



New Albany Architectural Review Board Meeting Agenda
Monday, March 13, 2023 7:00pm

Members of the public must attend the meeting in-person to participate and provide comment. The in-person meeting is held at New Albany Village Hall, 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes: February 13, 2023

IV. Additions or corrections to agenda

- Administer the oath to all witnesses/applicants/staff who plan to address the board, “Do you swear to tell the truth and nothing but the truth.”

V. Cases:

ARB-22-2023 Certificate of Appropriateness

Certificate of Appropriateness for the installation of a new canopy on a building for defined outdoor areas used for dining located at 266 E. Main Street (PID: 222-000089).

Applicant: Sarasheen Partnership LLC

ARB-33-2023 Certificate of Appropriateness

Certificate of Appropriateness for the expansion of a school campus parking lot located at 7600 Fodor Road (PID: 222-000922).

Applicant: Mannik Smith

ARB-34-2023 Certificate of Appropriateness

Certificate of Appropriateness for new improvements at Taylor Farm Park (PID: 222-005165).

Applicant: City of New Albany Ohio c/o Adrienne Joly

VI. Other business

1. City Project Update: Market Street Extension

2. Annual Organizational Meeting

- Swear in new member
- Elect Chairperson
- Elect Vice-Chairperson
- Elect Secretary
- Establish date, time, and location for 2023 regular meetings

**Attendance is defined as in-person presence during the hearing and consideration of applications without a conflict of interest before that commission/board at that meeting. Attendance of all current serving members of the commission/board is encouraged, and three (3) consecutive absences by any member or four (4) absences in any 12-month period*

shall be considered a forfeiture of the membership to the commission/board. The forfeiture would occur regardless of the reason for the absences. The applicable department designee would then notify the clerk of council so that they can inform council that a new appointment needs to be made.

VII. Poll members for comment

VIII. Adjourn



New Albany Architectural Review Board
Monday, February 13, 2023 7:00pm
DRAFT Meeting Minutes

I. Call to order
Chair Hinson called the February 13, 2023 regular session meeting of the New Albany Architectural Review Board to order at 7:01 p.m.

II. Roll call

Those answering roll call:

Mr. Alan Hinson, Chair	Present
Mr. Jonathan Iten, Vice Chair	Present
Mr. Jim Brown, Secretary	Absent
Mr. Andrew Maletz	Present
Ms. Traci Moore	Present
Mr. Francis Strahler	Present
Council Member Andrea Wiltrout	Present

Staff members present: Anna van der Zwaag, Planner II; Steve Mayer, Planning Manager; Chelsea Nichols, Planner; Christina Madriguera, Deputy Clerk.

III. Action on minutes

Chair Hinson asked if there were any additions or corrections to the minutes from the January 9, 2023 meeting.

Board Member Iten stated that the application number on the Record of Action for the Certificate of Appropriateness for the construction of a parking garage in the Village Center was incorrect and further that it was missing the three conditions of approval imposed by the board.

Planner van der Zwaag responded that the Record of Action would be corrected.

Board Member Iten moved to approve the minutes of the January 9, 2023 meeting, as corrected. Chair Hinson seconded the motion.

Upon roll call: Mr. Iten, yes; Mr. Hinson, yes; Mr. Strahler, abstain; Ms. Moore, yes; Mr. Maletz, yes. Having 4 yes votes, and 1 abstention, the minutes were approved as corrected.

IV. Additions or corrections to agenda

Chair Hinson asked if there were any additions or corrections to the agenda.

Staff answered that there were not.

Chair Hinson noted a staff presentation was the only item on the agenda and that the person in the audience was not planning to address the board. Chair Hinson administered the following oath to staff who wished to address the board, "Do you swear to tell the truth and nothing but the truth."

V. Cases
There were no cases scheduled for consideration.

VI. Other business
New Albany Solar Energy Initiative Best Practices Report.

Planning Manager Steve Mayer explained that currently the zoning code is silent on solar and tonight's meeting would be a focus-group style discussion. He introduced Planner van der Zwaag, who would be delivering the New Albany Solar Energy Initiative Best Practices Report. He explained that Planner van der Zwaag has taken the lead on a solar panel code update. To that end that staff was seeking comments and recommendations from the board on the report which was prepared with the assistance of consultant, MKSK. He explained that the Planning Commission would be reviewing the report at its upcoming meeting this month. Code updates would be drafted and workshopped this spring. He stated that feedback on the entire report was welcome and they were particularly interested in feedback on the 8 recommendations.

Board Member Iten clarified where the recommendations were in the report, and asked as primary matter, what he was meant by the verb "workshop."

Planning Manager Mayer responded that even though proposed updates to the code of this kind do not require review and or approval by the board, tonight's meeting was intended to provide guidance to staff when drafting the proposed updates. He further explained that the proposed updates would be presented to this and other boards for review and comment prior to being considered by city council.

Planner van der Zwaag thanked the board for their time and delivered the staff report which consisted of several slides covering the following: the impetus of the report; recent solar legislation; types of solar applications; solar trends and emerging technologies; peer communities; best practices for solar applications; and next steps.

Planner van der Zwaag explained that as a result of recent Federal and state law changes granting tax subsidies, she anticipated an increased demand for permits to install solar panels.

Planning Manager Mayer added that indeed there had already been an increased demand in New Albany for permits to install solar panels.

Board Member Iten stated that he has read all of the founding covenants of the New Albany Country Club Communities and that they are silent regarding solar panels. Can those covenants be amended now to include a restriction on the installation of solar panels?

Planning Manager Mayer responded that his understanding was that the legislation would deem deed covenant restrictions on the use of solar panels unconstitutional.

Board Member Iten continued that the city is the only refuge.

Planning Manager Mayer agreed.

Planner van der Zwaag encouraged the board members to offer their comments as they arose during the course of the presentation as this meeting was intended to be a dialogue.

Council Member Wiltout asked whether there had been dialogue with any of the home owners associations (HOAs) regarding reasonable restrictions on the use of solar panels.

Planning Manager Mayer responded that at this point they had not had any direct correspondence with HOAs as part of this process. This report was the first step in the information gathering process and they are currently looking into the best way to gather feedback from the HOAs and the community at large.

Chair Hinson stated he could only recall 2 houses in New Albany with visible solar panels, 1 of which was located in the Country Club Community.

Board Member Strahler stated that he has seen a house in New Albany with a solar panel mount in the backyard.

Planner van der Zwaag stated that there is still a lot in the air, and that the legislation (SB 61) provides that associations that do not prohibit solar panels may only place reasonable restrictions on their use. She continued that the deed would have to be examined to determine whether there are restrictions.

Board Member Iten agreed and stated that he had read SB 61.

Council Member Wiltrout wondered whether, if a deed contained a covenant restricting the use of solar, whether that would be an unenforceable covenant, like other unenforceable covenants.

Board Member Iten, Council Member Wiltrout, and Planner van der Zwaag agreed that that time and litigation would make that answer clear.

Board Member Iten stated that it was clear that the time for the city to do something was ripe.

Planner van der Zwaag discussed the main sections of the report and reviewed the following 8 draft recommendations for solar trends:

Highly encourage the use of building-integrated photovoltaics in new construction and renovation projects.

Create internal criteria for when solar tracking mounts are appropriate uses.

Allow the use of solar energy storage in all use applications.

Explore the use of floatovoltaics as an alternative to ground-mounted array proposals on applicable properties.

Consider a solar-ready design regulation for new buildings.

Analyze the potential for PV noise barriers as a possibility for New Albany.

Consider implementing solar panels as part of the parking lot design code for future parking lots built in New Albany.

Consider applying to the SolSmart Designation program to recognize New Albany's commitment to solar energy.

Planning Manager Mayer acknowledged that this is an emerging and changing technology and then asked for the board's thoughts on the recommendations.

Board Member Iten stated that he had several observations. First, was that he bought into New Albany's Strategic Plan and the rules of that plan and he further commented that board was in place for good design. He encouraged staff to keep in mind that decisions made now would be visible for a long time. For example, with the advent of the usage of electricity in residences there were poles and wire after wire after wire in order to retrofit the brownstones and mansions on Park Avenue in NYC. Once those wires were there, they were there for a long time before the city was able to locate them underground. It is important for us to keep our design aesthetic in mind here. Solar panels are modern but they are not intrinsically attractive. The attractiveness of most of today's panels is limited to the virtue they signal through their presence and his hope was that solar panels could be incorporated in such a way as to retain New Albany's design aesthetic. And he particularly encouraged hiding solar panels within building materials in areas where aesthetic is important.

Chair Hinson remarked that New Albany has always been a community with 4-sided architecture which would make hiding house-mounted solar panels difficult.

Board Member Iten stated that using Google streetview to look at the JP Morgan Chase property, the mounted solar panels are screened by mounding and vegetation. But, he recalled from an article that the parking lot photovoltaics were 30 ft off the ground and while it is appealing he was unsure whether that example would translate to New Albany.

Board Member Iten further stated that Upper Arlington was a planning disaster, and New Albany should be reluctant to follow its example.

Board Member Iten stated that permissive authority for the usage of solar is a lot different than requiring it. He cautioned that one California is enough – in terms of regulation. Regarding the SolSmart designation, he would rather New Albany have it right than chase down what another community does in service of a designation.

Board Member Strahler stated that the focus of regulation for New Albany should be on maintaining the design aesthetic and uniformity in residential areas, rather than placing a restriction on usage within view of the public right of way. He further explained that placing a restriction on visibility from the public right of way would lead to litigation in situations where a homeowner was seeking the economic benefit of using solar panels but could not overcome the aesthetic restriction. Disparate treatment of otherwise equally situated homeowners could force New Albany to allow solar panels without regard to their appearance or their visibility.

Board Member Iten agreed and stated that he would prefer a rule to require the usage of building integrated photovoltaics everywhere to a rule that would permit the usage of unattractive photovoltaics as long as they were not visible from the right of way.

Planning Manager Mayer thanked the board for their comments and discussion.

Planner van der Zwaag invited comments regarding the recommended appropriate use for various types of solar.

Board Member Strahler encouraged the use of screening for solar tracking mounts.

Board Member Iten echoed Board Member Strahler's observation about requiring screening, particularly in the Village Center.

Board Members Iten and Strahler agreed with the recommended appropriate usage, as long as the usage was fully screened.

Planning Manager Mayer stated that rules requiring screening could be added. And assured the board that this plan did not recommend usage of tracking mounts or floatovoltaics in the Village Center.

Board Member Item asked what was meant by solar-ready building design.

Board Member Moore stated in response that there were examples of photovoltaics built into building materials and that would work well in commercial contexts.

Board Member Maletz had comments about the difficulty of regulating usage of solar based upon today's technology. He questioned the long-term applicability of today's photovoltaics. He observed that this initiative gave him pause because although there is economic value to using today's technology, the evolutionary pace of this technology is rapid and thus could render regulations moot. And further that today's integrated panels have not been thoroughly tested and have not been tested over a 20-year lifespan. He stated that we need to avoid unanticipated consequences and unnecessary risk.

Board Member Maletz stated that underlying issue here is that the design guidelines and Georgian architecture are incompatible with what the solar recommendations are seeking to accomplish, for example, the steep roof pitches, and the 4-sided architecture. The saw-toothing of panels is quite unattractive. Furthermore, that allowing solar panel use is a lot different, and much more preferred, than encouraging solar panel use. He also recommended considering regulation regarding the unwinding, for example requiring removal of non-performing panels (like satellite dishes). He referenced a recent mailing from the New Albany Country Club Homeowners Association reminding member homeowners of the architectural review and approval requirements that must be met before members make changes to their homes.

Board Member Maletz stated that regulation of solar usage should require review for appropriateness early in the process. It should be in conjunction with the appropriate HOA review during the concept phase. Upon approval at the concept phase then the anticipated solar usage should be included in the requests for zoning and building permits submitted to the city. He reiterated that Georgian architecture is at odds with the appearance of the technology.

Council Member Wiltout asked if the feelings about residential were the same as the feeling about commercial, for example a bank or a school, particularly if solar power can be stored.

Board Member Maletz agreed that the architectural standards for residential and commercial could be different.

Board Member Iten agreed that residential usage could be distinguished from commercial usage, and further that commercial could be distinguished into business park commercial and Georgian style commercial.

Planning Manager Mayer stated that this was a great conversation and as currently drafted, the recommendations were categorized such that usage for business were different than the recommendations for residential. He then began the discussion of application recommendations for residential usage.

Board Member Maletz stated that it would be interesting to study all the existing assets in New Albany and to know of those, how much and how significantly residential rooftops contribute. He was unsure what the return on investment would be for usage on residential rooftops and he was interested to know what the impact could be, energy-wise, in residential areas. If the energy capture is marginal, then it may not be worth installing solar panels.

Planner van der Zwaag stated that this process is about considering the balance between regulations and a property owner's right to place a solar panel on their property.

Board Member Iten stated that he didn't know whether a property owner has a right to a solar panel, the important thing is that all property owners are treated equally.

Board Member Maletz asked whether it is possible to do a rooftop energy study, that data would greatly inform this conversation.

Council Member Wiltout stated that she was sure it was and wondered when would be the appropriate time, would it be now or in 2025.

Board Member Maletz said he was open to calibrating it to the most appropriate time.

Planner van der Zwaag responded that the data was not presently ready but was open to conducting an energy study.

Board Member Moore stated that if the study is conducted and we find that solar panels in residential areas are not feasible then perhaps it would still be feasible on the highway as a part of noise barriers, and that the energy could be stored. There are inspiring examples of such usage of solar panels along the roadway in Italy.

Planning Manager Mayer responded that it was definitely a consideration; he mentioned usage of retention basins and usage of parking lots, and agreed there were many opportunities. Even without doing a study, there is a lot of low-hanging fruit in the business park. In the business park there are many areas to place solar panels that are fully out of view of the public.

Board Member Iten stated that the city is not going to pay for it in the business park and further that, regarding the noise barriers, it is the state's duty to place solar panels on SR 161 and that the city would not probably be able to prevent or regulate usage on the highway.

Planner van der Zwaag asked what the board's thoughts were on ground-mounted solar in commercial areas.

Board Member Iten stated that he was indifferent overall. He asked whether plowing (of snow) could realistically take place under ground mounted solar panels in parking lots, and further what would happen to the snow that collected on top of the solar panels.

Board Member Maletz stated that he was ambivalent and stated that this was a question of best and highest usage. He commented that usage could result in density voids and wondered whether the market would dictate.

Council Member Wiltout added that this could be similar to the market evolution for Direct TV.

Board Member Iten further observed that if a company in the business park, such as Intel, installed them on property screening mounds, that would be fine.

Board Member Maletz wondered whether this is a dead-end technology. And remarked that, if so, it may be difficult to take down.

Planning Manager Mayer thought those were great comments and stated that staff could look into how other communities have addressed this issue.

Board Member Iten observed that we need to be careful about passing design guidelines or making recommendations that are in conflict with deed covenants and HOA design requirements.

Planning Manager Mayer agreed and stated that existing rules and covenants would certainly be taken into consideration in the drafting of proposed code updates regarding usage of solar.

Board Member Iten stated that we could encourage this with schools and commercial structures but we still do not want them to be unattractive.

Planning Manager Mayer asked the board what their thoughts would be if their neighbor had a ground-mounted solar panel. Should ground-mounted solar go before a board or commission? He continued that the board could feel free to consider the hypothetical and get back to him.

Board Member Maletz responded that he thinks there is a way to develop criteria, but (candidly) it does not appear to be in the current draft application recommendations. He stated that he thought that each might need to be reviewed subjectively.

Board Member Iten responded that he thinks objective standards are possible but it is up to council to provide the standards.

Planning Manager Mayer said that the aim of the meeting was to conduct a focus-group type of discussion and welcomed guidance from the board.

Planner van der Zwaag said that she planned to have these discussions with multiple boards.

Board Member Iten stated, regarding accessory structures, that he did not think it was possible in the country club communities to have accessory structures.

Board Member Maletz explained that some accessory structures were permitted.

Planning Manager Mayer said that the city had already loosened the code in order to permit some detached accessory structures.

Board Member Maletz asked whether it would be possible, as part of permitting criteria, to require that new structures be designed with solar in mind. He acknowledged that this would not apply to retrofitting, however, basic criteria could be established at the conceptual and design phase. He recommended that approach if possible.

Planner van der Zwaag stated that she thought it was part of the solar- ready recommendations.

Board Member Moore raised that ground mounted panels could still be visible from a second story window, even if there was adequate screening on the ground level. She observed there could be complexity with appropriate screening that does not obscure and diminish the effectiveness of the solar panel.

Board Member Strahler agreed and stated that there needed to be the appropriate amount of setback and screening while maintaining the panel's ability to capture solar rays.

Board Member Iten observed that depending on the setback there is probably not enough room in a typical residential setting.

Board Member Strahler stated that rules needed to be put in place because usage of solar panels is imminent. He recalled when satellite dishes became available and were marketed to consumers. First there was a prohibition on their usage, then a rule was passed requiring screening as a condition of installation and usage.

Board Member Iten stated he was hopeful that staff had gotten enough high-level comments and overall flavor of the board's view.

Planning Manager Mayer asked the board to review the Village Center recommendations.

Regarding V.1, "Highly encourage the use of building-integrated solar as the preferred solar energy application in the Village Center."

Board Member Iten suggested and the board agreed that the word "encourage," should be changed to "allow."

Planning Manager Mayer stated there were many unknowns at this time.

Regarding V.2, "Give preference to flat-roof installations over pitched-roof installations, and require that pitched-roof installations be fully concealed from public right of way."

Planning Manager Mayer confirmed that the board preferred flat-roofed installations.

Regarding V.3, "Using similar regulations for pitched and flat-roof installations as those outlined in the residential and commercial best practices."

The board agreed with this recommendation as edited by their conversation.

Regarding V.4, "As solar technology evolves, continue to monitor new technologies and analyze whether these can be integrated into the Village Center."

The board recommended that the website be updated as technology changes to provide more resources.

Planning Manager Mayer asked whether the initial regulation approach should be more liberal or conservative as we learn more.

Board Member Iten advised that the recommendations for residential and the Village Center should err on the side of conservative, on the theory that a more liberal approach could be adopted later.

Planner van der Zwaag asked the board whether, regarding the 4-sided architecture in residential, it was all or nothing.

Board Member Maletz responded that allowance of usage of the panel should not be contingent on whether it is visible from the public right of way. There are examples of designs that would turn the panels inward such that they are inconspicuous. The design should be acceptable on any side and felt confident it could be done.

Chair Hinson acknowledged usage of exceptions on isolated sites in the Village Center and in residential, but recommended the city find a design that was not disruptive.

Planner van der Zwaag thanked the board and stated that she could send out the presentation slides.

Board Member Iten remarked that the board had the luxury of an excellent staff.

Planning Manager Mayer thanked the board.

VII. Poll members for comment.

Chair Hinson asked if there were further comments from the board. There was no response.

VIII. Adjourn

Having no more business to discuss, Chair Hinson asked whether there was a motion to adjourn.

Board Member Maletz moved to adjourn. Board Member Moore seconded the motion.

Upon roll call: Mr. Maletz, yes; Ms. Moore, yes; Mr. Strahler, yes; Mr. Hinson, yes; Mr. Iten, yes. Having 5 yes votes, the meeting was adjourned at 8:01 p.m.

Submitted by Christina Madriguera, Deputy Clerk.



**Architectural Review Board Staff Report
March 13, 2023**

**266 E. MAIN STREET CANOPY ADDITION
CERTIFICATE OF APPROPRIATENESS**

LOCATION: 266 East Main Street (PID: 222-000089)
APPLICANT: Sarasheen Partnership LLC, c/o Tom Sheehan
REQUEST: Certificate of Appropriateness
ZONING: Infill Planned Unit Development (I-PUD) within the Urban Center
STRATEGIC PLAN: Village Center
APPLICATION: ARB-22-2023

Review based on: Application materials received on February 2, 2023 and February 23, 2023.

Staff report prepared by Chelsea Nichols, Planner

I. REQUEST AND BACKGROUND

The applicant requests review and approval of a certificate of appropriateness for a new canopy addition to cover an existing patio and the use of removable seasonal walls on the patio canopy for Elliot's Wood Fired Kitchen & Tap located at 266 East Main Street. The existing patio was approved in 2012 (ARB-03-12) and is approximately 1,077 square feet in area. The patio is used as an outdoor dining area for the restaurant. It is located on the west side of the building. Approximately 600 square feet of the total outdoor patio area will be covered by the proposed canopy. The canopy will have removable, seasonal plastic screens to allow for year-round use of the outdoor dining area.

Per Section 1157.07(b) any major environmental change to a property located within the Village Center requires a certificate of appropriateness issued by the Architectural Review Board. In considering this request for a new canopy patio cover addition within the Village Center, the Architectural Review Board is directed to evaluate the application based on criteria in Chapter 1157.

II. SITE DESCRIPTION & USE

The property is zoned I-PUD (Infill Planned Unit Development) and is part of the US Bank Center Development. It contains a multi-tenant commercial building and U.S. Bank. Businesses within this development include U.S. Bank, Polished Nails Spa, Impressed Dry Cleaning, Cutler Real Estate, Laura Jacob Art, and Elliot's Wood Fired Kitchen & Tap. The site is located on the north side of E. Main Street, and is directly across from the Avalon of New Albany assisted living development.

III. EVALUATION

A. Certificate of Appropriateness

The ARB's review is pursuant to the U.S. Bank Center Development Zoning Text and C.O. Section 1157.06. No environmental change shall be made to any property within the Village of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the modifications to the building and site should be evaluated on these criteria:

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
 - The existing patio is located within the courtyard area of the development and serves as outdoor seating for Elliot's. A single door provides access to the patio from the restaurant. One existing egress gate is in place and second egress gate will be added for the patio. The current entrance to Elliot's will remain as the primary business entry.
 - To contain the dining area, an existing railing and fence defines two edges of the patio. The existing brick wall (approximately 2.5 feet in height), parallel to E. Main Street, will remain to define the patio's edge closest to the roadway.
 - The proposed canopy addition will be a black finish and is 12' in height. The canopy will serve as a cover for patio. The patio is approximately 1,077 square feet (21' x 51') of total outdoor dining space. The steel canopy structure will support a roof over 600 square feet of the area. The remaining 400 square feet will be open-air and left uncovered.
 - The canopy will support removable, seasonal window walls made of canvas with plastic screens. This will allow for additional dining space during inclement weather. The wall will be a black colored canvas with clear plastic "windows."
 - Within the open-air area of the patio, there are existing air conditioning units, which are screened from the dining area with an existing stained cedar wood fence.
 - The canopy creates an eave overhand along the front face of the structure that projects as a rake along both sides. Emphasis is placed on the entablature with a horizontal bead that terminates into the piers. Vertically oriented siding occurs on the left and right-hand sides below rake trim.
 - The details included on the proposed design helps aesthetically harmonize the canopy with the building by complementing the architectural lines from the building's façades and brick soldier course. Consistent with the development text requirement, this canopy exhibits 360-degree design and balances the architecture of the main building.
 - The U.S. Bank Center zoning text requires all colors harmonize to with each other. The black color chosen for the canopy addition is appropriate and harmonious with the surrounding development. The existing awnings on the building and within the development are already black.
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*
 - The proposed canopy addition is consistent with the original intent of the development and is appropriately scaled for the building and site. The canopy integrates with the architectural style of the building.
 - The removable screen wall changes the visual components of the building and site when it is in use. The removable walls are designed to be used during the colder seasons and during bad weather.
3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
 - The existing original qualities and character of the building will remain. The canopy is an addition that will serve to enhance the original character of the U.S. Bank Center Development.
4. *All buildings, structures and sites shall be recognized as products of their own time.*
 - The building is a product of its own time and as such should utilize design appropriate to its style and scale, while considering its surroundings. The proposed canopy addition appears to match the style of the building and is appropriately scaled.
5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*

- Not Applicable
6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
 - Not Applicable
 7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
 - The canopy addition does not provide significant structural elements to the building. If the canopy is removed in the future, the essential form and integrity of the primary structure will not be impaired or affected.

IV. SUMMARY

The canopy addition is proportional to the building and the patio area, and its location within the site is appropriate. Overall, it seems that construction of this canopy will enhance the quality of the business, building, and surrounding area by “activating” the public space year round and contributing to the urban character that is desired in the Village Center. The canopy details help aesthetically harmonize the canopy with the building by complementing the architectural detail lines from the building’s façades and brick soldier course. Consistent with the development text requirement, this canopy exhibits 360-degree design and balances the architecture of the main building.

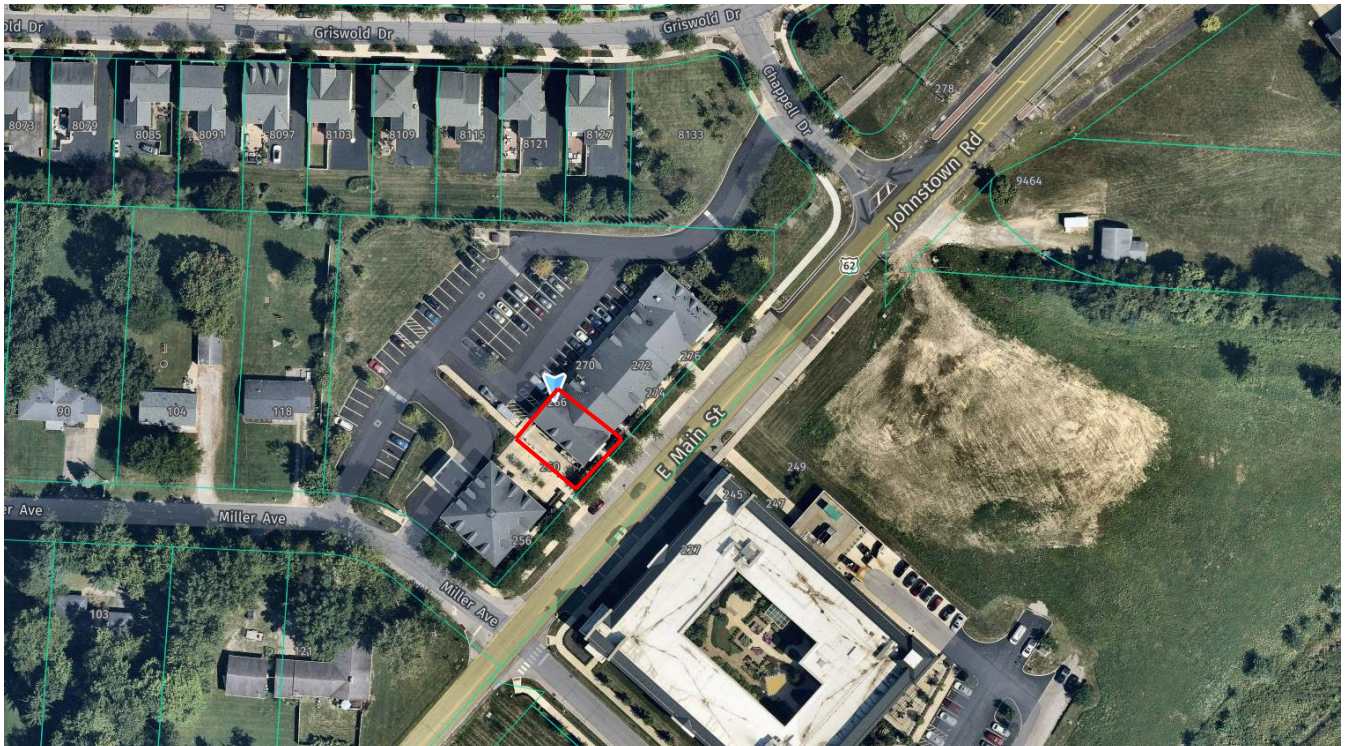
V. ACTION

Should the Architectural Review Board find sufficient basis for approval, the following motion would be appropriate (conditions may be added).

Suggested Motion for ARB-22-2023

Move to approve Certificate of Appropriateness application ARB-22-2023.

Approximate Site Location:

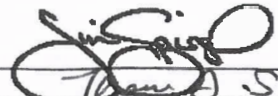
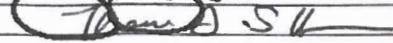


Source: nearmap

Permit # _____
 Board _____
 Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>266 EAST MAIN ST</u> Parcel Numbers <u>222-000089</u> Acres _____ # of lots created _____																																																											
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Choose Application Type</th> <th colspan="4" style="text-align: left;">Circle all Details that Apply</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Certificate of Appropriateness</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Conditional Use</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Development Plan</td> <td>Preliminary</td> <td>Final</td> <td>Comprehensive</td> <td>Amendment</td> </tr> <tr> <td><input type="checkbox"/> Plat</td> <td>Preliminary</td> <td>Final</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Lot Changes</td> <td>Combination</td> <td>Split</td> <td>Adjustment</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Vacation</td> <td>Easement</td> <td></td> <td>Street</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Variance</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Extension Request</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Zoning</td> <td>Amendment (rezoning)</td> <td></td> <td>Text Modification</td> <td></td> </tr> </tbody> </table>	Choose Application Type	Circle all Details that Apply				<input type="checkbox"/> Appeal					<input checked="" type="checkbox"/> Certificate of Appropriateness					<input type="checkbox"/> Conditional Use					<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment	<input type="checkbox"/> Plat	Preliminary	Final			<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment		<input type="checkbox"/> Minor Commercial Subdivision					<input type="checkbox"/> Vacation	Easement		Street		<input type="checkbox"/> Variance					<input type="checkbox"/> Extension Request					<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification
Choose Application Type	Circle all Details that Apply																																																											
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	Description of Request: <u>INSTALLATION OF A NEW CANOPY TO COVER AN EXISTING PATIO SPACE</u>																																																											
Contacts	Property Owner's Name: <u>WALLY BEAVER LLC • JIM SPIEGEL</u> Address: <u>256 E. MAIN ST. / 10 N. HIGH ST.</u> City, State, Zip: <u>COLUMBUS OH, 43215</u> Phone number: <u>614-221-4286</u> Fax: _____ Email: <u>JIM@KWEILER.COM</u>																																																											
	Applicant's Name: <u>TOM SHEEHAN • SARASHEEN PARTNERSHIP LLC</u> Address: <u>266 EAST MAIN ST.</u> City, State, Zip: <u>NEW ALBANY OH. 43054</u> Phone number: <u>614-286-6016</u> Fax: _____ Email: <u>TSHEEHANELLIOTS@GMAIL.COM</u>																																																											
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p>																																																											
	Signature of Owner <u></u> Date: <u>2-8-23</u> Signature of Applicant <u></u> Date: <u>2-7-23</u>																																																											

ELLIOT'S WOOD FIRED KITCHEN & TAP

EXTERIOR CANOPY ADDITION

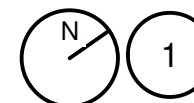
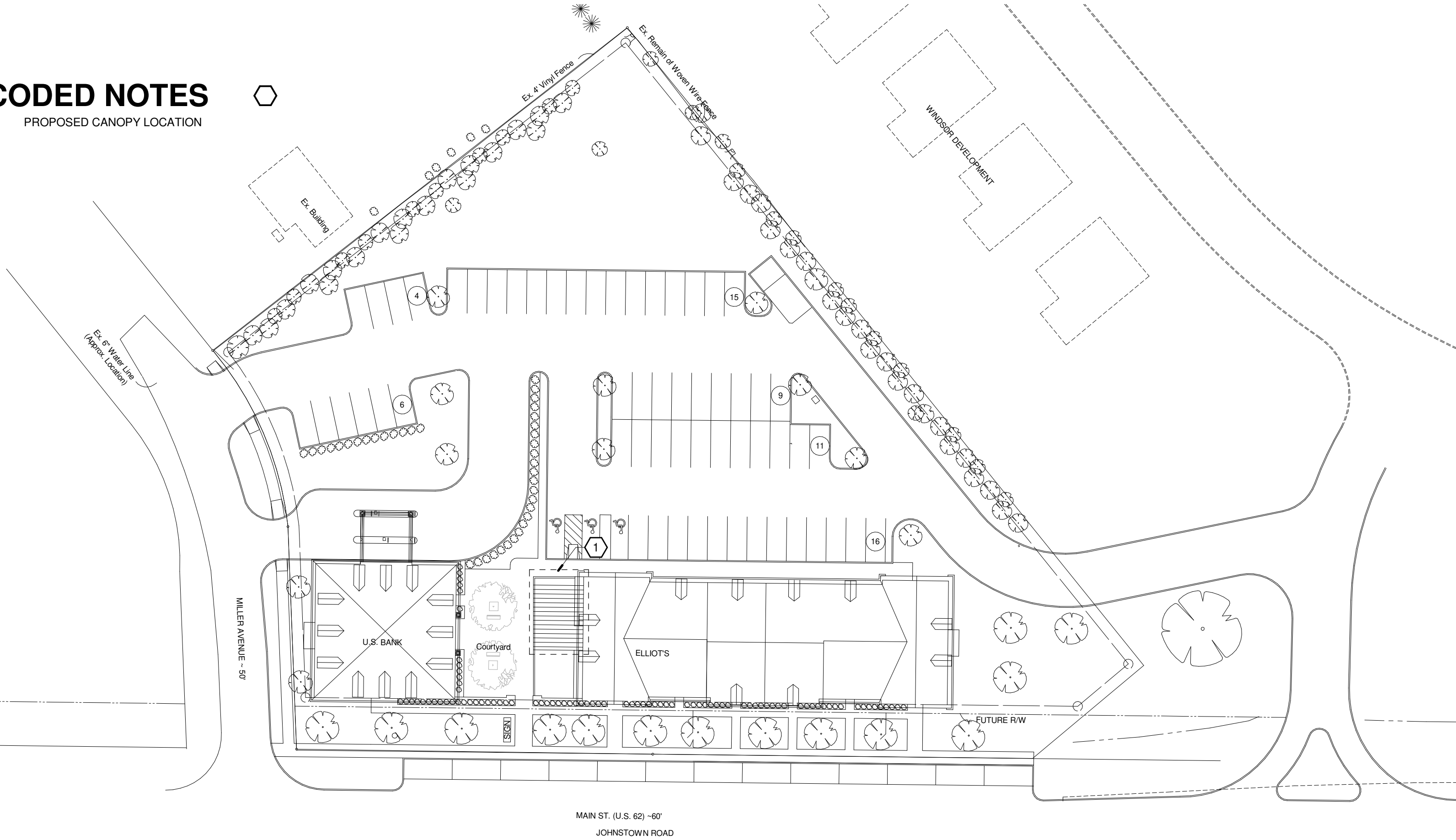
266 East Main Street, New Albany, OH 43054

REV1 03/02/2023



CODED NOTES

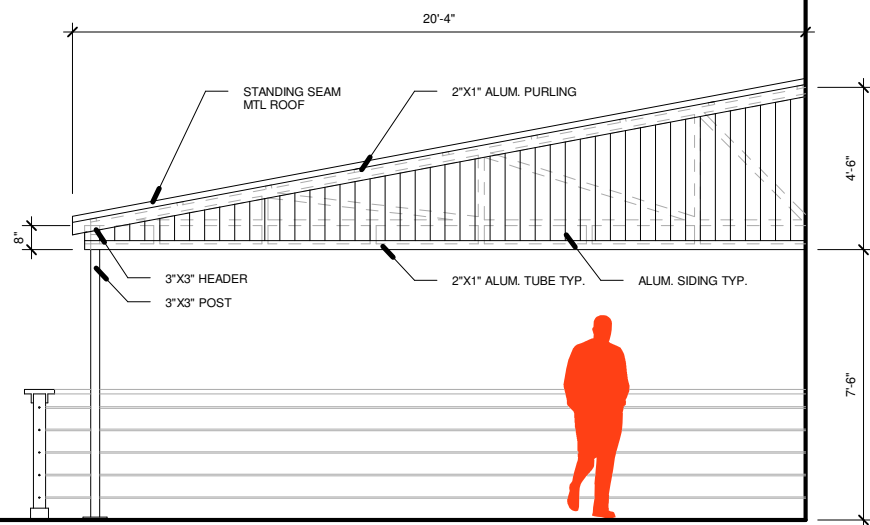
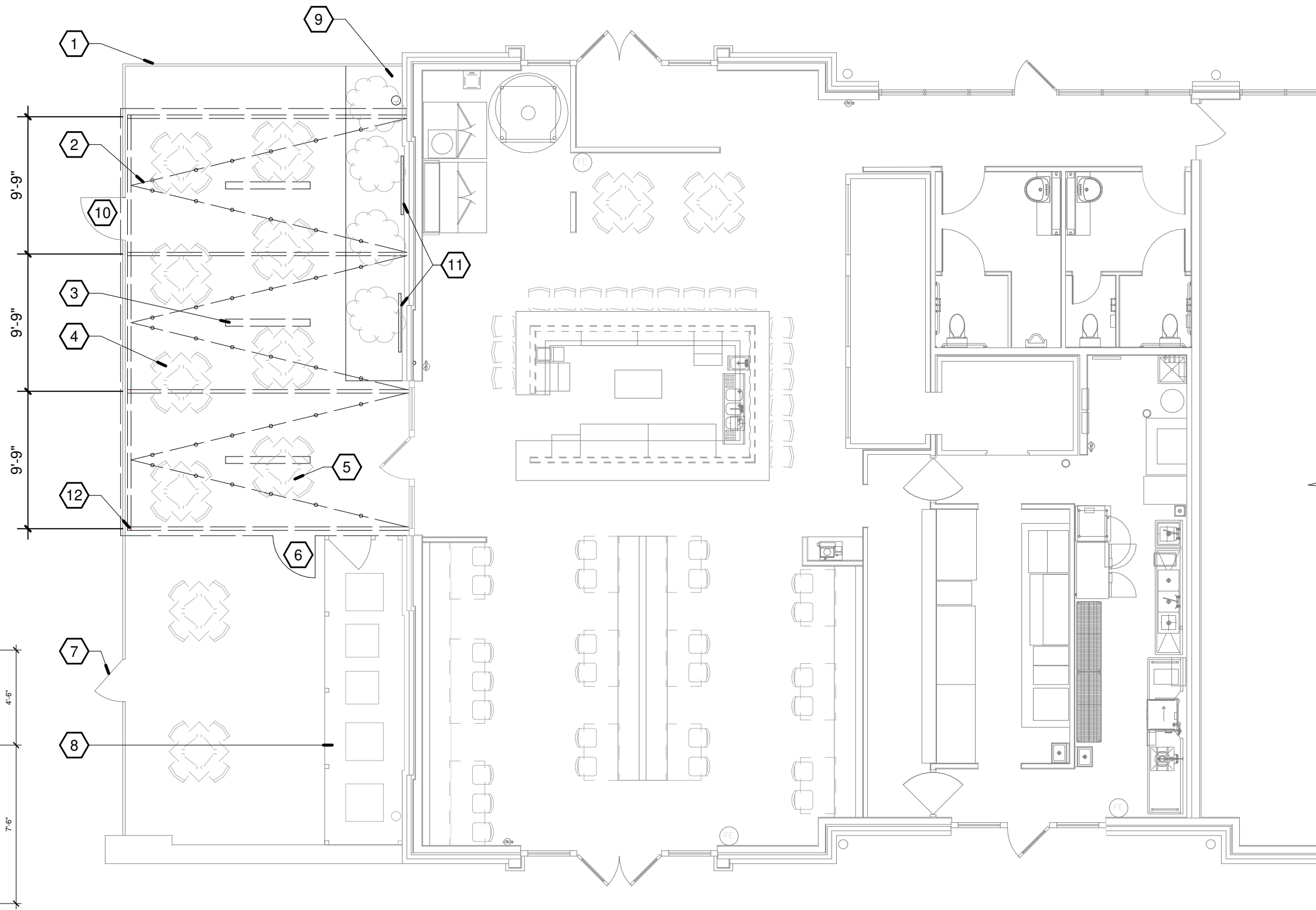
1 PROPOSED CANOPY LOCATION



CODED NOTES



- 1 EXISTING PATIO RAILING
- 2 EXISTING ROPE LIGHTS
- 3 PROPOSED GAS HEATER
- 4 EXISTING SEATING
- 5 ADA SEATING
- 6 NEW EXIT DOOR IN ENCLOSURE
- 7 EXISTING GATE
- 8 EXISTING MECH. ENCLOSURE
- 9 EXISTING LANDSCAPING BED TO REMAIN
- 10 NEW GATE IN EXISTING RAIL TO BE USED WHEN PANELS ARE RAISED
- 11 WALL MOUNTED TV
- 12 8"x8" BASE PLATE W/ 3"x3" POST. TYP.

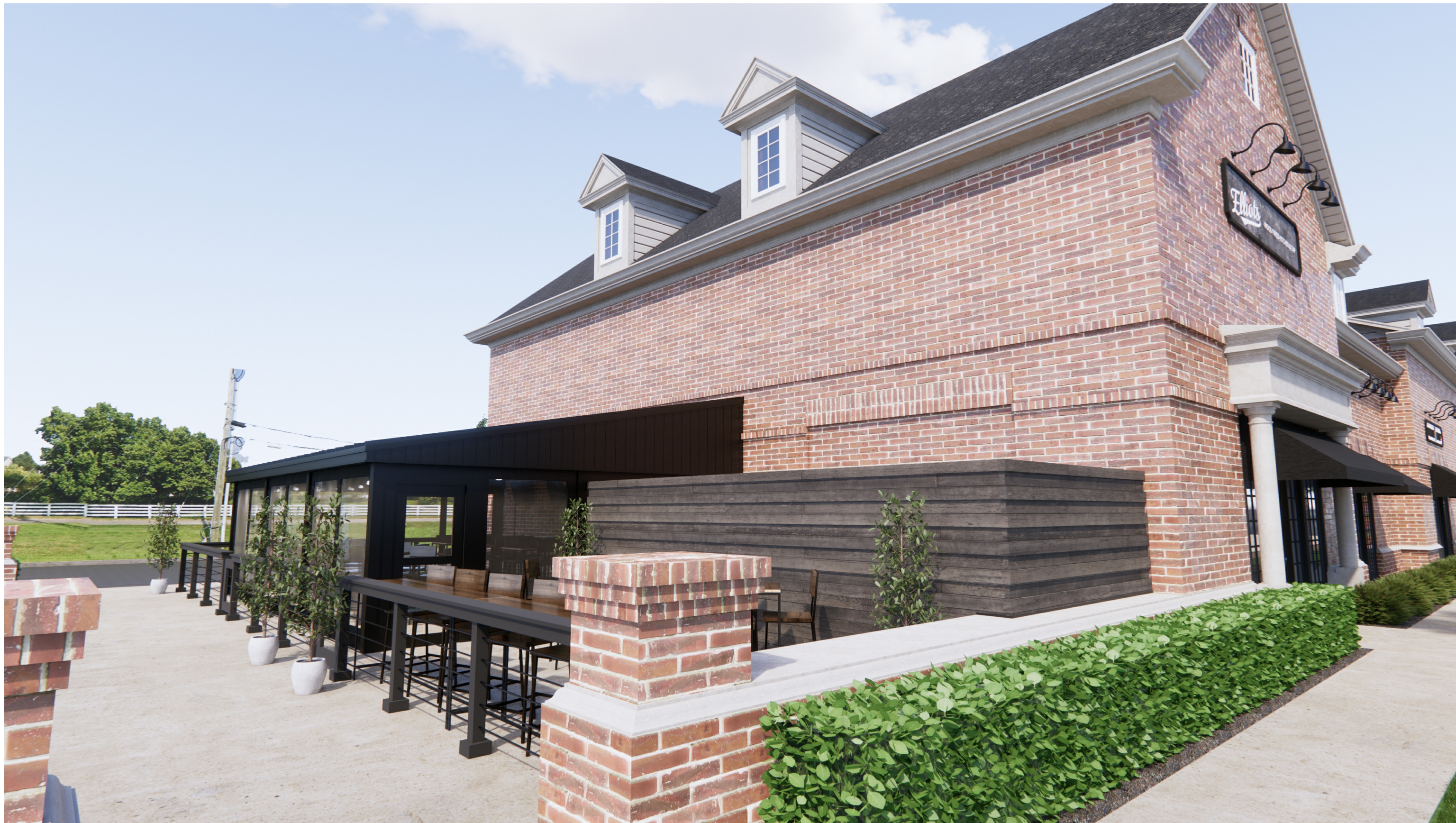


2 CANOPY DETAIL
SCALE: 3/16" = 1'-0"

1 ELLIOT'S FLOOR PLAN
SCALE: 1/8" = 1'-0"

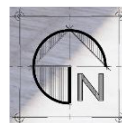
EXISTING CONDITIONS













**Architectural Review Board Staff Report
March 13, 2023 Meeting**

**7600 FODOR ROAD
CERTIFICATE OF APPROPRIATENESS
NEW ALBANY PLAIN LOCAL SCHOOL DISTRICT
HIGH SCHOOL PARKING LOT EXPANSION**

LOCATION: 7600 Fodor Road (PID: 222-000922)
APPLICANT: Anders Samuelson, Mannik Smith Group
REQUEST: Certificate of Appropriateness
ZONING: Urban Center District within Village Center – Campus Subdistrict
STRATEGIC PLAN: Village Center
APPLICATION: ARB-33-2023

Review based on: Application materials received on February 17, 2023.

Staff report prepared by Sierra Cratic-Smith, Planner

I. REQUEST AND BACKGROUND

The applicant requests an expansion of the existing high school parking lot. The High School parking lot proposal increases its area to accommodate 28 additional parking spaces based upon an anticipated increase in the number of students attending in the next ten years. The addition of 28 parking spaces brings the total number to 327 spaces at this lot.

Per Section 1157.07(b) any major environmental change to a property located within the Village Center requires a certificate of appropriateness issued by the Architectural Review Board. This section of city code states that any addition to a parking lot constitutes as a major environmental change. Accordingly, the new additional parking spaces must be reviewed and approved by the ARB.

II. SITE DESCRIPTION & USE

The parking lot is located on the school campus and zoned Urban Center District (Campus sub district). The parking lot is located east of Fodor Road and west of the High School and football stadium.

The school campus is located generally north of Dublin Granville Road, south of State Route 161, and between Fodor Road and High Street. The site is developed with multiple school buildings, accessory buildings and recreation facilities, including a football stadium, tennis courts, and ball fields.

III. EVALUATION

A. Certificate of Appropriateness

The ARB's review is pursuant to the U.S. Bank Center Development Zoning Text and C.O. Section 1157.06. No environmental change shall be made to any property within the Village of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board.

Per Section **1157.09 Design Appropriateness**, the modifications to the building and site should be evaluated on these criteria:

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
 - Section 1(I)(E) of the Design Guidelines and Requirements (DGRs) – Design Principle and American Architectural Precedent – requires parking areas to be screened with landscaping and placed in locations to minimize their visual impact. See the landscaping section for additional information.
 - Section 8(II)(2) of the DGRs - Civic and Institutional Buildings – requires site plantings and landscaping to be an appropriate scale and design, based on or complementary to the architectural design of the buildings. See the landscaping section for additional information.
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*
 - Landscape:
 - The parking lot is landscaped to meet code chapter 1171.06(b) which requires “parking lots shall be screened from primary streets, residential areas, and open space by a three and one-half (3.5)-foot minimum height evergreen hedge or masonry wall, or combination of wall and plantings. The parking lot expansion is located along Fodor Road and is screened by evergreen shrubs.
 - Codified Ordinance 1171.08(a) requires “wet and dry stormwater basins shall be designed by a landscape architect in conjunction with a professional engineer to ensure that the basins have a natural shape and are graded and planted in an attractive manner.” The basin is designed with a natural curvature shape and is planted with a ornamental grasses, perennials, and evergreen shrubs.
 - The city code recommends 1171.06(a)(3) recommends one tree per 10 parking spaces be installed in the islands. The applicant is exceeding the recommended number of trees by providing a total of four.
 - Parking and Circulation:
 - The proposal adds 28 additional parking spaces to the High School parking lot. The maneuvering lane is 22 feet wide with 9 feet by 19 feet wide parking spaces which meet code requirements per code 1167.03(A)..
 - The additional parking utilizes the current circulation plan for the High School parking lot and routes incoming traffic from Fodor Road to the right to maximize stacking and increase the drop-off area near the building by creating a one-way counterclockwise loop to increase on-site safety. The additional spaces extend this circulation route.
 - Directional arrows will be painted on the asphalt to direct traffic through the parking lot and drop-off zone.
 - Signage:
 - No signage has been submitted at this time.
3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
 - The proposed addition of parking lot is an expansion of the existing parking areas preserves and expands the distinguishing original qualities of the site.
4. *All buildings, structures and sites shall be recognized as products of their own time.*
 - Not Applicable

5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
 - The parking lot is landscaped above the minimum code requirements. The addition of the water basin provides a creative addition to the already abundant landscaping character of the site and appears to be preserved.
6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
 - Not Applicable
7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
 - Not Applicable.

B. Urban Center Code Compliance

- The Urban Center Code provides the following lot and building standards for the Campus sub-district:

Standard	Minimum	Maximum	Proposed
Lot Area	No min	No max	76.7 acres
Lot Width	No min	No max	N/A
Lot Coverage	No min	No max	Unknown
Street Yard	30 feet	No max	50 feet
Side Yard	20 feet	No max	N/A
Rear Yard	20 feet	No max	N/A
Building Width	No min	No max	N/A
Stories	1	4	N/A
Height	No min	55 feet	N/A

- Urban Center Code Section 2.140.1 states that parking shall be provided as needed and supported by evidence-based standards. The application submittal includes a historical enrollment report and future projections. The report indicates that student enrollment projections could increase by approximately 16% over the next ten years.
- Urban Center Code Sections 2.1240.2 and 5.30 state that one bicycle hitch is to be provided based on the number of off-street parking spaces. This requirement is met from the existing conditions.

II. SUMMARY

The ARB should evaluate the overall proposed based on the requirements in the Urban Center Code, Design Guidelines & Requirements, and the Codified Ordinance Chapter 1171. The addition of parking is to accommodate the future growth of students attending the high school. The expansion does not appear to be substantial because it does not disrupt the flow of traffic nor does it disrupt the school's character. Furthermore, the addition of landscaping is appropriate for the school's characteristics. The site layout appears to be matching the intent of the standards and goals found within the Engage New Albany strategic plan, Urban Center Code, and the Design Guidelines and Requirements for institutional uses on a school campus. Therefore, the new and expanded parking lot configurations appear appropriate.

III. ACTION

Should the Architectural Review Board find sufficient basis for approval, the following motion would be appropriate (conditions may be added).

Suggested Motion for ARB-33-2023

Move to approve Certificate of Appropriateness application ARB-33-2023

Approximate Site Location:





Source: NearMap

Permit # _____
 Board _____
 Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>7600 FODOR RD</u>																																																												
	Parcel Numbers <u>222-000922</u>																																																												
Acres <u>76.73 AC</u>	# of lots created _____																																																												
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Description of Request: <u>APPROVAL OF A PROPOSED PARKING LOT EXPANSION AT THE NEW ALBANY HIGH SCHOOL.</u>																																																													
Contacts	Property Owner's Name: <u>THE BOARD OF EDUCATION OF THE NEW ALBANY - PLAIN LOCAL SCHOOL DISTRICT</u> Address: <u>55 N HIGH ST</u> City, State, Zip: <u>NEW ALBANY, OH</u> Phone number: <u>614-413-7102</u> Fax: _____ Email: <u>sawyers.1@napls.us</u>																																																												
	Applicant's Name: <u>D. ANDERS SAMUELSON PE</u> Address: <u>1160 DUBLIN RD</u> City, State, Zip: <u>COLUMBUS, OH</u> Phone number: <u>614-441-4222</u> Fax: _____ Email: <u>ASAMUELSON@MANNIKSMITHGROUP.COM</u>																																																												
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	Signature of Owner <u></u> Date: <u>2/9/23</u> Signature of Applicant <u></u> Date: <u>02/10/2023</u>																																																												

Fees & Submittal Information

Appeal		250.00	
Certificate of Appropriateness			
	ARB – single and two family residential	100.00	
	ARB – All other residential or commercial	300.00	X
	ARB - Signage	75.00	
Conditional Use		600.00	
Development Plan – Preliminary PUD or Comprehensive			
	Planning fee	First 10 acres	750.00
		Each additional 5 acres or part thereof	50.00 / each
	Engineering fee	1-25 lots	155.00 / each
		Minimum fee	1000.00
	Engineering fee	26 – 50 lots	3875.00
		Each additional lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each additional lot over 51	50.00 / each
Development Plan – Final PUD			
	Planning fee	First 10 acres	650.00
		Each additional 5 acres or part thereof	50.00
	Engineering fee	1-25 lots	155.00 / each
		(minimum fee \$1,000.00)	
	Engineering fee	26 – 50 lots	3875.00
		Each additional lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each additional lot over 51	50.00 / each
Development Plan – Non-PUD			300.00
Development Plan / Text Amendment			600.00
Plat – Road Preliminary			
	Planning fee		350.00
	Engineering fee	no lots on either side of street	1.00 / LF
		lots on one side of street	.50 / LF
		Minimum fee	1,000.00
Plat – Road Final			
	Planning fee		350.00
	Engineering fee	no lots on either side of street	1.00 / LF
		lots on one side of street	.50 / LF
		Minimum fee	1,000.00
Plat – Subdivision Preliminary			
	Planning		650.00
		Plus each lot	50.00 / each
	Engineering fee	1-25 lots	155.00 / each
		(minimum fee \$1,000.00)	
	Engineering fee	26 – 50 lots	3875.00
		Each lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each lot over 51	50.00 / each

Fees & Submittal Requirements

Plat – Subdivision Final			
Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 /each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____
Lot Changes		200.00	_____
Minor Commercial Subdivision		200.00	_____
Vacation (Street or Easement)		1200.00	_____
Variance			
	Non-single family, commercial, subdivision, multiple properties	600.00	_____
	Single Family residence	250.00	_____
	In conjunction with Certification of Appropriateness	100.00	_____
Extension Request		0.00	_____
Zoning			
	Rezoning - First 10 acres	700.00	_____
	Each additional 5 acres or part thereof	50.00 / each	_____
	Rezoning to Rocky Fork Blacklick Accord	250.00	_____
	Text Modification	600.00	_____
Easement Encroachment		800.00	_____

New Albany-Plain Local School District

HISTORICAL ENROLLMENT

Over the past ten years, student enrollment in the New Albany-Plain Local School District has increased by 454 students in grades Pre-K – 12, including ungraded students. Total enrollment for the 2021-22 school year is 5,110 students.

The following tables and graph illustrate the District’s Pre-K – 12 enrollment history from 2012-13 through 2021-22.

**New Albany-Plain Local School District
Historical Enrollment**

Grade	2012-13	2013-14	2014-15	2015-16	2016-17	2017-18	2018-19	2019-20	2020-21	2021-22
Pre-K	0	0	0	0	0	130	130	153	127	177
K	327	294	268	306	253	312	334	322	301	307
1	333	383	359	324	366	324	359	378	354	348
2	398	348	406	357	348	374	334	383	379	367
3	399	403	357	404	357	348	374	332	395	377
4	383	409	414	364	402	358	362	378	328	393
5	366	376	416	427	351	400	347	354	387	327
6	413	381	376	415	426	356	401	358	368	397
7	376	413	392	379	412	416	362	403	371	382
8	389	388	425	392	379	409	431	354	420	378
9	323	373	394	398	380	378	419	435	357	424
10	312	316	387	385	404	379	380	410	443	356
11	335	324	310	373	380	393	400	381	399	459
12	294	324	319	310	374	368	397	387	393	418
Pre-K - 12 Total	4,648	4,732	4,823	4,834	4,832	4,945	5,030	5,028	5,022	5,110
Ungraded	8	4	2	3	3	0	0	0	0	0
Grand Total	4,656	4,736	4,825	4,837	4,835	4,945	5,030	5,028	5,022	5,110

Source: Ohio Department of Education, EMIS; New Albany-Plain Local School District, September 20, 2021 count

**New Albany-Plain Local School District
Historical Enrollment by Grade Group**

Grade	2012-13	2013-14	2014-15	2015-16	2016-17	2017-18	2018-19	2019-20	2020-21	2021-22
Pre-K - K	327	294	268	306	253	442	464	475	428	484
1 - 3	1,130	1,134	1,122	1,085	1,071	1,046	1,067	1,093	1,128	1,092
4 - 6	1,162	1,166	1,206	1,206	1,179	1,114	1,110	1,090	1,083	1,117
7 - 8	765	801	817	771	791	825	793	757	791	760
9 - 12	1,264	1,337	1,410	1,466	1,538	1,518	1,596	1,613	1,592	1,657
Pre-K - 12 Total	4,648	4,732	4,823	4,834	4,832	4,945	5,030	5,028	5,022	5,110
Ungraded	8	4	2	3	3	0	0	0	0	0
Grand Total	4,656	4,736	4,825	4,837	4,835	4,945	5,030	5,028	5,022	5,110

Source: Ohio Department of Education, EMIS; New Albany-Plain Local School District, September 20, 2021 count

New Albany-Plain Local School District

High Projection

The high projections indicate an increase of 793 students or approximately 16% over the next ten years.

**New Albany-Plain Local School District
Projected Enrollment - High**

Grade	2021-22 Actual	2022-23	2023-24	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-31	2031-32
Pre-K	177	194	195	199	185	192	194	196	198	199	201
K	307	336	337	344	320	333	336	339	342	345	348
1	348	362	396	396	405	377	392	396	399	403	406
2	367	367	381	416	417	426	396	413	416	420	424
3	377	374	373	388	424	424	434	403	420	424	428
4	393	387	383	382	397	434	434	444	413	430	434
5	327	395	388	384	383	398	435	436	445	414	431
6	397	338	407	400	397	396	411	449	450	460	428
7	382	412	350	422	415	411	410	426	466	466	477
8	378	393	423	360	434	426	422	421	437	478	479
9	424	383	398	429	364	439	431	428	427	443	484
10	356	432	390	404	436	371	447	439	435	434	450
11	459	368	445	402	417	449	382	460	452	448	447
12	418	478	382	463	418	434	467	397	479	470	466
Pre-K - 12 Total	5,110	5,219	5,248	5,389	5,412	5,510	5,591	5,647	5,779	5,834	5,903

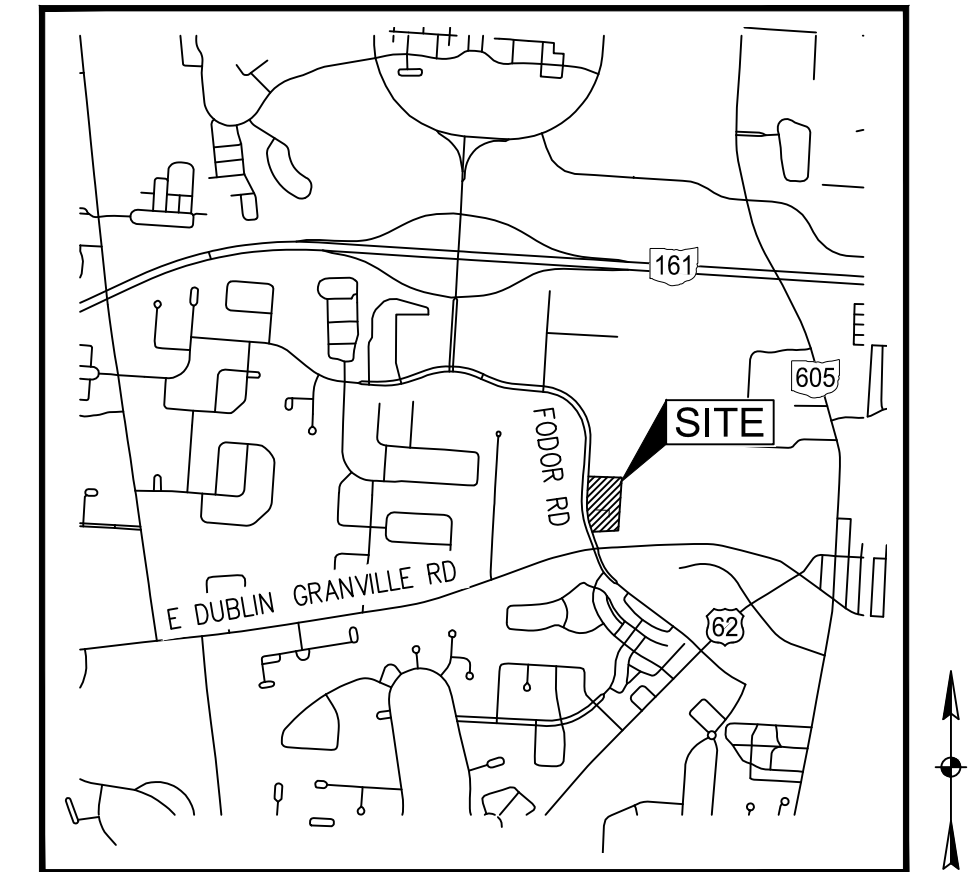
Source: FutureThink

**New Albany-Plain Local School District
Projected Enrollment by Grade Group - High**

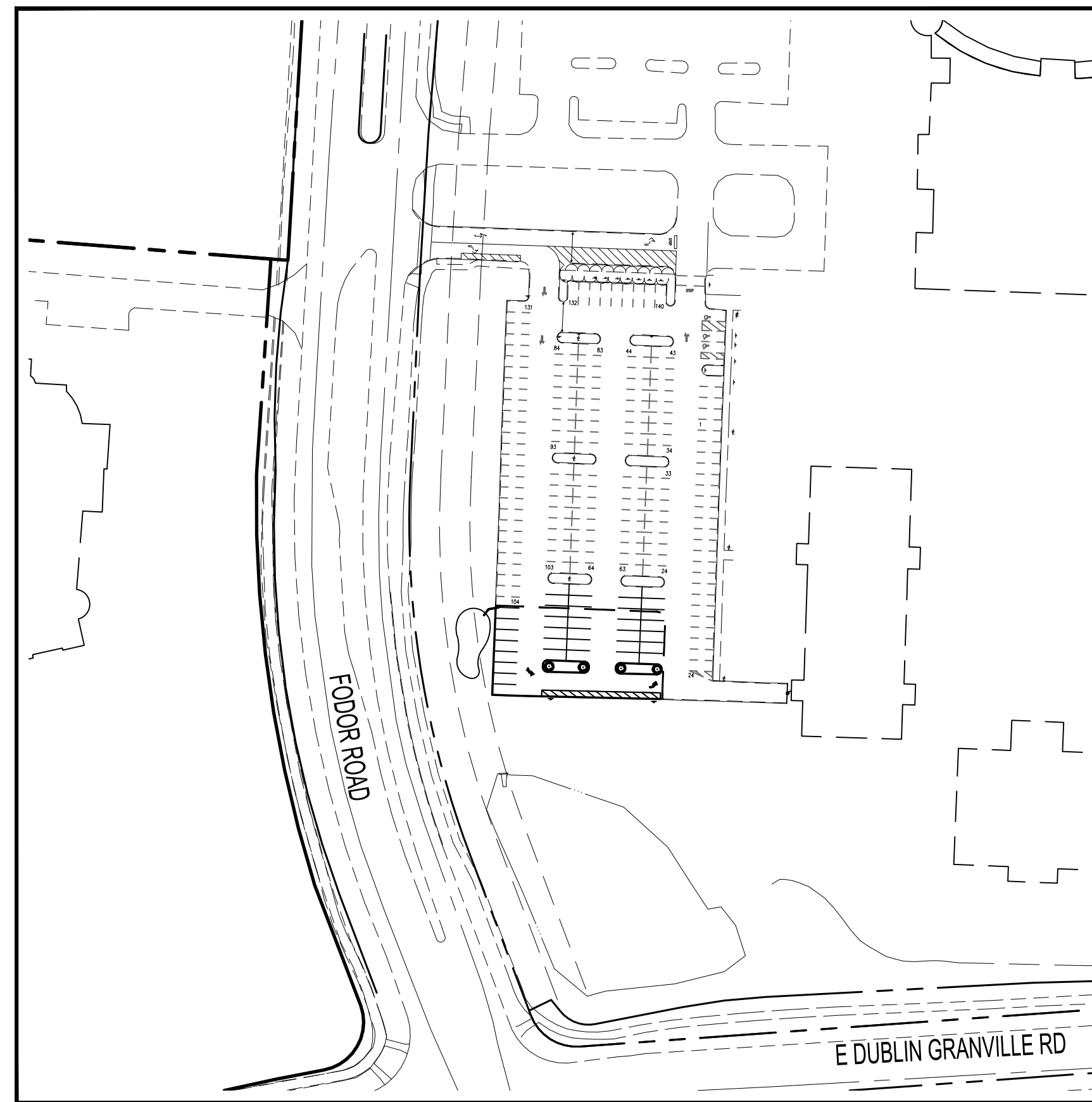
Grade	2021-22 Actual	2022-23	2023-24	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-31	2031-32
Pre-K - K	484	530	532	543	505	525	530	535	540	544	549
1 - 3	1,092	1,103	1,150	1,200	1,246	1,227	1,222	1,212	1,235	1,247	1,258
4 - 6	1,117	1,120	1,178	1,166	1,177	1,228	1,280	1,329	1,308	1,304	1,293
7 - 8	760	805	773	782	849	837	832	847	903	944	956
9 - 12	1,657	1,661	1,615	1,698	1,635	1,693	1,727	1,724	1,793	1,795	1,847
Pre-K - 12 Total	5,110	5,219	5,248	5,389	5,412	5,510	5,591	5,647	5,779	5,834	5,903

Source: FutureThink

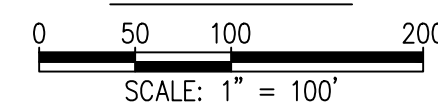
SITE IMPROVEMENT PLANS FOR SOUTH STADIUM PARKING LOT EXPANSION PLAN FOR NEW ALBANY PLAIN LOCAL SCHOOLS



VICINITY MAP
NOT TO SCALE



INDEX MAP



INDEX OF SHEETS

COVER SHEET	C100
GENERAL NOTES	C101
EXISTING CONDITIONS AND DEMOLITION PLAN	C200
SITE PLAN	C300
UTILITY AND GRADING PLAN	C400
EROSION CONTROL PLAN	C500
EROSION CONTROL NOTES	C501

PROJECT DESCRIPTION

EXTENSION OF EXISTING PARKING LOT WITH IMPROVEMENTS TO THE EXISTING STORM SEWER AND CONSTRUCTION OF A DETENTION BASIN

BENCH MARKS

ALL BENCH MARKS AND ELEVATIONS SHOWN UPON THIS PLAN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). HORIZONTAL CONTROLS ARE TIED TO GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM, BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH/SOUTH ZONE, NORTH AMERICAN DATUM OF 1983, ALSO KNOWN AS NAD83.

B.M. #1
PUT THE DESCRIPTION OF THE BENCHMARK HERE

B.M. #1
PUT THE DESCRIPTION OF THE BENCHMARK HERE

APPROVALS

SIGNATURES BELOW SIGNIFY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE DESIGN ENGINEER PREPARING THE PLANS.

TITLE	DATE
TITLE	DATE
TITLE	DATE
TITLE	DATE
TITLE	DATE
TITLE	DATE

ENGINEER



CONTACT: ASHLEY FOWLER
ADDRESS: 1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
PHONE: 614.441.4222
EMAIL: AFOWLER@MANNIKSMITHGROUP.COM

ASHLEY FOWLER, PE
REGISTERED PROFESSIONAL ENGINEER

PRELIMINARY
NOT FOR CONSTRUCTION

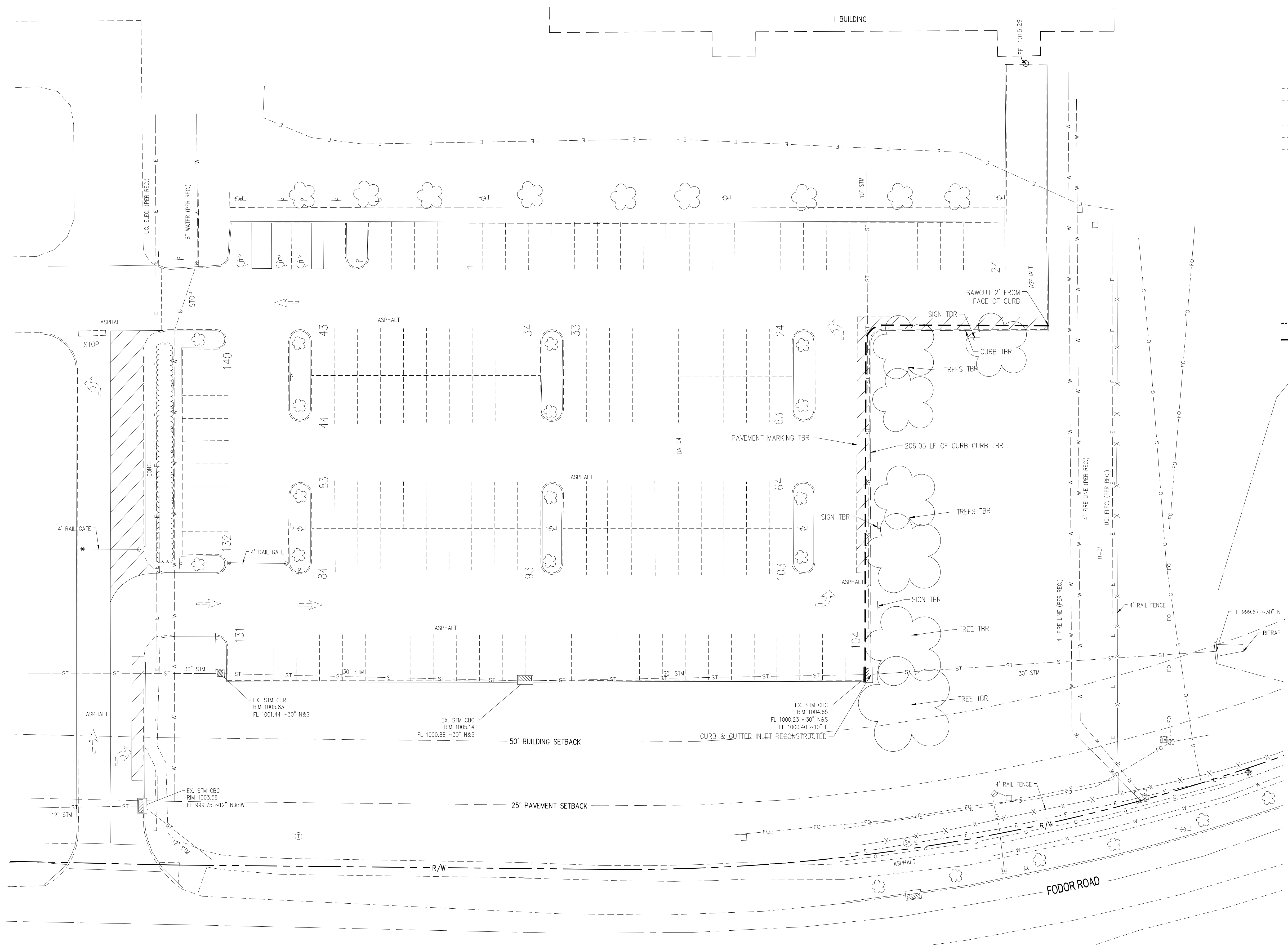


REV NO	DATE	BY	REVISION DESCRIPTION

PROJECT DATE: 02/24/23
PROJECT NO.: N3070001
C100

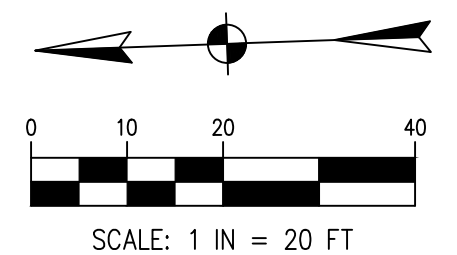
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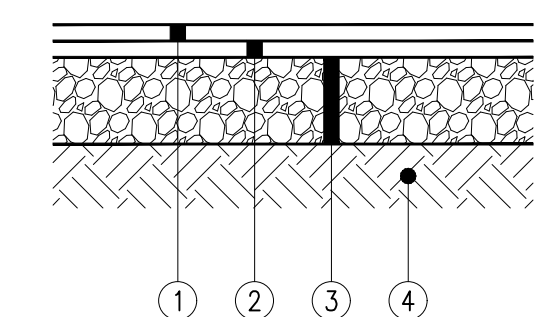
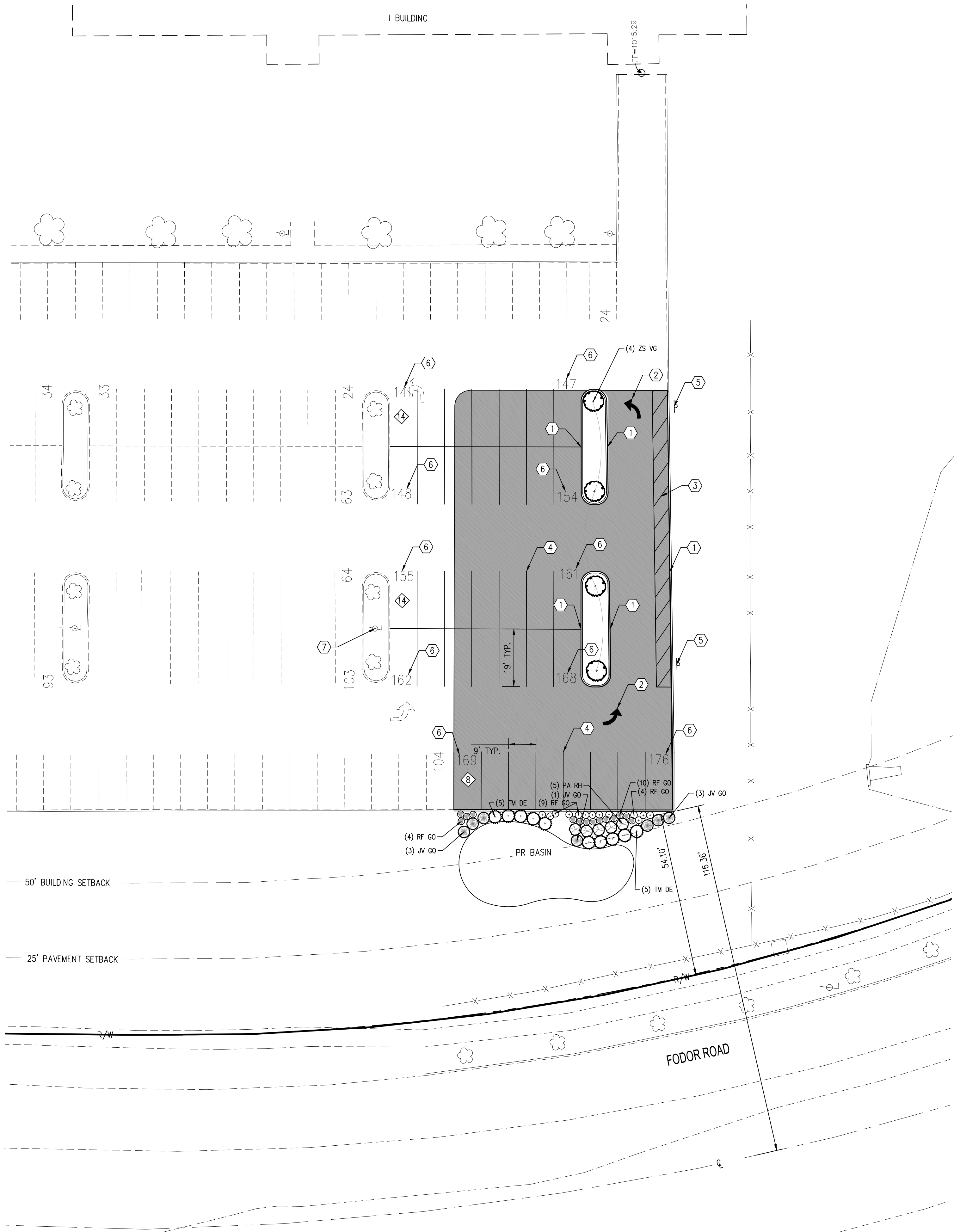


LEGEND

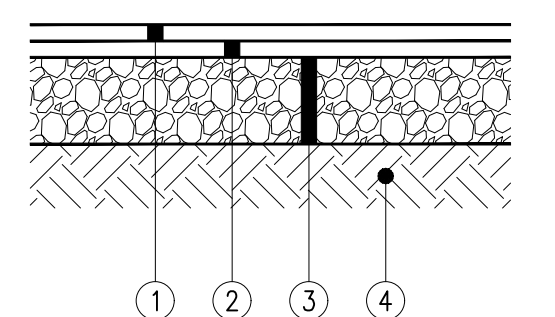
	EX TREE
	EX SIGN
	EX GAS LINE
	EX STORM
	EX SANITARY
	EX FIBER OPTIC LINE
	EX UNDERGROUND ELECTRIC
	EX WATER LINE
	EX SANITARY MANHOLE
	EX LIGHT POLE
	EX CURB & GUTTER INLET
	EX STORM CATCH BASIN
	EX TRAFFIC SIGNAL PULLBOX
	EX POWER POLE
	EX FIRE HYDRANT
	EX TELEPHONE MANHOLE
	EX ELECTRICAL PEDESTAL/STRUCTURE
	EX FIRE DEPARTMENT CONNECTION
	EX CURB TO BE REMOVED
	SAWCUT LINE



EXISTING CONDITIONS AND DEMOLITION PLAN	SITE IMPROVEMENT PLAN FOR	NEW ALBANY SCHOOLS LOCAL SCHOOLS	PREPARED FOR	DESCRIPTION
C100	NEW ALBANY SCHOOLS PARKING LOT EXPANSION	NEW ALBANY PLAIN LOCAL SCHOOLS	55 NORTH HIGH STREET NEW ALBANY, OH 43054	1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 614.441.4222
			www.MannitSmithGroup.com	NO. DATE BY
			TECHNICAL SKILL: CREATIVE SPIRIT.	PROJECT NO: N370001 PROJECT DATE: 02/24/2023 DRAWN BY: PC CHECKED BY: DAS
				PRELIMINARY NOT FOR CONSTRUCTION



- LIGHT DUTY ASPHALT
- ① ITEM 441, 1-1/2" ASPHALT CONCRETE, SURFACE COURSE
 - ② ITEM 441, 2" ASPHALT CONCRETE, INTERMEDIATE COURSE
 - ③ ITEM 304, 8" CRUSHED AGGREGATE BASE
 - ④ SUBGRADE COMPACTION



- ALTERNATE LIGHT DUTY ASPHALT
- ① ITEM 441, 2" ASPHALT CONCRETE, SURFACE COURSE
 - ② ITEM 441, 2.5" ASPHALT CONCRETE, INTERMEDIATE COURSE
 - ③ ITEM 304, 8" CRUSHED AGGREGATE BASE
 - ④ SUBGRADE COMPACTION

ALL PAVEMENT MATERIALS SHALL CONFORM TO THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

PAVEMENT SECTIONS PROVIDED FOR REFERENCE ONLY. SEE SUBGRADE EXPLORATION REPORT DATED 01/18/23 FOR PAVEMENT RECOMMENDATIONS

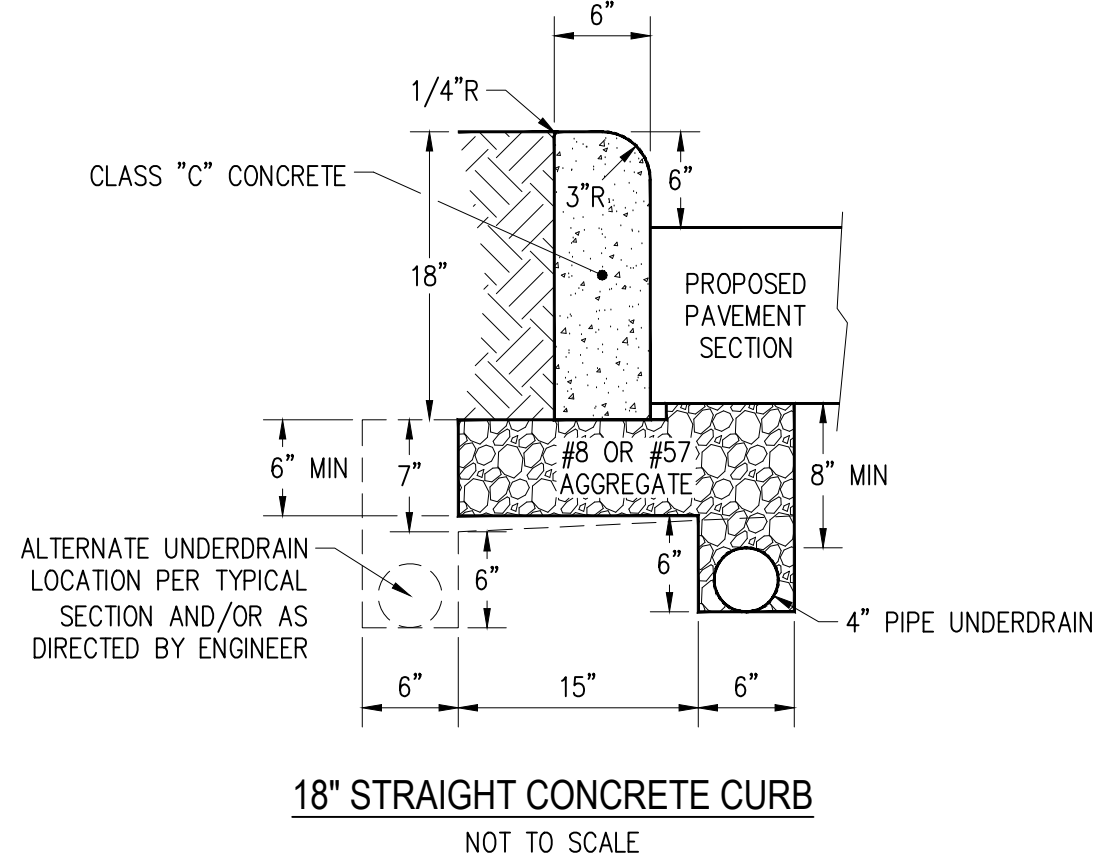
PAVEMENT SECTIONS
NOT TO SCALE

LEGEND

- PR PARKING LOT EXTENSION
- PR TREE
- PARKING COUNTS

CODED NOTES

- ① PR STRAIGHT 18" CURB PER DETAIL THIS SHEET
- ② PR PAVEMENT MARKINGS
- ③ PR FIRE LANE MARKINGS
- ④ PR PARKING STRIPPING
- ⑤ PR FIRE LOOP SIGN
- ⑥ PR PARKING SPACE NUMBERING
- ⑦ EXISTING SINGLE HEAD FIXTURE TO BE REPLACE BY DOUBLE HEAD FIXTURE MATCHING EXISTING (OR APPROVED EQUAL)

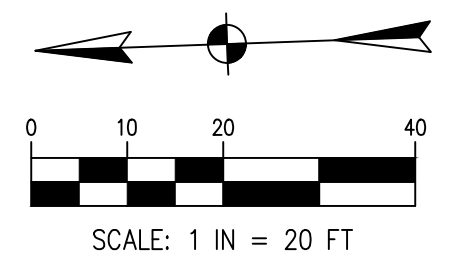


SCHEDULE OF QUANTITIES			
ODOT ITEM NO.	DESCRIPTION	QTY	UNIT
SOUTH STADIUM PARKING LOT EXPANSION			
201	TREE REMOVED	7	EA
202	CATCH BASIN OR INLET REMOVED	1	EA
441	ASPHALT SURFACE COURSE, TYPE 1, (448), PG64-22	42	CY
441	ASPHALT INTERMEDIATE COURSE, TYPE 2, (448), PG64-22	57	CY
605	6" CONSTRUCTION UNDERDRAINS	200	LF
611	CATCH BASIN	1	EA
611	PRECAST REINFORCED CONCRETE OUTLET	1	EA
642	LANE ARROW, TYPE ____	2	EA
642	PARKING LOT STALL MARKING, TYPE ____	734	LF
642	ISLAND MARKING, TYPE ____	489	SF
SOUTH STADIUM PARKING LOT EXPANSION OPTION A			
441	ASPHALT SURFACE COURSE, TYPE 1, (448), PG64-22 (ADDITIONAL 1")	29	CY

SITE DATA		
PARCEL ID NUMBER:	222-000922-00	
SITE ADDRESS:	7520 FODOR ROAD, NEW ALBANY OHIO, 43054	
ZONING:	UC (URBAN CENTER)	
ADJACENT ZONING:	UC (URBAN CENTER)	
SETBACKS:		
	FRONT	SIDE
BUILDING	50'	NA
PAVEMENT	25'	NA
PARKING:		
	REQUIRED	PROVIDED
ADA	6	3
TOTAL	NA	185
BIKE PARKING:		
	REQUIRED	PROVIDED
	14	27

LANDSCAPE PLANT LIST

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
ZS VG	4	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	1.5" CALIPER	B&B	DECIDUOUS TREE
JV GO	7	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	30" HEIGHT	CONTAINER	EVERGREEN SHRUB
TM DE	10	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	30" HEIGHT	CONTAINER	EVERGREEN SHRUB
PA RH	5	PENNISETUM ALOPECUROIDES 'RED HEAD'	'RED HEAD' FOUNTAIN GRASS'	3 GALLON	CONTAINER	ORNAMENTAL GRASS
RF GO	13	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	1 GALLON	CONTAINER	FLOWERING PERENNIAL
SO OS	14	SYMPHYOTRICHUM OBLONGIFOLIUM 'OCTOBER SKIES'	OCTOBER SKIES AROMATIC ASTER	1 GALLON	CONTAINER	FLOWERING PERENNIAL



PRELIMINARY
 NOT FOR CONSTRUCTION

NO. _____
 DATE _____
 BY _____

1160 DUBLIN ROAD
 SUITE 100
 COLUMBUS, OH 43215
 TEL: 614.441.4222
 FAX: 888.888.7340
 PROJECT DATE: 02/24/2023
 PROJECT NO: N3070001
 DRAWN BY: PC
 CHECKED BY: DAS

Mannik Smith GROUP
 www.MannikSmithGroup.com
 TECHNICAL SKILL.
 CREATIVE SPIRIT.

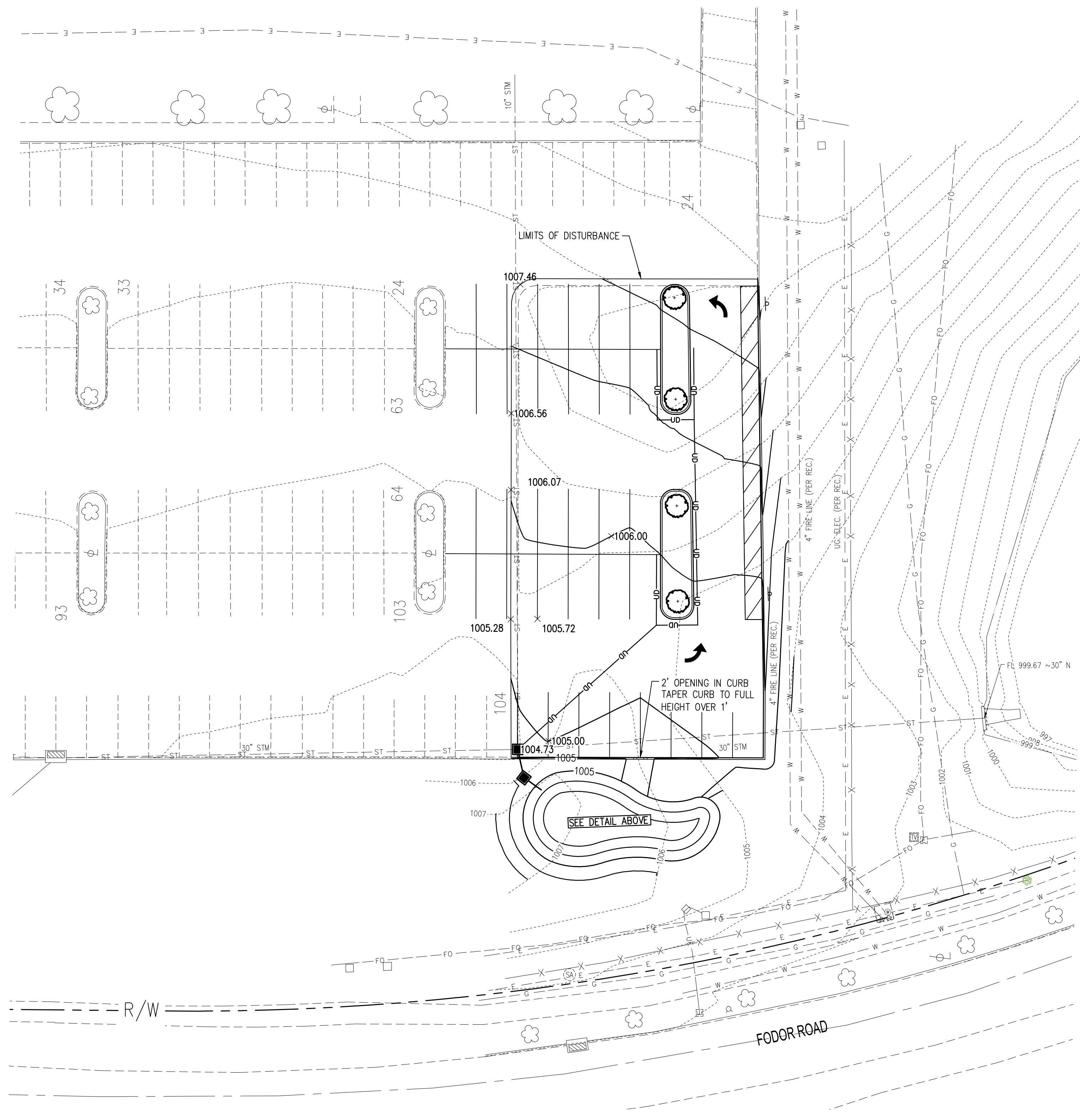
PREPARED FOR:
 NEW ALBANY PLAIN
 LOCAL SCHOOLS
 55 NORTH HIGH STREET
 NEW ALBANY, OH 43054

SITE IMPROVEMENT PLAN FOR
 NEW ALBANY SCHOOLS
 PARKING LOT EXPANSION
 7600 FODOR RD., NEW ALBANY OH 43054

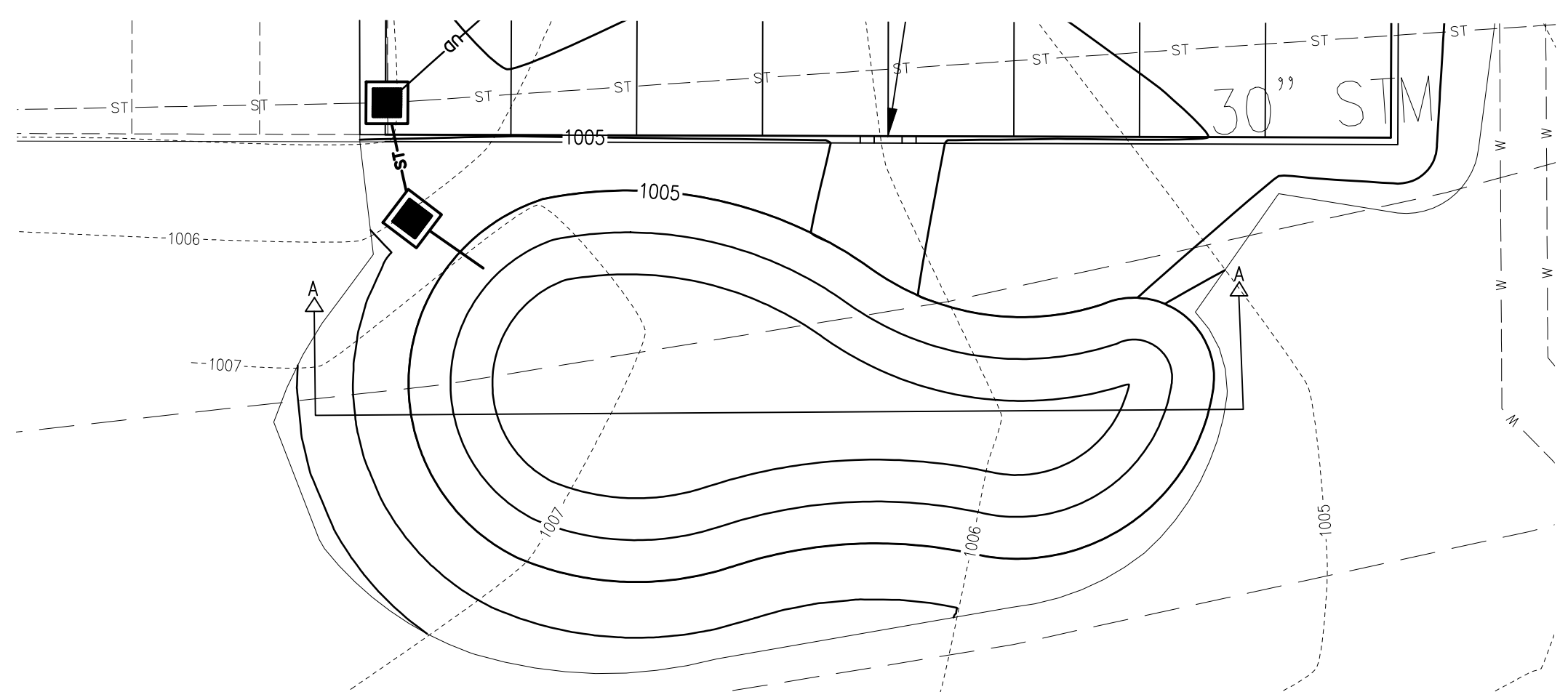
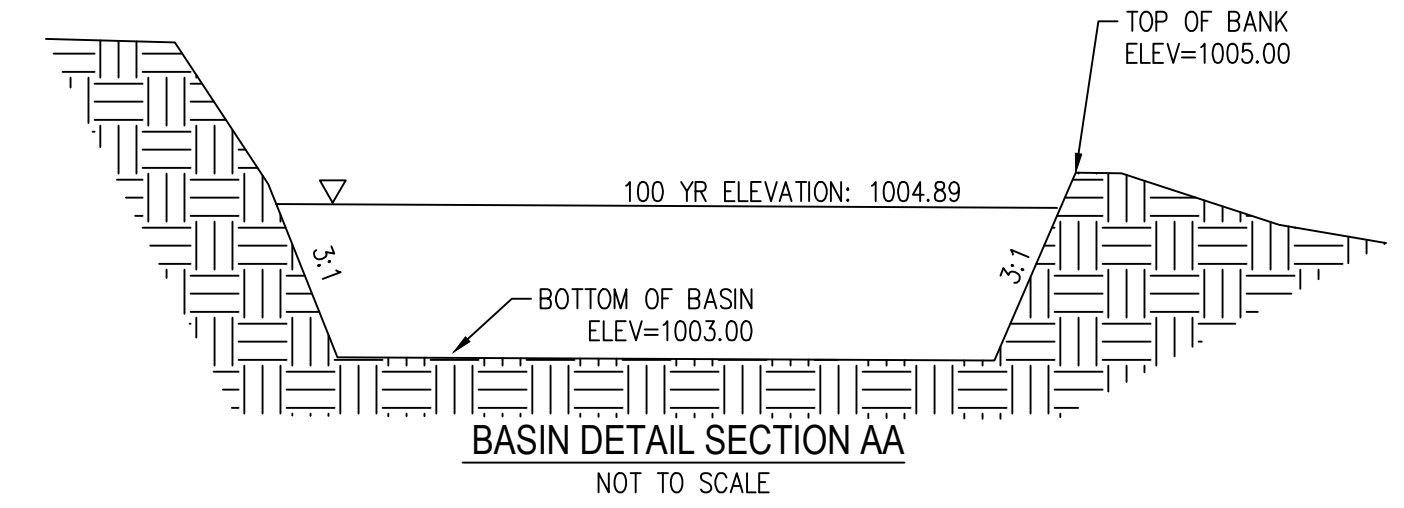
SITE PLAN &
 LANDSCAPE PLAN

C200

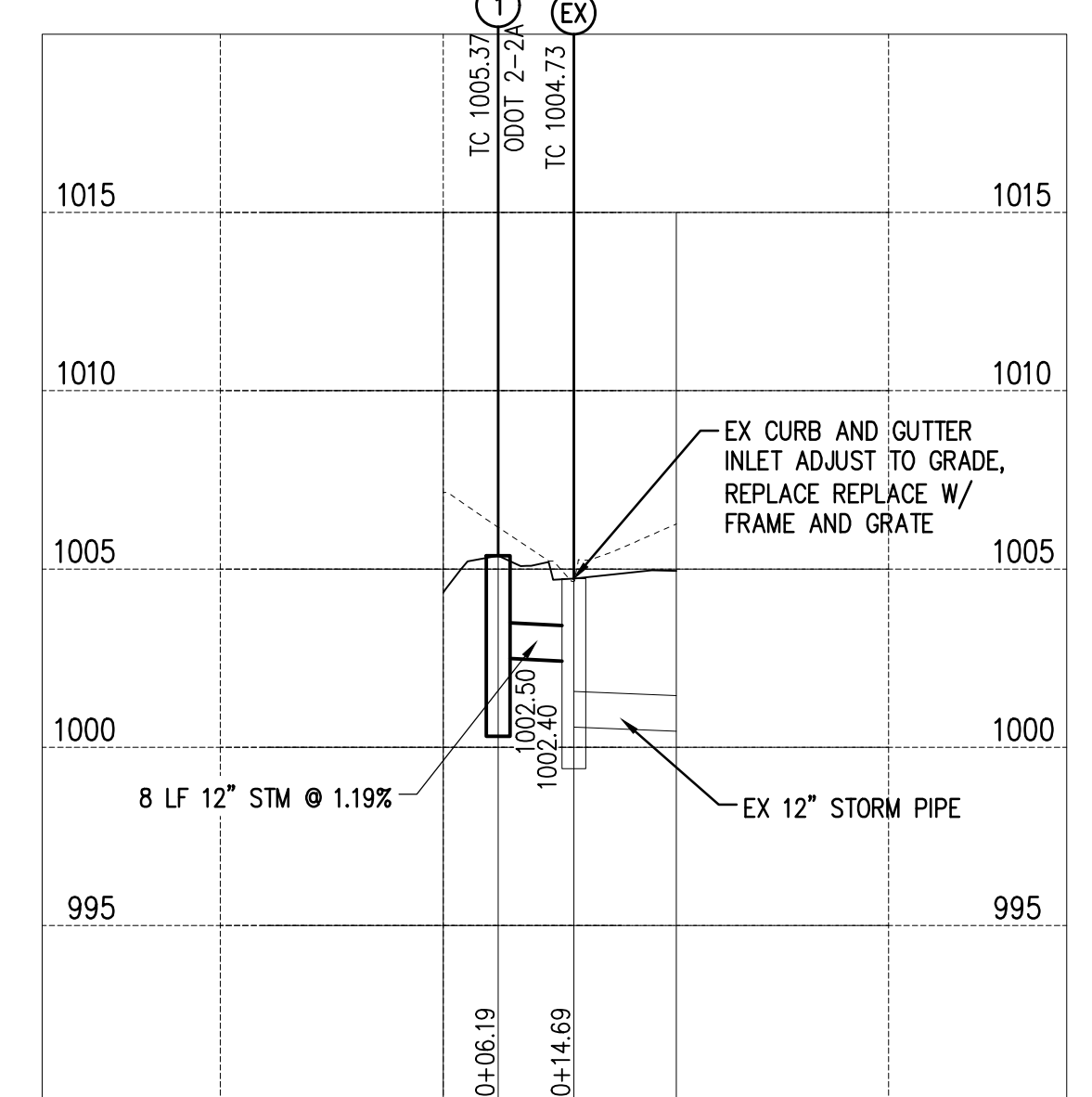
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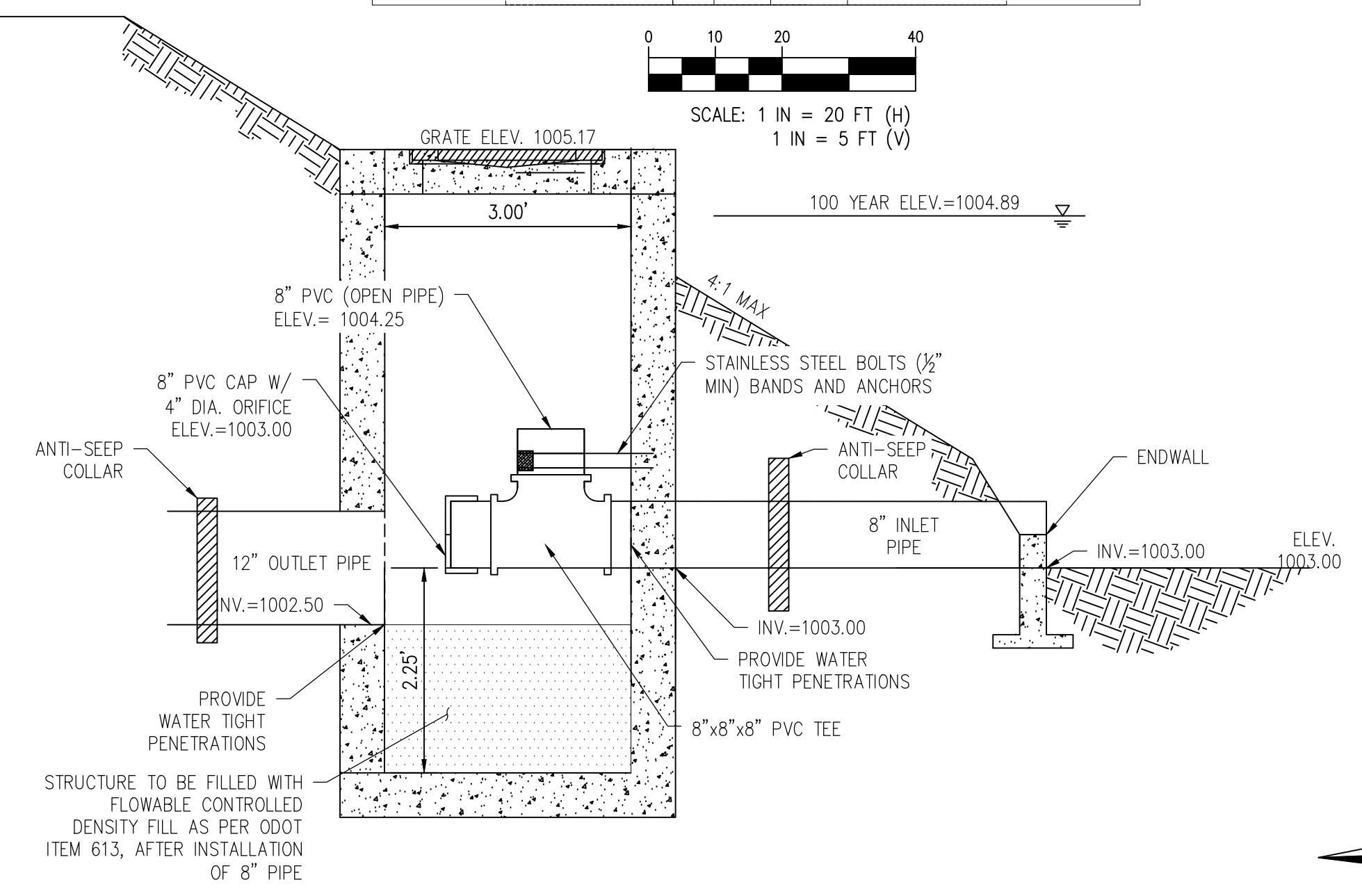
LEGEND
 UD PR UNDERDRAIN



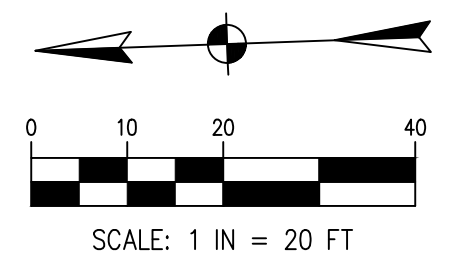
BASIN
 SCALE: 1 IN = 10 FT
 PROFILE VIEW OF STORM MAIN LINE



SCALE: 1 IN = 20 FT (H)
 1 IN = 5 FT (V)



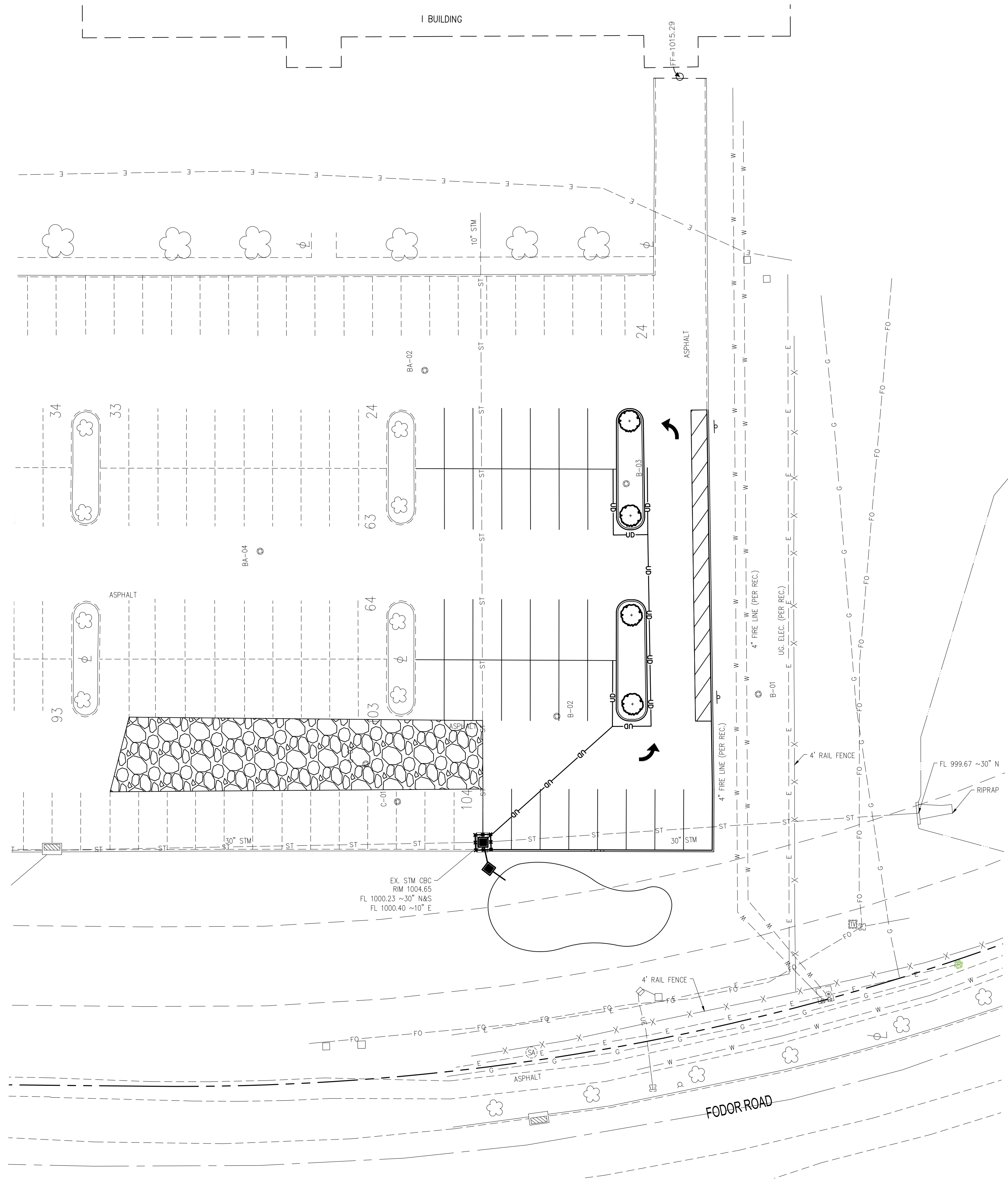
OUTLET CONTROL STRUCTURE 2
MODIFIED ODOT 2-3 CATCH BASIN
 NOT TO SCALE





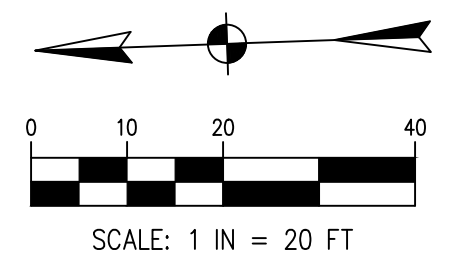
1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 614.441.4222	NO.	DATE	BY	DESCRIPTION
	<p style="color: red; text-align: center;">PRELIMINARY NOT FOR CONSTRUCTION</p>			
PROJECT DATE: 02/24/2023 PROJECT NO: N3070001 DRAWN BY: DAS CHECKED BY: PC				
PREPARED FOR: NEW ALBANY PLAIN LOCAL SCHOOLS 55 NORTH HIGH STREET NEW ALBANY, OH 43054				
SITE IMPROVEMENT PLAN FOR NEW ALBANY SCHOOLS PARKING LOT EXPANSION 7600 FODOR RD., NEW ALBANY OH 43054				
GRADING AND UTILITY PLAN				
C300				


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- LEGEND**
-  PR PARKING LOT EXTENSION
 -  PR DANDY BAG, SEE DETAILS SHEET CXXX



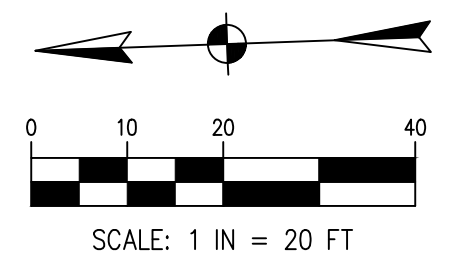
EROSION CONTROL PLAN	SITE IMPROVEMENT PLAN FOR NEW ALBANY SCHOOLS PARKING LOT EXPANSION 7600 FODOR RD., NEW ALBANY OH 43054		PREPARED FOR NEW ALBANY PLAIN LOCAL SCHOOLS 55 NORTH HIGH STREET NEW ALBANY, OH 43054	 TECHNICAL SKILL: CREATIVE SPIRIT.	1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 688.688.7340 PROJECT DATE: 02/24/2023 PROJECT NO: N3070001 DRAWN BY: PC CHECKED BY: DAS	NO. DATE BY DESCRIPTION
	PRELIMINARY NOT FOR CONSTRUCTION					

C400

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TOTAL PARKING AFTER ADDITION:	327 SPACES
HITCHES REQUIRED (4 PER 100 SPACES):	14 HITCHES
FIXED BIKE RACK HITCHES PROVIDED	27 HITCHES



<p>PRELIMINARY NOT FOR CONSTRUCTION</p>	NO.	DATE	BY	DESCRIPTION
<p>1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 614.441.7340</p>		<p>PROJECT DATE: 02/24/2023</p>		PC
<p>PROJECT NO: N370001</p>		<p>DRAWN BY: N370001</p>		DAS
<p>TECHNICAL SKILL: CREATIVE SPIRIT.</p>				
<p>PREPARED FOR: NEW ALBANY PLAIN LOCAL SCHOOLS 55 NORTH HIGH STREET NEW ALBANY, OH 43054</p>		<p>SITE IMPROVEMENT PLAN FOR NEW ALBANY SCHOOLS PARKING LOT EXPANSION 7600 FODOR RD., NEW ALBANY OH 43054</p>		
<p>BIKE RACK EXHIBIT</p>		<p>EX01</p>		



**Architectural Review Board Staff Report
March 13, 2023 Meeting**

**CERTIFICATE OF APPROPRIATENESS
TAYLOR FARM PARK RESTROOM AND STORAGE BUILDING**

LOCATION: Taylor Farm Park (PID: 222-005165)
APPLICANT: City of New Albany c/o Adrienne Joly
REQUEST: Certificate of Appropriateness
ZONING: Agricultural (AG)
STRATEGIC PLAN: Parks and Green Space
APPLICATION: ARB-34-2023

Review based on: Application materials received on February 23, 2023.

Staff report prepared by Chris Christian, Planner II.

I. REQUEST AND BACKGROUND

This certificate of appropriateness application is for a new building to provide community meeting space, restrooms and indoor storage at Taylor Farm Park on Dublin Granville Road.

Per Section 8 of the New Albany Design Guidelines and Requirements, civic and institutional projects must submit a development plan for review by the Architectural Review Board (ARB). The plan should include site design, building locations, building form and massing information, and a palette of design elements that includes exterior materials, window and door design, colors, and ornamentation. Section 8 of the New Albany Design Guidelines and Requirements applies to all park and recreation buildings therefore, ARB review and approval is required. All other proposed or existing improvements shown on the site plan do not constitute as new buildings and therefore do not require ARB review.

There is related variance application for the property relating to the city floodplain regulations scheduled to be heard by the Planning Commission during their March 20, 2023 meeting (VAR27-2023).

II. SITE DESCRIPTION & USE

Taylor Farm Park is located on the far western corporate boundary that is shared with the city of Columbus along Dublin Granville Road. The site contains an existing historic home, summer kitchen, garage, chicken house, barn and parking lot.

III. EVALUATION

The ARB's review is pursuant to C.O. Section 1157.06 (Architectural Review Overlay District). No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the building and site should be evaluated on these criteria:

A. Certificate of Appropriateness

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
 - The applicant proposes to construct a new bathroom and storage building on the Taylor Farm Park site. The proposed 550+/- sq. ft. building is located adjacent to the existing chicken house which is proposed to be restored.
 - Section 8 of the New Albany Design Guidelines and Requirements provides the requirements for all civic and institutional projects in New Albany. Section 8 (III.2) requires the architectural style of a civic building to be appropriate to the context, location and function of the building and be based on traditional practice in American architecture. Public recreation structures may be appropriately designed as vernacular buildings or even in the form of traditional barns.
 - A report by Hardlines Design Company outlines how the existing half monitor chicken house was invented by the University of Illinois and became popular on rural properties throughout the Midwest in the 1920s. The report concludes that the proposed bathroom and storage facility design is appropriate to the context of the site as it mimics the design and scale of the existing chicken house.
 - DGR Section 8(III)(4) states that civic and institutional designs shall follow the precedents of traditional American architectural designs, with particular care paid to the proportions of wall height to width; roof shape; and proportions of windows and doors, including vertically-proportioned window panes. The details and design characteristics of the traditional style selected for a new building shall be carefully studied and faithfully rendered in the new building's design.
 - This requirement is met as the proposed building is designed to mimic the existing, historic chicken house which sits directly adjacent to it. The design includes a monitor with vertically proportioned windows, wood siding, a standing seam metal roof and the addition of functional barn doors to enter the building.
 - The applicant identifies the following exterior materials on the plans:
 - Dark wood siding;
 - CMU;
 - Steel roof panels; and
 - Fixed wood windows
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*

Landscape

- There are no landscape requirements for the site as it is zoned Agricultural (AG). There are some complimentary landscape improvements shown on the site plan around the proposed and existing buildings and community garden area.

Lighting

- Four gooseneck, downcast lights are proposed to be added above the entrances to each building. The proposed fixtures are appropriate as they are not excessive and simply assist with ingress and egress of the buildings.

Parking and Circulation

- The site is accessed via two existing curb cuts along Dublin Granville Road. There is an existing parking lot on the site for visitors of the park. In addition, a new drop off lane will be constructed in between the proposed restroom and storage facility and the existing barn.

Signage

- No signage was submitted for review. All new signage will be subject to staff review during the permitting process.
3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
 - The restroom building is consistent with the restored chicken house and preserves the agrarian nature of the site.
 4. *All buildings, structures and sites shall be recognized as products of their own time.*
 - The proposed building is new construction and is appropriately designed to mimic the existing chicken house on the site.
 5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
 - The design of the proposed building resembles a historic chicken house.
 6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
 - Not applicable.
 7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
 - It does not appear that the essential form and integrity of the existing chicken house will be altered.

B. Agricultural (AG) Zoning District Development Standards Compliance

- The proposed building meets all of the Agricultural (AG) zoning district requirements found in C.O. 1129.06 and provided below.

Standard	Requirement	Proposed
Lot Area	Not less than 5 acres	10.17 [meets code]
Minimum Lot Frontage	200 feet	600+/- feet [meets code]
Minimum Front Yard Depth	50 feet	300+/- feet [meets code]
Minimum Side Yard Width	20 feet	240+/- feet [meets code]
Minimum Rear Yard Depth	50 feet	274+/- feet [meets code]
Maximum Height	45 feet	16 feet [meets code]

IV. SUMMARY

The Architectural Review Board should evaluate the overall proposal based on the requirements in the Design Guidelines and Requirements. The proposed building is appropriately scaled and positioned on the site and is sensitive to the existing building environment that surrounds it, paying homage to the rural history of the area.

V. ACTION

Should the ARB find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

Move to approve application ARB-34-2023.

Approximate Site Location:



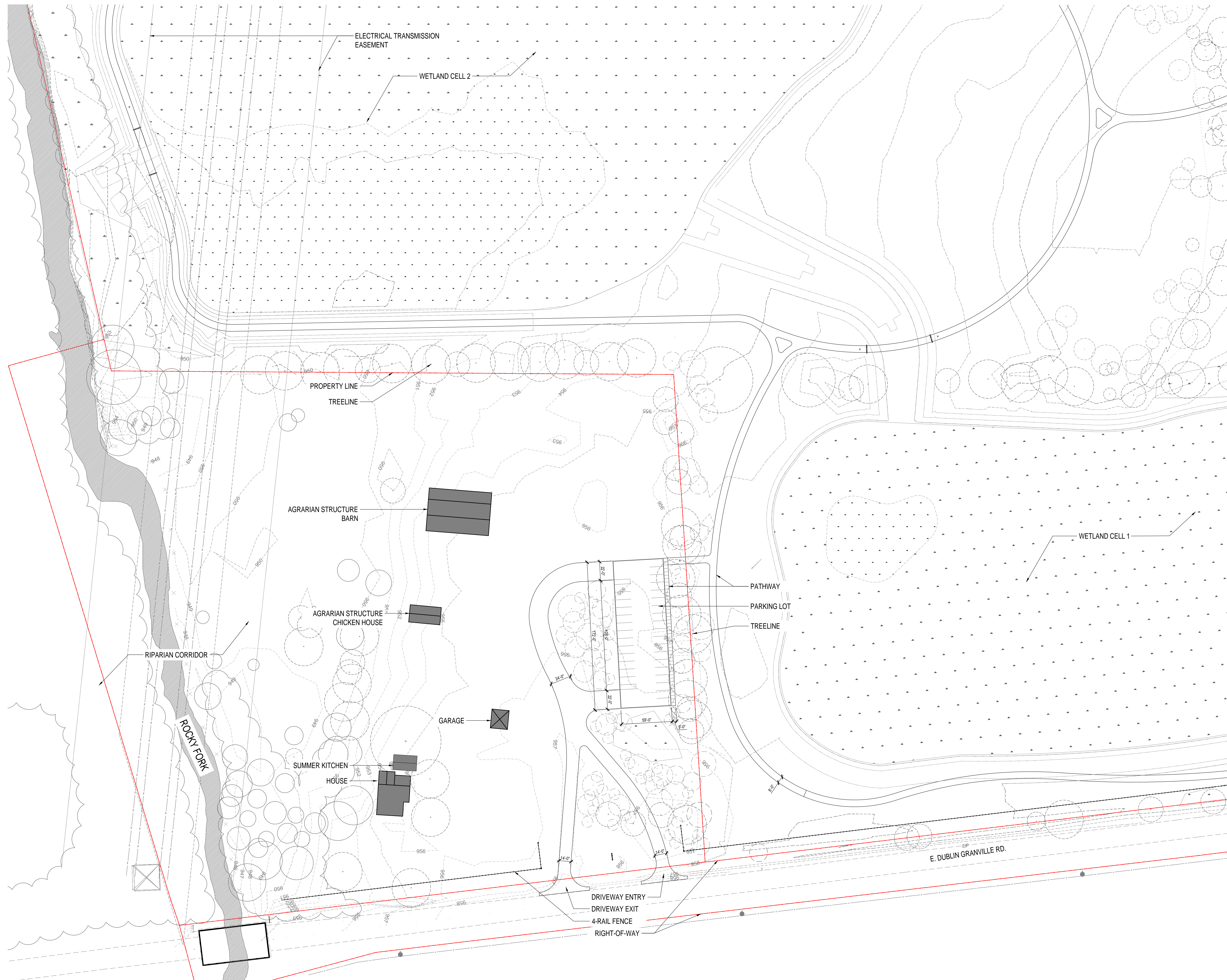
Source: NearMap

Permit # _____
 Board _____
 Mtg. Date _____



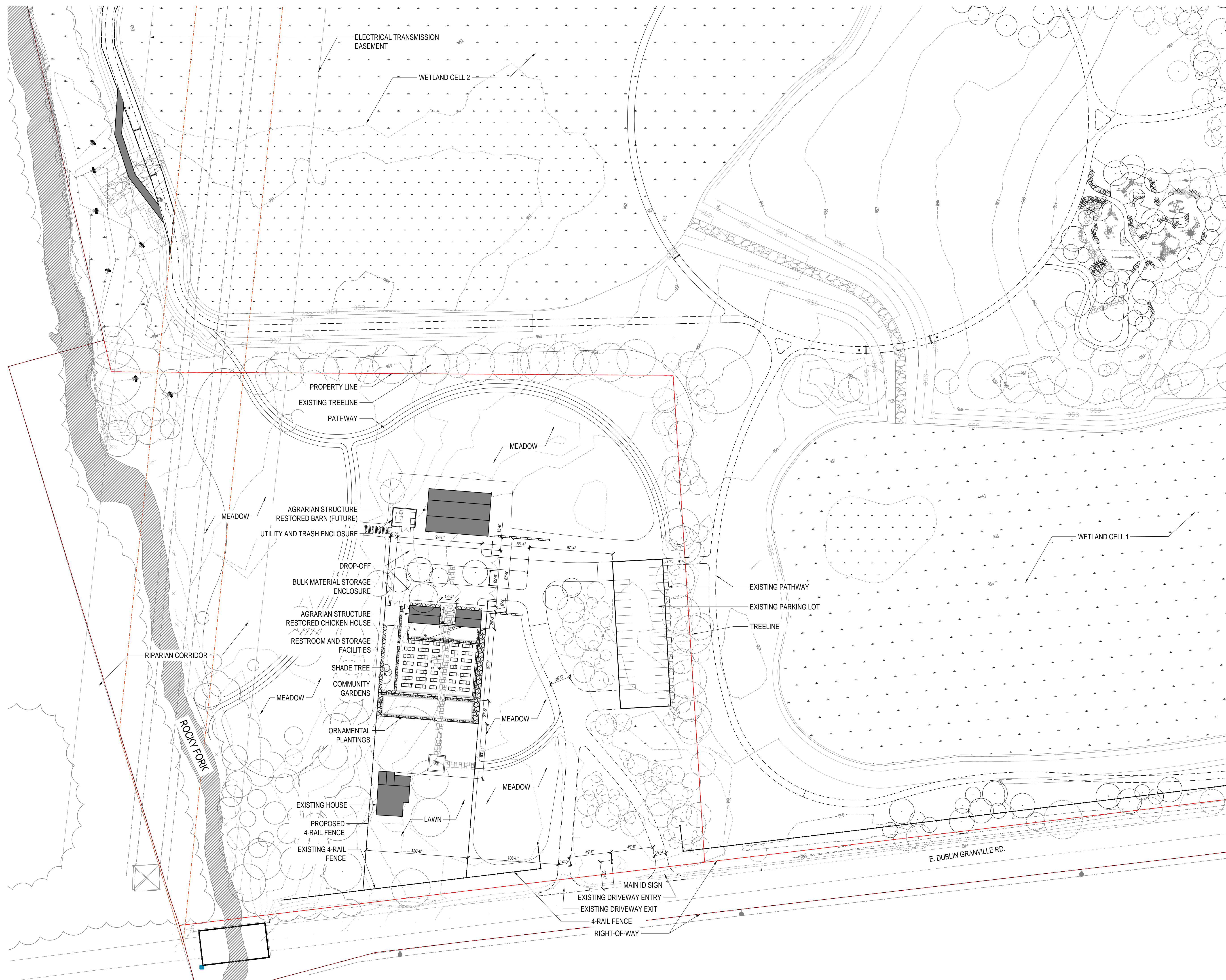
Community Development Planning Application

Project Information	Site Address <u>E Dublin-Granville Road</u>			
	Parcel Numbers <u>222-005165</u>			
Acres <u>10.258</u>	# of lots created <u>-----</u>			
Choose Application Type	Circle all Details that Apply			
<input type="checkbox"/> Appeal				
<input checked="" type="checkbox"/> Certificate of Appropriateness				
<input type="checkbox"/> Conditional Use				
<input type="checkbox"/> Development Plan	Preliminary Final Comprehensive Amendment			
<input type="checkbox"/> Plat	Preliminary Final			
<input type="checkbox"/> Lot Changes	Combination Split Adjustment			
<input type="checkbox"/> Minor Commercial Subdivision				
<input type="checkbox"/> Vacation	Easement Street			
<input type="checkbox"/> Variance				
<input type="checkbox"/> Extension Request				
<input type="checkbox"/> Zoning	Amendment (rezoning) Text Modification			
Description of Request: _____				
<u>Request for a COA for a public restroom facility at a public park</u>				
Contacts	Property Owner's Name: <u>City of New Albany</u>			
	Address: <u>99 W Main Street</u>			
City, State, Zip: <u>New Albany, OH 43054</u>				
Phone number: <u>614.939.2257</u>	Fax: _____			
Email: <u>ajoly@newalbanyohio.org</u>				
Applicant's Name: <u>City of New Albany</u>				
Address: <u>99 W Main Street</u>				
City, State, Zip: <u>New Albany, OH 43054</u>				
Phone number: <u>614.939.2257</u>	Fax: _____			
Email: <u>ajoly@newalbanyohio.org</u>				
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.			
	<table style="width: 100%; border: none;"> <tr> <td style="width: 60%; border: none;">Signature of Owner _____</td> <td style="width: 20%; border: none;">Date: <u>3/1/23</u></td> </tr> <tr> <td style="border: none;">Signature of Applicant _____</td> <td style="border: none;">Date: <u>3/1/23</u></td> </tr> </table>	Signature of Owner _____	Date: <u>3/1/23</u>	Signature of Applicant _____
Signature of Owner _____	Date: <u>3/1/23</u>			
Signature of Applicant _____	Date: <u>3/1/23</u>			

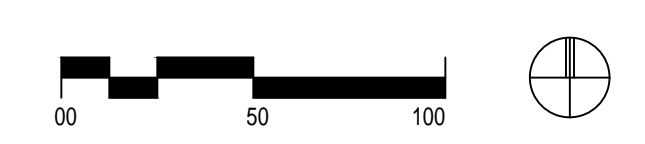


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17/2023 1:02pm mllg





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Precedents



Wexner Pavilion in New Albany



Existing Hen House



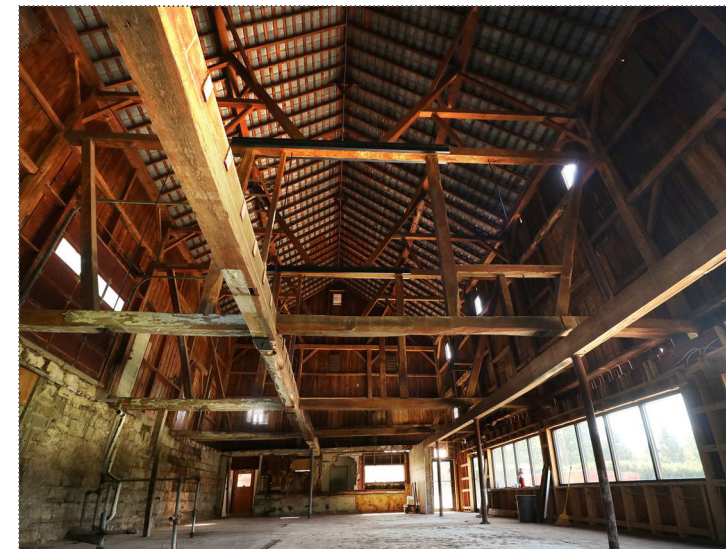
Existing Hen House



Existing Hen House



Existing Hen House

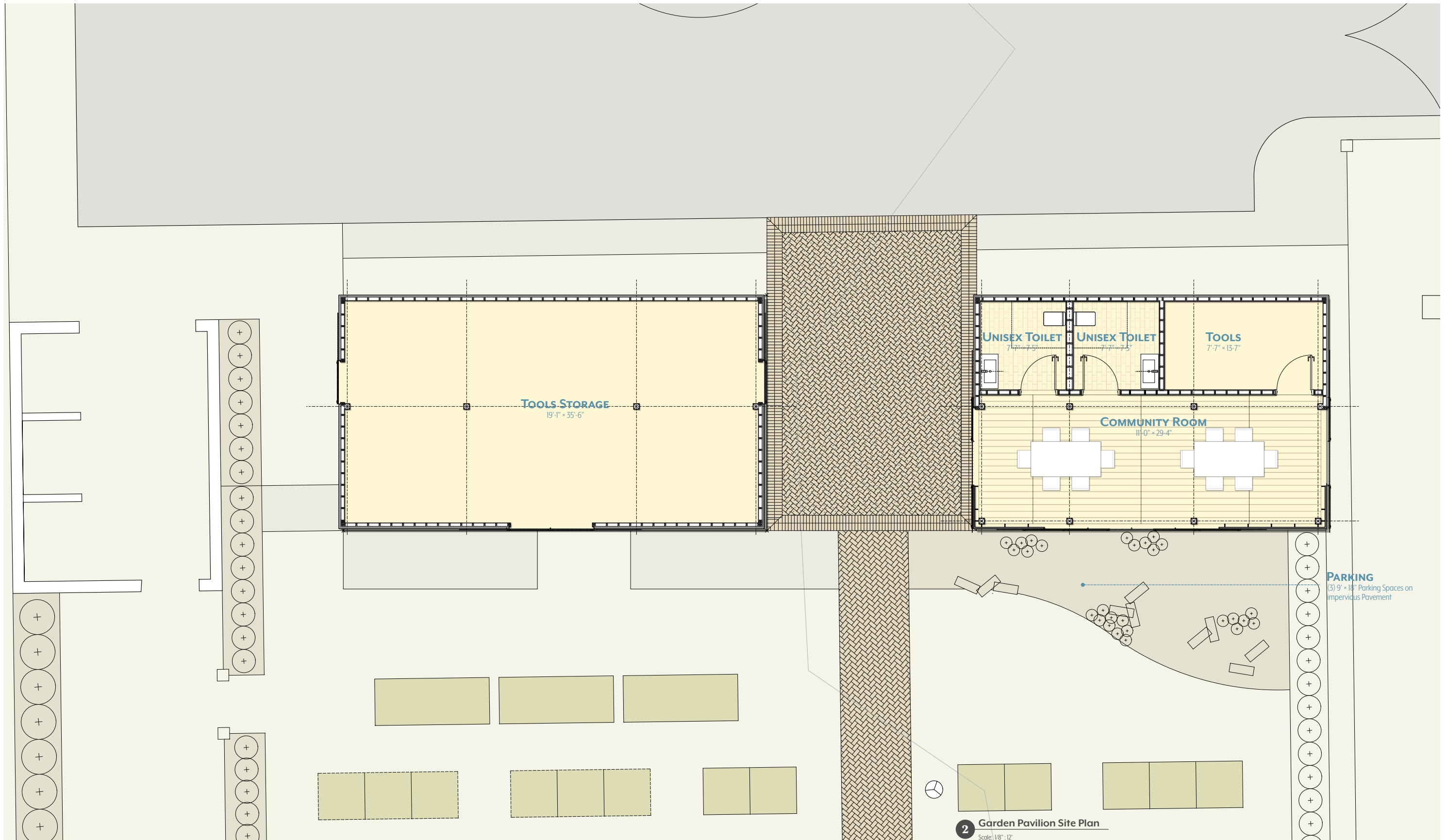


Renderings



Grey Stain Scheme

Drawings

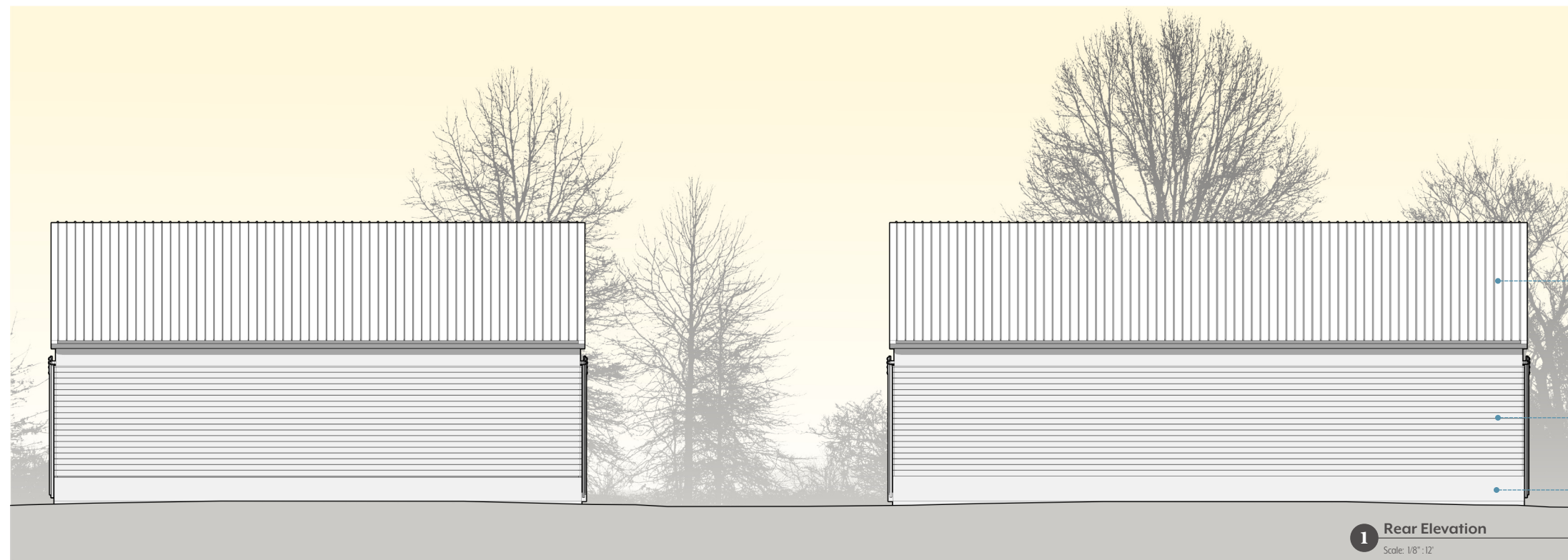


PLAN VIEW



2 Garden Elevation
Scale: 1/8" = 12'

- WOOD SIDING TYPE 2:**
1" x 4" Western Cedar, Grey Stain used as a rain screen on insulated Wood Stud Wall frame. Vertical, spaced at 4" on center
- WOOD WINDOW:**
Fiberglass and Wood Window. Fixed
- STANDING SEAM ROOF:**
Galvanized Steel roof panels
- OPERABLE BARN DOOR:**
4 Panel Wood Door- Match Wood Siding
- WOOD SIDING TYPE 3:**
1" x 4" Western Cedar, Grey Stain on Exposed sub frame. Horizontal, spaced at 8" on center
- CMU BASE WALL:**
Honed/ colored CMU to extend 16" above finish floor plane



1 Rear Elevation
Scale: 1/8" = 12'

- STANDING SEAM ROOF:**
Galvanized Steel roof panels
- WOOD SIDING TYPE 1:**
1" x 4" Western Cedar, Grey Stain used as a rain screen on insulated Wood Stud Wall frame. Horizontal, spaced at 4" on center
- CMU BASE WALL:**
Honed/ colored CMU to extend 16" above finish floor plane

WOOD SIDING TYPE 2:
1" x 4" Western Cedar, Grey Stain used as a rain screen on insulated Wood Stud Wall frame. Vertical, spaced at 4" on center

OPERABLE BARN DOOR:
2 Panel Wood Door- Match Wood Siding

STEEL FACIA:
With high performance coating

WOOD SIDING TYPE 3:
1" x 4" Western Cedar, Grey Stain on Exposed sub frame. Horizontal, spaced at 8" on center

WOOD SIDING TYPE 2:
1" x 4" Western Cedar, Grey Stain used as a rain screen on insulated Wood Stud Wall frame. Vertical, spaced at 4" on center

STANDING SEAM ROOF:
Galvanized Steel roof panels

OPERABLE BARN DOOR:
1 Panel Wood Door- Match Wood Siding

WOOD SIDING TYPE 2:
1" x 4" Western Cedar, Grey Stain used as a rain screen on insulated Wood Stud Wall frame. Vertical, spaced at 4" on center

STEEL FACIA:
With high performance coating

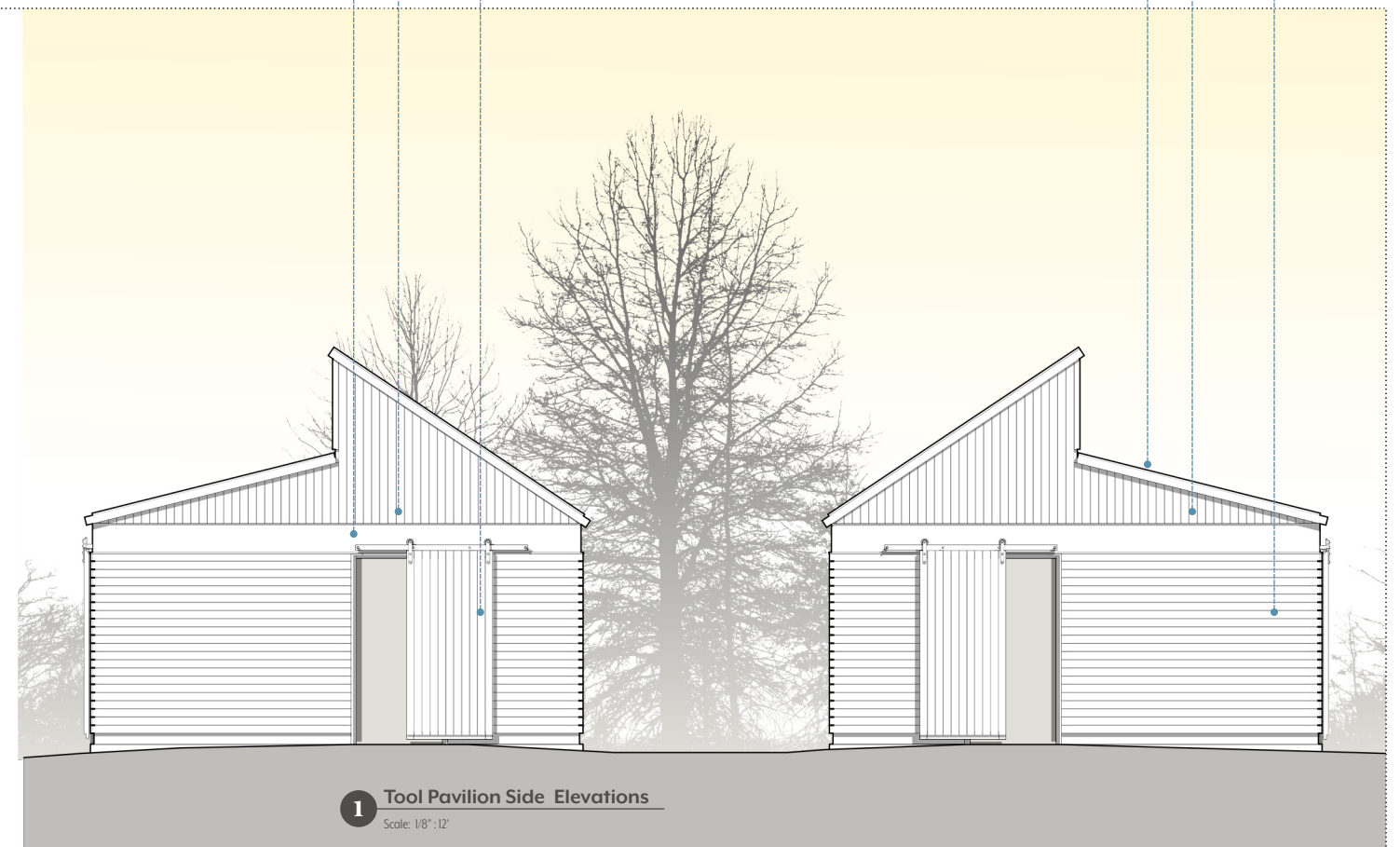
WOOD SIDING TYPE 1:
1" x 4" Western Cedar, Grey Stain used as a rain screen on insulated Wood Stud Wall frame. Horizontal, spaced at 4" on center

WOOD SIDING TYPE 2:
1" x 4" Western Cedar, Grey Stain used as a rain screen on insulated Wood Stud Wall frame. Vertical, spaced at 4" on center

STANDING SEAM ROOF:
Galvanized Steel roof panels



2 Garden Pavilion Side Elevations
Scale: 1/8" = 12'



1 Tool Pavilion Side Elevations
Scale: 1/8" = 12'