

New Albany Architectural Review Board Meeting Agenda

Monday, March 13, 2023 7:00pm

Members of the public must attend the meeting in-person to participate and provide comment. The inperson meeting is held at New Albany Village Hall, 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at https://newalbanyohio.org/answers/streaming-meetings/

- I. Call to order
- II. Roll call
- **III.** Action on minutes: February 13, 2023
- IV. Additions or corrections to agenda
 - Administer the oath to all witnesses/applicants/staff who plan to address the board, "Do you swear to tell the truth and nothing but the truth."
- V. Cases:

ARB-22-2023 Certificate of Appropriateness

Certificate of Appropriateness for the installation of a new canopy on a building for defined outdoor areas used for dining located at 266 E. Main Street (PID: 222-000089).

Applicant: Sarasheen Partnership LLC

ARB-33-2023 Certificate of Appropriateness

Certificate of Appropriateness for the expansion of a school campus parking lot located at 7600 Fodor Road (PID: 222-000922).

Applicant: Mannik Smith

ARB-34-2023 Certificate of Appropriateness

Certificate of Appropriateness for new improvements at Taylor Farm Park (PID: 222-005165).

Applicant: City of New Albany Ohio c/o Adrienne Joly

VI. Other business

- 1. City Project Update: Market Street Extension
- 2. Annual Organizational Meeting
 - a. Swear in new member
 - b. Elect Chairperson
 - c. Elect Vice-Chairperson
 - d. Elect Secretary
 - e. Establish date, time, and location for 2023 regular meetings

^{*}Attendance is defined as in-person presence during the hearing and consideration of applications without a conflict of interest before that commission/board at that meeting. Attendance of all current serving members of the commission/board is encouraged, and three (3) consecutive absences by any member or four (4) absences in any 12-month period

shall be considered a forfeiture of the membership to the commission/board. The forfeiture would occur regardless of the reason for the absences. The applicable department designee would then notify the clerk of council so that they can inform council that a new appointment needs to be made.

VII. Poll members for comment

VIII. Adjourn



New Albany Architectural Review Board

Monday, February 13, 2023 7:00pm DRAFT Meeting Minutes

I. Call to order

Chair Hinson called the February 13, 2023 regular session meeting of the New Albany Architectural Review Board to order at 7:01 p.m.

II. Roll call

Those answering roll call:

Mr. Alan Hinson, Chair Present
Mr. Jonathan Iten, Vice Chair Present
Mr. Jim Brown, Secretary Absent
Mr. Andrew Maletz Present
Ms. Traci Moore Present
Mr. Francis Strahler Present
Council Member Andrea Wiltrout Present

Staff members present: Anna van der Zwaag, Planner II; Steve Mayer, Planning Manager; Chelsea Nichols, Planner; Christina Madriguera, Deputy Clerk.

III. Action on minutes

Chair Hinson asked if there were any additions or corrections to the minutes from the January 9, 2023 meeting.

Board Member Iten stated that the application number on the Record of Action for the Certificate of Appropriateness for the construction of a parking garage in the Village Center was incorrect and further that it was missing the three conditions of approval imposed by the board.

Planner van der Zwaag responded that the Record of Action would be corrected.

Board Member Iten moved to approve the minutes of the January 9, 2023 meeting, as corrected. Chair Hinson seconded the motion.

Upon roll call: Mr. Iten, yes; Mr. Hinson, yes; Mr. Strahler, abstain; Ms. Moore, yes; Mr. Maletz, yes. Having 4 yes votes, and 1 abstention, the minutes were approved as corrected.

IV. Additions or corrections to agenda

Chair Hinson asked if there were any additions or corrections to the agenda.

Staff answered that there were not.

Chair Hinson noted a staff presentation was the only item on the agenda and that the person in the audience was not planning to address the board. Chair Hinson administered the following oath to staff who wished to address the board, "Do you swear to tell the truth and nothing but the truth."

V. Cases

There were no cases scheduled for consideration.

VI. Other business

New Albany Solar Energy Initiative Best Practices Report.

Planning Manager Steve Mayer explained that currently the zoning code is silent on solar and tonight's meeting would be a focus-group style discussion. He introduced Planner van der Zwaag, who would be delivering the New Albany Solar Energy Initiative Best Practices Report. He explained that Planner van der Zwaag has taken the lead on a solar panel code update. To that end that staff was seeking comments and recommendations from the board on the report which was prepared with the assistance of consultant, MKSK. He explained that the Planning Commission would be reviewing the report at its upcoming meeting this month. Code updates would be drafted and workshopped this spring. He stated that feedback on the entire report was welcome and they were particularly interested in feedback on the 8 recommendations.

Board Member Iten clarified where the recommendations were in the report, and asked as primary matter, what he was meant by the verb "workshop."

Planning Manager Mayer responded that even though proposed updates to the code of this kind do not require review and or approval by the board, tonight's meeting was intended to provide guidance to staff when drafting the proposed updates. He further explained that the proposed updates would be presented to this and other boards for review and comment prior to being considered by city council.

Planner van der Zwaag thanked the board for their time and delivered the staff report which consisted of several slides covering the following: the impetus of the report; recent solar legislation; types of solar applications; solar trends and emerging technologies; peer communities; best practices for solar applications; and next steps.

Planner van der Zwaag explained that as a result of recent Federal and state law changes granting tax subsidies, she anticipated an increased demand for permits to install solar panels.

Planning Manager Mayer added that indeed there had already been an increased demand in New Albany for permits to install solar panels.

Board Member Iten stated that he has read all of the founding covenants of the New Albany Country Club Communities and that they are silent regarding solar panels. Can those covenants be amended now to include a restriction on the installation of solar panels?

Planning Manager Mayer responded that his understanding was that the legislation would deem deed covenant restrictions on the use of solar panels unconstitutional.

Board Member Iten continued that the city is the only refuge.

Planning Manager Mayer agreed.

Planner van der Zwaag encouraged the board members to offer their comments as they arose during the course of the presentation as this meeting was intended to be a dialogue.

Council Member Wiltrout asked whether there had been dialogue with any of the home owners associations (HOAs) regarding reasonable restrictions on the use of solar panels.

Planning Manager Mayer responded that at this point they had not had any direct correspondence with HOAs as part of this process. This report was the first step in the information gathering process and they are currently looking into the best way to gather feedback from the HOAs and the community at large.

Chair Hinson stated he could only recall 2 houses in New Albany with visible solar panels, 1 of which was located in the Country Club Community.

Board Member Strahler stated that he has seen a house in New Albany with a solar panel mount in the backyard.

Planner van der Zwaag stated that the there is still a lot in the air, and that the legislation (SB 61) provides that associations that do not prohibit solar panels may only place reasonable restrictions on their use. She continued that the deed would have to be examined to determine whether there are restrictions.

Board Member Iten agreed and stated that he had read SB 61.

Council Member Wiltrout wondered whether, if a deed contained a covenant restricting the use of solar, whether that would be an unenforceable covenant, like other unenforceable covenants.

Board Member Iten, Council Member Wiltrout, and Planner van der Zwaag agreed that that time and litigation would make that answer clear.

Board Member Iten stated that it was clear that the time for the city to do something was ripe.

Planner van der Zwaag discussed the main sections of the report and reviewed the following 8 draft recommendations for solar trends:

Highly encourage the use of building-integrated photovoltaics in new construction and renovation projects.

Create internal criteria for when solar tracking mounts are appropriate uses.

Allow the use of solar energy storage in all use applications.

Explore the use of floatovoltaics as an alternative to ground-mounted array proposals on applicable properties.

Consider a solar-ready design regulation for new buildings.

Analyze the potential for PV noise barriers as a possibility for New Albany.

Consider implementing solar panels as part of the parking lot design code for future parking lots built in New Albany.

Consider applying to the SolSmart Designation program to recognize New Albany's commitment to solar energy.

Planning Manager Mayer acknowledged that this is an emerging and changing technology and then asked for the board's thoughts on the recommendations.

Board Member Iten stated that he had several observations. First, was that he bought into New Albany's Strategic Plan and the rules of that plan and he further commented that board was in place for good design. He encouraged staff to keep in mind that decisions made now would be visible for a long time. For example, with the advent of the usage of electricity in residences there were poles and wire after wire after wire in order to retrofit the brownstones and mansions on Park Avenue in NYC. Once those wires were there, they were there for a long time before the city was able to locate them underground. It is important for us to keep our design aesthetic in mind here. Solar panels are modern but they are not intrinsically attractive. The attractiveness of most of today's panels is limited to the virtue they signal through their presence and his hope was that solar panels could be incorporated in such a way as to retain New Albany's design aesthetic. And he particularly encouraged hiding solar panels within building materials in areas where aesthetic is important.

Chair Hinson remarked that New Albany has always been a community with 4-sided architecture which would make hiding house-mounted solar panels difficult.

Board Member Iten stated that using Google streetview to look at the JP Morgan Chase property, the mounted solar panels are screened by mounding and vegetation. But, he recalled from an article that the parking lot photovoltaics were 30 ft off the ground and while it is appealing he was unsure whether that example would translate to New Albany.

Board Member Iten further stated that Upper Arlington was a planning disaster, and New Albany should be reluctant to follow its example.

Board Member Iten stated that permissive authority for the usage of solar is a lot different than requiring it. He cautioned that one California is enough – in terms of regulation. Regarding the SolSmart designation, he would rather New Albany have it right than chase down what another community does in service of a designation.

Board Member Strahler stated that the focus of regulation for New Albany should be on maintaining the design aesthetic and uniformity in residential areas, rather than placing a restriction on usage within view of the public right of way. He further explained that placing a restriction on visibility from the public right of way would lead to litigation in situations where a homeowner was seeking the economic benefit of using solar panels but could not overcome the aesthetic restriction. Disparate treatment of otherwise equally situated homeowners could force New Albany to allow solar panels without regard to their appearance or their visibility.

Board Member Iten agreed and stated that he would prefer a rule to require the usage of building integrated photovoltaics everywhere to a rule that would permit the usage of unattractive photovoltaics as long as they were not visible from the right of way.

Planning Manager Mayer thanked the board for their comments and discussion.

Planner van der Zwaag invited comments regarding the recommended appropriate use for various types of solar.

Board Member Strahler encouraged the use of screening for solar tracking mounts.

Board Member Iten echoed Board Member Strahler's observation about requiring screening, particularly in the Village Center.

Board Members Iten and Strahler agreed with the recommended appropriate usage, as long as the usage was fully screened.

Planning Manager Mayer stated that rules requiring screening could be added. And assured the board that this plan did not recommend usage of tracking mounts or floatovoltaics in the Village Center.

Board Member Item asked what was meant by solar-ready building design.

Board Member Moore stated in response that there were examples of photovoltaics built into building materials and that would work well in commercial contexts.

Board Member Maletz had comments about the difficulty of regulating usage of solar based upon today's technology. He questioned the long-term applicability of today's photovoltaics. He observed that this initiative gave him pause because although there is economic value to using today's technology, the evolutionary pace of this technology is rapid and thus could render regulations moot. And further that today's integrated panels have not been thoroughly tested and have not been tested over a 20-year lifespan. He stated that we need to avoid unanticipated consequences and unnecessary risk.

Board Member Maletz stated that underlying issue here is that the design guidelines and Georgian architecture are incompatible with what the solar recommendations are seeking to accomplish, for example, the steep roof pitches, and the 4-sided architecture. The saw-toothing of panels is quite unattractive. Furthermore, that allowing solar panel use is a lot different, and much more preferred, than encouraging solar panel use. He also recommended considering regulation regarding the unwinding, for example requiring removal of non-performing panels (like satellite dishes). He referenced a recent mailing from the New Albany Country Club Homeowners Association reminding member homeowners of the architectural review and approval requirements that must be met before members make changes to their homes.

Board Member Maletz stated that regulation of solar usage should require review for appropriateness early in the process. It should be in conjunction with the appropriate HOA review during the concept phase. Upon approval at the concept phase then the anticipated solar usage should be included in the requests for zoning and building permits submitted to the city. He reiterated that Georgian architecture is at odds with the appearance of the technology.

Council Member Wiltrout asked if the feelings about residential were the same as the feeling about commercial, for example a bank or a school, particularly if solar power can be stored.

Board Member Maletz agreed that the architectural standards for residential and commercial could be different.

Board Member Iten agreed that residential usage could be distinguished from commercial usage, and further that commercial could be distinguished into business park commercial and Georgian style commercial.

Planning Manager Mayer stated that this was a great conversation and as currently drafted, the recommendations were categorized such that usage for business were different than the recommendations for residential. He then began the discussion of application recommendations for residential usage.

Board Member Maletz stated that it would be interesting to study all the existing assets in New Albany and to know of those, how much and how significantly residential rooftops contribute. He was unsure what the return on investment would be for usage on residential rooftops and he was interested to know what the impact could be, energywise, in residential areas. If the energy capture is marginal, then it may not be worth installing solar panels.

Planner van der Zwaag stated that this process is about considering the balance between regulations and a property owner's right to place a solar panel on their property.

Board Member Iten stated that he didn't know whether a property owner has a right to a solar panel, the important thing is that all property owners are treated equally.

Board Member Maletz asked whether it is possible to do a rooftop energy study, that data would greatly inform this conversation.

Council Member Wiltrout stated that she was sure it was and wondered when would be the appropriate time, would it be now or in 2025.

Board Member Maletz said he was open to calibrating it to the most appropriate time.

Planner van der Zwaag responded that the data was not presently ready but was open to conducting an energy study.

Board Member Moore stated that if the study is conducted and we find that solar panels in residential areas are not feasible then perhaps it would still be feasible on the highway as a part of noise barriers, and that the energy could be stored. There are inspiring examples of such usage of solar panels along the roadway in Italy.

Planning Manager Mayer responded that it was definitely a consideration; he mentioned usage of retention basins and usage of parking lots, and agreed there were many opportunities. Even without doing a study, there is a lot of low-hanging fruit in the business park. In the business park there are many areas to place solar panels that are fully out of view of the public.

Board Member Iten stated that the city is not going to pay for it in the business park and further that, regarding the noise barriers, it is the state's duty to place solar panels on SR 161 and that the city would not probably be able to prevent or regulate usage on the highway.

Planner van der Zwaag asked what the board's thoughts were on ground-mounted solar in commercial areas.

Board Member Iten stated that he was indifferent overall. He asked whether plowing (of snow) could realistically take place under ground mounted solar panels in parking lots, and further what would happen to the snow that collected on top of the solar panels.

Board Member Maletz stated that he was ambivalent and stated that this was a question of best and highest usage. He commented that usage could result in density voids and wondered whether the market would dictate.

Council Member Wiltrout added that this could be similar to the market evolution for Direct TV.

Board Member Iten further observed that if a company in the business park, such as Intel, installed them on property screening mounds, that would be fine.

Board Member Maletz wondered whether this is a dead-end technology. And remarked that, if so, it may be difficult to take down.

Planning Manager Mayer thought those were great comments and stated that staff could look into how other communities have addressed this issue.

Board Member Iten observed that we need to be careful about passing design guidelines or making recommendations that are in conflict with deed covenants and HOA design requirements.

Planning Manager Mayer agreed and stated that existing rules and covenants would certainly be taken into consideration in the drafting of proposed code updates regarding usage of solar.

Board Member Iten stated that we could encourage this with schools and commercial structures but we still do not want them to be unattractive.

Planning Manager Mayer asked the board what their thoughts would be if their neighbor had a ground-mounted solar panel. Should ground-mounted solar go before a board or commission? He continued that the board could feel free to consider the hypothetical and get back to him.

Board Member Maletz responded that he thinks there is a way to develop criteria, but (candidly) it does not appear to be in the current draft application recommendations. He stated that he thought that each might need to be reviewed subjectively.

Board Member Iten responded that he thinks objective standards are possible but it is up to council to provide the standards.

Planning Manager Mayer said that the aim of the meeting was to conduct a focus-group type of discussion and welcomed guidance from the board.

Planner van der Zwaag said that she planned to have these discussions with multiple boards.

Board Member Iten stated, regarding accessory structures, that he did not think it was possible in the country club communities to have accessory structures.

Board Member Maletz explained that some accessory structures were permitted.

Planning Manager Mayer said that the city had already loosened the code in order to permit some detached accessory structures.

Board Member Maletz asked whether it would be possible, as part of permitting criteria, to require that new structures be designed with solar in mind. He acknowledged that this would not apply to retrofitting, however, basic criteria could be established at the conceptual and design phase. He recommended that approach if possible.

Planner van der Zwaag stated that she thought it was part of the solar-ready recommendations.

Board Member Moore raised that ground mounted panels could still be visible from a second story window, even if there was adequate screening on the ground level. She observed there could be complexity with appropriate screening that does not obsure and diminish the effectiveness of the solar panel.

Board Member Strahler agreed and stated that there needed to be the appropriate amount of setback and screening while maintaining the panel's ability to capture solar rays.

Board Member Iten observed that depending on the setback there is probably not enough room in a typical residential setting.

Board Member Strahler stated that rules needed to be put in place because usage of solar panels is imminent. He recalled when satellite dishes became available and were marketed to consumers. First there was a prohibition on their usage, then a rule was passed requiring screening as a condition of installation and usage.

Board Member Iten stated he was hopeful that staff had gotten enough high-level comments and overall flavor of the board's view.

Planning Manager Mayer asked the board to review the Village Center recommendations.

Regarding V.1, "Highly encourage the use of building-integrated solar as the preferred solar energy application in the Village Center."

Board Member Iten suggested and the board agreed that the word "encourage," should be changed to "allow."

Planning Manager Mayer stated there were many unknowns at this time.

Regarding V.2, "Give preference to flat-roof installations over pitched-roof installations, and require that pitched-roof installations be fully concealed from public right of way."

Planning Manager Mayer confirmed that the board preferred flat-roofed installations.

Regarding V.3, "Using similar regulations for pitched and flat-roof installations as those outlined in the residential and commercial best practices."

The board agreed with this recommendation as edited by their conversation.

Regarding V.4, "As solar technology evolves, continue to monitor new technologies and analyze whether these can be integrated into the Village Center."

The board recommended that the website be updated as technology changes to provide more resources.

Planning Manager Mayer asked whether the initial regulation approach should be more liberal or conservative as we learn more.

Board Member Iten advised that the recommendations for residential and the Village Center should err on the side of conservative, on the theory that a more liberal approach could be adopted later.

Planner van der Zwaag asked the board whether, regarding the 4-sided architecture in residential, it was all or nothing.

Board Member Maletz responded that allowance of usage of the panel should not be contingent on whether it is visible from the public right of way. There are examples of designs that would turn the panels inward such that they are inconspicuous. The design should be acceptable on any side and felt confident it could be done.

Chair Hinson acknowledged usage of exceptions on isolated sites in the Village Center and in residential, but recommended the city find a design that was not disruptive.

Planner van der Zwaag thanked the board and stated that she could send out the presentation slides.

Board Member Iten remarked that the board had the luxury of an excellent staff.

Planning Manager Mayer thanked the board.

VII. Poll members for comment.

Chair Hinson asked if there were further comments from the board. There was no response.

VIII. Adjourn

Having no more business to discuss, Chair Hinson asked whether there was a motion to adjourn.

Board Member Maletz moved to adjourn. Board Member Moore seconded the motion.

Upon roll call: Mr. Maletz, yes; Ms. Moore, yes; Mr. Strahler, yes; Mr. Hinson, yes; Mr. Iten, yes. Having 5 yes votes, the meeting was adjourned at 8:01 p.m.

Submitted by Christina Madriguera, Deputy Clerk.



Architectural Review Board Staff Report March 13, 2023

266 E. MAIN STREET CANOPYADDITION CERTIFICATE OF APPROPRIATENESS

LOCATION: 266 East Main Street (PID: 222-000089)
APPLICANT: Sarasheen Partnership LLC, c/o Tom Sheehan

REQUEST: Certificate of Appropriateness

ZONING: Infill Planned Unit Development (I-PUD) within the Urban Center

STRATEGIC PLAN: Village Center APPLICATION: ARB-22-2023

Review based on: Application materials received on February 2, 2023 and February 23, 2023.

Staff report prepared by Chelsea Nichols, Planner

I. REQUEST AND BACKGROUND

The applicant requests review and approval of a certificate of appropriateness for a new canopy addition to cover an existing patio and the use of removable seasonal walls on the patio canopy for Elliot's Wood Fired Kitchen & Tap located at 266 East Main Street. The existing patio was approved in 2012 (ARB-03-12) and is approximately 1,077 square feet in area. The patio is used as an outdoor dining area for the restaurant. It is located on the west side of the building. Approximately 600 square feet of the total outdoor patio area will be covered by the proposed canopy. The canopy will have removable, seasonal plastic screens to allow for year-round use of the outdoor dining area.

Per Section 1157.07(b) any major environmental change to a property located within the Village Center requires a certificate of appropriateness issued by the Architectural Review Board. In considering this request for a new canopy patio cover addition within the Village Center, the Architectural Review Board is directed to evaluate the application based on criteria in Chapter 1157.

II. SITE DESCRIPTION & USE

The property is zoned I-PUD (Infill Planned Unit Development) and is part of the US Bank Center Development. It contains a multi-tenant commercial building and U.S. Bank. Businesses within this development include U.S. Bank, Polished Nails Spa, Impressed Dry Cleaning, Cutler Real Estate, Laura Jacob Art, and Elliot's Wood Fired Kitchen & Tap. The site is located on the north side of E. Main Street, and is directly across from the Avalon of New Albany assisted living development.

III. EVALUATION

A. Certificate of Appropriateness

The ARB's review is pursuant to the U.S. Bank Center Development Zoning Text and C.O. Section 1157.06. No environmental change shall be made to any property within the Village of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the modifications to the building and site should be evaluated on these criteria:

- 1. The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.
 - The existing patio is located within the courtyard area of the development and serves as outdoor seating for Elliot's. A single door provides access to the patio from the restaurant. One existing egress gate is in place and second egress gate will be added for the patio. The current entrance to Elliot's will remain as the primary business entry.
 - To contain the dining area, an existing railing and fence defines two edges of the patio. The existing brick wall (approximately 2.5 feet in height), parallel to E. Main Street, will remain to define the patio's edge closest to the roadway.
 - The proposed canopy addition will be a black finish and is 12' in height. The canopy will serve as a cover for patio. The patio is approximately 1,077 square feet (21' x 51') of total outdoor dining space. The steel canopy structure will support a roof over 600 square feet of the area. The remaining 400 square feet will be open-air and left uncovered.
 - The canopy will support removable, seasonal window walls made of canvas with plastic screens. This will allow for additional dining space during inclement weather. The wall will be a black colored canvas with clear plastic "windows."
 - Within the open-air area of the patio, there are existing air conditioning units, which are screened from the dining area with an existing stained cedar wood fence.
 - The canopy creates an eave overhand along the front face of the structure that projects as a rake along both sides. Emphasis is placed on the entablature with a horizontal bead that terminates into the piers. Vertically oriented siding occurs on the left and righthand sides below rake trim.
 - The details included on the proposed design helps aesthetically harmonize the canopy with the building by complementing the architectural lines from the building's façades and brick soldier course. Consistent with the development text requirement, this canopy exhibits 360-degree design and balances the architecture of the main building.
 - The U.S. Bank Center zoning text requires all colors harmonize to with each other. The black color chosen for the canopy addition is appropriate and harmonious with the surrounding development. The existing awnings on the building and within the development are already black.
- 2. The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.
 - The proposed canopy addition is consistent with the original intent of the development and is appropriately scaled for the building and site. The canopy integrates with the architectural style of the building.
 - The removable screen wall changes the visual components of the building and site when it is in use. The removable walls are designed to be used during the colder seasons and during bad weather.
- 3. The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.
 - The existing original qualities and character of the building will remain. The canopy is an addition that will serve to enhance the original character of the U.S. Bank Center Development.
- 4. All buildings, structures and sites shall be recognized as products of their own time.
 - The building is a product of its own time and as such should utilize design appropriate to its style and scale, while considering its surroundings. The proposed canopy addition appears to match the style of the building and is appropriately scaled.
- 5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.

- Not Applicable
- 6. The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.
 - Not Applicable
- 7. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.
 - The canopy addition does not provide significant structural elements to the building. If the canopy is removed in the future, the essential form and integrity of the primary structure will not be impaired or affected.

IV. SUMMARY

The canopy addition is proportional to the building and the patio area, and its location within the site is appropriate. Overall, it seems that construction of this canopy will enhance the quality of the business, building, and surrounding area by "activating" the public space year round and contributing to the urban character that is desired in the Village Center. The canopy details help aesthetically harmonize the canopy with the building by complementing the architectural detail lines from the building's façades and brick soldier course. Consistent with the development text requirement, this canopy exhibits 360-degree design and balances the architecture of the main building.

V. ACTION

Should the Architectural Review Board find sufficient basis for approval, the following motion would be appropriate (conditions may be added).

Suggested Motion for ARB-22-2023

Move to approve Certificate of Appropriateness application ARB-22-2023.

Approximate Site Location:



Source: nearmap

Permit #	
Board	
Mtg. Date	



Community Development Planning Application

	1/0/0 4/4	T MAIN ST	•		
	Site Address 200 EA9 Parcel Numbers 222 - 00				
		•			
356	Acres	# of lots creat	ted		
	Choose Application Type		Circle all	Details that Apply	
nation	□□Appeal □□Certificate of Appropriateness □□Conditional Use □□Development Plan □□Plat		Final Final		Amendment
nr.	□□Lot Changes	Combination S	Split	Adjustment	
Project Information	□□Minor Commercial Subdivision □□Vacation □□Variance	Easement		Street	
o.jo.	□□Extension Request			m	
Pr		Amendment (rezo	oning)	Text Modification	
	Description of Request: ING COVER LN EXISTING				
	Address: 25@ City, State, Zip: COLUMP Phone number: 64.22	E. MAIN 5 015 OH, 11. 4286	432	N. HIGH ST Fax:	SPIEGEL
cts	Email:	PWEILER	COM		
Contacts	Address: 266 ELS	T WAIN ST	Γ		tnership lu
	Phone number: 414 · 28	6.6016	400	Fax:	
	Email: T9HEE1	LNELLIOT	S C GIN	ILL . COM	
Signature	Site visits to the property by City of Northe Owner/Applicant, as signed below employees and appointed and elected of described in this application. I certify the true, correct and complete.	y, hereby authorizes officials to visit, pho	Village of tograph an	New Albany represe d post a notice on the	entatives, e property
Sig	Signature of Owner Signature of Applicant	in Sing	4	Date Date	

ELLIOT'S WOOD FIRED KITCHEN & TAP

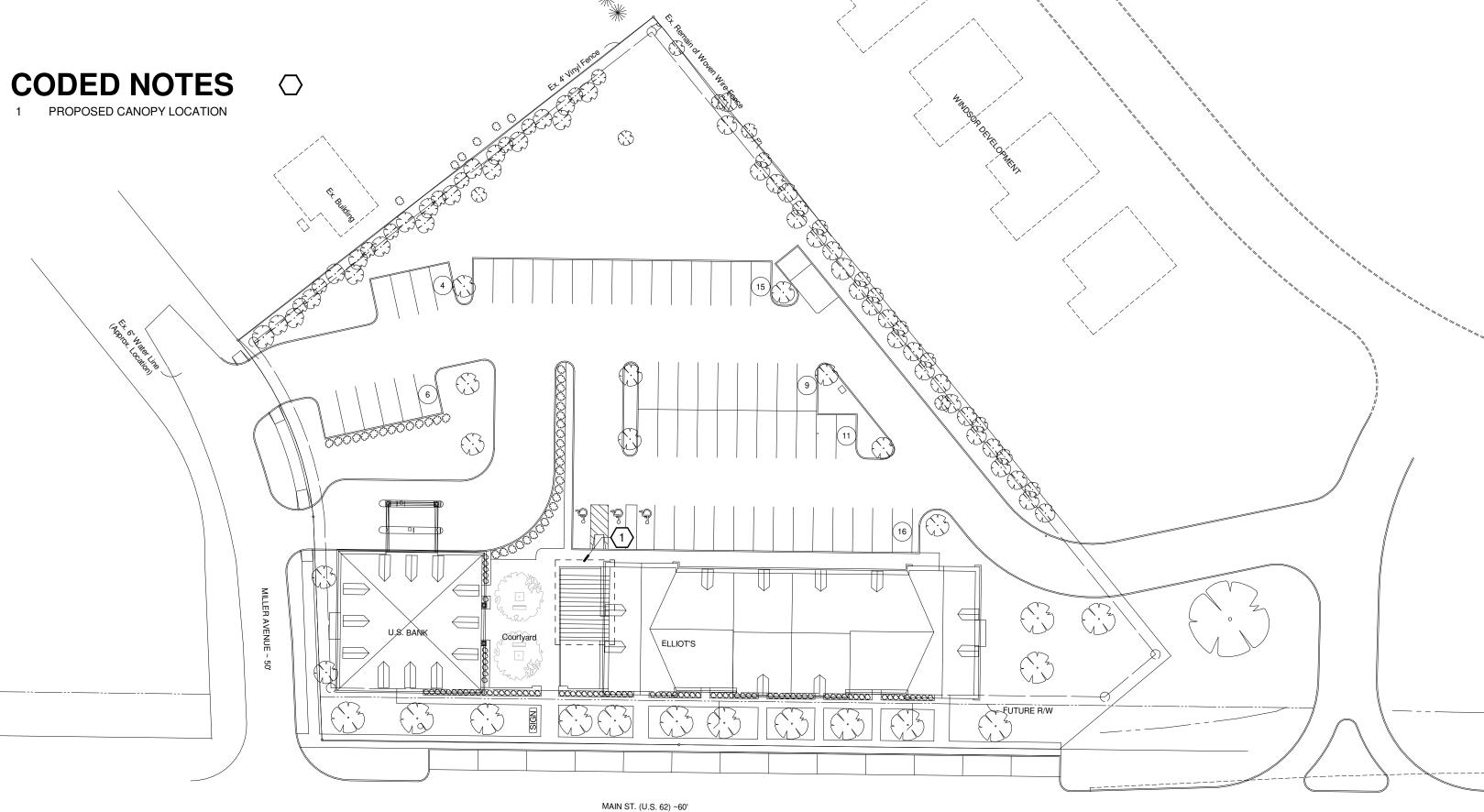


EXTERIOR CANOPY ADDITION

266 East Main Street, New Albany, OH 43054

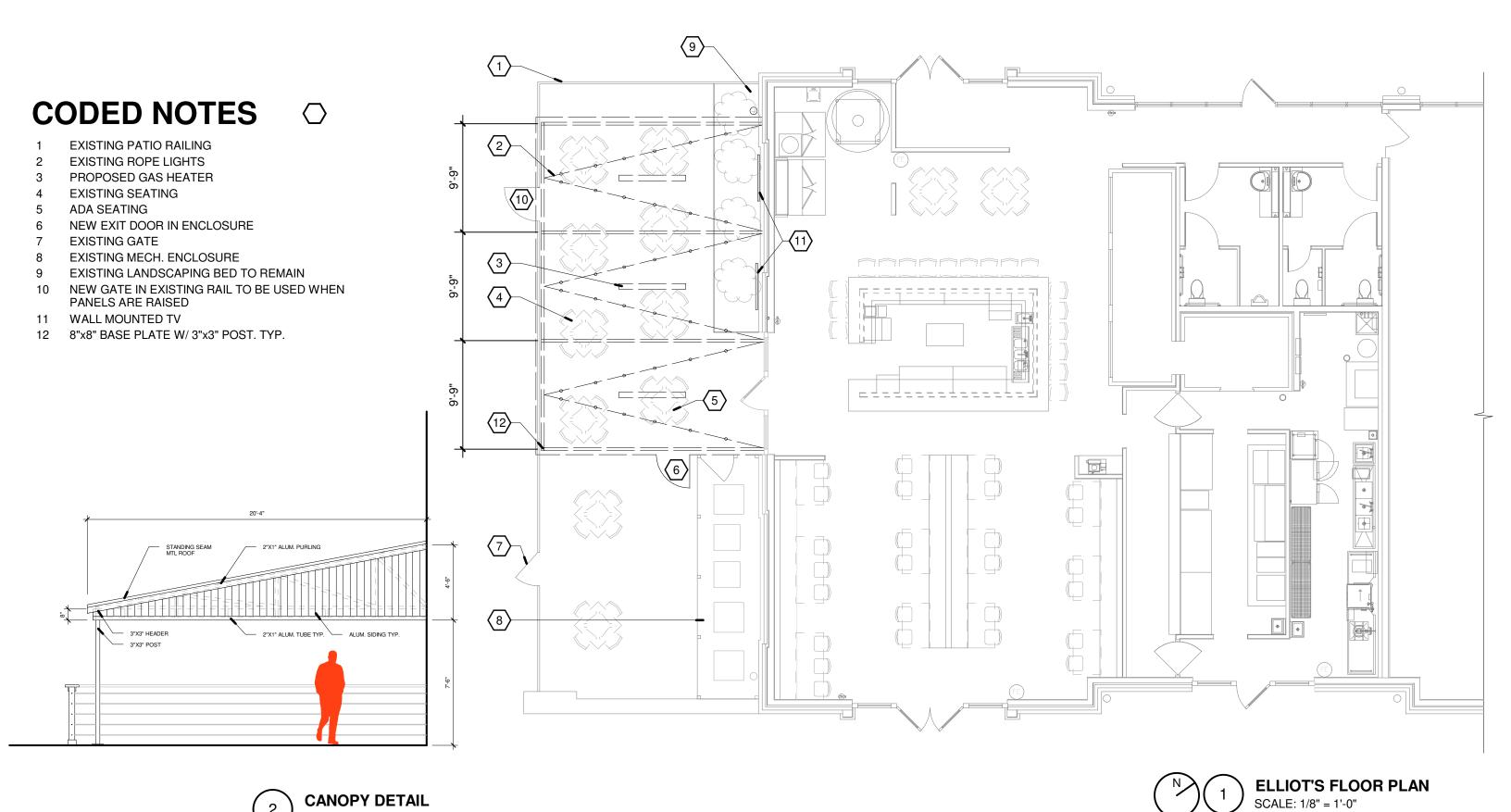
REV1 03/02/2023





JOHNSTOWN ROAD

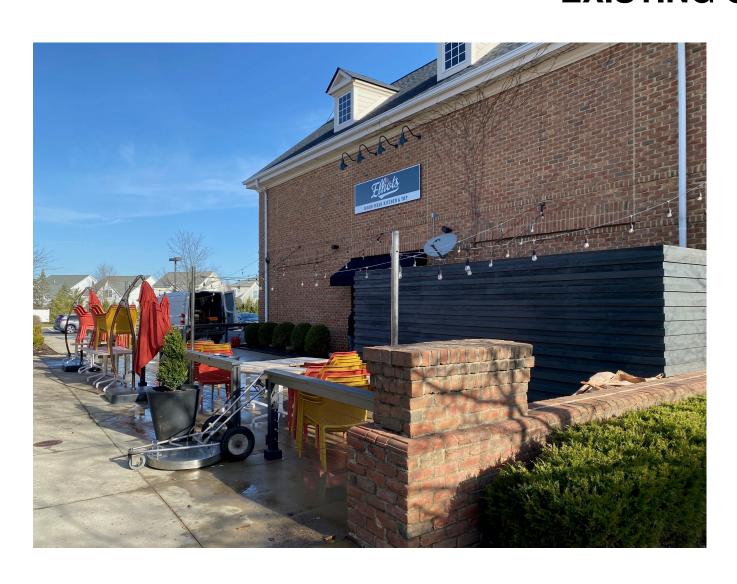




ELLIOT'S WOOD FIRED KITCHEN & TAP | EXTERIOR CANOPY ADDITION

SCALE: 3/16" = 1'-0"

EXISTING CONDITIONS





ELLIOT'S WOOD FIRED KITCHEN & TAP | EXTERIOR CANOPY ADDITION



















Architectural Review Board Staff Report March 13, 2023 Meeting

7600 FODOR ROAD CERTIFICATE OF APPROPRIATENESS NEW ALBANY PLAIN LOCAL SCHOOL DISTRICT HIGH SCHOOL PARKING LOT EXPANSION

LOCATION: 7600 Fodor Road (PID: 222-000922)
APPLICANT: Anders Samuelson, Mannik Smith Group

REQUEST: Certificate of Appropriateness

ZONING: Urban Center District within Village Center – Campus Subdistrict

STRATEGIC PLAN: Village Center APPLICATION: ARB-33-2023

Review based on: Application materials received on February 17, 2023.

Staff report prepared by Sierra Cratic-Smith, Planner

I. REQUEST AND BACKGROUND

The applicant requests an expansion of the existing high school parking lot. The High School parking lot proposal increases its area to accommodate 28 additional parking spaces based upon an anticipated increase in the number of students attending in the next ten years. The addition of 28 parking spaces brings the total number to 327 spaces at this lot.

Per Section 1157.07(b) any major environmental change to a property located within the Village Center requires a certificate of appropriateness issued by the Architectural Review Board. This section of city code states that any addition to a parking lot constitutes as a major environmental change. Accordingly, the new additional parking spaces must be reviewed and approved by the ARB.

II. SITE DESCRIPTION & USE

The parking lot is located on the school campus and zoned Urban Center District (Campus sub district). The parking lot is located east of Fodor Road and west of the High School and football stadium.

The school campus is located generally north of Dublin Granville Road, south of State Route 161, and between Fodor Road and High Street. The site is developed with multiple school buildings, accessory buildings and recreation facilities, including a football stadium, tennis courts, and ball fields.

III. EVALUATION

A. Certificate of Appropriateness

The ARB's review is pursuant to the U.S. Bank Center Development Zoning Text and C.O. Section 1157.06. No environmental change shall be made to any property within the Village of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board.

Per Section 1157.09 Design Appropriateness, the modifications to the building and site should be evaluated on these criteria:

- 1. The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.
 - Section 1(I)(E) of the Design Guidelines and Requirements (DGRs) Design Principle and American Architectural Precedent – requires parking areas to be screened with landscaping and placed in locations to minimize their visual impact. See the landscaping section for additional information.
 - Section 8(II)(2) of the DGRs Civic and Institutional Buildings requires site plantings and landscaping to be an appropriate scale and design, based on or complementary to the architectural design of the buildings. See the landscaping section for additional information.
- 2. The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.
 - Landscape:
 - o The parking lot is landscaped to meet code chapter 1171.06(b) which requires "parking lots shall be screened from primary streets, residential areas, and open space by a three and one-half (3.5)-foot minimum height evergreen hedge or masonry wall, or combination of wall and plantings. The parking lot expansion is located along Fodor Road and is screened by evergreen shrubs.
 - O Codified Ordinance 1171.08(a) requires "wet and dry stormwater basins shall be designed by a landscape architect in conjunction with a professional engineer to ensure that the basins have a natural shape and are graded and planted in an attractive manner." The basin is designed with a natural curvature shape and is planted with a ornamental grasses, perennials, and evergreen shrubs.
 - O The city code recommends 1171.06(a)(3) recommends one tree per 10 parking spaces be installed in the islands. The applicant is exceeding the recommended number of trees by providing a total of four.
 - Parking and Circulation:
 - The proposal adds 28 additional parking spaces to the High School parking lot. The maneuvering lane is 22 feet wide with 9 feet by 19 feet wide parking spaces which meet code requirements per code 1167.03(A)..
 - The additional parking utilizes the current circulation plan for the High School parking lot and routes incoming traffic from Fodor Road to the right to maximize stacking and increase the drop-off area near the building by creating a one-way counterclockwise loop to increase on-site safety. The additional spaces extend this circulation route.
 - Directional arrows will be painted on the asphalt to direct traffic through the parking lot and drop-off zone.
 - Signage:
 - o No signage has been submitted at this time.
- 3. The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.
 - The proposed addition of parking lot is an expansion of the existing parking areas preserves and expands the distinguishing original qualities of the site.
- 4. All buildings, structures and sites shall be recognized as products of their own time.
 - Not Applicable

- 5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.
 - The parking lot is landscaped above the minimum code requirements. The addition of the water basin provides a creative addition to the already abundant landscaping character of the site and appears to be preserved.
- 6. The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.
 - Not Applicable
- 7. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.
 - Not Applicable.

B. Urban Center Code Compliance

• The Urban Center Code provides the following lot and building standards for the Campus subdistrict:

Standard	Minimum	Maximum	Proposed
Lot Area	No min	No max	76.7 acres
Lot Width	No min	No max	N/A
Lot Coverage	No min	No max	Unknown
Street Yard	30 feet	No max	50 feet
Side Yard	20 feet	No max	N/A
Rear Yard	20 feet	No max	N/A
Building Width	No min	No max	N/A
Stories	1	4	N/A
Height	No min	55 feet	N/A

- Urban Center Code Section 2.140.1 states that parking shall be provided as needed and supported by evidence-based standards. The application submittal includes a historical enrollment report and future projections. The report indicates that student enrollment projections could increase by approximately 16% over the next ten years.
- Urban Center Code Sections 2.1240.2 and 5.30 state that one bicycle hitch is to be provided based on the number of off-street parking spaces. This requirement is met from the existing conditions.

II. SUMMARY

The ARB should evaluate the overall proposed based on the requirements in the Urban Center Code, Design Guidelines & Requirements, and the Codified Ordinance Chapter 1171. The addition of parking is to accommodate the future growth of students attending the high school. The expansion does not appear to be substantial because it does not disrupt the flow of traffic nor does it disrupt the school's character. Furthermore, the addition of landscaping is appropriate for the school's characteristics. The site layout appears to be matching the intent of the standards and goals found within the Engage New Albany strategic plan, Urban Center Code, and the Design Guidelines and Requirements for institutional uses on a school campus. Therefore, the new and expanded parking lot configurations appear appropriate.

III. ACTION

Should the Architectural Review Board find sufficient basis for approval, the following motion would be appropriate (conditions may be added).

Suggested Motion for ARB-33-2023

Move to approve Certificate of Appropriateness application ARB-33-2023

Approximate Site Location:



Source: NearMap

Permit #	
Board	
Mtg. Date	



Community Development Planning Application

	Site Address 7600 FODOR RD		
	Parcel Numbers 222-000922		·
	Acres _76.73 AC	# of lots created	
	Choose Application Type	Circle :	all Details that Apply
Project Information	□□Appeal □□Conditional Use □□Development Plan □□Plat □□Lot Changes □□Minor Commercial Subdivision □□Vacation □□Variance □□Extension Request □□Zoning Description of Request: APPROVAL OF A PROPOSED PARSCHOOL.	Preliminary Final Preliminary Final Combination Split Easement Amendment (rezoning)	Comprehensive Amendment Adjustment Street Text Modification
Contacts	Address: 55 N HIGH ST City, State, Zip: NEW ALBANY, OH Phone number: 614-413-7102 Email: sawyers.1@napls.us	RS SAMUELSON PE	EW ALBANY - PLAIN LOCAL SCHOOL DISTRICT Fax: Fax: Fax:
Signature	The Owner/Applicant, as signed below employees and appointed and elected described in this application. I certify t true, correct and complete.	y, hereby authorizes Village officials to visit, photograph	and post a notice on the property

A . T			250.00	
Appeal	onrigtoness			
Certificate of Appr	opnateness ARR – single and to	wo family residential	100.00	
le-	ARB - All other re-	sidential or commercial	300.00	X
	ARB - Signage		75.00	
Conditional Use	AID Signage		600.00	
	– Preliminary PUD o	or Comprehensive		
Development I am	Planning fee	First 10 acres	750.00	
	2	Each additional 5 acres or part thereof	50.00 / each	
	Engineering fee	1-25 lots	155.00 / each	7
	21-8	Minimum fee	1000.00	
	Engineering fee	26 – 50 lots	3875.00	
	2118111418	Each additional lot over 26	75.00 / each	
	Engineering fee	Over 51 lots	5750.00	
	Diffuser-8	Each additional lot over 51	50.00 / each	
Development Plan	Final PIID	1		
Development I lan	Planning fee	First 10 acres	650.00	
		Each additional 5 acres or part thereof	50.00	
	Engineering fee	1-25 lots		
		(minimum fee \$1,000.00)	155.00 / each	
	Engineering fee	26 – 50 lots	3875.00	
		Each additional lot over 26	75.00 / each	
	Engineering fee	Over 51 lots	5750.00	-
		Each additional lot over 51	50.00 / each	
Development Plan	– Non-PUD		300.00	
Development Plan	/ Text Amendment		600.00	
Plat – Road Prelim			250.00	
	Planning fee		350.00	
	Engineering fee	no lots on either side of street	1.00 / LF	
		lots on one side of street	.50 / LF	-
		Minimum fee	1,000.00	
Plat – Road Final			350.00	
	Planning fee		1.00 / LF	
	Engineering fee	no lots on either side of street	.50 / LF	
		lots on one side of street	1,000.00	-
		Minimum fee	1,000.00	-
Plat – Subdivision			650.00	
, i	Planning	D1	50.00 / each	
		Plus each lot	50.00 / Cao n	
	Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 / each	
	Du sin serie e for	(minimum fee \$1,000.00) 26 – 50 lots	3875.00	
	Engineering fee	Each lot over 26	75.00 / each	
	Eu ain agrica fac	Over 51 lots	5750.00	
	Engineering fee	Each lot over 51	50.00 / each	
		Baoil lot 0 voi 0 i		
		34		

	Plat – Subdivision Final			
	Planning		650.00	
		Plus each lot	15.00 / each	
	Engineering fee	1-25 lots		
		(minimum fee \$1,000.00)	155.00 /each	
	Engineering fee	26-50 lots	3875.00	
		Each lot over 26	75.00 / each	
	Engineering fee	Over 51 lots	5750.00	
	2 2	Each lot over 51	50.00 / each	
	Lot Changes		200.00	i A
	Minor Commercial Subdivision		200.00	,======================================
	Vacation (Street or Easement)		1200.00	
	Variance			
		al, subdivision, multiple properties	600.00	
	Single Family residence	an, oacet total, man-F FF	250.00	
	In conjunction with Certificat	ion of Appropriateness	100.00	-
	•	ion of Appropriateness	0.00	
	Extension Request		0,00	
	Zoning			
	Rezoning - First 10	acres	700.00	
5	Rozonnig Thurt	Each additional 5 acres or part thereof	50.00 / each	3
2	Rezoning to Rock	y Fork Blacklick Accord	250.00	:
3	Text Modification	y I OIR DidORITOR 1100010	600.00	
kequirements	Easement Encroachment		800.00	-
	Easement Encroacinnent)

New Albany-Plain Local School District

HISTORICAL ENROLLMENT

Over the past ten years, student enrollment in the New Albany-Plain Local School District has increased by 454 students in grades Pre-K-12, including ungraded students. Total enrollment for the 2021-22 school year is 5,110 students.

The following tables and graph illustrate the District's Pre-K – 12 enrollment history from 2012-13 through 2021-22.

New Albany-Plain Local School District

Historical Enrollment

Grade	2012-13	2013-14	2014-15	2015-16	2016-17	2017-18	2018-19	2019-20	2020-21	2021-22
Pre-K	0	0	0	0	0	130	130	153	127	177
K	327	294	268	306	253	312	334	322	301	307
1	333	383	359	324	366	324	359	378	354	348
2	398	348	406	357	348	374	334	383	379	367
3	399	403	357	404	357	348	374	332	395	377
4	383	409	414	364	402	358	362	378	328	393
5	366	376	416	427	351	400	347	354	387	327
6	413	381	376	415	426	356	401	358	368	397
7	376	413	392	379	412	416	362	403	371	382
8	389	388	425	392	379	409	431	354	420	378
9	323	373	394	398	380	378	419	435	357	424
10	312	316	387	385	404	379	380	410	443	356
11	335	324	310	373	380	393	400	381	399	459
12	294	324	319	310	374	368	397	387	393	418
Pre-K - 12 Total	4,648	4,732	4,823	4,834	4,832	4,945	5,030	5,028	5,022	5,110
Ungraded	8	4	2	3	3	0	0	0	0	0
Grand Total	4,656	4,736	4,825	4,837	4,835	4,945	5,030	5,028	5,022	5,110

Source: Ohio Department of Education, EMIS; New Albany-Plain Local School District, September 20, 2021 count

New Albany-Plain Local School District Historical Enrollment by Grade Group

			пізіо	ilcai Elliolli	ient by Gra	ue Group				
Grade	2012-13	2013-14	2014-15	2015-16	2016-17	2017-18	2018-19	2019-20	2020-21	2021-22
Pre-K - K	327	294	268	306	253	442	464	475	428	484
1 - 3	1,130	1,134	1,122	1,085	1,071	1,046	1,067	1,093	1,128	1,092
4 - 6	1,162	1,166	1,206	1,206	1,179	1,114	1,110	1,090	1,083	1,117
7 - 8	765	801	817	771	791	825	793	757	791	760
9 - 12	1,264	1,337	1,410	1,466	1,538	1,518	1,596	1,613	1,592	1,657
Pre-K - 12 Total	4,648	4,732	4,823	4,834	4,832	4,945	5,030	5,028	5,022	5,110
Ungraded	8	4	2	3	3	0	0	0	0	0
Grand Total	4,656	4,736	4,825	4,837	4,835	4,945	5,030	5,028	5,022	5,110

Source: Ohio Department of Education, EMIS; New Albany-Plain Local School District, September 20, 2021 count



New Albany-Plain Local School District

High Projection

The high projections indicate an increase of 793 students or approximately 16% over the next ten years.

New Albany-Plain Local School District

Projected Enrollment - High

Grade	2021-22 Actual	2022-23	2023-24	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-31	2031-32
Pre-K	177	194	195	199	185	192	194	196	198	199	201
K	307	336	337	344	320	333	336	339	342	345	348
1	348	362	396	396	405	377	392	396	399	403	406
2	367	367	381	416	417	426	396	413	416	420	424
3	377	374	373	388	424	424	434	403	420	424	428
4	393	387	383	382	397	434	434	444	413	430	434
5	327	395	388	384	383	398	435	436	445	414	431
6	397	338	407	400	397	396	411	449	450	460	428
7	382	412	350	422	415	411	410	426	466	466	477
8	378	393	423	360	434	426	422	421	437	478	479
9	424	383	398	429	364	439	431	428	427	443	484
10	356	432	390	404	436	371	447	439	435	434	450
11	459	368	445	402	417	449	382	460	452	448	447
12	418	478	382	463	418	434	467	397	479	470	466
Pre-K - 12 Total	5,110	5,219	5,248	5,389	5,412	5,510	5,591	5,647	5,779	5,834	5,903

Source: FutureThink

New Albany-Plain Local School District

Projected Enrollment by Grade Group - High

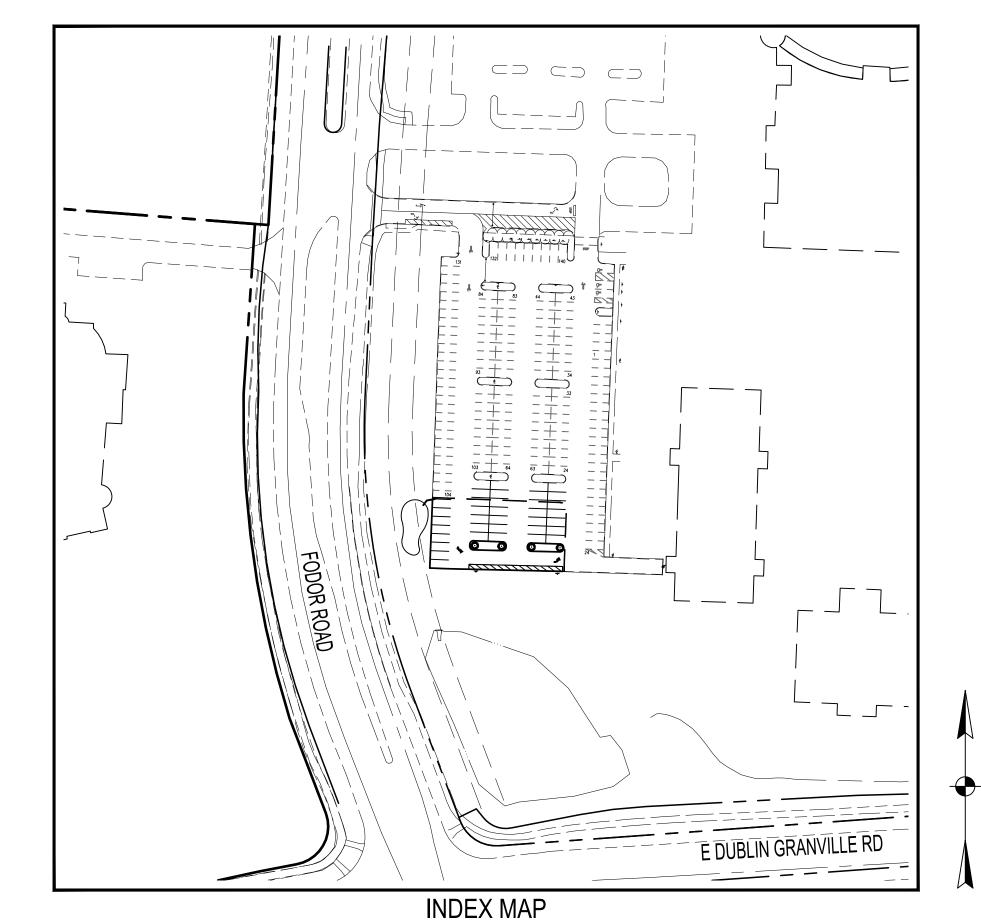
Grade	2021-22 Actual	2022-23	2023-24	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-31	2031-32
Pre-K - K	484	530	532	543	505	525	530	535	540	544	549
1 - 3	1,092	1,103	1,150	1,200	1,246	1,227	1,222	1,212	1,235	1,247	1,258
4 - 6	1,117	1,120	1,178	1,166	1,177	1,228	1,280	1,329	1,308	1,304	1,293
7 - 8	760	805	773	782	849	837	832	847	903	944	956
9 - 12	1,657	1,661	1,615	1,698	1,635	1,693	1,727	1,724	1,793	1,795	1,847
Pre-K - 12 Total	5,110	5,219	5,248	5,389	5,412	5,510	5,591	5,647	5,779	5,834	5,903

Source: FutureThink



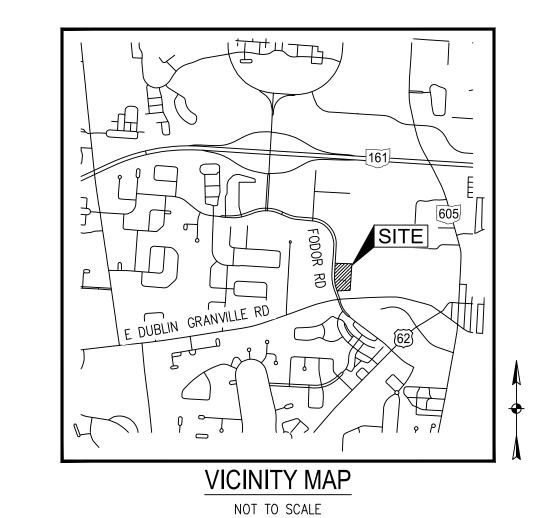
SITE IMPROVEMENT PLANS FOR SOUTH STADIUM PARKING LOT EXPANSION PLAN

NEW ALBANY PLAIN LOCAL SCHOOLS



INDEX OF SHEETS

COVER SHEET	C100
GENERAL NOTES	C101
EXISTING CONDITIONS AND DEMOLITION PLAN	C200
SITE PLAN	C300
UTILITY AND GRADING PLAN	C400
EROSION CONTROL PLAN	C500
EROSION CONTROL NOTES	C501



APPROVALS

SIGNATURES BELOW SIGNIFY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE DESIGN ENGINEER PREPARING THE PLANS.

LE	DATE
LE	DATE
LE	DATE
LE	DATE
LE	DATE
LE	DATE
	3

ENGINEER



AFOWLER@MANNIKSMITHGROUP.COM

CONTACT: ASHLEY FOWLER ADDRESS: 1160 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 614.441.4222

ASHLEY FOWLER, PE REGISTERED PROFESSIONAL ENGINEER

PRELIMINARY NOT FOR CONSTRUCTION

REV	DATE	BY	REVISION DESCRIPTION	PROJECT DATE:	02/24/23
				PROJECT NO.:	N3070001
				C10	١٨
					JU

AND CONSTRUCTION OF A DETENTION BASIN

PROJECT DESCRIPTION

EXTENSION OF EXISTING PARKING LOT WITH IMPROVEMENTS TO THE EXISTING STORM SEWER

BENCH MARKS

ALL BENCH MARKS AND ELEVATIONS SHOWN UPON THIS PLAN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). HORIZONTAL CONTROLS ARE TIED TO GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM, BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH/SOUTH ZONE, NORTH AMERICAN DATUM OF 1983, ALSO KNOWN AS NAD83.

B.M. #1 PUT THE DESCRIPTION OF THE BENCHMARK HERE

B.M. #1 PUT THE DESCRIPTION OF THE BENCHMARK HERE



- ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS.
- WHERE CONFLICT ARISES BETWEEN ALL SPECIFICATIONS (BOOK OR PLAN BASED) INCLUDING NEW ALBANY REQUIREMENTS, THE MORE STRINGENT SPECIFICATION SHALL
- . DATA ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR THE PROJECT AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE OWNER AT ITS DISCRETION RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY AND AT NO ADDITIONAL COST TO THE OWNER.
- THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS.
- 10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR
- 11. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- 12. WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER APPROVE THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE
- 13. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL. MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE
- 15. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
- 16. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.

MAINTENANCE OF TRAFFIC NOTES

- ALL WORK WITHIN RIGHT OF WAY TO INCLUDE TRAFFIC CONTROL IN ACCORD WITH THE <u>OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES</u> AND PER ALL NEW ALBANY REQUIREMENTS. ROAD MUST REMAIN OPEN AT ALL TIMES. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC PLAN AND SUBMIT TO NEW ALBANY AND OWNER FOR APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO COORDINATE ANY NECESSARY LANE CLOSURES WITH NEW ALBANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS. BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS IN ACCORDANCE WITH ODOT REGULATIONS AND/OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM ODOT, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
- ANY ADDITIONAL TRAFFIC CONTROL BEYOND THAT SHOWN ON THE PLANS THAT IS REQUESTED OR REQUIRED BY NEW ALBANY WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE OWNER.

EXISTING CONDITIONS AND DEMOLITION NOTES

- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWNGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ENCOUNTERED ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER. ALL DEMOLISHED MATERIALS SHALL BE TAKEN FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSED OFF-SITE IN ACCORDANCE WITH ALL LAWS. REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF SITE. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT

- - 5. CONTRACTOR SHALL PERFORM ALL CLEARING, GRUBBING, REMOVAL OF TREES, STUMPS, VEGETATION, AND DEBRIS NECESSARY TO PERFORM THE WORK INDICATED HEREIN. THAT CONTRACTOR SHALL LIMIT LAND DISTURBANCE TO ONLY THAT REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.
 - 6. SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
 - 7. THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (2) WORKING DAYS) PRIOR TO THE PRE CONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
 - 8. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING, AND/OR ABATEMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY LISTED ON THE PLANS.
 - 9. MATERIALS NOTED ON THE PLANS TO BE SALVAGED TO OWNER SHALL BE STORED IN AREAS INDICATED ON THE PLANS, OR TO THE OWNERS SATISFACTION.
 - 10. USE SUITABLE METHODS TO LIMIT DUST AND DIRT TO ADJACENT STRUCTURES OR PROPERTY. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF THE DEMOLITION WORK.
 - 11. THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY ITEMS THAT ARE DAMAGED.
 - 12. THE BUILDING PAD AREA IS DEFINED AS THE AREA TWENTY (20) FEET OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, INCLUDING ATTACHED WALKWAYS, CANOPIES, SIDEWALKS, LOADING DOCKS, UTILITY PADS, AND ANY OTHER SUCH APPURTENANCES.
 - 13. ANY AND ALL DAMAGE TO EXISTING PAVEMENT WITHIN THE LAYDOWN AREA SHALL BE REPAIRED.

THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES NOT

ALL UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION SHALL REMAIN INTACT.

MARKED FOR REMOVAL OR RELOCATION AT THEIR SOLE EXPENSE.

LAYOUT AND PAYING NOTES

- 1. THE CONTRACTOR SHALL CONFINE THEIR ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHT-OF-WAYS, AND CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- 2. THE CONTRACTOR SHALL MAKE THEIR OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.
- 3. THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT.
- 4. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- 5. ALL CURB RAMPS, SIDEWALKS, AND PARKING AREAS REQUIRED FOR ACCESSIBILITY SHALL SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990.
- 6. ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL SUBMIT A JOB-MIX FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
- 7. ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC FLOW IN ALL DRIVE LANES WITHIN PARKING FIELDS.
- 8. DO NOT PLACE MIX ON FROZEN OR WET SURFACES, OR WHEN PRECIPITATION IS
- 9. DO NOT PLACE MIX WHEN AIR OR SURFACE TEMPERATURE IS BELOW THE FOLLOWING: BINDER COURSE AND WALKS — 40° F — WEARING COURSE, ROADWAYS AND PARKING AREAS - 50° F
- 10. ANY MATERIAL DELIVERED TO THE SPREADER HAVING A TEMPERATURE LOWER THAN 250° F SHALL NOT BE USED.
- 11. THE MINIMUM ROLLER WEIGHT FOR PAVEMENT SHALL BE TEN (10) TON. ALL COURSES SHALL BE COMPACTED TO A MINIMUM OF NINETY-THREE (93%) PERCENT OF THEORETICAL MAXIMUM DENSITY (TMD).
- 12. ALL PAVEMENT MARKINGS, SIGNS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL SIGNS SHALL BE CONSTRUCTED OF FLAT SHEET ALUMINUM IN ACCORDANCE WITH STATE HIGHWAY SPECIFICATIONS. STEEL SIGN POSTS SHALL BE USED AND CONFORM TO ASTM A36 OR ASTM A441 AND SHOULD BE GALVANIZED IN ACCORDANCE WITH AASHTO M111.
- 13. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE 50° F MINIMUM. APPLY TWO (2) COATS.
- 14. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
- 15. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS. 16. DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
- 17. A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED FROM THE FACE OF CURB AND ANY PART OF A LIGHT POLE OR TRAFFIC SIGN. 18. CONTRACTOR SHALL SAW-CUT IN A NEAT, STRAIGHT LINE FOR SMOOTH TRANSITIONS
- AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY 19. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES
- OF JOINTING TOOL. 20. CONTRACTOR SHALL SAWCUT TIE-INS AT EXISTING CURBS TO ENSURE SMOOTH

TRANSITIONS. CONTRACTOR SHALL SAWCUT AND TRANSITION TO EXISTING PAVEMENT

- TO ENSURE POSITIVE DRAINAGE. 21. ALL CONCRETE SHALL BE 6% (+/-1½%) AIR ENTRAINED, 3/4" AGGREGATE AND CONFORM TO A 28 DAY STRENGTH OF 4,000 PSI MINIMUM AND SHALL HAVE A MAXIMUM W/C OF 0.50. ALL CONCRETE SHALL BE MADE WITH TYPE I OR TYPE II
- CEMENT UNLESS OTHERWISE SPECIFIED. 22. ALL SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH. VERTICAL FACES SHALL BE FORMED.
- 23. BASE AND ASPHALT THICKNESS SPECIFIED ARE THE MINIMUM REQUIRED.
- 24. ALL CURB RADII ARE 4', UNLESS OTHERWISE NOTED. FOR CURBED ISLANDS SHOWN WITH ONE LABELED RADIUS, THE LABELED RADIUS SHALL APPLY TO ALL FOUR CORNERS OF THE ISLAND.
- 25. ALL CONCRETE FOR CURBS SHALL BE AIR ENTRAINED TO BE 6% (+/-1½%), MADE WITH SAND AND GRAVEL AGGREGATE AND SHALL CONFORM TO A TWENTY EIGHT (28)

- DAY STRENGTH OF 4,500 PSI MINIMUM, SHALL HAVE A MAXIMUM W/C OF 0.40 AND 130 LBS/LF.
- 26. CONTRACTOR SHALL INSTALL ALL CURBING IN A TRUE LINE AND PROPER GRADE IN ACCORDANCE WITH THE APPROVED SITE PLANS AND APPROPRIATE STATE DOT SPECIFICATIONS. CURVED CURB SECTIONS SHALL BE USED FOR RADII LESS THAN 30'. ALL CURBING SHALL BE BACKFILLED WITH CLEAN AGGREGATE.
- 27. CONTRACTOR SHALL REPAIR ANY CURB DAMAGED DURING CONSTRUCTION ACTIVITIES.
- 28. ALL CURBS SHALL BE FULL DEPTH CONCRETE CURB WITH 6" REVEAL, UNLESS
- 29. BUILDING FOOTPRINTS ARE SHOWN FOR INTENT ONLY. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR BUILDING FOUNDATION AND WALL DIMENSIONS.
- 30. CONTRACTOR TO COORDINATE TRANSFORMER AND GENERATOR PAD DIMENSIONS AND
- SPECIFICATIONS WITH MEP PLANS AND ELECTRIC PROVIDER PRIOR TO CONSTRUCTION. 31. SEE ARCHITECTURAL PLANS FOR FROST SLAB DETAILS AND SPECIFICATIONS.
- 32. CONTRACTOR TO INSTALL ALL UTILITY PIPING, SEWERS, CONDUIT PRIOR TO PAVING OPERATIONS. CONTRACTOR TO COORDINATE ALL SITE UTILITIES WITH UTILITY PLAN, AND MEP PLANS.

GENERAL GRADING & DRAINAGE NOTES:

- 1. PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE NEW ALBANY ENGINEERING DEPARTMENT AND THE CONSTRUCTION MANAGER.
- 2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- 4. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
- 5. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- 6. THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL
- 7. THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- 8. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- 9. THE CONTRACTOR SHALL VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS. 10. SPOT ELEVATIONS SHOWN DEPICT THE PROPOSED PAVEMENT OR GROUND SURFACE
- OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS OTHERWISE NOTED. TOP OF ALL CONCRETE CURBING IS 6-INCHES ABOVE SPOT ELEVATIONS UNLESS OTHERWISE
- 11. IT IS THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO CONFIRM/CONCUR WITH THE EXISTING GRADES SHOWN HEREIN. THE CONTRACTOR MUST CONFIRM ALL EXISTING GRADES PRIOR TO ANY/ALL EXCAVATION.
- 12. THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY PROVISION OF A TOPOGRAPHIC SURVEY BY A STATE OF OHIO REGISTERED PROFESSIONAL SURVEYOR, PRIOR TO ANY EARTH DISTURBING ACTIVITIES. IN THE ABSENCE OF THE PROVISION OF TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES SHOWN HEREON WILL BE THE "TOPOGRAPHY OF RECORD" FOR ANY AND ALL SOIL VOLUME DISPUTES.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL IMPORT/EXPORT NECESSARY TO ACHIEVE THE PROPOSED GRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL STATE AND LOCAL REQUIREMENTS ASSOCIATED WITH IMPORTING SOIL FROM ANOTHER SITE.
- 14. ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING AS PER ODOT 671 TYPE F.
- 15. ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT (INCLUDING SIDEWALKS). SUBJECT TO SETTLEMENT. WILL BE BACK FILLED WITH PREMIUM BACKFILL AS DEFINED HEREIN. AT QUESTIONABLE AREAS THE DECISION OF THE ENGINEER, OR THEIR REPRESENTATIVE, WILL PREVAIL.
- 16. PAVEMENT EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH ITEM 203.12 OF OHIO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. THE CONTRACTOR MAY BE REQUIRED TO MAKE COMPACTION TESTS. TESTS SHALL BE TAKEN BY A TESTING COMPANY APPROVED BY THE ENGINEER. THE COST OF THESE TESTS SHALL BE PAID BY THE CONTRACTOR. "PROOF" ROLLING WILL BE REQUIRED PRIOR TO PAVING AND SHALL BE CONDUCTED PRIOR TO PLACEMENT OF AGGREGATE BASE AND PERFORMED WITH THE OWNER'S INSPECTOR PRESENT AND PAID FOR BY THE CONTRACTOR.

GENERAL UTILITY NOTES:

- 1. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS, ELECTRICAL AND TELECOMMUNICATIONS CONDUIT, AND GAS LINES SHOWN ON THESE PLANS WITH THE ARCHITECTURAL AND M.E.P. PLANS PRIOR TO START OF CONSTRUCTION.
- 2. IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
- 3. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
- 4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- 5. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
- 6. THE CONTRACTOR SHALL ARRANGE FOR COORDINATE TEMPORARY UTILITY OUTAGES WITH APPLICABLE UTILITY COMPANY AND CITY AND NOTIFY NEIGHBORING EFFECTED OWNERS NO LESS THAN 72 HOURS PRIOR TO PLANNED OUTAGE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- 7. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER,

- LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN
- 8. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- 9. RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
- 10. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE OHIO ENVIRONMENTAL PROTECTION AGENCY, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- 11. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
- 12. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF LOCAL MUNICIPALITY AND THE DETAILS CONTAINED HEREIN.
- 13. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- 14. SANITARY LATERAL AND STORM SEWERS SHALL MAINTAIN 10-FOOT MIN. HORIZONTAL AND 1.5-FOOT MIN. VERTICAL SEPARATION DISTANCE FROM WATER LINES. A 1-FOOT MIN. VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UTILITIES INCLUDING GAS, ELECTRICAL AND TELEPHONE. ADDITIONAL PROTECTION MEASURES INCLUDING, BUT NOT LIMITED TO, CONCRETE PIPE ENCASEMENT MAY BE REQUIRED IF INDICATED CLEARANCES ARE NOT MET.
- 15. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- 16. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
- 17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- 18. UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS
- 19. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
- 20. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE. ALL TOP OF CASTING ELEVATIONS SHOWN IN THE PLANS FOR CURB INLETS ARE AT THE TOP OF CURB.
- 21. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CONSTRUCTION MANAGER AND IF ALLOWED BY THE NEW ALBANY AND/OR COUNTY ENGINEERS.
- 22. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF WATER MAINS & SERVICES TO A POINT 5' OUTSIDE OF EACH BUILDING. THE INDIVIDUAL BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONNECTIONS TO INTERIOR
- 23. CONTRACTOR TO REFERENCE SITE ELECTRICAL PLAN FOR LOCATION OF ELECTRIC CONDUIT FOR ALL SITE ELECTRICAL WORK.
- 24. CONTRACTOR TO REFERENCE MEP SITE PLAN FOR ALL ELECTRICAL AND
- COMMUNICATION CONDUIT RUNS PRIOR TO START OF CONSTRUCTION. 25. ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH NEW ALBANY STANDARDS AND REGULATIONS. THE NEW ALBANY ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE FOR SCHEDULING OF AN INSPECTOR.
- 26. CONTRACTOR TO INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER UTILITY PROVIDER'S MINIMUM STANDARDS.

STORM UTILITY NOTES

- 1. NORTHINGS AND EASTINGS FOR CATCH BASINS, AREA DRAINS, AND MANHOLES GIVEN IN SITE PLANS ARE UNDERSTOOD TO REPRESENT THE CENTER OF THE INLET STRUCTURE. COORDINATES AT CURB INLETS ARE TO BE AT THE FACE OF CURB.
- HEADWALL COORDINATES ARE AT THE FACE. 2. ALL CATCH BASINS/MANHOLES, UNLESS STATED OTHERWISE IN STRUCTURE SCHEDULE SHALL BE AS FOLLOWS OR APPROVED EQUAL:
- CURB INLETS: EAST JORDAN IRON WORKS 7045 WITH TYPE M1 SINUSOIDAL GRATE AND 7050 T1 BACK. ALL CATCH BASINS SHOWN ADJACENT TO CURBS ARE TO BE

CATCH BASINS IN ASPHALT PAVEMENT: EAST JORDAN IRON WORKS 5100 WITH TYPE

SANITARY SEWER MANHOLE: EAST JORDAN IRON WORKS 1040 HEAVY DUTY CASTING

- CATCH BASINS IN CONCRETE PAVEMENT: EAST JORDAN IRON WORKS 5110 WITH TYPE M3 HEAVY DUTY SINUSOIDAL GRATE.
- 2.4. CATCH BASINS IN GRASS: EAST JORDAN IRON WORKS 6500 BEEHIVE DITCH GRATE.
- AND COVER WITH TYPE A SOLID COVER WITH "SANITARY SEWER" ON COVER. 3. ALL STORM SEWER PIPES SHALL BE HDPE OR PVC UNLESS STATED OTHERWISE ON THE PLANS.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE SHALL HAVE A SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND MEET THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS: AASHTO M252, TYPE S FOR 4-INCH THROUGH 10-INCH PIPE, AASHTO M294, TYPE S FOR 12-INCH THROUGH 36-INCH PIPE, ASTM F2306 FOR 12-INCH THROUGH 60-INCH PIPE, OR ASTM F2648 FOR 4-INCH THROUGH 60" PIPE. JOINTS SHALL BE SILT-TIGHT BELL AND SPIGOT CONNECTIONS. HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- POLY VINYL CHLORIDE (PVC) PIPE FOR STORM SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC PIPE SHALL CONFORM TO ASTM D3034 SDR35 WITH COMPRESSION JOINTS AND APPROPRIATE FITTINGS. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- RE-INFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.

4. ALL STORM SEWERS, INLET BASINS AND MANHOLES SHALL BE CLEANED PRIOR TO ACCEPTANCE.

- 1. THE LOCATION, SIZE, AND DEPTH OF THE EXISTING SANITARY LATERAL OR MAIN SHALL BE VERIFIED IN THE FIELD IN THE PRESENCE OF THE NEW ALBANY INSPECTOR. THE SLOPE OF THE LATERAL TO THE BUILDING WILL THEN BE DETERMINED. NEW ALBANY MUST APPROVE THE TYPE AND LOCATION OF ANY CONNECTION PRIOR TO INSTALLATION. THE EXISTING SANITARY LATERAL SHALL BE TELEVISED PRIOR TO INSTALLATION OF ANY SANITARY SEWER SYSTEM COMPONENTS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IS THE EXISTING LATERAL IS NOT FOUND TO BE IN GOOD CONDITION.
- 2. SANITARY LATERAL SHALL BE A MINIMUM 6" DIAMETER OF PVC PIPE, ASTM D3034 SDR 26 WITH RUBBER GASKET JOINTS OR APPROVED EQUAL. LATERALS SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE, AND HAVE A MINIMUM OF 3 FT. COVER. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- 3. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- 4. MANHOLE SECTION AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
- 5. THE CONTRACTOR SHALL TEST FLEXIBLE PIPING FOR DEFLECTION THAT PREVENTS PASSAGE OF BALL OR CYLINDER OF SIZE NOT LESS THAN 95 PERCENT OF PIPING DIAMETER. DEFLECTION OF 5% SHALL NOT BE EXCEEDED.
- 6. THE CONTRACTOR SHALL TEST SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. PERFORM AIR TESTS ON SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION IN ACCORDANCE WITH UNI-B-6. TEST PLASTIC GRAVITY SEWER PIPING ACCORDING TO ASTM F 1417 AND CONCRETE GRAVITY SEWER PIPING ACCORDING TO ASTM C-924.
- 7. THE CONTRACTOR SHALL PERFORM HYDRAULIC TEST IN MANHOLES ACCORDING TO ASTM C-969.

WATER UTILITY NOTES

- 1. ALL BACK FLOW PREVENTION DEVICES SHALL BE APPROVED BY NEW ALBANY'S UTILITY DEPARTMENT.
- 2. ALL FIRE SERVICE MAINS SHALL BE INSTALLED BY AN INDIVIDUAL WITH APPROPRIATE CERTIFICATION BY THE STATE OF OHIO.
- OBSTACLE AND THE DEFLECTION WILL BE GREATER THAN 18", THE USE OF BENDS WILL BE REQUIRED TO CLEAR THE OBSTACLE AND BRING THE WATER MAIN UP TO THE STANDARD FIVE (5) FEET OF COVER. 4. WATER MAIN SHALL BE MANUFACTURED AND TESTED IN ACCORDANCE WITH AWWA

3. IN THOSE AREAS WHERE IT IS REQUIRED TO LOWER THE WATER LINE TO CLEAR AN

- STANDARD C900 FOR POLYVINYL CHLORIDE (PVC) PRESSURE PIPE AND FABRICATED FITTINGS, 4-INCH, THROUGH 12-INCH, FOR WATER DISTRIBUTION, OR AWWA STANDARD C909 FOR MOLECULARLY ORIENTED POLYVINYL CHLORIDE (PVCO) PRESSURE PIPE. 4-INCH THROUGH 12-INCH, FOR WATER DISTRIBUTION AND CLEARLY MARKED AS SUCH. PVC WATER PIPE SHALL BE CERTIFIED TO NSF INTERNATIONAL STANDARD NO. 61.
- 5. WATER METER AND BACKFLOW PREVENTER TO BE INSTALLED WITHIN THE BUILDING. REFERENCE BUILDING PLANS FOR DETAIL.
- 6. MINIMUM DEPTH OF WATER MAIN COVER SHALL BE FIVE (5) FEET BELOW FINISH

- 1. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- 2. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER.
- 3. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER AT ALL CROSSINGS.

4. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE

MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER. 5. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER AT ALL CROSSINGS.

BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.

MUNICIPALITY, AND STATE.

- SITE MAINTENANCE & RESTORATION NOTES 1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION, POLLUTION. AND DUST CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. REFERENCE THE SWPPP PLAN, NOTES AND DETAILS.
- 2. MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
- 3. ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE NEW ALBANY REQUIREMENTS. 4. ALL DISTURBANCE INCURRED TO CITY OR STATE PROPERTY DUE TO CONSTRUCTION

SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION

- OF THE CITY, LOCAL, AND/OR STATE DOT. 5. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES. PIPE. UTILITY. PAVEMENT. CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, LOCAL
- FINAL CLEANUP: THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL SURFACES, STRUCTURES, DITCHES AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE GOVERNMENTAL AND REGULATORY AGENCIES.

DUBL SUITE MBUS 614.4 888.2 DATE

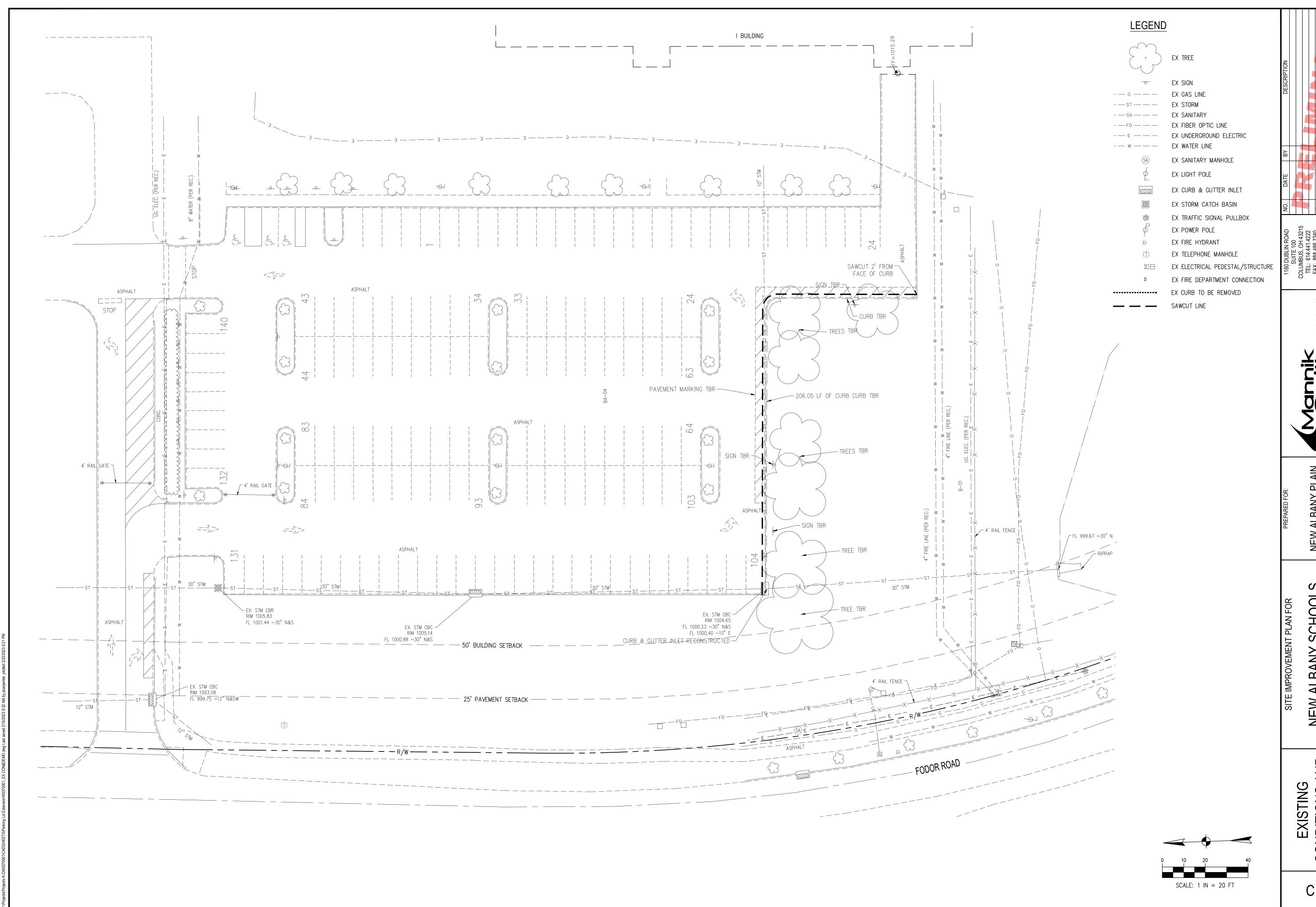


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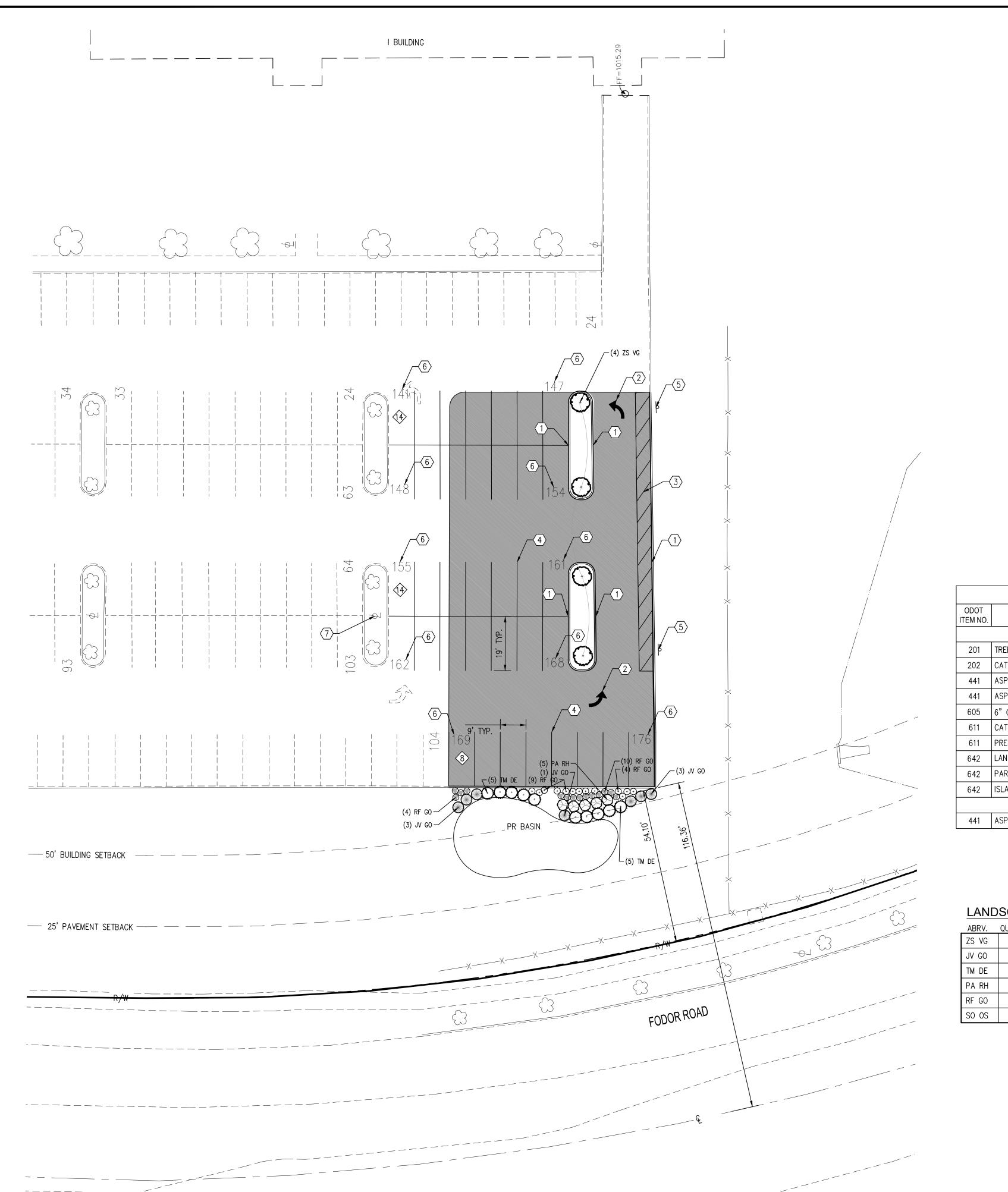
NEW ALBANY PLAIN LOCAL SCHOOLS

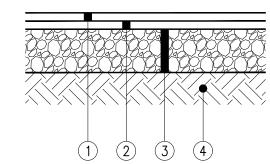
Y SCHOOLS • EXPANSION

NEW ALBANY (PARKING LOT E

EXISTING CONDITIONS AND DEMOLITION PLAN

C100





LIGHT DUTY ASPHALT

- 1) ITEM 441, 1-1/2" ASPHALT CONCRETE, SURFACE COURSE
- (2) ITEM 441, 2" ASPHALT CONCRETE, INTERMEDIATE COURSE
- (3) ITEM 304, 8" CRUSHED AGGREGATE BASE
- 4 SUBGRADE COMPACTION

ALTERNATE LIGHT DUTY ASPHALT

- 1) ITEM 441, 2" ASPHALT CONCRETE, SURFACE COURSE (2) ITEM 441, 2.5" ASPHALT CONCRETE, INTERMEDIATE COURSE
- (3) ITEM 304, 8" CRUSHED AGGREGATE BASE
- 4 SUBGRADE COMPACTION
- ALL PAVEMENT MATERIALS SHALL CONFORM TO THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

PAVEMENT SECTIONS PROVIDED FOR REFERENCE ONLY. SEE SUBGRADE EXPLORATION REPORT DATED 01/18/23 FOR PAVEMENT RECOMENDATIONS

PAVEMENT SECTIONS NOT TO SCALE

LEGEND

PR PARKING LOT EXTENSION



PARKING COUNTS

CODED NOTES

PR STRAIGHT 18" CURB PER DETAIL THIS SHEET

PR TREE

- 2 PR PAVEMENT MARKINGS
- 3 PR FIRE LANE MARKINGS
- 4 PR PARKING STRIPPING
- 5 PR FIRE LOOP SIGN
- 6 PR PARKING SPACE NUMBERING
- EXISTING SINGLE HEAD FIXTURE TO BE REPLACE BY DOUBLE HEAD FIXTURE MATCHING EXISTING (OR APPROVED EQUAL)

CLASS "C" CONCRETE 1/4"R 6" 6" PROPOSED PAVEMENT SECTION	
6" MIN 7" #8 OR #57 8" MIN ALTERNATE UNDERDRAIN LOCATION PER TYPICAL SECTION AND/OR AS DIRECTED BY ENGINEER 6" 15" 6" 4" PIPE UNDERDRAIN	

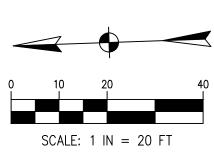
18" STRAIGHT CONCRETE CURB NOT TO SCALE

	SCHEDULE OF QUANTITIES		
ODOT EM NO.	DESCRIPTION	QTY	UNIT
	SOUTH STADIUM PARKING LOT EXPANSION	•	
201	TREE REMOVED	7	EA
202	CATCH BASIN OR INLET REMOVED	1	EA
441	ASPHALT SURFACE COURSE, TYPE 1, (448), PG64-22	42	CY
441	ASPHALT INTERMEDIATE COURSE, TYPE 2, (448), PG64-22	57	CY
605	6" CONSTRUCTION UNDERDRAINS	200	LF
611	CATCH BASIN	1	EA
611	PRECAST REINFORCED CONCRETE OUTLET	1	EA
642	LANE ARROW, TYPE	2	EA
642	PARKING LOT STALL MARKING, TYPE	734	LF
642	ISLAND MARKING, TYPE	489	SF
	SOUTH STADIUM PARKING LOT EXPANSION OPTION A	•	
441	ASPHALT SURFACE COURSE, TYPE 1, (448), PG64-22 (ADDITIONAL 1")	29	CY

SITE DATA				
PARCEL ID NUMBE	ER:		222-000922-00	
SITE ADDRESS:	7520 FODOR	ROAD, NEW	ALBANY OHIO, 43054	
ZONING:			UC (URBAN CENTER)	
ADJACENT ZONING	} :		UC (URBAN CENTER)	
SETBACKS:				
	FRONT	SIDE		
BUILDING	50'	NA		
PAVEMENT	25'	NA		
PARKING:				
	REQUIRED	PROVIDE	ED	
ADA	6	3		
TOTAL	NA	185		
BIKE PARKING:				
	REQUIRED	PROVIDE	ED	
	14	27		

LANDSCAPE PLANT LIST

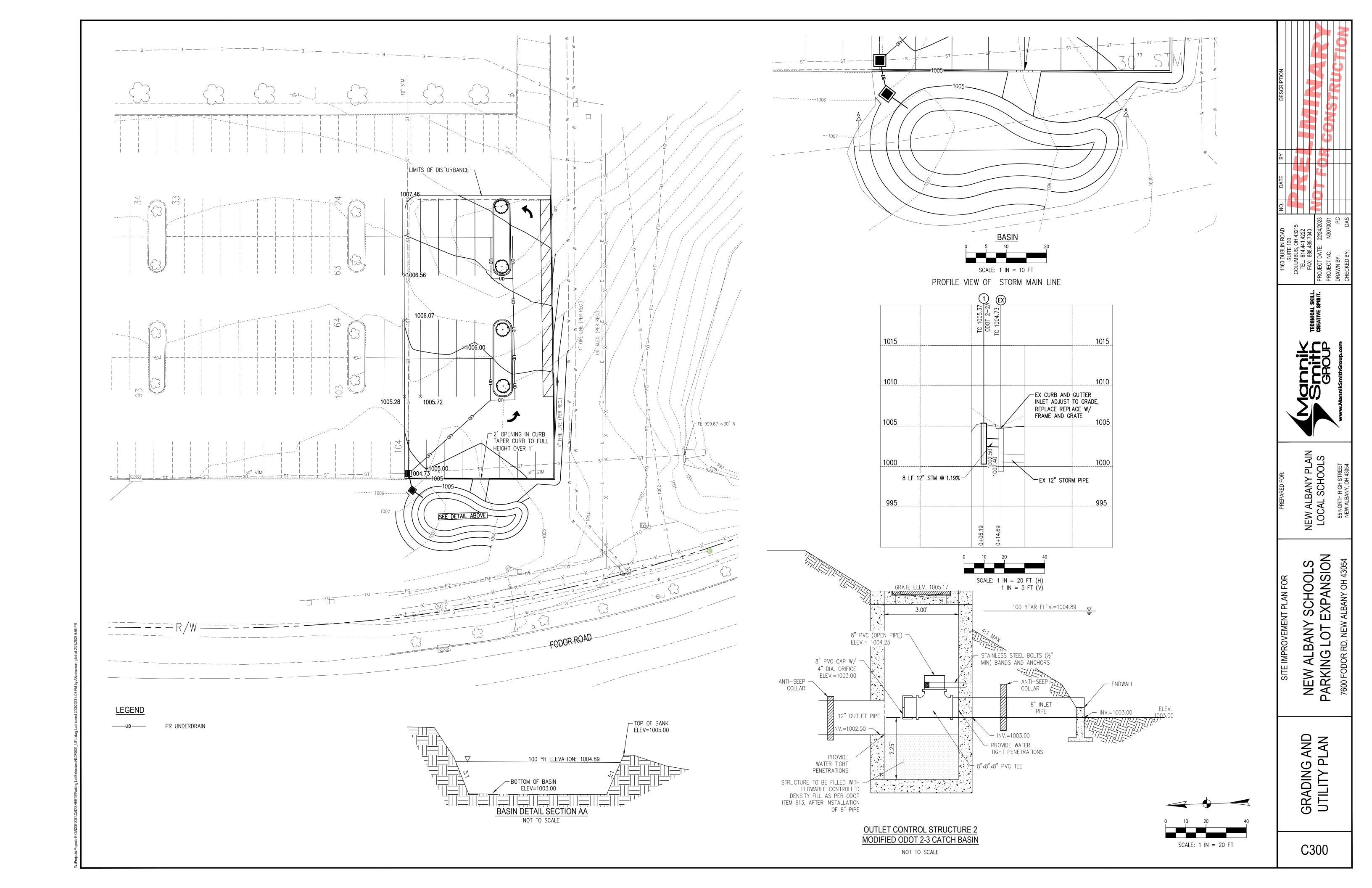
	E WAS COLUMN TO THE COLUMN TO					
ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
ZS VG	4	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	1.5" CALIPER	B&B	DECIDUOUS TREE
JV GO	7	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	30" HEIGHT	CONTAINER	EVERGREEN SHRUB
TM DE	10	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	30" HEIGHT	CONTAINER	EVERGREEN SHRUB
PA RH	5	PENNISETUM ALOPECUROIDES 'RED HEAD'	'RED HEAD' FOUNTAIN GRASS'	3 GALLON	CONTAINER	ORNAMENTAL GRASS
RF GO	13	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	1 GALLON	CONTAINER	FLOWERING PERENNIAL
S0 0S	14	SYMPHYOTRICHUM OBLONGIFOLIUM 'OCTOBER SKIES'	OCTOBER SKIES AROMATIC ASTER	1 GALLON	CONTAINER	FLOWERING PERENNIAL



NEW ALBANY PLAIN LOCAL SCHOOLS

SITE PLAN & LANDSCAPE PLAN

C200



EROSION CONTROL GENERAL NOTES:

OEPA NPDES PERMIT: XX*XXXXXXX

IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN THE SEDIMENTATION AND EROSION CONTROL FEATURES ON THIS PROJECT. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A CONTROL SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

NOT ALL EROSION CONTROL MEASURES SHOWN WILL BE IN USE AT THE SAME TIME. PHASING SHALL BE DETERMINED BY THE CONTRACTOR AND EROSION CONTROL DEVICES SHALL BE MODIFIED ACCORDINGLY

STREET CLEANING (ON AND AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING, AND, IF NECESSARY, MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL

DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF NEW ALBANY REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.

- ALL INLETS RECEIVING FLOW FROM RUNOFF, PUMPING ACTIVITIES, OR OTHER DIRECT DISCHARGES SHALL BE FITTED WITH AN INLET PROTECTION DEVICE THAT IS PROPERLY SIZED AND SECURED TO REDUCE THE DISCHARGE OF SEDIMENT INTO THE STORM SEWER SYSTEM AND RECEIVING STREAM. INLET PROTECTION IS REQUIRED ON ALL INLETS RECEIVING DISCHARGE REGARDLESS OF WHETHER OR NOT-THE INLET IS TRIBUTARY TO ANY DOWNSTREAM EROSION AND SEDIMENT CONTROLS.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF NEW ALBANY AND/OR THE OEPA.

TEMPORARY AND PERMANENT SEEDING

THE LIMITS OF SEEDING AND MULCHING ARE ASSUMED TO BE 5'-0" OUTSIDE THE WORK LIMITS. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

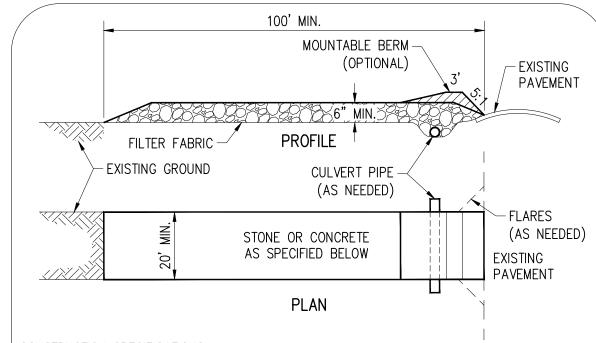
TEMPORARY SEEDING: ANY AREA WHICH WILL BE LEFT DORMANT (UNDISTURBED) FOR MORE THAN 21 DAYS SHALL BE SEEDED WITHIN 7 DAYS OF TERMINATED WORK. DISTURBED AREAS WITHIN 50 FEET OF A STREAM, FIRST ORDER OR LARGER, SHALL BE STABILIZED WITHIN 2 DAYS OF INACTIVITY. TEMPORARY SEEDING CONSISTS OF SEEDBED PREPARATION AND APPLICATION OF SEED, FERTILIZER, AND WATER. SOIL TEST IS RECOMMENDED TO DETERMINE PROPER APPLICATION RATE OF FERTILIZER AND IF LIME IS NECESSARY.

FERTILIZER: 12-12-12	12 LB / 1000 SQ. FT.		
STRAW MULCH	2 TONS / ACRE		
WATER	300 GAL. / 1000 SQ. FT.		

TEMPORARY SEEDING			
SEEDING DATES	SPECIES	LB/1000 SQ. FT.	PER ACRE
MARCH 1 TO NOVEMBER 1	OATS	3	4 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
	PERINNEAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
NOVEMBER 1 TO MARCH 1 USE MULCH ONLY, SODDING PRACTICES, OR DORMANT SEEDING			RMANT SEEDING
NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED			

PERMANENT SEEDING: ANY AREA THAT IS AT FINAL GRADE SHALL BE SEEDED WITHIN 7 DAYS OF TERMINATED WORK. PERMANENT SEEDING CONSISTS OF SEEDBED PREPARATION AND APPLICATION OF SEED, FERTILIZER, AND WATER, SOIL TEST IS RECOMMENDED TO DETERMINE PROPER APPLICATION RATE OF FERTILIZER AND IF LIME IS NECESSARY. IDEAL CONDITIONS FOR PERMANENT SEEDING IS MARCH 1-MAY 31 AND AUGUST 1-SEPTEMBER 30.

PERMANENT SEEDING				
SEED MIX	SEEDING RATE		NOTES	
SEED MIX	LB / ACRE	LB/1000 SQ. FT.	NOTES	
	GENERAL USE			
CREEPING RED FESCUE	20 - 40	1/2 - 1		
DOMESTIC RYEGRASS	10 - 20	1/4 - 1/2		
KENTUCKY BLUEGRASS	10 - 20	1/4 - 1/2		
TALL FESCUE 40 1				
DWARF FESCUE	40	1		
NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED				

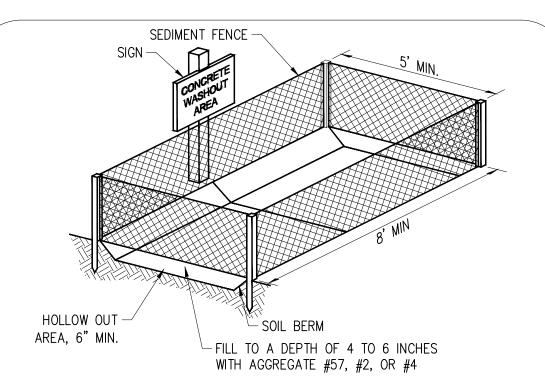


CONSTRUCTION SPECIFICATIONS:

- STONE SIZE USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- 2. LENGTH A MINIMUM OF 100'
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TWENTY (20) FEET MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- 5. FILTER FABRIC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES SHALL BE PERMITTED. COST OF PIPE SHALL BE INCLUDED IN THE PRICE BID FOR THE STABILIZED CONSTRUCTION ENTRANCE.
- . MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PROTECT THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- B. WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

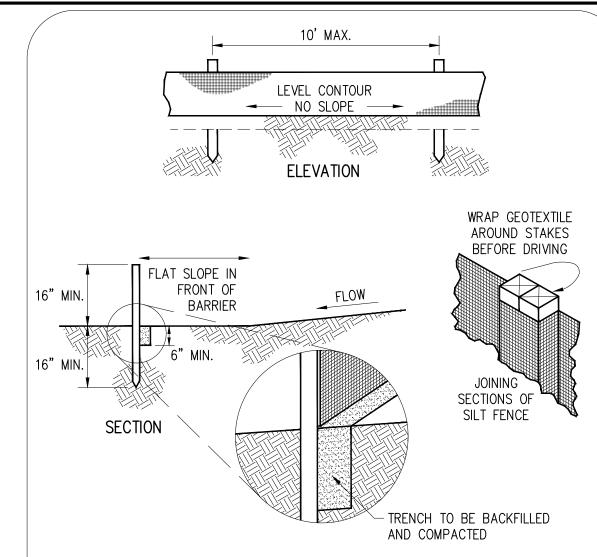
NOT TO SCALE



- . CONCRETE TRUCKS SHALL UTILIZE AREAS TO WASH OUT TRUCK CHUTES
- 2. ACCUMULATED CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY
- 3. THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS IN THE CITY OF NEW ALBANY

CONCRETE WASHOUT AREA

NOT TO SCALE



SPECIFICATIONS FOR SILT FENCE

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS. 2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- 3. ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- 4. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- 6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 7. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE. A MINIMUM OF 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- 9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
- 10. MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC OR AROUND THE FENCE ENDS, OR IN ANY OTHER WAY ALLOWS A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3)OTHER PRACTICES SHALL BE INSTALLED.
- SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.
- SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

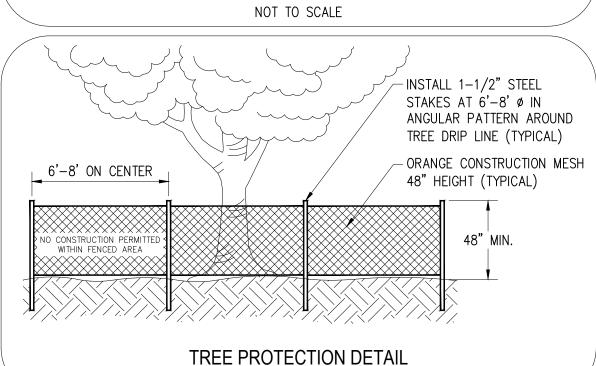
CRITERIA FOR SILT FENCE MATERIALS

- . FENCE POST THE LENGTH SHALL BE A MINIMUM OF 32 INCHES. WOOD POSTS WILL BE 2-BY-2-IN. NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE, IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.
- CILT FENCE EXPOIC SEE CHART DELOW

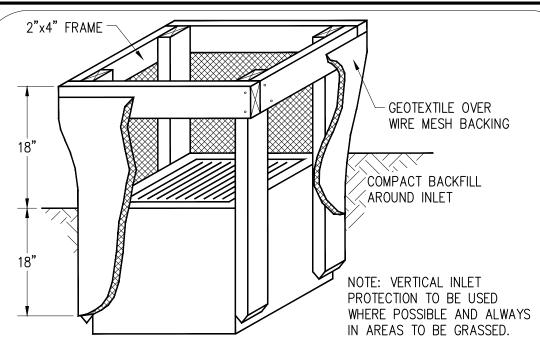
SILT FENCE FABRIC - SEE CHART BELOW.				
FABRIC PROPERTIES	VALUES	TEST METHOD		
Minimum Tensile Strength	120 lbs (535 N)	ASTM D 4632		
Maximum Elongation at 60 lbs	50%	ASTM D 4632		
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4833		
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533		
Apparent Opening Size	0.84 mm	ASTM D 4751		
Minimum Permittivity	$1x10^{-2} \text{ sec}^{-1}$	ASTM D 4491		
UV Exposure Strength Retention	70%	ASTM G 4355		

* NOTE: THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE IN LINEAR INSTALLATIONS.

SEDIMENT FENCE BARRIER



NOT TO SCALE

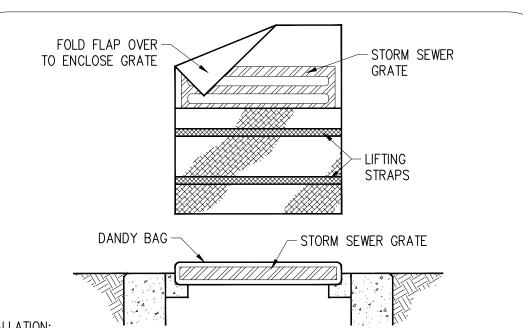


CONSTRUCTION SPECIFICATIONS:

- 1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL
- 2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST
- 3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
- 4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6—INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- 7. A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

FILTER FABRIC INLET PROTECTION

NOT TO SCALE

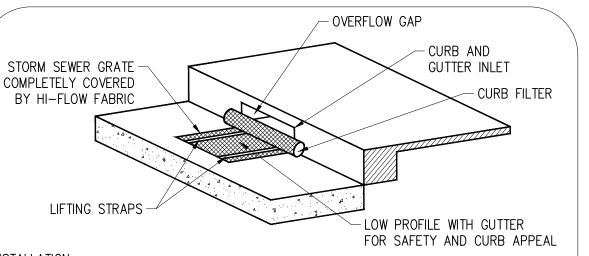


INSTALLATION:

STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK IN FLAP. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO THE CATCH BASIN FRAME SO THAT THE RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

USING A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL, REMOVE SILT AND OTHER DEBRIS OFF SURFACE AFTER EACH EVENT.

INLET PROTECTION - DANDY BAG™ NOT TO SCALE



STAND GRATE ON END. SLIDE THE DANDY CURB BAG ON WITH DAM ON TOP OF THE GRATE. PULL ALL EXCESS DOWN. LAY UNIT ON ITS SIDE. CAREFULLY TUCK FLAP IN. PRESS VELCRO STRIPS TOGETHER. INSTALL THE UNIT MAKING SURE FRONT EDGE OF GRATE IS INSERTED IN FRAME FIRST THEN LOWER BACK INTO PLACE. PRESS VELCRO DOTS TOGETHER WHICH ARE LOCATED UNDER LIFTING STRAPS. THIS INSURES STRAPS REMAIN FLUSH WITH GUTTER.

USING A STIFF BRISTLE BROOM, SWEEP SILT AND OTHER DEBRIS OFF SURFACE AFTER EACH

DANDY CURB BAG™ NOT TO SCALE



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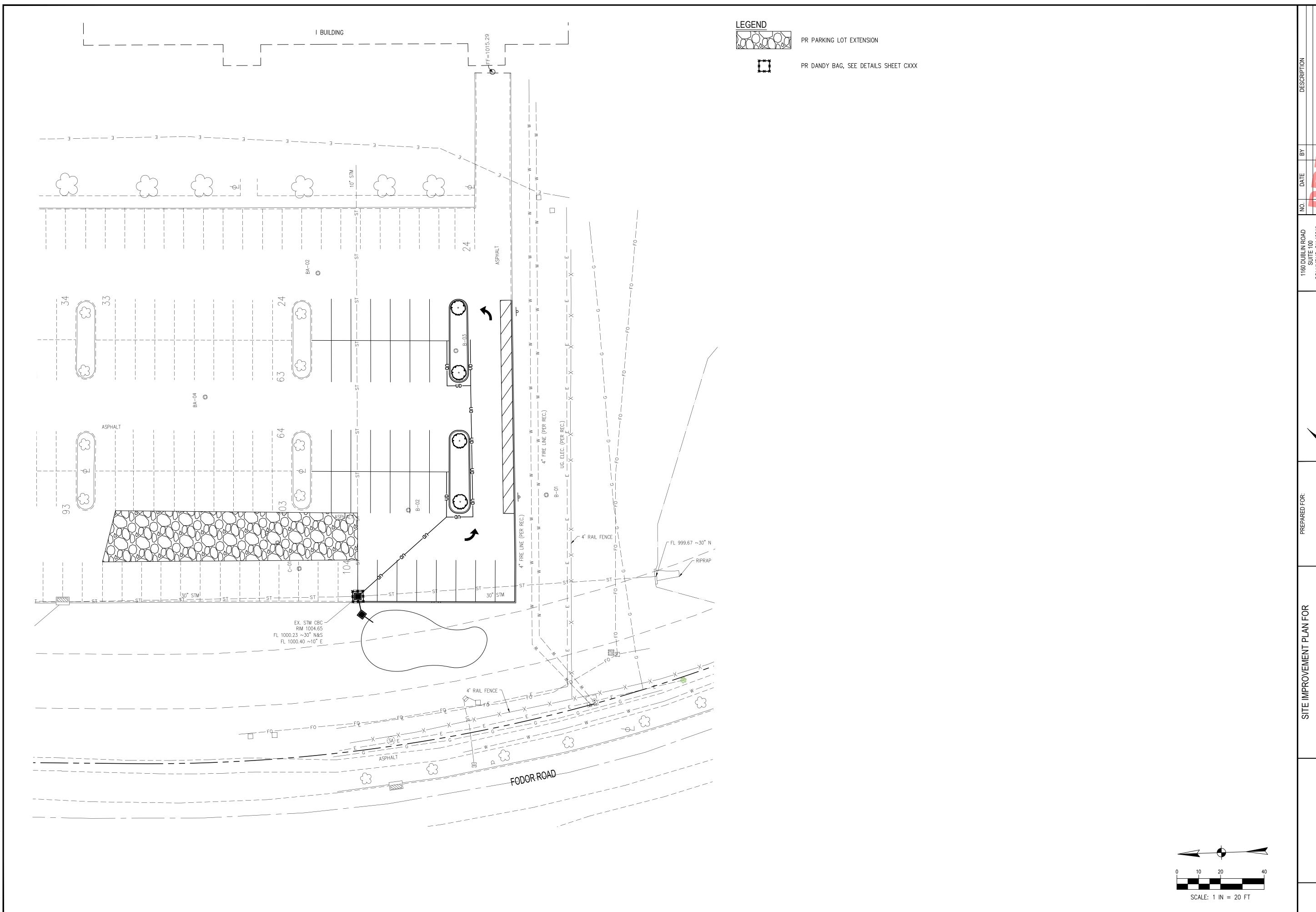
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NEW ALBANY PLAIN LOCAL SCHOOLS

Y SCHOOLS

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'' AL RANY OH 43054 NEW ALBANY (PARKING LOT E

EROSION CONTROL PLAN

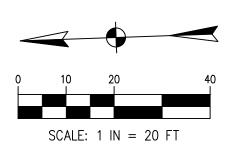
C400



TOTAL PARKING AFTER ADDITION: 327 SPACES

HITCHES REQUIRED (4 PER 100 SPACES): 14 HITCHES

FIXED BIKE RACK HITCHES PROVIDED 27 HITCHES



BIKE RACK EXHIBIT

EX01



Architectural Review Board Staff Report March 13, 2023 Meeting

CERTIFICATE OF APPROPRIATENESS TAYLOR FARM PARK RESTROOM AND STORAGE BUILDING

LOCATION: Taylor Farm Park (PID: 222-005165)
APPLICANT: City of New Albany c/o Adrienne Joly

REQUEST: Certificate of Appropriateness

ZONING: Agricultural (AG)
STRATEGIC PLAN: Parks and Green Space

APPLICATION: ARB-34-2023

Review based on: Application materials received on February 23, 2023.

Staff report prepared by Chris Christian, Planner II.

I. REQUEST AND BACKGROUND

This certificate of appropriateness application is for a new building to provide community meeting space, restrooms and indoor storage at Taylor Farm Park on Dublin Granville Road.

Per Section 8 of the New Albany Design Guidelines and Requirements, civic and institutional projects must submit a development plan for review by the Architectural Review Board (ARB). The plan should include site design, building locations, building form and massing information, and a palette of design elements that includes exterior materials, window and door design, colors, and ornamentation. Section 8 of the New Albany Design Guidelines and Requirements applies to all park and recreation buildings therefore, ARB review and approval is required. All other proposed or existing improvements shown on the site plan do not constitute as new buildings and therefore do not require ARB review.

There is related variance application for the property relating to the city floodplain regulations scheduled to be heard by the Planning Commission during their March 20, 2023 meeting (VAR27-2023).

II. SITE DESCRIPTION & USE

Taylor Farm Park is located on the far western corporate boundary that is shared with the city of Columbus along Dublin Granville Road. The site contains an existing historic home, summer kitchen, garage, chicken house, barn and parking lot.

III. EVALUATION

The ARB's review is pursuant to C.O. Section 1157.06 (Architectural Review Overlay District). No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section 1157.09 **Design Appropriateness**, the building and site should be evaluated on these criteria:

A. Certificate of Appropriateness

- 1. The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.
 - The applicant proposes to construct a new bathroom and storage building on the Taylor Farm Park site. The proposed 550+/- sq. ft. building is located adjacent to the existing chicken house which is proposed to be restored.
 - Section 8 of the New Albany Design Guidelines and Requirements provides the requirements for all civic and institutional projects in New Albany. Section 8 (III.2) requires the architectural style of a civic building to be appropriate to the context, location and function of the building and be based on traditional practice in American architecture. Public recreation structures may be appropriately designed as vernacular buildings or even in the form of traditional barns.
 - O A report by Hardlines Design Company outlines how the existing half monitor chicken house was invented by the University of Illinois and became popular on rural properties throughout the Midwest in the 1920s. The report concludes that the proposed bathroom and storage facility design is appropriate to the context of the site as it mimics the design and scale of the existing chicken house.
 - DGR Section 8(III)(4) states that civic and institutional designs shall follow the precedents of traditional American architectural designs, with particular care paid to the proportions of wall height to width; roof shape; and proportions of windows and doors, including vertically-proportioned window panes. The details and design characteristics of the traditional style selected for a new building shall be carefully studied and faithfully rendered in the new building's design.
 - This requirement is met as the proposed building is designed to mimic the existing, historic chicken house which sits directly adjacent to it. The design includes a monitor with vertically proportioned windows, wood siding, a standing seam metal roof and the addition of functional barn doors to enter the building.
 - The applicant identifies the following exterior materials on the plans:
 - o Dark wood siding;
 - o CMU;
 - o Steel roof panels; and
 - Fixed wood windows
- 2. The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.

Landscape

• There are no landscape requirements for the site as it is zoned Agricultural (AG). There are some complimentary landscape improvements shown on the site plan around the proposed and existing buildings and community garden area.

Lighting

• Four gooseneck, downcast lights are proposed to be added above the entrances to each building. The proposed fixtures are appropriate as they are not excessive and simply assist with ingress and egress of the buildings.

Parking and Circulation

• The site is accessed via two existing curb cuts along Dublin Granville Road. There is an existing parking lot on the site for visitors of the park. In addition, a new drop off lane will be constructed in between the proposed restroom and storage facility and the existing barn.

Signage

- No signage was submitted for review. All new signage will be subject to staff review during the permitting process.
- 3. The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.
 - The restroom building is consistent with the restored chicken house and preserves the agrarian nature of the site.
- 4. All buildings, structures and sites shall be recognized as products of their own time.
 - The proposed building is new construction and is appropriately designed to mimic the existing chicken house on the site.
- 5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.
 - The design of the proposed building resembles a historic chicken house.
- 6. The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.
 - Not applicable.
- 7. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.
 - It does not appear that the essential form and integrity of the existing chicken house will be altered.

B. Agricultural (AG) Zoning District Development Standards Compliance

The proposed building meets all of the Agricultural (AG) zoning district requirements found in C.O. 1129.06 and provided below.

Standard	Requirement	Proposed	
Lot Area	Not less than 5 acres	10.17 [meets code]	
Minimum Lot Frontage	200 feet	600+/- feet [meets code]	
Minimum Front Yard Depth	50 feet	300+/- feet [meets code]	
Minimum Side Yard Width	20 feet	240+/- feet [meets code]	
Minimum Rear Yard Depth	50 feet	274+/- feet [meets code]	
Maximum Height	45 feet	16 feet [meets code]	

IV. **SUMMARY**

The Architectural Review Board should evaluate the overall proposal based on the requirements in the Design Guidelines and Requirements. The proposed building is appropriately scaled and positioned on the site and is sensitive to the existing building environment that surrounds it, paying homage to the rural history of the area.

V. **ACTION**

Should the ARB find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

Move to approve application ARB-34-2023.

Approximate Site Location:



Source: NearMap

Permit #	
Board	
Mtg. Date	

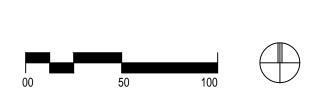


Community Development Planning Application

	Site Address E Dublin-Granville Road				
	Parcel Numbers 222-005165				
	Acres 10.258 # of lots created				
	Choose Application Type □ Appeal		Circle a	ll Details that Apply	
ion		Draliminor	Final	Comprehensive Amendment	
nat	□□Plat	Preliminary Preliminary	Final	Comprehensive Amendment	
fori	□ Lot Changes □ Minor Commercial Subdivision	Combination		Adjustment	
Project Information	□□Vacation □□Variance	Easement		Street	
roj	□□Extension Request □□Zoning	Amendment (re	ezoning)	Text Modification	
	Description of Request: Request for a COA for a public restroom fac	ility at a public park			
		lew Albany			
	Address: 99 W Main Street				
	City, State, Zip: New Albany, OH 430 Phone number: 614.939.2257	154		Fax:	
· ·	Email: ajoly@newalbanyohio.org			167.	
act					
Contacts	· · · — — — — — — — — — — — — — — — — —	lew Albany			
	Address: 99 W Main Street				
	City, State, Zip: New Albany, OH 430 Phone number: 614.939.2257	154		Fax:	
	Email: ajoly@newalbanyohio.org				
Signature	Site visits to the property by City of N The Owner/Applicant, as signed below employees and appointed and elected described in this application. I certify true, correct and complete.	w, hereby authoriz officials to visit, p	es Village o hotograph	and post a notice on the property	
<u>.</u>	Signature of Owner Signature of Applicant	a Joly	~	Date: 3/1/23 Date: 3/1/23	



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LANDSCAPE ARCHITECTURE + URBAN PLANNING

462 SOUTH LUDLOW ALLEY COLUMBUS, OH 43215 614 6212796 MKSKSTUDIOS.COM

client / owner

City of New Albany

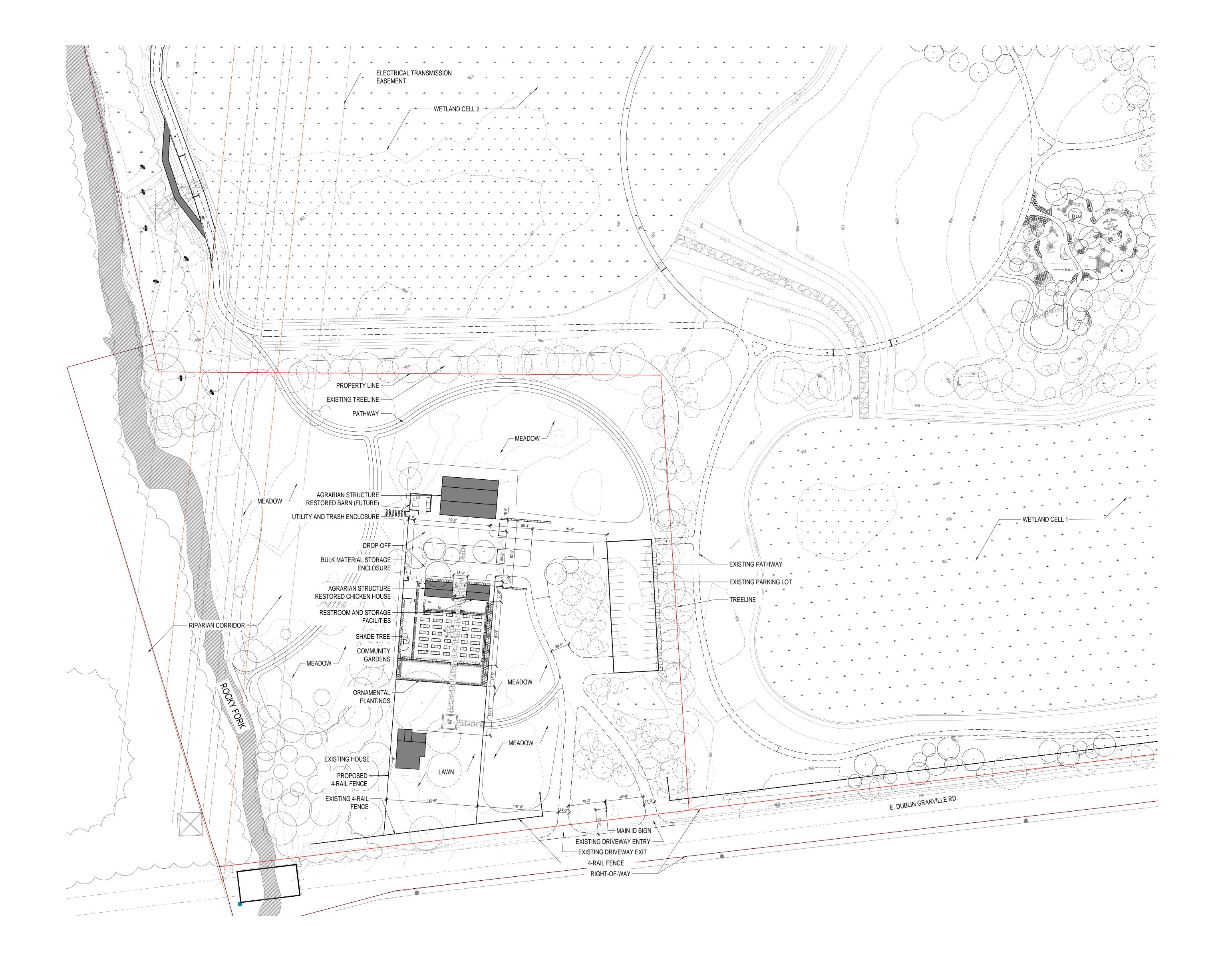
project name

TAYLOR FARM PAR

PHASE TWO
project address
5526 E. Dublin Granville Rd.
New Albany, Ohio 43054

issue date 02.20.2023

EXISTING
CONDITIONS



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LANDSCAPE ARCHITECTURE + URBAN PLANNING

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City of New Albany
project name

TAYLOR FARM PAR

PHASE TWO
project address
5526 E. Dublin Granville Rd.
New Albany, Ohio 43054

issue date 02.20.2023

PROPOSED CONDITIONS

Precedents

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Existing Hen House



Existing Hen House



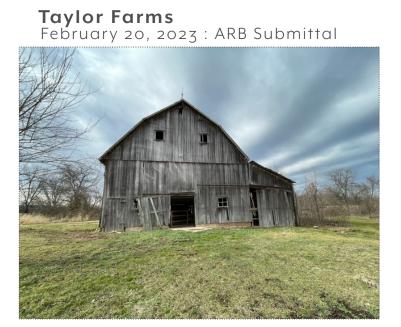
Existing Hen House



Existing Hen House

















Renderings

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Drawings

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