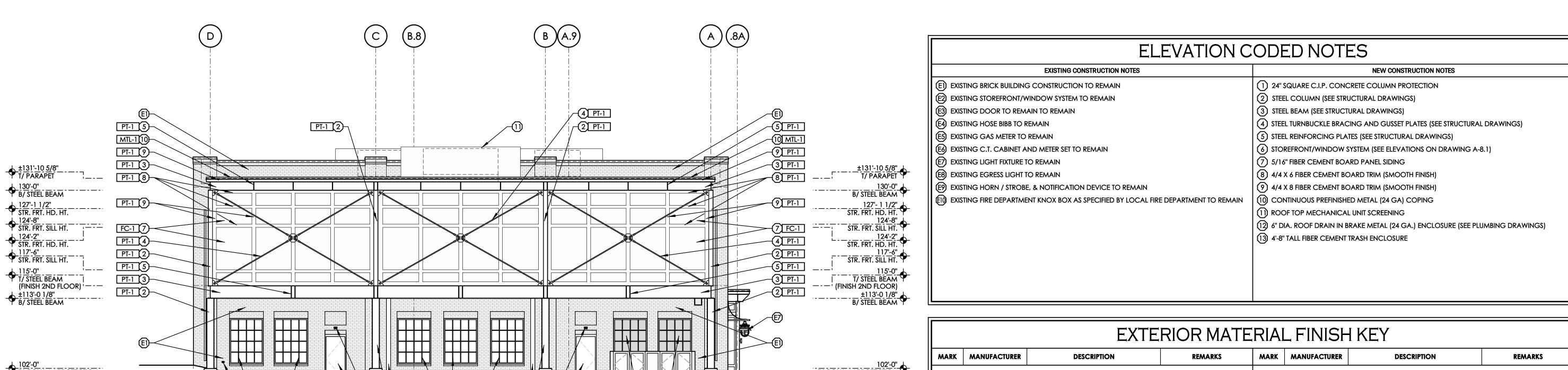




102'-0"
T/ COLUMN PROTECTION
100'-0"
FINISH SLAB

PT-1 1

WEST BUILDING ELEVATION



MTL-1(12)
PT-1 (2)
PT-1 (1)

12 MTL-1 -2 PT-1 1 PT-1

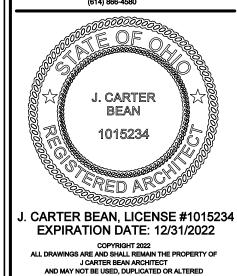
102'-0" T/ COLUMN PROTECTION 100'-0"

EXISTING CONSTRUCTION NOTES	NEW CONSTRUCTION NOTES
E) EXISTING BRICK BUILDING CONSTRUCTION TO REMAIN	1) 24" SQUARE C.I.P. CONCRETE COLUMN PROTECTION
EXISTING STOREFRONT/WINDOW SYSTEM TO REMAIN	2 STEEL COLUMN (SEE STRUCTURAL DRAWINGS)
E3 EXISTING DOOR TO REMAIN TO REMAIN	3 STEEL BEAM (SEE STRUCTURAL DRAWINGS)
EXISTING HOSE BIBB TO REMAIN	3 STEEL TURNBUCKLE BRACING AND GUSSET PLATES (SEE STRUCTURAL DRAWINGS)
ES EXISTING GAS METER TO REMAIN	5 STEEL REINFORCING PLATES (SEE STRUCTURAL DRAWINGS)
EXISTING C.T. CABINET AND METER SET TO REMAIN	6 STOREFRONT/WINDOW SYSTEM (SEE ELEVATIONS ON DRAWING A-8.1)
EXISTING LIGHT FIXTURE TO REMAIN	7 5/16" FIBER CEMENT BOARD PANEL SIDING
EXISTING EGRESS LIGHT TO REMAIN	8 4/4 X 6 FIBER CEMENT BOARD TRIM (SMOOTH FINISH)
E) EXISTING HORN / STROBE, & NOTIFICATION DEVICE TO REMAIN	9 4/4 X 8 FIBER CEMENT BOARD TRIM (SMOOTH FINISH)
EXISTING FIRE DEPARTMENT KNOX BOX AS SPECIFIED BY LOCAL FIRE DEPARTMENT TO REMAIN	(10) CONTINUOUS PREFINISHED METAL (24 GA) COPING
	1) ROOF TOP MECHANICAL UNIT SCREENING
	(24 GA.) ENCLOSURE (SEE PLUMBING DRAWINGS)
	13 4'-8" TALL FIBER CEMENT TRASH ENCLOSURE
EXTEDIOD MATE	RIAL FINISH KEY
LATLINONWATE	

		E	XTE	RIOR MATE	RIA	L FINISH	I KEY		
MARK	MANUFACTURER	DESCRIPTION		REMARKS	MARK	MANUFACTURER	DESCRIPTION		REMARKS
FIBER CEMENT				PAINT					
FC-1	JAMES HARDIE	5/16" FIBER CEMENT BOARD PANEL SIDING (SMOOTH)	TAMLYN TRIM PAINT PT-1	4 - TERMINATION: JMH51610	PT-1	BENJAMIN MOORE	#2126-20 "RACCOON FUR"		
						PAINT FINISHES	METAL	GLOSS FII	NISH
METAL, PREFINISHED					FIBER CEMENT	EGGSHEL	L FINISH		
MTL-1	DMI	COLOR - "CHARCOAL GRAY"	PREFINISHE SCUPPER B	D FLASHING, COPINGS, OXES & DOWNSPOUTS	PT-2	BENJAMIN MOORE	#2053-60 "TEAR DROP BLUE"		
						PAINT FINISHES	GYPSUM BOARD SOFFIT	EGGSHEL	L FINISH
STOREFRONT, PREFINISHED ALUMINUM									
SF-1	KAWNEER (OR EQUAL)	COLOR - 'CHARCOAL GRAY' FINISH - ANODIZED	THERMAL FR. WITH LOW-E	AMING INSUL. GLAZING					







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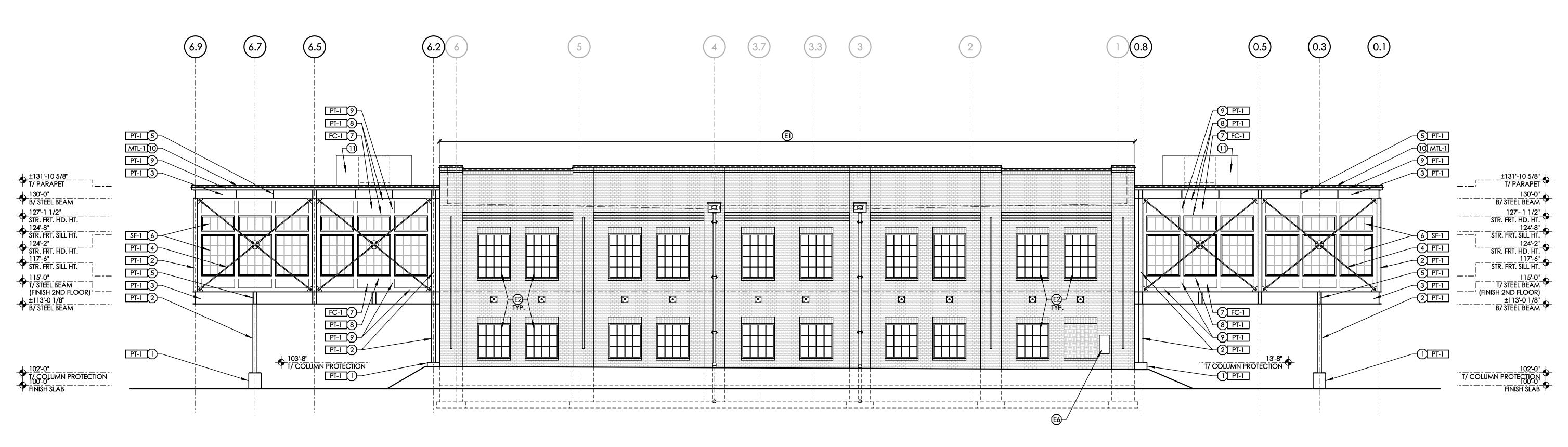
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5161 FOREST DRIVE
NEW ALBANY, OHIO 43054
RENIER CONSTRUCTION
4 CITYGATE DRIVE | COLUMBUS, OHIO 43

DRAWING ST	TATUS				
STATUS	DATE				
PRELIMINARY	MAY 6, 2022				
	JUNE 17, 2022				
FINAL DEVELOPMENT PLAN	JULY 15, 2022				
DRAWING T	TITLE .				
EXTERIOR BUILDING ELEVATIONS					

A5.

BEAN #15013.00





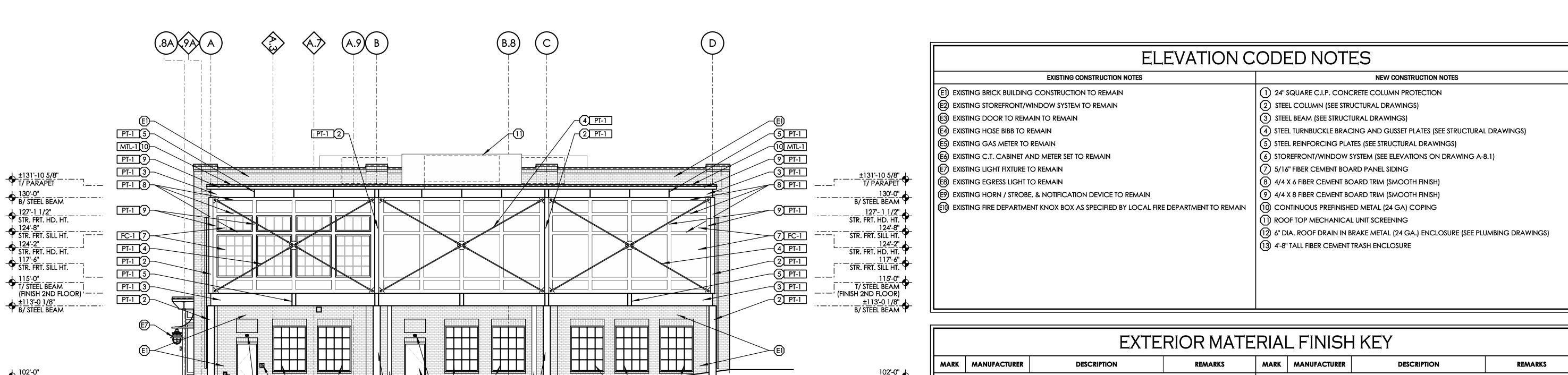
PT-1 1

EAST BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

-12 MTL-1 -2 PT-1 -1 PT-1

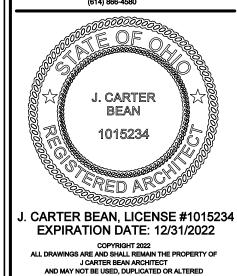
MTL-1 12 PT-1 2 PT-1 1



(1) PT-1

		E	EXTERIOR MATE	ERIA	L FINISH	ł KEY	
MARK	MANUFACTURER	DESCRIPTION	REMARKS	MARK	MANUFACTURER	DESCRIPTION	REMARKS
FIBER CEMENT							•
FC-1	JAMES HARDIE	5/16" FIBER CEMENT BOARD PANEL SIDING (SMOOTH)	TAMLYN TRIM - TERMINATION: JMH51610 PAINT PT-1	PT-1	BENJAMIN MOORE	#2126-20 "RACCOON FUR"	
					PAINT FINISHES	METAL	GLOSS FINISH
METAL, P	REFINISHED					FIBER CEMENT	EGGSHELL FINISH
MTL-1	DMI	COLOR - "CHARCOAL GRAY"	PREFINISHED FLASHING, COPINGS, SCUPPER BOXES & DOWNSPOUTS	PT-2	BENJAMIN MOORE	#2053-60 "TEAR DROP BLUE"	
					PAINT FINISHES	GYPSUM BOARD SOFFIT	EGGSHELL FINISH
STOREFR	ONT, PREFINISHED A	LUMINUM					
SF-1	KAWNEER (OR EQUAL)	COLOR - 'CHARCOAL GRAY' FINISH - ANODIZED	THERMAL FRAMING WITH LOW-E INSUL. GLAZING				





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RENIER CITYGATE DR

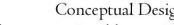
DRAWING STATUS MAY 6, 2022 JUNE 17, 2022 FINAL DEVELOPMENT PLAN JULY 15, 2022 **EXTERIOR BUILDING**

A5.2

ELEVATIONS



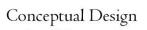








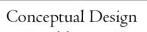


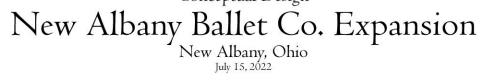






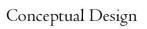


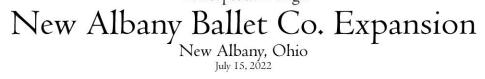






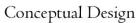








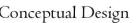


















innovative equipment screens

THESE SCREENS MATCH THOSE INSTALLED ON EXISTING ROOFTOP EQUIPMENT AS PART OF ORIGINAL CONSTRUCTION



3 generations ahead of the next best solution



An affordable solution for equipment screening is finally here...

Envisor equipment screens now offer architects the flexibility to create affordable, elegant, customized screening solutions that integrate with their building design, all with no rooftop penetration.

Our patented equipment screens also provide a viable solution for municipal screening code requirements on everything from HVAC units to



52" Louver Panels

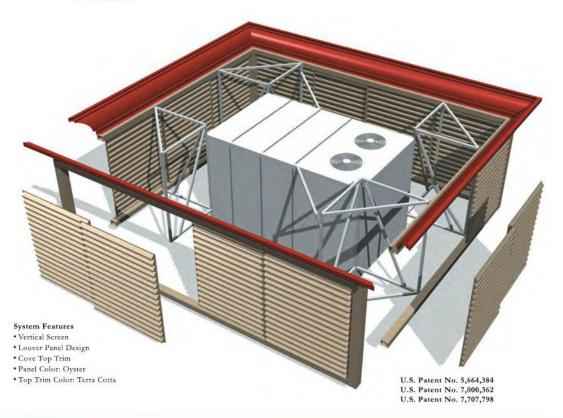


The Ohio State University Foundation - Columbus, Ohio

chillers, air handlers, power exhausts, roof stacks, communication equipment, dumpsters - you name it!

Customizing a screen to fit your needs is easy...

Simply choose between canted or vertical, decide on a panel design, select a top trim (optional), and pick a color. It's that simple! We can customize any feature to your particular design requirements, including custom panel designs, custom colors, and custom top trim designs. If you don't see what you need, tell us what you want. We'll build it for you.



Step 1: Choose a Canted or Vertical System



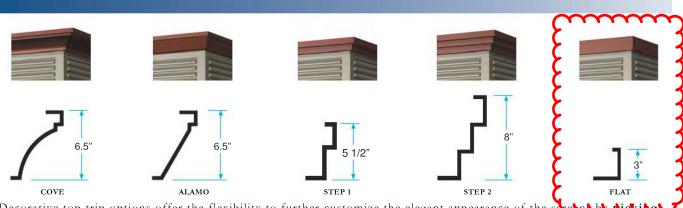
Envisor screens are the perfect alternative to parapet walls and they satisfy even the strictest screening code requirements. Both styles feature our patented attachment method, which secure our screens directly to the equipment with no rooftop penetration. Screen heights are available to screen virtually anything you desire.

Step 2: Decide on a Panel Design



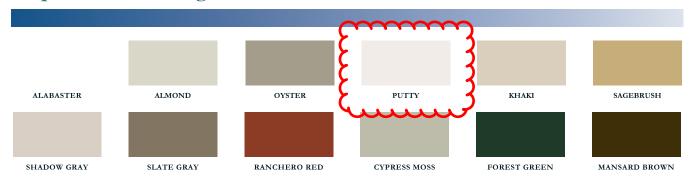
Panels are available in **5 standard styles** allowing you to control the project without sacrificing the essential elements of the building design. The panels are constructed of thermoformed high impact ABS with a **co-extruded UV protective** layer on both sides. The panels are held firmly in place using a rust-free, double tracked aluminum rail system. This enables the panels to slide side-to-side for easy access to the unit during servicing and maintenance. Don't see a panel that fits your project? Tell us and we'll make one that you design.

Step 3: Select a Top Trim (optional)



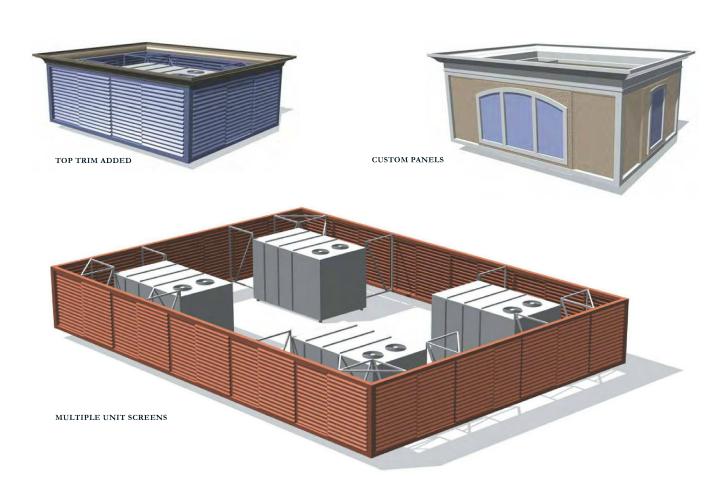
Decorative top trip options offer the flexibility to further customize the elegant appearance of the second by pickings up on your building design elements and incorporating those details into the screen itself. Although optional, they offer one more way to make screens part of the design, not part of the problem. We can manufacture any size and shape top trim you create.

Step 4: Pick a Designer Color



Our designer colors complement most architectural applications, but don't let standard colors limit your creativity. We have the ability to match to any cross-referenced color specification. Send us samples to match. We've even matched a color to a rock! Colors shown are only approximate. Please call for actual samples.

Step 5: Custom Designed Solutions



Envisor equipment screens can be manufactured in a limitless combination of shapes and configurations to help reduce cost, add to the aesthetics of a building, or both. Let us design one for you! Just tell us the equipment manufacturer, the model numbers, and the special requirements you might have. Call for a complete design kit today or visit our website at www.cityscapesinc.com.



Product Features

No Rooftop Penetration

Pre-Engineered Screening System

Screening Code Solution

Attractive Alternative to Parapet Walls

Multiple Panel Designs

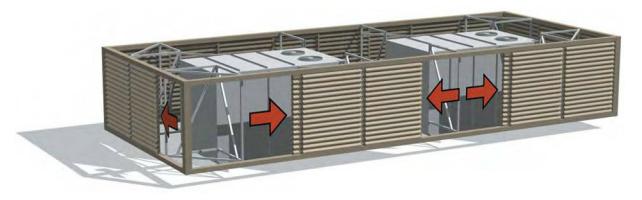
Designer Top Trim Accents

Vertical or Canted Designs

Wide Range of Designer Colors

Panels Slide for Easy Service Access

Custom Design Capabilities



Our panels are designed to slide side-to-side in either direction for easy access to the equipment for servicing and routine maintenance.

Equipment Vendors

Commercial HVAC and Chiller Equipment Vendors who have installed ENVISOR Rooftop Equipment Screens include:

Retail Clients

Some of the clients utilizing ENVISOR Rooftop Equipment screens on their HVAC and Chiller Equipment include:

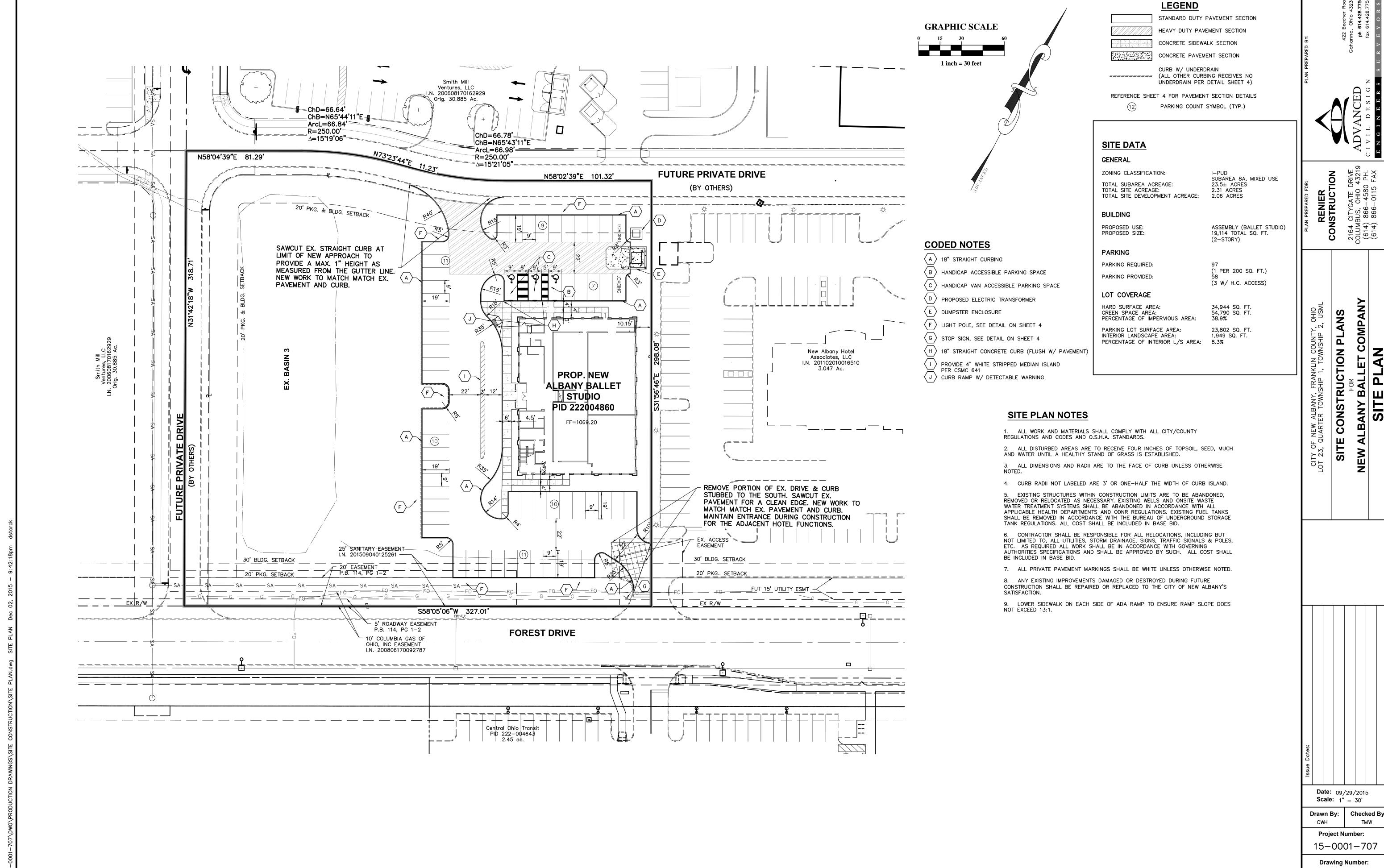
Trane	Hussmann
Lennox	Airwise
York	Bryant
Carrier	McQuay
Heil	BAC
AAON	Hill Phoenix
Liebert	Am. Standard
Rheem	Munters
Reznor	Engineered Air

Aldi	McDonald's
AMC Theaters	Meijer
Avis	Mobil Oil
Best Buy	Muvico
Blockbuster	Rite Aid
Costco	Sam's Club
CVS	Sears
Hertz	Target
Home Depot	Walgreen's
Kohl's	Wal-Mart
Lowe's	Wendy's

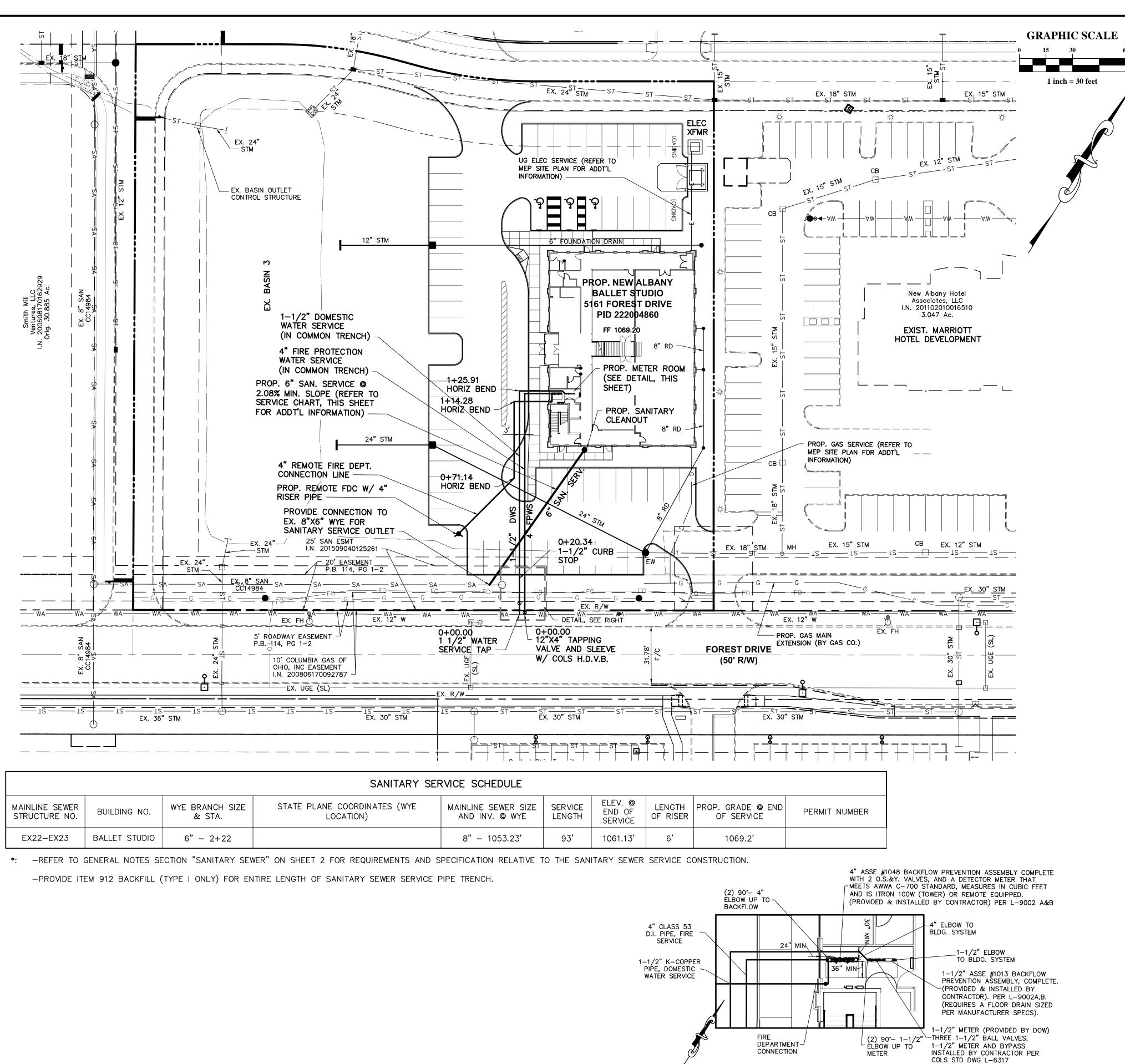


by CityScapes International 4200 Lyman Court Hilliard, OH 43026 Toll Free: 877.727.3367 Fax: 800.726.4817





EXISTING CONDITIONS PLAN 6 / 11



WATER METER ROOM DETAIL

SCALE: 1"=10'

WATER SERVICE NOTES

FOREST DRIVE 12" WATER MAIN TURN-OFF/TURN-ON IF NEEDED.

. NO WATER SERVICE CONSTRUCTION BEFORE OR AFTER METERS SHALL BEGIN PRIOR TO WATER SERVICE PERMIT BEING ISSUED AND PERMIT FEE PAYMENT TO THE COLUMBUS DIVISION OF WATER.

2. SITE UTILITY CONTRACTOR INSTALLING ANY WATER SERVICE PIPE FROM WATER MAIN THRU AND AFTER METERS SHALL HAVE A CURRENT CITY OF COLUMBUS WATER SERVICE LICENSE PER THE COLUMBUS CITY CODE 1103 AND 4114.

3. THE CITY OF COLUMBUS "C.M.S.C." 2012 EDITION SHALL GOVERN ALL WATER SERVICE WORK FROM WATER MAIN TO AND INCLUDING THE METERS AND METER BYPASS AND BACKFLOW PREVENTERS.

4. THERE SHALL BE A MINIMUM TEN FOOT SEPARATION BETWEEN WATER TAPS, WATER SERVICES, PRIVATE WATER SYSTEMS AND ANY SANITARY AND/OR STORM SEWER SYSTEMS PER THE TEN STATES STANDARDS 8.8.2 AND 8.8.3.

5. SITE UTILITY CONTRACTOR SHALL CALL DIVISION OF WATER 614-645-7677 ATTENTION LEWIS FLEMISTER TO ARRANGE THE

6A. SITE UTILITY CONTRACTOR SHALL CALL 1-614-645-5781 FOR INSPECTION OF 3" AND LARGER DOMESTIC AND/OR FIRE PROTECTION WATER SERVICES AND/OR PRESSURE TESTS FROM RIGHT OF WAY VALVES THRU THE METERS. A 24 HOUR ADVANCE

6B. SITE UTILITY CONTRACTOR SHALL CALL 1-614-645-7330 FOR INSPECTION OF 1.5" WATER SERVICE TAP AND WATER SERVICE TO THE CITY WATER METER IN BUILDING. A 24 HOUR ADVANCE NOTICE IS REQUIRED.

7. ALL 3" AND LARGER WATER SERVICE PIPE SHALL BE DUCTILE IRON FROM WATER MAIN THRU METER SETTING INCLUDING THE METER BYPASS. ALL EXPOSED WATER MAIN AND ALL SERVICE PIPE 3" AND LARGER SHALL BE POLYWRAPPED PER AWWA SPEC C-105 TO A POINT 10' PAST THE CONTROL VALVE(S).

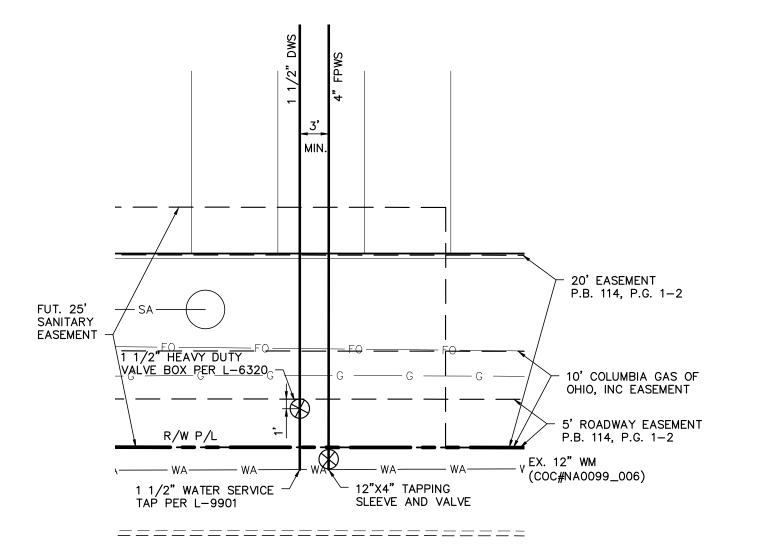
8. 2" AND SMALLER WATER SERVICE PIPE SHALL BE K SOFT COPPER ONLY FROM CITY MAIN THRU CURB STOP PER STANDARD DETAIL DRAWING L-9901 AND SHALL BE K SOFT COPPER OR A DIVISION OF WATER APPROVED POLY TUBING FROM THE CURB STOP THRU WATER METER.

9. WATER METERS SHALL BE INSTALLED INSIDE THE BUILDING PER DIVISION OF WATER STANDARD DETAIL DRAWINGS L-6317A THROUGH E, DATED 05/16/13.

10. BACKFLOW PREVENTION ASSEMBLY TO BE INSTALLED, WHERE REQUIRED, PER COLUMBUS DIVISION OF WATER STANDARD DETAIL DRAWINGS L-9002A THROUGH G DATED 5/16/13. FOR INSTALLATION QUESTIONS THE CONTRACTOR IS TO CALL 1-614-645-6674. TO REQUEST A BACKFLOW INSPECTION THE CONTRACTOR SHALL CALL 1-614-645-5784. A 24 HOUR ADVANCE NOTICE IS

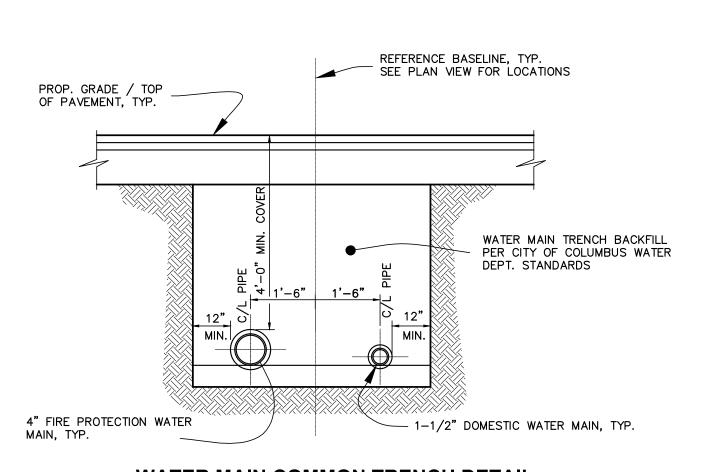
11. WATER SERVICES SHALL BE FLUSHED BY THE SITE UTILITY CONTRACTOR PRIOR TO METER INSTALLATION. A 24 HOUR ADVANCE NOTICE IS REQUIRED. ANY METER DAMAGE CAUSED BY NON-FLUSHING SHALL BE PAID BY THE SITE UTILITY CONTRACTOR.

12. A 1" ID CONDUIT SHALL BE PROVIDED BY THE CONTRACTOR FROM THE 1 1/2" METER TO AND THRU THE FINISHED EXTERIOR WALL OF THE BUILDING.



WATER MAIN CONNECTION DETAIL

NO SCALE



WATER MAIN COMMON TRENCH DETAIL

NO SCALE

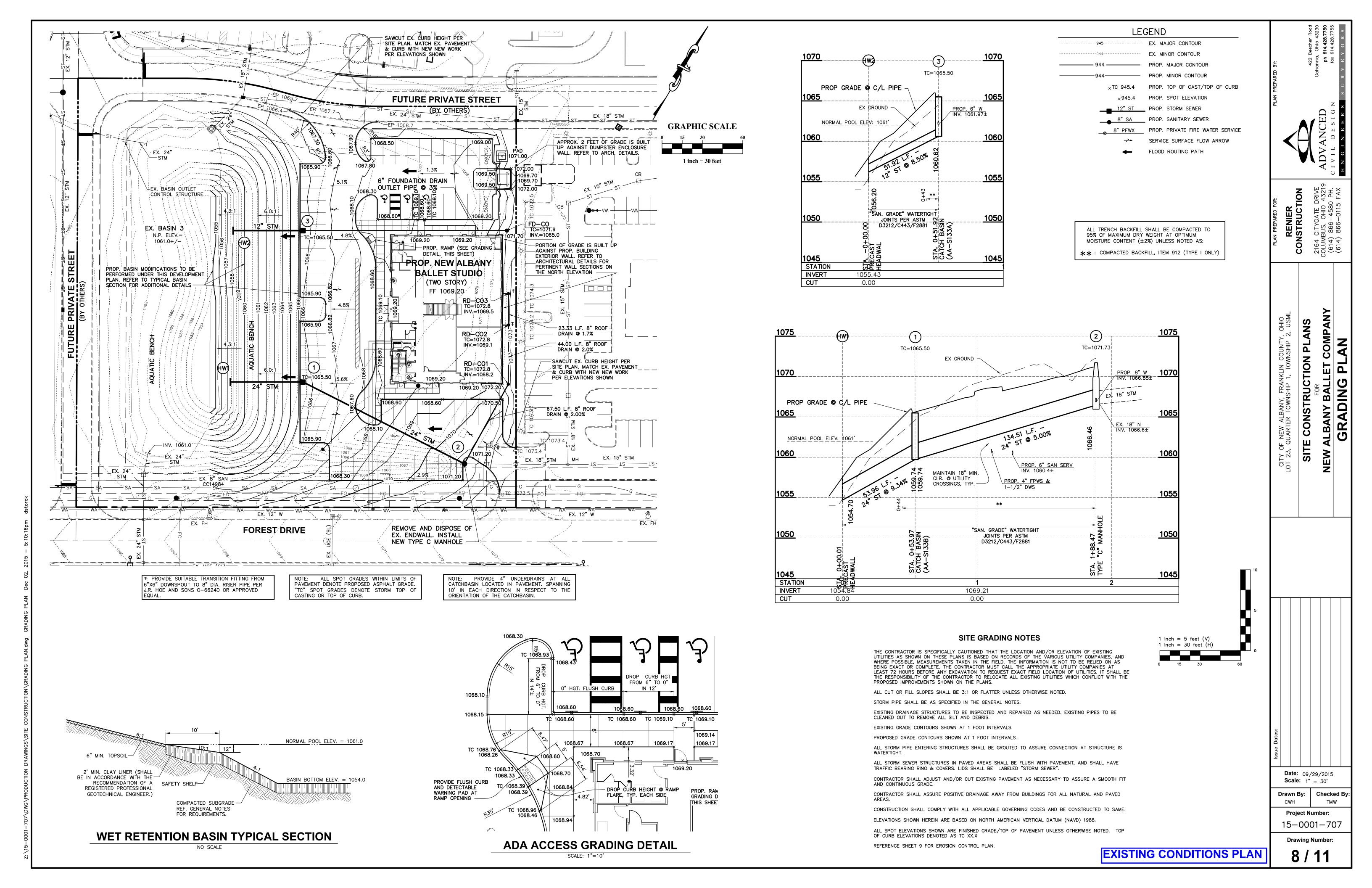
EXISTING CONDITIONS PLAN

Date: 09/29/2015 **Scale:** 1" = 30'Drawn By: Checked By **Project Number:**

բ22 որն **թի** քαх

REI ONSTI

15-0001-707 **Drawing Number:**





Planning Commission Staff Report August 15, 2022 Meeting

NEW ALBANY BALLET FINAL DEVELOPMENT PLAN MODIFICATION

LOCATION: 5161 Forest Drive (PID: 222-000347). APPLICANT: Todd Parker, F5 Design/Architecture Inc.

REQUEST: Final development plan modification to allow for a building expansion

and site modifications on 2.06 acres.

ZONING: Infill Planned Unit Development (I-PUD) Canini Trust Corp subarea 8a

STRATEGIC PLAN: Neighborhood Retail District

APPLICATION: FDM-81-2022

Review based on: Application materials received on July 18, 2022 and August 1, 2022

Staff report prepared by Chelsea Nichols, Planner

I. REQUEST AND BACKGROUND

The applicant requests review and approval of a final development plan modification to allow for a 6,636 square foot expansion to the New Albany Ballet Company. The site is located within Subarea 8a of the Canini-Trust Corp I-PUD. The Planning Commission reviewed and approved the final development plan for this site at their July 20, 2015 meeting (FDP-43-2015).

II. SITE DESCRIPTION

The site encompasses approximately 2.06 acres located south of the Marriott Hotel, and generally east of Dairy Queen. The land also includes an existing retention basin for stormwater which was improved as part of the Woodcrest Way extension construction.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;
- b. That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;
- c. That the proposed development advances the general welfare of the Municipality;
- d. That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance:
- e. Various types of land or building proposed in the project;
- f. Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;
- g. Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;

- h. Building heights of all structures with regard to their visual impact on adjacent facilities;
- i. Front, side and rear yard definitions and uses where they occur at the development periphery;
- j. Gross commercial building area;
- k. Area ratios and designation of the land surfaces to which they apply;
- l. Spaces between buildings and open areas;
- m. Width of streets in the project;
- n. Setbacks from streets;
- o. Off-street parking and loading standards;
- p. The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- *q.* The potential impact of the proposed plan on the student population of the local school district(s);
- r. The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- s. The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. Ensure that future growth and development occurs in general accordance with the Strategic Plan;
- b. Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible
- c. Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;
- d. Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;
- e. Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;
- f. Foster the safe, efficient and economic use of land, transportation, public facilities and services;
- g. Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;
- h. Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;
- i. Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- j. Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;
- k. Provide an environment of stable character compatible with surrounding areas; and
- l. Provide for innovations in land development, especially for affordable housing and infill development.

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan lists the following development standards for the Neighborhood Retail future land use category:

- 1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
- 2. Combined curb cuts and cross access easements are encouraged.
- 3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.

- 4. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
- 5. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

- 1. The site contains an existing 18,256 square foot ballet studio. Access to the site is from Forest Drive and Woodcrest Way. The building's primary façade faces south to a private drive.
- 2. The proposal includes an approximate 6,000 square foot expansion to the building, installation of 7 new parking spaces, and the creation of one new right-in curb-cut.
- 3. The proposed setbacks on the site plan are what exists today and they will remain unchanged with the exception of the pavement being added for the new curb-cut.

B. Access, Loading, Parking

Parking

- 1. A ballet dance studio is not included in the city's parking code schedule of uses. Therefore, per C.O. 1167.05(f) the Planning Commission shall determine the number of parking spaces required for any use not mentioned in this section for properties located outside of the Village Center area.
- 2. The existing site includes 58 parking spaces (56 total with 2 loading spaces). The Planning Commission previously approved this based upon the studio owner's experience in her previous facility and the operational aspect of this use.
- 3. At the time of the original final development plan approval, there had been around 600 students. At the height of operation, there had been less than 18 employees. The number of students had been expected to grow by 150-200 students.
- 4. Over the past two years, enrollment for the facility has more than doubled. Even with the larger numbers, the amount of existing parking spaces has been sufficient, according to the applicant. However, the applicant stated that due to vehicles queuing in the drop-off area rather than utilizing parking spaces, backups sometimes occur, which disrupts circulation.
- 5. To resolve this circulation issue, the applicant is proposing to remove the drop-off area and replace it with 12 new, head-in parking spaces. This, in conjunction with the reconfiguring of parking fields on the east and west ends of the building, will result in a net gain of 7 parking spaces. Staff is supportive of the request to add parking as the facility will need additional spaces once the drop-off area is removed since patrons of the site utilized the existing drop-off area as parking rather than for its original intent.

Circulation

- 1. The building is centered on the north side of the site and surrounded by the parking lot, followed by the retention pond to the south. The parking area to the west of the building, along Forest Drive, currently has a dead end.
- 2. The site is currently accessed from two entry drives; a shared curb-cut with the Marriott off of Forest Drive and a curb-cut off of Woodcrest Way. The current request includes the installation of an additional curb cut. The applicant proposes a new right-out curb-cut on Forest Drive to create a more direct path of circulation through the site from west to east. The (two) existing curb-cuts shall remain unchanged. The City's traffic engineer reviewed site circulation and has no issues. However, they have asked that the applicant provide site distance triangles at the proposed curb cut to ensure motorist view is not obstructed.

C. Architectural Standards

1. The original intent of the building design is to appear as a repurposed warehouse. The existing structure incorporates white brick as the primary material, with a cast stone base. The overall height of the building is 32.5 feet. The existing building features four-sided architecture to provide visual interest to all sides of the building. The existing building

- uses a variety of techniques to break up the overall mass of the building and provide visual interest to the façade via decorative pilasters and traditional brick corbeling.
- 2. The proposed additions, one on each end, are approximately 39.5' x 88' for a total of 3,318 square feet apiece. This would add approximately 6,636 square feet to the existing 18,256 square foot building.
- 3. As required by the zoning text, the architect has submitted a letter explaining the significant architectural features of the proposed additions to the building. For the additions, the applicant is proposing to expand upon the detailing of the modern entry element of the building. To be consistent with the original building, the proposed roofs would be flat with straight parapets. The material is to be steel and fiber cement panel with trim details. Most of the addition is solid due to the interior use of the space. The applicant intends to pattern the end walls using fiber cement paneling and trim, which are the primary finish materials for the additions. For the window, fenestration, the applicant proposes to use an aluminum storefront system with muntins to match the existing.
- 4. As proposed, the application meets the Architectural Standards in section 8a.03 of the zoning text, with the exception of 8a.03(1) (Architectural Style) which requires styles to be based on traditional American styles including Georgian, Colonial, Federal and Classical Revival, Barn, or Vernacular forms that reinforce a common historic architectural vocabulary, unless otherwise approved by the Planning Commission.
 - a) The city architect states Industrial architecture is an American style of architecture, but one that is not specifically noted in the guidelines due to its nearly inclusive urban locations. The city architect is supportive of the industrial design. He notes that if an addition cannot be indistinguishable from the original, then creating a completely different (but complementary) aesthetic is the proper move. A more rigid industrial aesthetic is definitely complementary to a warehouse type of structure, and suits the addition well.
- 5. Each wing addition is held up by 8 steel columns. The applicant states the narrow columns are purposefully designed in such a way that it would allow for the additions to look like they are "floating".
 - a) The city architect states that the columns holding up the second story additions look spindly relative to the big mass of the floating second floor. The visual mass of a second-floor industrial addition appearing as if it defines the laws of physics is something that seems untraditional.
 - b) The city architect recommends that the steel columns be enlarged or the use of double columns be incorporated to offset the floating appearance. He suggests the new columns align with the existing columns and be placed 16" center-to-center to create a comfortable distance and visual separation between the two. He believes this would still allow the intended concept of a second story repurposed industrial warehouse design.
- 6. Staff recommends a condition of approval requiring the use of double columns or another design to lessen the appearance of the building "floating" subject to the city architect approval.
- 7. New rooftop mechanical equipment on the additions will be screened by louvered metal panels painted to match the color of the brick on the existing building and attached to the rooftop units so there are no roof penetrations. Should the Planning Commission approve the application, staff recommends a condition of approval that the screening for the new rooftop mechanical equipment on the additions be painted to match the color used for the building additions as opposed to the color of the brick on the existing building.

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. Per zoning text 8c.04(4)(a) parking lots shall be screened from rights-of-way within a minimum 36-inch-high evergreen landscape hedge or wall. The landscape plan shows a 36" shrub to screen the parking lot from all the public and private roads adjacent to the site. While the installation of the new curb-cut will require an adjustment of the existing junipers, this standard will still be met with the new landscape plan.

- 2. Codified Ordinance 1171.06(a)(3) requires one tree per 10 parking spaces. There are 58 parking spaces provided, thereby requiring six trees. The PUD zoning text 8c.04(6) requires these trees be at least 2.5 inches in caliper at installation. The originally approved plan included 6 parking lot trees. While 3 existing trees are proposed to be relocated as part of this proposal, this does not change the number of parking lot trees on the plan. This standard will still be met with the new landscape plan.
- 3. With the exception of the removal of one street tree, which will not cause the landscape plan to be deficient, all other areas of the landscape plan remain unchanged and all aspects of Codified Ordinance 1171.05 are to be met.

E. Lighting & Signage

- 1. The proposal does not include new signage.
- 2. The existing site includes standard gooseneck light fixtures within the parking area. As required by the zoning text, the light fixtures do not exceed 20 feet in height. The light fixtures are a cutoff light fixture and consistent with neighboring properties.
- 3. The applicant proposes light fixtures on the new additions and has submitted a photometric plan which shows lighting levels are at or near zero at the property lines. The new light fixtures are cans beneath the additions, which shine directly down and do not trespass.

G. Other Considerations

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07 and provided the following comment(s):

- 1. Provide site distance triangles at the proposed RI/RO curb cut. Please ensure that motorist view is not obstructed.
- 2. Coordinate tree removal and relocations with the City Arborist.
- 3. The City's Traffic Engineer reviewed site circulation and has no issues.
- 4. We will evaluate construction details related to the proposed RI/RO curb cut and ADA requirements once detailed construction plans become available.

The engineering comments can also be found under a separate cover from the consulting City Engineer, E.P. Ferris & Associates.

VI. RECOMMENDATION

Staff recommends approval of the application as proposed. The development plan modification is consistent with the purpose, intent and standards of the zoning code and applicable I-PUD development text (Subarea 8a of the Canini-Trust Corp). The use is not changing and is appropriate for the site. While industrial architecture is not specifically noted in the guidelines due to its nearly inclusive urban locations, it is an American style of architecture. The existing building is very successfully designed warehouse and incorporates white brick as the primary material, with a cast stone base. The use of steel and glass for this expansion is complementary and appropriate given the architectural style. While this design is a clear departure from the norm, the city architect comments that the final design respects the existing structure while creating a unique vocabulary, and this should be a very positive thing for New Albany. Architectural Standards in section 8a.03 of the zoning text calls out the importance of historically accurate design. Based on the comments of the city architect, staff recommends lessening the visual weight of the entire second floor floating in space by adding or modifying the columns supporting the addition to ensure the repurposed industrial warehouse design intent is accomplished.

VII. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve final development plan application FDM-81-2022 with the following conditions:

- 1. That the screening for the new rooftop mechanical equipment on the additions be painted to match the color to be used for the building additions as opposed to the color of the brick on the existing building.
- 2. The use of double columns or another design to lessen the appearance of the building "floating" is required, subject to the city architect approval.





Source: Google Earth