

# **New Albany Planning Commission Agenda**

Monday, August 21, 2023 7:00pm

Members of the public must attend the meeting in-person to participate and provide comment at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <a href="https://newalbanyohio.org/answers/streaming-meetings/">https://newalbanyohio.org/answers/streaming-meetings/</a>

- I. Call to order
- II. Roll call
- **III.** Action on minutes: July 17, 2023
- IV. Additions or corrections to agenda

Administration of the oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

- V. Hearing of visitors for items not on tonight's agenda
- VI. Cases:

# FDP-69-2023 Final Development Plan

Final development plan to allow the construction of a 2,247 square foot Taco Bell restaurant with drive-through on 1.37 acres located at 8511 Smiths Mill Road in Licking County (PID: 093-016512).

Applicant: Kimley-Horn, c/o Evan Salyers

Motion of acceptance of staff reports and related documents into the record for FDP-69-2023.

Motion of approval for application FDP-69-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

#### VAR-70-2023 Variances

Variances to C.O. 1169.04 to allow digital drive-thru menu board signs and to Beech Crossing zoning text section II.B.1(c) to allow a second access point on a private road for Taco Bell located at 8511 Smiths Mill Road in Licking County (PID: 093-016512).

Applicant: Kimley-Horn, c/o Evan Salyers

Motion of acceptance of staff reports and related documents into the record for VAR-70-2023.

Motion of approval for application VAR-70-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

# ZC-80-2023 Rezoning

Request to rezone 5.916 acres located at 6455 West Campus Oval in Franklin County from Office Campus District (OCD) to Infill Planned Development (I-PUD) for an area to be known as the Central College Office Zoning District (PID: 222-003104).

Applicant: Underhill & Hodge LLC, c/o Aaron Underhill Esq.

Motion of acceptance of staff reports and related documents into the record for ZC-80-2023.

Motion of approval for application ZC-80-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

#### VAR-73-2023 Variance

Variance to C.O. 1165.04(b)(1) to allow a pergola to be aluminum metal at 9160 McClellan Drive (PID: 222-003776-00).

**Applicant: Natasha Jones** 

Motion of acceptance of staff reports and related documents into the record for VAR-73-2023.

Motion of approval for application VAR-73-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

- VII. Other business
- VIII. Poll members for comment
- IX. Adjournment



# **New Albany Planning Commission**

July 17, 2023 DRAFT Meeting Minutes

#### I. Call to order.

The New Albany Planning Commission conducted a regular meeting on Monday, July 17, 2023, in the New Albany Village Hall. Chair Kirby called the meeting to order at 7:03 p.m.

# II. Those answering roll call:

Mr. Kirby present
Mr. Wallace present
Mr. Schell present
Ms. Briggs present
Mr. Larsen present
Council Member Brisk present

Having all voting members present, the commission had a quorum to transact business.

**Staff members present:** Legal Counsel David Moser, Planner II Chris Christian, Planner Sierra Cratic-Smith, Engineering Manager Cara Denny, Planner Chelsea Nichols, Deputy Clerk Christina Madriguera.

#### III. Action on minutes: June 19, 2023

Chair Kirby stated he had a correction to page 2 of the minutes. In his statement on page 2, it states "they were at 53-feet wide and 115 -feet deep, and about 7 of them went into 40". The number 7 was actually 7.1 and the number 40 should have been 40,000 square feet (because 43,560 feet are in an acre). Chair Kirby shared his written notes with the clerk so that she could write the numbers on her hard copy.

Chair Kirby also stated that the June 20, 2023 Record of Action had been updated and the current version was before the commission.

Commissioner Wallace asked legal counsel whether the commission should make a motion to supplement the record with the updated version of the Record of Action.

Counsel Mosier replied that a motion to supplement the record was not necessary because the correct version was before the commission.

Chair Kirby moved to approve the minutes of the June 19, 2023 meeting as corrected. Commissioner Briggs seconded the motion.

Upon roll call: Mr. Kirby yes; Ms. Briggs yes; Mr. Wallace yes; Mr. Schell yes; Mr. Larsen yes. Having five yes votes, the June 19, 2023 meeting minutes were approved as corrected.

# IV. Additions or corrections to agenda.

Chair Kirby asked whether there were any additions or corrections to the agenda.

Hearing none from staff, Chair Kirby administered the oath to all wishing to address the commission.

Chair Kirby reminded everyone to silence their devices.

#### V. Hearing of visitors for items not on tonight's agenda.

Chair Kirby asked whether there was anyone present who wished to address the commission for an item not on the agenda.

Hearing none, Chair Kirby asked staff to present the first case.

#### VI. Cases:

# **ZC-58-2023 Rezoning**

Request to rezone 78.16+/- acres located at 5708, 6760, 5782, 0 and a portion of 6140 Babbitt Rd in Franklin County from Agricultural (AG) and Limited General Employment District (L-GE) to Limited General Employment District (L-GE) for an area to be known as the Babbitt East Zoning District (PIDs: 220-000446, 220-000190, 220-000178, 220-002045, 220-002075, and a portion of 222-004864).

Applicant: Underhill & Hodge LLC, c/o Aaron Underhill Esq.

Planner Nichols delivered the staff report.

Chair Kirby asked for comments from engineering.

Engineering Manager Denny responded that there were no engineering comments.

Chair Kirby asked to hear from the applicant.

Applicant Aaron Underhill with Underhill & Hodge at 8000 Walton Parkway in New Albany. Mr. Underhill explained that he was cognizant that neighbors were present. He explained the application, the setbacks and opacity provisions; the ingress and egress to the site which would be on Ganton PKWY, and stated that access from Babbitt Road would be limited to emergency vehicles only; he stated that they saw no need to exceed a 65-foot building height limit for this site.

Chair Kirby asked for the location of the placement of the mound.

Mr. Underhill stated that there would be a mound along Babbitt Road because the intervening right of way would be ignored in terms of adjacency to residential.

Chair Kirby continued there is 100-foot minimum setback, and noted that there would be another 100-foot setback for the building

Mr. Underhill responded 200.

Chair Kirby asked whether there was any reason not to put the mound 100-feet back. And observed that next to the street the mound would look like a wall on the edge of the road.

Applicant Tom Rubey with New Albany Company, responded that the Google site had a similar condition with fencing and street trees. He explained that the intent with this site was to have a similar look. He thought it was a great observation and asked that a condition be structured so that the applicant could work with staff regarding placement of the mound.

Chair Kirby stated that the mound could meander along the property.

Mr. Rubey agreed and noted the location of a tree preservation zone to the east and that the county line was on the eastern boundary. He noted adjacent property that was being marketed and that all of this property was within the New Albany Plain Local School District

Chair Kirby confirmed that the condition that the mounding is not fixed to the right of way would be agreeable.

Mr. Rubey responded, as long as the language provided that the applicant could work with staff on the placement.

Chair Kirby agreed and further thanked the applicants for the prohibition of access (for regular traffic) on Babbitt Road, and asked for other questions from the commission.

Commissioner Schell asked the applicant what the vision was for the site, whether single or multiple users were anticipated.

Mr. Underhill responded that based on the size of the site he thought there could be a single user with multiple buildings.

Commissioner Schell continued and asked whether it could be a business campus of some sort.

Mr. Underhill responded affirmatively.

Mr. Rubey responded that their objective was that it would be a single user with multiple buildings.

Commissioner Larsen confirmed that there would be no entry from Babbitt Road.

Mr. Underhill responded that was correct, no entry other than emergency vehicles.

Chair Kirby stated there was a similar situation with A&F from Central College Road, and it appears to have been relaxed and wondered whether there was a way to keep that from happening here.

Mr. Rubey responded that the A&F zoning was 25-years ago and there were many factors involved in the restrictions on access at that time. He did not see any similarities with this site and noted that this site is significantly larger.

Commissioner Briggs asked staff what the timing was for the Ganton PKWY extension.

Engineering Manager Denny responded that staff was completing the analysis for the alignment.

Commissioner Larsen asked staff how the RFBA voted on this application.

Planner Nichols responded that the RFBA unanimously recommended the application.

Chair Kirby opened the public hearing.

Tom Ribski, 5920 Babbitt Road, on the east side of Babbitt. He is a long-time resident of Plain Township, 37-years. He was on the Plain Township Planning Commission, on the RFBA, and had been a Plain Township Trustee. He stated that he understood development, he commended the New Albany Company on the proposal, and had a few comments and questions. Residents on Babbitt Road would like to maintain the rural character. He remarked that green space was critical and they are glad to maintain the green space and setbacks. He would like the zoning text

to address the light. The light coming off of the existing sites on Babbitt Road is substantial. He noted that a lot of the lighting comes from wall packs on the buildings and would like to have those limited; and further recommended that the color of the lighting be softer. He also requested increased screening at development rather than in five-years because it is during development that screening is needed most.

Chair Kirby responded that the reason is that the only screening that will be tall enough at development is arbor vitae and pines. He explained that it takes five years for the understory and deciduous screening to become established.

Mr. Ribski remarked that that meant that the developer was allowed to have less than 75% screening for five-years.

Chair Kirby answered affirmatively and asked whether staff had a comment.

Planner Nichols responded that the screening included mounding would be present at development and then the plantings would need to reach 75% opacity in five-years.

Mr. Ribski asked whether the rendering on the site plan was an accurate depiction of the orientation of Ganton PKWY.

Engineering Manager Denny responded that the rendering was a depiction, that the final plans regarding the orientation of the Ganton PKWY were not yet complete.

Mr. Ribski glad to hear that there will be no regular access via Babbitt Road and noted that there were various measurements from the centerline of the road.

Chair Kirby advised all present that they should get their well tested before development began in order to establish a baseline for determining whether development changed their water. He further advised the applicants to offer increased screening and buffers to the neighbors.

Mr. Ribski noted that QTS was at the top of the rezoning map and whether QTS Consulting was the prospective occupant.

Mr. Rubey replied that the occupant had not yet been determined.

Mr. Ribski continued that his view was that there were issues here that could be massaged, and perhaps a PUD zoning would be more appropriate.

Chair Kirby responded that the limitation text here was a near approximation of PUD text, and further changes could be requested at council's review.

Mr. Rubey offered the following responses to Mr. Ribski's questions: regarding the lighting, they would commit to wall packs also being 100% cutoff light fixtures and would be limited in number to the extent feasible; regarding screening and the 75% opacity, they would rather not do planting and would like to work with the city's landscape architect to come up with a plan sooner rather than later; regarding QTS, there is nothing that they could announce now, they have been working with a number of folks and there have not been any commitments.

Chair Kirby asked whether uplighting could be eliminated for the whole property.

Mr. Rubey replied there could be no uplighting on the buildings but could not commit to no uplighting property-wide considering safety and site circulation.

Chair Kirby stated that code requires submission of a conforming light plan and lighting must be fixed if the limits are exceeded.

Commissioner Schell thanked Mr. Rubey for his service to New Albany.

Planner Nichols stated that the annexation for the four properties would be heard by council at their July 18, 2023 meeting, but the rezoning, if approved by the commission, will not be heard until August 1st.

Ronald Farber, 5596 Babbitt Road which is the property to the south. He asked what the intent of the 8-foot leisure trail was and whether it was to install just a section.

Planner Nichols answered that the installation of the trail was required by the City of New Albany and would be along Babbitt Road along the construction site only.

Chair Kirby remarked that initially it will be a trail to nowhere, but eventually it will become a trail to everywhere.

Mr. Farber asked whether water and sewer would be served by public utilities.

Chair Kirby answered yes. He further remarked that for folks considering an annexation request into the city, he believed they could request connection if they were located within 200 feet of the line. He asked staff whether there was a ballpark idea of where sanitary and sewer will go.

Engineering Manager Denny replied that she did not have that information.

Commissioner Wallace noted that Mr. Underhill had stated earlier that the toothbrush piece is just for the roadway and he asked how the screening for the road was going to work.

Mr. Underhill clarified that he did not intend to imply that there would not be room for anything else, their intent was to also accommodate a private drive and he was sure there would be screening there.

Chair Kirby noted that west of the site plan was zoned residential or rural residential, actually AG but a residential use.

Mr. Underhill responded that he believed the mounding requirement was for buildings.

Mr. Rubey responded that the vehicular access will be on the length of the drive and there would not be buildings visible. There were no screening requirements for the access drive; the code requirements for screening the neighbors will be related to the site plan.

Chair Kirby stated that in the winter headlights will spill. He noted there is no screening requirement for the access drive, and asked whether the site plan will address screening on the access drive.

Mr. Rubey responded that they would seek ways to minimize lights on the private drive.

Commission Wallace stated that the condition will be that positioning of the access drive will minimize headlight spillover.

Julie De Iullo, 5900 Babbitt which is the property to the north of the subject property. When the Country Club was built, retention ponds were installed but it is not unusual to see a lot of storm water collecting there. She asked what the stormwater management plan included.

Chair Kirby responded that, although it may be a little late now because the spring rains had passed, he would strongly suggest that she record the amount of water she currently had because, by law, the developer was not allowed to change a neighboring property owner's drainage, for better or worse.

Ms. De Iullo noted that she did not enjoy the amount of floodwater that she currently had, and noted that the bridges on Babbitt would probably need to be changed.

Chair Kirby stated within their own site they are required to have storm water retention and asked legal counsel whether a neighbor could consent to changing drainage.

Legal Counsel Moser responded that he did not know off of the top of his head, and that storm water agreements were varied.

Chair Kirby moved to accept the staff reports and related documents into the record for ZC-58-2023. Commissioner Larsen seconded the motion.

Chair Kirby asked if there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Larsen yes; Mr. Schell yes; Ms. Briggs yes; Mr. Wallace yes. Having five yes votes the staff reports and related documents were accepted into the record.

Commissioner Wallace moved for approval of application ZC-58-2023 based on the findings in the staff report and subject to the four conditions discussed during the meeting including:

- 1. The position of the mound is not fixed, it can be variable subject to staff approval;
- 2. There will be no uplighting on the buildings;
- 3. The applicant will work with the city's landscape architect to come up with increased screening at the southern property line and northern property line if requested; and
- 4. The access drive will be positioned to minimize light spillage.

Chair Kirby seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Wallace yes; Mr. Kirby yes; Ms. Briggs yes; Mr. Larsen yes; Mr. Schell yes. Having five votes in favor, the application was approved subject to the conditions stated above.

# ZC-62-2023 Rezoning

Request to rezone 11.4+/- acres located at 435, 1043 and 1063 Beech Road SW in Licking County from Agricultural (AG) and General Employment District (GE) to Infill Planned Development (I-PUD) for an area to be known as the Ganton/Beech Northwest Zoning District (PIDs: 094-106590-00.000, 094-107748, and a portion of 094-107106-00.001).

Applicant: Underhill & Hodge LLC, c/o Aaron Underhill Esq.

Planner Nichols delivered the staff report.

Chair Kirby asked for comments from engineering.

Engineering Manager Denny delivered the engineering staff report.

Chair Kirby asked to hear from the applicant.

Applicant Aaron Underhill of Underhill & Hodge located at 8000 Walton Parkway. He thanked Planner Nichols and explained that this rezoning and the next zoning application were intended to accommodate dining and retail establishments to serve the business park and also intended to limit vehicle traffic in New Albany.

Chair Kirby raised the issue of access and asked how many feet deep the property was on the Ganton Road side; roughly how much frontage would be on Ganton Road considering sight lines and minimum distances to intersections and right-in right-out.

Applicant Tom Rubey responded they would return with a final development plan which will include a detailed traffic analysis. More than 50-feet of right of way was provided when Ganton and Beech road were built and a traffic analysis was conducted in 2014. A traffic analysis will be conducted and presented at final development for this application.

Chair Kirby asked whether the applicants had any conflict with the engineering condition.

Mr. Underhill responded that the applicants had no conflict with engineering condition.

Chair Kirby asked whether uplighting could be eliminated.

Mr. Rubey remarked that the property was 350-feet deep, in response to Chair Kirby's earlier question. Regarding the uplighting he stated he was unsure about future signage and asked whether the condition could say there would be no uplighting on buildings or architecture.

Chair Kirby agreed.

Commissioner Schell referenced the school impact letter that was submitted with the application, and noted that this application involved commercial development so there would be no increase in student population. He asked the applicant to discuss the positive impact this will have on the schools.

Mr. Underhill responded this development will increase revenues from hotels, restaurants, and service establishments. He also remarked that revenues will increase as the result of the transfer from CAUV status - the land transfer alone will increase the value of the property and the amount of taxes collected. Increased revenues from food and services sales will result in substantial positive impacts on the schools.

Chair Kirby asked Mr. Underhill to take a shot at justifying the language in that allowed canopies over fuel pumps to encroach on building setbacks.

Mr. Underhill responded that the canopies would typically be located well in front of the building and in a parking area, and the language was likely a carryover from prior applications.

Mr. Rubey added that fuel canopies were a tricky element to deal with, they were unique and did not function as the face of a building for a number of reasons such as height and lighting.

Planner Nichols added that the language was similar to other commercial areas such as Beech Crossing.

Chair Kirby stated he was trying to avoid a variance and was also trying to tease out how much encroachment was actually needed.

Mr. Underhill remarked that they would agree to a condition that canopy may encroach, if approved, as part of the final development.

Commissioner Wallace asked for the nature of the zoning for the property north of the subject property and what was contemplated there because it might make more sense to put this closer to the road.

Mr. Underhill responded that the next road to the north was Worthington Road and S.R. 161 was after that, he continued that he thought the property to the north was zoned office campus district. He stated that they control that and they were not quite sure what the right thing would be with that property. He stated it was under consideration and he anticipated applications would be filed within the next six to 12 months.

Chair Kirby asked whether there was anyone from the public who wished to speak on the application.

Hearing no response, Chair Kirby moved for acceptance of the staff reports into the record for application ZC-62-2023. Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Ms. Briggs yes; Mr. Larsen yes; Mr. Wallace yes; Mr. Schell yes. Having five yes votes the staff reports and related documents were accepted into the record.

Commissioner Schell moved for approval of application ZC-62-2023 based on the findings in the staff report and subject to the following conditions:

- 1. The comments of the city engineer shall be addressed and incorporated into the zoning text as appropriate and subject to staff approval;
- 2. No uplighting on buildings;
- 3. Regarding D5 canopy encroachments shall be subject to staff approval at final development.

Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Schell yes; Mr. Larsen yes; Mr. Kirby yes; Mr. Wallace yes; Ms. Briggs yes. Having five yes votes ZC-62-2023 was approved subject to the conditions stated above.

# ZC-63-2023 Rezoning

Request to rezone 12.8+/- acres located at 14461 Worthington Rd, 0 Worthington Rd, and 0 Beech Road SW in Licking County from Office Campus District (OCD) to Infill Planned Development (I-PUD) for an area to be known as the Beech Interchange Southwest Zoning District (PIDs: 094-106836-00.000, 094-108390-00.000 and 094-109458-00.000).

Applicant: Underhill & Hodge LLC, c/o Aaron Underhill Esq.

Planner Nichols delivered the staff report.

Chair Kirby asked for comments from engineering.

Engineering Manager Denny delivered the comments from engineering.

Chair Kirby asked to hear from the applicant.

Applicant Aaron Underhill with Underhill & Hodge at 8000 Walton Parkway. He stated that the site is largely similar to the subject property in the prior rezoning application [ZC-62-2023], this property is well positioned to serve the public and the business park. There will be no access from Beech Road. All access will be from the south.

Chair Kirby asked whether he agreed with the engineering comments and whether he would agree with imposition of the same conditions as the prior application [ZC-62-2023].

Mr. Underhill responded that they had no conflict and would agree with imposition of the same conditions.

Commissioner Wallace asked about the cut-out property.

Mr. Underhill responded that they had been in negotiations with the property owner for acquisition of that property and despite repeated attempts, had not reached an agreement as to the value of the property.

Commissioner Briggs asked how the property was accessed by the owner, noting there is no roadway access.

Mr. Rubey responded that they have been aggressively negotiating for acquisition of the property and have not been able to agree on a price. Prior access was by an agreement with ODOT, but that agreement no longer exists. He further speculated that this would be resolved in the future.

Mr. Underhill explained that they have no legal obligation to allow access.

Chair Kirby asked if there were further questions or comments from the commission.

Hearing none he asked whether there was anyone from the public who wished to speak on the application.

Hearing none, Chair Kirby moved to accept the staff reports and related documents into the record for ZC-63-2023. Commissioner Briggs seconded he motion.

Chair Kirby asked whether there was any discussion on the motion.

Hearing none, Chair Kirby asked to hear the roll.

Upon roll call: Mr. Kirby yes; Ms. Briggs yes; Mr. Wallace yes; Mr. Schell yes; Mr. Larsen yes. Having five yes votes the staff reports and related documents were accepted into the record.

Commissioner Schell moved for approval of ZC-63-2023 based on the findings in the staff report and the following conditions:

- 1. The comments of the city engineer shall be addressed and incorporated into the zoning text as appropriate and subject to staff approval;
- 2. No uplighting on buildings;
- 3. Regarding canopy encroachments, they shall be subject to staff approval at final development.

Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion for the zoning change.

Hearing none, Chair Kirby asked to hear the roll.

Upon roll call: Mr. Schell yes; Mr. Wallace yes; Ms. Briggs yes; Mr. Larsen yes; Mr. Kirby yes. Having five yes votes the application was approved subject to the conditions stated above.

#### VAR-65-2023 Variance

Variances to codified ordinance 1165.04(b)(1) to allow a pergola to be aluminum metal and to encroach 2.5 feet into the side yard setback at 7830 Eastcross Drive (PID: 222-004933).

**Applicant: The City of New Albany** 

Planner Cratic-Smith delivered the staff report.

Chair Kirby stated that this appeared to be a situation where the landowner did everything right and this variance is now required in order to correct the city's error. He further asked legal whether approval of this variance would set a precedent.

Planner II Christian answered that was correct, this was a city sponsored request in order to rectify an error made in the permit approval process.

Chair Kirby asked whether were any others like this in the neighborhood.

Planner II Christian answered that there were not.

Legal Counsel Moser responded that this decision is no more precedential than others made by the commission. This request was to correct the city's error and must be evaluated on the regular factors for every variance.

Commissioner Wallace confirmed that the city should not have approved this application.

Planner II Christian confirmed his understanding was correct.

Commissioner Wallace stated that if the commission makes it clear that this is a unique and highly unusual circumstance, the commission will not be setting a precedent for approval of similar pergolas in the neighborhood. He further asked where on the property the pergola could be properly situated.

Planner Cratic-Smith explained that according to code, the setbacks change based on the circumstance and the project. When a patio is uncovered it should be five feet from the sideline but when the patio is covered it should be 10-feet.

Commissioner Larsen stated that the setback of the house was seven and a half feet.

Planner Cratic-Smith stated that was correct.

Planner II Christian added that the house could actually be five feet from the property line.

Commissioner Wallace stated that the other alternative is that the city bears the cost of removing the pergola and put the homeowner back into their original position. How would the commission go about that – if the commission refused the variance, then the pergola would need to be removed.

Legal Counsel Moser answered that was correct. The commission could reflect that very clearly then the city would need to draft an agreement with the homeowner.

Chair Kirby stated that the Planning Commission has no authority to spend money.

Legal Counsel Moser stated that was correct, so the commission's desire would need to be made clear but an agreement between the city and the property owner would need to be reached.

Commissioner Wallace continued that if the city refuses, then the owner can sue the city for redress. Refusing the variance request here would send a message to the city to take greater care.

Legal Counsel Moser stated that was correct, there would be liability there.

Commissioner Schell observed that there is really no other option, it is either left in place or taken down.

Commissioner Wallace stated that has he understood it, to move it would block the door.

Applicant Steve D'Antonio stated that it would not work at all to move the pergola, it would block the light. Tearing down the pergola would come to great expense for the city. He respectfully requested approval of the variance. He observed that none of the neighbors were present to speak against the application. He stated that Planner Cratic-Smith did a great job putting this application together, that none of the workarounds were palatable to him and further requested that the commission note that this is an error on the part of the city and that is the only reason for approval of the variance.

Commissioner Briggs clarified with staff that no neighbors had complained, raised concerns or questions, regarding this construction.

Planner Cratic-Smith answered that that was correct.

Commissioner Briggs noted that she was the newest member of the commission and asked whether there have been other similar cases.

Planner II Christian said that the commission had not had a similar case, but the BZA had approved setback variances over the years.

Chair Kirby asked whether there was one on Harlem Road.

Planner II Christian recalled that there was one on Harlem Road involving a fence and that went before the BZA, and there might have been one prior to 2019. He further clarified that if this was a house instead of a pergola, that a variance would not be needed.

Chair Kirby asked whether there were further questions from the commission or the public on the application.

Hearing none he moved for acceptance of the staff reports and related documents into the record for VAR-65-2023. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Larsen yes; Ms. Briggs yes; Mr. Wallace yes; Mr. Schell yes. Having five yes voted the staff reports and related documents were accepted into the record.

Commissioner Larsen moved for approval of VAR-65-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval. Commissioner Briggs seconded the motion.

Chair Kirby asked for discussion on the motion.

Chair Kirby stated that he presumed that the movants wanted it to be made clear in the motion that this was not intended to set a precedent, the only goal was to correct the city's error during the permitting process.

The movants, Commissioner Larsen and Commissioner Briggs, agreed.

Chair Kirby asked to hear the roll.

Upon roll call: Mr. Larsen yes; Ms. Briggs yes; Mr. Kirby yes; Mr. Wallace no; Mr. Schell yes. Having four yes votes and one no vote, VAR 65 2023 was approved.

Commissioner Wallace stated that he voted no because he believed there was an alternate approach in that the city should bear the cost for removal of the pergola that it improperly approved, and therefore he did not believe this variance request met the *Duncan* requirements.

Chair Kirby noted that this application did not meet the *Duncan* factors but the commission has approved variances like this in the past when the property owner would suffer a hardship.

Chair Kirby and the commission wished the applicant good luck.

#### VAR-66-2023 Variance

Variance to codified ordinance 1165.04(b)(3)(C) to allow a deck to encroach 30 inches into a utility easement at 6867 Harper Lane (PID: 222-004663).

**Applicant: Traci Moore** 

Planner Cratic-Smith delivered the staff report.

Chair Kirby stated that he wanted to discuss the prior case, VAR-65-2023. He wanted to discuss a condition that he had wanted to add to that variance, which was that the variance goes away if the pergola comes down. He asked legal whether the commission could reconsider the case.

Legal Counsel Moser stated that he believed it was too late to return to the prior case, since the vote had been taken and the variance was approved 4-1. He did not think the commission could go back and undo it.

Commissioner Wallace noted that the applicants had left and stated, for that reason he thought it would be unfair to reconsider the approval.

Chair Kirby agreed and the commissioners indicated agreement.

Chair Kirby returned the commission's attention to VAR-66-2023 and asked staff whether there were similar encroachments in this neighborhood.

Planner Cratic-Smith responded that there were and indicated existing encroachments on the site map. The existing encroachments had been properly approved administratively prior to the code change.

Commissioner Wallace clarified that prior to the code change, the city engineer was able to approve these types of requests administratively.

Planner II Christian added that the existing encroachments were not variances, the plat language allowed for them which was the reason they could be handled administratively.

Commissioner Wallace asked whether there was a difference from the city's perspective between drainage and utility easements.

Planner II Christian answered that Engineering Manager Denny could respond as well, but his understanding was that the city is stricter with drainage easements.

Engineering Manager Denny agreed and added that encroachment on drainage easements are not supported by engineering because encroachment affects flow. She further explained that utility easements are typically larger than what is actually required for the utility so encroachment may not interfere with access. In those cases, encroachment can be approved as long as a hold-harmless agreement is used.

Commissioner Wallace recalled a prior application involving encroachment into an easement and the staff report recommended denial of the application. He noted that this application had no such recommendation, that the staff report was supportive of the application as long as it included a hold harmless agreement.

Engineering Manager Denny responded that was correct, staff was supportive of this application as long as it included a hold harmless agreement.

Chair Kirby asked the applicant whether the footers could be moved out of the easement and still have enough strength to support the cantilever for the deck.

Applicant Michael Whitley of Three D Construction responded that it was possible and would require additional framing; it could be moved back another eight inches. The main thing was the sewer line, which was at the back of the property and they were not going to be anywhere near that.

Chair Kirby continued that he was trying to avoid impacts to the homeowner in case of unforeseen events or projects.

Applicant and property owner Traci Moore pointed out that the sanitary sewer line was 11-feet away.

Chair Kirby asked what the separation requirement between water and sewer.

Engineering Manager Denny replied that she believed it was 10-feet horizontally.

Chair Kirby responded that was pretty close and was a good reason to move the footer out from underneath the deck and closer to the house.

Commissioner Schell asked whether there would be additional costs with moving the footer.

Mr. Whitely responded that it would require additional framing.

Commissioner Wallace stated that the commission would include that as a condition of approval - that the footer be moved out of the easement.

The applicants agreed.

Commissioner Schell asked staff whether this was the first variance request since the code change in 2019.

Planner II Christian responded that the BZA has heard similar requests and that, generally speaking drainage requests have been denied, but there have been a few utility easement encroachment requests with a hold harmless agreement that have been approved.

Council Member Brisk recalled that she had reviewed a few cases that were approved with a hold harmless agreement.

Planner II Christian asked Legal Counsel Moser to talk about hold harmless agreements.

Legal Counsel Moser explained the function of the hold harmless agreement. The agreement clarifies that the city is not responsible for damage should the deck or a portion of the deck need to be removed to access the easement.

Chair Kirby asked about the language requiring screening. He asked whether it was at the footer level or at the cantilever level.

Planner Cratic-Smith responded that she believed it was to the cantilever.

Planner II Christian agreed and stated Planner Cratic-Smith was correct.

Mr. Whitley indicated the area on the site plan where there would be skirting.

Commissioner Wallace asked whether the homeowner agreed with the hold harmless and the conditions in the staff report.

Ms. Moore responded that she agreed and that she understood her obligations under the hold harmless agreement.

Chair Kirby asked whether anyone from the public had a comment. Hearing none, he asked whether anyone from the commission had a comment.

Commissioner Wallace stated that he thought he could count on one hand the variances he had approved in his 15-20 years on the commission. However, he continued, this request is unique in that there are existing and similar decks that were administratively permitted prior to the code change. He did not believe this set a city-wide precedent but acknowledged that there were many existing and similar decks.

Chair Kirby agreed with Commissioner Wallace's statement and further stated that he wanted that made clear in the record.

Chair Kirby moved for acceptance of staff reports and related documents into the record for VAR-66-2023. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Wallace yes; Mr. Schell yes; Ms. Briggs yes; Mr. Larsen yes. Having five yes votes the staff reports and related documents for VAR-66-2023 were accepted into the record.

Commissioner Briggs moved for approval of application VAR-66-2023 based on the findings in the staff report with the following conditions subject to staff approval:

- 1. The area underneath the deck must be screened in accordance with city code.
- 2. The homeowner enters into a hold harmless agreement specifying that the property owner, and not the city, is responsible for any damages to the deck in the event that a

public or private utility provider needs to access the easement area prior to the issuance of a building permit and any impacts to neighboring surface drainage must be the responsibility of the homeowner to address.

3. The footers will be moved to outside the easement.

Commissioner Schell seconded the motion.

Chair Kirby asked for discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Ms. Briggs yes; Mr. Schell yes; Mr. Wallace yes; Mr. Larsen yes; Mr. Kirby yes. Having five yes votes the application was approved subject to the conditions stated above.

The commission wished the applicant good luck.

Chair Kirby called a 10-minute recess at 8:56 p.m.

Chair Kirby called the commission to order at 9:05 p.m. and asked staff to present the staff report for the review and recommendations to the code for electronic/digital drive through menu board signs.

#### VII. Other business

 Review and Recommendation to City Council of updates to the Display Signs and Outdoor Advertising section of the New Albany Codified Ordinances to permit and provide development standards for electronic/digital drive thru menu board signs.

Planner II Christian delivered the staff report.

Commissioner Wallace clarified that the commission was not precluded from asking for additional landscaping. He further clarified that in the event a sign was visible from the right of way and was requesting a variance, the commission could discuss and impose conditions that would make the sign invisible from the right of way.

Planner II Christian answered that was correct. He further requested that the commission move to favorably recommend the proposed updates to council.

Chair Kirby asked whether there were any other thoughts or questions from the commission.

Commissioner Larsen remarked that, in thinking about the Wendy's situation that the commission recently reviewed, he was wondering whether there should there be language restricting the view from a residential type structure, such as a hotel.

Planner II Christian responded that that was not typically how it was structured, but certainly that was something to consider.

Commissioner Wallace asked for the definition of public right of way.

Planner II Christian stated that it was a right of way for the public to use, and does not apply to privately maintained roads such as the road behind Dairy Queen.

There was a general discussion of public rights of way, private drives, and screening.

Planner II Christian stated that the proposed updates would impose standards and restrictions on usage where currently there are none. For example, there is language that requires

electronic signs to be turned off when restaurants are closed, but there is no such language currently in the code.

Chair Kirby made a motion to accept the staff reports and related documents into the record. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, Chair Kirby asked to hear the roll.

Upon roll call: Mr. Kirby, yes; Mr. Wallace, yes; Mr. Schell, yes; Ms. Briggs, yes; Mr. Larsen, yes. Having five yes votes the staff reports and related documents were accepted into the record.

Chair Kirby made a motion to recommend to council the adoption of the proposed changes to the display signs and outdoor advertising section of the code. Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Ms. Briggs yes; Mr. Schell yes; Mr. Larsen yes; Mr. Wallace yes. Having five yes votes the commission recommended that council adopt the proposed changes to the display signs and outdoor advertising section of the code.

The commission thanked Planner II Christian for his work on the proposed changes.

Planner II Christian stated that the changes would review the changes on August 1st.

• Engage New Albany Strategic Plan Central College Redevelopment Framework Plan.

Planner Christian delivered the staff report.

Commissioner Wallace asked whether this could be characterized what we are doing tonight as an overlay of the existing strategic plan, in order to evaluate future applications for this site.

Planner II Christian responded that was correct. This Redevelopment Framework Plan is in order to provide tools in the event of redevelopment. It is not a development proposal.

Commissioner Larsen asked whether the goal was to update the Strategic Plan.

Planner II Christian stated that it was correct, it would be an amendment or addendum of the Strategic Plan.

Chair Kirby noted that the existing zoning text was drafted specifically for the Discover facility.

Planner II Christian answered that was correct.

At the conclusion of the staff report, Chair Kirby opened the discussion for questions from the commission.

Chair Kirby stated that the future plan how this site will interact with the hamlet next door. The hamlet is mixed use and contemplates some of the same uses as this facility and we need to be careful not to assassinate the hamlet.

Planner II Christian agreed and replied that any development will be fully considered.

Chair Kirby asked how the commercial site would be accessed and wondered whether people would drive and park in order to use these businesses.

Planner II Christian answered yes, they would drive or walk. He clarified that there would be no residential on the site.

Council Member Brisk agreed and reiterated that there is no residential. The concept was that residents from adjacent living would walk or drive over.

Chair Kirby stated that he wondered whether the office of the future was downstairs from the apartment of the future.

Commissioner Larsen remarked that once the hamlet is developed, there will be a large population.

Commissioner Wallace asked whether there was any thought to extending the hamlet north into this area.

Planner II Christian answered no, candidly, the hamlet is the hamlet.

Commissioner Wallace continued that, putting aside the politics, the hamlet was going in, so he wondered whether it would it make sense to extend residential north.

Planner II Christian stated that although residential might be missing, the city's first goal is to restore the income taxes lost at that site.

Chair Kirby added that a good example could be Bell Labs in Holmdel, NJ.

Council Member Brisk asked how many stories Discover is right now.

Planner II Christian answered two.

Commissioner Schell asked Planner II Christian how many employees were at Discover.

Planner II Christian answered it was a lot.

Commissioner Larsen observed that if the hamlet or residential was extended this way it would impact schools and traffic, so this proposed use is a better solution.

Planner II Christian stated that the current use as call center creates the most traffic.

Chair Kirby added that the roads were built to handle the traffic.

Commissioner Wallace asked whether offices and retail or residential created more traffic.

Planner II Christian answered that he was not sure, but call center usage would be the highest.

Commissioner Briggs stated that it depends on the kind of office it was. Due to the COVID effect, office work has changed so much, we cannot predict the future.

Council Member Brisk added that call centers squeeze a lot of people into their square footage. But executive offices present another scenario. It really depends on the occupant.

Commissioner Briggs also commented that call center work is a lot different now, many people work from home.

Council Member Brisk agreed and stated that prior to COVID, New Albany had a huge need for small office space. It is a different time.

Planner II Christian replied that was correct. Time in the office is reduced and the modern workspaces are highly amenitized.

Council Member Brisk recognized the potential for this to complement the hamlet.

Commissioner Larsen stated this is a lot about what the residents were asking for with the hamlet, and at that time the developer purported that the hamlet could not support businesses. And now it seems they are saying they could be supported.

Chair Kirby noted that many cubicles could fit inside the structure, and that would mean a lot of jobs at the site.

Planner II Christian agreed and stated that, as a reminder, that under the current zoning a call center business could start up right away at that site. Commissioner Wallace asked whether the Discover site was included in the traffic study for the hamlet.

Planner II Christian stated that Discover was out of business at the time the study was conducted but that it was an addendum to the study. He further stated that the city was nearing completion of an audit of the traffic study conducted for the hamlet.

Commissioner Wallace recalled that the traffic from the hamlet was not projected to be substantial, and neither was the school impact. This also would not have a negative impact on the schools. He further stated that the city has seen an influx of 55+, the new apartments at Market and Main, was there any sense from the city that there would be housing for young professionals and perhaps residents looking to down-size.

Planner II Christian stated he gets frequent calls from developers, but there is limited appetite from council and residents.

Commissioner Wallace stated that more housing made sense.

Chair Kirby commented about the existing space downtown, behind CVS, for housing. Housing placed there would be walkable to amenities downtown.

Council Member Brisk replied that she thinks that is the direction that council is headed. We do not want to overshadow downtown by developing other areas of town. Market Street will continue to be developed. Efforts are currently underway by NACO to get more liquor licenses for mixed use downtown.

Council Member Brisk asked Planner II Christian what he was seeking from the commission, because this site already permits commercial use.

Planner II Christian replied that he was asking for a site by site review and motion to recommend this as an addendum to the Northwest Focus Area.

Chair Kirby stated that this boils down to a heavy-on-employment recommendation. This is a lot of jobs and let's do it better document.

Commissioner Wallace asked whether their existing property in Columbus or New Albany that has this kind of use because he was trying to get a sense [of what the city had in mind].

Planner II Christian stated that there were not any examples he could think of at this scale. They looked at many case studies, a few of which were cited in the plan.

Chair Kirby opened the public hearing.

Amy Lane, a neighboring property owner who commercializes biotech since 2015. She stated that traffic is very important to her. Traffic from Walnut on to 605 is already dangerous, and New Albany has to get it right as the city grows. She works in patient-one healthcare. She works every day to save a limb and save a life. She stated that she already sees vehicular accidents on the roads surrounding the subject property and her home and she urged the commission to think very hard about adding vehicular and pedestrian traffic to this area. She requested the traffic study from Mayor Spalding and has not heard anything. She remarked that it is already scary and unsafe. She stated that she works in biotech so she understands the Silicon Heartland development and she thinks we need evolution, but she urged the commission to take care because the road is already very busy.

Planner II Christian responded that the Walnut/605 intersection is not controlled by the City of New Albany, it is controlled by the Franklin County Engineer's office. However, city staff is aware the Franklin County Engineer's Office has conducted studies of that intersection because that is a dangerous intersection. The city has assisted where needed because the city would like to see the situation at that intersection improved. More specifically the city would like the speed limit reduced at that intersection. He continued that when buildings are placed closer to the street, as will be the case with the hamlet, drivers tend to slow down. He also stated that this is an important, gateway intersection to the New Albany community.

Commissioner Larsen stated that this was probably a question better directed to MKSK. He had observed that the brochure sent out about the hamlet seemed to indicate more businesses than were approved by the commission and the city council.

Planner II Christian responded that he would check, but he thought it was the same.

Kirk Smith, 6830 Central College Road. He indicated the location of his residence on the site map. He stated that he had lost at the hamlet and that he and a group of residents was at the meeting in order to urge the commission and council to be very planful with this redevelopment framework. He was very disappointed at the suggestion of additional residential density into that space. He asked the commission to carefully consider any kind of additional density – whether dining, retail, or whatever. This does not match what was said a year ago.

Chair Kirby clarified nothing presented at the meeting suggested additional residential density.

Mr. Smith stated correct and continued that there were discussions of additional out-lying buildings in the parking area.

Council Member Brisk stated that she believed [the commission and council] had asked the question all along, whether that was already permitted by the current zoning text.

Planner II Christian answered that it was.

Council Member Brisk explained that [the commission and council] cannot take away what the landowner already has, that is not authority that [the commission and council] have. The staff is asking the commission to protect that area and is requesting a clearer definition of what can happen there. We cannot take away existing property owner rights.

Mr. Smith returned that [the commission and council] could grant additional and urged the commission to be planful as they proceed.

Ms. Lane stated that she is a property owner and she put this in the hands of the commission. She remarked that she knew that money wins and asked that the commission please be planful.

Tricia Segnini, 7267 Walnut Drive. She thanked the commission for hearing her questions and asked how many acres the site spanned.

Planner II Christian responded that it was 49-acres.

Ms. Segnini stated that the parking lot makes it bigger. She confirmed that residential is not planned. She remarked that the unknowns made surrounding residents nervous. She noted that some of the larger retail establishments, such as Wal-Mart, scared area residents. She stated that if a Cameron Mitchell restaurant was placed there, she would be delighted.

Planner II Christian thanked her and stated that a large, stand-alone retail establishment was not envisioned for that property and they could add that description.

Ms. Segnini thanked Planner II Christian and stated that would be great. She reiterated that the unknown was unnerving and if the residents knew what was planned they would feel a lot better.

Chair Kirby moved to accept the documents into the record for the Engage New Albany Strategic Plan Redevelopment Framework Plan. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Schell yes; Ms. Briggs yes; Mr. Larsen yes; Mr. Wallace yes. Having five yes votes the documents were accepted into the record.

Commissioner Briggs moved to recommend the new Engage New Albany Strategic Plan Redevelopment Framework Plan to council with the changes discussed by staff at the meeting. Chair Kirby seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Ms. Briggs yes; Mr. Kirby yes; Mr. Larsen no; Mr. Wallace yes; Mr. Schell yes. Having four yes votes and one no vote the Engage New Albany Strategic Plan Redevelopment Framework Plan was recommended to council.

Commissioner Larsen stated that he has learned a lot about this particular site that he liked the plan but was concerned about the traffic. He believed that traffic impacts were being minimized and that the traffic concerns should be addressed.

#### VIII. Poll members for comment

Chair Kirby polled the commission for comment. They all wished each other a good evening.

# IX. Adjournment

Having no further business, Chair Kirby adjourned the meeting at 10:04 p.m.

Submitted by: Christina Madriguera, Esq., Deputy Clerk.

#### **Appendix**

ZC-58-2023

**Staff Report** 

**Record of Action** 

ZC-62-2023

**Staff report** 

**Record of Action** 

ZC-63-2023

**Staff Report** 

**Record of Action** 

VAR-65-2023

**Staff Report** 

**Record of Action** 

VAR-66-2023

**Staff Report** 

**Record of Action** 

Review and Recommendation to City Council of updates to the Display Signs and Outdoor Advertising section of the New Albany Codified Ordinances

Engage New Albany Strategic Plan Central College Redevelopment Framework Plan



# Planning Commission Staff Report July 17, 2023 Meeting

# BABBITT EAST ZONING DISTRICT ZONING AMENDMENT

LOCATION: Located at 5708, 5760, 5782, 0 and a portion of 6140 Babbitt Rd for an

area to be known as Babbitt East Zoning District (PIDs: 220-000446, 220-000190, 220-000178, 220-002045, 220-002075, and a portion of

222-004864).

REQUEST: Zoning Amendment

ZONING: AG (Agricultural) and L-GE (Limited General Employment District) to

L-GE (Limited General Employment District)

STRATEGIC PLAN: Mixed Use APPLICATION: ZC-58-2023

APPLICANT: MBJ Holdings LLC, c/o Aaron Underhill, Esq.

Review based on: Application materials received May 19, 2023 and July 10, 2023.

Staff report completed by Chelsea Nichols, Planner

#### I. REQUEST AND BACKGROUND

The applicant requests review for the rezoning of 78.16+/- acres. The request proposes to create a new limitation text for the area known as the "Babbitt East Zoning District" by zoning the area to Limited General Employment (L-GE) from Agriculture (AG) and Limited General Employment (L-GE). The proposed rezoning serves as an expansion of the New Albany International Business Park. The Rocky Fork-Blacklick Accord reviewed and recommended approval of the application on June 15, 2023.

The proposed zoning is a limitation text. A limitation text can only establish more restrictive requirements than the zoning code. The Limited General Employment District permits office, data center, manufacturing & production, warehouse & distribution, and research & production uses. The text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts that are also zoned Limited General Employment (L-GE). This rezoning serves to extend the same or similar zoning and development standards to the property as currently applies to much of the developed and undeveloped land in its general vicinity.

#### II. SITE DESCRIPTION & USE

The overall site consists of five parcels and is located within Franklin County. The site is located on the east side of Babbitt Road. Four of the subject parcels are currently being annexed into the city. The annexation petition was submitted on May 2, 2023. Its first reading at city council was on July 5, 2023 and its second reading is scheduled for July 18, 2023.

The site is comprised of farm fields and residential homes. The neighboring uses and zoning districts include L-GE and unincorporated agricultural and residential.

#### III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02. Upon review of the proposed amendment to the zoning map, the

Commission is to make recommendation to city council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

#### A. Engage New Albany Strategic Plan

The 2020 Engage New Albany strategic plan designates the area as the Mixed-Use future land use category. However, given the proposed rezoning, staff has evaluated this proposal against the Employment Center standards. The strategic plan lists the following development standards for the Employment Center land use category:

- 1. No freeway/pole signs are allowed.
- 2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
- 3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
- 4. Sites with multiple buildings should be well organized and clustered if possible.
- 5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
- 6. All office developments should plan for regional stormwater management.
- 7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscaping in an appealing manner.
- 8. Any periphery security should integrate with the landscape and maintain and enhance the character of road corridor.
- 9. Combined curb cuts and cross-access easements are encouraged.
- 10. The use of materials, colors, and texture to break up large-scale facades is required.

#### B. Use, Site and Layout

- 1. The proposed zoning text is a limitation text. A limitation text can only establish more restrictive requirements than the zoning code.
- 2. The 2020 Engage New Albany strategic plan designates the area as the Mixed-Use future land use category. However, given the proposed rezoning, staff has evaluated this proposal against the Employment Center standards. Office and commercial uses are a component of the mixed-use category. The strategic plan intent for the mixed use within this area is to have employment center uses but allow for incorporation of retail and residential uses if appropriate. The proposed uses are consistent with the zoning in the surrounding area.
- 3. Due to the proximity of this site to Ganton Parkway, State Route 161/Beech Road interchange, and its location adjacent to other Limited General Employment (L-GE) zoned land in the existing New Albany International Business Park to the north and east, the site appears to be most appropriate for the proposed type of development.
- 4. The limitation text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts that are also zoned L-GE. The text allows office, data center, manufacturing & production, warehouse & distribution, and research & production uses. Personal service and retail product sales and services are only allowed as accessory uses to a permitted use in this subarea.
- 5. Conditional uses include industrial manufacturing & assembly, car fleet and truck fleet parking, and limited educational industries.

- 6. Prohibited uses include industrial product sales and services, mini-warehouses, vehicle services, radio/television broadcast facilities, off-premise signs and sexually oriented business.
- 7. The proposed L-GE text requires the following setbacks:
  - Babbitt Road: There shall be a minimum building setback of 200 feet from the right-of-way of the Babbitt Road. There shall be a minimum pavement setback of 100 feet from the Babbitt Road right-of-way.
  - o Perimeter Boundaries: Minimum pavement setback of 25 feet and a minimum building setback of 100 feet.
    - The proposed setback meets other similarly zoned parcels in the surrounding area and exceeds standard building setbacks from city code.

# C. Access, Loading, Parking

- Vehicular access shall be provided to and from this zoning district along Ganton Parkway. An access point along Babbitt Road shall be permitted only for use by emergency vehicles. Regular vehicular access and construction vehicles access shall not be permitted to and from Babbitt Road, except temporary vehicular access shall be permitted if access to and from Ganton Parkway is unavailable due to its repair or maintenance, as confirmed by City staff.
- 2. Parking and loading will be provided per code requirements (Chapter 1167) and will be evaluated at the time of development for each individual site.
- 3. Zoning text section V.C proposes to dedicate the following right-of-way:
  - The developer shall dedicate property to the City as right-of-way for a distance of 30 feet as measured from the centerline of Babbitt Road. The developer shall grant easements to the City which are adjacent to the aforementioned 30-foot right-of-way, not to exceed 25 feet in width on either side, to provide for the installation and maintenance of streetscape improvements, public utility lines, and leisure paths.
- 4. An 8-foot-wide asphalt leisure trail is required to be installed along the Babbitt Road frontage of the site. Buildings should be sited in relationship to each other to provide convenient pedestrian connections between each building, to parking, and to any other civic or public uses within convenient walking distances.

### **D.** Architectural Standards

- 1. The proposed rezoning implements many of the same standards and limitations set forth in the New Albany Architectural Design Guidelines and Requirements and neighboring commercial zoning districts.
- 2. The same architectural requirements as the existing business park areas directly to the north and east are proposed.
- 3. The zoning text section IV.A. permits 65-foot-tall buildings, subject to Section 1165.03 of the Codified Ordinances. The General Employment district does not typically have a height limitation. In fact, L-GE districts, that do implement a height restriction usually allow up to 85-foot tall buildings. By creating a height requirement of 65 feet, the text is still being more restrictive than the standard district requirements and proves to be sensitive to the existing adjacent residential uses.
- 4. The city Design Guidelines and Requirements do not provide architectural standards for warehouse and distribution type facilities. Due to the inherent size and nature of these facilities, careful attention must be paid to their design to ensure they are appropriately integrated into the rest of the business park. The limitation text includes the same specific design requirements for uses not governed by the DGRs as those in the other subareas of the business park, which ensures the quality and consistent design of these buildings throughout this portion of the business park.
- 5. Section IV.E.6 of the zoning text requires complete screening of all roof-mounted equipment on all four sides of the building using materials that are consistent and harmonious with the building's façade and character. The text indicates that the screening

is provided to screen equipment from off-site view but also to buffer sound generated by the equipment.

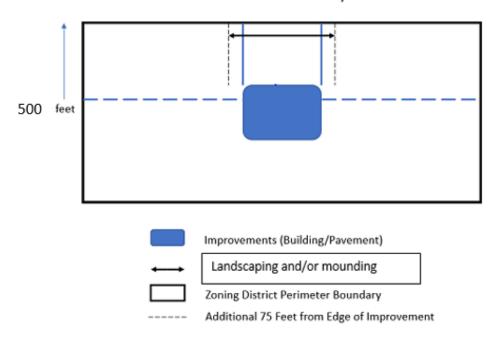
# D. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Maximum lot coverage for this subarea is 75%, which is the same requirement as the surrounding L-GE zoning districts.
- 2. Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.
- 3. For perimeter boundaries which abut properties containing existing residential uses or has a zoning classification which permits the development of residential uses that are not owned by the developer a minimum six (6) foot high mound shall be installed along the property line and shall include a landscape buffer on the mound which shall consist of a mixture of deciduous trees, evergreens and bushes to provide an opacity of 75% on the date that is 5 years after planting to a total height of 10 feet above ground level.
  - a. These mounds shall be installed within the minimum pavement setback area as required by this zoning text and may encroach on the abutting property if that owner agrees with the mound's installation on his/her property.
  - b. The plan for these areas must be reviewed and approved by the City's Landscape Architect.
- 4. There shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or treed areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles.
- 5. Master Landscape Standards Plan:
  - a. Unless a landscape and signage standards plan is developed for this specific area and approved by the Planning Commission, the City of New Albany Business Campus South Beech Road South Landscape Standards Master Plan which was previously created for the Beech Road corridor and approved by the Planning Commission on June 5, 2017 shall apply to the Babbitt Road frontage in this Zoning District.

#### 6. Babbitt Road:

- a. Landscaping and mounding within the minimum required pavement setback along Babbitt Road shall be coordinated and consistent throughout this Zoning District and surrounding areas.
- b. A street tree row shall be established along Beech Road and shall contain one (1) tree for every thirty (30) feet of road frontage. Trees may be grouped or regularly spaced. Street trees shall be located within the right-of-way. Minimum street tree size at installation shall be three (3) caliper inches. This requirement may be waived in areas where existing vegetation occurs or in areas subject to overhead electric transmission lines, subject to approval of the City Landscape Architect.
- 7. In recognition of the significant amount of land area and the lengths of the perimeter boundaries contained within this Zoning District, for all portions of the Zoning District where there is required landscaping as contemplated in Section VI.B above, it may be installed in phases. For each phase of development in the Zoning District, such required landscaping and/or mounding shall be installed when it is anticipated (as provided in plans associated with relevant permits) that buildings, paved parking areas, or aboveground equipment or utility infrastructure, once constructed within that phase, will be located within 500 feet of the relevant perimeter boundary line. At a minimum for each phase, this landscaping shall be installed along the portion of the relevant perimeter boundary line of the Zoning District between two points which are determined by extending two straight lines from the perimeter boundary line of the Zoning District to the furthest distance on each side where planned improvements are to be constructed in that phase, and then adjusting those lines so that they are an additional distance of 150 apart. The following illustration is being provided as an example of this requirement:

#### Perimeter Boundary



#### E. Lighting & Signage

- No signage is proposed at this time. Per the text all signage shall conform to the standards set forth in the District Framework & Landscape Design Standards for the Beech Road North District as adopted by the City and Chapter 1169 of the Codified Ordinances of the City of New Albany.
- 2. All lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.
- 3. The maximum height of light poles is 30 feet.
- 4. The zoning text requires lighting details to be included in the landscape plan which is subject to review and approval by the City Landscape Architect.

#### F. Other Considerations

1. The property owner has submitted a school impact statement which states the proposed L-GE zoning will add significant value to the land and proposes the means to provide additional value by way of improvements.

### IV. ENGINEER'S COMMENTS

The City Engineer has no comments on this submittal.

# **IV. SUMMARY**

The limitation text provides for stricter limitations in use and design than the straight General Employment zoning districts and retains or improves upon many of the requirements found in adjacent existing zoning texts. Due to the proximity of this site to Ganton Parkway, State Route 161/Beech Road interchange, and its location adjacent to other Limited General Employment (L-GE) zoned land in the existing New Albany International Business Park to the north and east, the site appears to be most appropriate for the proposed type of commercial development.

It appears that the proposed zoning text meets or exceeds a majority of the development standards found in the Engage New Albany Strategic Plan. The requirements of the zoning text consider the existing residential nature of the surrounding area and include different landscape restrictions to remain sensitive to those existing uses.

1. The large scale of the rezoning will result in a more comprehensive planned redevelopment of the area and will ensure compatibility between uses (1111.06(a)).

- 2. The L-GE rezoning application is an appropriate application for the request (1111.06(e)).
- 3. The overall effect of the development advances and benefits the general welfare of the community (1111.06(f)).
- 4. The proposed rezoning will allow for the development of businesses that will generate revenue for the school district while having a positive impact on the school district (1111.06(h)).

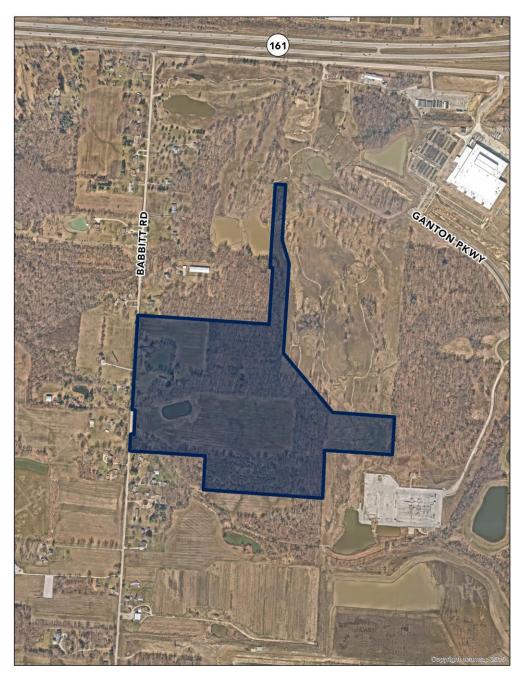
# V. ACTION

# Suggested Motion for ZC-58-2023:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added):

Move to approve application ZC-58-2023 based on the findings in the staff report.

# Approximate Site Location:





# **Community Development Department**

RE: City of New Albany Board and Commission Record of Action

Dear Aaron Underhill,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



# **Community Development Department**

# **Decision and Record of Action**

Tuesday, July 18, 2023

The New Albany Planning Commission took the following action on 07/17/2023.

# **Zoning Amendment**

Location: 6140 Babbitt RD, 5760 BABBITT RD, 5782 BABBITT RD, 5708 BABBITT RD

Applicant: Aaron Underhill, Esq.

**Application:** PLZC20230058

Request: Review and recommendation to city council to rezone 78.16 acres to L-GE for

an area to be known as the Babbitt East Zoning District.

Motion: Move to approve application ZC-58-2023 based on the findings in the staff

report, with conditions.

**Commission Vote:** Motion Passed, 5-0

Result: The Planning Commission recommended approval of zoning amendment (PLZC20230058) to city council by a vote

of 5-0.

Recorded in the Official Journal this Tuesday, July 18, 2023.

#### Condition(s) of Approval:

- 1. The zoning text shall be updated to stated that the position of the mound along Babbitt Road within the front yard setback is not fixed, can be variable and its location be subject to staff approval.
- 2. The zoning text shall be updated to prohibit uplighting on buildings.
- 3. The application shall work with the city's landscape architect at the time of permitting to determine final landscaping to be installed within the southern and northern setbacks to provide for adequate screening for the adjacent neighbors.
- 4. The position of the access drive shall be and installed so as to minimize headlight spill over on adjacent properties to the west of the access drive.

Staff Certification:

Chelsea Nichols

Chelsea Nichols

Planner



# Planning Commission Staff Report July 17, 2023 Meeting

# GANTON/BEECH NORTHWEST ZONING DISTRICT ZONING AMENDMENT

LOCATION: 11.4 +/- acres located at 435, 1043 and 1063 Beech Road SW in Licking

County (PIDs: 094-106590-00.000, 094-107748, and a portion of 094-

107106-00.001).

APPLICANT: MBJ Holdings LLC c/o Aaron L Underhill

REQUEST: Zoning Change

ZONING: Agricultural (AG) and General Employment (GE) to Infill Planned Unit

Development (I-PUD)

STRATEGIC PLAN: Mixed-Use APPLICATION: ZC-62-2023

Review based on: Application materials received on June 1, 2023 and July 10, 2023.

Staff report completed by Chelsea Nichols, Planner

# I. REQUEST AND BACKGROUND

The applicant requests review for the rezoning of 11.4+/- acres. The request proposes to create a new zoning district to be known as the "Ganton/Beech Northwest Zoning District" by zoning the area to Infill Planned Unit Development (I-PUD) from Agricultural (AG) and General Employment (GE).

The proposed zoning text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts, such as Beech Crossing Zoning District, which is located generally to the north of this site and is zoned Infill Planned Unit Development (I-PUD). This rezoning serves to extend the same or similar zoning standards to this property as currently applies to Beech Crossing Zoning District. This zoning district would facilitate the development of service, retail, restaurant, and gasoline service station uses to serve employees within and visitors to the New Albany International Business Park, as well as others traveling along State Route 161.

#### II. SITE DESCRIPTION & USE

The overall site consists of three parcels located within Licking County. The zoning district is generally located at the northeast corner of Beech Road and Ganton Parkway. The neighboring uses and zoning districts include L-GE. The site is currently undeveloped.

#### III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.10. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to city council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in <u>underlined text</u>.

<u>Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall</u> consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.

- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

# A. Engage New Albany Strategic Plan

The 2020 Engage New Albany strategic plan designates the area as the Mixed-Use future land use category. The strategic plan lists the following development standards for the Employment Center land use category:

- 1. No freeway/pole signs are allowed.
- 2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
- 3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
- 4. Sites with multiple buildings should be well organized and clustered if possible.
- 5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
- 6. All office developments should plan for regional stormwater management.
- 7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscaping in an appealing manner.
- 8. Any periphery security should integrate with the landscape and maintain and enhance the character of road corridor.
- 9. Combined curb cuts and cross-access easements are encouraged.
- 10. The use of materials, colors, and texture to break up large-scale facades is required.

# B. Use, Site and Layout

- 1. The proposed text permits uses set forth in the C-3, Highway Business District. Permitted uses include a mix of administrative, business and professional offices uses and retail stores and personal service uses. In addition, gasoline and diesel fueling stations with convenience stores and other accessory uses, vehicle charging stations, and restaurants or banks with drive-throughs.
- 2. In addition, the following uses shall be prohibited:
  - a. Self-service laundries
  - b. Funeral services
  - c. Automobile sales
  - d. Motor vehicle sales and service (combined) establishments
  - e. Commercial recreational facilities
  - f. Carry out food and beverage establishments with drive-thru facilities. To clarify, this prohibited use is intended to include uses such as drive-thru and carry-out beer and wine sales and is not intended to apply to restaurants with drive-throughs.
- 3. In this zoning district, the term "gasoline service station" shall include, but not be limited to, service stations selling gasoline, diesel, and/or any other fuel for trucks and/or passenger vehicles, and/or offering charging stations for electric vehicles." Special provisions outlined in the zoning text for gasoline and diesel service stations include:
  - a. Sections 1165.08(a) through (d) of the Codified Ordinances shall not apply.
  - b. Such uses shall be permitted to serve the commercial trucking industry in addition to regular (non-truck) motorists, but the overnight parking of trucks shall be prohibited.
  - c. Showers and bathing facilities serving truck drivers or others shall be prohibited.
  - d. No lodging shall be permitted as part of the use.
- 4. Due to the proximity of this site to the State Route 161 interchange and its location adjacent to commercially zoned land in the existing Licking County business park to the north, the site appears to be appropriate for retail and commercial development.

- 5. The proposed L-GE text requires the following setbacks:
  - a. Beech Road and Ganton Parkway: There shall be a minimum pavement setback and minimum building setback of 50 feet from the right-of-way of the Beech Road and Ganton Parkway.
  - b. Eastern and Northern perimeter boundaries: There shall be a minimum pavement setback and a minimum building setback of 25 feet from each of the eastern and northern perimeter boundaries of this Zoning District.
  - c. Internal parcel lines: There shall be a zero-setback requirement for pavement and a minimum building setback of 10 feet from internal parcel lines within this zoning district.
  - d. Canopies: Canopies over fuel pumps as part of a gasoline service station use may encroach into minimum building setback.

#### C. Access, Loading, Parking

- 1. One vehicular access point shall be permitted along Beech Road with full turn movements. An additional vehicular access point on Beech Road and/or a vehicular access point on Ganton Parkway shall be permitted only if supported by a traffic impact study approved by the city engineer. Final locations of the proposed access points will be reviewed for approval as part of the first final development plan that is filed for this zoning district.
- 2. Internally within the Zoning District, private roadways and/or drives shall be utilized to provide vehicular circulation, with locations and specifications for the same to be reviewed and approved as part of one or more final development plans.
- 3. In conjunction with the filing of the first final development plan for this Zoning District, a traffic study shall be filed by the applicant unless the city engineer requires less than a full study as determined prior to the filing of the final development plan application.
- 4. Parking will be provided per the city's parking code requirements (Chapter 1167).
- 5. An 8-foot-wide leisure trail exists along both Beech Road and Ganton Parkway. No additional leisure trails are required to be constructed. A 5-foot wide concrete sidewalk shall be provided on both sides of all roadways internal to the zoning district.
- 6. The text also requires an internal pedestrian circulation system be created within the zoning district. Every development shall be required to connect into the internal pedestrian circulation system either by direct connection to a leisure trail or sidewalk, subject to review and approval at the time of a Final Development Plan application. The zoning text requires that a 5-foot wide sidewalk must be installed along the full length of the building along any façade featuring a customer entrance along any façade abutting public parking areas. Such walkways may be omitted to accommodate drive-through lanes, where necessary or desirable to reduce or eliminate conflict between pedestrian and vehicular traffic, as approved as part of a final development plan.
- 7. Each parcel within this Zoning District shall have frontage on a public street, provided, however, that a parcel shall not be required to have vehicular access to and from the public street on which it fronts directly on its site if that parcel has the right to vehicular and utilities access to and from Beech Road and/or Ganton Parkway by and through one or more recorded instruments providing perpetual easements in favor of the parcel for these purposes.
- 8. No additional right-of-way dedications for Ganton Parkway shall be required. Additional right-of-way shall be dedicated to the city along Beech Road to match the width of right-of-way for that street which exists to the north of the zoning district. The actual amount and width of right-of-way to be dedicated to the city along Beech Road shall be reviewed for approval as part of a final development plan.

## **D.** Architectural Standards

1. The proposed architectural standards are consistent with existing I-PUD districts that permit retail and commercial, such as Beech Crossing.

- 2. The proposed rezoning implements many of the same standards and limitations set forth in the New Albany Architectural Design Guidelines and Requirements and neighboring commercial zoning districts.
- 3. The zoning text section E.2. permits buildings to be a minimum of one (1) story and a maximum of two (2) stories, except that hotels and office buildings may exceed two stories and are permitted to be a maximum of 65 feet in height. Architectural elements such as parapets, cupolas, mechanical screening or similar features may exceed these maximum building heights.
- 4. Section E.3. permits exterior materials such as Hardi Plank or its equivalent, brick, stone, cultured stone, metal, EIFS and composite material (except vinyl). Exterior wall finish materials must be used to complete massing elements.
- 5. Section E.7. of the zoning text requires complete screening of all roof-mounted equipment on all four sides of the building using materials that are consistent and harmonious with the building's façade and character. The text indicates that the screening is provided to screen equipment from off-site view but also to buffer sound generated by the equipment.

# D. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Maximum lot coverage for this subarea is 80%, which is the same requirement as existing I-PUD districts that permit retail and commercial, such as Beech Crossing.
- 2. Standard tree preservation practices will be in place to preserve and protect trees that are to remain on site during all phases of construction, including the installation of snow fencing at the drip line.
- 3. Within the minimum required pavement setback along Beech Road and Ganton Road, landscaping shall be coordinated and consistent throughout. The following also shall be provided:
  - a. A four-board white horse fence shall be required along the street frontages. The final location will be determined as part of a final development plan.
  - b. A landscaped area shall be required behind the fence and within the required pavement setbacks. This buffer shall consist of deciduous shade trees planted at a rate equal to six (6) trees or more for every 100 lineal feet of street frontage. Such trees may be equally spaced or randomly grouped and shall be of species which are native to Central Ohio. No single species shall be used for more than one-third of the trees required by this paragraph. Minimum sizes for trees required to be planted pursuant to this paragraph shall be two (2) or three (3) caliper inches, provided that no more than 50% of these trees shall be two (2) inches in caliper.
  - c. A landscape buffer to screen parking areas shall be located within the pavement setback along all public rights-of-way. This buffer may contain landscape material, mounding, or a combination of both and shall have a minimum height of 3.5 feet at installation and a minimum opacity of 75% within 3 years of installation.
- 4. Street trees already exist along Beech Road and Ganton Parkway. No additional street tree plantings shall be required. Street trees that interfere with approved vehicular access points may be removed and relocated in coordination with the city arborist. A street tree row shall be established along private roads and shall contain one (1) tree for every thirty (30) feet of street frontage.
- 5. Within this zoning district, there shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or tree areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles. Parking areas should be designed to foster pedestrian connectivity by accommodating the required pedestrian connections/walkways and provide landscaping to enhance visual aspects of the development. Particular attention shall be given to quantity or plan material and size of parking lot landscape islands closest to buildings.

# E. Lighting & Signage

1. No signage is proposed at this time. Signage for all uses in this Zoning District shall comply with relevant provisions of the Codified Ordinances unless a master signage plan that

provides alterative standards is provided for review and approval by the Planning Commission as part of a final development plan. In the event of a conflict between an approved master sign plan and the relevant provision of the Codified Ordinances, the approved master sign plan shall govern. One wall mounted sign per tenant shall be permitted on each elevation of the building that fronts or sides on a public or private road, but parking lot drive aisles shall not be construed as a private road. Retail tenants are permitted one sandwich board sign, not to exceed six (6) square feet in area, per side. The signs may be placed on the sidewalk in front of the appropriate tenant space, but may not be sited in a location that interferes with vehicular sight distance.

- 2. All parking lot and private driveway lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.
- 3. All parking lot lighting shall be of the same light source type and style. Building, pedestrian, and landscape lighting may be incandescent or metal halide. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed thirty (30) feet in height.
- 4. Landscape uplighting from a concealed source shall not be permitted.
- 5. No permanent colored lights or neon lights shall be used on the exterior of any building.
- 6. All new electrical utilities that are installed in this Zoning District shall be located underground.
- 7. All other lighting on the site shall be in accordance with City Code. Street lighting must meet the City Standards and Specifications.

#### IV. ENGINEER'S COMMENTS

The City Engineer, E.P. Ferris reviewed the proposed rezoning application and provided the following comments. <u>Staff recommends a condition of approval that the comments of the city engineer are addressed and incorporated into the zoning text as appropriate, subject to staff approval.</u>

- 1) Exhibit A (see attached) is excerpted from the Beech Road construction plans. This roadway was built in 2018. If not already provided, we recommend that the applicant dedicate at least 50' of r/w from the Beech Road centerline to stay consistent with what has previously been provided in this area with final amount determined at FDP as required by the text.
- 2) We recommend that the Traffic Study provided analyzes trip generation, intersection capacity analysis and turn lane requirements. The study area should extend from the SR 161 Ramps located north of Worthington Road to the proposed signalized intersection located south of Ganton Parkway at the Beech Road Fulfillment Center (CMH-7). Staff will provide recommendations regarding site access once study results are made available.
- 3) Staff will review OEPA and ACOE permitting requirements after the applicant has completed an environmental assessment.

#### V. SUMMARY

This zoning district would facilitate the development of service, retail, restaurant, and gasoline service station uses to serve employees within, and visitors to, the New Albany International Business Park, as well as others traveling along State Route 161. The proposed zoning text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts, such as Beech Crossing Zoning District, which is located generally to the north of this site. The proposed text is appropriate given the type of retail and commercial mixture of uses that are envisioned for this area in the 2020 Engage New Albany Strategic Plan.

#### V. ACTION

**Suggested Motion for ZC-62-2023:** 

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

## Move to approve application ZC-62-2023, based on the findings in the staff report, with the following condition:

1. The comments of the city engineer shall be addressed and incorporated into the zoning text as appropriate, subject to staff approval.

## **Approximate site Location:**



Source: ArcMap



RE: City of New Albany Board and Commission Record of Action

Dear Aaron Underhill,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



## Planning Commission Staff Report July 17, 2023 Meeting

## BEECH INTERCHNAGE SOUTHWEST ZONING DISTRICT ZONING AMENDMENT

LOCATION: 12.8 +/- acres located at 14461 Worthington Rd, 0 Worthington Rd, and

0 Beech Road SW in Licking County (PIDs: 094-106836-00.000, 094-

108390-00.000 and 094-109458-00.000).

APPLICANT: MBJ Holdings LLC c/o Aaron L Underhill

REQUEST: Zoning Change

ZONING: Office Campus District (OCD) to Infill Planned Development (I-PUD)

STRATEGIC PLAN: Mixed-Use APPLICATION: ZC-63-2023

Review based on: Application materials received on June 1, 2023 and July 10, 2023.

Staff report completed by Chelsea Nichols, Planner

## I. REQUEST AND BACKGROUND

The applicant requests review for the rezoning of 12.8+/- acres. The request proposes to create a new zoning district to be known as the "Beech Interchange Southwest Zoning District" by zoning the area to Infill Planned Unit Development (I-PUD) from Office Campus District (OCD).

The proposed zoning text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts, such as Beech Crossing Zoning District, which is located directly to the north, on the other side of State Route 161, from this site. This rezoning serves to extend the same or similar zoning standards to this property as currently applies to Beech Crossing Zoning District. This zoning district would facilitate the development of service, retail, restaurant, and gasoline service station uses to serve employees within and visitors to the New Albany International Business Park, as well as others traveling along State Route 161.

## II. SITE DESCRIPTION & USE

The overall site consists of three parcels located within Licking County. The zoning district is generally located to the southwest of and adjacent to State Route 161/Beech Road interchange. The neighboring uses and zoning districts include L-GE, L-OCD, I-PUD. The site is currently undeveloped.

## III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.10. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to city council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

<u>Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall</u> consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.

- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

## A. Engage New Albany Strategic Plan

The 2020 Engage New Albany strategic plan designates the area as the Mixed-Use future land use category. The strategic plan lists the following development standards for the Employment Center land use category:

- 1. No freeway/pole signs are allowed.
- 2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
- 3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
- 4. Sites with multiple buildings should be well organized and clustered if possible.
- 5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
- 6. All office developments should plan for regional stormwater management.
- 7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscaping in an appealing manner.
- 8. Any periphery security should integrate with the landscape and maintain and enhance the character of road corridor.
- 9. Combined curb cuts and cross-access easements are encouraged.
- 10. The use of materials, colors, and texture to break up large-scale facades is required.

## B. Use, Site and Layout

- 1. The proposed text permits uses set forth in the C-3, Highway Business District. Permitted uses include a mix of administrative, business and professional offices uses and retail stores and personal service uses. In addition, gasoline and diesel fueling stations with convenience stores and other accessory uses, vehicle charging stations, and restaurants or banks with drive-throughs.
- 2. In addition, the following uses shall be prohibited:
  - a. Self-service laundries
  - b. Funeral services
  - c. Automobile sales
  - d. Motor vehicle sales and service (combined) establishments
  - e. Commercial recreational facilities
  - f. Carry out food and beverage establishments with drive-thru facilities. To clarify, this prohibited use is intended to include uses such as drive-thru and carry-out beer and wine sales and is not intended to apply to restaurants with drive-throughs.
- 3. In this zoning district, the term "gasoline service station" shall include, but not be limited to, service stations selling gasoline, diesel, and/or any other fuel for trucks and/or passenger vehicles, and/or offering charging stations for electric vehicles." Special provisions outlined in the zoning text for gasoline and diesel service stations include:
  - a. Sections 1165.08(a) through (d) of the Codified Ordinances shall not apply.
  - b. Such uses shall be permitted to serve the commercial trucking industry in addition to regular (non-truck) motorists, but the overnight parking of trucks shall be prohibited.
  - c. Showers and bathing facilities serving truck drivers or others shall be prohibited.
  - d. No lodging shall be permitted as part of the use.
- 4. Due to the proximity of this site to the State Route 161 interchange and its location adjacent to commercially zoned land in the existing Licking County business park to the north, the site appears to be appropriate for retail and commercial development.

- 5. The proposed L-GE text requires the following setbacks:
  - a. State Route 161 and Worthington Road: There shall be a minimum pavement setback of 25 and minimum building setback of 50 feet from the right-of-way of State Route 161 and from Worthington Road.
  - b. Beech Road: There shall be a minimum pavement setback and minimum building setback of 50 feet from the right-of-way of the Beech Road.
  - c. Western perimeter boundaries: There shall be a minimum pavement setback and a minimum building setback of 10 feet from each of the western perimeter boundaries of this Zoning District.
  - d. Internal parcel lines: There shall be a zero-setback requirement for pavement and a minimum building setback of 10 feet from internal parcel lines within this zoning district
  - e. Adjacent Parcel: There shall be a minimum pavement setback and a minimum building setback of 25 feet from the shared boundary lines of this Zoning District and the parcel of real property which is known on the effective date of this text as Licking County Auditor parcel number 082-107508-00.000, should that parcel and adjacent property within this Zoning District come under common ownership in the future, then a zero setback shall be required along shared boundary lines.
  - f. Canopies: Canopies over fuel pumps as part of a gasoline service station use may encroach into minimum building setback.

## C. Access, Loading, Parking

- Vehicular access to and from this Zoning District shall be permitted only along Worthington Road. No vehicular access shall be permitted along Beech Road. The northern portion of the zoning district is bounded by the eastbound exit ramp from State Route 161 and no access is permitted.
- 2. Two vehicular access points shall be permitted along Worthington Road with full turn movements, provided that such access points are at least 500 feet apart. A third vehicular access point shall be permitted along Worthington Road, but only if it is restricted to right-in and right-out turning movements. Final locations of the proposed access points will be reviewed for approval as part of the first final development plan that is filed for this zoning district.
- 3. Internally within the Zoning District, private roadways and/or drives shall be utilized to provide vehicular circulation, with locations and specifications for the same to be reviewed and approved as part of one or more final development plans.
- 4. In conjunction with the filing of the first final development plan for this Zoning District, a traffic study shall be filed by the applicant unless the City Engineer requires less than a full study as determined prior to the filing of the final development plan application.
- 5. Prior to or in conjunction with the issuance of the first building permit for a structure in this Zoning District, right-of-way shall be dedicated to the City as necessary to extend 30 feet northward from the centerline of the right-of-way of Worthington Road.
- 6. Parking will be provided per the city's parking code requirements (Chapter 1167).
- 7. An 8-foot-wide leisure trail shall be provided along the Zoning District's frontage on Worthington Road and shall connect on the east with an existing leisure trail on Beech Road.
- 8. The text requires an internal pedestrian circulation system be created within the zoning district. The zoning text requires that a 5-foot wide sidewalk must be installed on both sides of all roadways internal to the zoning district.

## D. Architectural Standards

1. The proposed architectural standards are consistent with existing I-PUD districts that permit retail and commercial, such as Beech Crossing.

- 2. The proposed rezoning implements many of the same standards and limitations set forth in the New Albany Architectural Design Guidelines and Requirements and neighboring commercial zoning districts.
- 3. The zoning text section E.2. permits buildings to be a minimum of one (1) story and a maximum of two (2) stories, except that hotels and office buildings may exceed two stories and are permitted to be a maximum of 65 feet in height. Architectural elements such as parapets, cupolas, mechanical screening or similar features may exceed these maximum building heights.
- 4. Section E.3. permits exterior materials such as Hardi Plank or its equivalent, brick, stone, cultured stone, metal, EIFS and composite material (except vinyl). Exterior wall finish materials must be used to complete massing elements.
- 5. Section E.7. of the zoning text requires complete screening of all roof-mounted equipment on all four sides of the building using materials that are consistent and harmonious with the building's façade and character. The text indicates that the screening is provided to screen equipment from off-site view but also to buffer sound generated by the equipment.

## D. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Maximum lot coverage for this subarea is 80%, which is the same requirement as existing I-PUD districts that permit retail and commercial, such as Beech Crossing.
- 2. Standard tree preservation practices will be in place to preserve and protect trees that are to remain on site during all phases of construction, including the installation of snow fencing at the drip line.
- 3. State Route 161 Treatment: A four-board white horse fence shall be required generally running parallel to State Route 161 along the perimeter of this Zoning District but outside of the right-of-way. Existing trees within the required minimum pavement setback from the State Route 161 right-of-way shall be preserved, except that trees may be removed in order to (a) install and provide for the maintenance of the required 4-board white horse fence, and/or (ii) remove invasive or noxious plant species or trees or which present a danger to persons or property.
  - a. The zoning text also requires that a minimum of 6 trees per 100 lineal feet must be installed within the required setback area along State Route 161.
- 4. Within the minimum required pavement setback along Beech Road and Worthington Road, landscaping shall be coordinated and consistent throughout. The following also shall be provided:
  - a. A four-board white horse fence shall be required along the street frontages. The final location will be determined as part of a final development plan.
  - b. A landscaped area shall be required behind the fence and within the required pavement setbacks. This buffer shall consist of deciduous shade trees planted at a rate equal to six (6) trees or more for every 100 lineal feet of street frontage. Such trees may be equally spaced or randomly grouped and shall be of species which are native to Central Ohio. No single species shall be used for more than one-third of the trees required by this paragraph. Minimum sizes for trees required to be planted pursuant to this paragraph shall be two (2) or three (3) caliper inches, provided that no more than 50% of these trees shall be two (2) inches in caliper.
  - c. A landscape buffer to screen parking areas shall be located within the pavement setback along all public rights-of-way. This buffer may contain landscape material, mounding, or a combination of both and shall have a minimum height of 3.5 feet at installation and a minimum opacity of 75% within 3 years of installation.
- 5. Street trees already exist along Beech Road. No additional street tree plantings shall be required. A street tree row shall be established along Worthington Road, all public streets (other than State Route 161) and private roads and shall contain one (1) tree for every thirty (30) feet of street frontage. Street trees along Worthington Road shall be installed along the entire street frontage when the first parcel develops in this Zoning District. Street trees shall be located a minimum of ten (10) feet from the edge of the right-of-way unless the City's Landscape Architect approves planting these trees closer to the right-of-way or within the right-of-way.

6. Within this zoning district, there shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or tree areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles. Parking areas should be designed to foster pedestrian connectivity by accommodating the required pedestrian connections/walkways and provide landscaping to enhance visual aspects of the development. Particular attention shall be given to quantity or plan material and size of parking lot landscape islands closest to buildings.

## E. Lighting & Signage

- 1. No signage is proposed at this time. Signage for all uses in this Zoning District shall comply with relevant provisions of the Codified Ordinances unless a master signage plan that provides alterative standards is provided for review and approval by the Planning Commission as part of a final development plan. In the event of a conflict between an approved master sign plan and the relevant provision of the Codified Ordinances, the approved master sign plan shall govern. One wall mounted sign per tenant shall be permitted on each elevation of the building that fronts or sides on a public or private road, but parking lot drive aisles shall not be construed as a private road. Retail tenants are permitted one sandwich board sign, not to exceed six (6) square feet in area, per side. The signs may be placed on the sidewalk in front of the appropriate tenant space, but may not be sited in a location that interferes with vehicular sight distance.
- 2. All parking lot and private driveway lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.
- 3. All parking lot lighting shall be of the same light source type and style. Building, pedestrian, and landscape lighting may be incandescent or metal halide. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed thirty (30) feet in height.
- 4. Landscape uplighting from a concealed source shall not be permitted.
- 5. No permanent colored lights or neon lights shall be used on the exterior of any building.
- 6. All new electrical utilities that are installed in this Zoning District shall be located underground.
- 7. All other lighting on the site shall be in accordance with City Code. Street lighting must meet the City Standards and Specifications.

## IV. ENGINEER'S COMMENTS

The City Engineer, E.P. Ferris reviewed the proposed rezoning application and provided the following comments. <u>Staff recommends a condition of approval that the comments of the city engineer are addressed and incorporated into the zoning text as appropriate, subject to staff approval.</u>

- 1) Sheet 3 of 12 of the text states that 30' of r/w shall be dedicated as measured from road centerline. Currently the r/w as measured from road centerline ranges from approximately 100' to 110' along the parcel frontage adjacent to Worthington Road. The text should be revised to reflect this.
- 2) We recommend that the Traffic Study provided analyzes trip generation, intersection capacity analysis and turn lane requirements. The study area should include all signalized intersections in the project area. Staff will provide recommendations regarding site access once study results are made available.
- 3) Staff will review OEPA and ACOE permitting requirements after the applicant has completed an environmental assessment.
- 4) We will evaluate storm water management, water distribution, sanitary sewer collection and roadway construction related details once construction plans become available.

#### V. SUMMARY

This zoning district would facilitate the development of service, retail, restaurant, and gasoline service station uses to serve employees within, and visitors to, the New Albany International Business Park, as well as others traveling along State Route 161. The proposed zoning text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts, such as Beech Crossing Zoning District, which is located generally to the north of this site. The proposed text is appropriate given the type of retail and commercial mixture of uses that are envisioned for this area in the 2020 Engage New Albany Strategic Plan.

### V. ACTION

## Suggested Motion for ZC-63-2023:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

## Move to approve application ZC-63-2023, based on the findings in the staff report, with the following conditions:

1. The comments of the city engineer shall be addressed and incorporated into the zoning text as appropriate, subject to staff approval.

## **Approximate site Location:**



Source: ArcMap



## **Decision and Record of Action**

Tuesday, July 18, 2023

The New Albany Planning Commission took the following action on 07/17/2023.

## **Zoning Amendment**

Location: 435, 1043 and 1063 Beech Rd SW

Applicant: Aaron Underhill, Esq.

**Application:** PLZC20230062

Request: Review and recommendation to city council to rezone 11.4 acres to I-PUD for

an area to be known as the Ganton/Beech Northwest Zoning District.

**Motion:** Move to approve application ZC-62-2023 based on the findings in the staff

report, with conditions.

**Commission Vote:** Motion Passed, 5-0

**Result:** The Planning Commission recommended approval of zoning amendment (PLZC20230062) to city council by a vote

of 5-0.

Recorded in the Official Journal this Tuesday, July 18, 2023.

## **Condition(s) of Approval:**

- 1. The city engineer's comments shall be addressed and incorporated into the zoning text as appropriate, subject to staff approval.
- 2. The zoning text shall be updated to prohibit uplighting on the buildings.
- 3. The zoning text shall be updated to include language stating canopy encroachments shall be subject to staff approval at the time of the final development plan.

Staff Certification:

Chelsea Nichols

Chelsea Nichols

Planner



RE: City of New Albany Board and Commission Record of Action

Dear Aaron Underhill,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



## **Decision and Record of Action**

Tuesday, July 18, 2023

The New Albany Planning Commission took the following action on 07/17/2023 .

## **Zoning Amendment**

**Location:** 14461 Worthington Rd, 0 Worthington Rd, and 0 Beech Rd SW **Applicant:** Aaron Underhill, Esq.

**Application:** PLZC20230063

Request: Review and recommendation to city council to rezone 12.8 acres to I-PUD for

an area to be known as the Beech Interchange Southwest Zoning District.

Motion: Move to approve application ZC-63-2023 based on the findings in the staff

report, with conditions.

**Commission Vote:** Motion Passed, 5-0

Result: The Planning Commission recommended approval of zoning amendment (PLZC20230063) to city council by a vote

of 5-0.

Recorded in the Official Journal this Tuesday, July 18, 2023.

### **Condition(s) of Approval:**

- 1. The city engineer's comments shall be addressed and incorporated into the zoning text as appropriate, subject to staff approval.
- 2. The zoning text shall be updated to prohibit uplighting on the buildings.
- 3. The zoning text shall be updated to include language stating canopy encroachments shall be subject to staff approval at the time of the final development plan.

Staff Certification:

Chelsea Nichols

Chelsea Nichols

Planner



## Planning Commission Staff Report July 17, 2023 Meeting

## 7830 EASTCROSS DRIVE PERGOLA MATERIAL & SETBACK VARIANCE

LOCATION: 7830 Eastcross Drive (PID: 222-004933)

APPLICANT: City of New Albany, Ohio

REQUEST: Variance to allow a pergola to be constructed of metal and encroach the

side yard setback by 2.5 feet.

ZONING: I-PUD (Planned Unit Development District)

STRATEGIC PLAN: Residential APPLICATION: VAR-65-2023

Review based on: Application materials received on June 2, 2023.

Staff report prepared by Sierra Cratic-Smith, Planner

## I. REQUEST AND BACKGROUND

The applicant requests two variances:

- 1. To allow a pergola material to be an aluminum metal where city code ordinance Chapter 1165.04(b)(1) prohibits metal material for recreational amenities.
- 2. To allow a pergola to encroach two and a half feet into the 10-foot side yard setback (C.O. Chapter 1165.04(b)(3)(C)).

This is a city sponsored variance request to allow the material of a pergola to be an aluminum metal and to allow an encroachment of 2.5 feet into the side yard. Prior to this request, the property owner followed the appropriate submittal and permitting process. The city approved the permit and the property owner purchased and installed the pergola in accordance with the approved application. A review conducted by the city, several months after approving the property owner's permit, identified a mistake in the approval process. The city contacted the property owner who agreed to work with the city to submit this variance application.

## II. SITE DESCRIPTION & USE

The property measures at 0.19 acres in size and contains a single-family home. This property is located within the Nottingham Trace subdivision and is zoned residential I-PUD. The Nottingham Trace subdivision is located West of State Route 605. The surrounding properties are residential on all sides.

## III. ASSESMENT

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. In accordance with C.O. 1113.05(b), all property owners within 200 feet of the subject property in question have been notified of the request via mail.

Criteria

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

- 1. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.
- 2. Whether the variance is substantial.
- 3. Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."
- 4. Whether the variance would adversely affect the delivery of government services.
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction.
- 6. Whether the problem can be solved by some manner other than the granting of a variance.
- 7. Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.

Plus, the following criteria as established in the zoning code (Section 1113.06):

- 8. That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- 9. That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- 10. That the special conditions and circumstances do not result from the action of the applicant.
- 11. That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- 12. That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

## IV. EVALUATION

The applicant requests two variances:

- 1. To allow a pergola material to be an aluminum metal where city code d ordinance Chapter 1165.04(b)(1) prohibits metal material for recreational amenities (C.O. Chapter 1165.04(b)(1)).
- 2. To allow a pergola to encroach two and a half feet into the 10-foot side yard setback (C.O. Chapter 1165.04(b)(3)(C)).

The following should be considered in the board's decision:

- 1. The applicant requests a variance to allow the pergola columns material to be an aluminum metal where city code prohibits metal material for recreational amenities except on roofs. The applicant requests to use a black aluminum for the pergola's columns. The second request is to allow it encroach two and a half feet into the 10-foot side yard setback.
- 2. The pergola is fully constructed. The variance requests are to allow the pergola to remain in its existing form and location.

- 3. The variances do not appear to alter the character of the neighborhood considering the surrounding landscape and general area of the lot. The home is generally located in a corner of the subdivision with the pergola located in the rear yard so there is no visibility from the public street. In addition, there is currently arborvitae landscape along both sides of the pergola. This buffer includes the neighbor's landscaping located on the left side covering the rear yard.
- 4. The variance does not appear to be substantial because the black aluminum is a very popular material in New Albany similarly seen as fencing materials. In addition, the metal finish is a matte finish and is not the typical metallic shiny color so it appears appropriate in design.
- 5. The variances preserve the "spirit and intent" of the zoning requirement and "substantial justice" would be done by granting the variance. The pergola is made of a matte, black aluminum which does not shine. Its thin columns create an inconspicuous appearance which results in the pergola blending into the background.
- 6. There are special conditions that create a uniqueness for the lot. There is an existing patio built in the rear of the home connected to the back door. The pergola is fastened on top of an existing concrete patio and matches its area.
- 7. Granting the variances will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
- 8. Approving the variances will not adversely affect the delivery of government services.
- 9. The special conditions and circumstances do not result from the action of the applicant. The city approved the permit and the property owner purchased and installed the pergola in accordance with the approved application. A review conducted by the city several months after approving the property owner's permit and the after its installation identified a mistake in the approval process. The city contacted the property owner who agreed to work with the city to submit this variance application.
- 10. The setback request does not appear that it can be solved by some manner other than the granting of a variance. If the pergola were to be relocated, it would block the rear door and prevent its use. This setback encroachment is the minimum needed to clear the doorway. The house and the pergola are constructed the same distance from the side property line. If it was attached to the house, it would be meeting code requirements and the setback variance would not be necessary.

## IV. SUMMARY

This variance is to allow the pergola columns' material to be an aluminum metal and to allow it encroach two and a half feet into the side yard setback. This variance is not significant because it is not visible to the public and has limited visibility from neighbors due to landscaping. In addition, the black aluminum material is a very popular material used in New Albany since it lacks shine blends/fades into the background. The spirit and intent of the material regulation is to ensure metallic and shiny metals are not utilized since it they would clash with the character of the community and materials used on the primary structure. This pergola material and color is extensively used for fencing in New Albany. The design and material is appropriate for the home and its location in the setback is necessitated in order to not block the back door.

## V. ACTION

Should the Planning Commission find that the application has sufficient basis for disapproval, finding the following motion is appropriate.

Move to approve application VAR-65-2023 based on the findings in the staff report (conditions of approval may be added).

**Approximate Site Location:** 



Source: NearMap



RE: City of New Albany Board and Commission Record of Action

Dear Steve Diantonio

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



## **Decision and Record of Action**

Tuesday, July 18, 2023

The New Albany Planning Commission took the following action on 07/17/2023.

## Variance

**Location:** 7830 Eastcross Dr., Unit:35 **Applicant:** The City of New Albany

**Application:** PLVARI20230065

Request: 1.To allow a pergola material to be an aluminum metal where city code d ordinance

Chapter 1165.04(b)(1) prohibits metal material for recreational amenities (C.O. Chapter

1165.04(b)(1)).

2. To allow a pergola to encroach two and a half feet into the 10-foot side yard setback

(C.O. Chapter 1165.04(b)(3)(C)).

Motion: To approve

**Commission Vote:** Motion Approved, 4-1

**Result:** Variance, PLVARI20230065 was Approved, by a vote of 4-1.

Recorded in the Official Journal this July 18, 2023

Condition(s) of Approval: N/A

Sierra Cratic-Smith

Staff Certification:

Sierra Cratic-Smith

Planner



## Planning Commission Staff Report July 17, 2023 Meeting

## 6867 HARPER LANE DECK VARIANCE

LOCATION: 6867 Harper Lane (PID: 222-004663)

APPLICANT: Traci Moore

REQUEST: Variance to codified ordinance 1165.04(b)(3)(B) to allow a deck to

encroach a platted easement.

ZONING: Wentworth Crossing

STRATEGIC PLAN: Residential APPLICATION: VAR-66-2021

Review based on: Application materials received on June 23, 2023

Staff report prepared by Sierra Cratic-Smith, Planner.

## I. REQUEST AND BACKGROUND

Variance to codified ordinance 1165.04(b)(3)(B) to allow a deck to encroach 30 inches into a 40-foot utility easement located within the rear yard at 6867 Harper Lane.

### II. SITE DESCRIPTION & USE

The property is 0.241-acre(s) large with a single-family residential home. It is within the Wentworth Crossing subdivision which is north of Central College Road. The home is surrounded by other single-family residential homes and neighbors the New Albany Links to the east.

## III. ASSESSMENT

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

#### Criteria

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

- 1. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.
- 2. Whether the variance is substantial.
- 3. Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."
- 4. Whether the variance would adversely affect the delivery of government services.
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction.

- 6. Whether the problem can be solved by some manner other than the granting of a variance.
- 7. Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.

Plus, the following criteria as established in the zoning code (Section 1113.06):

- 8. That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- 9. That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- 10. That the special conditions and circumstances do not result from the action of the applicant.
- 11. That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- 12. That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

### III. EVALUATION

Variance to C.O. 1165.04(b)(3)(b) to allow a deck to be located within a platted easement. The following should be considered in the Board's decision:

- 1. Codified Ordinance Section 1165.04(b)(3)(b) states that decks and other recreational amenities are not permitted to be constructed in an easement. According to the final plat for the subdivision, there is an existing 40-foot wide general utility easement that extends from the rear property line. According to the engineering plans for the subdivision, the easement contains an underground, public sanitary sewer line.
- 2. The applicant is requesting a variance to allow a deck to encroach 30 inches (approximately 2.5 feet) into the easement. The back of the house is about 44.46+/- feet from the rear property line. The easement is 40-foot-wide thereby leaving approximately 4.46 feet of buildable space.
- 3. The deck is 311 square feet in area (size). It extends 8.5 feet from the back of the house and is about 21.5 feet wide. The encroachment area is approximately 56.25 square feet.
- 4. In October 2019, modifications to section 1165 of the city's Codified Ordinances were approved by City Council. The modifications included adding provisions that decks, patios and other recreational amenities are not permitted to be installed in easements. By adding this prohibition, a property owner can now request a variance. Prior to the adoption of these code modifications city code was silent on easements, and decks and similar at-grade encroachments into easements where regulated only by plat notes which typically state encroachments could only be approved by the city engineer. Plat notes provide no other mechanism for relief via a public process. The intent of this requirement is to protect property owners and to add an extra level of review for these types of encroachment requests.
- 5. It does not appear the essential character of the neighborhood will be altered because there are other neighbors with recreational amenities such as decks and patios partially constructed within the easement. Each property has the same 40-foot-wide easement located in the rear yard and the encroachments of the existing patios/decks into the easement varies from 8 feet to 1 foot. Therefore, the proposed encroachment is similar to the existing encroachments and does not change the characteristics of the neighborhood.
- 6. The variance request does not appear to be substantial since the deck is installed directly

over the sewer line. The sanitary sewer is constructed approximately 11 feet away from the end of the deck so it appears it can be sufficiently accessed. If the city or another utility provider needs to access the easement, the deck may be taken down or partially removed in order to access utilities, and the property owner is responsible for the expense of replacing or repairing the structure. Staff recommends a condition of approval that the homeowner enter into a hold harmless agreement (or similar legal mechanism to be determined by the city engineer and/or attorney) specifying that the property owner, and not the city, is responsible for any damages to the deck in the event that a public or private utility provider needs to access the easement area prior to the issuance of a building permit and any impacts to neighboring surface drainage must is the responsibility of the homeowner to address.

- O The plans show multiple planter boxes around the deck. These applicant states these planter boxes are not affixed to the deck or ground. Since these are movable objects (not permanent) a variance for them is not required.
- 7. The variance request appears to meet the spirit and intent of the zoning requirement since the deck is cantilevered over the easement area. The deck's footing and foundations are constructed on the easement line in order to allow access to the ground underneath the deck.
- 8. Granting the variance does not adversely affect the delivery of government services since the deck is not constructed directly over the sanitary sewer line and provides access the ground beneath the deck via its cantilever design. The installation of the deck does not obstruct the operation of the sewer line.
- 9. It appears that granting the variance will not adversely affect the health and safety of persons residing in the vicinity.

## IV. SUMMARY

While the applicant proposes to install a deck within an easement, it does not obstruct the public utility. The hold harmless agreement ensures that the applicant, and all future owners, are aware that the city is not responsible for any damages to the deck in the event that the easement area has to be accessed in the future and further ensures that the spirit and intent of the requirement is being met and the delivery of government services will not be negatively impacted.

### V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added):

Move to approve application VAR-66-2023 with the following conditions, subject to staff approval (conditions of approval may be added).

- 1. The area underneath the deck must be screened in accordance with city code.
- 2. The homeowner enters into a hold harmless agreement (or similar legal mechanism to be determined by the city engineer and/or attorney) specifying that the property owner, and not the city, is responsible for any damages to the deck in the event that a public or private utility provider needs to access the easement area prior to the issuance of a building permit and any impacts to neighboring surface drainage must is the responsibility of the homeowner to address.



Source: NearMap

## Please cross-reference Instrument #201603150030695

## HOLD HARMLESS AGREEMENT REGARDING EASEMENT VARIANCE

THIS HOLD HAR	MLESS Agreement ("Agreement") is made and entered into as of the
day of	, 2023, by and between ANTHONY MOORE AND TRACI MOORE,
husband and wife ("Owner	s") of the property located at 6867 Harper Lane, New Albany Ohio 43054
(" <b>Property</b> ") and THE CI	TY OF NEW ALBANY, OHIO, an Ohio municipal corporation ("City").
Owners and City may be re	eferred to collectively herein as the "Parties".

## **RECITALS**

WHEREAS, Owners' real property is located in the City of New Albany, County of Franklin and State of Ohio, commonly known as Franklin County tax parcel no. 222-004663 and also known as 6867 Harper Lane.

WHEREAS, the Owners requested and received approval of a variance from the New Albany Board of Zoning Appeals on July 17, 2023, to permit a variance to encroach 30 inches into a 40-foot utility easement located within the rear yard, for the addition of a deck on the rear of the house, as is more set forth and depicted as Exhibit A, attached hereto.

WHEREAS, as a condition of approval, the Owners were required to execute and have recorded with the Franklin County Recorder's Office a hold harmless agreement specifying that the current Owners and all future owners, and not the City, are fully responsible for any damages to the deck in the event that a public or private utility provider needs to access the utility easement area, and that any impacts to neighboring surface drainage is the responsibility of the Owners.

NOW THEREFORE, in consideration of the promises and conditions set forth herein, and for good and valuable consideration, the receipt of which is hereby acknowledged, and as a condition of approval of the requested easement encroachment variance by the New Albany Board of Zoning Appeals, the Parties hereby agree as follows:

1. The Owners, their heirs, successors and assigns, and all future Property owners shall be subject to this Agreement and shall hold the City harmless and be fully financially responsible for any damages to the deck in the event that a public or private utility provider needs access to the utility easement area located in the rear yard of the Owners' Property. The Owners, their heirs, successors

and assigns, and all future Property owners shall further hold the City harmless and be fully financially responsible for any impacts to neighboring surface drainage caused by the addition of the rear deck on the Property.

- 2. <u>Successors and Assigns</u>. The rights and obligations granted and created under this Agreement shall be deemed to run with the land and shall be binding upon and inure to the benefit of the heirs, legal representatives, successors, assigns and subsequent purchasers of and from the Owners.
- 3. <u>Severability</u>. If any provision of this Agreement is determined to be void and unenforceable by any court, that determination shall not affect the remaining provisions of this Agreement, which shall remain in full force and effect.
- 4. <u>Governing Law</u>. The terms of this Agreement shall be governed by and construed in accordance with the laws of the State of Ohio.
- 5. <u>Appurtenant; Run with Land</u>. The rights and responsibilities set forth in this Agreement shall constitute covenants running with the land.
- 6. <u>Obligation to Notify Subsequent Purchasers.</u> The Owners and all future owners shall, in addition to any disclosures included in title work that they provide to potential purchasers of the Property, provide such potential purchasers with a copy of this Agreement as part of the Residential Property Disclosure Form required pursuant to RC 5302.30 as currently exists or may be amended.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the date first written above.

	OWNERS ANTHONY MOORE AND TRACI MOORE
	By: Print Name:
	By: Print Name:
STATE OF OHIO, COUNTY OF FRANKLIN, SS:	
The foregoing instrument was acknown 2023, by Anthony Moore and Traci Moore.	nowledged before me this day of
	Notary Public
	Commission Expires:

# CITY OF NEW ALBANY, OHIO an Ohio municipal corporation

	Ву:
	Print Name:
	Its:
	<del> </del>
STATE OF OHIO,	
COUNTY OF FRANKLIN, SS:	
,	
The foregoing instrument was ac	knowledged before me this day of
	of the City of New Albany, Ohio.
	Notary Public
	rodary r done
	Commission Expires:



RE: City of New Albany Board and Commission Record of Action

Dear Traci & Tony Moore

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



## **Decision and Record of Action**

Tuesday, July 18, 2023

The New Albany Planning Commission took the following action on 07/17/2023.

## Variance

**Location:** 6867 Harper Lane **Applicant: Traci & Tony Moore** 

**Application:** PLVARI20230066

Request: Variance to codified ordinance 1165.04(b)(3)(B) to allow a deck to encroach a platted

easement. **Motion:** To approve

**Commission Vote:** Motion Approved with Conditions, 5-0

**Result:** Variance, PLVARI20230066 was Approved with Conditions, by a vote of 5-0.

Recorded in the Official Journal this July 18, 2023

## Condition(s) of Approval:

- 1. The footer must move out of the easement.
- 2. The homeowner enter into a hold harmless agreement (or similar legal mechanism to be determined by the city engineer and/or attorney) specifying that the property owner, and not the city, is responsible for any damages to the deck in the event that a public or private utility provider needs to access the easement area prior to the issuance of a building permit and any impacts to neighboring surface drainage must is the responsibility of the homeowner to address.
- 3. The area underneath the deck must be screened in accordance with city code.

Staff Certification:

Sierra Cratic-Smith

Sierra Cratic-Smith

Planner



To: Planning Commission

From: Community Development Department

Re: City Sign Code Update: Digital/Electronic Menu Board Sign Regulations

Date: July 10, 2023

At the direction of the Planning Commission and City Council, the city staff prepared the attached updates to the city sign code. Proposed changes are indicated in red within the code section and are limited to pages 5 and 12. These updates are intended to permit and provide regulations for electronic/digital drive-thru menu board signs. The proposed code changes were presented informally to the Planning Commission during the June 19<sup>th</sup> meeting.

During the July 17<sup>th</sup> Planning Commission meeting, staff asks the board to review and make a formal recommendation to City Council to adopt these code changes. Please feel free to contact city staff if you have any questions.

## CHAPTER 1169 DISPLAY SIGNS AND OUTDOOR ADVERTISING

#### 1169.01 PURPOSE.

- (a) The purpose of these sign regulations is to ensure the proper development and regulation of signs. These regulations are intended to provide design regulations for sign types so that they may fit harmoniously with structures and their surroundings. It is the intent of these regulations to prevent signs from becoming a distraction or obstruction to the safe flow of pedestrian and vehicular traffic, to prevent signs from becoming a nuisance factor to adjacent properties or uses, to protect and encourage a healthful economic and business environment in the community, and thereby protect the general health, safety, and welfare of the community.
- (b) This chapter shall supersede all previous regulations regarding signs and shall be considered the requirements necessary for promotion of public safety, health, and general welfare through the regulation of signs.

(Ord. O-38-2010. Passed 12-7-10.)

### **1169.02 DEFINITIONS.**

- (a) As used in this chapter, the following words or phrases shall have the meanings herein:
  - (1) "Abandoned sign" means a sign associated with an abandoned use, a sign that remains after the termination of the business, or a sign on its immediate premises not adequately maintained.
  - (2) "Address sign" means any street location identifier that integrates with the architecture of the building and is not standard to a typical address marker permitted by code. These address signs are usually larger in scale and meant to be highly visible beyond standard means.
  - (3) "Awning" means a non-rigid cloth or canvas hood or cover that projects from the wall of a building.
  - (4) "Banner" means a non-rigid cloth, plastic or canvas sign typically related to a special event or promotion. National flags, state flags, municipal flags or corporate flags shall not be considered banners.
  - (5) "Bench sign" means any sign painted on, located on, or attached to any part of the surface of a bench, seat, or chair placed on or adjacent to a public roadway.
  - (6) "Billboard" means an off-premises sign directing attention to a specific business, product, service, entertainment or other activity sold, offered, or conducted.
  - (7) "Blade" means a sign projecting from the face of the building and is oriented such so that it is vertical.
  - (8) "Building directory sign" means an exterior building mounted sign intended to provide the identity or name, whether through logo, type, graphics or other symbols, for two (2) or more uses within one building.
  - (9) "Building face" means one side of an exposed elevation.
  - (10) "Canopy" means a projection from a building made from any material, which is cantilevered, suspended or supported on columns intended only for shelter or ornamentation.

- (11) "Canvas blade" means a cloth or flexible material sign which is not limited by code for the time it is allowed to be displayed.
- (12) "Clearance Zone" means an area not obstructed by objects.
- (13) "Copy" means the lettering or graphics on the face of a sign.
- (14) "Deteriorated" means showing signs of rust, corrosion, exposed wiring, chipped paint or faces, cracked, broken, or missing faces, or loose materials
- (15) "Directional sign" means a sign which locates features within a lot or indicates points of ingress or egress for automobile traffic.
- (16) "Drive-thru/Menu board sign" means a sign which displays the goods and prices available from a business for customers in their automobile.
- (17) "Dual-post sign" means a sign which is supported on two (2) sides by posts that are attached to the ground.
- (18) "Electronic sign" means any sign, or portion of a sign, that displays an electronic image or video, which may or may not include text, where the rate of change is electronically programmed and can be modified by electronic processes. This definition includes television screens, plasma screens, digital screens, LED screens, video boards, holographic displays, and other similar media.
- (19) "Face change" means a change in colors, copy, graphics, or visual image that does not require the installation of a new or modified sign board.
- (20) "Flag" means any fabric or bunting containing distinctive colors, patterns or symbols used as a symbol of a government or political subdivision.
- (21) "Flashing" means a sign or graphic which in any manner, as a whole or in part, physically changes in light intensity or gives the appearance of such change.
- (22) "Freeway oriented business park sign" means a sign announcing general development opportunities in a business park and/or a sign welcoming a new business to the business park, which is located on property adjacent to a freeway, expressway or divided highway.
- (23) "Ground sign" means a sign supported by or suspended from posts, pillars, columns, or other structures and which is wholly independent of any building for support.
- (24) "Hanging sign" means a sign suspended from its top and attached to an architectural piece of a building.
- (25) "Interior sign" means a sign which is not in any manner physically attached to or painted on the glass or any structural component of the window but which is on the interior of the building or structure and is clearly visible through the window from the exterior of the premises.
- (26) "Identification" means the act of specifying the name, address, and number of a building, institution, or person or the activity carried on in the building or institution. "Joint identification sign" means a sign intended to provide the identity or name, for two (2) or more uses within one building or on one property or the name of the building or its address for property occupied by two (2) or more businesses.
- (27) "Monument sign" means a sign incorporated as part of an architectural feature, the base of which rests entirely on the ground and is wholly independent of any building for support.
- (28) "Mounting width" means the length available to suspend a hanging sign from.
- (29) "Moving sign" means any sign, all or any part of which physically moves or is animated so as to give the appearance of movement.

- (30) "Nonconforming sign" means any sign which does not meet the standards set forth in this code document and/or has become abandoned.
- (31) "Pennant" means a triangular shaped banner.
- (32) "Permanent subdivision identification sign" means those signage features specifically relating to the denotation of a major entrance or entrances to a subdivision.
- (33) "Permanent sign" means a sign intended to be erected or used or in fact which is used for a time period in excess of thirty (30) days, other than those temporary signs allowed a longer use period as specifically permitted in Section 1169.10.
- (34) "Political sign" is a sign having reference to a political official, candidate, question, issue or opinion".
- (35) "Portable sign" means a sign that is designed to be transported, however, it also includes a sign that was designed to be transported, but which has had its wheels removed, and a sign with a chassis or support constructed without wheels, designed to be transported by trailer, vehicle, or wheels; a portable sign also includes sidewalk signs.
- (36) "Post-top" means a sign board that is atop a single supporting post.
- (37) "Primary Entrance" means the entrance which faces the public right-of-way, public easement, or is clearly the identifiable way to which the general public would enter a building.
- (38) "Projecting" means a sign which extends outward perpendicular to the building face.
- (39) "Residential For Sale/For Lease Signs" means signs that indicate the sale, rental or lease of a particular structure or land area.
- (40) "Roof line" means the bottom-most portion of a roof that abuts or is adjacent to the supporting exterior walls of a building.
- (41) "Roof sign" means a sign that is mounted on the roof of a building or which is wholly dependent upon a building for support and which projects above the point of a building or eave line of a building with a gambrel, gable or hip roof or the deck line of a building with a mansard roof.
- (42) "Setback" means the distance from the property line and/or right-of-way line to the nearest part of the applicable building, structure or sign, measured perpendicularly to the property line and/or right-of-way line.
- (43) "Sidewalk sign" means a sign placed within the sidewalk and set out daily for the advertisement of products and services at an accompanying business.
- (44) "Sidewalk plaque" means a durable emblem, graphic, or lettering embedded into the sidewalk or a business entry outside of the public right-of-way.
- (45) "Sign" means any name, number, symbol, identification, description, display, illustration, object, graphic, sign structure, or part thereof, whether permanent or temporary, which is affixed to, painted on, represented directly or indirectly upon, or projected onto a building, structure, lot, or other device, whether mobile or affixed to the ground, and which directs attention to any object, product, place, activity, person, institution, organization, or business. This definition includes all signs visible from the right-of-way or adjacent property, including interior signs oriented towards the exterior facade of any building or structure. Signs erected by the local, state or federal government for the purposes of discharging any normal governmental function, such as traffic control or safety, are excluded from the regulations of this chapter.
- (46) "Sign board" means the area of a sign to which the lettering and graphics are applied.

- (47) "Sign relief means a measured dimension created by the materials used for a sign or the thickness of lettering applied to a building face or sign board.
- (48) "Single-post sign" means a sign which hangs from an armature that is attached to the ground and erected by one post.
- (49) "Streamer" means any lightweight plastic, fabric or other material, whether or not containing a message of any kind, suspended from a rope, wire, string or cord, usually in a series, designed to move in the wind. A streamer may have pennants and/or banners attached.
- (50) "Street frontage" means the total length or width of the side and or front of a building, or storefront that faces a principal improved public right-of-way, excluding any extension of a building wall beyond the building itself.
- (51) "Temporary sign" means a sign of a type described in Section 1169.10 intended to be used, or in fact used, for a time period not to exceed thirty (30) days in any calendar year unless otherwise specifically permitted in Section 1169.10.
- (52) "Trailer sign" means a sign that is attached to, supported by, or part of a structure which is designed to move on trailer wheels, skids, or other similar devices, or transported, pushed, or pulled by a motor vehicle.
- (53) "Wall plaque" means a small sign attached to the face of the building and typically is made of very durable materials (etched stone, cast metal) and is integrated with the architectural detailing of the building.
- (54) "Wall sign" means a sign attached to a building face, with the exposed face thereof in a plane parallel to the plane of the wall. Wall signs include painted murals, messages, graphics and other designs painted along with any letters or numerals mounted directly on buildings and any extensions thereon.
- (55) "Window sign" means a sign, graphic, poster, symbol or other identification that is physically affixed to or painted on the glass or other structural component of the window.

(Ord. O-38-2010. Passed 12-7-10.)

#### 1169.03 SIGN APPROVAL PROCEDURES.

- (a) The following sign approval criteria shall be observed:
  - (1) All signs contained in Section 1169.11 (Special Signs), Section 1169.12 (Permanent Signs), and Section 1169.18 (By-Right Signs) require a sign permit issued by the Zoning Officer.
  - (2) Existing, conforming signs requiring a sign face change shall require a sign permit issued by the Zoning Officer.
  - (3) All new permanent signs within the Village Center Area require a certificate of appropriateness according to Section 1157.06 prior to the issuance of a sign permit.
  - (4) All signs contained in Section 1169.10 (Temporary Signs) require a temporary sign permit issued by the zoning officer.
- (b) <u>Application and Permit Procedure</u>. Application for a sign permit shall be made by the owner of the property upon which the sign is proposed, or his agent, on forms provided by the Community Development Department. The Department shall regulate and enforce the requirements of this chapter, and approve or disapprove all requests for sign permits. An application for a sign permit shall include the following information:

- (1) Name, address, and telephone number of the applicant and property owner if different from the applicant.
- (2) Scaled drawings, showing at a minimum:
  - A. The width of the building face or faces.
  - B. The design and layout of the proposed sign to scale, including the total area of the sign and the size, height, character, material specifications and color of letters, lines, and symbols.
  - C. Details of illumination, if applicable.
  - D. A scaled site plan of the proposed ground sign location showing the distance from the public right-of-way and relationship to access drives, parking areas and buildings or a face elevation of proposed signs on buildings showing the height and proportions of the signs.
  - E. The landscape plan for ground signs, if required.
- (3) Details and specifications for the construction and attachment of the sign.
- (4) Name, address and telephone number of the sign contractor or company.
- (5) Other information as may be required by the Community Development Department to ensure compliance with the provisions of this chapter.
- (6) Any required application fee.
- (c) <u>Variances and waivers</u>. Requests for deviations to the requirements of this chapter for properties located within the Village Center, as defined in the Village Center Strategic Plan, shall be considered to be waivers and shall be heard by the Architectural Review Board as set forth in Chapter 1113 of these Codified Ordinances. Requests for variances to the requirements of this chapter for properties located outside of the Village Center shall be heard by the Board of Zoning Appeals as set forth in Chapter 1113 of these Codified Ordinances.

(Ord. O-38-2010. Passed 12-7-10; Ord. O-8-2011. Passed 5-17-11.)

#### 1169.04 PROHIBITED SIGNS.

The following signs or similar devices are prohibited: trailer signs, search lights, laser lights, pennants, streamers, spinners, balloons, bench signs, portable signs (except for sidewalk signs), roof signs, billboards, changeable copy (except for gasoline station price signs), flashing signs, projected images and animated signs, signs with moving or moveable parts, electronic signs (except for drive-through menu board signs), and any look-alike version of any of these prohibited sign types. Signs on vending machines, trash bins, or other devices serving any premises, shall be fully screened from view of any public right-of-way and adjoining property. Homemade lettered signs shall also be prohibited with the exception of sidewalk signs as long as they meet the requirements of Section 1169.10(i).

(Ord. O-38-2010. Passed 12-7-10.)

#### 1169.05 PROHIBITED SIGN LOCATIONS.

Signs may not be installed in any of the following locations:

- (a) In any public easement, right-of-way, or no build zone, except publicly owned signs, such as traffic control signs and directional signs.
- (b) In any public park or other public property, without written authority of the owner of that property;

- (c) On any traffic control signs, construction signs, fences (without written permission from owner), utility poles, street signs, trees or other natural objects;
- (d) No sign shall be located so as to interfere with the safe movement of vehicles or pedestrians entering, leaving, or crossing a public right-of-way or private street;
- (e) On any property without the prior authorization of the owner of the property on which any sign is to be placed.

(Ord. O-38-2010. Passed 12-7-10.)

### 1169.06 MAINTENANCE.

- (a) All signs and components thereof shall be subject to the following conditions:
  - (1) The property owner shall be solely responsible for maintaining the appearance, safety and structural integrity of the sign at all times;
  - (2) Whenever a Community Development Department inspecting official finds a sign in need of repair, support, replacement, cleaning, repainting, or that other action is necessary to maintain reasonable and proper appearance or public safety, he or she shall issue an order to the owner allowing thirty (30) days to effect needed repairs, maintenance or action. If the inspecting official determines that the existing condition of the sign creates an immediate hazard to the health or safety of the general public, he or she shall issue an order to the owner requiring that the sign be removed immediately.
- (b) Failure of an owner to comply with the provisions listed above shall be cause for the inspecting official to order the permit issued for the sign void and issue an order for the sign to be removed. If the sign is not removed by the deadline established by the inspecting official, that official may cause the sign to be removed and the cost assessed to the property owner. If the property owner refuses to pay for removal of the sign, the cost of such removal shall be assessed to the property owner's real property tax assessment.

(Ord. O-38-2010. Passed 12-7-10.)

#### 1169.07 NONCONFORMING SIGNS.

- (a) <u>Abandonment</u>. Use of an existing sign shall terminate and a sign will be considered abandoned when any of the following conditions exist:
  - (1) When the sign is associated with an abandoned use;
  - (2) When the sign remains after a business has ceased operations. A business has ceased operations if it is closed to the public for at least thirty (30) consecutive days, or the business has vacated site, whichever comes first;
  - (3) When the sign is not maintained or does not conform to the following:
    - A. All signs, together with all supports, braces, guys and anchors shall be kept in a proper state of repair;
    - B. Every sign and the immediately surrounding premises shall be maintained by the owner, or his agent, in a clean, sanitary and inoffensive condition, free from all obnoxious substances, rubbish and weeds.

Abandoned signs shall be removed by the property owner.

Upon determination by a Community Development Department inspecting official that a sign has been abandoned, but not removed, the inspecting official shall issue an order for its removal by the property owner within fifteen (15) days. Any abandoned sign still standing after fifteen (15) days following an order for removal may be removed by the Village at the property owner's expense. If the property owner refuses to reimburse the Village for removal of the sign, the cost of such removal, as determined by the Village Administrator, will be added to the owner's real property tax assessment.

- (b) Relocation or Replacement. A nonconforming sign shall not be structurally relocated or replaced unless it is brought into compliance with the provisions of this section. Should any replacement or relocation occur without being brought into compliance, the sign shall be existing illegally, and subject to the penalties as specified in Section 1169.99.
- (c) <u>Maintenance</u>. A nonconforming sign shall be maintained or repaired in accordance with the following provisions:
  - (1) The size and structural shape of the sign shall not be changed or altered. The copy may be changed provided the size and structural shape of the sign face is not altered.
  - (2) In case damage occurs to the sign to the extent that more than fifty percent (50%) of the replacement value is lost, the sign shall be removed within sixty (60) days. Any replacement sign must meet the requirements of this chapter.

(Ord. O-38-2010. Passed 12-7-10.)

### 1169.08 SIGN AREA AND OTHER MEASUREMENT CALCULATIONS.

For the purposes of this chapter, the measurement of sign area and other supporting measurements shall comply with the following standards:

- (a) Sign area shall include the face of all the display areas of the sign not including bracing, framing and structural supports of the sign, unless such support members are made part of the message or face of the sign or are determined by the Village Administrator's designee to be intended solely to make the sign more visible rather than serving any aesthetic or structural purpose.
- (b) For a sign that has two (2) display faces and is perpendicular to a public easement, right-of-way or lot line, the total area of the sign shall be determined by the total area of both sign faces unless otherwise specified. For spherical signs, the sphere shall be bisected by an imaginary line through the center of the sphere, and the surface area of the two (2) half spheres shall be counted as the sign face.
- (c) The area of the letters, numbers or emblems mounted on a building wall or wall extension shall be computed by enclosing such letters, numbers or emblems with an imaginary rectangle around the letters, numbers or emblems, and determining the area.
- (d) Measurement of Building Frontage. The frontage of a building shall be the width of the facade of the building, excluding any overhang or non-enclosed cover, that faces the principal street or contains the primary entrance, if a building is divided into units, the building unit frontage shall be the width of that unit, as measured from the party wall centerlines, on the frontage of the building.
- (e) Measurement of Lot Frontage. The frontage of a lot shall be the number of linear feet the lot abuts on the principal street. For structures and uses having no direct frontage on public roads, as within shopping centers, frontage shall be counted as the intersection of the building line onto adjacent drives or parking areas.
- (f) <u>Measurement of Ground Sign</u>. The height of ground signs shall be measured from the base of the sign at its point of attachment to the ground to its topmost element. However, if the support of a ground sign is

- attached to a wall or other man-made base, including a graded earth mound, the sign height shall be measured from the natural grade of the nearest street, drive or parking area.
- (g) <u>Measurement of Sign Location</u>. In determining the location of signs in relation to lot lines, distances shall be measured from the vertical projection of the lot line to the closest point on the sign.

(Ord. O-38-2010. Passed 12-7-10.)

#### 1169.09 CUSTOMARY SIGNS.

The following special signs do not require a sign permit but are subject to the following standards:

(a) <u>Flags</u>. The flag or insignia of any nation, state, city or other political subdivision. Poles for such flags must be no more than thirty-five (35) feet in height as measured from established grade line to the top of the pole. The maximum size of such flags must be determined according to the following table:

POLE HEIGHT	MAXIMUM FLAG SIZE
35'	5' by 9'6"
30'	5' by 8'
25'	4' by 6'
20'	3' by 5'

- (b) <u>Corporate Flags</u>. Corporate Flags are exempt from this sign code subject to the following conditions:
  - (1) No more than one corporate flag may be flown per parcel of land;
  - (2) A corporate flag shall not be larger than three (3) feet in height and five (5) feet in length;
  - (3) The maximum height for a corporate flag on a separate pole shall be twenty (20) feet as measured from established grade line to top of the pole;
  - (4) Corporate flags may display only the name, corporation emblem and/or logo of a given corporation. Slogans and tag lines are not permitted.
- (c) <u>Standard Street Address Markers</u>. New and existing buildings shall have approved numbers, buildings numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of high with a minimum stroke width of one-half (0.5) inch. Addresses which exceed twenty-four (24) inches in height or four (4) square feet in area shall be considered address signs and shall require a sign permit.
- (d) <u>Government Signs</u>. Signs required or authorized for a public purpose by any law, statute or ordinance, including traffic control devices, provided that such signs contain no supplementary advertising.
- (e) <u>Public Information Signs</u>. Public information signs approved and installed by the Village, including "block watch", way-finding, public events and attractions, and other such signs.
- (f) <u>Historical Markers</u>. Signs which describe locations of historical importance and are administered by the Ohio Historical Markers Program.
- (g) Political Signs. Political signs may be erected and displayed with no limitation on time or duration subject to the following limitations: Such signs shall not exceed three (3) square feet in area and shall not exceed four (4) feet in height above the ground level. All political signs are an important and distinct medium of expression and are being regulated, not based on their content, but to the extent they become deteriorated and/or a safety issue. A political sign shall be removed when it becomes deteriorated, as defined in Section

- 1169.02, or when it is displayed in a non-compliant position. Such signs shall not be illuminated and shall not be located on any public property, street or right-of-way, nor shall such signs be attached to any utility pole, fence, traffic sign or other structure located upon public property, street or right-of-way.
- (h) Residential For Sale/For Lease Signs. Signs that indicate the sale or rental of a particular structure or land area, are limited in size to sixteen (16) square feet total and a maximum of eight (8) square feet per side, with one sign allowed per street front. Signs shall not exceed six (6) feet in height in all residential areas. Such sign may only be located on the property offered for sale or lease. Such signs shall not be located in a public right-of-way and shall not be illuminated. Such sign shall be removed not later than ten (10) days after the closing of the sale of the property or entering of a lease agreement.
- (i) <u>Garage/Yard Sale Signs</u>. A sign which advertises the sale of personal property such as a garage, yard, or moving sate sign provided that it is limited to one sign, not greater than four (4) square feet in size and is located only on the sale premises. Such sign shall be erected for a period not greater than three (3) consecutive days. Such signs shall not be located in public right-of-way. No property shall display a garage, yard, or moving sale sign for more than fifteen (15) days per year.
- (j) <u>Business Open/Close Signs</u>. A sign which indicates that a business is open is permitted for each business. The following criteria shall be met:
  - (1) Shall be no more than four (4) square feet in area;
  - (2) Shall only be placed within ground floor windows;
  - (3) Shall not be associated with any business names or logos;
  - (4) Shall only illuminate "open";
  - (5) If exposed lighting is used as an illumination method, the approval of the Architectural Review Board is required. The use of exposed lighting shall be appropriate to the design of the sign and location of the building.
- (k) <u>Business Hours</u>. Each business with operating hours shall be permitted to post them as necessary. Signs shall be limited to one and one-half square feet in area, not be associated with any business names or logos, and not be illuminated.

(Ord. O-38-2010. Passed 12-7-10.)

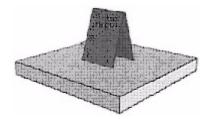
### 1169.10 TEMPORARY SIGNS.

Temporary signs shall require a temporary sign permit subject to the following standards:

- (a) <u>Business Event Signs</u>. A sign advertising a business event may not exceed a maximum of sixteen (16) square feet in area unless it is a sign covering all portions of an existing permitted sign. The sign must be located on the premises of the business event. No business shall display such sign for more than thirty (30) days and only three (3) business event signs are permitted per site per year. The date that the sign is first displayed shall be legibly marked on the sign.
- (b) <u>Temporary Window Signs</u>. Signs placed in first floor and storefront windows so as to be visible from the right-of-way, will be considered temporary. Temporary window signs are limited to a maximum of one per window, up to three (3) windows, not to exceed fifteen percent (15%) of the area of the windows in which they are placed. Typical uses for temporary window signs would be to promote limited-time events or retail sales. No business shall display such sign for more than forty-five (45) days.
- (c) <u>Commercial Construction Signs</u>.

- (1) Construction signs may be placed no sooner than sixty (60) days prior to construction and shall be removed within fourteen (14) days after construction is complete. One sign may be displayed for each frontage. Such sign(s) may identify the owner's name, the architect, the contractors, the financing arrangements, and the purpose for which the project is intended. No products or services may be advertised on construction signs.
- (2) Each sign shall be located only on the parcel of land being improved. No sign shall exceed thirty (30) square feet in total area and shall not extend more than seven (7) feet above the grade of the lot on which it is located. The sign shall not be located nearer the right-of-way line than five (5) feet, and on corner lots shall not be nearer the right-of-way line of either street than thirty (30) feet.
- (d) <u>Subdivision Construction Signs</u>. Signs advertising the sale of lots in an undeveloped subdivision may be erected and displayed in the subdivision. A permitted sign package for temporary subdivision construction signs may include a primary signs and additional story-board signs. All signs shall be removed at the expiration of three (3) years after its erection or when sixty percent (60%) of the lots fronting on the street which the sign faces have been built on and occupied as residences, whichever occurs first.
  - (1) One primary sign shall be permitted for each new subdivision street that intersects with the previously existing roadway grid. No sign shall be located within the intersection clearance zone. No sign shall be more than six (6) feet in height above the established grade of the abutting street. The sign shall not exceed thirty-six (36) square feet in area or display surface.
  - (2) Storyboard signs shall be permitted to display subdivision amenities. Graphics are not permitted on these signs. No sign shall be more than four (4) feet in height and exceed twelve (12) square feet in area or display surface. One sign is permitted for each seventy-five (75) feet of street frontage with a maximum number of three (3).
- (e) Residential Subdivision Model Home Signs. Signs advertising the model home of a builder in an undeveloped subdivision may be displayed provided that only one sign may be located on the property of a model home. No sign shall be located nearer than ten (10) feet (three (3) feet in the Village Center District) to any street right-of-way line. No sign shall exceed two (2) feet by three (3) feet in dimension or six square feet in area. No sign shall extend more than four (4) feet above the grade of the lot on which it is located. Such sign shall not be illuminated.
- (f) Community Event and Program Signs. Community events and programs which last for a time period of thirty (30) days or less and which are sponsored by nonprofit, public, educational, religious and charitable organizations may display up to four (4) signs, not to exceed a total area of twenty (20) square feet, for a period of thirty (30) days immediately preceding the commencement of the event. One sign may be located at the site of the event provided it does not exceed twenty (20) square feet in size. All off-site signs shall be placed at different sites and shall be removed not later than forty-eight (48) hours after the scheduled activity. Additional community event signage may be approved by the City as part of a special event permit.
- (g) Theater, Stadium, Sports Arena, Auditorium and Assembly Hall Banners. Theaters, stadiums, sports arenas, auditoriums and assembly halls may display building mounted banners to promote events and programs. Banners may not be used as an advertising medium for specific commercial products. Such banners must be artistic in nature and must be sized and designed appropriately for the building facade on which they are located.
- (h) <u>Freeway Oriented Business Park Signs</u>. Freeway Oriented Business Park signs are limited to a maximum of four (4) along the State Route 161 freeway frontage and subject to the following standards:
  - (1) The area of each sign shall not exceed two hundred twenty-five (225) square feet and is limited to a height of fifteen (15) feet.
  - (2) Such sign shall be incorporated into the design of the horse fence if one exists, and shall be located behind the right-of-way.

- (3) Illumination of the sign is prohibited.
- (4) The sign may not advertise the sale/lease of specific parcels.
- (5) Development opportunity signs may be displayed for a period of two (2) years in a single location and business welcome signs may be displayed for a period of sixty (60) days.
- (i) Commercial and Industrial For Sale/For Lease Signs. Signs indicating the sale, rental, or lease of commercial or industrial real estate is permitted and limited to sixteen (16) square feet in area and five (5) feet in height for lots with less than one hundred (100) feet of street frontage. For lots with street frontage of one hundred (100) feet or more a sign of thirty-six (36) square feet in area and eight (8) feet in height is permitted. For lots with greater than two hundred (200) feet with freeway frontage, an additional sign on the freeway frontage, limited to one hundred twenty (120) square feet and ten (10) feet in height, is permitted. Free-standing signs must be located so that they do not interfere with the safe movement of vehicular and pedestrian traffic and must be removed within ten (10) days after the sale, rental, or lease has occurred. Individual tenant spaces within a parcel are allowed a window or wall sign no larger than sixteen (16) square feet in area. Such sign may only be located on the property offered for sale or lease.
- (j) Residential For Sale/For Lease Signs. Signs that indicate the sale of a land area, in excess of five (5) acres for residential development or redevelopment are limited to sixteen (16) square feet in area and five (5) feet in height for lots with less than one hundred (100) feet of street frontage. For lots with street frontage of one hundred (100) feet or more a sign of thirty-six (36) square feet in area and eight (8) feet in height is permitted. Free-standing signs must be located so that they do not interfere with the safe movement of vehicular and pedestrian traffic and must be removed within ten (10) days after the sale has occurred. Such sign may only be located on the property offered for sale or lease.
- (k) <u>Sidewalk</u>. Sidewalks signs shall be designed according to the following diagram and standards:



- (1) Must be a durable weatherproof material such as painted wood, metal or plastic.
- (2) A-frame or hanging signs allowed, spinning or spring-mounted signs are prohibited.
- (3) May be located within the right-of-way with approval of the Community Development Department but must not obstruct pedestrian movement along public or private walkways.
- (4) Must be removed after business hours.
- (5) Content may change only on chalkboard, whiteboard, or applied vinyl lettering signs.
- (6) The following specifications shall apply:

SUB-	NUMBER OF	PERMITTED	MEASUREMENTS	ILLUMINATION
DISTRICT/	SIGNS	AREA		
CATEGORY				
Historic Core	One per business	8 s.f. maximum per side	Located within 10' of an entrance	Not permitted
Village Core	One per business	8 s.f. maximum per side	Located within 10' of an entrance	Not permitted
Core Residential	Not Permitted			

Village Residential	Not Permitted			
Campus	One per building	8 s.f. maximum	Located within 10'	Not permitted
		per side	of an entrance	
Parks & Preservation	One per building	8 s.f. maximum	Located within 10'	Not permitted
		per side	of an entrance	
Commercial/Warehousing	One per business	8 s.f. maximum	Located within 10'	Not permitted
		per side	of an entrance	
Residential Subdivision	Not Permitted			
Retail	One per business	8 s.f. maximum	Located within 10'	Not permitted
		per side	of an entrance	
Institutional	One per building	8 s.f. maximum	Located within 10'	Not permitted
		per side	of an entrance	

(Ord. O-38-2010. Passed 12-7-10; Ord. O-8-2011. Passed 5-17-11.)

#### 1169.11 SPECIAL SIGNS.

Signs limited to specific functions shall require a sign permit subject to the following standards:

- (a) <u>ATM Signs</u>. Signage for all ATMs (automated teller machines) shall be limited to one square foot of sign area and utilize no more than three (3) colors. ATM signage must have an opaque background. If the ATM contains a logo, it may be internally illuminated. In addition, monochromatic, non-illuminated logos of accepted credit systems (VISA, MasterCard, etc.) are limited to less than one square foot in area.
- (b) Automotive Fuel Station Signs. Automotive fuel stations are permitted two (2) name/logo combinations for each stand-alone pumping station. The area of the name and logo shall not exceed one and one half (1.5) square feet in area. Automotive fuel stations may display the following additional signs without the information contained thereon being treated as items of information: signs showing an affiliation with a motor club or signs indicating the acceptance of designated credit cards. The name/logo or additional information may not be illuminated. Matter appearing on gasoline pumps as purchased or installed shall not be considered a sign for the purposes of this Chapter.
- (c) <u>Drive-through, menu board signs</u>. A drive-through menu board sign is permitted only when all of the following conditions are fulfilled:
  - (1) The sign is located on the property to which it refers;
  - (2) The sign is not visible from the public right-of-way;
  - (3) The sign is single-face only and does not exceed thirty-two (32) square feet in size;
  - (4) The sign is not placed in front of the building setback line.
  - (5) Electronic drive-through, menu board signs are permitted and shall comply with the following requirements, in addition to the requirements listed above:
    - (a) The signs must be static and are not permitted to display any flashing, moving or animated graphics;
    - (b) An automatic dimmer, controlling the sign brightness, must be installed to ensure that the sign is not overly bright throughout the day;
    - (c) The sign must be turned off when the business is closed.

(d) <u>Home Occupation Signs</u>. Home occupation signs as regulated by Section 1165.09(d) shall be limited to one non-illuminated sign, not more than two (2) square feet, attached flat against the structure. Such sign shall contain no more than two (2) colors.

(Ord. O-38-2010. Passed 12-7-10.)

#### 1169.12 PERMANENT SIGNS: GENERAL REQUIREMENTS

All permitted permanent signs shall be subject to the following requirements where applicable:

- (a) Context and Compatibility.
  - (1) Signs are consistent with the design/style of the building on which they are located. Signs integrate with the building/site on which they are located and adjacent development in scale, design, and intensity. For example, large signs are best suited for buildings with larger massing.
  - (2) Signs do not adversely impact existing and adjacent residential uses in mixed-use settings.
  - (3) Signs do not create an appearance of competition between adjacent signs. For example, all signs on a single building have similar scale, placement and proportion as to create harmony among all sign designs.
  - (4) Joint identification signs on a single sign face contain consistent or complementary fonts and colors for all tenants.
  - (5) Signs are appropriate to their settings. For example, a monument sign is not particularly suitable for a pedestrian-oriented retail environment.
- (b) Execution.
  - (1) Signs do not block portions of architectural detailing, windows, entries, or doorways.
  - (2) Sign materials are complementary to the building materials and are high quality and durable.
  - (3) Signs are well designed using unique materials and combinations, lighting concepts, and progressive forms.
  - (4) Multiple sign types should avoid repeated functionality. For example, a blade sign and a projecting sign that are both perpendicular to a building face have very similar visibility perspectives.
- (c) <u>Illumination</u>. Appropriate illumination methods shall be permitted within each sign type as indicated in Section 1169.16 through Section 1169.18 for permanent signs. The following illumination method standards shall apply:
  - (1) External. All external lighting sources shall be shielded. For energy conservation, all external light sources shall be LED, fluorescent, compact fluorescent lamps, gas-discharge lamps, or any other lighting technology that delivers fifty (50) or more lumens per watt. Light sources shall use a warm color temperate range of less than five thousand (5,000) Kelvin. Incandescent light sources are prohibited. Ground mounted fixtures shall not exceed a total height of one foot, including base. No mounting base shall exceed a height of four (4) inches from the ground level. All permanent ground-mounted fixtures for external illumination shall be fully landscaped and screened with living plant material to hide any visible fixtures. All shrubs, trees, turf, groundcovers, and other planting shall be well maintained, properly installed, weeded, mulched as needed and kept free of trash and other unsightly material and/or debris.
  - (2) <u>Internal</u>. All internal lighting sources shall be shielded behind semi-opaque acrylic lettering or graphics. Only individual lettering or graphics may be illuminated for signs greater than eight (8) square feet. For

- energy conservation, all internal light sources shall be fluorescent, compact fluorescent lamps, or other lighting technology that is equal or greater to in energy efficiency.
- (3) Exposed. Signs are prohibited from utilizing exposed neon, exposed LED or equivalent exposed light sources without express approval granted by the Architectural Review Board. The Architectural Review Board may only grant approval of signs utilizing exposed neon, exposed LED or equivalent light sources if the use of exposed lighting is appropriate to and consistent with the design and style of the building, the sign, the location of the building and the concerns expressed by the adjacent property owners. If approved, the light source may utilize a range of colors but must meet requirements of Section 1169.12(f) for maximum permitted number of colors. Other exposed light sources and signs with moving or changing words, shall be prohibited.
- (4) <u>Halo</u>. Light sources concealed behind lettering or graphics may utilize white or soft white light sources. The face of characters or graphics utilizing halo lighting shall not be illuminated. For energy conservation, all light sources shall be fluorescent, compact fluorescent lamps, or other lighting technology that is equal or greater to in energy efficiency.
- (d) <u>Joint identification signs</u>. Joint identification signs shall be limited to premises where there are two (2) or more business uses on one property. Any joint identification sign shall not exceed the maximum sign area and measurements for sign types identifying individual occupants.
- (e) <u>Continuity</u>. Signs and their location should be considered in relationship to their surrounding environment and, if seen as a single package of signs, should have a continuity of design. Sign continuity should be achieved for buildings or storefronts with matching architectural composition and detailing. The sign shall be in harmony with the buildings on the site and shall not detract from the appearance of the general neighborhood in which it is located.
- (f) <u>Color</u>. Signs with color shall be limited to four (4) colors. For the purposes of this section, black and white shall be considered colors.
  - (1) <u>Color gradation</u>. Gradation from different shades of one color is considered to be one color. Color gradation to a different color is considered to be two (2) colors.
  - (2) <u>Joint identification signs</u>. Joint identification signs consisting of multiple sign boards connected by chains or similar materials leaving visible space between sign boards shall be limited to four (4) colors per sign board.
- (g) <u>Materials</u>. Sign materials shall be of good quality, good durability and complementary to the building of which they become part. The following materials design criteria shall apply, unless otherwise noted.
  - (1) Nylon or other flexible synthetic materials are limited to only temporary banner signs.
  - (2) Any combination of these materials may be used for any permanent sign: wood, stone, brick, glass, metal, acrylic, PVC, medium/high density overlay board, Alumalite™, DiBond™, LusterBoard™ or other similar products.
  - (3) Canvas or other colorfast fabric materials for permanent signs shall only be utilized for canvas blade or awning signs.
  - (4) Signs shall not be manufactured of synthetic foams (exposed or encased).

(Ord. O-38-2010. Passed 12-7-10.)

#### 1169.13 PERMANENT SIGNS: STANDARDS DEFINED.

The following shall be observed to define the number of permitted signs:

- (a) <u>Signs within the Village Center</u>. The number and types of permitted signs shall be regulated by the location of the signage within the Village Center District. Sub-districts are established and depicted in the Village Center Sign Code map, as adopted by reference, which has the following area designations:
  - (1) Historic Center.
  - (2) Village Core.
  - (3) Core Residential.
  - (4) Village Residential.
  - (5) Campus.
  - (6) Parks and Preservation

The Village Center Sign Code reference map shall be updated as necessary to reflect rezonings within the Village Center area.

- (b) <u>Signs outside the Village Center Area</u>. The number of permitted signs shall coincide with a land use category for which a permit is being applied. The land use categories are follows:
  - (1) Commercial and warehousing.
  - (2) Residential Subdivision.
  - (3) Retail.
  - (4) Institutional.
- (c) <u>Sign types</u>. The term "sign types" refers to a unique set of design standards and criteria for signage as listed in Sections 1169.16 through 1169.18. Each Village Center sub-district or use category outside of the Village Center is permitted a defined number of sign types. The number of permitted sign types may not necessarily correlate to a maximum number of individual signs, For example, the "window" sign type allows for the location of multiple signs in a business' storefront. The application of window signs constitutes as one permitted sign type. Not all sign types are permitted in designated sub-districts or use categories and is noted with each sign type.

(Ord. O-38-2010. Passed 12-7-10; Ord. O-08-2011. Passed 5-17-11.)



To: Planning Commission

From: Community Development Department

Re: Engage New Albany Strategic Plan: Central College Redevelopment Framework Plan

Date: July 10, 2023

The attached Central College Redevelopment Framework Plan provides recommendations and a framework for the former Discover Financial Services site to guide future redevelopment proposals. During the July 17<sup>th</sup> Planning Commission meeting, city staff will present this plan to the board. Staff asks the Planning Commission to make a formal recommendation to City Council to adopt this planning document. Please feel free to contact city staff if you have any questions.

Since the adoption of the Engage New Albany Strategic Plan in March of 2021, Discover Financial Services ceased call center and business office operations in the city. The city of New Albany has a history of being nimble by creating or updating plans to reflect present realities and market trends.

This plan incorporates a detailed understanding of the relationship of the former Discover site with the surrounding area, including proposed developments to the south and east of the site. These proposed developments have an impact on the recommendations put forth in this plan. Given the new understanding of the site and its context, this plan serves as a supplement to the Northwest Focus Area plan, which begins on p. 188 of the Engage New Albany Strategic Plan. The planning team for this project included city staff as well as the city landscape and urban design consultants, MKSK.

Based on a review of relevant literature and several case studies of similar developments in other communities, the planning team developed a list of goals for the redevelopment of the Discover site which is included on the right side of this page.

# Goals for the Redevelopment of the Site:

- Reuse existing infrastructure;
- Reuse existing surface parking;
- Integrate existing stormwater retention ponds;
- Reinforce the intersection at Central College Road and SR 605/New Albany-Condit Road as a community node and gateway;
- Reimagine the site within the context of the Business Park to provide a vibrant, walkable, mixed-use, and amenitized environment to attract modern talent and companies to New Albany; and
- Integrate the site with the changing surrounding context.

Using these goals, several redevelopment scenarios were created and included in the plan. These scenarios imagine redevelopment of the site, including or excluding the existing office building. The purpose of this planning exercise is to determine potential land uses, building layouts, interior and exterior mobility connections, an open space network, and potential building re-use opportunities for the site. The scenarios provided in the plan do not represent a development proposal or final plan and are illustrative in nature.

The development scenarios informed the creation of the following development standards. These standards outline critical recommendations for redevelopment of the Discover site. These standards are intended to inform residents and landowners of the desired development pattern for the site.

# CENTRAL COLLEGE REDEVELOPMENT

# **Development Standards**

- a. Site redevelopment should be designed in a comprehensive manner and include an overall master plan for the site showing how it fits together with surrounding context appropriately in terms of mobility, site layout, uses, and aesthetics.
- b. If the existing office building remains, it should be mindfully incorporated with other infill development to create a cohesive, pedestrian-friendly site layout.
- c. Any redevelopment of the site beyond the existing use should go through the Planned Unit Development rezoning process.
- d. Only existing curb cut locations from Central College Road, New-Albany Condit Road, and New Albany Road East should be utilized, no new curb cut locations should be permitted.
- Existing internal drives should be utilized. If they are redesigned or realigned, private
   e. streets within the site should be designed to public street standards. On-street parking is recommended for internal streets.
- f. The placement of buildings should encourage pedestrian activity and building entrances should connect with the pedestrian network and promote connectivity through the site.
- g. Buildings may not be taller than 40 feet, including the roof-line.
  - Any commercial mixed-use or retail building on-site should include an active first floor,
- h. occupied by restaurants, shops, service businesses, and other similar uses that promote activity throughout the day.
- i. The use of materials, colors, and texture to break up large-scale facades is strongly encouraged.
- Redevelopment of the site is expected to propose an architectural style that is both distinctive and complementary to New Albany's character and brand.
- Parking must be integrated throughout the site through on-street parking, parking structure, k. surface parking located behind primary buildings, and limited surface parking located beside primary buildings. Surface parking lots must be properly screened from the street.
  - Anyone seeking to redevelop the site with new or additional uses and structures other than what currently exist must submit a parking model to demonstrate sufficient parking is provided for
- the mix of uses. Shared parking among complementary uses is strongly encouraged and the
  installation of excessive parking is discouraged. If the tenants significantly change or if the use
  mix changes, the developer must resubmit the parking model to city zoning staff for review.

# ENGAGE NEW ALBANY

You're part of the plan

# **CENTRAL COLLEGE**

Redevelopment Framework Plan July 2023



# **CONTENTS**

INTRODUCTION	3
Purpose	3
Process	3
EXISTING CONDITIONS	4
Mobility Zone	6
REDEVELOPMENT FRAMEWORK	8
Recommended Land Uses	8
Recommended Roadway Character Classification	9
Redevelopment Scenarios	12
Development Standards	20

# INTRODUCTION

#### **PURPOSE**

The city of New Albany has a history of being nimble and creating or updating plans to reflect present realities and trends. The city embarked on crafting this plan to provide recommendations and a framework for the potential redevelopment of the former Discover Financial Services site in northwest New Albany.

Additionally, this plan incorporates a more detailed understanding of the relationship of the former Discover site with the surrounding area, including proposed developments to the south and east of the site. One of these proposed developments is the New Albany Hamlet, which is proposed in the current version of the city's Strategic Plan, Engage New Albany. These proposed developments have an impact on the recommendations put forth in this plan. Given the new understanding of the site and its context, this plan also serves as a supplement to the Northwest Focus Area plan, which begins on p. 188 of Engage New Albany.

The following are several goals that this plan seeks to achieve through any proposed redevelopment of the former Discover site.

# **Goals for the Redevelopment of the Site:**

- Reuse existing infrastructure;
- Reuse existing surface parking;
- Integrate existing stormwater retention ponds;
- Reinforce the intersection at Central College Road and SR 605/New Albany-Condit Road as a community node and gateway;
- Reimagine the site within the context of the Business Park to provide a vibrant, walkable, mixed-use, and amenitized environment to attract modern talent and companies to New Albany; and
- Integrate the site with the changing surrounding context.

## **PROCESS**

The planning team for this work included staff from the city of New Albany as well as a team from MKSK. Beginning in January 2023, the planning team collaborated to plan for potential development scenarios for the former Discover site. These scenarios imagined redevelopment of the site, including or excluding the existing office building. The purpose of this planning exercise was to determine potential land uses, building layouts, interior and exterior mobility connections, an open space network, and potential building re-use opportunities for the site. These scenarios do not represent a development proposal or final plan and are illustrative in nature. These scenarios present two options for how the recommended development standards (see p. 20) could be applied to the site.

# **EXISTING CONDITIONS**

The former Discover site lies at the northwest corner of the intersection of SR 605/New Albany-Condit Road and Central College Road, as shown in the diagram on the following page. The site, which is roughly 49 acres, is the former site of a Discover Financial Services call center. The Engage New Albany Strategic Plan, revised and adopted in 2022, depicted the former Discover site as a future significant opportunity for a "vibrant, more pedestrian-oriented node at this intersection."

The site is bounded to the north by a private access roadway, to the east by SR 605/ New Albany-Condit Road, to the south by Central College Road, and to the west by New Albany Road East. North of the site sits an active data center. To the east, in the city of New Albany, single family residential is the predominant use. Two age-restricted communities, Nottingham Trace and The Courtyards at New Albany, have been developed off of SR 605/New Albany Condit Road in the nearby vicinity. South of the former Discover site is an area identified in Engage New Albany as a hamlet. A development plan for this area, called the Hamlet at Sugar Run, is currently underway after City Council approved a rezoning request for the site. To the west, which is located within the city of Columbus, single family and multifamily residential uses comprise much of the developed land with a small node of retail at the intersection of New Albany Road East and Central College Road. The rest remains undeveloped land.

On-site, the former Discover Financial Services building remains. Constructed in 1998, the two-story office building spans 333,169 square feet of space. The building is outfitted with a full-service cafeteria, fitness center, outdoor spaces, and data center. The building is located in the center of the

site, surrounded by four pods of surface parking lots, totaling 2,501 parking spaces. An interior access road connects these parking lots and creates access to the main, public roads surrounding the site.

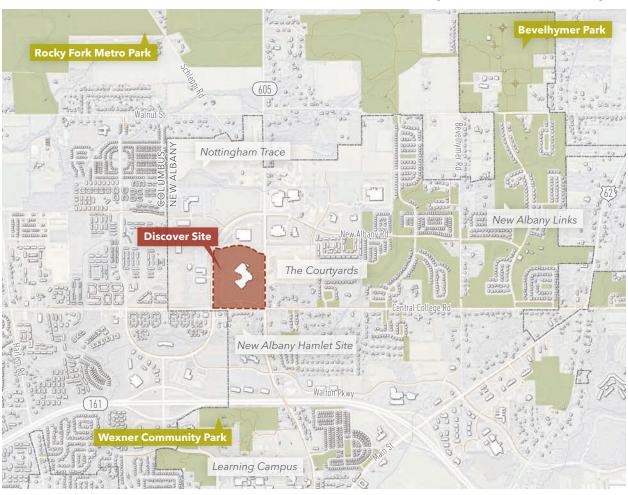
The diagrams on the following page illustrate the existing site conditions and context.







# Existing Conditions and Context Diagram





# **MOBILITY ZONE**

In Engage New Albany, this area is identified as a future mobility zone. A mobility zone is a concept identified in Engage New Albany to provide a planning tool for the city to prioritize alternative and new mobility options. A mobility zone is defined as an area in which active and alternative modes of transportation are prioritized for future transportation improvements. Through targeted improvements to these mobility zones, vehicular traffic and congestion may be reduced, contributing to safer roadway travel for all modes. A mobility zone should include the following components or characteristics:

- Highly served by transit
  - » SmartRide
  - » COTA Park and Ride
- Well connected by bike facilities
  - » Velo Loop
  - » Bike lanes
  - » Bike docks & fix-it stations
- Buildings and sites designed to accommodate mobility
  - » Transit-facing front doors
  - » Alternative fuel charging stations
  - » Alternate street typologies and reduced setbacks in mixed-use and hamlet areas may be appropriate based on the pattern of development
- Multiple roadway connections
- Mix of uses to serve commuters
- Increased density
- Facilities intended to slow vehicular traffic and ensure pedestrian accessibility







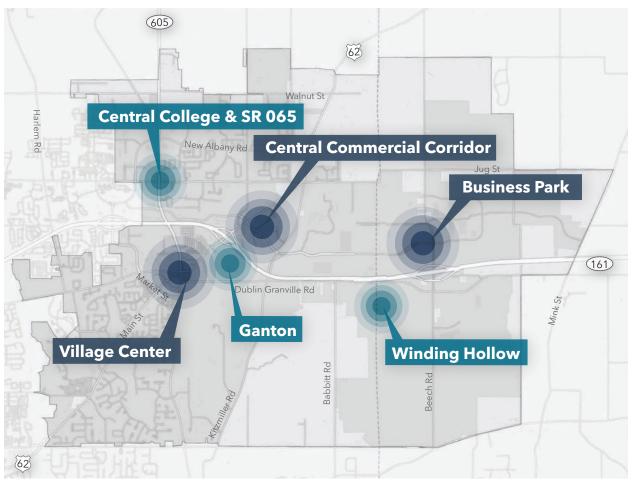








Engage New Albany Mobility Zone Locations



# Legend





Future Mobility Zone



# REDEVELOPMENT FRAMEWORK

The following pages outline a redevelopment framework for imagining and planning the future of the Discover site. This framework includes the land uses that are recommended for the site and the character of the public roadways surrounding the site. This section also includes two redevelopment scenario options that were developed to study site capacity and potential.

# **RECOMMENDED LAND USES**

The Discover site is located within the New Albany Road District of the International Business Park. This is one of the original sections of the Business Park that began to develop about 25 years ago. Now, this area contains a mix of uses, including some employment uses, single family residential, and scattered undeveloped sites. The manner in which the Discover site was developed in the early 2000s is no longer conducive to the needs of the modern workforce, whose members desire to work in vibrant, walkable, mixed-use, and highly amenitized environments that promote wellness and that allow them to easily meet their daily needs. The redevelopment of the Discover site is an opportunity to reimagine this area of the Business Park to provide that type of setting to attract modern talent and companies to New Albany.

Engage New Albany envisioned the intersection of Central College Road and SR 605/ New Albany-Condit Road as a mixed-use community node that would create a needed focal point in this part of New Albany to spatially organize the various neighborhoods and employment centers in this area. That vision is carried forward in this document and in the two development scenarios presented within.

In the future land use map, found in *Engage New Albany* (p. 52-53), the Discover site is identified as part of the Employment Center District. This site is also currently zoned Office Campus District (OCD). One option for the future of the site is for these regulations to remain in place and a new office user identified to occupy the site and existing building. Given the site's location, the proposed developments surrounding the site, and other adjacent land uses, a mix of employment-oriented land uses may be appropriate if the site were to be redeveloped. Potential land uses if the site is redeveloped include:

- **Commercial** corporate headquarters, data center, etc.
- **Retail** restaurants, service businesses, shops, fitness center, childcare, etc.
- Institutional government, medical, educational, workforce training facility
- Mixed-use Commercial buildings a mix of retail and commercial uses

Retail land uses that are strongly discouraged for this site include big box stores, standalone drive thru businesses, gas stations, auto body shops, and other auto-oriented retail. Drive thru uses should only be permitted if they're connected to a mixed-use commercial building. These types of retail businesses are discouraged in order to create a pedestrian-oriented environment.

# **CASE STUDIES**

The following case studies depict two examples of large-scale building reuse and redevelopment into highly amenitized places that meet the needs of the modern workforce.





# The Park | Berkeley Heights, NJ

What: The Park, a \$400 million, 185-acre mixed-use redevelopment of a former suburban office park

Where: Berkeley Heights, NJ

**Entities Involved:** Connell Company

- Former suburban office park being redeveloped for the 21st century workforce
- Scalable office floor plates across five office buildings, comprising 1.5 million square feet
- Indoor and outdoor recreation facilities, including 114,000 square foot fitness center and outdoor pool
- On-site primary care, behavior therapy, and physical therapy
- The Residences at The Park, 328 apartments
- Embassy Suites, 176-room hotel and 12,000 square feet of event and meeting space



# The Continuum | Lake City, SC

What: The Continuum Regional Education, Workforce Development, and Technical Training Center

Where: Lake City, South Carolina

**Entities Involved:** The Darla Moore Foundation, Florence-Darlington Technical College, Francis Marion University

#### **Details:**

- Former big box store converted into state-of-the-art educational facility
- 13 partner high schools
- 7 high-tech classrooms
- 3 computer labs
- 3 distance learning classrooms
- Biology and chemistry labs
- 4 workforce development classrooms/labs
- Health sciences space
- Lecture hall that can be converted into event space





# ROADWAY CHARACTER CLASSIFICATION

The diagram on the following page illustrates the character classifications for the roadways immediately adjacent to the Discover site. Roadway character classification is explained in greater detail in Engage New Albany, but is intended to define the ways in which existing and future roadway corridors can contribute to New Albany's aesthetics and help to further define the character of the community. This classification examines elements that are within the public right-of-way, such as on-street bike facilities; on-street parking; street edge conditions; and amenity zones, which are designated areas for streetscape elements, such as street lighting, furnishings, and street trees. Some elements of this classification system can extend beyond the right-of-way, like development setbacks, utilities, and access management.

The charts to the right show a description of the roadway characteristics for the roadways that bound the Discover site: Central College Road, New Albany Road East, and SR 605/New Albany-Condit Road. Based on the development patterns presented in this document, there is the potential for alternative roadway characteristics to be used for the sections of Central College Road and SR 605/New Albany-Condit Road that border the southeast portion of the site, as shown on the diagram on the following page.

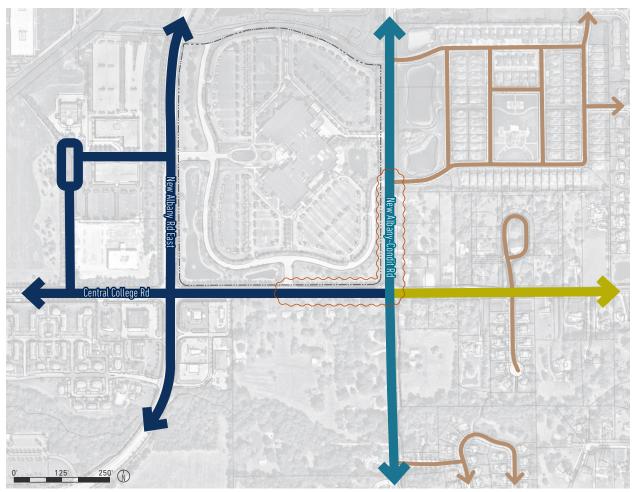
#### Business Park

New Albany's Business Park extends from west to east across the city, with more recent expansion south of SR 161 along the Beech Road corridor. With the anticipated continued growth of the Business Park and employment-based land uses, new roadways with this character classification will likely be built over the next several years. Business Park roadways typically have

Business Park Roadway Characteristics				
Street Pavement				
Drive Lane Width	11' (12' outside lanes)			
Turn Lane Width	11'-12'			
Total Number of Drive Lanes	2-4			
On-Street Bike Facility	Bike Lanes (5')			
On-Street Parking	No			
Access Management Priority	Medium			
Transit Accommodations	Yes			
Pavement Edge	Curb			
Total Pavement Width	35'-69'			
Streetscape/Amenities				
Trail/Sidewalk Width	8' trail min. on both sides of street*			
Trail/Sidewalk Material	Asphalt			
Amenity Zone	Tree lawn			
Amenity Zone Width	8'-15'			
Streetlights	Yes			
Underground Utility Priority	High			
Tree Spacing	30' on center			
Right-of-Way Fence	Yes			
Setbacks Beyond ROW	50' min.			
Setbacks beyond KOVV				

Duringer Dayle Transitions	l Danders Charateristics
Street Pavement	I Roadway Characteristics
Drive Lane Width	11' (12' outside lanes)
	11 (12 outside laries)
Turn Lane Width	
Total Number of Drive Lanes	2-4
On-Street Bike Facility	Shared road
On-Street Parking	No
Access Management Priority	High
Transit Accommodations	Yes
Pavement Edge	Swale
Total Pavement Width	24'-58'
Streetscape/Amenities	
Trail/Sidewalk Width	8' trail min. on both sides of street*
Trail/Sidewalk Material	Asphalt
Amenity Zone	Natural buffer
Amenity Zone Width	15'-20' min.
Streetlights	No
Underground Utility Priority	Medium
Tree Spacing	30', irregular spacing
Right-of-Way Fence	Yes
Setbacks Beyond ROW	100′
Total Right-of-Way	70'-114'
#1 - t 1 t	· · · · · · · · · · · · · · · · · · ·

<sup>\*</sup> Leisure trail required on both sides of the street unless the street abuts SR 161 right-of-way.



employment-based uses on both sides of the street and carry employee, truck, and delivery traffic. These two- to four-lane roads have curbs, decorative street lighting, and should have leisure trails on both sides of the road. Most of the landscape is turf grass and trees, with natural tree stands preserved where practical. Parking is not fully screened from view but includes plantings. Setbacks along these roads beyond the right-of-way should be at least 50'.

## Business Park Transitional

Business Park Transitional roadways are those where the long-term condition on at least one side of the road is likely to remain rural or residential. These roads, however, do still carry some through-traffic and traffic for the business park. These roads will have more narrow road shoulders and a ditch street edge condition. They should also have a leisure trail on the business park side of the street, along with white horse fence and significant naturalized plantings, with some mounding if necessary. Any parking areas should be properly screened.

# Legend

Character Classification

Business Park Roadway •

Business Park Transitional Roadway

Village Traditional Roadway

Neighborhood Roadway

Potential Alternative Roadway Character

Discover Site Boundary



# REDEVELOPMENT SCENARIOS

This plan contains recommendations for the potential redevelopment of the former Discover site and the recommended improvements to address the site, including land uses, roadways, and open space. The following pages illustrate and summarize two redevelopment scenarios and their main land uses, development patterns, and connection to surrounding area.

These redevelopment scenarios were developed to study site capacity. The following diagrams and plans are illustrative in nature and do not represent a development proposal or final plan.

# Scenario Option A

Scenario Option A imagines the preservation of the existing building as office space, while also adding infill development to create a mix of uses and activity on this site. The existing office building is in good condition and has over 330,000 square feet of space suitable for adaptive reuse or a modern, amenitized office. See the case studies on p. 9 for examples of successful building reuse and re-purposing.

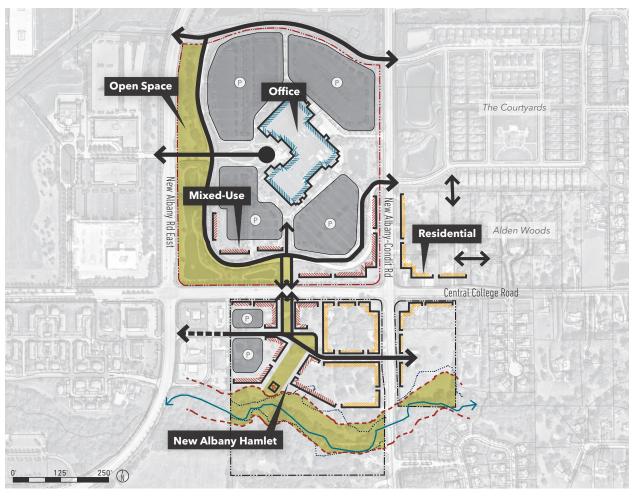
The proposed infill buildings are focused on the southern portion of the site, with the goal of creating a strong center of activity at the SR 605 and Central College Road intersection. With the proposed hamlet south of Central College and the potential for residential development at the northeast corner of the intersection, Option A ties into these surrounding potential developments with a pedestrian oriented southeast corner of the site. This southeast corner would have smaller setbacks, mirroring those of the hamlet, a set of mixed-use commercial buildings oriented toward the street and sidewalk, and a realigned interior roadway to allow for some on-street parking.







Central College Redevelopment Framework Diagram | Option A



# Legend



Central College Redevelopment Plan Rendering | Option A











# Scenario Option B

Scenario Option B evaluates the redevelopment potential of the site if the existing office building were to be demolished. This would open up the site for more new buildings. This scenario does utilize the existing infrastructure, like the roadway and open space network to frame the new development and to serve this new development.

Similar to Option A, this scenario envisions mixed-use commercial buildings with minimal setback on the southeast corner of the site to create a strong node of activity at the SR 605 and Central College Road intersection. With the removal of the existing building, this scenario also creates a strong core of commercial development surrounding a central green. Surface parking lots would be tucked between and behind these buildings to foster a pedestrian-friendly environment and to screen parking.

To the north, there is an opportunity to develop some larger buildings for commercial and office uses, including data centers. This development scenario creates a transition between the rest of the site and the other office uses in the Business Park to the north.

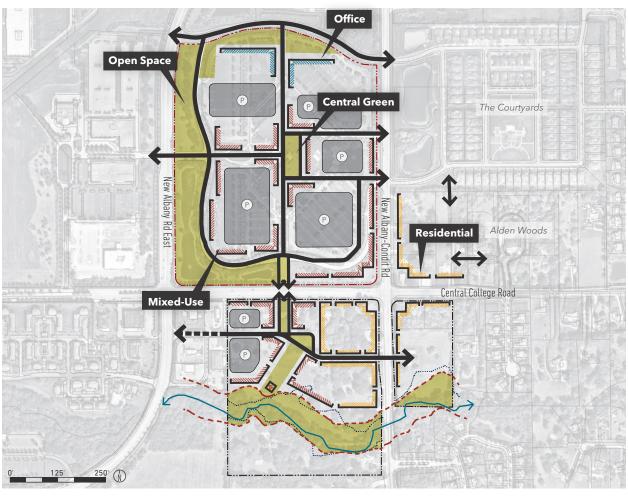
This development scenario would fit in with the other employment land uses in this section of the Business Park, while being mindful of the potential mixed-use neighborhood development pattern that could occur south of the site. A combination of medical office, retail, fitness centers, childcare centers, and educational uses, in addition to more traditional office space would serve all users in this area of the city.







Central College Redevelopment Framework Diagram | Option B



# Legend



Central College Redevelopment Plan Rendering | Option B











# **DEVELOPMENT STANDARDS**

The potential redevelopment scenarios informed the creation of the following development standards. These standards outline critical recommendations for redevelopment of the Discover site. These standards are intended to inform residents and landowners of the desired development pattern for the site.

# CENTRAL COLLEGE REDEVELOPMENT

## **Development Standards**

- Site redevelopment should be designed in a comprehensive manner and include an overall a. master plan for the site showing how it fits together with surrounding context appropriately in terms of mobility, site layout, uses, and aesthetics.
- b. If the existing office building remains, it should be mindfully incorporated with other infill development to create a cohesive, pedestrian-friendly site layout.
- c. Any redevelopment of the site beyond the existing use should go through the Planned Unit Development rezoning process.
- d. Only existing curb cut locations from Central College Road, New-Albany Condit Road, and New Albany Road East should be utilized, no new curb cut locations should be permitted.
- Existing internal drives should be utilized. If they are redesigned or realigned, private streets within the site should be designed to public street standards. On-street parking is recommended for internal streets.
- f. The placement of buildings should encourage pedestrian activity and building entrances should connect with the pedestrian network and promote connectivity through the site.
- g. Buildings may not be taller than 40 feet, including the roof-line.
- Any commercial mixed-use or retail building on-site should include an active first floor,
- h. occupied by restaurants, shops, service businesses, and other similar uses that promote activity throughout the day.
- i. The use of materials, colors, and texture to break up large-scale facades is strongly encouraged.
- Redevelopment of the site is expected to propose an architectural style that is both distinctive and complementary to New Albany's character and brand.
- Parking must be integrated throughout the site through on-street parking, parking structure, k. surface parking located behind primary buildings, and limited surface parking located beside primary buildings. Surface parking lots must be properly screened from the street.
  - Anyone seeking to redevelop the site with new or additional uses and structures other than what currently exist must submit a parking model to demonstrate sufficient parking is provided for
- I. the mix of uses. Shared parking among complementary uses is strongly encouraged and the installation of excessive parking is discouraged. If the tenants significantly change or if the use mix changes, the developer must resubmit the parking model to city zoning staff for review.





# Planning Commission Staff Report August 21, 2023 Meeting

## TACO BELL FINAL DEVELOPMENT PLAN

LOCATION: 8511 Smiths Mill Road (PID: 093-016512)

APPLICANT: Kimley-Horn, c/o Evan Salyers

REQUEST: Final Development Plan ZONING: Beech Crossing I-PUD

STRATEGIC PLAN: Retail

APPLICATION: FDP-69-2023

Review based on: Application materials received July 27, 2023.

Staff report prepared by Chelsea Nichols, Planner

## I. REQUEST AND BACKGROUND

The application is for a final development plan for a proposed Taco Bell located at the southwest corner of Smith's Mill Road and Beech Crossing. The development includes a dine in restaurant with a drive-thru.

The property in question is zoned I-PUD and is located within the Beech Crossing Zoning District. The proposed use (Taco Bell with drive-thru) is permitted as a carry-out food and beverage establishment with drive-through facility.

The applicant is also applying for two variances related to this final development plan under application VAR-70-2023. Information and evaluation of the variance requests are under a separate staff report.

This site is located within the Beech Crossing zoning district which was reviewed and approved by the Planning Commission on January 22, 2020 (ZC-102-2019).

## II. SITE DESCRIPTION & USE

The site is generally located north of State Route 161, south of Smith's Mill Road and west of Beech Road. The site is 1.37 acres and is currently undeveloped. This is the third proposed development for this zoning district. The Planning Commission approved a final development plan application for Duke and Ditches in this zoning district on October 20, 2020 and an application for Holiday Inn Express in this zoning district on February 19, 2020.

# III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in <u>underlined text</u>. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

a. That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;

- b. That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;
- c. That the proposed development advances the general welfare of the Municipality;
- d. That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance:
- e. Various types of land or building proposed in the project;
- f. Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;
- g. Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- h. Building heights of all structures with regard to their visual impact on adjacent facilities;
- i. Front, side and rear yard definitions and uses where they occur at the development periphery;
- j. Gross commercial building area;
- k. Area ratios and designation of the land surfaces to which they apply;
- l. Spaces between buildings and open areas;
- m. Width of streets in the project;
- n. Setbacks from streets;
- o. Off-street parking and loading standards;
- p. The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- *q.* The potential impact of the proposed plan on the student population of the local school district(s);
- r. The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- s. The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

# It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. Ensure that future growth and development occurs in general accordance with the Strategic Plan;
- b. Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible
- c. Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;
- d. Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district:
- e. Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;
- f. Foster the safe, efficient and economic use of land, transportation, public facilities and services;
- g. Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;
- h. Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;
- i. Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- j. Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;
- k. Provide an environment of stable character compatible with surrounding areas; and

l. Provide for innovations in land development, especially for affordable housing and infill development.

# **Engage New Albany Strategic Plan Recommendations**

The Engage New Albany strategic plan recommends the following development standards for the Retail future land use category:

- 1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
- 2. Combined curb cuts and cross access easements are encouraged.
- 3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
- 4. Combined curb cuts and cross-access easements between parking areas are preferred between individual buildings.
- 5. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
- 6. Integrate outdoor spaces for food related businesses.

# A. Use, Site and Layout

- 1. The applicant proposes to develop a 2,247 sq. ft. Taco Bell restaurant with a drive-thru. The existing total site size is 1.37-acres. The proposed development is in an appropriate location given its proximity to the New Albany Business Park and State Route 161.
- 2. The Beech Crossing I-PUD zoning text places a limitation on total acreage that can be utilized for retail uses in the Beech Road / Smith's Mill Road area. The intent is to limit retail development to a maximum of 92 acres in this general area. Once 92 acres have been developed with retail uses found in the C-3 and GE zoning districts, the remainder of the land from all of these subareas can only allow non-retail General Employment (GE) zoning district uses listed in their respective zoning texts. This 1.37-acre development is subject to this overall 92-acre retail limitation.
- 3. The development site is accessed by a private road which was reviewed and approved by the Planning Commission on October 21, 2019 (FDP-72-2019). This private road, Beech Crossing, was constructed by another private developer and includes street trees and a sidewalk along the road.
- 4. According to zoning text section C(1), the applicant is required to install leisure trail along Smiths Mill Road. The site plan meets this standard by providing an 8' wide leisure trail within the front yard of the lot along Smiths Mill Road
- 5. Per zoning text section C(4,) the applicant is required to connect into the existing pedestrian circulation system. The applicant is meeting this requirement by providing a direct connection into the sidewalk along the outparcel access road, Beech Crossing.
- 6. The zoning text requires that the total lot coverage, which includes all areas of pavement and building, to not exceed 80% of the total area. The proposed development is at 48.9% lot coverage thereby meeting this requirement.
- 7. The PUD zoning text requires the following setbacks from these perimeter boundaries:
  - a. Smiths Mill Road:
    - i. Required minimum: 75-foot building and 55-foot pavement
    - ii. Proposed: 60+/- foot pavement and 99.8+/- foot building setback [requirement met]
  - b. Internal Parcel Boundaries (western and southern property lines):
    - i. Required minimum: 10-foot building and pavement setback
    - ii. Proposed (western property line): 27.5-foot pavement and 97.5-foot building setback [requirement met]
    - iii. Proposed (southern property line): 22+/- feet pavement and 109.7-foot building setback [requirement met]
  - c. Outparcel Access Road (Beech Crossing):
    - i. Required minimum: 15-foot building and pavement setback
    - ii. Proposed: 26.4+/- foot pavement and 81.4+/- foot building setback [requirement met]

## B. Access, Loading, Parking

- 1. The site is proposed to be accessed from two curb cuts along Beech Crossing.
  - a. The applicant proposes one full access point near the southeast corner of the property and one right-in only near that northeast corner of the property.
  - b. Per Beech Crossing zoning text requirement II.B.1(c) states that as part of a final development plan approval, two vehicular access points along the Outparcel Access Road/Beech Crossing may be permitted for any outparcel with side and rear boundary lines that are contiguous to the Outparcel Access Road, subject to approval of the City Engineer and if supported by a traffic analysis provided by the applicant. The City Engineer may waive the obligation for this traffic analysis. The city's traffic engineer has reviewed the request for a second access point. They are supportive of allowing the second right-in only access point and has waived the obligation of the traffic analysis.
- 2. Codified Ordinance 1167.05(d)(4) requires a minimum of one parking space for every 75 square feet of restaurant floor area space. The building is 2,247 square feet in size therefore 30 parking spaces are required. The applicant is providing 30 parking spaces.
- 3. Additionally, the city parking code requires a minimum number of stacking spaces in the drive thru lane must be provided. The required number of drive-thru stacking spaces must equal 25% of the total required parking spaces for the drive-through tenant space. Based on this calculation, 8 stacking spaces must be provided and the applicant is meeting this requirement by providing 8.
- 4. Per C.O. 1167.03(a), the minimum parking space dimensions required are 9 feet wide and 19 feet long. The applicant is meeting this requirement.
- 5. Per C.O. 1167.03(a), the minimum maneuvering lane width size is 22 feet for this development type. The applicant is meeting this requirement.
  - 6. The city's design consultant reviewed the proposal and provided the following comments. Staff recommends a condition of approval that the design consultant's comments are addressed, subject to staff approval.
    - a. One of the comments is to revise the site plan to provide a partial private street extension and cross access easement along the remainder of the rear of the property to allow for a future road connection if and when future develop to the west occurs.
      - The Engage New Albany strategic plan recommends combined curb cuts and cross access easements as development standards for retail uses. <u>The</u> <u>strategic plan also recommends</u> curb cuts on primary streets be minimized and well-organized connections be created within and between all retail establishments.
      - ii. The property to the west is zoned to allow for additional retail uses.

        Historically, retail users have extended the private street within this area in conformance with the strategic plan recommendations. An example is the Holiday Inn Express which had to extend the road at the time of their development.
      - iii. Staff recommends a condition of approval that the site plan be revised to accommodate and include an extension of the 24-foot-wide private drive, adjusting the location of the curb cut to it aligns with the existing private road, relocating the dumpster, proving sidewalk, and providing a cross access easement. The city staff recommends the final design be subject to staff approval.

#### C. Architectural Standards

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design. The zoning text contains architectural standards and the site also falls under the Section 6 of the Design Guidelines and Requirements: Commercial Outside Village Center.

- 2. The zoning text states that buildings with this use shall be a minimum of one story and a maximum of two stories in height and this requirement is being met as the restaurant is a one-story building.
- 3. The primary building material for the restaurant is brick, which is a permitted building material in the zoning text.
- 4. Zoning text section E.4(b) states that all rooftop mechanical units must be screened to limit off site visibility and sound. The applicant meets this requirement through the use of a parapet wall on all four sides of the building.
- 5. DGR Section 6(I)(A)(4) states that the number, location, spacing and shapes of window openings shall be carefully considered, particularly for buildings in retail use and shall impart a sense of human scale. The applicant meets this requirement.
- 6. DGR Section 6(I)(A)(6) states that all visible elevations of a building must receive similar treatments in style, materials and design so that no visible side is of a lesser character than any other. The applicant is meeting this requirement by using the same materials on all building elevations.
- 7. DGR Section 6(I)(A)(12) states that buildings shall have active and operable front doors along all public and private streets. The restaurant fronts onto Smiths Mill Road and to the north and Beech Crossing to the east. The building is designed with an active and operable front door along Smiths Mill Road but there is no door on the east facing Beech Crossing. The second active and operable from door is along the west facing side, which is an internal parcel boundary. The building has been designed with the drive-thru window on the east side/private road side in order to allow for the menu board and stacking for the drive-thru to happen to the rear of the building as opposed to the front of the building. The applicant requests a variance, under application VAR-70-2-23, to eliminate this requirement for the east elevation of the building. This variance request is evaluated under a separate staff report.
- 8. C.O. 1171.05(b) states that all trash and garbage container systems must be screened, not be located in front yards, and meet the minimum required pavement setbacks. All of these requirements are met as the applicant proposes to install a dumpster enclosure in the rear of the lot. It meets the minimum pavement setback and is completely screened with a dumpster enclosure and landscaping.

# D. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Per Beech Crossing zoning text requirements G(a) and G(3)(a), a four-board horse fence is required to be installed along Smiths Mill Road. This requirement is met.
- 2. Per zoning text requirement (G)(3)(b)(i), a minimum of 6 trees per 100 lineal feet must be installed within the required setback area along Smiths Mill. The applicant is exceeding this requirement by providing 13 trees along their 182+/- feet of frontage along Beech Road.
- 3. Per zoning text requirement G(3)(c), a minimum 3.5-foot-tall landscape buffer must be provided to screen parking areas along all public rights of way. The proposed landscape plan shows that a 3.5-foot-tall landscape buffer installed along the parking areas that are along public rights of way, therefore this requirement is being met.
- 4. Per zoning text requirement G(3)(d), a landscape buffer is required to be installed within the required setback of any interior side parcel line and shall consist of a ten-foot landscape buffer with grass and landscaping and deciduous trees planted at a rate of 4 trees for every 100 feet of side property line and deciduous shrubs must be planted under the trees. The applicant is required and proposes to install these 11 trees and shrubs along the west side within the 10-foot setback. Therefore, this requirement is being met.
- 5. Per zoning text requirement G(7), a minimum of one tree for every 10 parking spaces is required and at least 5 percent of the vehicular use area shall be landscaped. The applicant is providing 30 parking spaces, and exceeding this requirement by providing 6 trees. 5% of the total parking area is landscaped. This requirement is being met.
- 6. Per zoning text requirement G(8), a master landscape plan shall be completed as part of the first final development plan that is submitted for a property located west of the previously approved "Outparcel Access Road"/the existing Beech Crossing. This

landscape plan is subject to the review and approval of the city landscape architect. The current property owner, the New Albany Company, has submitted the plan and it has been approved by the city landscape architect. The landscape standards established along the south side of Smiths Mill in front of the outlots and the east side of the access road continues west in front of Taco Bell. If additional outlots are developed west of Taco Bell, the same landscape standard must be continued.

# E. Lighting & Signage

- 1. Section II(H)(1) of the zoning text requires all parking lot light poles to be downcast and use cut-off type fixtures in order to minimize light spilling beyond the boundaries of the site. Site lighting proposed of the site matches the existing Duke and Duchess site with the development and meets the requirements. In addition, a detailed photometric plan was submitted showing that there will be no light spillage from this site.
- 2. Section II(H)(3) states that all parking lot poles within the entire zoning district shall be black or New Albany Green, be constructed of metal and not exceed 30 feet in height. The applicant is proposing to use the same black metal poles that are installed at the existing Duke and Duchess site within the development. However, it is not clear at this time what the proposed height of the light poles are to be. Staff recommends a condition of approval that all parking lot light poles not exceed 30 feet in height and are subject to staff approval at the time of permitting.
- 3. As part of this final development plan application, the applicant has submitted a sign plan for the site. As part of that sign plan, the applicant proposes to install a drive-thru menu board signs at the rear of the site which is permitted per C.O. 1169.11(c). However, the menu board sign is proposed to be digital. Currently, C.O. 1169.04 prohibits digital menu board signs. The applicant has applied for variance to allow the digital menu board signage under application VAR-70-2023. Information and evaluation of the variance request is under a separate staff report. However, staff recommends a condition of approval that all other sign details be subject to staff approval and must meet code requirements. Any additional variances needed, other than what is included in application VAR-70-2023, must be heard by the Planning Commission at a later date in the future.
- 4. The applicant proposes to install two wall signs, one on the eastern building elevation and one on the north elevation.
- 5. The applicant proposes to install one monument sign at the northeast corner of the site along Smiths Mill Road.

## **Wall Signs**

The zoning text and C.O. 1169.15(d) permits a wall sign on each building frontage either on a public or private road, with 1 square foot in area per linear square foot of building frontage, not to exceed 50 square feet. The applicant proposes two wall signs to be installed on the northern and eastern building elevations each with the following dimensions:

# **Smiths Mill Northern Elevation Wall Sign:**

- a. Lettering Height: 14 inches [meets code]
- b. Area: 25 square feet [meets code]
- c. Location: northern elevation facing Smiths Mill Road
- d. Lighting: external lighting [meets code]
- e. Relief: 1 inch [meets code]
- f. Colors: white (total of 1 color) [meets code]
- g. Material: aluminum [meets code]

The wall sign reads "Taco Bell" with the two words stacked and feature the company logo on top.

# **Beech Crossing Eastern Elevation Wall Sign:**

- h. Lettering Height: No Letter, Logo only [meets code]
- *i.* Area: 22 square feet [meets code]
- j. Location: eastern elevation facing Beech Crossing
- *k*. Lighting: external lighting [meets code]
- *l*. Relief: 1 inch [meets code]
- m. Colors: white (total of 1 color) [meets code]
- n. Material: aluminum [meets code]

The wall sign features the company logo.

■ DGR Section 6(II)(A)(8) states that signage for this building type shall be as simple and unobtrusive as possible and shall avoid overly bright or jarring colors. The applicant is proposing two wall signs that are appropriately scaled for the building and are appropriate for this area given the desired development type.

# **Ground Mounted Signs**

The applicant proposes to install one monument sign at the northeast corner of the site along Smiths Mill Road. Monument signage along Smiths Mill Road is intended to match the existing sign plan for the retail within the neighbor Canini Trust Corp development along US-62. The proposed sign meets those standards as proposed. The signs feature the company logo and read "Taco Bell."

## IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. <u>Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval.</u>

 Engineering staff will evaluate storm water management, water distribution, sanitary sewer collection and roadway construction related details once construction plans become available.

#### V. SUMMARY

The proposal meets many of the goals of the Engage New Albany Strategic Plan such as providing pedestrian access along roadways and into the site, as well as utilizing high quality building materials that are consistent with other buildings in the immediate area. The proposed development is in an appropriate location given the context of the surrounding area and serves as an amenity for the New Albany Business Park.

# V. ACTION

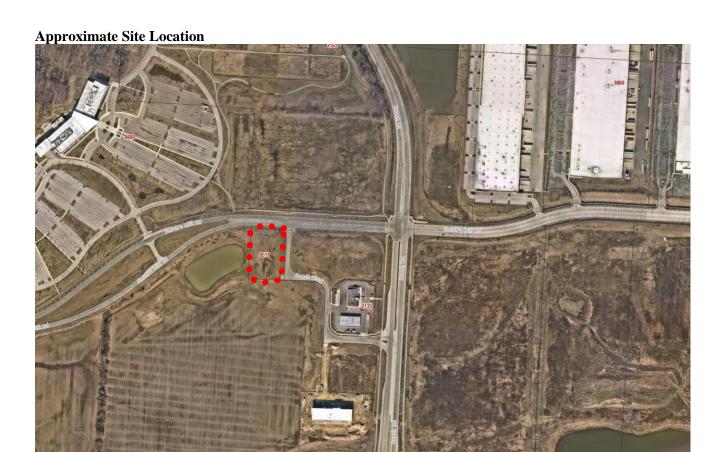
Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

# Move to approve final development plan application FDP-60-2020, subject to the following conditions:

- 1. The city's design consultant's comment shall be addressed as part of permitted, subject to staff approval:
  - a. Provide an access easement along the rear of the property that allows for a potential road connection if and when future develop to the west occurs. Adjust the entry drive and dumper location to accommodate.
  - b. The site plan is revised to accommodate recommended development standards from the Engage New Albany Strategic Plan. Revisions must include an extension of the 24-foot-wide private drive, adjusting curb cut location to align

# with existing road, relocating the dumpster, providing sidewalk, and providing a cross access easement. The final drive design is subject to staff approval

- 2. All parking lot light poles shall not exceed 30 feet in height and are subject to staff approval at the time of permitting.
- 3. The applicant has applied for variances related to signage under application VAR-70-2023. All other sign details are subject to staff approval at the time of permitting and must meet code requirements. Any additional variances needed, other than what is included in application VAR-70-2023, must be heard by the Planning Commission at a later date in the future; and
- 4. The city engineer comments must be addressed, subject to staff approval.



Source: ArcGIS

#### **City of New Albany**

99 West Main Street New Albany, Ohio 43054



404.640-01 July 5, 2023 (Revised 8-7-23)

To: Chelsea Nichols

City Planner

From: Matt Ferris, P.E., P.S.

Jay M. Herskowitz, P.E., BCEE By:

Re: Taco Bell -

Final Development Plan

We reviewed the referenced submittal in accordance with Code Section 1159.07 (b)(3) FDP. Our review comments are as follows:

1. We will evaluate storm water management, water distribution, sanitary sewer collection and roadway construction related details once construction plans become available.

MEF/JMH

cc: Cara Denny, Engineering Manager





Permit #	
Board	
Mtg. Date	



#### **Community Development Planning Application**

	Site Address 8511 Smiths Mill Band			
	0.00 0.1.710			
	Acres 1.37 # of lots created			
Project Information	Choose Application Type  Circle all Details the  □Appeal □Certificate of Appropriateness □Conditional Use □Development Plan □Plat □Plat □Comprehe □DLot Changes □Minor Commercial Subdivision □Vacation	nsive A	Amendment	
roje	□□Extension Request	C 4!		
A.	□□Zoning Amendment (rezoning) Text Mod	ncation		
	Description of Request: Proposed Final Revelopment p Serve restaurant on corner of Break	an for	and Smiths	
	Property Owner's Name: MRG Chio Property, LLC Address: 10600 Shadow Wood Drive City, State, Zip: Houston, TX 77043			
Phone number: 346 260 4/90 Fax:				
Conta	Applicant's Name:  Address:  Grant Salve Grant Grant Salve Grant G			
	Phone number: 3 80 - 2/5 - 0(0.95 Fax:			
	Email: <u>EVAN. Salyerse Kimley-Horn. Com</u>		,	
Signature	s application. atives, property oplication is			
Sig	Signature of Owner Signature of Applicant Chuck New Director of Developme	Date:	06/14/2023 6//4/23	



Chelsea Nichols
City of New Albany

To: Village Hall 899 W. Main St.

New Albany, OH 43054

614-245-8871

Date: 7/24/2023

Subject: Taco Bell 8511 Smiths Mill Road - Final Development Plan Application

#### Chelsea,

This narrative describes the Final Development Plan for the above referenced project, which consists of a quick serve restaurant with a drive through located on the southwest corner of Beech Crossing and Smiths Mill Road. This plan will include all associated improvements with the site, including parking, storm sewer, sanitary service, water service, landscaping, and building elevations per the ordinances of the City of New Albany and the Infill Planned Unit District (IPUD) zoning district. This request is to be submitted for review at the August 21<sup>st</sup>, 2023 Planning Commission meeting. This plan will include two variance requests that will be submitted under a separate application.

#### Legal Description:

Parcel 093-016512-00.009 Situated in the State of Ohio, County of Licking, City of New Albany, located in Half Section 15, Quarter Township 3, Township 2, Range 15, United States Military District, being part of the remainder of that 49.534 acre tract conveyed to MBJ Holdings, LLC by deed of record in Instrument Number 201010060020026, (all references refer to the records of the Recorder's Office, Licking County, Ohio).

If you have any questions or need any additional information, please feel free to contact me at 380-215-0695.

Sincerely,

Evan Salyers, PE

Kimley-Horn and Associates, Inc.

Com dafas

# FINAL DEVELOPMENT PLAN TACO BELL

**CITY OF NEW ALBANY** 161 EXPRESSWAY/BEECH ROAD INTERCHANGE RETAIL, OUTLOT 1

**BELL** 

±2,247 SF

**SMITHS MILL ROAD** 

-5' SIDEWALK

Sheet List Table			
Sheet Number	Sheet Title		
1	COVER SHEET		
2	GENERAL NOTES		
3	GENERAL NOTES		
4	CONSTRUCTION DETAILS		
5	ALTA SURVEY		
6	SITE PLAN		
7	UTILITY PLAN		
8	GRADING PLAN		
9	STORM PROFILES		
10	EROSION AND SEDIMENT CONTROL PLAN		
11	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS		
12	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS		
13	SITE LIGHTING PLAN		
14	LANDSCAPE PLAN		
15	LANDSCAPE NOTES AND DETAILS		
16	FIRE TRUCK TURNING EXHIBIT		

### BENCHMARKS (NAVD 88) �

CHISELED "X" ON BOLT OF A HYDRANT LOCATED APPROXIMATELY 76.5 FEET SOUTHWEST OF A LIGHT POLE LOCATED APPROXIMATELY 2.3 FEET SOUTH OF THE SOUTHERLY EDGE OF PAVEMENT OF SMITHS MILL ROAD.

EASTING: 1896723.8230 ELEV=1131.37' (NAVD 88)

CHISELED "X" ON BOLT OF A HYDRANT LOCATED APPROXIMATELY 2.3 FEET SOUTH OF THE SOUTHERLY EDGE OF PAVEMENT OF SMITHS MILL ROAD.

> NORTHING: 759516.4040 EASTING: 1897116.4990 ELEV=1133.22' (NAVD 88)

### **BASIS OF BEARINGS:**

BEARINGS BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE, NAD83 (2011).

#### STANDARD CONSTRUCTION DRAWINGS THE STANDARD DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A

PART THEREOF: CITY OF COLUMBUS AA-S106 AA-S151

L-6310 L-6311 AA-S160 AA-S107 L-6316A AA-S119 AA-S161 AA-S121 AA-S162 L-9002C AA-S125A L-1701A L-9002G L-1701B 2319 7/01/21 AA-S128 AA-S142

> CITY OF NEW ALBANY NA-SNS-4

ELECTRIC: AEP OHIO (800) 672-2231

PHONE: SPECTRUM (877) 350-2076

COLUMBIA GAS OF OHIO P.O. BOX 2318 COLUMBUS, OH 43216-2318 CONTACT: THOMAS YOUNG (614) 460-7809

SANITARY SEWER: CITY OF COLUMBUS PUBLIC UTILITIES 111 N. FRONT STREET COLUMBUS, OH 43215 CONTACT: DOUG HOLZ (614) 645-8276

> UNDERGROUND UTILITIES Contact Two Working Days



|OHIO811, 8-1-1, or 1-800-362-2764|(Non members must be called directly)

#### MBJ HOLDINGS, LLC 8000 WALTON PKWY STE 120 NEW ALBANY OH 43054

PHONE: (614) 939-8000

**DEVELOPER** HOUSTON, TX 77043

#### **CIVIL ENGINEER** KIMLEY-HORN & ASSOCIATES, INC. 7965 N. HIGH ST, SUITE 200 COLUMBUS, OH 43235 CONTACT: EVAN SALYERS PHONE: (380) 215-0695 EMAIL: EVAN.SALYERS@KIMLEY-HORN.COM

# **ARCHITECT**

**INDEX MAP** 

SCALE: 1"=30'

# **SURVEYOR** 175 MONTROSE WEST AVE, SUITE 400 AKRON, OH 44321 CONTACT: STEVEN CLUTTER

-5' SIDEWALK

— EX 12" WATER MAIN

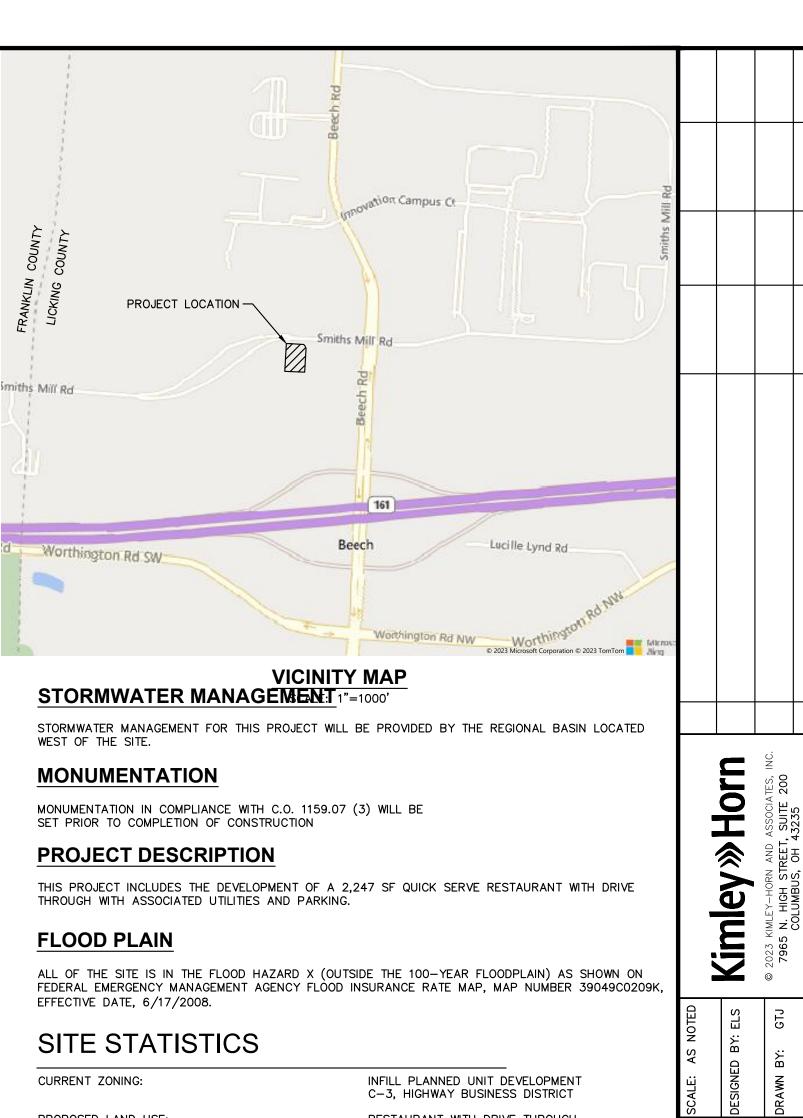
**55' PAVEMENT SETBACK** 

**75' BUILDING SETBACK** 

EX SANITARY

SERVICE STUB

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RESTAURANT WITH DRIVE THROUGH PROPOSED LAND USE: PARCEL NUMBER 093-106512-00.009 PARCEL AREA: 1.37 ACRES LOT NUMBER: OUTLOT 1 TOTAL SITE AREA: PERVIOUS AREA: ±1.37 ACRES ±0.70 ACRES IMPERVIOUS AREA: ±0.67 ACRES PERCENT COVERAGE (IMPERVIOUS/TOTAL): 48.9% BUILDING SETBACKS FROM P: 75 FEET (55 FEET PAVEMENT SETBACK) NORTH (SMITHS MILL ROAD): EAST (BEECH CROSSING): 15 FEET 10 FEET MAXIMUM BUILDING HEIGHT: 2 STORIES 1 STORY PROPOSED BUILDING HEIGHT: PARKING REQUIRED (1:75 GROSS SF): 30 SPACES 30 SPACES PARKING PROVIDED: HANDICAP SPACES REQUIRED: 2 SPACES (1 VAN SPACE) HANDICAP SPACES PROVIDED: 2 SPACES (1 VAN SPACE) BICYCLE PARKING REQUIRED 2 SPACES 4 SPACES BICYCLE PARKING PROVIDED DRIVE THROUGH STACKING REQUIRED 8 STACKING SPACES 8 STACKING SPACES (25% OF REQUIRED PARKING): DRIVE THROUGH STACKING PROVIDED:

### **APPROVALS**

PLANNING COMMISSION CHAIR	
ICE CHAIR OR DESIGNEE	
PROFESSIONAL ENGINEER	

### **UTILITY COMPANIES**

WATER FACILITIES: CITY OF COLUMBUS PUBLIC 111 N. FRONT STREET COLUMBUS, OH 43215 CONTACT: WILL WALTHER (614) 645-8276

STORM SEWER: CITY OF NEW ALBANY PUBLIC 7800 BEVELHYMER ROAD

NEW ALBANY, OH 43054 614-855-0076

# **OWNER**

MAS RESTAURANT GROUP, LLC 10600 SHADOW WOOD DRIVE CONTACT: CHUCK NEW PHONE: (346) 260-4190 EMAIL: CNEW@MASRGLLC.COM

EX ELECTRIC

ELECTRIC-

SERVICE

SERVICE

1.37 AC. (+/-)

PROP STORM

SEWER

OUTLOT 1

**TELECOMMUNICATION** 

DOMESTIC WATER

**SERVICE** 

TRANSFORME

LINE

EX FIBER

OPTIC LINES

EX REGIONAL

BASIN

10' PAVEMENT AND BUILDING SETBACK

EX 48" STORM

CASTLES DESIGN GROUP 3801 KIRBY DRIVE SUITE 600 HOUSTON, TX 77098 CONTACT: JANIE CORTÉS-SAUCEDO PHONE: (713) 664-7974 EX.1346 EMAIL: JCSAUCEDO@CASTLESDESIGNGROUP.COM EMAIL: CLUTTER@CESOINC.COM MAXIMUM STACKING TO BEECH CROSSING: 21 STACKING SPACES MAXIMUM STACKING TO SMITHS MILL: 25 STACKING SPACES

PROFESSIONAL SURVEYOR

S

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SUBMITTAL DATE:

7/24/2023 KHA PROJECT NO.

190164002

SHEET NUMBER

#### CITY OF NEW ALBANY STANDARD NOTES

THE CITY OF COLUMBUS AND OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITIONS, TOGETHER WITH THE CITY OF NEW ALBANY SPECIFICATIONS INCLUDING ALL SUPPLEMENTS THERETO (HEREAFTER REFERRED TO AS STANDARD SPECIFICATIONS). SHALL GOVERN ALL CONSTRUCTION ITEMS OF THESE PLANS UNLESS OTHERWISE NOTED. IF CONFLICT BETWEEN SPECIFICATIONS IS FOUND, THE MORE STRICT SPECIFICATION WILL APPLY AS DECIDED BY THE CITY ENGINEER. CMSC ITEM NUMBERS LISTED REFER TO THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL

#### 1.2 PLAN MODIFICATIONS

ANY MODIFICATIONS TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY ENGINEER, CITY OF NEW ALBANY. INSPECTORS HAVE NO AUTHORITY TO APPROVE REVISIONS IN THE FIELD.

#### 1.4 PRE-CONSTRUCTION CONFERENCE

1.4.1 A PRE-CONSTRUCTION CONFERENCE INVOLVING A REPRESENTATIVE OF THE CITY OF NEW ALBANY, THE OWNER, THE PRINCIPLE CONTRACTOR, AND ALL AVAILABLE SUB-CONTRACTORS WILL BE HELD PRIOR TO THE START OF CONSTRUCTION.

E 1.4.2 ALL EASEMENTS SHALL BE RECORDED AND SUBMITTED TO THE CITY ENGINEER PRIOR TO THE PRE-CONSTRUCTION CONFERENCE.

1.4.3 DURING THE CONFERENCE THE CONTRACTOR SHALL SUBMIT HIS CONSTRUCTION SCHEDULE, PROPOSED SCHEDULE FOR CONTROLLING SILTATION AND EROSION, AND FOR TEMPORARY AND PERMANENT SEEDING FOR THE PROJECT.

1.5.1 CITY ORDINANCE 521.12 RESTRICTS THE HOURS OF WORK TO 7:30 AM TO 7:00 PM. 1.5.2 WORK WILL NOT BE PERMITTED ON SUNDAYS UNLESS OTHERWISE APPROVED BY THE

1.6 INSPECTION TE 1.6.1 INSPECTION ON THIS PROJECT WILL BE PROVIDED BY THE REPRESENTATIVES OF THE ™ CITY OF NEW ALBANY.

1.6.2 THE OWNER SHALL DEPOSIT WITH THE CITY OF NEW ALBANY THE TOTAL ESTIMATED COSTS FOR CONSTRUCTION INSPECTION PRIOR TO ANY CONSTRUCTION OPERATIONS.

1.6.3 THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

#### 1.7 WORK WITHIN PUBLIC RIGHT-OF-WAYS

1.7.1 ALL TRENCHES WITHIN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS OR SECURELY PLATED DURING NON-WORKING HOURS. TRENCHES OUTSIDE THESE AREAS SHALL BE BACKFILLED OR SHALL BE PROTECTED BY APPROVED TEMPORARY FENCING OR BARRICADES DURING NON-WORKING HOURS. CLEAN UP SHALL FOLLOW CLOSELY BEHIND THE TRENCHING OPERATION. TRENCHES WITHIN CITY RIGHT OF WAY SHALL BE BACKFILLED PER ITEM 911, CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATION. ITEM 912 (TYPE 1 ONLY) COMPACTED GRANULAR BACKFILL SHALL BE USED WITHIN THE 45 DEGREE INFLUENCÉ PLANE OF PAVED SURFACES.

<sup>5</sup> 1.7.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF TRENCHES WITHIN THE RIGHT-OF-WAY AND PUBLIC EASEMENTS FOR A PERIOD OF 2 (TWO) YEARS FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE CITY OF NEW ALBANY. THE DEVELOPER/CONTRACTOR SHALL PROVIDE A LETTER TO THE CITY INDICATING ANY SETTLEMENT OF THE TRENCHES WILL BE REPAIRED AT THEIR EXPENSE FOR A PERIOD OF 5 (FIVE) YEARS FROM THE DATE OF ACCEPTANCE OF THE SUBDIVISION OR SITE (WHICHEVER APPLICABLE).

1.7.3 NON-RUBBER TIRED VEHICLES SHALL NOT BE MOVED ON PUBLIC STREETS. THE CITY ENGINEER MAY GRANT EXCEPTIONS WHERE SHORT DISTANCES AND SPECIAL CIRCUMSTANCES ARE INVOLVED. GRANTING EXCEPTIONS MUST BE IN WRITING, AND ANY DAMAGES MUST BE REPAIRED TO THE SATISFACTION OF THE CITY OF NEW ALBANY.

1.7.4 NO MATERIALS, INCLUDING PIPE, SHALL BE STORED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN ONE HUNDRED (100) FEET OF ANY INTERSECTING STREET OR DRIVEWAY. DURING NON-WORKING HOURS, STORAGE OF EQUIPMENT SHALL COMPLY WITH THESE SAME REQUIREMENTS. COMPLIANCE WITH THESE REQUIREMENTS ALONG WITH ADDITIONAL PROVISIONS OF THE CONTRACT SPECIFICATIONS SHALL NOT RELIEVE THE CONTRACTOR OF THEIR LEGAL RESPONSIBILITY TO MAINTAIN JOB SAFETY.

1.7.5 ANY DETERIORATED PAVEMENT DUE TO CONSTRUCTION OPERATIONS SHALL BE SAW CUT AND REMOVED AND REPLACED AS PER CITY OF COLUMBUS STANDARD DRAWING P 2130 DR.A. THE LOCATION OF THE SAW CUT SHALL BE DETERMINED BY THE CITY ENGINEER IN THE FIELD.

1.7.6 WHEN A NEW ROADWAY IS TO ADJOIN AN EXISTING ROADWAY ANY EXISTING UNDERDRAIN IS TO BE MAINTAINED, OR REPLACED IF NOT FUNCTIONAL. A RELIEF JOINT SHALL BE CONSTRUCTED AT THE INTERSECTION OF THE EXISTING AND NEW ROAD.

1.7.7 INGRESS AND EGRESS SHALL BE MAINTAINED AT ALL TIMES TO PUBLIC AND PRIVATE PROPERTY. ACCESS TO ALL ADJOINING PROPERTIES SHALL BE MAINTAINED AT

1.7.8 ACCESS TO THE SITE SHALL BE PROVIDED THROUGH THE CONSTRUCTION ACCESS TORIVE (ONLY) AS SHOWN ON THE EROSION CONTROL PLAN.

1.7.9 WHEN MAIL BOXES, ROAD OR STREET NAME SIGNS AND SUPPORTS INTERFERE WITH E CONSTRUCTION, THE CONTRACTOR SHALL REMOVE AND ERECT THEM IN TEMPORARY LOCATIONS DURING CONSTRUCTION IN A MANNER SATISFACTORY TO THE CITY ENGINEER AND U.S. POSTAL SERVICE. AFTER COMPLETION OF THE CONSTRUCTION AND BEFORE  $\mathring{\mathbb{T}}$  FINAL ACCEPTANCE OF THE PROJECT THE CONTRACTOR SHALL ERECT THE MAILBOXES, FROAD OR STREET NAME SIGNS AND SUPPORTS IN A PERMANENT LOCATION IN 9 ACCORDANCE WITH THE PLANS UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. REMOVAL. TEMPORARY ERECTION AND PERMANENT ERECTION OF MAILBOXES SHALL BE IN ACCORDANCE WITH U.S. POSTAL REGULATIONS. THIS WORK SHALL BE PERFORMED AT NO  $_{ ilde{ iny 2}}$  COST TO THE CITY OR THE PROPERTY OWNERS.

1.7.10 TRENCHES ALONG ROADWAYS SHALL BE PROTECTED IN ACCORDANCE WITH THE g ODOT 'DROP OFFS IN WORK ZONES" POLICY COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 1980 E. BROAD STREET,

### 1.8 EQUIPMENT ON PUBLIC ROADS

NON-RUBBER TIRED VEHICLES SHALL NOT BE MOVED ON PUBLIC STREETS. THE CITY ENGINEER MAY GRANT EXCEPTIONS WHERE SHORT DISTANCES AND SPECIAL ÉCIRCUMSTANCES ARE INVOLVED. GRANTING EXCEPTIONS MUST BE IN WRITING, AND ANY .º DAMAGES MUST BE REPAIRED TO THE SATISFACTION OF THE CITY OF NEW ALBANY.

### 1.9 TRAFFIC MAINTENANCE

1.9.1 ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND TO REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS (CURRENT EDITION), COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 1980 WEST BROAD STREET, COLUMBUS, OHIO

g 1.9.2 ALL TRAFFIC LANES SHALL BE FULLY OPEN TO TRAFFIC ON ALL PUBLIC ROADWAYS. ANY LANE CLOSINGS MUST BE COORDINATED WITH THE CITY ENGINEER AT LEAST 48 THE LANE CLOSURE.

& 1.9.3 STEADY—BURNING TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND SIMILAR DEVICES IN USE AT NIGHT.

휴 1.9.4 MANUAL CONTROL OF TRAFFIC BY ANYONE OTHER THAN A POLICE OFFICER IS NOT နို့ PERMITTED.

1.9.5 THE MAINTENANCE OF TRAFFIC SHOULD FOLLOW TYPICAL APPLICATION (TA)-6 Η "SHOULDER WORK WITH MINOR ENCROACHMENT" FROM THE OHIO MANUAL OF UNIFÓRM TRAFFIC CONTROL DEVICES (OMUTCD) CURRENT EDITION AND ODOT SCD MT-101.90 FOR DROP OFF REQUIREMENTS.

1.9.6 THE MINIMUM LANE WIDTH OF 10 FEET MUST BE MAINTAINED IF THE WORK ZONE É ENCROACHES IN TO THE TRAVELED LANE. IF THIS REQUIREMENT CANNOT BE MET, THE LANE MUST BE CLOSED AND FLAGGERS EMPLOYED FOLLOWING TYPICAL APPLICATION (TA)-10 "LANE CLOSURE ON A TWO LANE ROAD USING FLAGGERS" FROM THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCO) CURRENT EDITION.

1.9.7 THIS OPERATION MAY BE PERFORMED AT ANY TIME, EXCEPT DURING PEAK HOURS É (7AM − 9AM AND 4PM−6PM).

1.9.8 IF IN THE OPINION OF THE CITY ENGINEER, THE CONTRACTOR FAILS TO COMPLY WITH THESE REQUIREMENTS AND THE PROVISIONS OF THE APPROVED MAINTENANCE OF TRAFFIC PLAN, THE CITY ENGINEER SHALL SUSPEND WORK UNTIL ALL REQUIREMENTS ARE MET. ANY COSTS OR DELAYS INCURRED AS A RESULT OF THE FAILURE SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.

1.9.9 THE FOLLOWING DEVICES MUST MEET NCHRP 350 OR MASH-08 BEFORE THE DEVICES ARE INSTALLED ON THE PROJECT: DRUMS, CONES, VERTICAL PANELS AND THE PANEL SUPPORT, PORTABLE SIGN SUPPORTS, TEMPORARY IMPACT ATTENUATORS, TEMPORARY CONCRETE BARRIER, AND BARRICADES.

1.9.10 PAYMENT FOR ALL TRAFFIC MAINTENANCE ITEMS SHALL BE INCLUDED WITHIN THE PRICE BID FOR THE PROJECT IMPROVEMENTS.

ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY CONTROLS SHALL BE MAINTAINED THROUGHOUT THIS PROJECT BY THE CONTRACTOR. PERMANENT TRAFFIC CONTROLS MAY BE TEMPORARILY RELOCATED, AS APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED AND IMPROPERLY PLACED SIGNS.

1.9.12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REINSTALLATION AND/OR REPLACEMENT OF ALL PERMANENT TRAFFIC CONTROL DEVICES DAMAGED OR REMOVED DURING THE CONSTRUCTION. PERMANENT TRAFFIC CONTROL NO LONGER IN CONFLICT WITH TEMPORARY TRAFFIC CONTROL SHALL BE REPLACED IMMEDIATELY.

#### 1.10 EXISTING TRAFFIC SIGN MAINTENANCE

1.10.1 SPECIAL CARE SHALL BE TAKEN TO MAINTAIN EXISTING SIGNS. IF NECESSARY, THE CONTRACTOR SHALL RELOCATE THESE SIGNS OUT OF THE WAY OF CONSTRUCTION, BUT IN CONFORMANCE WITH OMUTCD. ANY DAMAGED SIGNS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

1.11.1 INGRESS AND EGRESS SHALL BE MAINTAINED TO ALL RESIDENTIAL AND COMMERCIAL PROPERTIES. DRIVEWAY CLOSURE MAY BE NECESSARY TO ENABLE WORK ON OR IN FRONT OF A DRIVE. THE CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING OWNERS, RESIDENTS, OR BUSINESS OPERATORS IN WRITING AT LEAST 48 HOURS BUT NOT MORE THAN 72 HOURS PRIOR TO CLOSURE. THE ENGINEER SHALL BE GIVEN A LIST OF THE PERSONS THAT WERE GIVEN NOTICES WITH THE DATE OF NOTICE INCLUDED. CLOSURE IS PERMITTED ONLY DURING WORK HOURS AND ACCESS MUST BE RETURNED AT THE FND OF FACH WORKING DAY. PROPERTIES WITH MULTIPLE DRIVES MAY HAVE ONE DRIVE CLOSED AT A TIME, WHILE WORK IS PERFORMED IN THE AREA OF THE CLOSED DRIVE. INDIVIDUAL DRIVE CLOSURES SHALL BE KEPT TO THE MINIMUM TIME NEEDED FOR CONSTRUCTION ACTIVITIES. EVERY EFFORT MUST BE MADE TO ACCOMMODATE THE OWNER'S NEED FOR ACCESS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL MEASURES IN ACCORDANCE WITH COCCMS ITEM 616. DUST CONTROL OPERATIONS SHALL BE PERFORMED ON A PERIODIC BASIS AND/OR AS DIRECTED BY THE CITY ENGINEER TO ALLEVIATE OR PREVENT A DUST NUISANCE ORIGINATING WITHIN THE PROJECT LIMITS. CALCIUM CHLORIDE ON AREAS TO BE SEEDED AND MULCHED WILL NOT BE PERMITTED. THE COST FOR ALL DUST CONTROL MEASURES SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT IMPROVEMENTS.

#### 1.13 MAINTAIN DRAINAGE

THE FLOW IN ALL SEWERS, DRAINS, FIELD TILES AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR. WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR TO A CONDITION SATISFACTORY TO THE CITY

#### 1.14 REPLACEMENT OF DRAIN TILE AND STORM SEWER

ALL DRAIN TILE AND STORM SEWERS DAMAGED, DISTURBED, OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH THE SAME QUALITY PIPE OR BETTER, MAINTAINING THE SAME GRADIENT AS EXISTING. THE DRAIN TILE AND/OR STORM SEWER SHALL BE CONNECTED TO THE CURB SUB-DRAIN, STORM SEWER SYSTEM OR PROVIDED WITH AN OUTLET INTO THE ROADWAY DITCH AS APPLICABLE. REPLACED DRAIN TILE/STORM SEWER SHALL BE LAID ON BEDDING COMPACTED TO 98% MAXIMUM

#### 1.15 DEWATERING

1.15.1 CONTRACTORS INSTALLING ANY WELL, WELL POINT, PIT, OR OTHER DEVICE(S) USED FOR THE PURPOSE OF REMOVING GROUND WATER FROM AN AQUIFER SHALL COMPLETE AND FILE A WELL LOG AND DRILLING REPORT WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES WITHIN 30 DAYS OF THE WELL COMPLETION IN ACCORDANCE WITH THE OHIO REVISED CODE SECTION 1521.16 AND 1524.05. IN ADDITION, ANY SUCH FACILITY SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 1521.15 OF THE OHIO REVISED CODE. FOR COPIES OF THE NECESSARY WELL LOG, DRILLING REPORT, OR REGISTRATION FORMS, CONTACT:

OHIO DEPARTMENT OF NATURAL RESOURCES DIVISION OF WATER

FOUNTAIN SQUARE

COLUMBUS, OHIO 43224-1387 (614) 265-6717

1.13.2 THE CONTRACTOR SHALL BE RESPONSIBLE TO THE ODNR FOR REGISTRY, MAINTENANCE AND ABANDONMENT OF ANY WITHDRAWAL DEVICE USED IN THE CONSTRUCTION OF THIS PROJECT.

1.13.3 ANY WELL, WELL POINT, PIT, OR DEVICE INSTALLED FOR THE PURPOSE OF LOWERING THE GROUND WATER TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL BE PROPERLY ABANDONED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 3745.9.10 OF THE OHIO ADMINISTRATIVE CODE OR IN ACCORDANCE WITH THE PROVISIONS OF THIS

1.13.4 THE OUTLET FOR THE WELL SHALL BE DIRECTED INTO A SUITABLE EROSION CONTROL DEVICE AS APPROVED BY THE CITY ENGINEER.

1.13.5 IF DURING CONSTRUCTION OF THE SEWER, THE WATER WELLS BELONGING TO NEARBY RESIDENCES ARE DEWATERED, THE CONTRACTOR SHALL PROVIDE POTABLE WATER TO THE RESIDENTS. BOTTLED WATER WILL BE PROVIDED IN 4 HOURS AND A 500 GALLON WATER TANK HOOKED UP TO THE EXISTING PLUMBING SYSTEM WILL BE PROVIDED WITHIN 48 HOURS SHOULD WELL SERVICE BECOME DEWATERED. IF THE WELL IS UNABLE TO BE RE-COMMISSIONED AFTER CONSTRUCTION, A TAP TO A WATER LINE SHALL BE PROVIDED IF AVAILABLE OR ANOTHER WELL DUG, AT NO EXTRA COST TO THE RESIDENTS.

IF THE CONTRACTOR INTENDS TO USE BLASTING DURING EXCAVATION, THE BLASTING SHALL BE IN ACCORDANCE WITH THE CITY OF A NEW ALBANY ORDINANCE 1505.

1.17.1 CONTRACTOR REQUIREMENTS (a) THE CONTRACTOR MUST REGISTER WITH THE CITY OF NEW ALBANY AND SHOW ÉVIDENCE OF LIABILITY INSURANCE AND A COPY OF THEIR STATE OF OHIO LICENSE. (b) OBTAIN REQUIRED PERMITS THROUGH THE NEW ALBANY SERVICE DEPARTMENT AND COMMUNITY DEVELOPMENT DEPARTMENT.

### 1.17.2 STREET LIGHT SUBMITTALS

(a) A SITE DEVELOPMENT PLAN MUST BE SUBMITTED BY OHIO REGISTERED ENGINEER TO THE CITY OF NEW ALBANY SERVICE DEPARTMENT FOR PRELIMINARY REVIEW. THE PLANS NEED TO SHOW THE FOLLOWING INFORMATION:

> PROPERTY LINES. UTILITY AND DRAINAGE EASEMENTS.

STORM DRAINS AND CATCH BASINS. STREET LIGHT LAYOUT

(b) SUBMIT THREE (3) COPIES OF THE STANDARD CONSTRUCTION DRAWINGS TO COMMUNITY DEVELOPMENT FOR REVIEW TO RECEIVE APPROVAL. PERMIT MUST BE ISSUED PRIOR TO BEGINNING WORK.

(c) INFORMATION ON THE CONSTRUCTION DRAWINGS ARE TO INCLUDE: LOCATION OF LIGHT POLES, DISCONNECT SWITCH, AND POWER SOURCE. VOLTAGE DROP CALCULATIONS, LOADS, WIRE SIZE, AND OVER-CURRENT PROTECTION.

PHOTO CELL LOCATION SHOWN NEAR OR AT DISCONNECTS. FOUNDATION AND REBAR PLACEMENT DETAILS FOR POLE BASES.

### (a) THE CONTRACTOR MUST SCHEDULE INSPECTIONS THROUGH THE COMMUNITY

(b) THE FOLLOWING INSPECTIONS FROM THE COMMUNITY DEVELOPMENT DEPARTMENT ARE REQUIRED: ROUGH INSPECTIONS

CONDUIT DEPTH. (100% OF CONDUIT MUST BE INSPECTED BEFORE BURIAL) GROUND ROD AND REBAR CONNECTIONS REBAR REINFORCEMENT OF LIGHT POLE FOUNDATION

FINAL CONNECTIONS AT DISCONNECT AND LIGHT POLES. DEMONSTRATE 25 OHMS OR LESS TO THE GROUND OR ADD A SECOND

LIGHT POLE FINISH (SCRATCHES, DENTS OR PAINT DEFECTS) SHALL BE REPAIRED IF DAMAGED.

FINAL INSPECTION DEMONSTRATING THE OPERATION OF ALL LIGHTS

1.17.4 INSTALLATION REQUIREMENTS (a) THIS WORK SHALL CONSIST OF FURNISHING AND INSTALLING ELECTRICAL MATERIALS AND EQUIPMENT COMPLETE AND READY FOR SERVICE, IN REASONABLY CLOSE CONFORMITY WITH LOCATIONS, DIMENSIONS, AND GRADES SHOWN ON THE PLANS OR

AS ORDERED BY THE CITY ENGINEER. THIS WORK SHALL ALSO INCLUDE NECESSARY EXCAVATION AND BACKFILL, AND DISPOSAL OF DISCARDED MATERIALS, AND RESTORATION OF DISTURBED AREAS. (b) FOUNDATIONS SHALL HAVE A SLEEVE FOR THE GROUNDING ELECTRODE CONDUCTOR.

THE CONNECTION TO THE GROUND ROD SHALL BE BY EXOTHERMIC WELDING OR LISTED PRESSURE CONNECTOR. THE GROUND ROD SHALL BE DRIVEN 8 FEET INTO UNDISTURBED EARTH NEXT TO THE POLE BASE.

(c) TRENCHES ADJACENT TO THE PAVEMENT SHALL BE EXCAVATED IN A MANNER THAT WILL PREVENT THE CURB FROM MOVING OR SEPARATING FROM THE ROAD BASE. MINIMUM DISTANCE FROM THE CURB TO THE DITCH SHALL BE 2 FEET. (d) WHERE CONDUIT CROSSES THE STREET, A PULL-BOX SHALL BE INSTALLED ON BOTH

SIDES OF THE STREET AND AT DIRECTIONAL CHANGES MORE THAN 45 DEGREES. NO CONDUIT RUNS TO EXCEED 200' BETWEEN JUNCTION POINTS. (e) <del>CONDUIT SHALL BE SCHEDULE 40 PVC AND SHALL BE AT A DEPTH OF AT LEAST</del>

(f) WHERE, IN THE OPINION OF THE ENGINEER, AN EXCAVATION FOR A FOUNDATION HAS REVEALED AN UNSTABLE CONDITION AT THE BOTTOM OF THE EXCAVATION, THE FOUNDATION SHALL BE DEEPENED OR ENLARGED IN SIZE AS DIRECTED BY THE FNGINFER. PAYMENT FOR ADDITIONAL QUANTITIES OF EXCAVATION AND FOUNDATION CONCRETE REQUIRED BY THE ENGINEER FOR THIS PURPOSE SHALL BE MADE BY THE CONTRACTOR. IF A CAVE-IN SHOULD OCCUR DURING THE EXCAVATION, THE CONTRACTOR MAY CONTINUE EXCAVATION WITH USE OF A CASING, SLEEVES, OR OTHER METHODS, WITH THE APPROVAL OF THE ENGINEER.

(q) <del>ANCHOR BOLTS FOR LIGHT POLES SHALL BE INSTALLED IN THE FOUNDATIONS IN</del> ACCORDANCE WITH APPROVED SHOP DRAWINGS AND ANCHOR BOLT SETTING TEMPLATES. THE TOPS OF FOUNDATIONS SHALL BE FINISHED SMOOTH AND LEVEL. ANCHOR BOLT SETTINGS FOR LIGHT POLES SHALL PROVIDE THAT LIGHT POLES PREDOMINANTLY ILLUMINATING A MAINLINE ROADWAY SHALL BE POSITIONED WITH THE ARM OF THE POLE PERPENDICULAR TO THE LONGITUDINAL CENTERLINE OF THE ROADWAY AT THAT LOCATION. AFTER FORMS HAVE BEEN REMOVED, EXCAVATED SPACES AROUND THE FOUNDATIONS SHALL BE BACKFILLED WITH SUITABLE MATERIALS PLACED AND TAMPED IN THIN LAYERS AS DIRECTED BY THE ENGINEER.

(h)<del>WHEN PULL BOXES ARE INSTALLED IN PAVED AREAS, AN ADEQUATE AREA SHALL BE</del> REMOVED BY SAW CUTTING ON THE SIDES, OR BY REMOVAL BACK TO AN EXPANSION JOINT. THE COVER SURFACE SHALL BE ADJUSTED TO BE SLIGHTLY ABOVE THE SURROUNDING PAVEMENT.

(a) STREET LIGHTING ILLUMINATION AND INSTALLATION SHALL MEET THE NEW ALBANY STANDARDS.

THIS WORK SHALL CONSIST OF FURNISHING AND INSTALLING ELECTRICAL MATERIALS AND EQUIPMENT COMPLETE AND READY FOR SERVICE, IN CONFORMITY WITH THE LOCATIONS, DIMENSIONS, AND GRADES SHOWN ON THE PLANS OR AS ORDERED BY THE ENGINEER. THIS WORK SHALL ALSO INCLUDE NECESSARY EXCAVATION AND BACKFILL, AND DISPOSAL OF DISCARDED MATERIALS, AND RESTORATION OF DISTURBED FACILITIES AND SURFACES.

FACH\_SYSTEM\_SHALL—CONFORM\_AS\_TO\_VOLTAGE\_AMPERAGE\_FREQUENCY AND TYPE AS SPECIFIED BY DESIGN. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTALS NECESSARY TO PROVIDE A COMPLETE AND PRACTICAL WORKING UNIT OR SYSTEM. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND SHALL ALSO CONFORM TO LOCAL LAWS AND CODES GOVERNING SUCH WORK. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED. IN ORDER TO PROVIDE THE NECESSARY REQUIREMENTS FOR THE PROPOSED LIGHTING SYSTEM, THE CONTRACTOR SHALL COOPERATE WITH THE AGENCY WHICH WILL FURNISH ELECTRICAL SERVICE ALSO HEREINAFTER REFERRED TO AS THE SUPPLYING AGENCY.

LIGHT POLES CONFORMING TO APPROVED SHOP DRAWINGS SHALL BE SET IN THE GROUND ERECTED UP ON THE COMPLETED CONCRETE FOUNDATIONS OR OTHER SPECIFIED TYPE OF MOUNTING. LIGHT POLES SHALL BE PLUMBED. AFTER ERECTION, EACH LIGHT POLE SHALL BE ADEQUATELY GROUNDED AND SHALL HAVE HAND-HOLE-COVERS-OR-TRANSFORMER-BASE-DOORS-FASTENED-IN-PLACE. AFTER FRECTION. PAINTED POLES SHALL BE INSPECTED FOR DEFECTS IN THE PAINTED SURFACES MINOR SCRATCHES SHALL BE GIVEN TWO COATS OF MATCHING PAINT. THE SECOND COATS SHALL NOT BE APPLIED UNTIL AFTER THE FIRST COAT HAS <del>ADEQUATELY DRIED. POLES HAVING MAJOR SCRATCHES OR DEFECTS IN THE PAINTED</del> SURFACES WILL NOT BE ACCEPTED.

(4) THE CONTRACTOR SHALL FURNISH ALL OF THE MATERIALS IN ACCORDANCE WITH THE LISTED SPECIFICATIONS. THE EQUIPMENT LIST AND RECEIPTS SHALL BE DELIVERED TO THE SERVICE DEPARTMENT. - A COPY OF THE RECEIPT SHALL BE PROVIDED TO THE CITY ENGINEER.

THE CONTRACTOR SHALL PROVIDE THE REQUIRED NUMBER OF POLES COMPLETE WITH LIGHT FIXTURE, BULB, WIRING, AND PEDESTAL TO THE CITY. THE EQUIPMENT SHALL BE DELIVERED TO THE SERVICE DEPARTMENT AND A COPY OF THE RECEIPT SHALL BE PROVIDED TO THE CITY ENGINEER

(6) STREET FIXTURES SHALL BE CONTROLLED TO OPERATE AT THE SAME TIME <del>WHEN IN CLOSE PROXIMITY OR ON THE SAME STREET IN THE AREAS THEY SERVE</del> SOME AREAS MAY REQUIRE A SINGLE PHOTOCELL FOR EACH LIGHT. WHILE OTHERS MAY BE JOINED TO ONE PHOTOCELL. IN NO CASE SHALL THERE BE MORE THAN 6 LIGHTS-ON-A-PHOTOCELL. THE PHOTO-CONTROLLER SHALL BE PLACED NEAR THE DISCONNECT BOX.

(a) DISCONNECT BOX FOR A 120 RATED CURRENT CIRCUIT SHALL BE MOUNTED TO A 4X6 TREATED LUMBER POLE CONTAINING A CIRCUIT BREAKER AND HAVE A LOCKABLE DOOR. THE BOX NEEDS TO BE A MINIMUM OF 24 INCHES ABOVE FINAL GRADE. DISCONNECT BOX FOR A 480 VOLT CIRCUIT SHALL BE STAINLESS STEEL IN MATERIAL AND MOUNTED TO A CONCRETE FOOTER. THE BOX SHALL BE A MINIMUM OF 30 INCHES TALL, 18 INCHES WIDE, AND 15 INCHES DEEP, THE CONCRETE FOOTER SHALL EXCEED 4 INCHES IN ALL DIRECTIONS BEYOND BASE OF DISCONNECT BOX. THE ACCESS DOOR ON DISCONNECT SHALL BE A MINIMUM OF 16 INCHES WIDE BY 23 INCHES TALL. THE DOOR SHALL HAVE A LATCHING HANDLE THAT CAN BE LOCKED BY PADLOCK, AND HINGED ON ONE SIDE.

(b) WIRING FOR A 120 VOLT CIRCUIT TO THE POLE AND/OR DISCONNECT SHALL BE 6 GAUGE IN SIZE, COPPER CONDUCTOR, AND HAVE A USE JACKETING OR EQUIVALENT THICKNESS. WIRING FOR A 480 VOLT CIRCUIT TO THE POLE AND/OR DISCONNECT SHALL BE 4 GAUGE IN SIZE, COPPER CONDUCTOR, AND HAVE A USE JACKETING OR EQUIVALENT THICKNESS. WIRING GOING UP ALL POLES TO THE LOAD SHALL BE 10 GAUGE STRANDED COPPER WIRE. THE HOT LEAD SHALL HAVE A BLACK JACKET,

A GREEN JACKET. (c) <del>EACH ELECTRICAL CIRCUIT SHALL HAVE A FUSE IN THE POLE BASE. THE FUSE</del> HOLDER MUST BE CAPABLE OF ACCEPTING #6 AWG ON LINE SIDE AND 10 GAUGE ON LOAD SIDE. 480 VOLT CIRCUITS MUST BE CAPABLE OF PASSING POWER TO ANOTHER

NEUTRAL LEAD SHALL HAVE A WHITE JACKET, AND THE GROUND LEAD SHALL HAVE

POLE ON THE LINE SIDE OF THE HOLDER. (d) PULL BOXES IN RESIDENTIAL AREAS SHALL BE 18 INCHES LONG, 12 INCHES WIDE AND 18 INCHES DEEP IN SIZE OR EQUIVALENT. ALL 480 VOLT CIRCUIT PULL BOXES SHALL BE TRAFFIC RATED. THE 480 VOLT BOXES SHALL BE 25 INCHES LONG, 16 INCHES WIDE. AND 18 INCHES DEEP IN SIZE OR EQUIVALENT. ALL PULL BOXES MUST HAVE THE WORD "ELECTRICAL" EMBOSSED ON THE COVER OF THE BOX. PLATES ATTACHED TO THE COVER WILL NOT BE ACCEPTED. ALL PULL BOXES MUST BE A MINIMUM OF CURB HEIGHT OR FINAL GRADE.

THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS UNLESS OTHERWISE NOTED.

1.18.1 A TAP PERMIT FOR DOMESTIC AND COMMERCIAL WATERLINE SERVICES MUST BE

OBTAINED FROM THE CITY OF COLUMBUS AND THE CITY OF NEW ALBANY PRIOR TO MAKING THE TAP INTO THE PUBLIC WATERLINE. 1.18.2 NO SERVICE CONNECTION PERMITS SHALL BE ISSUED OR CONNECTIONS MADE

TO ANY SERVICE TAPS UNTIL WATERLINES HAVE BEEN DISINFECTED (CHLORINATED). 1.18.3 EXCAVATION AND DRIVEWAY PERMIT(S) FOR WORK WITHIN THE PUBLIC

RIGHT-OF-WAY LIMITS SHALL BE OBTAINED FROM THE CITY AS WARRANTED.

1.18.4 NO BUILDING PERMITS WILL BE ISSUED UNTIL ALL PUNCH LIST ITEMS ARE COMPLETED TO THE SATISFACTION OF THE CITY OF NEW ALBANY. DOMESTIC WATERLINE TAPS FOR POTABLE USE AND FIRE SUPPLY AND SANITARY SEWER CONNECTION PERMITS MUST BE COORDINATED WITH THE CITY OF COLUMBUS AND THE CITY OF NEW ALBANY AND ALL ASSOCIATED FEES MUST BE PAID PRIOR TO MAKING THE TAP. WATER SERVICE WILL NOT BE PROVIDED UNTIL ALL LINES HAVE BEEN CHLORINATED.

1.22 CONSTRUCTION LAYOUT GENERAL FIELD LAYOUT CONTROL WILL BE PROVIDED BY THE OWNER. PROVISIONS FOR ALL OTHER CONSTRUCTION STAKING REQUIRED TO ACCOMPLISH THE UTILITY IMPROVEMENTS SHALL BE PERFORMED BY A STATE OF OHIO LICENSED PROFESSIONAL

SURVEYOR IN ACCORDANCE WITH CONTRACT DOCUMENTS.

1.22.1 ALL CONSTRUCTION LAYOUT STAKES (PLACED AT INTERVALS NOT TO EXCEED 50') ARE TO BE SET ON THE OPPOSITE SIDE OF THE TRENCH FROM WHERE THE EXCAVATED SOIL IS PLACED. STAKES ARE TO BE PRESERVED BY THE CONTRACTOR. IF THE ABOVE IS NOT FOLLOWED, WORK SHALL BE SUSPENDED UNTIL THE CONTRACTOR HAS REQUESTED RE-STAKING, STAKES HAVE BEEN REPLACED, AND REVISED CUT SHEETS HAVE BEEN

1.22.2 CONSTRUCTION SHALL NOT BE INITIATED UNTIL CUT SHEETS HAVE BEEN SUBMITTED TO THE CITY ENGINEER'S OFFICE IN DIGITAL FORMAT.

### CLEARING AND GRUBBING

ANY ADDITIONAL CLEARING AND GRUBBING BEYOND THAT PERFORMED AS PART OF THE MASS EXCAVATION SHALL BE INCLUDED AS PART OF THIS PLAN. COSTS ASSOCIATED WITH TREE, BRUSH OR STUMP REMOVAL SHALL BE INCLUDED WITH THE UNIT PRICES FOR THE IMPROVEMENTS. TREES PLANNED TO BE REMOVED SHALL BE SHOWN ON THE PLANS. CITY APPROVAL SHALL BE OBTAINED PRIOR TO REMOVING TREES.

1.23.1 SILT FENCE OR SNOW FENCE SHALL BE USED, IF DEEMED NECESSARY, TO PRESERVE THE MAXIMUM AMOUNT OF EXISTING TREES AND VEGETATION.

1.24 AGGREGATE BASE AND BACKFILL MATERIAL AGGREGATE BASE AND BACKFILL MATERIAL SHALL BE FREE OF RECYCLED CONCRETE RECLAIMED ASPHALT PAVEMENT, BRICK, WOOD OR ANY OTHER DELETERIOUS MATERIAL THAT WOULD PREVENT PROPER COMPACTION FROM BEING ACHIEVED.

#### 1.25 PROHIBITED CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL NOT USE CONSTRUCTION PROCEEDINGS, ACTIVITIES OR

OPERATIONS THAT MAY UNNECESSARILY IMPACT THE NATURAL ENVIRONMENT OR THE PUBLIC HEALTH AND SAFETY. PROHIBITED CONSTRUCTION PROCEEDINGS, ACTIVITIES OR OPERATIONS INCLUDE, BUT ARE NOT LIMITED TO:

(a) DISPOSING OF EXCESS OR UNSUITABLE EXCAVATED MATERIAL IN WETLANDS OR FLOODPLAINS.

EVEN WITH THE PERMISSION OF THE PROPERTY OWNER. b)INDISCRIMINATE, ARBITRARY, OR CAPRICIOUS OPERATION OF EQUIPMENT IN ANY

STREAM CORRIDORS, ANY WETLANDS, ANY SURFACE WATERS, OR OUTSIDE THE EASEMENT LIMITS. (c) PUMPING OF SEDIMENT-LADEN WATER FROM TRENCHES OR OTHER EXCAVATIONS INTO ANY SURFACE WATERS, ANY STREAM CORRIDORS, ANY WETLANDS OR STORM

(d)DISCHARGING POLLUTANTS SUCH AS CHEMICALS, FUEL, LUBRICANTS, BITUMINOUS MATERIALS. RAW SEWAGE, AND OTHER HARMFUL WASTE INTO OR ALONGSIDE OF RIVERS, STREAMS, IMPOUNDMENTS OR INTO NATURAL OR MAN-MADE CHANNELS

(e) PERMANENT OR UNSPECIFIED ALTERATION OF FLOW LINE OF A STREAM. f) DAMAGING VEGETATION OUTSIDE OF THE CONSTRUCTION AREA. a) DISPOSAL OF TREES. BRUSH AND OTHER DEBRIS IN ANY STREAM CORRIDORS. AN

WETLANDS, AND SURFACE WATER, OR AT UNSPECIFIED LOCATIONS. (h) OPEN BURNING OF PROJECT DEBRIS WITHOUT A PERMIT. STORING CONSTRUCTION EQUIPMENT AND VEHICLES AND/OR STOCK PILING CONSTRUCTION MATERIALS ON PROPERTY, PUBLIC OR PRIVATE, NOT PREVIOUSLY

(a) THE CONTRACTOR WILL PROVIDE CLEAN FILL AND TOP SOIL THAT DOES NOT CONTAIN OIL/GREASE OR OTHER REGULATED CHEMICAL CONTAMINANTS.

SPECIFIED BY THE CITY ENGINEER FOR SAID PURPOSE.

SANITARY SEWER SYSTEM ARE PROHIBITED ON THIS PROJECT.

#### 2.0 SANITARY SEWER

2.1 CLEAN WATER CONNECTIONS PROHIBITED ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE

SERVICE RISERS, ITEM 914, SHALL BE INSTALLED WHERE DEPTH FROM THE WYE FITTING TO THE EXISTING OR PROPOSED SURFACE ELEVATION EXCEEDS 10 FEET. TOP OF RISER SHALL BE NO MORE THAN 9 FEET +/- BELOW EXISTING OR PROPOSED SURFACE ELEVATION, WHICHEVER IS HIGHER.

#### 2.3 SANITARY SERVICES

2.3.1 ALL SANITARY SERVICES SHALL BE A MINIMUM OF 2.08% GRADE (1/4" PER FOOT). 2.3.2 ALL SANITARY SEWER LINES INSTALLED ON THIS PROJECT SHALL BE IN ACCORDANCE WITH CMSC ITEM 901 & ASTM D-2321, OR APPROVED EQUAL. MINIMUM REQUIREMENTS FOR SANITARY SEWER ON THE PROJECT SHALL BE PVC SEWER PIPE ASTM D-3034 OR HIGH DENSITY HDPP ASTM F-2736 & F-2764. ALL JOINTS SHALL BE

2.3.3 ALL SANITARY SEWER INCLUDING SERVICE LINES SHALL BE SUBJECT TO AND PASS INFILTRATION OR EX-FILTRATION TESTS ACCORDING TO CMSC ITEM 901.20 AND MUST BE APPROVED FOR USE BY THE CITY ENGINEER BEFORE ANY SERVICE CONNECTIONS ARE TAPPED INTO SEWERS. REFER TO ITEM 901.20 (3) FOR SANITARY MANHOLE TESTING REQUIREMENTS. ALL SANITARY SEWER LIDS SHALL BE STAMPED SANITARY SEWER.

GASKETED INTEGRAL BELL & SPIGOT IN ACCORDANCE WITH ASTM D-3212.

2.3.4 EXISTING MANHOLE SHALL BE CORE CUT TO ACCEPT PROPOSED SANITARY SEWER. ALL MANHOLES SHALL BE TESTED IN ACCORDANCE WITH CMSC ITEM 901.20. 2.3.5 ALL PRECAST PRODUCTS SHALL BE INSPECTED AT THE LOCATION OF MANUFACTURE (REFER TO NOTE BLOCK 4).

2.4 DEFLECTION TESTING ALL SEWER LINES INSTALLED ON THIS PROJECT USING P.V.C., HDPE OR HDPP PIPE WIL BE DEFLECTION TESTED BY PULLING AN APPROVED MANDREL EQUAL IN DIAMETER TO 95% OF THE PIPE DIAMETER THROUGH THE PIPE AFTER PIPE IS BACKFILLED AND A SUFFICIENT AMOUNT OF TIME IS ALLOWED FOR WEIGHT TRANSFER OF THE BACKFILL TO THE PIPE AND BEDDING, AS REQUIRED UNDER CMSC ITEM 901.21. TESTING SHALL BE PERFORMED NO SOONER THAN 30 DAYS AFTER INSTALLATION AND BACKFILLING.

CUT OFF TRENCH DAMS, IN ACCORDANCE WITH ITEM 901.11, SHALL BE CONSTRUCTED BETWEEN EACH PAIR OF MANHOLES.

TEMPORARY BULKHEADS SHALL BE PLACED WHERE INDICATED ON THE PLANS, AND SHALL REMAIN IN PLACE UNTIL REMOVAL IS DIRECTED BY THE CITY ENGINEER.

WYE POLES SHALL BE PLACED AT THE END OF SANITARY SERVICE LATERALS AND AT THE END OF STUB MAINLINES ENDING 5 FEET OR MORE FROM A MANHOLE. THE WYE POLE SHALL BE PLACED FROM THE PIPE TO AT LEAST THREE FEET ABOVE THE PROPOSED GRADE. A 2 FOOT LONG MINIMUM SECTION OF REBAR SHALL BE PLACED VERTICALLY ALONGSIDE THE WYE POLE 6 INCHES BELOW THE PROPOSED GRADE. THE REBAR SHALL NOT BE FASTENED IN ANY WAY TO THE WYE POLE.

2.8 MANHOLE CORING THE CONTRACTOR SHALL FURNISH ALL MATERIAL, EQUIPMENT, AND LABOR TO MAKE CONNECTIONS TO EXISTING MANHOLES. THE SEWER PIPE TO MANHOLE CONNECTIONS FOR ALL SANITARY SEWERS SHALL BE FLEXIBLE AND WATERTIGHT. ALL HOLES SHALL BE NEATLY CORED. THE SEWER PIPE BARREL AT THE SPRINGLINE SHALL NOT EXTEND MORE THAN 1-INCH BEYOND THE INSIDE FACE OF THE MANHOLE. ANY METAL THAT IS USED

1. RUBBER SLEEVE WITH STAINLESS STEEL BANDING. a.KOR-N-SEAL AS MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS b.LOCK JOINT FLEXIBLE MANHOLE SLEEVE AS MANUFACTURED BY INTERPACE CORPORATION. c.OR EQUAL AS APPROVED BY THE CITY ENGINEER.

SHALL BE TYPE 300 SERIES STAINLESS STEEL. THE CONNECTION MAY BE ANY OF THE

2. RUBBER GASKET COMPRESSION. a.PRESS WEDGE II AS MANUFACTURED BY PRESS-SEAL GASKET CORPORATION. b.DURA SEAL III AS MANUFACTURED BY DURA TECH, INC. c.LINK-SEAL AS MANUFACTURED BY THUNDERLINE CORPORATION. d.OR EQUAL AS APPROVED BY THE CITY ENGINEER.

### 3.0 STREETS

FOLLOWING

3.1 CONCRETE BASE CONSTRUCTION IN ADDITION TO THE REQUIREMENTS SET FORTH IN THE CITY OF COLUMBUS SPECIFICATIONS, THE FOLLOWING SHALL APPLY: a)NO WATER SHALL BE ADDED TO THE CONCRETE WHILE IN THE MIXERS UNLESS

SPECIFICALLY AUTHORIZED BY THE CITY ENGINEER OR HIS REPRESENTATIVE. b)SUBGRADE SHALL BE AT PROPER MOISTURE CONTENT PRIOR TO BASE CONSTRUCTION. WATER SHALL BE ADDED TO THE SUBBASE IF NECESSARY. c)CONCRETE EXCEEDING A 4" SLUMP OR BEING ON THE TRUCK FOR 60 MINUTES OR MORE WILL BE REJECTED FROM THE PROJECT.

3.2 STREET PRE-CONSTRUCTION CONFERENCE PRIOR TO STREET CONSTRUCTION A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY HALL WITH THE OWNER AND SUPERINTENDENT/FOREMEN OF THE BASE, CURB AND ASPHALT SUB-CONTRACTORS. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED BY THE CONTRACTOR FOR 48 HOURS PRIOR TO THE POURING OF THE CURB. THE PURPOSE OF THE MEETING IS TO ENSURE A 6" CURB HEIGHT IS PROVIDED UPON THE COMPLETION OF THE STREET SYSTEM.

3.3 TRANSVERSE & LONGITUDINAL JOINTS 3.3.1 TRANSVERSE CONTRACTION AND LONGITUDINAL JOINTS SHALL BE CONSTRUCTED AS PER 305.01 PARAGRAPH (C) & (D). (INCLUDING 26' PAVEMENT)

3.3.2 NO TRANSVERSE JOINTS SHALL BE PERMITTED ADJACENT TO A NEW PAVEMENT SURFACE WHICH IS MORE THAN 24 HOURS OLD, WEATHER PERMITTING, EXCEPT FOR JOINTS WHICH HAVE EXISTED OVER WEEKENDS AND HOLIDAYS. THE SURFACE COURSE SHALL BE CONTINUOUS TO THE EXISTING PAVEMENT SURFACE.

3.3.3 THE CONTRACTOR SHALL PROVIDE A WRITTEN PROCEDURE ON HOW HE/SHE INTENDS TO CONSTRUCT THE FINAL TWO COURSES OF ASPHALT PRIOR TO CÓNSTRUCTION FOR APPROVAL BY THE CITY ENGINEER. THE PROCEDURE SHOULD INCLUDE SPECIFICS

FOR CONSTRUCTION OF INTERSECTIONS. WHEN CONSTRUCTING THE PAVEMENT (CONCRETE BASE TO ASPHALT COURSES) THE CONTRACTOR SHALL ENSURE THAT A 6" HEIGHT CURB IS AVAILABLE UPON COMPLETION

HEIGHT. ALL COSTS ASSOCIATED WITH THE ABOVE SHALL BE BORNE BY THE

OF STREET CONSTRUCTION. THE CITY MAY REQUIRE THIS CURB TO BE REMOVED AND

RECONSTRUCTED IF THIS HEIGHT DEVIATES MORE OR LESS THAN 1/2" OF THE 6" REQUIRED

## CONTRACTOR.

THE CONTRACTOR, THIRTY (30) DAYS PRIOR TO PROJECT ACCEPTANCE BY CITY COUNCIL OR AS DIRECTED BY THE CITY ENGINEER AND WEATHER PERMITTING SHALL CRACK SEAL ALL PAVEMENT CRACKS AS DIRECTED BY THE CITY ENGINEER. THE CRACK SEAL SHALL BE IN ACCORDANCE WITH ITEM 423. IF ACCEPTANCE OCCURS IN WINTER MONTHS, CRACK SEAL MAY BE DELAYED UNTIL WEATHER PERMITS.

ASPHALT SHALL NOT BE PLACED IN THE PAVEMENT RELIEF JOINTS UNTIL PERMANENT OR TEMPORARY STREET SIGNS ARE ERECTED.

3.7 CURB STAMPS DURING INSTALLATION, CURB SHALL BE STAMPED WITH THE FOLLOWING SYMBOLS AT THE NOTED UTILITIES:

"X" - UTILITY CROSSING "T" - SUMP PUMP JUNCTION BOX "W" - WATER SERVICE

3.6 PAVEMENT RELIEF JOINTS

"WV" - WATER VALVE "S" - SANITARY SEWER CROSSING

3.8 SUMP PUMP JUNCTION BOXES 3.8.1 SUMP PUMP JUNCTION BOXES SHALL BE INSTALLED PRIOR TO INSTALLATION OF

3.8.2 SUMP PUMP JUNCTION BOXES SHALL BE LOCATED AT LEAST 5 FEET HORIZONTALLY

FROM WATER AND SANITARY SERVICES." 3.8.3 ANY DETERIORATED PAVEMENT AT EXISTING STREET CONNECTION SHALL BE SAW CUT, REMOVED, AND REPLACED AS PER CITY OF COLUMBUS STANDARD DRAWING 2130

DR. A. LOCATION OF THE SAW CUT SHALL BE DETERMINED BY THE CITY ENGINEER.

TYPE A DETECTABLE WARNING SHALL BE INSTALLED AS PER COC STD. DWG. 2319.

VERTICAL SURFACE OF EXISTING PAVEMENT AT CONNECTION SHALL BE TACKED. CRACK SEALING, HOT APPLIED TYPE 1 SHALL BE APPLIED TO THE SEAM.

#### MATERIAL SHALL BE PRE-CAST MANUFACTURED 4"X8"X2.25" RED CLAY BRICK.

4.0 STORM SEWER

4.1 STORM SEWER PIPE AND STRUCTURES

4.1.1 PIPE SPECIFICATION FOR THE PLAN IMPROVEMENTS MAY BE IN ACCORDANCE WITH THE FOLLOWING (EXCEPT AS DESIGNATED WITHIN THE PROFILES.)

A) REINFORCED CONCRETE PIPE ASTM C-76 (CMSC 706.02). CONCRETE CLASSIFICATION SHALL BE IN CONFORMANCE WITH THE FOLLOWING UNLESS OTHERWISE

REFERENCED BY THE PROFILES. 12" –15" DIAMETER CLASS IV – 18" – 24" DIAMETER CLASS III

ODOT 707.65), OR

- 27" AND LARGER DIAMETER CLASS II, OR

DIRECTED BY THE CITY ENGINEER, OR

CONSTRUCTION INSPECTION DIVISION

CITY OF COLUMBUS

UNDERDRAIN OUTLETS.

B) HIGH DENSITY POLYPROPYLENE, HDPP 12" - 60" POLYPROPYLENE DOUBLE WALL ASTM F 2736 12" THRU 30" AND ASTM F- 2881 36" THRU 60" WITH INTEGRAL BELL & SPIGOT MEETING THE WATERTIGHT REQUIREMENTS OF ASTM D 3212 (CMSC 720.13 &

C) SMOOTH-LINED CORRUGATED POLYETHYLENE PIPE (CMSC ITEM 720.12) (HANCOR HI-Q, ADS N-12, OR EQUAL). EXCEPT ANY SEWERS WITHIN PUBLIC R/W OR AS

D) P.V.C. SEWER PIPE ASTM D3034 WITH JOINTS AS PER ASTM D3212. PVC SEWER PIPE PLACEMENT SHALL BE LIMITED TO SEWERS THROUGH 10" DIAMETER.

THE CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION TO THE ENGINEER REFLECTING THE PIPE MATERIAL TO BE USED ALONG WITH THE CURRENT CITY CONSIGNMENT LIST IDENTIFYING THE APPROVED PIPE MATERIAL SPECIFICATION. 4.1.3 ALL BEDDING SHALL BE IN ACCORDANCE WITH STANDARD DRAWING AA-S151 FOR

FLEXIBLE PIPE SEWER. 4.1.4 THE COST OF COMPACTED BACKFILL SHALL BE INCLUDED IN UNIT PRICE BID FOR ITEM 901. CONCRETE ENCASEMENT WILL BE REQUIRED (CCMS 901.12) WHERE 30" OF

RIGID PIPE SEWER AND IN ACCORDANCE WITH STANDARD DRAWING AA-S149 FOR

4.1.5 ALL MANHOLE CASTINGS SHALL BE STAMPED STORM. TEMPORARY CASTING TOPS MAY BE USED UNTIL SUCH ARE MADE AVAILABLE.

COVER IS NOT MAINTAINED. COST TO BE INCLUDED IN UNIT PRICE BID FOR ITEM 901.

4.1.6 ALL PRE-CAST CONCRETE PRODUCTS SHALL BE INSPECTED AT THE LOCATION OF MANUFACTURE. APPROVED PRE-CAST CONCRETE PRODUCTS MUST BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT INSPECTION HAS BEEN PERFORMED BY THE CITY OF COLUMBUS. PRE-CAST CONCRETE PRODUCTS WITHOUT PROOF OF INSPECTION SHALL NOT BE APPROVED FOR INSTALLATION.

4.1.7 THE CONTRACTOR SHALL SUBMIT A COPY OF THE PLANS AND A LIST OF PROPOSED PRE-CAST CONCRETE PRODUCT MANUFACTURES TO THE CITY OF COLUMBUS CONSTRUCTION INSPECTION DIVISION BEFORE COMMENCING CONSTRUCTION. SEND THE INFORMATION TO THE FOLLOWING ADDRESS:

1800 FAST 17TH AVENUE COLUMBUS, OHIO 43219 4.1.8 OPENINGS SHALL BE PROVIDED IN THE DRAINAGE STRUCTURES TO ACCOMMODATE

4.1.9 ALL STORM STRUCTURES WITH A DEPTH GREATER THAN FOUR FEET SHALL HAVE STEPS (AA-S119) INSTALLED AT 16" INTERVALS MAXIMUM.

4.1.10 ALL STANDARD CATCH BASINS AND CURB INLETS WITHIN PAVED AREAS ARE TO

HAVE BICYCLE SAFE GRATES. 4.1.11 WHEN A NEW ROADWAY IS TO ADJOIN AN EXISTING ROADWAY ANY EXISTING UNDERDRAIN IS TO BE MAINTAINED, OR REPLACED IF NOT FUNCTIONAL. A RELIEF JOINT

SHALL BE CONSTRUCTED AT THE INTERSECTION OF THE EXISTING AND NEW ROAD. 4.1.12 ALL EXISTING INVERTS ALONG WITH THE PROPOSED TOP OF CASTING ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE SEWER.

4.1.13 WITHIN PROPOSED ROADWAY SECTIONS THAT INCLUDE STRAIGHT 18" CONCRETE CURB, ALL FRAMES AND GRATES FOR CURB AND GUTTER INLETS SHALL BE PER EAST JORDAN 7505 SERIES OR APPROVED EQUAL.

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SUBMITTAL DATE: 7/24/2023

SHEET NUMBER

KHA PROJECT NO.

190164002

#### 4.0 STORM SEWER (CONT.)

4.2 SEWER INSPECTION

4.2.1 THE CONTRACTOR SHALL ENSURE THERE IS A SURVEYOR'S LEVEL AND ROD ON THE PROJECT FOR USE IN PERFORMING GRADE CHECKS WHENEVER SEWER LINE STRUCTURES OR PIPE ARE BEING INSTALLED. THE CONTRACTOR SHALL MAKE THIS EQUIPMENT AVAILABLE FOR THE USE OF AND ASSIST THE CITY INSPECTOR IN PERFORMING GRADE CHECKS WHEN REQUESTED BY THE INSPECTOR. THE INSPECTOR WILL MAKE ALL REASONABLE ATTEMPTS TO CONFINE REQUESTS FOR ASSISTANCE IN PERFORMING GRADE CHECKS TO TIMES CONVENIENT TO THE CONTRACTOR.

4.2.2 THESE CHECKS WILL BE PERFORMED TO ENSURE THE FOLLOWING:

- PROPER PLACEMENT OF EACH STRUCTURE. PROPER INSTALLATION OF INITIAL RUNS OF PIPE FROM A STRUCTURE. GRADE, AFTER AN OVERNIGHT OR LONGER SHUTDOWN. GRADE, AT ANY OTHER TIME THE INSPECTOR HAS REASON TO QUESTION
- 4.2.3 GRADE CHECKS PERFORMED BY THE CITY INSPECTOR IN NO WAY RELIEVE THE CONTRACTOR FOR THE ULTIMATE RESPONSIBILITY TO ENSURE CONSTRUCTION TO THE PLAN GRADE.

4.2.4 AT THE REQUEST OF THE CITY ENGINEER. THE CONTRACTOR SHALL REMOVE 36" STORM SEWER CASTINGS FOR INSPECTION DURING CONSTRUCTION AND FOR FINAL INSPECTION.

₹ 4.2.5 DEFLECTION TESTING

GRADE OF INSTALLATION.

ALL SEWER LINES INSTALLED ON THIS PROJECT USING P.V.C., HDPP, OR H.D.P.E. PIPE WILL BE DEFLECTION TESTED BY PULLING AN APPROVED MANDREL EQUAL IN DIAMETER TO 95% OF THE PIPE DIAMETER THROUGH THE PIPE AFTER PIPE IS BACKFILLED AND A SUFFICIENT AMOUNT OF TIME IS ALLOWED FOR WEIGHT TRANSFER OF THE BACKFILL TO THE PIPE AND BEDDING, AS REQUIRED UNDER CMSC ITEM 901.21. TESTING SHALL BE PERFORMED NO SOONER THAN 30 DAYS AFTER INSTALLATION AND BACKFILLING.

#### 5.0 WATER LINE

5.1 ALL WATER LINE AND FIRE HYDRANT CONSTRUCTION, MATERIAL AND SPECIFICATION SHALL BE IN ACCORDANCE WITH "CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS" 2018 FOITION AND ALL REVISIONS INCLUDING SUPPLEMENTS AND CITY OF NEW ALBANY REQUIREMENTS INCLUDING CHAPTER 939 OF THE CITY CODE. WATER ≝MAIN MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT RULES, REGULATIONS AND STANDARD DRAWINGS OF THE CITY OF COLUMBUS, DIVISION OF

5.2 FOR ANY EMERGENCIES INVOLVING THE WATER DISTRIBUTION SYSTEM, PLEASE CONTACT THE DIVISION OF WATER DISTRIBUTION MAINTENANCE OFFICE AT 614-645-7788.

5.3 EACH FIRE HYDRANT SHALL BE ACCEPTABLE TO THE CITY OF NEW ALBANY WITH TWO (2) 2-1/2" SIDE NOZZLES AND ONE (1) 5" INTEGRATED STORZ FITTING IN PLACE OF PUMPER NOZZLE (NO ADD-ON FITTINGS) IN ACCORDANCE WITH NEW ALBANY FIRE SPECIFICATIONS. HYDRANTS SHALL BE IN ACCORDANCE WITH THE CCMS. -ALL PUBLIC HYDRANTS-AND-NOZZLES-SHALL-RECEIVE-2-COATS-OF-NEW-ALBANY-RED-(FEDERAL COLOR BOOK 595, COLOR 11105). PRIVATE FIRE HYDRANTS SHALL BE PAINTED RED WITH

WHITE CAPS AND BONNETS. AN ADDITIONAL FIRE HYDRANT FOR FUTURE MAINTENANCE PURPOSES SHALL BE DELIVERED TO THE PUBLIC SERVICE DEPARTMENT BUILDING LOCATED <del>- AT - 7800 - BEVELHYMER - ROAD. - NEW - ALBANY. - OH - 43054 - (RESIDENTIAL - SUBDIVISION</del> PROJECTS ONLY). PRIOR TO FINAL ACCEPTANCE, FIRE HYDRANTS SHALL BE INSPECTED AND ACCEPTED BY THE MONROE FIRE DEPARTMENT AND THE PUBLIC SERVICE <del>DEPARTMENT BUILDING LOCATED AT 7800 BEVELHYMER ROAD, NEW ALBANY. OH 43054.</del> THESE INSPECTIONS WILL BE SCHEDULED BY CONTACTING THE NEW ALBANY BUILDING DEPARTMENT AT (614) 939-2254. ALL BRASS FITTINGS ASSOCIATED WITH WATER WORK. INCLUDING REPAIRS TO THE EXISTING SYSTEM, SHALL CONFORM TO THE REVISED ALLOWABLE LEAD EXTRACTION LIMIT PER THE UPDATED NSF/ANSI 61 STANDARD. THE DIVISION OF WATER'S APPROVED MATERIALS LIST HAS BEEN UPDATED TO REFLECT THIS REQUIREMENT.

5.4 NO WATER SERVICE CONSTRUCTION BEFORE OR AFTER THE WATER METER SHALL BEGIN UNTIL PERMITS ARE ISSUED BY THE CITY OF COLUMBUS DIVISION OF WATER. IT ₹ SHALL BE UNLAWFUL FOR ANY PERSON TO PERFORM ANY WORK ON CITY OF COLUMBUS WATER LINE SYSTEMS WITHOUT FIRST SECURING LICENSE TO ENGAGE IN SUCH WORK, AS INDICATED IN COLUMBUS CITY CODE SECTION 1103.02 AND 1103.06. THIS WORK INCLUDES ANY ATTACHMENTS, ADDITIONS TO OR ALTERATIONS IN ANY CITY SERVICE PIPE OR APPURTENANCES (INCLUDING WATER SERVICE LINES AND TAPS). THIS REQUIREMENT MAY BE MET BY UTILIZATION OF A SUBCONTRACTOR WHO HOLDS A CITY OF COLUMBUS WATER CONTRACTOR LICENSE OR A COMBINED WATER/SEWER CONTRACTOR LICENSE TO PERFORM THIS WORK. UTILIZATION OF A SUBCONTRACTOR MUST MEET THE LICENSING REQUIREMENTS OF CITY OF COLUMBUS BUILDING CODE, IN PARTICULAR SECTION 4114.119 AND 4114.529.

5.5 WATER SERVICE TAPS 2" AND SMALLER SHALL BE TYPE K, SOFT TEMPER COPPER TUBING CONFORMING WITH THE REQUIREMENTS OF 805.03 OF THE CMSC. THE CONTRACTOR SHALL OBTAIN THE PROPER HYDRANT PERMIT(S), AND PAY ANY APPLICABLE FEES. FOR ANY APPROVED HYDRANT USAGE DEEMED NECESSARY FOR WORK UNDER THIS IMPROVEMENT. PERMITS MUST BE OBTAINED FROM THE NEW ALBANY BUILDING DEPARTMENT PRIOR TO CONTACTING THE DIVISION OF WATER PERMIT OFFICE (645-7330). THE CONTRACTOR SHALL ADHERE TO ALL RULES & REGULATIONS GOVERNING SAID PERMIT AND MUST HAVE THE ORIGINAL PERMIT ON SITE ANYTIME IN WHICH THE HYDRANT IS IN USE. COST TO BE INCLUDED IN THE VARIOUS BID ITEMS.

5.6 ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH SECTION 801.15 OF THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS. SPECIAL # ATTENTION IS DIRECTED TO APPLICABLE SECTIONS OF AWWA C-651. WHEN WATER MAINS ARE READY FOR DISINFECTION, THE CONTRACTOR SHALL SUBMIT THE SURVEY COORDINATES TO THE DESIGN ENGINEER FOR PREPARATION OF DIGITAL AS—BUILT DRAWINGS. THE DESIGN ENGINEER SHALL THEN SUBMIT THREE (3) SETS OF THE RED LINED "AS-BUILT" PLANS (WITH SURVEY COORDINATES) TO THE CITY ENGINEER. THE CITY OF NEW ALBANY SHÀLL SUBMIT A LETTER STATÍNG THAT THE WATERLINES HAVE BEEN PRESSURE TESTED AND NEED TO BE DISINFECTED TO THE CITY OF COLUMBUS, <sup>5</sup> DIVISION OF WATER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS SASSOCIATED WITH THE DISINFECTION OF ALL WATER MAINS CONSTRUCTED UNDER THIS PLAN. ALL WATER MAINS SHALL BE CLEANED AND FLUSHED, AND ANY WATER MAIN ₹12-INCH AND LARGER MUST BE PROPERLY PIGGED. IN ACCORDANCE WITH SECTION ₽ 801.13 OF THE CITY OF COLUMBUS, CONSTRUCTION, AND MATERIAL SPECIFICATIONS. ONLY ONE CONNECTION TO AN EXISTING WATER LINE IS PERMITTED BEFORE DISINFECTION OF A The state of the s 2 THE LINE HAS BEEN DISINFECTED.

THE CONTRACTOR AND REPRESENTATIVES FROM THE CITY OF NEW ALBANY SHALL MEET WITH COC/DOW STAFF PRIOR TO INSTALLING BLOW-OFFS AND TAPS TO OBTAIN PRF-APPROVAL.

5.6.1.1 ANY SECTION OF WATER MAIN THAT IS LONGER THAN 20 FEET IN LENGTH SHALL BE CHLORINATED. HAND SWABBING METHODS WILL ONLY BE PERMITTED FOR SECTIONS "LESS THAN OR EQUAL TO 20 FEET IN LENGTH. USE UNSCENTED HOUSEHOLD BLEACH FOR HAND SWABBING OF PIPE AND FITTINGS. PLEASE NOTE THAT CUT-IN TEES, SLEEVES, AND ANY OTHER REQUIRED FITTINGS OR PIPING SHALL BE TAKEN INTO ACCOUNT AND ARE INCLUDED IN THE TOTAL LENGTH OF THE SECTION (CUT TO CUT).

5.6.1.2 CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE OHIO ADMINISTRATIVE CODE CHAPTER 3745-83.02 WATER DISRUPTION OF SERVICE RULE. EXCAVATE PITS SUFFICIENTLY BELOW THE AREA TO BE CONNECTED IN ORDER TO MAINTAIN WATER LEVELS BELOW THE WATER MAIN. IF WATER FROM THE PIT ENTERS THE FXISTING MAIN. CONTACT THE DIVISION OF WATER IMMEDIATELY. FNSURE THAT SUFFICIENTLY SIZED PUMPS ARE UTILIZED TO REMOVE WATER FROM THE TRENCH AND ÉBACK-UP PUMPS ARE KEPT ON SITE FOR REDUNDANCY.

5.7 ALL WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH SECTION 3801.14 OF THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS. WITH THE FOLLOWING EXCEPTION: 150 PSI OF PRESSURE SHALL BE MAINTAINED FOR AT LEAST TWO HOURS IN ANY TESTED SECTION. THE CITY MAY NOT APPROVE ANY TEST LASTING LESS THAN TWO HOURS REGARDLESS OF THE AMOUNT OF LEAKAGE.

5.8 WHERE INDICATED ON THE PLANS. THE EXISTING WATER MAIN SHALL BE ABANDONED: AND ANY EXISTING WATER SERVICES OFF THIS MAIN SHALL BE TRANSFERRED TO THE NEW WATER MAIN. PRIOR TO ABANDONMENT OF THE EXISTING WATER MAIN, THE PROPOSED WATER MAIN SHALL BE PIGGED (IF REQUIRED). TESTED. CHLORINATED AND PUT IN SERVICE AND THEN THE EXISTING WATER SERVICES SHALL BE TRANSFERRED. THE CONTRACTOR SHALL MAINTAIN WATER SERVICES TO ALL PROPERTIES DURING CONSTRUCTION OF THE NEW WATER MAIN AND SHALL NOTIFY ALL CUSTOMERS AFFECTED ' BY-- THE-- TRANSFER-- OF-- SERVICES.-- TO-- ENSURE-- THAT-- ALL-- EXISTING-- SERVICES-- ARE-TRANSFERRED TO THE NEW MAIN. NO WATER MAIN SHALL BE ABANDONED UNTIL THE NEW WATER MAIN HAS BEEN PUT IN SERVICE: ALL AFFECTED WATER SERVICES HAVE BEEN TRANSFERRED: AND THE EXISTING WATER MAIN TO BE ABANDONED HAS BEEN SHUT DOWN FOR 24 HOURS. ALL VISIBLE VALVE BOXES, FIRE HYDRANTS, AND SERVICE BOXES ON THE WATER MAIN TO BE ABANDONED, WHICH WILL NO LONGER BE IN SERVICE, SHALL BE REMOVED. ALL WATER MAINS TO BE ABANDONED SHALL BE MADE WATER TIGHT. THE REQUIRED SURFACE RESTORATION SHALL BE PAID FOR UNDER THE

APPROPRIATE BID ITEM(S).

5.9 WATER SERVICE BOXES SHALL BE PLACED 1' FROM THE EDGE OF THE PROPOSED OR EXISTING SIDEWALK BETWEEN THE SIDEWALK AND THE CURB, OR 2 FEET INSIDE THE RIGHT-OF-WAY OR EASEMENT LINE WHEN NO SIDEWALK IS PRESENT OR PROPOSED. REFER TO STANDARD DRAWING L-9901 FOR ADDITIONAL INFORMATION.

5.10 MAINTAIN EIGHTEEN (18) INCHES VERTICAL AND TEN (10) FEET HORIZONTAL SEPARATION BETWEEN ANY SANITARY OR STORM SEWER PIPING AND ALL PROPOSED

5.11 WHEN CONTROLLED DENSITY FILL (ITEM 613, TYPE 3 ONLY WITHIN PUBLIC R/W) IS TO BE USED AS BACKFILL, THE CONTRACTOR SHALL PROVIDE SIZE NO. 57 CRUSHED CARBONATE STONE (CCS) 1 FOOT BELOW TO 1 FOOT ABOVE THE EXISTING WATER LINE.

5.12 ALL WATER LINES INSTALLED WITHIN A 45 DEGREE INFLUENCE PLAIN OF PAVEMENT SHALL BE BACKFILLED WITH ITEM 912 (TYPE 1 ONLY) COMPACTED GRANULAR BACKFILL.

5.13 SURVEY COORDINATES "SURVEY COORDINATES" SHALL INCLUDE ALL MATERIAL, EQUIPMENT, AND LABOR NECESSARY TO OBTAIN HORIZONTAL AND VERTICAL (NORTHING, EASTING, AND ELEVATION) SURVEY COORDINATES FOR THE WATER MAIN IMPROVEMENTS. THE SURVEY COORDINATES SHALL BE OBTAINED FOR THE COMPLETED WATER MAIN CONSTRUCTION AND SHALL INCLUDE ALL VALVES, TEES, CROSSES, BENDS, DEFLECTIONS, PLUGS, REDUCERS, TAPPING SLEEVES, BLOW OFFS, CHLORINATION TAPS, FIRE HYDRANTS, AIR RELEASES, CURB STOPS, CASING PIPE TERMINI. AND OTHER FITTINGS. ADDITIONAL SURVEY COORDINATES ARE REQUIRED ON THE WATER MAIN EVERY 200' WHERE NO FITTING OR OTHER WATER MAIN STRUCTURE IS BEING INSTALLED WITHIN THAT LENGTH OF THE IMPROVEMENT.

ALL SURVEY COORDINATES SHALL BE REFERENCED TO THE APPLICABLE COUNTY ENGINEER'S MONUMENTS, AND SHALL BE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83) WITH THE NSRS2007 ADJUSTMENT, WITH FURTHER REFERENCE MADE TO THE OHIO STATE PLANE SOUTH COORDINATE SYSTEM, SOUTH ZONE, WITH ELEVATIONS BASED ON NAVD 88 DATUM. ALL COORDINATES (NORTHING, EASTING, ELEVATION) SHALL BE REFERENCED TO THE NEAREST HUNDREDTH (NXXXXXX,XX,EXXXXXXXX, ELEV. XXX.XX). ALL SURVEY COORDINATES SHALL BE ACCURATE TO WITHIN 1.0 FOOT HORIZONTAL AND A TENTH OF A FOOT (0.10) OR LESS VERTICAL.

THE COORDINATES SHALL BE DOCUMENTED TO THE MUNICIPALITY ENGINEER OR DESIGNATED REPRESENTATIVE IN DIGITAL SPREADSHEET FORM AND SHALL INCLUDE THE APPLICABLE ITEM, STATION, NORTHING, EASTING, AND ELEVATION. COORDINATES SHALL BE SUBMITTED TO THE MUNICIPALITY ENGINEER OR DESIGNATED REPRESENTATIVE ON A BI-WEEKLY BASIS. COORDINATES SHALL ALSO BE SUBMITTED TO THE DIVISION OF POWER AND WATER AS PART OF THE REQUEST FOR CHLORINATION (SEE NOTE BLOCK

LUMP SUM PAYMENT IS FULL COMPENSATION FOR ALL WORK INVOLVED IN OBTAINING AND DOCUMENTING THE SURVEY COORDINATES AS DESCRIBED IN THIS SPECIFICATION.

5.14 THE CONTRACTOR MUST RECEIVE PRE-APPROVAL FROM THE DIVISION OF WATER AND CITY ENGINEER 48 HOURS IN ADVANCE IF ELIMINATION OF BENDS IS PROPOSED AND JOINT DEFLECTION IS UTILIZED INSTEAD.

#### **6.0 SPECIAL NOTES**

6.1 ALL WATER LINE VALVE BOXES, SERVICE BOXES, TEST STATIONS, PITOMETER TAP STRUCTURES, METER PIT COVERS, AND OTHER SURFACE UTILITY STRUCTURES WITHIN THE DISTURBED AREA SHALL BE ADJUSTED TO GRADE. ANY OF THESE STRUCTURES LOCATED WITHIN PAVEMENT, DRIVEWAYS, OR OTHER TRAVELED AREAS, WHETHER EXISTING OR PROPOSED. SHALL BE EQUIPPED WITH A TRAFFIC RATED. HEAVY DUTY VALVE BOX AND/OR COVER IN ACCORDANCE WITH THE STANDARD DRAWINGS. EXISTING WATER SERVICE BOXES TO REMAIN THAT ARE ENCOUNTERED WITHIN THE PROJECT LIMITS SHALL BE CLEANED OUT, CENTERED OVER THE CURB STOP, AND ADJUSTED TO THE PROPOSED

6.2 WHERE NEW CONDUIT IS PROPOSED TO CROSS AN EXISTING OR PROPOSED WATER MAIN OR WATER SERVICE, A MINIMUM OF 12-INCH OF VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE CONDUIT AND THE WATER MAIN OR SERVICE. A MINIMUM OF 3-FEET OF HORIZONTAL CLEARANCE (OUT TO OUT) IS REQUIRED AT LOCATIONS WHERE THE CONDUIT IS PARALLEL TO THE WATER MAIN AND AT LOCATIONS OF WATER LINE THRUST BLOCKS.

6.3 A MINIMUM OF 3 FEET HORIZONTAL CLEARANCE (OUT TO OUT) SHALL BE MAINTAINED BETWEEN ALL EXISTING WATER MAINS AND FOUNDATIONS FOR POLES, PULL BOXES, PUSH BUTTON PEDESTALS, AND ANY OTHER MISCELLANEOUS ELECTRICAL STRUCTURE.

6.4 A MINIMUM OF 4 FEET OF COVER IS REQUIRED PRIOR TO PRESSURE TESTING ANY WATER MAIN. A SUFFICIENT AMOUNT OF BACKFILL SHALL BE INSTALLED TO PROVIDE THE ADEQUATE RESTRAINT IN AREAS WHERE REQUIRED.

6.4.1 PROPOSED WATER MAINS SHALL BE LOCATED A MINIMUM DISTANCE OF TWENTY (20) FEET AWAY FROM ANY STRUCTURE, OVERHANG OR FOOTER.

CONCURRENTLY. 6.6 RELOCATED FIRE HYDRANTS SHALL BE PUT BACK IN SERVICE AS SOON AS POSSIBLE.

6.5 NO TWO (2) ADJACENT FIRE HYDRANTS SHALL BE TAKEN OUT OF SERVICE

6.7 THE CONTRACTOR SHALL COORDINATE HIS WORK SUCH THAT NO WATER CUSTOMER WILL HAVE THEIR SERVICE DISRUPTED MORE THAN TWO (2) TIMES THROUGHOUT THE DURATION OF THIS PROJECT.

6.8 FIRE HYDRANT RELOCATIONS SHALL CONFORM TO APPLICABLE SECTIONS OF ITEM 809 OF THE COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS. WORK SHALL CONSIST OF REMOVING THE EXISTING HYDRANT, INSTALLING NEW 6" PIPE AND FITTING AS REQUIRED TO LOCATE THE FIRE HYDRANT 2 FEET FROM BACK OF PROPOSED CURB OR 8 FEET OFF EDGE OF PAVEMENT, RESETTING HYDRANT AND BLOCKING AS REQUIRED. ALL 6" PIPE SHALL BE INSTALLED AT 4'0)' MINIMUM COVER. HYDRANT EXTENSIONS SHALL BE PROVIDED PER ITEM 810. AS REQUIRED. RELOCATED FIRE HYDRANTS SHALL BE ADJUSTED TO PROPER GRADE AND FACED IN PROPER DIRECTION. WHEN A HYDRANT IS RELOCATED FIFTEEN (15) FEET OR MORE FROM THE "TYPICAL HYDRANT SETTING" VALVE LOCATION (SEE L-6409 & L-6637), AN ADDITIONAL VALVE SHALL BE INSTALLED. AND RESTRAINED. WITHIN TWO (2) FEET OF THE RELOCATED HYDRANT. PAYMENT IS TO BE INCLUDED UNDER HTEM 809, FIRE HYDRANT RELOCATED.

### 8.0 EROSION CONTROL

8.0.1 CONTROL OF EROSION AND SEDIMENTATION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ALBANY CODIFIED ORDINANCE CHAPTER 1183.

8.1 TEMPORARY SOIL EROSION AND SEDIMENT CONTROL 8.1.1 EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED AS A PART OF THIS PROJECT. THE EROSION AND SEDIMENT CONTROL PLAN REFLECTS A SCHEMATIC DIAGRAM OF THE INTENDED MEASURES FOR COMPLIANCE WITH THE REQUIRED STANDARDS. GENERAL PRACTICE AND/OR SITE FIELD CONDITIONS MAY WARRANT VARIATION IN THE PLACEMENT OR USE OF THE SPECIFIC CONTROLS. ANY VARIATIONS SHALL BE APPROVED BY THE CITY ENGINEER.

8.1.2 THE CONTRACTOR IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY AND IN ACCORDANCE WITH THE CITY OF NEW ALBANY'S ORDINANCE 1183, WILL BE RESPONSIBLE FOR PROVIDING ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES ALONG WITH PROPER MAINTENANCE AND INSPECTION. AN EROSION CONTROL MAINTENANCE LOG SHALL BE KEPT ON SITE IN COMPLIANCE WITH OEPA REGULATIONS. THE LOG SHALL BE AVAILABLE

8.2.1 "TEMPORARY SEEDING" NO AREA FOR WHICH GRADING HAS BEEN COMPLETED SHALL BE LEFT UNSEEDED OR UN-MULCHED FOR LONGER THAN 14 DAYS. IF PERMANENT SEED IS NOT APPLIED AT THIS TIME, TEMPORARY SEEDING SHALL BE DONE AT THE FOLLOWING

MARCH 1 TO AUGUST 15 2 LBS./1,000 SQ. FT. FERTILIZER: (12:12:12) 12-1/2 LBS./1,000 SQ. FT. MULCH: (STRAW OR HAY) 2 TONS/ACRE AUGUST 15 TO NOVEMBER 1 SEED: 2 LBS./1,000 SQ. FT. ANNUAL RYE FERTILIZER: (12:12:12) 12-½ LBS./1,000 SQ. FT. MULCH: (STRAW OR HAY) 2 TONS/ACRE NOVEMBER 1 TO MARCH 1 MULCH (ONLY): (STRAW OR HAY) 2 TONS/ACRE

8.2.2 "PERMANENT SEEDING" SHALL BE DONE BETWEEN MARCH 15 AND SEPTEMBER 15. IF SEEDING IS DONE BETWEEN SEPTEMBER 15 AND MARCH 15, IT SHALL BE CLASSIFIED AS "TEMPORARY SEEDING". PERMANENT SEED SHALL BE 40% KENTUCKY BLUEGRASS, 40% CREEPING RED FESCUE, 20% ANNUAL RYEGRASS.

8.2.3 PERMANENT SEEDING SHALL CONSIST OF FERTILIZING, WATERING AND SEEDING RATES INDICATED UNDER ITEM 659. SEEDING SHALL BE APPLIED WITHIN TWO (2) DAYS AFTER FINAL GRADING OR FOLLOWING SEED BED PREPARATION.

RATES OF APPLICATION OF ITEM 659: 2 LBS./1,000 SQ. FT. SEED: (12:12:12) FERTILIZER: 25 LBS./1,000 SQ. FT. MULCH: (STRAW OR HAY) 2 TONS/ACRE

8.3 STABILIZATION OF DENUDED AREAS 8.3.1 DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FOURTEEN - DAYS.

8.3.2 SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTING FACILITY.

8.3.3 SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

8.3.4 PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

8.3.5 THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS, WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.

8.3.6 IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE BARRIER DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS IN CERTAIN AREAS. HOWEVER, THE BARRIER SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

8.4 MAINTENANCE 8.4.1 IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL

FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED PERIODICALLY AND WITHIN 24 HOURS OF A SIGNIFICANT RAINFALL. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

8.4.2 ALL EROSION & SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DIRECTION OF THE CITY ENGINEER AND/OR OHIO EPA.

THE CONTRACTOR SHALL HAVE ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION. A PERMIT IS REQUIRED TO BURY IN PUBLIC RIGHT-OF-WAY. PERMITS MAY BE REQUIRED FROM MORE THAN ONE GOVERNING AGENCY. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNING AGENCY AT LEAST FORTY-EIGHT HOURS IN ADVANCE OF COMMENCEMENT OF WORK. ON STATE RIGHT-OF-WAY, CALL OHIO DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS PERMIT EXPEDITER FORTY-EIGHT HOURS IN ADVANCE. THE CONTRACTOR SHALL HAVE ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION. A PERMIT IS REQUIRED TO BURY IN PUBLIC RIGHT-OF-WAY. PERMITS MAY BE REQUIRED FROM MORE THAN ONE GOVERNING AGENCY. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNING AGENCY AT LEAST FORTY-EIGHT HOURS IN ADVANCE OF COMMENCEMENT OF WORK. ON STATE RIGHT-OF-WAY, CALL OHIO DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS PERMIT EXPEDITER FORTY-EIGHT HOURS IN ADVANCE.

#### 9.0 RIGHT-OF-WAY PERMITS

THE CONTRACTOR SHALL HAVE ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION. A PERMIT IS REQUIRED TO BURY IN PUBLIC RIGHT-OF-WAY. PERMITS MAY BE REQUIRED FROM MORE THAN ONE GOVERNING AGENCY. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNING AGENCY AT LEAST FORTY-EIGHT HOURS IN ADVANCE OF COMMENCEMENT OF WORK. ON STATE RIGHT-OF-WAY. CALL OHIO DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS PERMIT EXPEDITER FORTY-EIGHT HOURS IN ADVANCE.

#### **10.0 PAVEMENT REPLACEMENT**

IF ANY STREET OR ROAD WITHIN THE CITY IS DAMAGED AS A RESULT OF CONSTRUCTION TRAFFIC RELATED TO CONSTRUCTION AS DETERMINED BY THE CITY ENGINEER, ALL REQUESTED REPAIRS SHALL BE MADE BY THE CONTRACTOR. EXISTING PAVEMENT SURFACES SHALL BE VIDEO TAPED PRIOR TO THE PRE-CONSTRUCTION MEETING BY THE CONTRACTOR AND A COPY OF THE TAPE IS TO BE FURNISHED TO THE CITY ENGINEER.

### 11.0 EXISTING UTILITIES

11.1 THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOW TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE CITY OF NEW ALBANY AND/OR ENGINEER ASSUMES NO RESPONSIBILITY TO THE ACCURACY OR THE DEPTHS OF THE UNDERGROUND FACILITIES SHOWN ON THE PLANS.

EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THIS WORK INCLUDES MAINTENANCE OF ADEQUATE DEPTH ON ALL EXISTING UTILITY FACILITIES. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND COORDINATE FIELD STAKEOUT OF ALL LOCATIONS OF POSSIBLE GRADE CONFLICTS WITH EXISTING UTILITIES PRIOR TO CONSTRUCTION.

11.1.2 THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION AND/OR PROTECTION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY. PRIVATE UTILITY MANHOLES WITHIN THE LIMITS OF THE WORK SHALL BE ADJUSTED TO GRADE BY THE RESPECTIVE UTILITY. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT IMPROVEMENTS.

11.1.3 UTILITY POLES WITHIN THE INFLUENCE OF THE EARTHWORK OPERATIONS SHALL BE REINFORCED BY THE UTILITY COMPANY PRIOR TO THESE CONSTRUCTION ACTIVITIES. NOTIFICATION OF THE UTILITY COMPANY PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

11.1.4 ABANDONMENT (CAPPING, ETC.) OF EXISTING UTILITY FACILITIES (AMERITECH, COLUMBIA GAS, AMERICAN ELECTRIC POWER) SHALL BE PERFORMED BY THE RESPECTIVE UTILITY COMPANY. UPON COMPLETION OF SAME, THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY OR ALL THE NECESSARY UTILITY AS REQUIRED TO COMPLETE THE PLAN IMPROVEMENTS. THE COST OF ALL REMOVAL ALONG WITH THE PROPER DISPOSAL THEREOF SHOULD BE INCLUDED IN THE PRICE BID FOR THE PROJECT

11.1.5 THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITIES PROTECTION SERVICE (TELEPHONE 800-362-2764, TOLL-FREE) AND TO THE OWNERS OF THE UNDERGROUND UTILITIES WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE. THE ABOVE MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT:

<u>UTILITY</u>	<u>OWNER</u>	<u>TELEPHONE</u>
ELECTRIC	AEP 850 TECH CENTER DRIVE GAHANNA, OH 43230 CONTACT: MIKE FRALEY	(614) 634–1007
SANITARY SEWER	CITY OF NEW ALBANY SERVICE DEPARTMENT 7800 BEVELHYMER ROAD NEW ALBANY, OH 43054	(614) 855-0076
STORM SEWER	THE NEW ALBANY COMPANY 8000 WALTON PARKWAY, SUITE 120 NEW ALBANY, OH 43054	(614) 939-8000
WATER FACILITIES	CITY OF COLUMBUS (DIVISION OF POWER & WATER) WATER DISTRIBUTION CENTER 910 DUBLIN ROAD. COLUMBUS, OH 43215	(614) 855-0076
TELEPHONE	AT&T 111 NORTH 4TH STREET,	(614) 223-4362

COLUMBUS, OH 43215 CONTACT: RON HARRISON COLUMBIA GAS OF OHIO, INC. (800) 344-4077 290 W NATIONWIDE BLVD. COLUMBUS, OH 43215

> 1-800-203-0285 ASPIRE ENERGY 300 TRACY BRIDGE RD. ORVILLE, OH 44667

#### **12.0 TREES**

ALL BRANCHES OR GROWTH FROM TREES THAT ARE TO BE SAVED AND WHICH ARE INTERFERING WITH THE GRADING OPERATION MAY BE REMOVED BY THE USE OF PRUNING TOOLS. ALL PRUNING TOOLS USED AND METHODS EMPLOYED SHALL MEET WITH THE APPROVAL OF THE CITY ARBORIST. THE BRANCHES SHALL BE REMOVED WITH A GOOD CLEAN CUT MADE FLUSH WITH THE PARENT TRUNK OR IF HAVING A GOOD HEALTHY LATERAL BRANCH, THE CUT SHALL BE A GOOD CLEAN SLANTING CUT CLOSE TO AND BEYOND THE HEALTHY BRANCH, ALL PRUNING CUTS SHALL BE PAINTED WITH AN ACCEPTED PRUNING PRESERVATIVE. ALL BRANCHES REMOVED SHALL BE AT THE DIRECTION OF THE CITY ARBORIST (614) 855-0076. THE COST OF ALL WORK AND EXPENSES CONNECTED WITH THE REMOVAL OF TREES AND/OR BRANCHES SHALL BE INCLUDED IN THE PRICE BID FOR CLEARING AND GRUBBING. NO EXTRA PAYMENT SHALL BE MADE THEREFORE.

#### 13.0 BENCHMARKS AND SURVEY MONUMENTS

13.1 DO NOT DISTURB ANY LICKING COUNTY CERTIFIED BENCHMARKS (VERTICAL AND/OR HORIZONTAL) LOCATED WITHIN THE WORKING LIMITS OF THE PROJECT. CONTRACTOR SHALL CONTACT THE LICKING COUNTY SURVEY DEPARTMENT (740) 670-5280, PRIOR TO CONSTRUCTION, TO COORDINATE THE PROPER PROCEDURES FOR RESETTING, RELOCATION, OR REPLACEMENT OF ANY LICKING COUNTY CERTIFIED BENCHMARK OR SURVEY

EXCAVATING AT OR NEAR SAID IRON PINS OR MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB EXISTING RIGHT-OF-WAY OR PROPERTY CORNER MARKERS THAT ARE REQUIRED TO REMAIN AFTER CONSTRUCTION, IF ANY PINS OR MONUMENTS ARE DISTURBED DESTROYED, OR DAMAGED BY THE CONTRACTOR THAT HAVE NOT BEEN DESIGNATED TO BE REMOVED IN THESE PLANS. THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR AT THE COMPLETION OF THE PROJECT OR AT THE DIRECTION OF THE CITY ENGINEER AND AT THE CONTRACTOR'S EXPENSE AS PER THE CITY OF COLUMBUS CONSTRUCTION AND MATERIALS SPECIFICATIONS, SECTION 107.12. IF REPLACEMENT OF PINS OR MONUMENTS IS REQUIRED, THE ENGINEER, DEVELOPER, OR CONTRACTOR SHALL PROVIDE AN EXHIBIT DURING THE FINAL PUNCH LIST INSPECTION VERIFYING THAT MONUMENTS HAVE BEEN PLACED AT ALL PROPERTY CORNERS.

13.2 THE CONTRACTOR SHALL REFERENCE ALL IRON PINS AND MONUMENTS BEFORE

### **GENERAL NOTES**

#### **EARTHWORK NOTES**

GENERAL

1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.

1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.

1.3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR.

1.4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.

1.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.

1.6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.

TOPSOIL EXCAVATION INCLUDES:

2.1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL

2.2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES

2.3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.

2.4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.

2.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.

EARTH EXCAVATION INCLUDES:

3.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.

3.2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED

3.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE FLEVATION, IN AREAS REQUIRING STRUCTURAL FILL. HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF

3.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.

UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE

5. MISCELLANEOUS. THE CONTRACTOR SHALL:

5.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.

5.2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.

5.3. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

5.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.

TESTING AND FINAL ACCEPTANCE

6.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE ENGINEER AND THE OWNER. (SEE PAVING SPECIFICATION.)

6.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

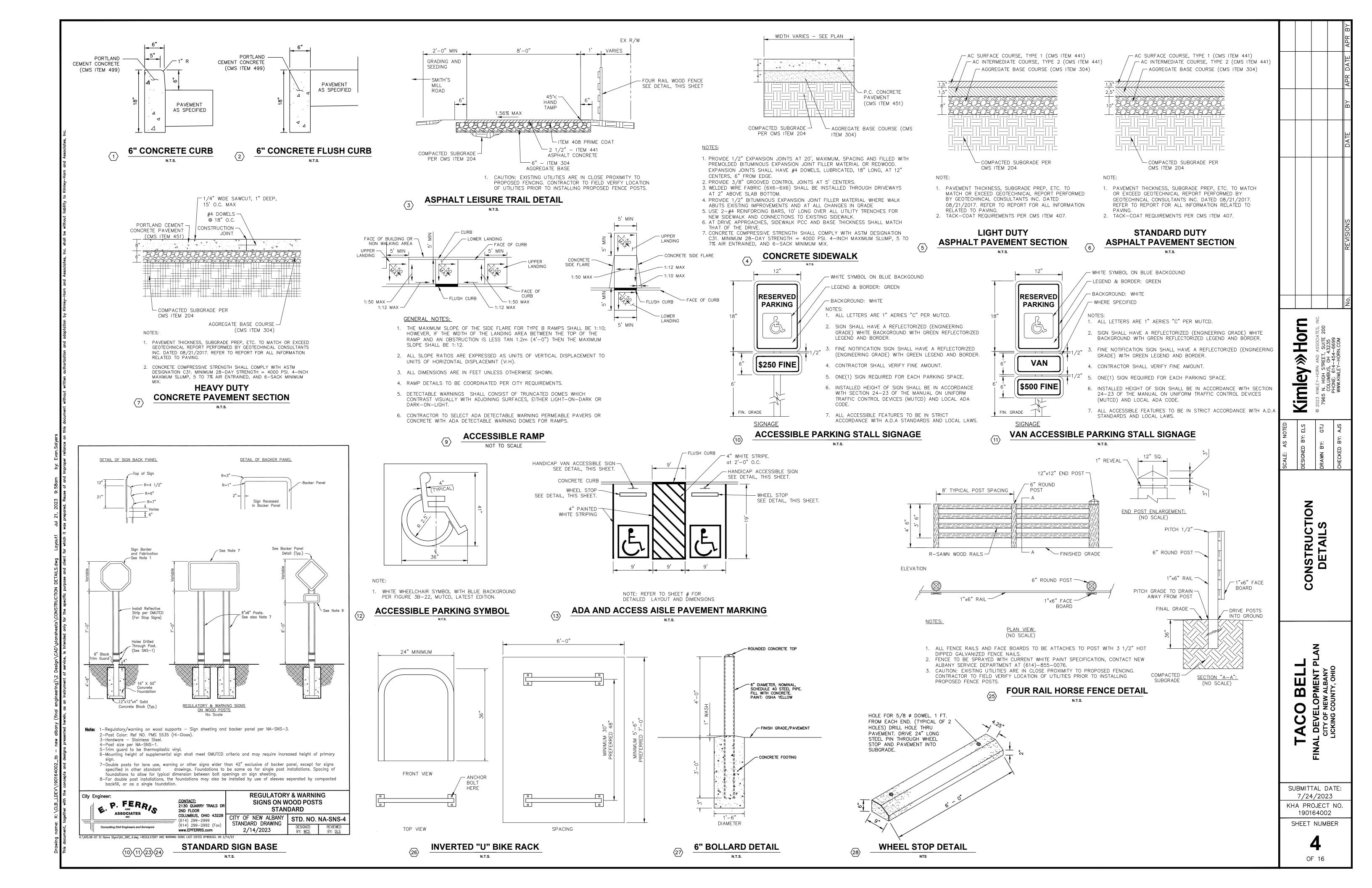
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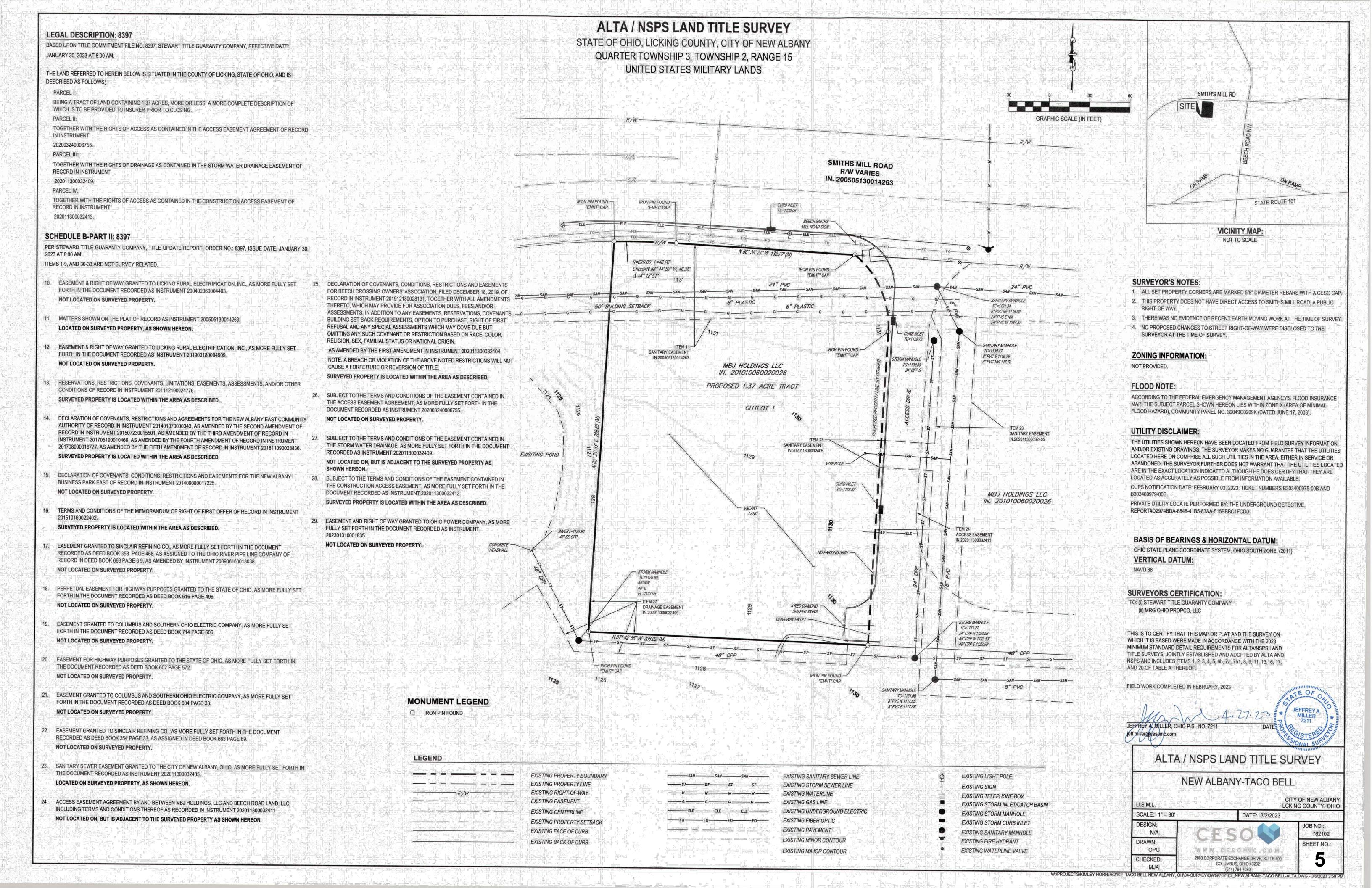
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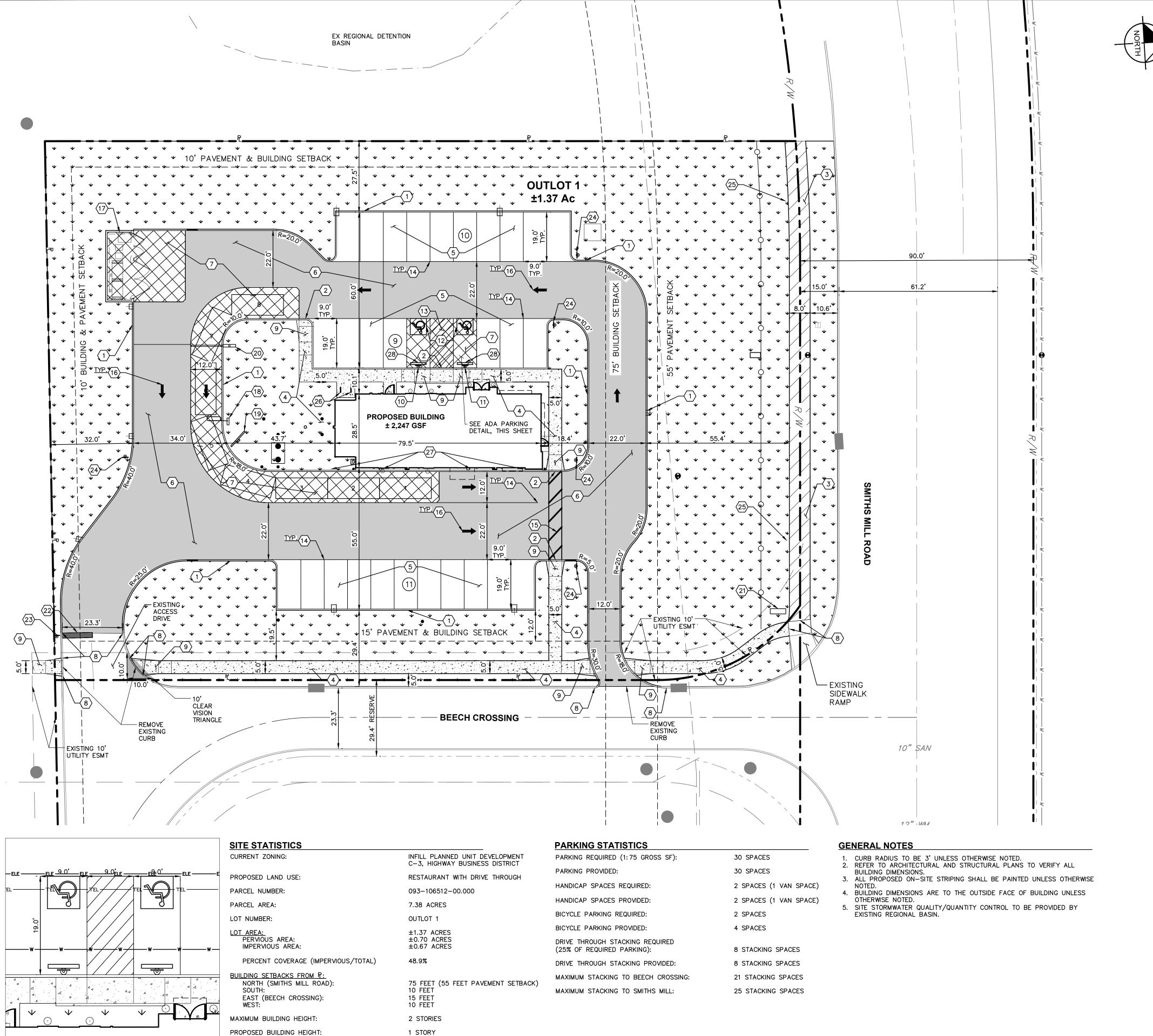
SUBMITTAL DATE: 7/24/2023

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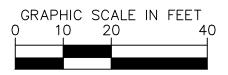




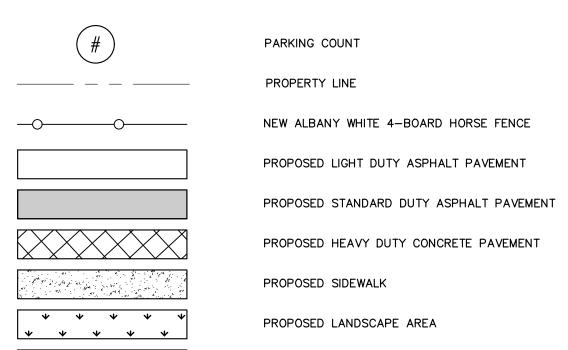


ADA PARKING DETAIL

SCALE: 1" = 10'



#### SITE LEGEND



#### SITE PLAN KEY NOTES

- (1) 6" CONCRETE CURB, TYP. (PER CMS ITEM 609, SEE DETAIL ON SHEET 4)
- (2) 6" CONCRETE FLUSH CURB, TYP. (PER CMS ITEM 609, SEE DETAIL ON SHEET 4)

PROPOSED LEISURE TRAIL

- (3) 8' LEISURE TRAIL (SEE DETAIL ON SHEET 4)
- (4) 5' CONCRETE SIDEWALK, TYP. (SEE DETAIL ON SHEET 4)
- $\langle 5 \rangle$  LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHEET 4)
- (6) STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHEET 4)
- (7) HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHEET 4)
- $\overline{8}$  connect to existing pavement, sidewalk, curb, typ.
- $\overline{9}$  ACCESSIBLE RAMP (SEE DETAIL ON SHEET 4)
- (10) ADA PARKING SIGN (SEE DETAIL ON SHEET 4)
- (11) ADA VAN PARKING SIGN (SEE DETAIL ON SHEET 4)
- (12) ACCESSIBLE PAVEMENT MARKINGS (PER CMS ITEM 642, SEE DETAIL ON SHEET 4)
- (13) ADA AND ACCESS AISLE PAVEMENT MARKINGS (PER CMS ITEM 642, SEE DETAIL ON SHEET 4)
- (14) 4" WIDE PAINTED SOLID LINE, TYP. (PER CMS ITEM 641)
- (15) TRANSVERSE/DIAGONAL LINE, TYP. (PER CMS ITEM 641)
- 16 PAVEMENT MARKING, WHITE (PER CMS ITEM 642)
- DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- (18) DRIVE THRU CANOPY (SEE ARCHITECTURAL PLANS FOR DETAILS)
- MENU BOARD (SEE ARCHITECTURAL PLANS FOR DETAILS)
- (20) CLEARANCE BAR (SEE ARCHITECTURAL PLAN FOR DETAILS)
  (21) MONUMENT SIGN (SEE ARCHITECTURAL PLAN FOR DETAILS)
- 22 24" STOP BAR (PER CMS ITEM 642)
- 23 STOP SIGN (SEE DETAIL ON SHEET 4)
- 24 DO NOT ENTER SIGN (SEE DETAIL ON SHEET 4)
- 25) NEW ALBANY WHITE 4-BOARD HORSE FENCE (SEE DETAIL ON SHEET 4)
- 26) BIKE RACK (SEE DETAIL ON SHEET 4)
- $\langle \overline{27} \rangle$  BOLLARD (SEE DETAIL ON SHEET 4)

(28) WHEEL STOP (SEE DETAIL ON SHEET 4)

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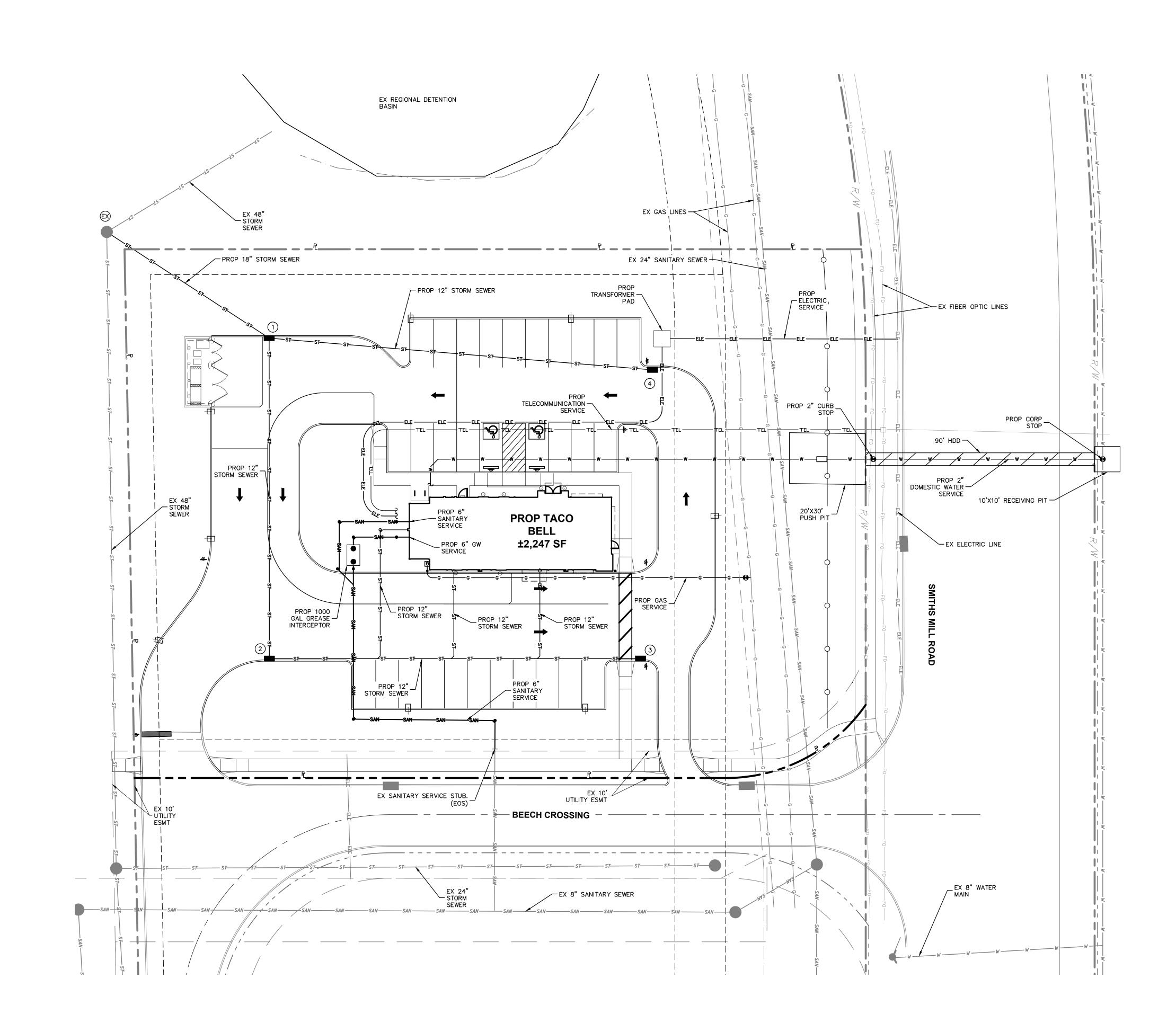
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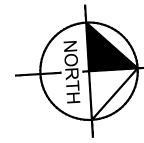
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KHA PROJECT NO. 190164002 SHEET NUMBER







#### **UTILITY LEGEND**

	EXISTING STORM MANHOLE
_	EXISTING STORM INLET
S7	EXISTING STORM SEWER LINE
SAN	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY MANHOLE
W	EXISTING WATER LINE
————ELE ———	EXISTING UNDERGROUND ELECTRIC LINE
FO	EXISTING FIBER OPTIC
G	EXISTING GAS LINE
————ELEC ———	PROPOSED UNDERGROUND ELECTRIC LINE
TEL	PROPOSED TELECOMMUNICATIONS LINE
SAN	PROPOSED SANITARY SEWER LINE
ST	PROPOSED STORM SEWER
———w——	PROPOSED WATER LINE
——— GAS ———	PROPOSED GAS LINE
•	PROPOSED SANITARY CLEANOUT
_	PROPOSED STORM CATCH BASIN
	PROPOSED SANITARY MANHOLE
	HORIZONTAL DIRECTIONAL DRILL

- 3. NO CONSTRUCTION SHALL BEGIN UNTIL PERMITTED BY THE LOCAL UTILITIES

	EXISTING STORM MANHOLE
_	EXISTING STORM INLET
<i>ST</i>	EXISTING STORM SEWER LINE
SAN	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY MANHOLE
	EXISTING WATER LINE
————ELE ———	EXISTING UNDERGROUND ELECTRIC LINE
FO	EXISTING FIBER OPTIC
G	EXISTING GAS LINE
ELEC	PROPOSED UNDERGROUND ELECTRIC LINE
————TEL———	PROPOSED TELECOMMUNICATIONS LINE
SAN	PROPOSED SANITARY SEWER LINE
ST	PROPOSED STORM SEWER
w	PROPOSED WATER LINE
GAS	PROPOSED GAS LINE
•	PROPOSED SANITARY CLEANOUT
_	PROPOSED STORM CATCH BASIN
	PROPOSED SANITARY MANHOLE
	HORIZONTAL DIRECTIONAL DRILL

### **NOTES**

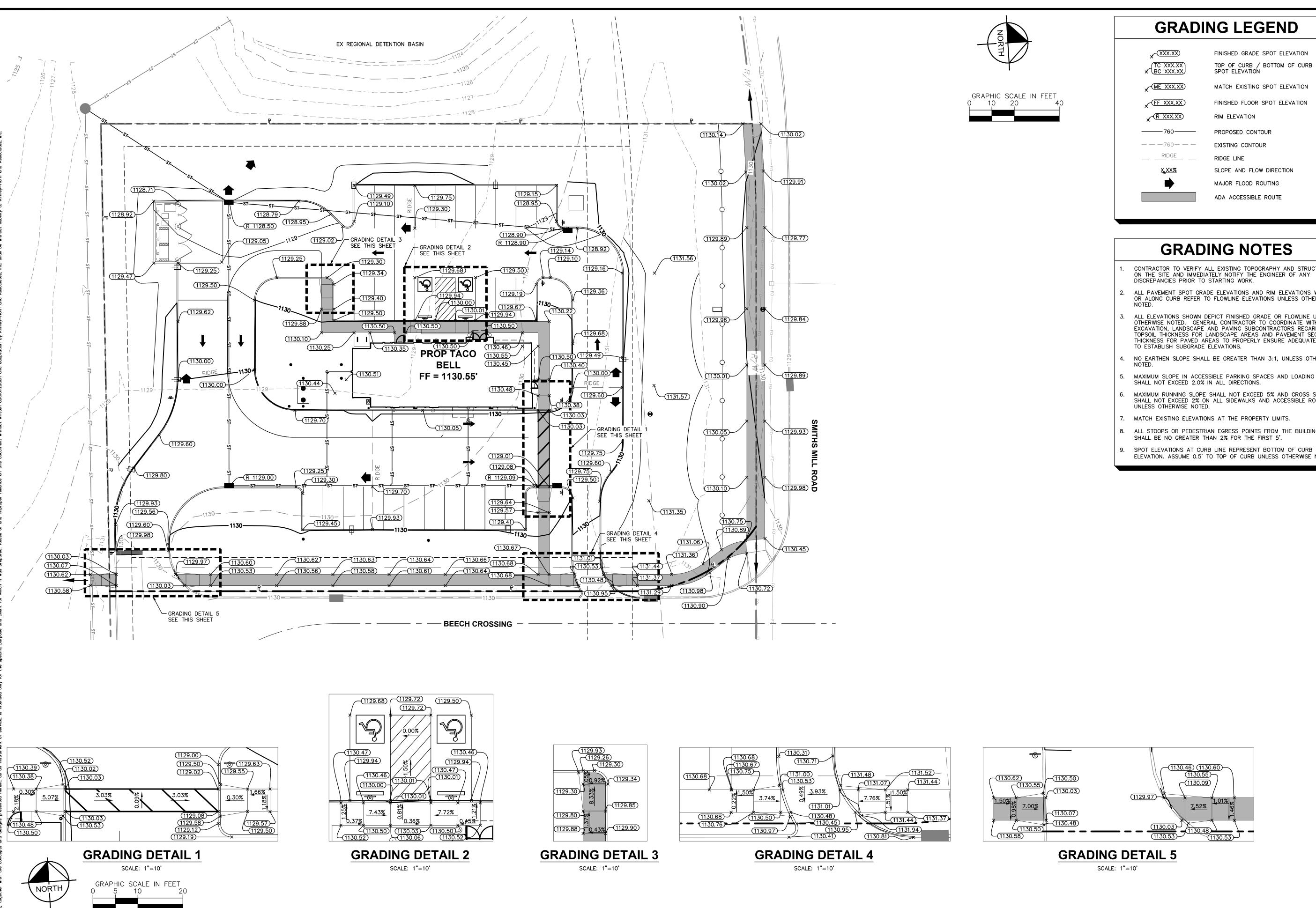
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING LOCATIONS AND DEPTHS
  OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. NOTIFY
  THE ENGINEER OF ANY DISCREPANCIES FOUND.
- 2. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO INSTALLATION AND SERVICE CONNECTIONS.
- AND/OR THE STATE OF OHIO.

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SUBMITTAL DATE: 7/24/2023

KHA PROJECT NO. 190164002

SHEET NUMBER



**GRADING LEGEND** 

FINISHED GRADE SPOT ELEVATION TOP OF CURB / BOTTOM OF CURB

SPOT ELEVATION MATCH EXISTING SPOT ELEVATION

FINISHED FLOOR SPOT ELEVATION

PROPOSED CONTOUR

RIDGE LINE SLOPE AND FLOW DIRECTION

ADA ACCESSIBLE ROUTE

# **GRADING NOTES**

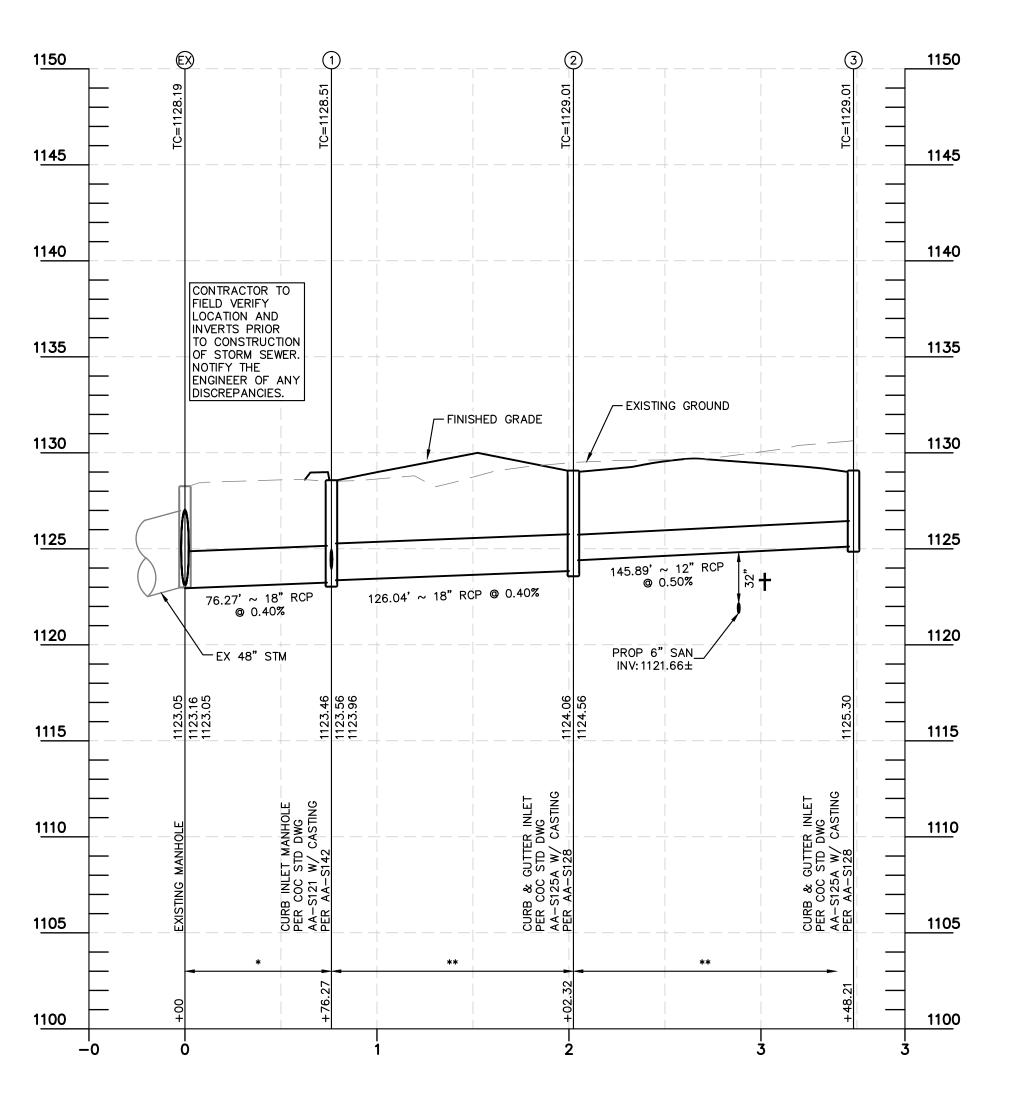
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB REFER TO FLOWLINE ELEVATIONS UNLESS OTHERWISE
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES
- 7. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
- 8. ALL STOOPS OR PEDESTRIAN EGRESS POINTS FROM THE BUILDING(S) SHALL BE NO GREATER THAN 2% FOR THE FIRST 5'.
- ELEVATION. ASSUME 0.5' TO TOP OF CURB UNLESS OTHERWISE NOTED.

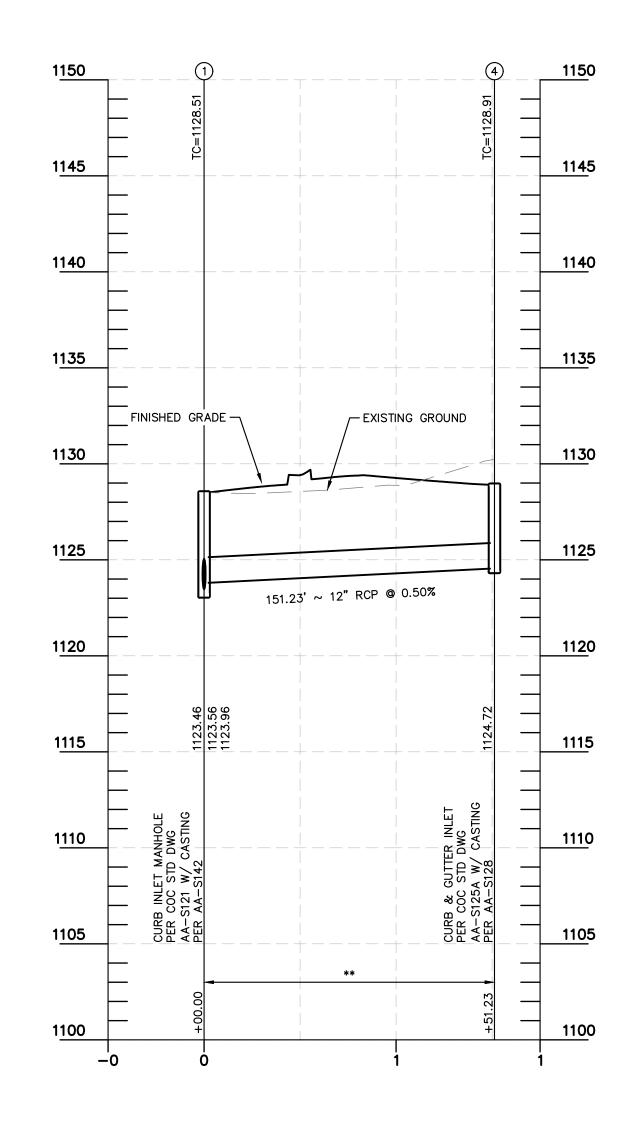
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GRADING

SUBMITTAL DATE: 7/24/2023

KHA PROJECT NO. 190164002 SHEET NUMBER





# STORM PROFILE 3-EX HORIZ SCALE: 1"=50' VERT SCALE: 1"=5'

STORM PROFILE 4-1

HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'

STORM SEWER STRUCTURE TABLE						
STRUCTURE	NORTHING	EASTING	ELEVATION	NORTHING (AS-BUILT)	EASTING (AS-BUILT)	ELEVATION (AS-BUILT)
EX	759224.72	1896813.43	1128.19			
1	759285.99	1896858.85	1128.51			
2	759278.69	1896984.69	1129.01			
3	759424.33	1896993.23	1129.01			
4	759435.72	1896880.16	1128.91			

### **NOTES**

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ELEVATIONS AND INVERTS PRIOR TO START OF CONSTRUCTION.
- 2. ALL ELEVATIONS SHOWN ON THIS PLAN ARE NAVD 88.
- † 18" MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN ALL STORM, SANITARY AND WATER LINES.
- \* COMPACTED BACKFILL PER CMS ITEM 911.
- \*\* COMPACTED GRANULAR BACKFILL PER CMS ITEM 912.

SUBMITTAL DATE: 7/24/2023 KHA PROJECT NO.

**Kimley** » Horn

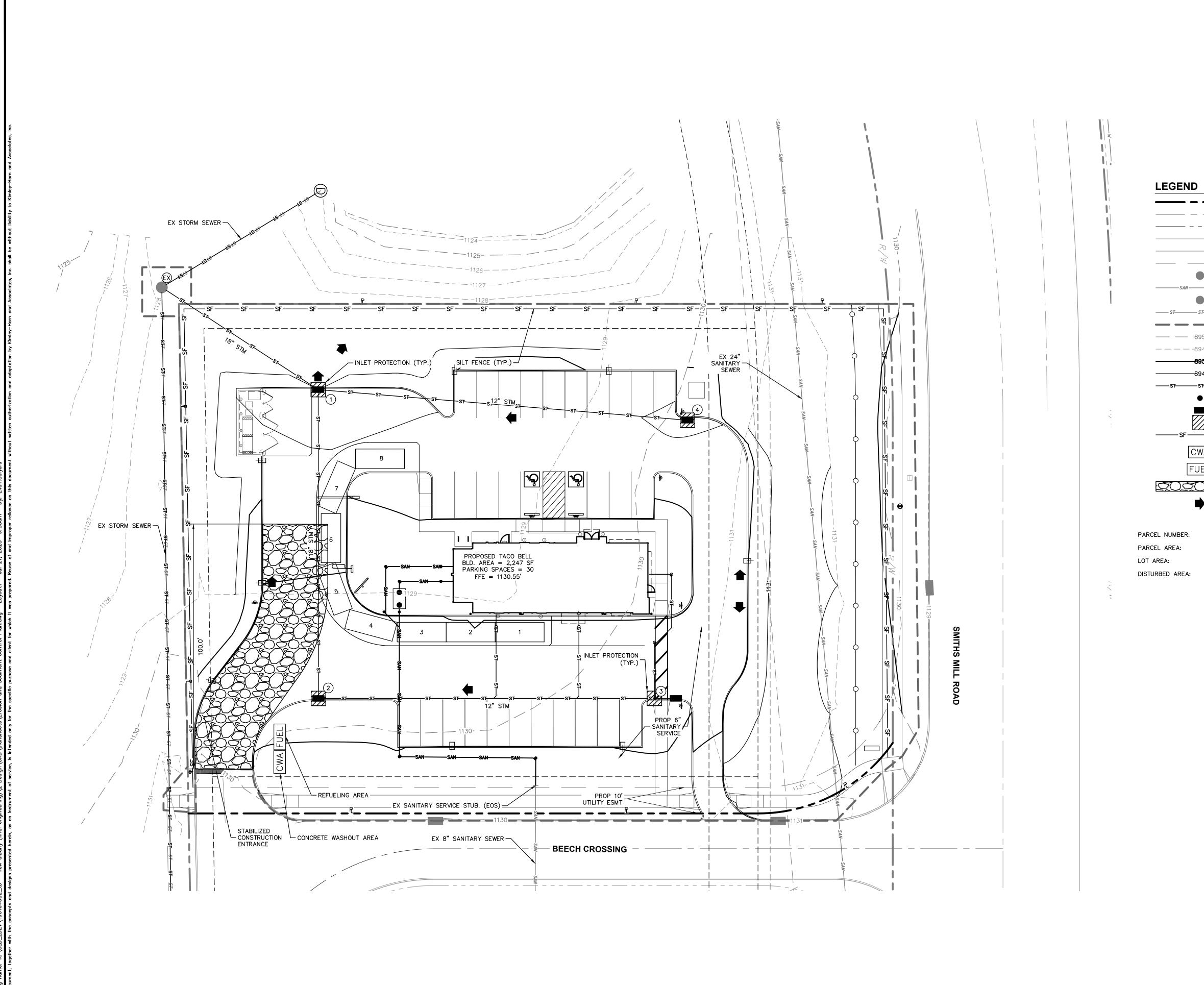
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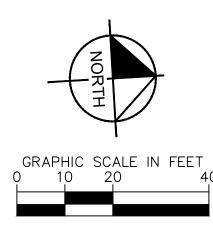
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EXISTING PROPERTY BOUNDARY EXISTING PROPERTY LINE EXISTING RIGHT-OF-WAY EXISTING FACE-OF-CURB EXISTING BACK-OF-CURB EXISTING EASEMENT EXISTING MANHOLE EXISTING SANITARY SEWER EXISTING STORM STRUCTURE EXISTING STORM SEWER PROPOSED LIMITS OF DISTURBANCE (±1.40 ACRES) EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR PROPOSED STORM SEWER PROPOSED MANHOLE PROPOSED CURB INLET PROPOSED INLET PROTECTION PROPOSED SILT FENCE CWA PROPOSED CONCRETE WASH OUT FUEL PROPOSED REFUELING AREA 000000 PROPOSED CONSTRUCTION ENTRANCE

> 093-106512-00.000 7.38 ACRES ±1.37 ACRES 1.37 ACRES

MAJOR FLOOD ROUTING

**6** EROSION AND SEDIMENT CONTRO PLAN

**Kimley** » Horn

SUBMITTAL DATE: 7/24/2023 KHA PROJECT NO.

190164002 SHEET NUMBER

POST-CONSTRUCTION INSPECTION & MAINTENANCE SCHEDULE		
INSPECTION ITEM	MAINTENANCE PROCEDURES	FREQUENCY OF INSPECTION
INLET/OUTLET STRUCTURE & SIDE SLOPES	-REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM INLET AND OUTLET STRUCTURESMOW SIDE SLOPES. (MIN. GRASS HEIGHT 3") -DO NOT FERTILIZE VEGETATION SURROUNDING BASIN.	MONTHLY
BASIN ENBANKMENT	-N/A	EVERY 6 MONTHS
STORM SEWER SYSTEM	-REMOVE DEBRIS FROM THE SEWER SYSTEM TO ENSURE POSITIVE FLOW TO THE BASIN.	EVERY 6 MONTHS
STORMWATER BASIN	-INSPECT FOR DAMAGE, PAYING PARTICULAR ATTENTION TO THE OUTLET CONTROL STRUCTURECHECK FOR SIGNS OF EUTROPHIC CONDITIONS (ALGAE BUILD-UP) -NOTE SIGNS OF HYDROCARBON BUILD-UP, REMOVE APPROPRIATELY -MONITOR SEDIMENT ACCUMULATION IN THE FACILITYEXAMINE TO ENSURE INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND ARE OPERATIONALINSPECT FOR INVASIVE VEGETATION IF WETLAND COMPONENTS INCLUDED.	ANNUALLY
STORMWATER BASIN SEDIMENT ACCUMULATION	-MONITOR SEDIMENT ACCUMULATIONS AND REMOVE SEDIMENT WHEN THE POOL VOLUME HAS BECOME REDUCED SIGNIFICANTLY (25% OF PERMANENT POOL VOLUME LOST), OR THE POND BECOMES EUTROPHIC. MEASUREMENTS SHALL BE TAKEN USING A SEDIMENT MONITOR POST AT THE FACE OF THE OUTLET STRUCTURE. THE BASIN SHALL BE CLEANED WHEN SEDIMENT REACHES 3' OF ACCUMULATION (ELEV. 1019.00 FOR WET DETENTION BASINS A1 & A2	5 TO 10 YEARS

TEL: (346) 260-4190

EMAIL: CNEW@MASRGLLC.COM

#### PROHIBITED CONSTRUCTION ACTIVITIES

THE CONTRACTOR SHALL NOT USE CONSTRUCTION PROCEEDINGS, ACTIVITIES OR OPERATIONS THAT MAY UNNECESSARILY IMPACT THE NATURAL ENVIRONMENT OR THE PUBLIC HEALTH AND SAFETY, PROHIBITED CONSTRUCTION PROCEEDINGS, ACTIVITIES, OR OPERATIONS INCLUDE BUT NOT LIMITED TO:

- DISPOSING OF EXCESS OR UNSUITABLE EXCAVATED MATERIAL IN WETLANDS OR FLOODPLAIN, EVEN WITH
- THE PERMISSION OF THE PROPERTY OWNER.
- INDISCRIMINATE, ARBITRARY, OR CAPRICIOUS OPERATION OF EQUIPMENT IN ANY STREAM CORRIDORS, ANY WETLANDS, ANY SURFACE WATERS, OR OUTSIDE THE EASEMENT LIMITS
- PUMPING OF SEDIMENT-LADEN WATER FROM TRENCHES OR OTHER EXCAVATIONS INTO ANY SURFACE WATERS, ANY STREAM CORRIDORS, ANY WETLANDS OR STORM DRAINS.
- DISCHARGING POLLUTANTS SUCH AS CHEMICAL, FUEL, LUBRICANTS, BITUMINOUS MATERIALS, RAW SEWERAGE, AND OTHER HARMFUL WASTE INTO OR ALONGSIDE OF RIVERS, STREAMS IMPOUNDMENTS OR
- INTO NATURAL OR MAN-MADE CHANNELS LEADING THERETO. PERMANENT OR UNSPECIFIED ALTERATIONS OF THE CONSTRUCTED AREA.
- DAMAGING VEGETATION OUTSIDE OF THE CONSTRUCTION AREA. DISPOSAL OR TREES, BRUSH AND OTHER DEBRIS IN ANY STREAM CORRIDORS, ANY WETLANDS, ANY
  - SUBSURFACE WATERS, OR AT UNSPECIFIED LOCATIONS. OPEN BURNING OF PROJECT DEBRIS WITHOUT A PERMIT

STORING CONSTRUCTION EQUIPMENT AND VEHICLES AND/OR STOCKPILING CONSTRUCTION MATERIALS ON

PROPERTY, PUBLIC OR PRIVATE, NOT PREVIOUSLY SPECIFIED BY THE CITY ENGINEER FOR SAID PURPOSE.

#### **EROSION AND SEDIMENT CONTROL NOTES**

ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER

PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES. DIRECT DISCHARGE OF OF SEDIMENT LADEN WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A

VIOLATION OF OHIO EPA AND CITY OF COLUMBUS REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.

STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

THE LIMITS OF SEEDING AND MULCHING ARE AS SHOWN WITHIN THE PLAN AS INDICATED BY THE LIMITS OF DISTURBANCE. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

TEMPORARY SEEDING: ANY AREA WHICH WILL BE LEFT DORMANT (UNDISTURBED) FOR MORE THAN 14 DAYS SHALL BE SEEDED WITHIN 7 DAYS OF TERMINATED WORK. DISTURBED AREAS WITHIN 50 FEET OF A STREAM, FIRST ORDER OR LARGER, SHALL BE STABILIZED WITHIN 2 DAYS OF INACTIVITY. TEMPORARY SEEDING CONSISTS OF SEEDBED PREPARATION AND APPLICATION OF SEED, FERTILIZER, AND WATER. SOIL TEST IS RECOMMENDED TO DETERMINE PROPER APPLICATION RATE OF FERTILIZER AND IF LIME IS NECESSARY.

ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.

#### MARCH 1 TO AUGUST 15

2 LBS./1,000 SQ. FT. FERTILIZER: (12: 12: 12) 25 LBS./1,000 SQ. FT. MULCH: (STRAW OR HAY) 2 TONS /ACRE

2 LBS./1,000 SQ. FT. ANNUAL RYE FERTILIZER: (12:12:12) 25 LBS./1,000 SQ. FT. 2 TONS/ACRE

#### NOVEMBER 1 TO MARCH 1

MULCH (ONLY): (STRAW OR HAY) 2 TONS/ACRE

PERMANENT SEEDING: ANY AREA THAT IS AT FINAL GRADE SHALL BE SEEDED WITHIN 7 DAYS OF TERMINATED WORK. PERMANENT SEEDING CONSISTS OF SEEDED PREPARATION AND APPLICATION OF SEED, FERTILIZER, AND WATER. SOIL TEST IS RECOMMENDED TO DETERMINE PROPER APPLICATION RATE OF FERTILIZER AND IF LIME IS NECESSARY. IDEAL CONDITIONS FOR PERMANENT SEEDING IS MARCH 1 - MAY AND AUGUST 1 - SEPTEMBER 30.

#### RATES OF APPLICATION OF ITEM 659:

4 LBS/1000 SQ. FT. FERTILIZER: (12:12:12) MULCH: STRAW (HAY)

20 LBS/1000 SQ. FT. 2 TONS/ACRE (3 TONS/ACRE)

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL, CITY AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED OFF-SITE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY ORC 3714

#### **HAZARDOUS WASTE**

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

### OFF-SITE VEHICLE TRACKING

OFF-SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

#### DEWATERING ACTIVITIES

THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO DISCHARGE.

### PROCESS WASTEWATER

ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON-SITE WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

### TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, CONSTRUCTION ENTRANCE(S) AND SILT FENCE WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED LONGER THAN 14 DAYS AND/OR WITHIN 7 DAYS OF ANY GRUBBING ACTIVITIES. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 2 DAYS OF THE LAST DISTURBANCE IF THE AREA IS WITHIN 50 FEET OF A STREAM, AND WITHIN 7 DAYS OF THE LAST DISTURBANCE IF THE AREA IS MORE THAN 50 FEET AWAY FROM A STREAM. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE BASIN AND THE TEMPORARY RISER AND SKIMMER WILL BE REMOVED FROM THE OUTLET STRUCTURE.

#### MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION

AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER

### PRODUCT SPECIFIC PRACTICES

DISPOSAL WILL BE FOLLOWED.

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS - ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS

FUEL STORAGE TANKS SHALL BE LOCATED AWAY FROM SURFACE WATERS AND STORM SEWER SYSTEM INLETS. FUEL TANKS SHALL BE STORED IN A DIKED AREA CAPABLE OF HOLDING 150% OF THE TANK CAPACITY.

FERTILIZERS - FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS — ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS - CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

### SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- 1. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- 2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- 3. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- 4. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. SPILLS OF 25 OR MORE GALLONS OF PETROLEUM WASTE MUST BE REPORTED TO OHIO EPA (1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE SPILL.
- 5. SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS MUST BE TREATED/DISPOSED AT AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY (TSDF).
- 6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- 7. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

#### **DUST CONTROL**

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

VEGETATIVE COVER AND/MULCH - APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 14 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

ACCORDING TO MANUFACTURERS INSTRUCTIONS.

- WATERING SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED
- SPRAY-ON ADHESIVES APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS'

#### **SOIL STABILIZATION**

STABILIZATION OF DISTURBED AREAS SHALL, AT A MINIMUM, BE INITIATED IN ACCORDANCE WITH THE TIME FRAMES SPECIFIED IN THE FOLLOWING TABLES:

#### TABLE 1: PERMANENT STABILIZATION

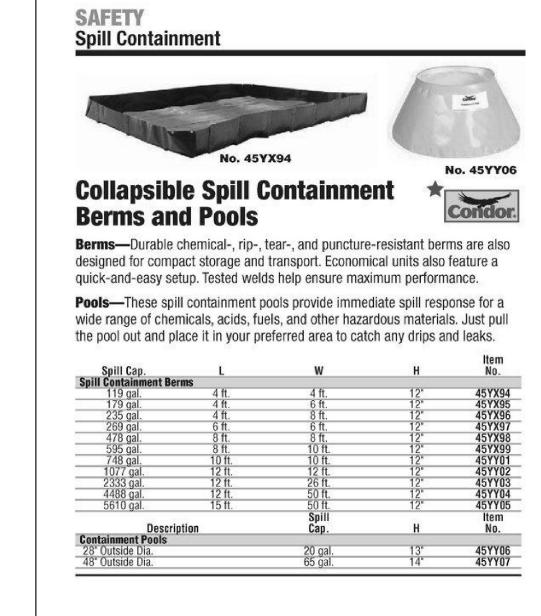
AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

#### TABLE 2: TEMPORARY STABILIZATION

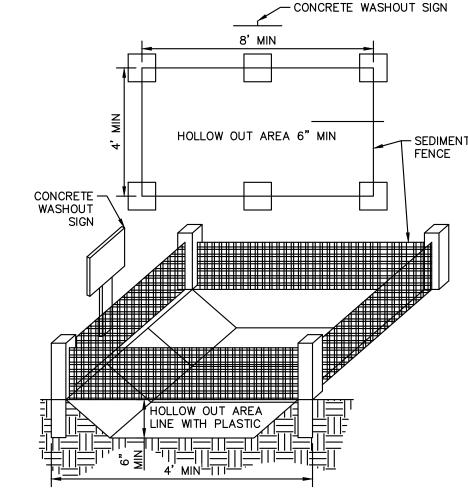
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS	
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS	
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA. FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S)	
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER	

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE

UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. PERMANENT



### GRAINGER SPILL CONTAINMENT BERM OR SIMILAR. **VEHICLE REFUELING AREA**



THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION. THE EXACT LOCATION OF CONCRETE WASHOUT(S) MAY BE FIELD LOCATED BY THE ON-SITE PROJECT ENGINEER/CONTACT.

CONCRETE WASHOUT AREA

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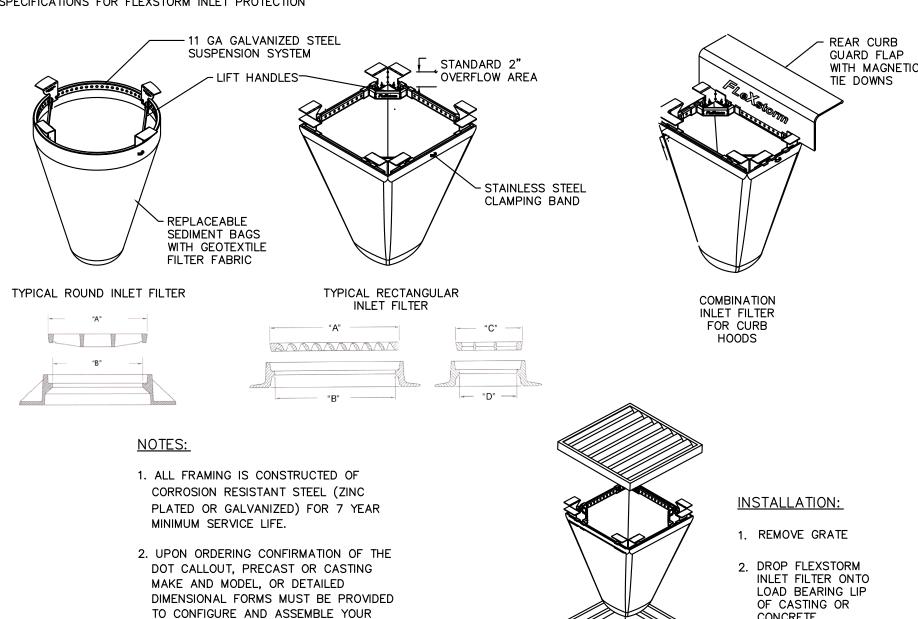
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#### INLET PROTECTION DESCRIPTION

STORM DRAIN INLET PROTECTION DEVICES REMOVE SEDIMENT FROM STORM WATER BEFORE IT ENTERS STORM SEWERS AND DOWNSTREAM AREAS. INLET PROTECTION DEVICES ARE SEDIMENT BARRIERS THAT MAY BE CONSTRUCTED OF WASHED GRAVEL OR CRUSHED STONE, GEOTEXTILE FABRICS AND OTHER MATERIALS THAT ARE SUPPORTED AROUND OR ACROSS STORM DRAIN INLETS.

INLET PROTECTION IS INSTALLED TO CAPTURE SOME SEDIMENT AND REDUCE THE MAINTENANCE OF STORM SEWERS AND OTHER UNDERGROUND PIPING SYSTEMS PRIOR TO THE SITE BEING STABILIZED. DUE TO THEIR POORER EFFECTIVENESS, INLET PROTECTION IS CONSIDERED A SECONDARY SEDIMENT CONTROL TO BE USED IN CONJUNCTION WITH OTHER MORE EFFECTIVE CONTROLS.

#### SPECIFICATIONS FOR FLEXSTORM INLET PROTECTION



WWW.INLETFILTERS.COM FLEXSTORM TEMPORARY INLET PROTECTION DETAIL

CUSTOMIZED FLEXSTORM INLET FILTER.

3. FOR WRITTEN SPECIFICATIONS AND

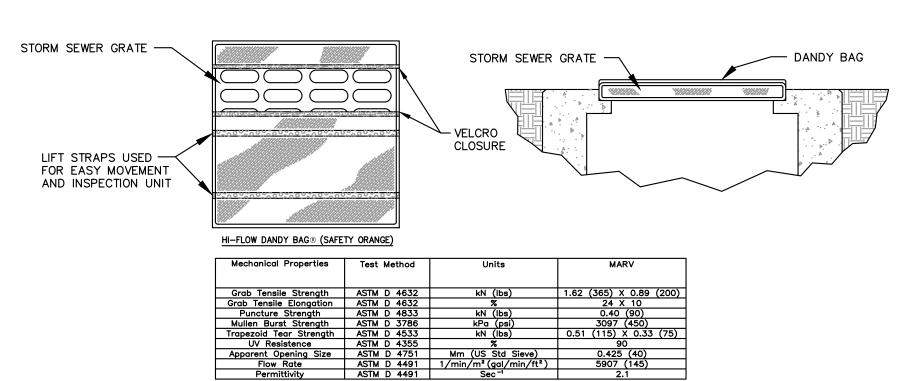
MAINTENANCE GUIDELINES VISIT

PART NUMBER ALONE IS NOT SUFFICIENT.

INLET PROTECTION SHALL BE INSTALLED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES **FUNCTIONAL** 

BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCHES LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.

A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.



**INLET PROTECTION ALTERNATIVE: DANDY BAG** N.T.S

DISCHARGE HOSE FLOW TIE-DOWN WATER PUMP **DE-WATERING BAC** SUGGESTED DISCHARGE SET-UP FOR PUMPING **MUDDY WATER** 

THE PUMPING OR DIRECT DISCHARGE OF SEDIMENT-LADEN (MUDDY) WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF COLUMBUS REGULATIONS.

CONCRETE

STRUCTURE

REPLACE GRATE

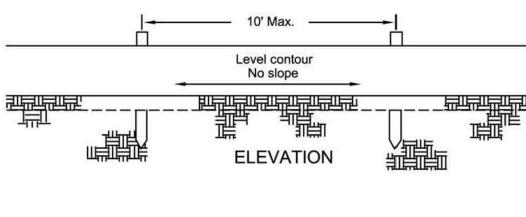
ALL INLETS RECEIVING FLOW FROM RUNOFF, PUMPING ACTIVITIES, OR OTHER DIRECT DISCHARGE SHALL BE FITTED WITH AN INLET PROTECTION DEVICE THAT IS PROPERLY SIZED AND SECURED TO REDUCE THE DISCHARGE OF SEDIMENT INTO THE STORM SEWER SYSTEM AND RECEIVING STREAM. INLET PROTECTION IS REQUIRED ON ALL INLETS RECEIVING DISCHARGE REGARDLESS OF WHETHER OR NOT THE INLET IS TRIBUTARY TO ANY DOWNSTREAM EROSION AND SEDIMENT CONTROLS.

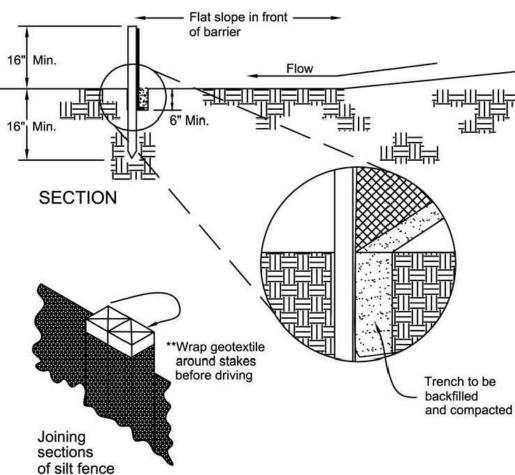
DISCHARGE HOSES USED DURING PUMPING ACTIVITIES SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE PROPERLY SIZED PER MANUFACTURE'S RECOMMENDATIONS REGARDLESS OF WHAT OTHER SEDIMENT CONTROLS ARE IN PLACE FURTHER DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY SECURED TO THE DISCHARGE HOSE AND PLACED OVER VEGETATED AREAS, WHERE FEASIBLE, DURING DISCHARGE. SEE DETAIL BELOW OF A TYPICAL SEDIMENT BAG INSTALLATION.

#### **SILT FENCE** DESCRIPTION

A SILT FENCE IS A SEDIMENT-TRAPPING PRACTICE UTILIZING A GEOTEXTILE FENCE, TOPOGRAPHY AND SOMETIMES VEGETATION TO CAUSE SEDIMENT DEPOSITION. SILT FENCE REDUCES RUNOFF'S ABILITY TO TRANSPORT SEDIMENT BY PONDING RUNOFF AND DISSIPATING SMALL RILLS OF CONCENTRATED FLOW INTO UNIFORM SHEET FLOW. SILT FENCE IS USED TO PREVENT SEDIMENT-LADEN SHEET RUNOFF FROM ENTERING INTO DOWNSTREAM CREEKS AND SEWER SYSTEMS.

#### SPECIFICATIONS FOR SILT FENCE (Not to Scale)





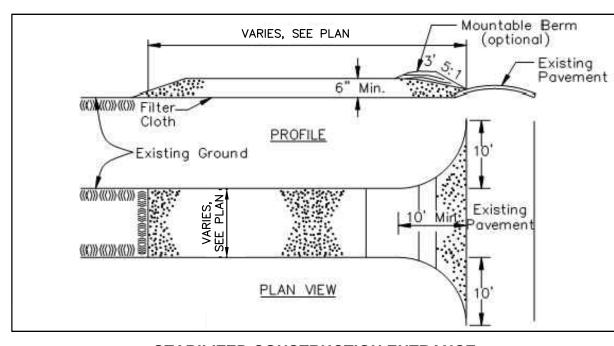
- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE
- PREVENTED FROM FLOWING AROUND THE ENDS. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED. IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL
- BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF
- GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC. SEAMS BETWEEN SECTION OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH AA MINIMUM 6 INCHES
- OVERLAP PRIOR TO DRIVING INTO THE GROUND. (SEE DETAILS) MAINTENANCE - SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED. SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A

PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

### CRITERIA FOR SILT FENCE MATERIALS:

- FENCE POSTS THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2-BY-2 INCH NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.
- SILT FENCE FABRIC (SEE CHART BELOW):

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	< OR = 0.84 MM	ASTM D4751
MINIMUM PERMITTIVITY	1X10-2 SEC1	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355



### STABILIZED CONSTRUCTION ENTRANCE

- CONSTRUCTION ENTRANCE SPECIFICATIONS (SEE LEFT FOR DETAIL):
- 1. STONE SIZE USE 2 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- 2. LENGTH AS REQUIRED.
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- 5. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING MATERIAL IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE
- 7. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY
- 8. WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO
- AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

### **ADDITIONAL NOTES:**

- 1. DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE CITY/COUNTY SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND THE CITY OF NEW ALBANY REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.
- 2. UPPER BANK ABOVE NORMAL WATER ELEVATION SHOULD BE STABILIZED QUICKLY WITH STRAW BLANKETS, JUTTE MATTING, OR SIMILAR GEO-TEXTILE.
- 3. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF NEW ALBANY AND/OR THE OHIO EPA.
- 4. ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED APPROPRIATE INLET PROTECTION FOR SEDIMENT
- 5. STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING, AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.
- 6. THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.
- 7. THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS, STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE. ADDITIONALLY, THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE. THEY ARE NOW APPROVED FOR USE ON ALL COLUMBUS SWP3 PLANS AND CONSTRUCTION SITES.
- 8. STRAW WATTLES OR COMPOST ROLLS HAVE TO BE A MINIMUM OF 12 INCHES IN DIAMETER (OEPA).

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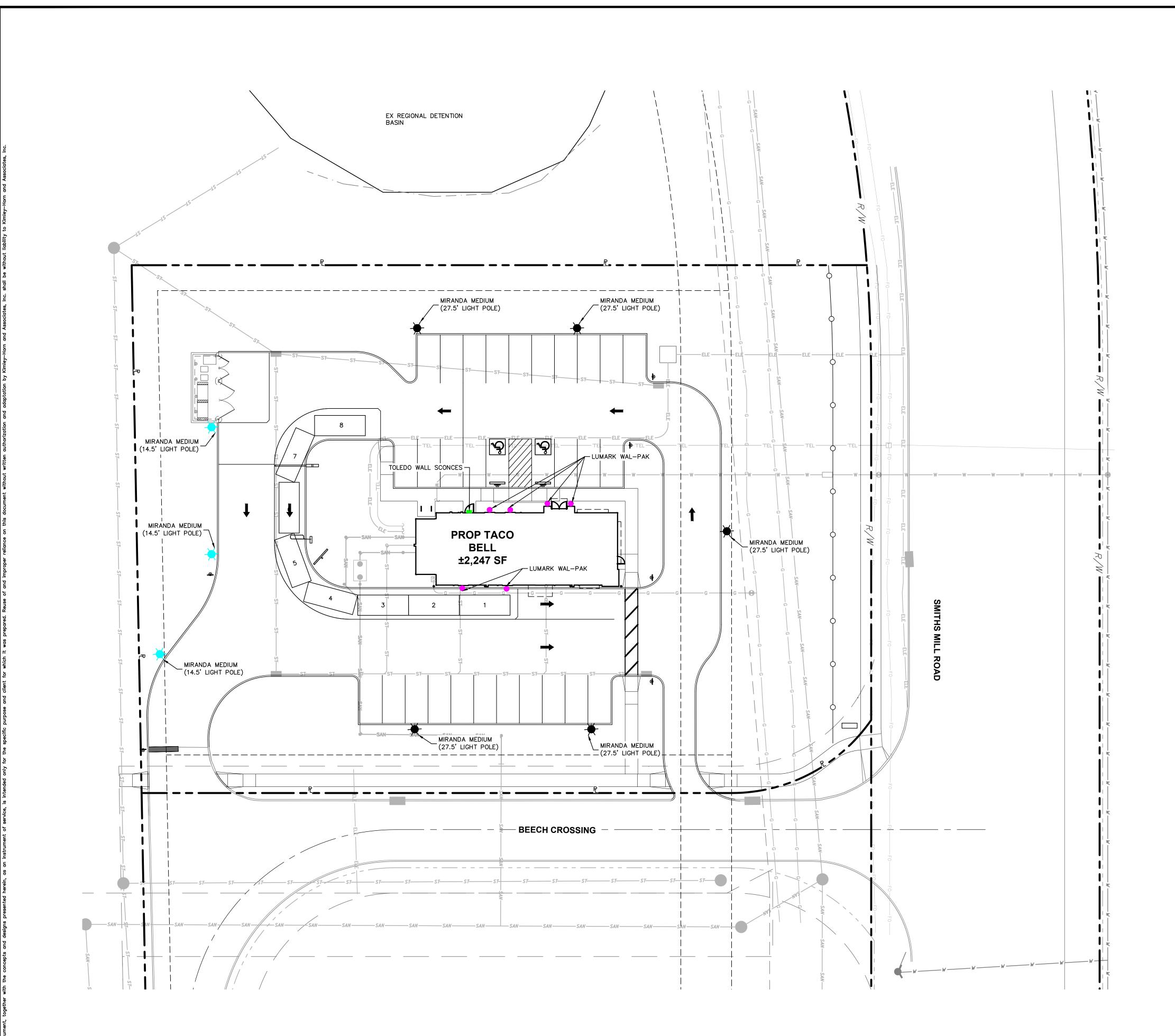
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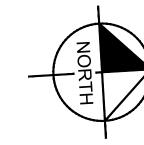
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SUBMITTAL DATE: 7/24/2023 KHA PROJECT NO.

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#### **UTILITY LEGEND**

EXISTING STORM MANHOLE
EXISTING STORM INLET
EXISTING STORM SEWER LINE
EXISTING SANITARY SEWER LINE
EXISTING SANITARY MANHOLE
EXISTING WATER LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING FIBER OPTIC
EXISTING GAS LINE
PROPOSED UNDERGROUND ELECTRIC LINE
PROPOSED TELECOMMUNICATIONS LINE
PROPOSED SANITARY SEWER LINE
PROPOSED STORM SEWER
PROPOSED WATER LINE
PROPOSED GAS LINE
PROPOSED SANITARY CLEANOUT
PROPOSED STORM CATCH BASIN
PROPOSED SANITARY MANHOLE
PROPOSED MIRANDA MEDIUM (27.5' LIGHT POLE)
PROPOSED MIRANDA MEDIUM (14.5' LIGHT POLE)
PROPOSED LUMARK WAL-PAK
PROPOSED TOLEDO WALL SCONCES

## NOTES

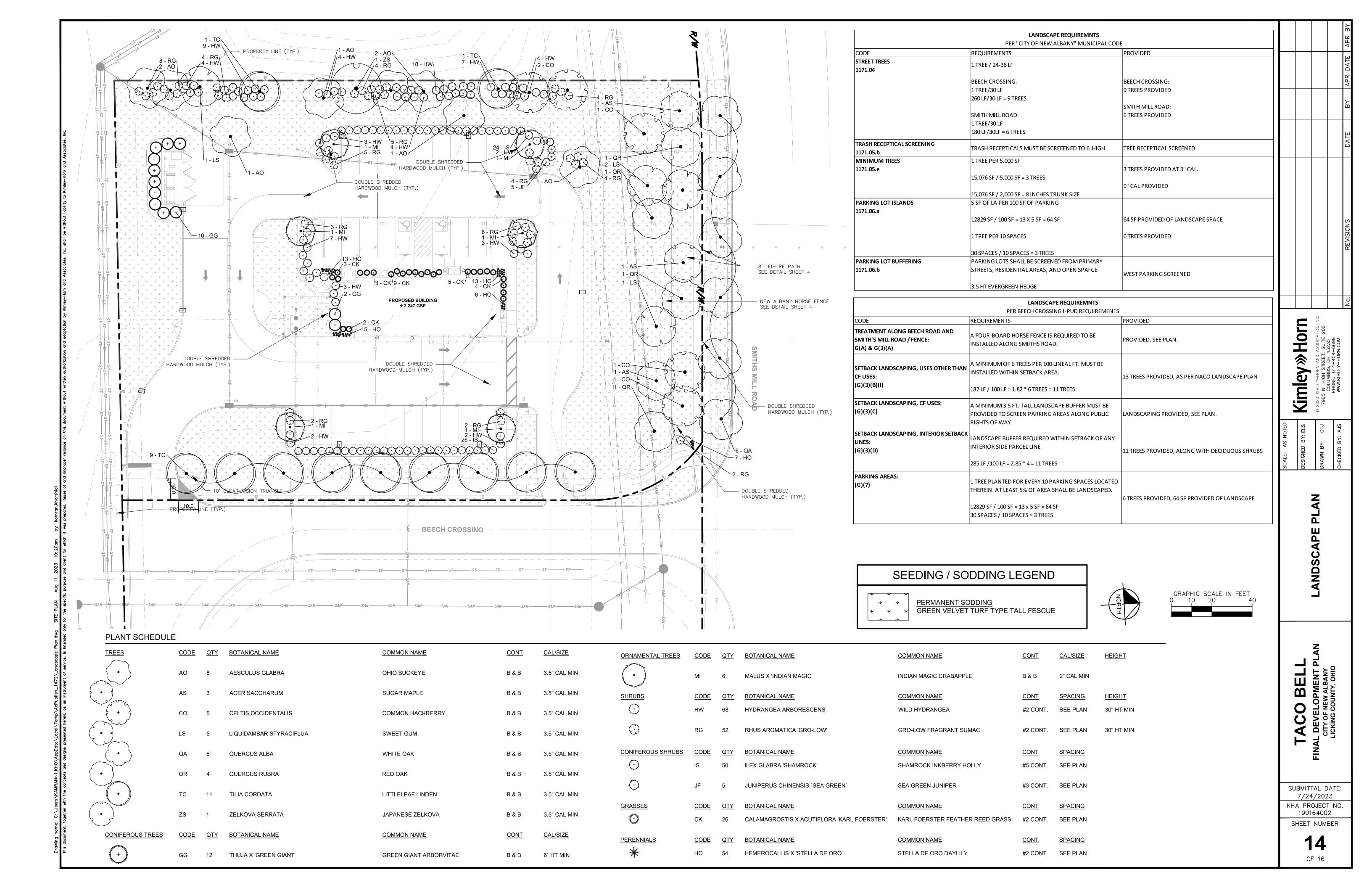
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND.
- 2. NO CONSTRUCTION SHALL BEGIN UNTIL PERMITTED BY THE LOCAL UTILITIES AND/OR THE STATE OF OHIO.
- 3. LIGHT FIXTURES ARE TO BE MIRANDA MEDIUM OUTDOOR LED LIGHTS.

•	EXISTING STORM MANHOLE
_	EXISTING STORM INLET
<i>S7</i>	EXISTING STORM SEWER LINE
SAN	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY MANHOLE
w	EXISTING WATER LINE
ELE	EXISTING UNDERGROUND ELECTRIC LINE
FO	EXISTING FIBER OPTIC
G	EXISTING GAS LINE
ELEC	PROPOSED UNDERGROUND ELECTRIC LINE
TEL	PROPOSED TELECOMMUNICATIONS LINE
SAN	PROPOSED SANITARY SEWER LINE
ST	PROPOSED STORM SEWER
	PROPOSED WATER LINE
G	PROPOSED GAS LINE
•	PROPOSED SANITARY CLEANOUT
	PROPOSED STORM CATCH BASIN
	PROPOSED SANITARY MANHOLE
	PROPOSED MIRANDA MEDIUM (27.5' LIGHT POLE)
<del></del>	PROPOSED MIRANDA MEDIUM (14.5' LIGHT POLE)
•	PROPOSED LUMARK WAL-PAK
<u></u>	PROPOSED TOLEDO WALL SCONCES

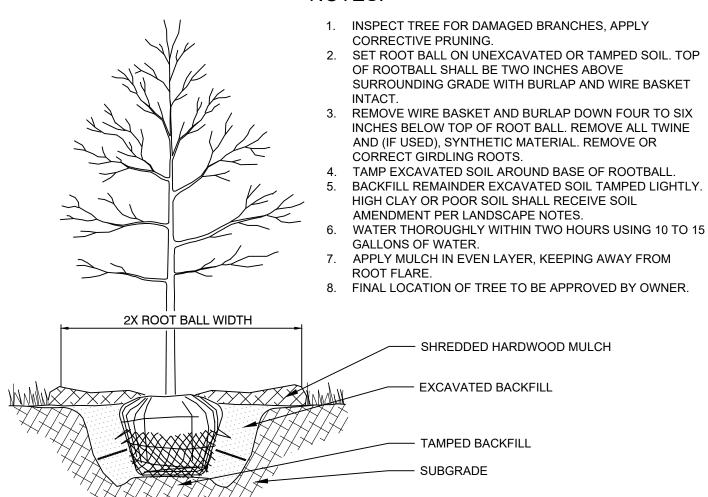
**Kimley** » Horn

SUBMITTAL DATE: 7/24/2023 KHA PROJECT NO.

190164002 SHEET NUMBER



#### NOTES:

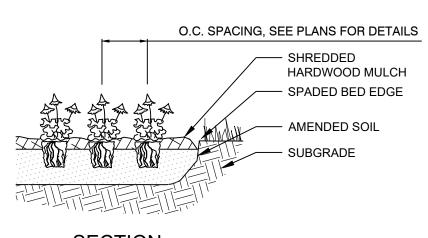


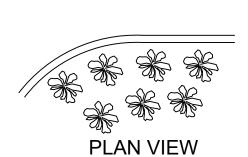
### NOTES:

1. EXCAVATE PLANTING BED.

PLANS FOR BED LAYOUTS.

- 2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
- 3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
- 2. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE
- PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
   APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED, SEE
- 5. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.

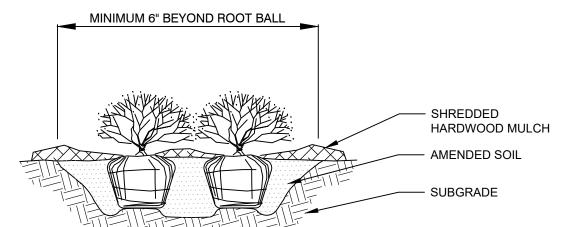




1 TREE PLANTING

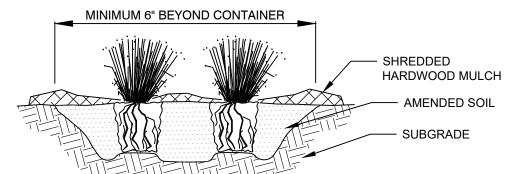
PERENNIAL PLANTING

3



### NOTES:

- . APPLY CORRECTIVE PRUNING
- SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
- 3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- 4. REMOVE OR CORRECT GIRDLING ROOTS.
  5. PLUMB AND BACKELL WITH AMENDED SOL
- 5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- 6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.



### NOTES:

- APPLY CORRECTIVE PRUNING.
- 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF CONTAINER SHALL BE ONE INCH ABOVE SURROUNDING GRADE.
- 3. SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN GRASSES, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- 4. REMOVE OR CORRECT GIRDLING ROOTS.
- 5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- 6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR GRASS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

SHRUB PLANTING

ORNAMENTAL GRASS PLANTING

NTS

### LANDSCAPE NOTES

- 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- 2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- 3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- 5. ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- 7. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNERS WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- 8. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- 9. PRUNE PLANTS AS NECESSARY- PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- 10. TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- 11. PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS.
- 12. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
- 13. EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- 14. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 ET WIDE MAXIMUM TREE BING WITH 3" DEPTH SHREDDED HARDWOOD MULCH
- FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH.

  15. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND
- UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.

  16. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE
- SITE UNLESS OTHERWISE NOTED ON PLAN.

  17. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE
- LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.

  18. PLANT OLIANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW
- 18. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- 19. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

INC.
No. REVISIONS DATE BY APR DATE

Kimley >>> Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N. HIGH STREET, SUITE 200
COLUMBUS, OH 43235
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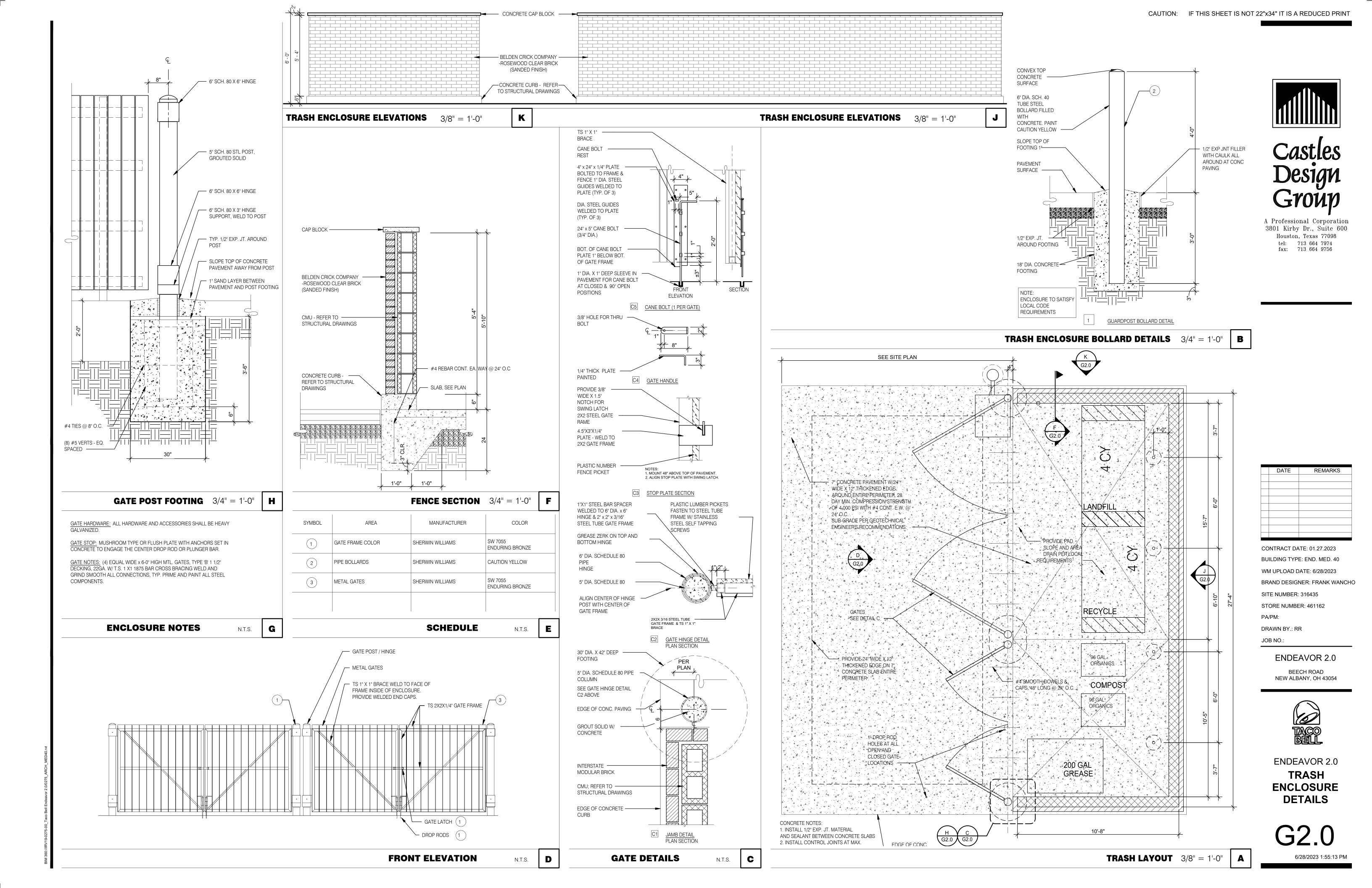
DESIGNED BY: ELS
DRAWN BY: GTJ
CHECKED BY: AJS

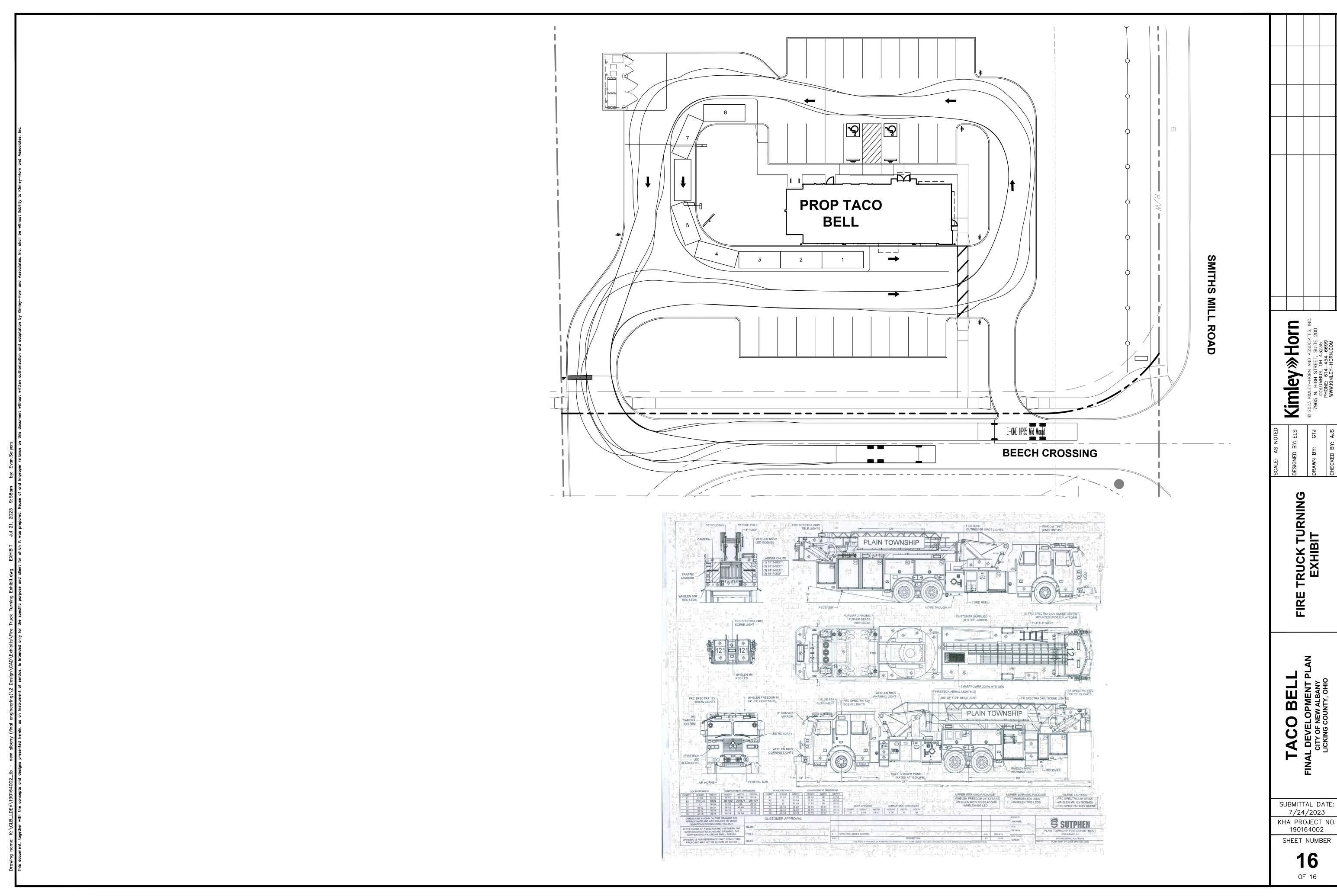
ANDSCAPE NOTE AND DETAILS

FACO BELL

SUBMITTAL DATE: 7/24/2023 KHA PROJECT NO.

190164002 SHEET NUMBER





SHEET NUMBER

A Professional Corporation 3801 Kirby Dr., Suite 600 Houston, Texas 77098 tel: 713 664 7974 fax: 713 664 9756

REMARKS

CONTRACT DATE: 01.27.2023

BUILDING TYPE: END. MED. 40

WM UPLOAD DATE: 6/28/2023

SITE NUMBER: 316435

DRAWN BY .: RR

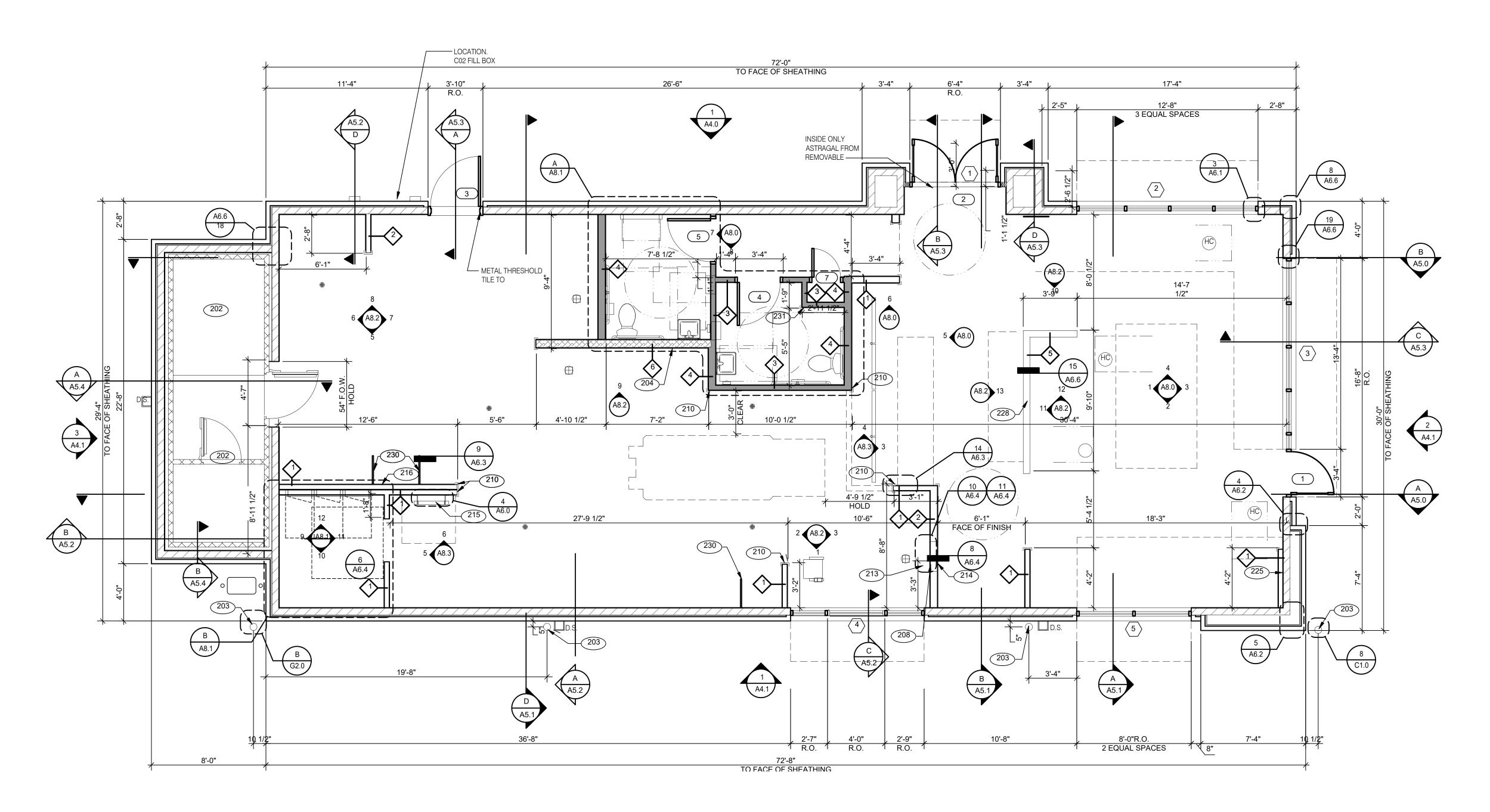
STORE NUMBER: 461162

BRAND DESIGNER: FRANK WANCHO

**ENDEAVOR 2.0** 

BEECH ROAD

NEW ALBANY, OH 43054





**FLOOR PLAN** 1/4'' = 1'-0''

HOOD WALL, SEE WALL LEGEND.

202 NO FRP BEHIND W-059 WALK-IN COOLER/FREEZER.

208 KEEP CLEAR FOR UTILITIES & SYRUP LINES.

S.S. CORNER GUARD/WALL CAP [TM-2], TYP. ALL CORNERS IN

BACK OF HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER.

213 SYRUP LINE CHASE (ABOVE).

PIPE BOLLARD. SEE DETAIL.

214 14"x14" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER.

215 ROOF LADDER.

203

216 ADD SECOND 2X4 WALL ON KITCHEN SIDE.

CASED OPENING, REFER TO DETAIL 5/A6.4 FUR OUT WALL AS INDICATED WITH 2X4 WOOD STUDS AT 16"

228 LOW WALL, BY G.C. COORDINATE WITH STRUCTURAL

DRAWINGS

231 CORNER GUARD TILE SCHLUTER.

STAINLESS STEEL SPLASH GUARD.

**FLOOR PLAN** 

5/8" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT 1/2" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULE E **WALL LEGEND** 

YPICAL INTERIOR WALL W/ 3-1/2" UNFACED

 $\langle$  3  $\rangle$  2X4 WOOD STUDS  $\langle$  4  $\rangle$  2X6 WOOD STUDS

REFER TO DETAIL 2/M3.0 FOR EXTENT OF S.S. PANEL.

DASHED LINE INDICATES INTERIOR SUBSTRATE

2X4 WD STUDS AT 16" O.C. AS SCHEDULED (SEE

INTERIOR NON-COMBUSTIBLE WALL WITH 20 GA. S.S. PANEL BEHIND

< 5 > 2X4 WOOD STUDS

HOOD. EXTEND MIN. 18" BEYOND END OF HOOD. M. STUD FRAMING.

FIBERGLASS BATT INSULATION.

6 6 METAL STUD

LOCATION.

DETAIL 15/A6.6)

A. ALL DIMENSIONS NOTED ARE TO FACE OF CONCRETE FOUNDATION, FACE OF SHEATHING ON EXTERIOR WALLS, AND FACE OF FINISH ON INTERIOR WALLS U.N.O.

B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQUIRED. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

A. SEE SHEET A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.

B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

A. PROVIDE 1/2" THICK CEMENTITOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.O.N.

B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.

C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.

A. SEE A2.0 FOR SEATING PLAN AND DETAILS. B. SEE A7.0 FOR FLOOR FINISHES.

C. SEE A8.0 - A8.3 FOR WALL FINISHES. D. SEE A7.1 FOR CEILING FINISHES.

A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC AND (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT. FOR ADDITIONAL INFORMATION SEE SHEET A2.0 B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR

PARTITONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.

**FLOOR PLAN NOTES** 

D

**KEY NOTES** 

6/28/2023 1:55:13 PM В

2X6 WD STUDS AT 16" O.C. W/ SHEATHING AS SCHEDULED (SEE

INSULATION U.O.N. WITH BLUESKIN VP 100 WATER RESISTIVE AIR

1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6" ABOVE CEILING HEIGHT U.O.N. SEE 6 & 8/A6.3 (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO ALLOW THE G.C. FLEXIBILITY.)

1/2" CEMENT WALLBOARD FROM T.O. SLAB T.O. 12" A.F.F. AT 12" A.F.F., USE 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N. IF DOUBLE SIDE SHEAR WALL PLYWD IS

STRUCT. DWGS.) AND R-19 KRAFT-FACED FIBERGLASS BATT

BARRIER MEMBRANE.

WD STUDS AT 16" O.C. AS INDICATED

(1) 2X4 WOOD STUDS

2 > 2X6 WOOD STUDS

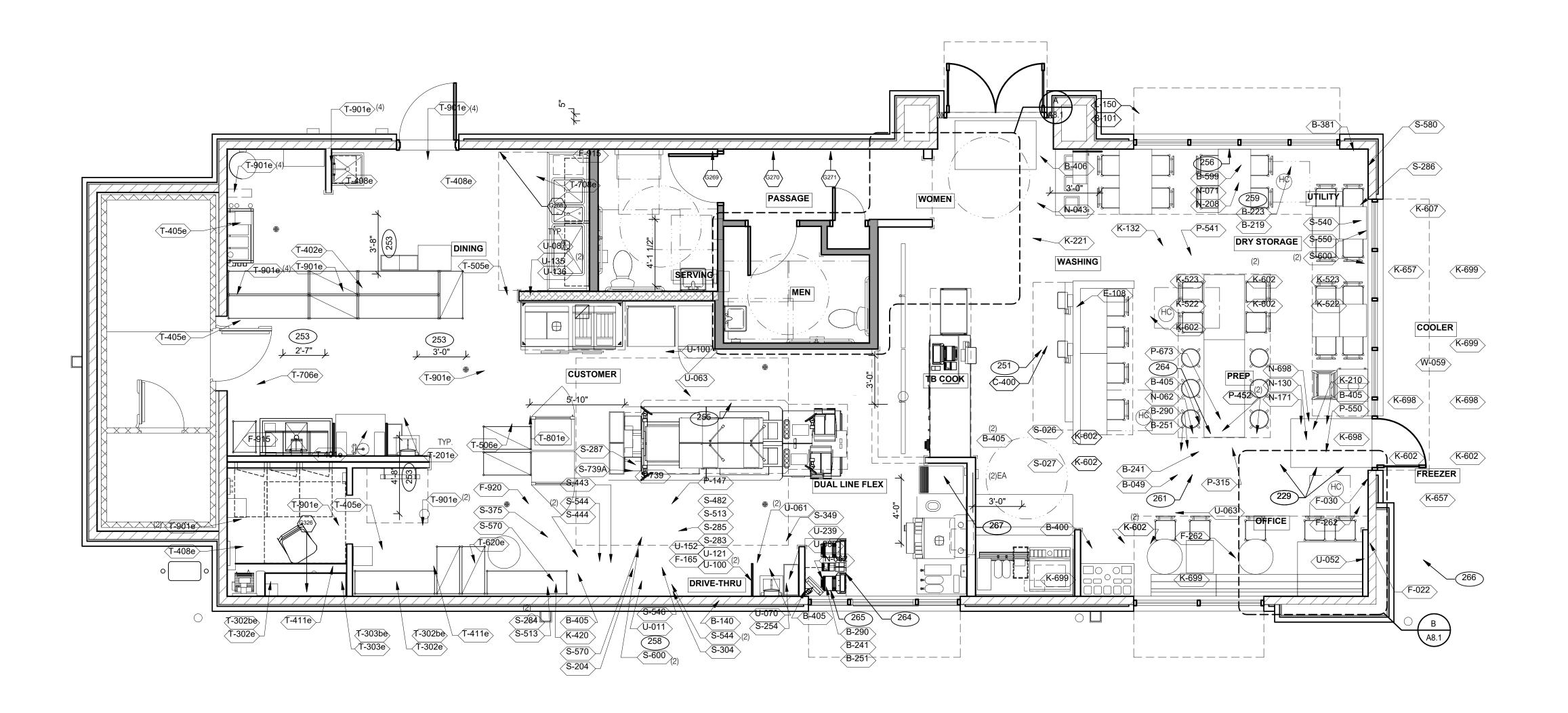
WALL HEIGHTS:
ALL INTERIOR NON-BEARING WALLS GO TO BOTTOM OF TRUSS, U.O.N. REFER TO STRUCTURE.

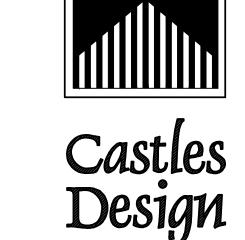
SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE 4/A6.3.

- KITCHEN WALLS AND DINING ROOM CLOSET:

U.O.N. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED.

ENDEAVOR 2.0





A Professional Corporation 3801 Kirby Dr., Suite 600 Houston, Texas 77098 tel: 713 664 7974 fax: 713 664 9756

DATE	REMARKS
	DATE

CONTRACT DATE: 01.27.2023 BUILDING TYPE: END. MED. 40 WM UPLOAD DATE: 6/28/2023 BRAND DESIGNER: FRANK WANCHO SITE NUMBER: 316435 STORE NUMBER: 461162 PA/PM:

DRAWN BY.: RR JOB NO.:

WHEN AISLE SERVES MORE THAN 50 SEATS).

255 ALERT LIGHT BOX FOR 3-COMP POWER SOAK.

256 PULL STATION @ 3'-8" A.F.F.

MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT

DOORS, 32" AT DOORWAYS AND CASED OPENINGS. (42" AISLE REQUIRED

**ENDEAVOR 2.0** 

BEECH ROAD NEW ALBANY, OH 43054



**ENDEAVOR 2.0 EQUIPMENT AND SEATING PLAN** 

6/28/2023 1:55:13 PM

**EQUIPMENT AND SEATING PLAN** 1/4" = 1'-0" .... FRAME OR ..... 229 ELECTRICAL PANELS. DECOR REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITY 251 HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).

(HC) SYMBOL DENOTES A HANDICA PACCESSIBLE TABLE.

T-706e	1	WASTE ENCLOSURE - SINGLE	
T-708e	1	WASTE ENCLOSURE - 3 STREAM	
T-801e	1	KIOSK 1/2 TOWER	
T-901e	29	CHAIR - LAMINATE SEAT	
T-903	4	BENCH SEAT - 48"	
T-904	3	BENCH SEAT - 60"	

ITEM DESCRIPTION

E

	QTY.	NAME	FAMILY	MURAL	SIZE	LOCATION
G326	1	HYPNOTIZE ME BELL	D	M01	H6'-4" x W17'-6"	SEE A8.0
G269	1	CAMO PATTERN	D	F01	28x40	SEE A8.0
G270	1	CAMO PATTERN	D	F02	28x40	SEE A8.0
G271	1	CAMO PATTERN	D	F01	28x40	SEE A8.0
!		1		!		'

	SHELVING QUANTITIES		C2		XXX	<b>KEY NOTES</b>	В
FROZEN STORAGE		12					
COLD STORAGE		26		_			
DRY STORAGE		53					
STORAGE TYPE		LINEAR	RFT.	267		EQUIPMENT SEE SHEET A8.3.	
	GENERAL NOTES		C1	265		ND SANITIZER DISPENSERS PROVIDED BY	(
				261 264		D LADDER UP SAFETY POST.	
				259	COUNTER. 6" HIGH WATER HEATER P		WALL TO
				258	COORDINATE LOCATION (	OF HORIZONTAL PVC SYRUP CHASE THRU	WALL TO

FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N.

TAG QTY

TAG QTY

5 RETRO CHAIR - 18

2 BENCH SEAT - 48"

1 BENCH SEAT - 60"

2 BENCH BACK REST - 48"

1 BENCH BACK REST - 60"

1 HUB TABLE - 48" - ADA

1 HUB TABLE - 72" - HIGH TOP

2 SS TABLE - 24 DIA X 30 - 2 TOP

1 SS TABLE - 24 DIA X 30 - 2 TOP

1 COUNTER TOP - 48" X 20" X 30" 1 COUNTER TOP - 60" X 20" X 30"

1 CONDIMENT COUNTER - RECTANGLE

5 LAMINATE TABLE - 24 X 20 X 30 - 2 TOP

3 LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP

2 LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP

T-105

T-302e

T-303e

T-401e

T-402e

T-405e

T-408e

T-415

T-416 T-505e

T-506e

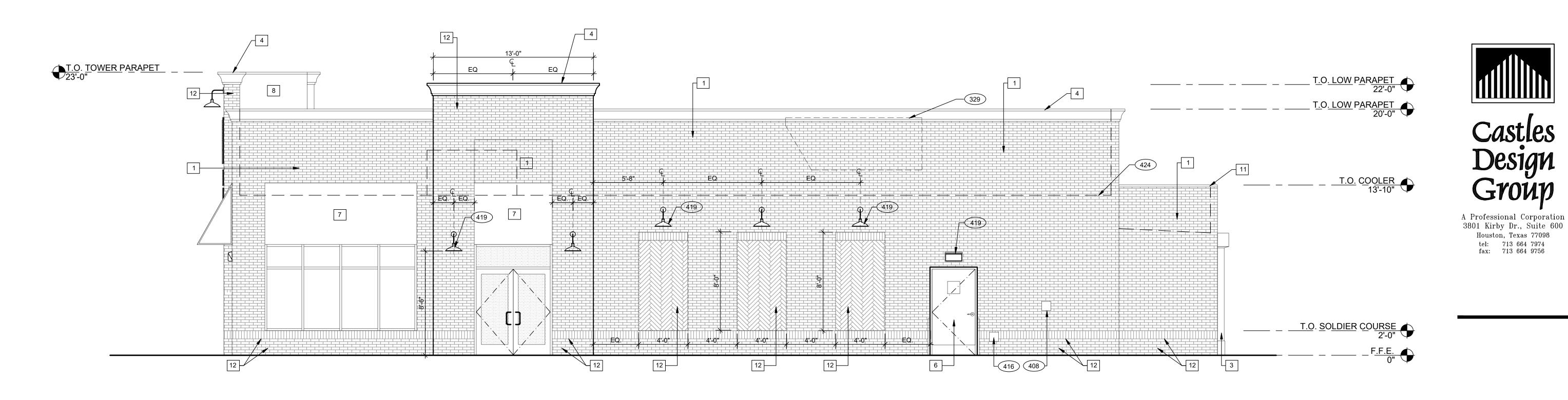
ITEM DESCRIPTION

6 BARREL BARSTOOL - 29 PURPLE WOOD SEAT

D **ARTWORK SCHEDULE** 

XXX

**KEY NOTES** 



**WEST ELEVATION** 1/4" = 1'-0"



TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-09.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
SIDE ENTRY			
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 6" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L 3" H X 1' 4" D BLACK	A4.0

MISCELLANEOUS

A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)

A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.

B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.

C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND

**GENERAL NOTES** 

ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

C

APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION. PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
A-100 EXTERIOR LATEX SATIN.

**PAINT NOTES** 

LOCATION

A4.0

A4.0

48x96

48x96

48x96

48x96

FRAME OR

M02

M02

329 MECHANICAL UNIT, SEE ROOF PLAN. BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL

METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL

PLANS. 408 CO2 FILLER VALVE & COVER.

416 HOSE BIB BOX

EXTERIOR LIGH 419

PURPLE LIGHT

<b>ZZ</b>	PURPLE LIGHT WALL
24	LINE OF ROOF BEYO

.,
X AT 18" A.F.F.
GHT FIXTURE. SEE ELECTRICAL DRAWINGS.
HT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
OF BEYOND.



SITE NUMBER: 316435

PA/PM:

DRAWN BY.: RR

STORE NUMBER: 461162

CONTRACT DATE: 01.27.2023

BUILDING TYPE: END. MED. 40

WM UPLOAD DATE: 7/18/2023

BRAND DESIGNER: FRANK WANCHO

BEECH ROAD NEW ALBANY, OH 43054

REMARKS



**ENDEAVOR 2.0 EXTERIOR ELEVATIONS** 

6/28/2023 1:55:13 PM

В

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	CONTACT INFORMATION
1	FACE BRICK	BELDEN BRICK CO.	3 5/8" W X 2 5/8" H X 8" L	ST. ANNE BLEND (SANDED FINISH)	SEE C / A 7.2
2	SCUPPERS	-	-	CYBERSPACE (SW7076) KYNAR 500 COATING	
3	DOWN SPOUTS	-	-	CYBERSPACE (SW7076) KYNAR 500 COATING	
4	E.I.F.S. CORNICE	SHERWIN WILLIAMS	-	SAWGRASS BASKET (SW9121) KYNAR 500 COATING	
5					
6	HOLLOW METAL DOOR	-	-	CYBERSPACE (SW7076) KYNAR 500 COATING	
7	AWNING	COOL PLANET AWNING	1 X 1 FRAME	SUNBRELLA BLACK, BLACK ANODIZED FRAME	
8	E.I.F.S.	SHERWIN WILLIAMS	-	PAINT SW7043 - WORLDY GREY	
9					
10	STOREFRONT			DARK BRONZE	
11	METAL PARAPET CAP	-	24GA GALVANIZED	CYBERSPACE (SW7076) KYNAR 500 COATING	
12	FACE BRICK	BELDEN BRICK CO.	3 5/8" W X 2 5/8" H X 8" L	ROSEWOOD CLEAR (SANDED FINISH)	SEE C / A 7.2
12	SINGLE PLY ROOF MEMBRANE OVER R-20 RIGID INSULATION AND 5/8" EXTERIOR GRADE PLYWOOD. CONTRACTOR TO INSTALL PER MANUFACTURERS SPECIFICATIONS.	DURO-LAST		WHITE	SEE C / A 7.2

**SIGNAGE** 

E

ALUMINUM TRIM PROFILE	S [ALTERNATE SOURCE]
DESCRIPTION	ITEM ID - MANUFACTURER
SURROUND J CHANNEL TRIM	T2 - FRY REGLET JMS - TAMLYN
SURROUND VERTICAL TRIM	V2 - FRY REGLET W516RV - TAMLYN
VENT SCREEN	VST38 - TAMLYN
SURROUND HORIZONTAL TRIM	W2 - TAMLYN
SURROUND DRAINAGE FLASHING	XWF - TAMLYN
SURROUND OUTSIDE CORNER TRIM	OC9 - FRY REGLET XOCR516 - TAMLYN
SURROUND INSIDE CORNER TRIM	IC1 or IC21 - FRY REGLET XIC516 - TAMLYN

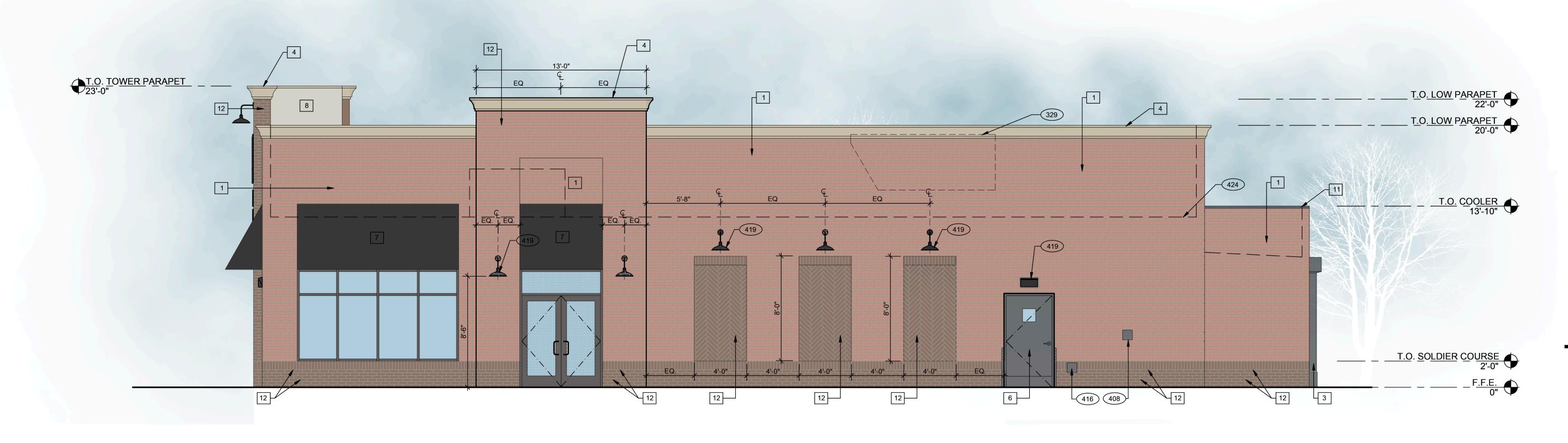
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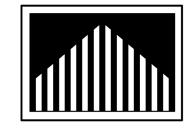
HYPNOTIZE ME BELL

HYPNOTIZE ME BELL

HYPNOTIZE ME BELL

**EXTERIOR FINISH SCHEDULE KEY NOTES** D





A Professional Corporation 3801 Kirby Dr., Suite 600 Houston, Texas 77098 tel: 713 664 7974 fax: 713 664 9756

**WEST ELEVATION** 1/4" = 1'-0"



TOWER			
V-09.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
SIDE ENTRY			
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 6" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L 3" H X 1' 4" D BLACK	A4.0
		SIGNAGE	

MATERIAL SPEC

3 5/8" W X 2 5/8" H X 8" L

1 X 1 FRAME

24GA GALVANIZED

3 5/8" W X 2 5/8" H X 8" L

MANUFACTURER

BELDEN BRICK CO.

SHERWIN WILLIAMS

COOL PLANET AWNING

SHERWIN WILLIAMS

BELDEN BRICK CO.

DURO-LAST

SYMBOL

FACE BRICK

SCUPPERS

3 DOWN SPOUTS

4 E.I.F.S. CORNICE

AWNING

8 E.I.F.S.

6 HOLLOW METAL DOOR

STOREFRONT

FACE BRICK

METAL PARAPET CAP

MANUFACTURERS SPECIFICATIONS.

ITEM/MATERIAL

SINGLE PLY ROOF MEMBRANE OVER R-20 RIGID INSULATION AND

5/8" EXTERIOR GRADE PLYWOOD. CONTRACTOR TO INSTALL PER

MISCELLANEOUS

A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

- SEALERS (REFER TO SPECS)

  A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
- B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS. C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.
- CRITICAL DIMENSIONS

COLOR

CYBERSPACE (SW7076) KYNAR 500 COATING

CYBERSPACE (SW7076) KYNAR 500 COATING

CYBERSPACE (SW7076) KYNAR 500 COATING

SUNBRELLA BLACK, BLACK ANODIZED FRAME

CYBERSPACE (SW7076) KYNAR 500 COATING

ROSEWOOD CLEAR (SANDED FINISH)

PAINT SW7043 - WORLDY GREY

DARK BRONZE

WHITE

SAWGRASS BASKET (SW9121) KYNAR 500 COATING

ST. ANNE BLEND (SANDED FINISH)

A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

CONTACT INFORMATION

SEE C / A 7.2

SEE C / A 7.2

SEE C / A 7.2

C

X	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
G516	HYPNOTIZE ME BELL	D	M02	48x96	A4.0
G517	HYPNOTIZE ME BELL	D	M02	48x96	A4.0
G516	HYPNOTIZE ME BELL	D	M02	48x96	A4.1
G517	HYPNOTIZE ME BELL	D	M02	48x96	A4.1

PAINTING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE. A-100 EXTERIOR LATEX SATIN.

**PAINT NOTES** 

BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL

METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL

	DATE	REMARKS
CC	NITDACT DA	TE: 01.27.2023
	INTINACT DA	NIL. U1.Z1.ZUZ3

BUILDING TYPE: END. MED. 40 WM UPLOAD DATE: 7/18/2023

BRAND DESIGNER: FRANK WANCHO SITE NUMBER: 316435

STORE NUMBER: 461162 PA/PM:

DRAWN BY.: RR

JOB NO.:

**ENDEAVOR 2.0** 

BEECH ROAD NEW ALBANY, OH 43054



**ENDEAVOR 2.0 EXTERIOR ELEVATIONS** 

DESCRIPTION	ITEM ID - MANUFACTURER
SURROUND J CHANNEL TRIM	T2 - FRY REGLET JMS - TAMLYN
SURROUND VERTICAL TRIM	V2 - FRY REGLET W516RV - TAMLYN
VENT SCREEN	VST38 - TAMLYN
SURROUND HORIZONTAL TRIM	W2 - TAMLYN
SURROUND DRAINAGE FLASHING	XWF - TAMLYN
SURROUND OUTSIDE CORNER	OC9 - FRY REGLET

ALUMINUM TRIM PROFILES [ALTERNATE SOURCE]

XOCR516 - TAMLYN SURROUND INSIDE CORNER TRIM | IC1 or IC21 - FRY REGLET XIC516 - TAMLYN

**EXTERIOR FINISH SCHEDULE** 

329 MECHANICAL UNIT, SEE ROOF PLAN.

419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.

422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.

408 CO2 FILLER VALVE & COVER.

416 HOSE BIB BOX AT 18" A.F.F.

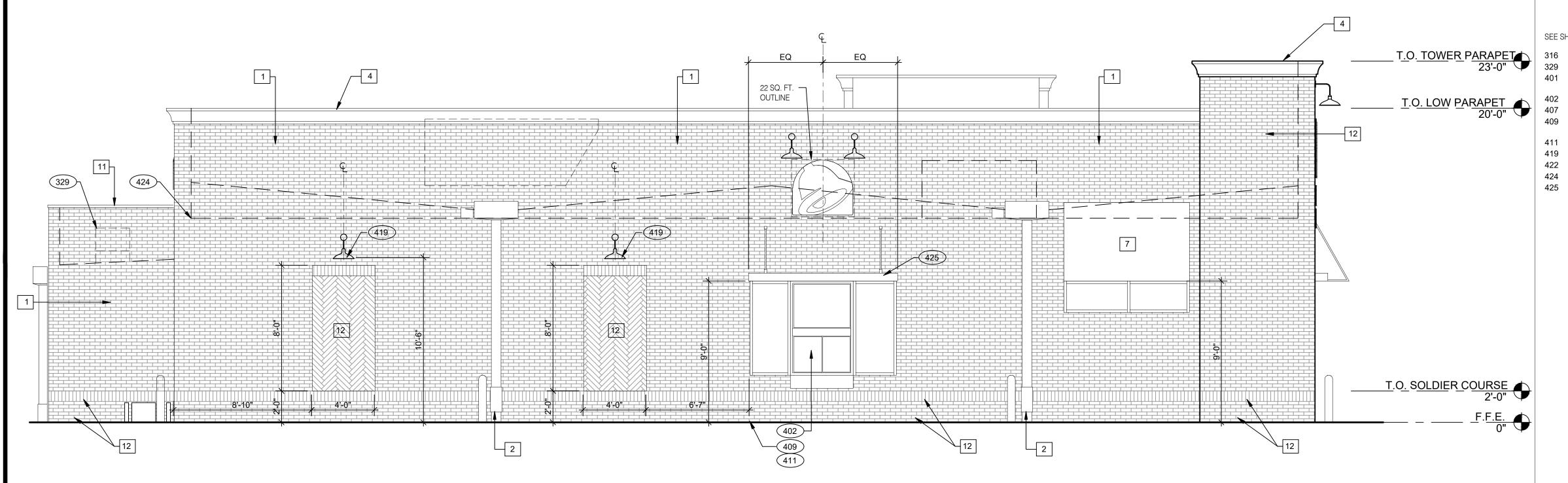
424 LINE OF ROOF BEYOND.

PLANS.

**KEY NOTES** 

D

В



T.O. TOWER PARAPET 23'-0"

T.O. LOW PARAPET 18'-0"

T.O. SOLDIER COURSE 2'-0"

25 SQ. FT. OUTLINE

12

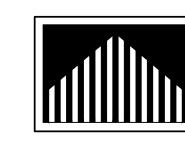
419

7

7

SEE SHEET A4.0 FOR FINISH SCHEDULE

- 316 METAL PARAPET CAP.
- 329 MECHANICAL UNIT, SEE ROOF PLAN.
- BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL
- DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- AWNING BY VENDOR.
- ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 411 CONCRETE CURB.
- 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
- 424 LINE OF ROOF BEYOND.
- 425 METAL CANOPY BY VENDOR.



A Professional Corporation 3801 Kirby Dr., Suite 600 Houston, Texas 77098 tel: 713 664 7974 fax: 713 664 9756

**EAST ELEVATION** 1/4" = 1'-0" **1** 

NOTE: REFERENCE TO SHEET A4.0 FOR COLOR LEGEND

**KEY NOTES** 

T.O. TOWER PARAPET 23'-0"

T.O. COOLER 13'-10"

T.O. SOLDIER COURSE 2'-0"

**SOUTH ELEVATION** 1/4" = 1'-0"

CONTRACT DATE: 01.27.2023 BUILDING TYPE: END. MED. 40 WM UPLOAD DATE: 7/18/2023

BRAND DESIGNER: FRANK WANCHO SITE NUMBER: 316435 STORE NUMBER: 461162

DRAWN BY.: RR

JOB NO.:

**ENDEAVOR 2.0** 

BEECH ROAD NEW ALBANY, OH 43054



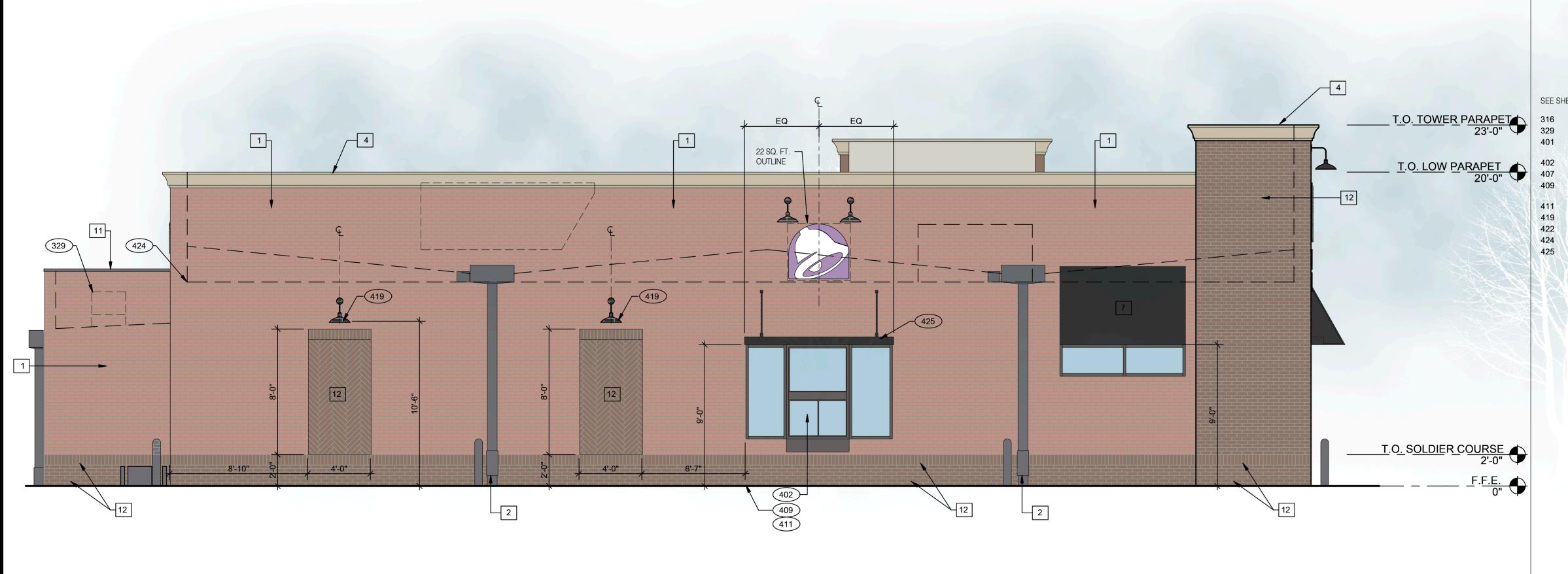
**ENDEAVOR 2.0 EXTERIOR ELEVATIONS** 

6/28/2023 1:55:13 PM

**NORTH ELEVATION** 1/4" = 1'-0" **2** 

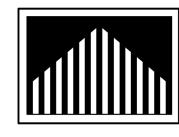
12

419



SEE SHEET A4.0 FOR FINISH SCHEDULE

- 316 METAL PARAPET CAP.
- 329 MECHANICAL UNIT, SEE ROOF PLAN.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL
- 402 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- AWNING BY VENDOR.
- ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 411 CONCRETE CURB.
- 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
- 424 LINE OF ROOF BEYOND.
- 425 METAL CANOPY BY VENDOR.



A Professional Corporation 3801 Kirby Dr., Suite 600 Houston, Texas 77098 tel: 713 664 7974 fax: 713 664 9756

**EAST ELEVATION** 1/4" = 1'-0" **1** 

**KEY NOTES** 

REMARKS

CONTRACT DATE: 01.27.2023 BUILDING TYPE: END. MED. 40 WM UPLOAD DATE: 7/18/2023

BRAND DESIGNER: FRANK WANCHO SITE NUMBER: 316435

STORE NUMBER: 461162

DRAWN BY.: RR JOB NO.:

**ENDEAVOR 2.0** 

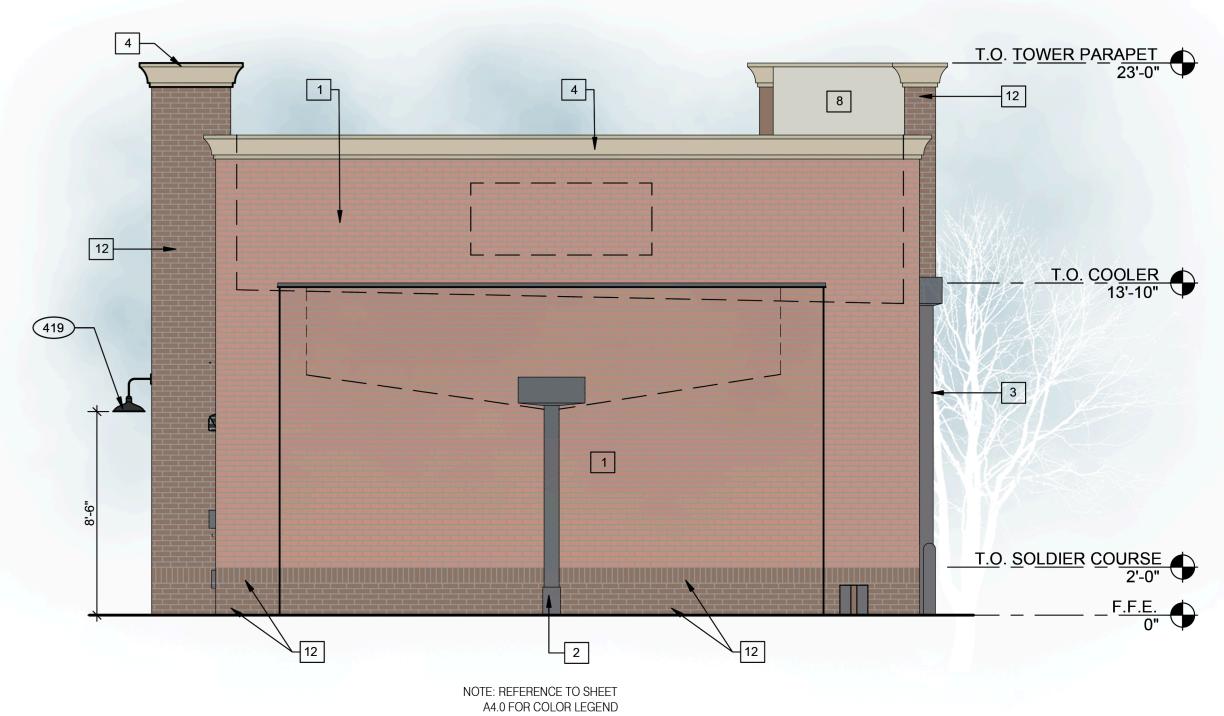
BEECH ROAD NEW ALBANY, OH 43054

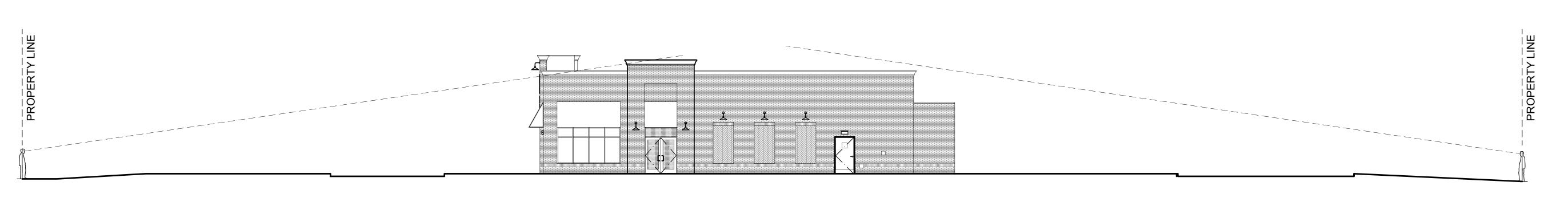


**ENDEAVOR 2.0 EXTERIOR ELEVATIONS** 

6/28/2023 1:55:13 PM



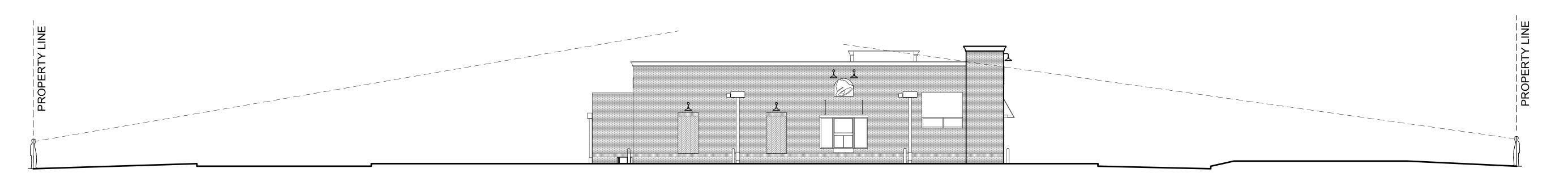




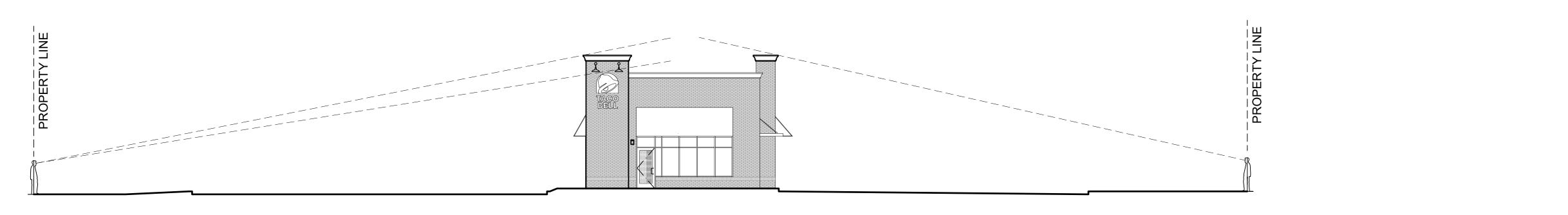
Castles Design Groun

**WEST ELEVATION** 3/32" = 1'-0" **1** 

A Professional Corporation 3801 Kirby Dr., Suite 600 Houston, Texas 77098 tel: 713 664 7974



**EAST ELEVATION** 3/32" = 1'-0" **2** 



**SOUTH ELEVATION** 3/32" = 1'-0" **3** 

CC	NTRACT DA	TE: 01.27.2023
BU	ILDING TYPI	E: END. MED. 40
WN		ATE: 6/28/2023
	W OF LOAD D	7 (1 L. 0/20/2020

SITE NUMBER: 316435
STORE NUMBER: 461162
PA/PM:

DRAWN BY.: RR

ENDEAVOR 2.0

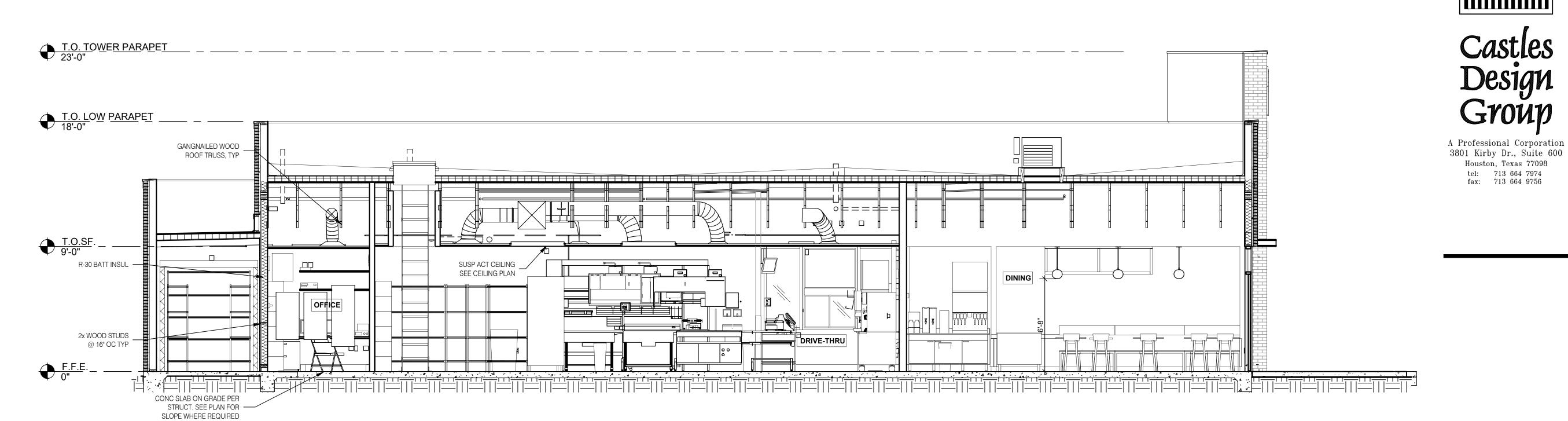
BEECH ROAD
NEW ALBANY, OH 43054



ENDEAVOR 2.0
SITE LINE
STUDY

**NORTH ELEVATION** 3/32" = 1'-0" **4** 

A4.2





Houston, Texas 77098 tel: 713 664 7974 fax: 713 664 9756

CONTRACT DATE: 01.27.2023 BUILDING TYPE: END. MED. 40 WM UPLOAD DATE: 6/28/2023

BRAND DESIGNER: FRANK WANCHO SITE NUMBER: 316435 STORE NUMBER: 461162 PA/PM:

DRAWN BY.: RR JOB NO.:

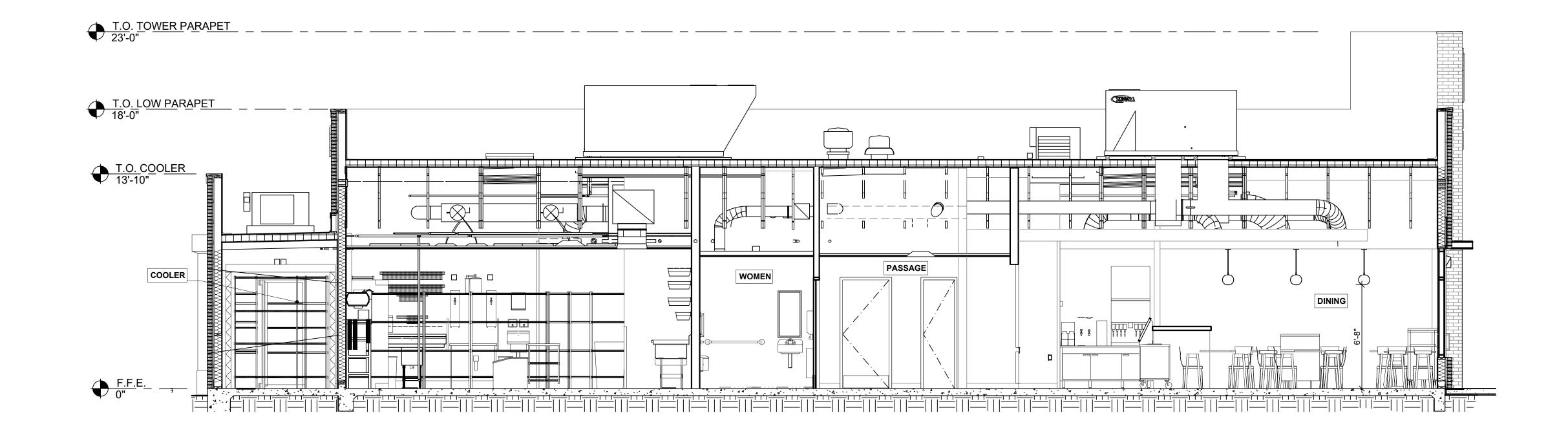
**ENDEAVOR 2.0** 

BEECH ROAD NEW ALBANY, OH 43054

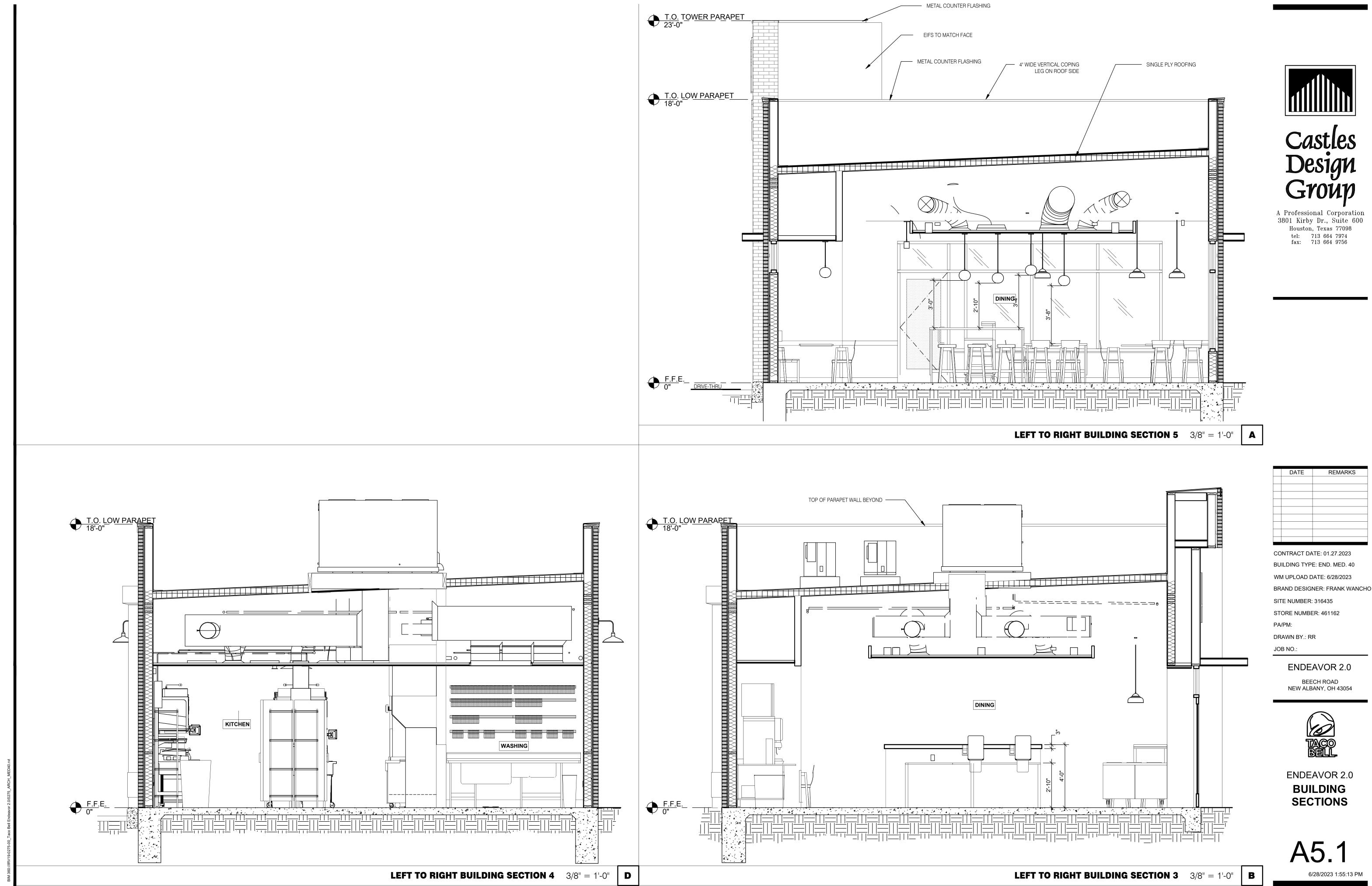


**ENDEAVOR 2.0 BUILDING SECTIONS** 

6/28/2023 1:55:13 PM



**EAST/WEST BUILDING SECTION 2** 1/4" = 1'-0"



CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT

TACO BELL
NEW ALBANY, OH
PREPARED BY: JOHN BUJAKE
ACCUSERV LIGHTING & EQUIPMENT
877-707-7378
jbujake@accu-serv.com
JUNE 20, 2023

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.94	8.0	0.0	N.A.	N.A.
PROPERTY LINES	0.00	0.0	0.0	N.A.	N.A.
PARKING LOT & DRIVE-THRU SURFACE	1.99	4.9	0.0	N.A.	N.A.

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

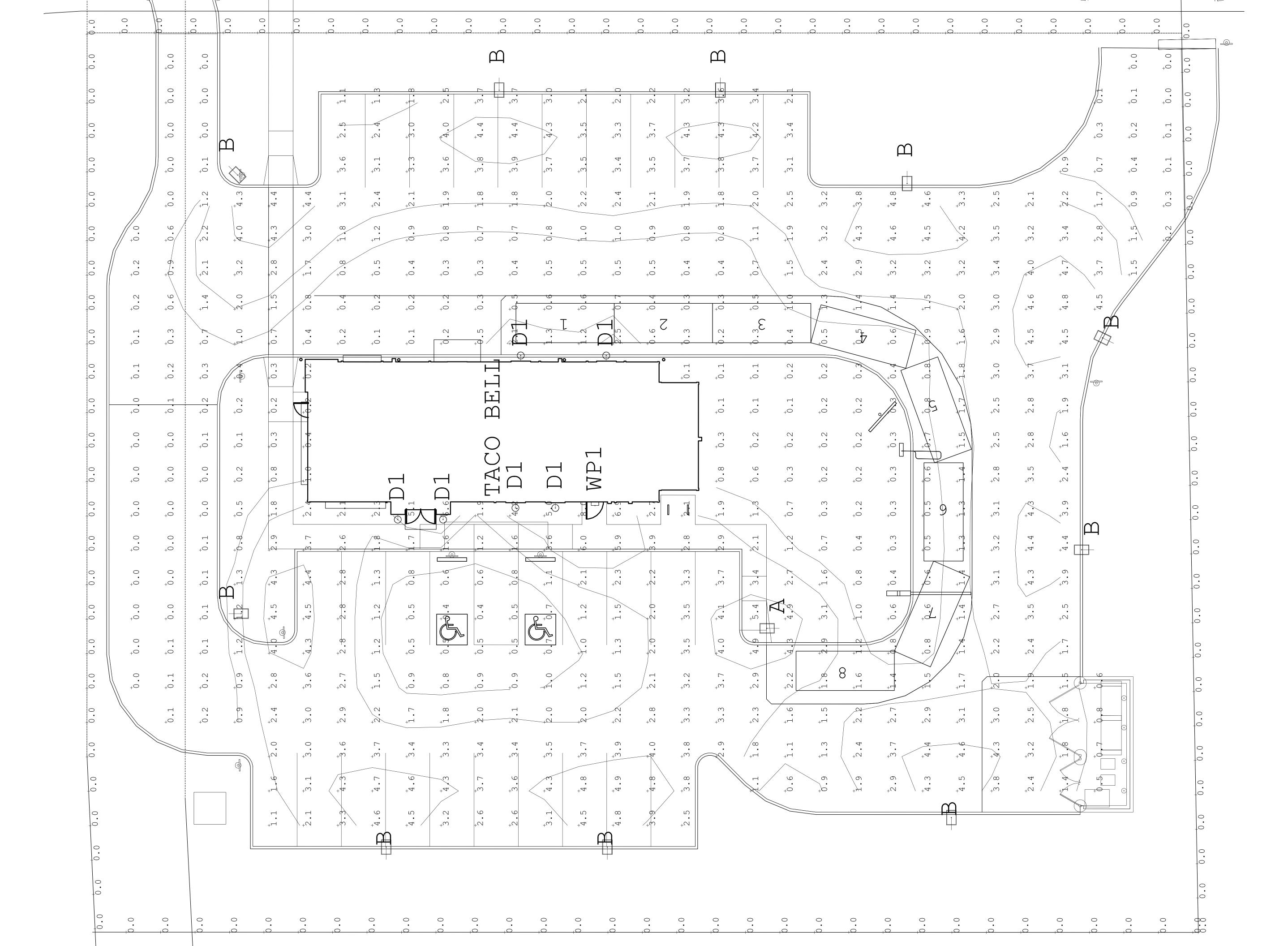
Luminai	re Sch	edule				
Symbol	Qty	Label	Arrangement	Luminaire	LLF	Luminaire Description
				Lumens		Watts
	1	А	SINGLE	7562	0.900	0 48 MRM-LED-07L-SIL-FT-UNV-DIM-40-70CRI-BLK / 4SQB3-S11G-10-S-BLK
	10	В	SINGLE	4852	0.900	0 48 MRM-LED-07L-SIL-FT-UNV-DIM-40-70CRI-BLK-IL / 4SQB3-S11G-10-S-BLK
$\overline{\bigcirc}$	6	D1	SINGLE	779	0.900	0 10 B2772 @ 8.5' & 11' A.F.G.
	1	WP1	SINGLE	3270	0.900	0 27 LDWP-GL-3B-ED-7040 @ 8.5' A.F.G.

NOTE: LIGHT LEVEL NOT TO EXCEED ZERO FOOT-CANDLES AT THE PROPERTY LINES SITE FIXTURES AND POLES HAVE A BLACK FINISH

SITE FIXTURES ARE 48W 4000K LED

FIXTURE B HAS AN AN INTEGRAL BACKLIGHT LOUVER

POLES ARE 10'-0" ON 2'-6" BASES FOR AN OVERALL FIXTURE HEIGHT OF 12'-6" A.F.G.





# S8851

6.5ST19/CL/LED/E26/40K/120V 6.5 watt ST19 LED; Clear; Medium base; 4000K; 810 lumens; 120 volts

#### Features

- LED with a traditional incandescent look and feel
  Omni-directional light source
  Smooth dimming
  Replaces up to 60 watt lamps
  Long life 15,000 hours
  Damp Location
  UL listed for totally enclosed fixtures



S8851

Item Numbe	er I	JPC		Voltage	Watts	Incandescen	t Equiva	lent	Lam	p Shape	Bas	se	ANSI Base
S8851	04592	230885	513	120	6.5	60	W		5	ST19	Medi	ium	E26
	Lamp Code			Dimmable/l Dimmab		Suggested Dimmers	Finish	MOL Inch		MOD In Inches	Initia Lume		Average Rated Hours
6.5ST19/C	CL/LED/E26/4	40K/12	20V	Dimmab	le	Compatible dimmers for S8851	Clear	5-1/	/2"	2-3/8"	81	0	15000
Kelvin Temp	Color	CRI		Spread Deg	Ope	rating Temperat	ure	Pac	ck	Package <sup>-</sup>	Гуре	CE	EC Status
4000	Cool White	80	3	360	-20C (	-4F) to a maximu +45C (+113F)	ım of	24/	1	Box		Non	-Compliant
RoHS	Compliant		UL or	ETL Listed		UL C	lassificat	ion				Warr	anty
•	Yes			Yes		cULus - Dar	np Locat	ion Ra	ated		3 \	Year	Limited



National Toll-Free: 800.43.SATCO (800.437.2826) www.satco.com Distribution Centers: New York, Florida, Texas, Washington, California, Puerto Rico Corporate Offices: 110 Heartland Blvd., Brentwood, NY 11717 800.437.2826 631.243.2022 Fax 631.243.2027



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TOLEDO WALL SCONCES PRODUCT ID **B2772** 



DIMENSIONAL INFORMATION	
DIAMETER	14"
WIDTH	14"
LENGTH	-
HEIGHT	17.25"
EXTENSION	16.75"
ADA COMPLIANT	No
TCD	3"
MINIMUM HEIGHT	-
MAXIMUM HEIGHT	-
CHAIN LENGTH	-
STEM KIT	
CANOPY/BACKPLATE	6"
LAMPING INFORMATION	
(1) 100 WATT MAX 120	
BULB INCLUDED	No
SOCKET TYPE	E26 Medium Base

N/A
N/A
N/A
N/A
N/A
16.25"
7.5"
15.25"
6.6 lbs.
UPS
1

#### **AVAILABLE FINISHES**

#### JOB/LOCATION

QUANTITY				
NOTES				

Troy Lighting, Inc. | 14508 Nelson Ave, City of Industry, California 91744 | www.troy-lighting.com





#### DESCRIPTION

The Lumark Wal-Pak wall luminaire provides traditional architectural style with high performance energy efficient illumination. Rugged die-cast aluminum construction, stainless steel hardware along with a sealed and gasketed optical compartment make the Wal-Pak virtually impenetrable to contaminants. IP66 Rated. Three available lamp sources including patented energy efficient LED, pulse start metal halide and high pressure sodium. UL/cUL wet location listed. The Wal-Pak wall luminaire is ideal for pathway illumination, building entrances, vehicle ramps, schools, tunnels, stairways and loading docks.

Catalog #	Туре
Project	
Comments	Date
Prepared by	

#### **SPECIFICATION FEATURES**

#### Housing

Rugged one-piece die-cast aluminum housing and hinged, removable die-cast aluminum door. One-piece silicone gasket seals the optical chamber. UL 1598 wet location listed and IP66 ingress protection rated.

#### **Electrical**

Ballasts, LED driver and related electrical components are hard mounted to the die-cast housing for optimal heat sinking and operating efficiency. Wiring is extended through a silicone gasket at the back of the housing. Three 1/2" threaded conduit entry points allow for thru-branch wiring. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from LED source. Integral LED electronic driver incorporates internal fusing designed to withstand a 6kV surge test and is Class 2 rated for 120-277V with an operating temperature of -40° to 55°C. WalPak LED systems maintain greater than 93% of the initial light output after 72,000 hours of operation. UL listed HID high power factor ballasts are Class H insulation rated (high pressure sodium: 250, 400W [-40°C / -40°F]. High efficiency HID ballasts are available in 120, 208, 240, 277, 347 and 480V.

#### Optical

Highly reflective anodized aluminum reflectors provide high efficiency illumination. Optical assemblies include impact resistant borosilicate refractive glass, and full cutoff IESNA compliant configurations. Patented, solid state LED luminaires are thermally optimized with three lumen packages. HID models are offered in horizontal medium or mogulbased metal halide [MP] or high pressure sodium [HP] lamps.

#### **Door Assembly**

Single point, captive stainless steel hardware secures the removable hinged door allowing for ease of installation and maintenance. Door assembly is hinged at the bottom for easy removal, installation and re-lamping.

#### Finish

Finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representitive at Eaton for a complete selection of standard colors.

Efficiency Standards Notice Select luminaires are manufactured to USA and California efficiency regulations.



Lumark



#### **WP** WAL-PAK

27, 32 and 46W LED 250 - 400W Pulse Start Metal Halide 250 - 400W High Pressure Sodium

#### WALL MOUNT LUMINAIRE

#### TECHNICAL DATA

UL/cUL Wet Location Listed IP66 Rated

40°C Maximum Ambient Temperature External Supply Wiring 90°C Minimum EISA ®, ARRA, Title 20 Compliant LM79 / LM80 Compliant

## ENERGY DATA

CWA Ballast Input Watts 200W HPS HPF (250 Watts) 250W MP HPF (283 Watts) (£) 400W HPS HPF (465 Watts) 400W MP HPF (452 Watts) (£)

SHIPPING DATA Approximate Net Weight: 32-42 lbs. (15-19 kgs.)

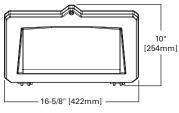






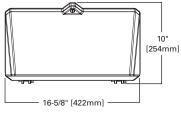
#### DIMENSIONS

#### BOROSILICATE GLASS DOOR (GL)





FULL CUTOFF DOOR (FC)







### POWER AND LUMENS

Catalog Number	Lumens	Power Consumption (Watts)	B.U.G. Rating	Correlated Color Temperature CCT (Kelvin)	Color Rendering Index (CRI)
Borosilicate Glass Door (GL)					
LDWP-GL-3B-ED-7040	3,270	27W	B1-U3-G1	4000K	73
LDWP-GL-4B-ED-7040	4,160	32W	B1-U3-G2	4000K	73
LDWP-GL-6B-ED-7040	5,828	46W	B1-U4-G4	4000K	73
LDWP-GL-3B-ED	3,333	27W	B1-U3-G1	5000K	72
LDWP-GL-4B-ED	4,199	32W	B1-U3-G3	5000K	73
LDWP-GL-6B-ED	5,883	46W	B1-U4-G4	5000K	73
Full Cutoff Door (FC)					
LDWP-FC-3B-ED-7040	1,884	27W	B1-U0-G1	4000K	72
LDWP-FC-4B-ED-7040	2,239	32W	B1-U0-G1	4000K	73
LDWP-FC-6B-ED-7040	3,137	47W	B1-U0-G1	4000K	73
LDWP-FC-3B-ED	1,912	27W	B1-U0-G1	5000K	72
LDWP-FC-4B-ED	2,279	32W	B1-U0-G1	5000K	73
LDWP-FC-6B-ED	3,192	46W	B1-U0-G1	5000K	73

#### **CURRENT DRAW**

Light Engine	(3B)	4B	6B
Nominal Power (Watts)	27W	32W	46W
Input Current @ 120V (A)	0.24	0.28	0.40
Input Current @ 208V (A)	0.14	0.16	0.23
Input Current @ 240V (A)	0.13	0.15	0.20
Input Current @ 277V (A)	0.11	0.13	0.18
Input Current @ 347V (A)	0.09	0.11	0.15
Input Current @ 480V (A)	0.10	0.12	0.14

#### **LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)*	Theoretical L70 (Hours)
25°C	> 93%	> 340,000
40°C	> 92%	> 316,000

<sup>\*</sup> Per TM-21 data.

#### LUMEN MULTIPLIER

Ambient Temperature Lumen Multipli		
10°C	1.07	
15°C	1.04	
25°C	1.00	
40°C	0.94	

#### ORDERING INFORMATION

Sample Number: LDWP-FC-4B-120V

Lamp Type	Product Family <sup>2</sup>	Door Type <sup>3</sup>	Lamp Wattage 4	Voltage <sup>5</sup>
LD=Solid State Light-Emitting Diodes (LED)  HP=High Pressure Sodium MP=Pulse Start Metal Halide	(WP=Wal-Pak)	(GL=Borosilicate Glass Door) FC=Full Cutoff Door	LED 3B=(3 Package), 27W) 4B=(4 Package), 32W 6B=(6 Package), 46W HP 250=250W 400=400W MP 250=250W 400=400W	120V=120V 208V=208V 240V=240V 277V=277V 347V=347V 6 480V=480V 6 DT=Dual-Tap MT=Multi-Tap TT=Tri-Tap [ED=Electronic LED Driver]
Options (Add as Suffix) 7		Accessories (Order Separately)		
F1=Single Fuse (Must Specify Voltage. 120, 277 or 347V) PE=Button Type Photocontrol (Must Specify Voltage. 120, 208, 240 or 277V) LL=Lamp Included Q=Quartz Restrike T4 Lamp <sup>8</sup> EM=Emergency Quartz Restrike T4 Lamp with Time Delay Relay <sup>8</sup> EMLED-CD=LED Battery Backup Cold Temperature <sup>9</sup> 7040=72 CRI /4000K CCT AP=Grey BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White		WG/WPGL=Wire Guard Borosilicate WG/WPFC=Wire Guard Full Cutoff D TR/WP=Tamper-resistant Screw and VS/WPGL=Polycarbonate Vandal Sh	oor Bit	

- NOTES:

  1. DesignLights Consortium<sup>TM</sup> Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.

  2. Fixture color is standard bronze unless optional color is specified.

  3. Small housing offered for LED models. Large housing for 250W-400W. Clear glass is standard for full cutoff door types except for LD. LD full cutoff door is standard with Solite® glass.

  4. LED packages based on 70 CRI / 5000K package at 25°C ambient.

  5. See voltage chart for descriptions. 105°C Rated wire required for thru-branch wiring for units above 250W. Thru-branch wiring is rated for 40°C for LD. Higher wattage thru-branch wiring is rated for use in 25°C ambient conscriptions. operating environments.
  6. Not available with thru-branch wiring. LED will be supplied with integral step down transformer.
  7. Not all options can be combined. Only one emergency or battery back-up option available within the fixture. LD models utilize EMLED-CD options only for battery back-up.
  8. Q or EM not available with LD or E electronic ballast.

- 9. EMLED-CD available with B models only. For use in 25°C ambient operating temperature environments. Specify 120V or 277V. EMLED-CD minimum -20°C/-4°F. Battery pack is a UL recognized component.

#### STOCK ORDERING INFORMATION - LAMP INCLUDED

Sample Number: WPL4BC

Product Family	Lamp Type	Lamp Wattage	Door/Glass Type
<b>WP</b> =Wal-Pak	L=LED P=Pulse Start Metal Halide S=High Pressure Sodium	LED 3B=27W 4B=32W 6B=46W	[Blank]=Standard C=Full Cutoff Door
		Pulse Start Metal Halide 25=250W 40=400W	
		High Pressure Sodium 25=250W 40=400W	

#### **VOLTAGE CHART**

MT=Multi-Tap	120, 208, 240, 277V (Wired 277V)
<b>TT</b> =Triple-Tap	120, 277, 347V (Wired 347V)
ED=Electronic LED Driver	120-277V (Universal - 50-60Hz)





Catalog #:	Project:	Type :
D		D 1

# Mirada Medium (MRM)

# Outdoor LED Area Light















OVERVIEW			
Lumen Package	7,000 - 48,000		
Wattage Range	48 - 401		
Efficacy Range (LPW)	117 - 160		
Weight lbs(kg)	30 (13.6)		

#### **QUICK LINKS**

**Ordering Guide** 

Performance

**Photometrics** 

Dimensions

#### **FEATURES & SPECIFICATIONS**

#### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip\* polyester powder coat finishing process.
   The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

#### **Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

#### **Electrical**

- High-performance programmable driver features over-voltage, under-voltage, shortcircuit and over temperature protection.
   Custom lumen and wattage packages available.
- 0-10V dimming (10% 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- · Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

#### **Controls**

- Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 8 for more details).
   Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/7. (see controls section for more details).

#### Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

#### Warranty

• LSI LED Fixtures carry a 5-year warranty.

#### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at <a href="www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminiare per IEC 66262 mechanical impact code



Custom Lumen Packages<sup>1</sup>



ORDERING GUIDE Back to Quick Links

#### TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL **Prefix Light Source Lumen Package** Lens Distribution Orientation<sup>2</sup> **Voltage** MRM - Mirada Medium LED (blank) - standard **UNV** - Universal Voltage (120-277V) **DIM** - 0-10V Dimming (0-10%) **7L** - 7,000 lms SIL - Silicone 2 - Type 2 HV - High Voltage (347-480V) Area Light **9L** - 9,000 lms **3** - Type 3 L- Optics rotated left 90° 12L - 12,000 lms 5W - Type 5 Wide R - Optics rotated right 90° **18L** - 18,000 lms FT - Forward Throw 24L - 24.000 lms FTA - Forward Throw Automotive **30L** - 30,000 lms AM - Automotive Merchandise **36L** - 36,000 lms 42L - 42.000 lms 48L - 48,000 lms

Color Temp	Color Rendering	Finish		Options
<b>50</b> - 5,000 CCT <b>40</b> - 4,000 CCT <b>30</b> - 3,000 CCT <b>AMB</b> - Phosphor Converted Amber <sup>12</sup>	<b>70CRI</b> - 70 CRI	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite	MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	(Blank) - None  IH - Integral Half Louver (Moderate Spill Light Cutoff <sup>2</sup> IL - Integral Louver (Sharp Spill Light Cutoff) <sup>2</sup>

#### Controls (Choose One)

(Blank) - None

#### Wireless Controls System

**ALSC** - AirLink Synapse Control System

ALSCH - AirLink Synapse Control System Host / Satelite<sup>3</sup>

**ALSCS02** - AirLink Synapse Control System with 12-20' Motion Sensor

**ALSCHS02** - AirLink Synapse Control System Host / Satelite with 12-20' Motion Sensor<sup>3</sup>

ALSCS04 - AirLink Synapse Control System with 20-40' Motion Sensor

**ALSCHS04** - AirLink Synapse Control System Host / Satelite with 20-40' Motion Sensor<sup>3</sup>

ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)
ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)

**Stand-Alone Controls** 

**EXT** - 0-10v Dimming leads extended to housing exterior

CR7P - 7 Pin Control Receptacle ANSI C136.41 6

IMSBT1- Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)<sup>5</sup> IMSBT2- Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)<sup>5</sup> Button Type Photocells

Type: \_\_

**PCI120** - 120V **PCI208-277** - 208 -277V

**PCI347** - 347V

# Need more information? Click here for our glossary

Have additional questions? Call us at (800) 436-7800

s? (2)

#### ACCESSORY ORDERING INFORMATION7

CONTROLS ACCESSORIES	
Description	Order Number
PC120 Photocell for use with CR7P option (120V) <sup>8</sup>	122514
PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) <sup>8</sup>	122515
Twist Lock Photocell (347V) for use with CR7P 8	122516
Twist Lock Photocell (480V) for use with CR7P 8	1225180
AirLink 5 Pin Twist Lock Controller 8	661409
AirLink 7 Pin Twist Lock Controller 8	661410
Shorting Cap for use with CR7P	149328

FUSING OPTIONS <sup>11</sup>	
Single Fusing (120V)	
Single Fusing (277V)	See Fusina
Double Fusing (208V, 240V)	Accessory
Double Fusing (480V)	<u>Guide</u>
Double Fusing (347V)	

SHIELDING OPTIONS							
Mirada Small							
Mirada Medium							
Mirada Large	See Shielding						
Zone Medium	<u>Guide</u>						
Zone Large							
Slica Madium							

- . Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- 2. Not available with 5W distribution
- 3. Consult Factory for availability.
- 4. Not available in HV.
- 5. IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
- Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

- 7. Accessories are shipped separately and field installed.
- 8. Factory installed CR7P option required. See Options.
- 9. "CLR" denotes finish. See Finish options.
- 10. Only available with ALSC/ALSCH control options.
- 11. Fusing must be located in hand hole of pole. See <u>Fusing Accessory Guide</u> for compatability.
- 12. Only available in 9L, 12L, 18L and 24L Lumen Packages. Consult factory for lead time and availability.

**Have questions?** Call us at (800) 436-7800

#### **ACCESSORIES**

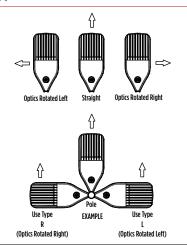
MOI	INTING ACCESSORIES	
	Universal Mounting Bracket  Mounts to ≥ 3" square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5" to 5"  Part Number: BKA UMB CLR	
Side Arm	Ouick Mount Plate True one person installation to existing/new contruction poles with hole spaces beteen 2.4 to 4.6"  Part Number: BKS PQM B3B5 XX CLR	
	15° Tilt Quick Mount Plate True one person installation to existing/new contruction poles with hole spaces beteen 2.4 to 4.6"  Part Number: BKS PQ15 B3B5 XX CLR	
	Adjustable Slipfitter  Mounts onto a 2" (51mm) IP, 2.375" (60mm) 0.D. tenon and provides 180° of tilt (max 45° above horizontal)  Part Number: BKA ASF CLR	
Tenon / Slipfitter	Square Tenon Top  Mounts onto a 2" (51mm) IP, 2.375" (60mm) 0.D. tenon and allows for mounting up to 4 luminaires  Part Number: BKA XNM *	
	Square Internal Slipfitter  Mounts inside 4" or 5" square pole and allows for mounting up to 4 lumianires  Part Number: BKA X_ISF * CLR	
Wood Pole	Wall Mount Bracket  Mounts onto vertical wall surface ( hardware/anchors not included)  Part Number: BKS XBO WM CLR	
Wall Mount/ Wood Pole	Wood Pole Bracket Mounts onto wooden poles (6" minimum OD, hardware/anchors not inlcuded) Part Number: BKS XBO WP CLR	

SHII	ELDING, POLES & MISC. ACCESSORIES	
	Integral Louver Field Install Integral Louver provides maximum backlight control by shiedling each individual row of LEDS  Part Number: 690981	
Shielding	Integral Half Louver Field Install Integral Half Louver provides great backlight control without impacting front side distribution.  Part Number: 743415	
	External Shield External Shield blocks view of light source from anyside of luminaire, additional shielding configurations available  Part Number: 783607BLK (3") / 776538BLK (6")	<u>/6</u>
	Square Poles 14 - 39' steel and aluminum poles in 4", 5" and 6" sizes for retrofit and new construction  Part Number: 4SQ/5SQ/6SQ	
Poles	Round Poles 10 - 30" steel and aluminum poles in 4" and 5" sizes for retrofit and new construction  Part Number: 4RP/5RP	~
	Tapered Poles 20' - 39' steel and aluminum poles for retrofit and new construction Part Number: RTP	
Misc.	Bird Spikes  10' Linear Bird Spike Kit, 4' recommended per luminaire, includes silcone adhesive and application tool  Part Number: 736795	AMAMMANAM
Repla	te CLR with paint finish description	1

Type: \_\_\_\_\_

### **OPTICS ROTATION**

Top View



### **ACCESSORIES/OPTIONS**

Replace \* with S (Single), D180 (Double @180°), D90 (Double @90°), T90 (Triple), Q90 (Quad)

Repleace XX with SQ for square pole or RD for round pole (≥3" OD)

Replace \_ with 4 (4" square pole) or 5 (5" square pole)

#### Integral Louver (IL) and House-Side Shield (IH)

Integral louver (IL) and half louver (IH) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate

Luminaire Shown with Integral Louver (IL)



# IMSBT Option

Luminaire Shown with

#### **7 Pin Photoelectric Control**

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).







PERFORMANCE Back to Quick Links

DELIVERED LUMENS*												
			3	OOOK CCT		40	OOK CCT		5000K CCT			
Lumen Package	Distribution	CRI	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Wattage
	2		7560	157	B2-U0-G2	7560	157	B2-U0-G2	7560	157	B2-U0-G2	
	3		7616	159	B1-U0-G2	7616	159	B1-U0-G2	7616	159	B1-U0-G2	1
	5W	1	7292	152	B3-U0-G1	7292	152	B3-U0-G1	7292	152	B3-U0-G1	1
7L	FT	70	7562	158	B2-U0-G2	7562	158	B2-U0-G2	7562	158	B2-U0-G2	48
	FTA	1	7595	158	B2-U0-G2	7595	158	B2-U0-G2	7595	158	B2-U0-G2	
	AM	1	7687	160	B1-U0-G1	7687	160	B1-U0-G1	7687	160	B1-U0-G1	1
	2		9853	159	B2-U0-G2	9853	159	B2-U0-G2	9853	159	B2-U0-G2	
	3		9926	160	B2-U0-G2	9926	160	B2-U0-G2	9926	160	B2-U0-G2	1
	5W		9504	153	B3-U0-G2	9504	153	B3-U0-G2	9504	153	B3-U0-G2	
9L	FT	- 70	9856	159	B2-U0-G3	9856	159	B2-U0-G3	9856	159	B2-U0-G3	62
	FTA		9900	160	B2-U0-G2	9900	160	B2-U0-G2	9900	160	B2-U0-G2	
	AM	1	10019	162	B2-U0-G1	10019	162	B2-U0-G1	10019	162	B2-U0-G1	1
	2		13135	155	B3-U0-G2	13135	155	B3-U0-G2	13135	155	B3-U0-G2	
	3	1	13232	156	B2-U0-G2	13232	156	B2-U0-G2	13232	156	B2-U0-G2	1
	5W	1	12669	149	B4-U0-G2	12669	149	B4-U0-G2	12669	149	B4-U0-G2	-
12L	FT	70	13138	155	B2-U0-G3	13138	155	B2-U0-G3	13138	155	B2-U0-G3	85
	FTA	1	13196	155	B2-U0-G2	13196	155	B2-U0-G2	13196	155	B2-U0-G2	
	AM	1	13355	157	B2-U0-G2	13355	157	B2-U0-G2	13355	157	B2-U0-G2	
	2		19318	143	B3-U0-G3	19318	143	B3-U0-G3	19318	143	B3-U0-G3	
<b>18L</b> -	3		19461	144	B3-U0-G3	19461	144	B3-U0-G3	19461	144	B3-U0-G3	1
	5W	1	18633	138	B4-U0-G2	18633	138	B4-U0-G2	18633	138	B4-U0-G2	
	FT	70	19324	143	B3-U0-G3	19324	143	B3-U0-G3	19324	143	B3-U0-G3	135
	FTA	1	19408	144	B3-U0-G3	19408	144	B3-U0-G3	19408	144	B3-U0-G3	1
	AM	1	19641	145	B3-U0-G2	19641	145	B3-U0-G2	19641	145	B3-U0-G2	1
	2		25957	147	B4-U0-G3	25957	147	B4-U0-G3	25957	147	B4-U0-G3	
	3	1	26149	149	B3-U0-G4	26149	149	B3-U0-G4	26149	149	B3-U0-G4	1
	5W	70	25037	142	B5-U0-G3	25037	142	B5-U0-G3	25037	142	B5-U0-G3	176
24L	FT	- 70	25964	148	B3-U0-G4	25964	148	B3-U0-G4	25964	148	B3-U0-G4	176
	FTA		26077	148	B3-U0-G3	26077	148	B3-U0-G3	26077	148	B3-U0-G3	
	AM	1	26393	150	B3-U0-G2	26393	150	B3-U0-G2	26393	150	B3-U0-G2	1
	2		32417	140	B4-U0-G3	32417	140	B4-U0-G3	32417	140	B4-U0-G3	
	3		32656	141	B3-U0-G4	32656	141	B3-U0-G4	32656	141	B3-U0-G4	
	5W	<b>1</b>	31267	135	B5-U0-G3	31267	135	B5-U0-G3	31267	135	B5-U0-G3	1
30L	FT	70	32424	140	B3-U0-G4	32424	140	B3-U0-G4	32424	140	B3-U0-G4	232
	FTA	1	32566	140	B4-U0-G3	32566	140	B4-U0-G3	32566	140	B4-U0-G3	
	AM		32960	142	B3-U0-G3	32960	142	B3-U0-G3	32960	142	B3-U0-G3	
	2		38275	133	B4-U0-G4	38275	133	B4-U0-G4	38275	133	B4-U0-G4	
	3	1	38557	134	B4-U0-G5	38557	134	B4-U0-G5	38557	134	B4-U0-G5	
761	5W	5W	36917	128	B5-U0-G4	36917	128	B5-U0-G4	36917	128	B5-U0-G4	200
36L	FT	70	38283	133	B4-U0-G5	38283	133	B4-U0-G5	38283	133	B4-U0-G5	288
	FTA	1	38450	134	B4-U0-G4	38450	134	B4-U0-G4	38450	134	B4-U0-G4	]
	AM	1	38916	135	B3-U0-G3	38916	135	B3-U0-G3	38916	135	B3-U0-G3	1

Type : \_\_\_\_\_



### PERFORMANCE (CONT.)

DELIVERED LUMENS	DELIVERED LUMENS*											
			3000K CCT			40	4000K CCT		5000K CCT			
Lumen Package	Distribution	CRI	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Wattage
	2		44118	125	B5-U0-G4	44118	125	B5-U0-G4	44118	125	B5-U0-G4	
	3		44444	126	B4-U0-G5	44444	126	B4-U0-G5	44444	126	B4-U0-G5	
421.	5W	70	42555	120	B5-U0-G4	42555	120	B5-U0-G4	42555	120	B5-U0-G4	354
	FT	//	44130	125	B4-U0-G5	44130	125	B4-U0-G5	44130	125	B4-U0-G5	304
	FTA		44322	125	B4-U0-G4	44322	125	B4-U0-G4	44322	125	B4-U0-G4	
	AM		44859	127	B4-U0-G3	44859	127	B4-U0-G3	44859	127	B4-U0-G3	
	2		48795	122	B5-U0-G4	48795	122	B5-U0-G4	48795	122	B5-U0-G4	
	3		49156	123	B4-U0-G5	49156	123	B4-U0-G5	49156	123	B4-U0-G5	
48L	5W	70	47066	117	B5-U0-G4	47066	117	B5-U0-G4	47066	117	B5-U0-G4	401
40L	FT	/0	48809	122	B4-U0-G5	48809	122	B4-U0-G5	48809	122	B4-U0-G5	401
	FTA		49021	122	B5-U0-G4	49021	122	B5-U0-G4	49021	122	B5-U0-G4	
	AM		49615	124	B4-U0-G3	49615	124	B4-U0-G3	49615	124	B4-U0-G3	

ELECTRICAL I	ELECTRICAL DATA (AMPS)*								
Lumens	120V	208V	240V	277V	347V	480V			
71	0.40	0.23	0.20	0.17	0.14	0.10			
9L	0.52	0.30	0.26	0.22	0.18	0.13			
12L	0.71	0.41	0.35	0.31	0.24	0.18			
18L	1.13	0.65	0.56	0.49	0.39	0.28			
24L	1.47	0.85	0.73	0.64	0.51	0.37			
30L	1.93	1.12	0.97	0.84	0.67	0.48			
36L	2.40	1.38	1.20	1.04	0.83	0.60			
42L	2.95	1.70	1.48	1.28	1.02	0.74			
48L	3.4A	1.9A	1.7A	1.5A	1.2A	0.8A			

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*								
Lumens	Watts	120V	208V	240V	277V	347V	480V	
9L	74.3	0.6A	0.4A	0.3A	0.3A	0.2A	0.2A	
12L	102.9	0.9A	0.5A	0.4A	0.4A	0.3A	0.2A	

<sup>\*</sup>Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (7-18L)							
Ambient	Intial <sup>2</sup>	<b>25h</b> <sup>2</sup>	50hr²	75hr²	100hr²		
0-50 C	100%	96%	92%	88%	84%		

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (24-48L)							
Ambient	Intial <sup>2</sup>	25h²	50hr <sup>2</sup>	75hr²	100hr²		
0-40 C	100%	100%	97%	94%	92%		

<sup>1.</sup> Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.

DELIVERED LUMENS*							
	B: 1 '1 '1'	Phosphor Convert					
Lumen Package	Distribution	Delivered Lumens	Efficacy	BUG Rating	Wattage		
	2	5848	80	B2-U0-G2			
	3	6018	82	B1-U0-G2			
9L	5W	5471	74	B3-U0-G1	74		
9L	FT	5801	79	B1-U0-G2	1 /4		
	FTA	5924	81	B1-U0-G1			
	AM	5995	81	B1-U0-G1			
	2	7530	74	B2-U0-G2			
	3	7749	76	B1-U0-G2			
101	5W	7045	69	B3-U0-G2	102		
12L	FT	7470	73	B2-U0-G2			
	FTA	7628	75	B2-U0-G2			
	AM	7720	76	B1-U0-G1			
	2	9311	69	B2-U0-G2			
	3	9582	71	B2-U0-G2			
101	5W	8712	65	B3-U0-G2	175		
18L	FT	9237	68	B2-U0-G2	135		
	FTA	9433	70	B2-U0-G2			
	AM	9546	71	B2-U0-G1			
	2	10955	63	B2-U0-G2			
	3	11273	64	B2-U0-G2			
24L	5W	10249	59	B3-U0-G2	175		
	FT	10867	62	B2-U0-G2	175		
	FTA	11097	63	B2-U0-G2			
	AM	11230	64	B2-U0-G1			

\*LEDs are frequently updated therefore values are nominal.

Type: \_\_\_\_\_

<sup>2.</sup> In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.

In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.



**PHOTOMETRICS** Back to Quick Links

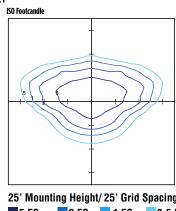
Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See the individual product page on https://www.lsicorp.com/ for detailed photometric data.

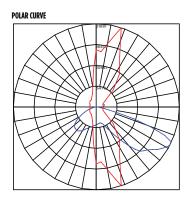
#### MRM-LED-30L-SIL-2-40-70CRI

Luminaire Data						
Type 2 Distribution						
Description	4000 Kelvin, 70 CRI					
Delivered Lumens	32,416					
Watts	232					
Efficacy	140					
IES Type	Type II - Short					
BUG Rating	B4-U0-G3					

Zonal Lumen Summary						
Zone Lumens % Luminaire						
Low (0-30°)	4796	15%				
Medium (30-60°)	19811	61%				
High (60-80°)	7474	23%				
Very High (80-90°)	335	1%				
Uplight (90-180°)	0	0%				
Total Flux	32416	100%				



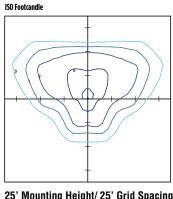




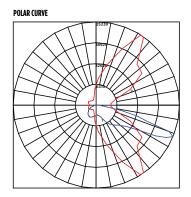
### MRM-LED-30L-SIL-3-40-70CRI

Luminaire Data				
Type 3 Distribution				
Description	4000 Kelvin, 70 CRI			
Delivered Lumens	32,656			
Watts	232			
Efficacy	141			
IES Type	Type III - Short			
BUG Rating	B3-U0-G4			

Zonal Lumen Summary						
Zone	Lumens % Luminaire					
Low (0-30°)	3385	10%				
Medium (30-60°)	16250	50%				
High (60-80°)	12430	38%				
Very High (80-90°)	591	2%				
Uplight (90-180°)	0	0%				
Total Flux	32656	100%				



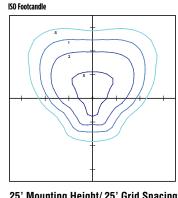




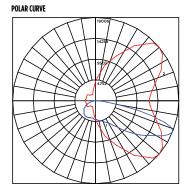
#### MRM-LED-30L-SIL-FT-40-70CRI

Luminaire Data	
Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,424
Watts	232
Efficacy	140
IES Type	Type IV - Short
BUG Rating	B3-U0-G4

Zonal Lumen Summary					
Zone	Lumens	% Luminaire			
Low (0-30°)	3952	12%			
Medium (30-60°)	15505	48%			
High (60-80°)	12279	38%			
Very High (80-90°)	688	2%			
Uplight (90-180°)	0	0%			
Total Flux	32424	100%			



25' Mounting Height/ 25' Grid Spacing ■2 FC ■ 1 FC ■ 0.5 FC



Type: \_\_\_\_

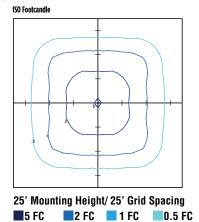


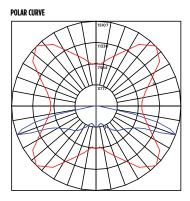
## **PHOTOMETRICS (CONT)**

#### MRM-LED-30L-SIL-5W-40-70CRI

Luminaire Data				
Type 5W Distribution				
Description	4000 Kelvin, 70 CRI			
Delivered Lumens	31,267			
Watts	232			
Efficacy	135			
IES Type	Type VS - Short			
BUG Rating	B5-U0-G3			

Zonal Lumen Summary						
Zone	Lumens % Luminaire					
Low (0-30°)	3138	10%				
Medium (30-60°)	13193	42%				
High (60-80°)	14641	47%				
Very High (80-90°)	296	1%				
Uplight (90-180°)	0	0%				
Total Flux	31267	100%				

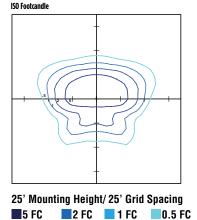


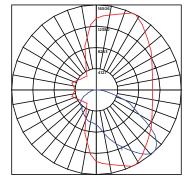


#### MRM-LED-30L-SIL-FTA-40-70CRI

Luminaire Data	
Type FTA Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,566
Watts	232
Efficacy	140
IES Type	Type VS - Short
BUG Rating	B4-U0-G3

Zonal Lumen Summary						
Zone	ne Lumens % Lumina					
Low (0-30°)	6986	21%				
Medium (30-60°)	19172	59%				
High (60-80°)	5875	18%				
Very High (80-90°)	534	2%				
Uplight (90-180°)	0	0%				
Total Flux	32566	100%				



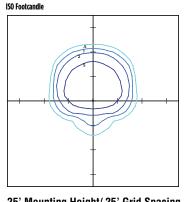


POLAR CURVE

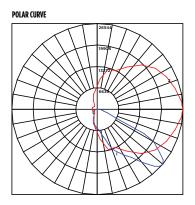
#### MRM-LED-30L-SIL-AM-40-70CRI

Luminaire Data				
Type AM Distribution				
Description	4000 Kelvin, 70 CRI			
Delivered Lumens	32,960			
Watts	232			
Efficacy	142			
IES Type	Type III - Very Short			
BUG Rating	B3-U0-G3			

Zonal Lumen Summary						
Zone Lumens % Lumina						
Low (0-30°)	6363	19%				
Medium (30-60°)	22026	67%				
High (60-80°)	4192	13%				
Very High (80-90°)	379	1%				
Uplight (90-180°)	0	0%				
Total Flux	32960	100%				





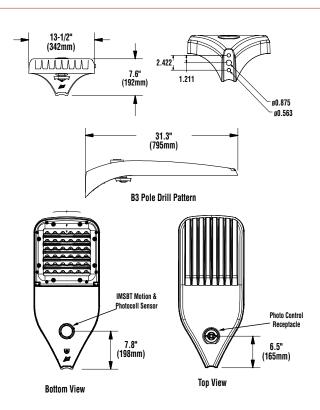


Type: \_\_\_\_\_

PRODUCT DIMENSIONS

Back to Quick Links

Type: \_



LUMINA	LUMINAIRE EPA CHART - MRM								
Tilt [	Degree	0°	30°	45⁰	Tilt Degree		0°	30°	45°
-	Single	0.5	1.5	1.9		T90°	1.0	2.5	2.8
	D180°	1.0	1.5	1.9		TN120°	1.0	3.3	3.9
P.	D90°	0.8	1.9	2.3		Q90°	1.0	2.5	2.8

### CONTROLS

#### AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf

#### Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf

## AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

https://www.lsicorp.com/product/airlink-blue/





Catalog # :	Project :	Туре:
Dronared Dv ·		Dato ·

# **Steel Poles**

# Square Straight









#### **QUICK LINKS**

#### **FEATURES & SPECIFICATIONS**

#### **Pole Shaft**

- Straight poles are 4", 5", or 6" square.
- Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi.
- On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length.

#### **Hand-Hole**

- Standard hand-hole location is 12" above pole base.
- Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

#### **Base**

- Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi.
- Two-piece square base cover is optional.

#### **Anchor Bolts**

- Anchor bolts can be made available featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional.
- Anchor Bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 PSI.

#### **Ground Lug**

· Ground lug is standard.

#### **Duplex Receptacle**

• Weatherproof duplex receptacle is optional.

#### **Ground Fault Circuit Interrupter**

• Self-testing Ground fault circuit interrupter is optional.

#### **Finishes**

- Every pole is provided with the DuraGrip Protection System and a 5-year limited warranty:
- When the top-of-the line DuraGrip Plus Protection System is selected, in addition to the DuraGrip Protection System, a non-porous, automotive-grade corrosion coating is applied to the lower portion of the pole interior sealing and further protecting it from corrosion. This option extends the limited warranty to 7 years.

# Determining The Luminaire/Pole Combination For Your Application:

- Select luminaire from luminaire ordering information.
- Select bracket configuration if required
- Determine EPA value from luminaire/ bracket EPA chart

- Select Pole Height
- Select MPH to match wind speed in the application area (See windspeed maps).
- Confirm pole EPA equal to or exceeding value of luminaire/bracket EPA
- Consult factory for special wind load requirements and banner brackets.

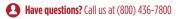
#### **Pole Vibration Damper**

- A pole vibration damper is recommended in open terrain areas of the country where low steady state winds are common.
- Non-tapered poles and lightly loaded poles are more susceptible to destructive vibration if a damper is not installed.

#### Listings

- UL Listed
- BAA/TAA Compliant

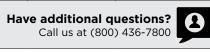




### **ORDERING GUIDE**

TYPICAL ORDER EXAMPLE: 4SQ B	3 S11G 24 S PLP DGP					
Pole Series	Mounting Method	Material	Height <sup>2</sup>	Mounting Configuration	Pole Finish	Options
4SQ - 4" x 4" Square Straight Pole (New Build) 5SQ - 5" x 5" Square Straight Pole (New Build) 6SQ - 6" x 6" Square Straight Pole (New Build) 4SQU - 4" x 4" Square Straight Pole (Retrofit) 5SQU - 5" x 5" Square Straight Pole (Retrofit) 6SQU - 6" x 6" Square Straight Pole (Retrofit)	Bolt-On Mount¹ - See pole selection guide for patterns and fixture matches B5 - 5" Traditional Drilling Pattern B3 - 3" Reduced Drilling Pattern B2 - 2" Reduced Drilling Pattern  T - Tenon Mount - See pole selection guide for tenon and fixture/bracket matches  I - No Mounting Holes¹	<b>S116</b> – 11 Ga. Steel (4SQ/4SQU and 5SQ/5SQU Only) <b>S076</b> – 07 Ga. Steel	8' 10' 12' 13' 14' 15' 16' 17' 17'6" 18' 20' 22' 22'6" 23' 24' 25' 26' 27' 28' 30' 32' 35' 39'	S-Single/Parallel D180 - Double D90 - Double T90 - Triple TN120 - Triple Q90 - Quad N - Tenon Mount (Standard Tenon size is 2-3/8" O.D.)8 (Blank) - Use with I for Mounting Method	BRZ – Bronze BLK – Black PLP – Platinum Plus WHT – White SVG – Satin Verde Green GPT – Graphite MSV – Metallic Silver BZA – Alternate Bronze	GA – Galvanized Anchor Bolts SF – Single Flood <sup>3</sup> DF – Double Flood <sup>3</sup> DGP – DuraGrip' Plus LAB – Less Anchor Bolts CRXX – Conduit Raceway <sup>4</sup>





Type: \_\_\_\_\_

#### **ACCESSORY ORDERING INFORMATION**

Part Number	Description
122559CLR	4BC – 4" Square Base Cover
122561CLR	5BC – 5" Square Base Cover
122563CLR	6BC – 6" Square Base Cover
132488CLR	5BC - 5' Square Universal Base Cover
131252CLR	6BC - 6' Square Universal Base Cover
122566CLR	ER2 – Weatherproof Duplex Receptacle
122567CLR	GFI – Ground Fault Circuit Interrupter
132336	MH5 - mounting Hole Plugs for use with 5" traditional drill pattern (3 set of 3 plugs)
681126	MH3 - mounting Hole Plugs for use with 3" reduced drill pattern (3 set of 3 plugs)
725841	MH2 - Mounting Hole Plugs for use with 2" reduced drill pattern (3 sets of 3 plugs)
172539	Vibration Damper - 4" Square Pole (bolt-on mount only)
172538	Vibration Damper - 5" Square Pole (bolt-on mount only)
178361	Vibration Damper - 6" Square Pole (bolt-on mount only)

 $<sup>1-</sup>See\ Area\ Light\ Brackets-5"\ Traditional\ Drill\ Pattern\ and\ Area\ Light\ Brackets-5"\ Traditional\ Drill\ Pattern\ Spec\ Sheets.$ 

<sup>2 -</sup> Pole heights will have +/- 1/2" tolerance.

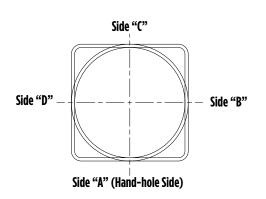
<sup>3 -</sup> See Flood Lighting Brackets section for choice of FBO brackets.

 $<sup>4-</sup>CR\ selection\ must indicate\ required\ height\ and\ side\ of\ pole\ mounting\ location.\ Mounting\ template\ required\ at\ time\ of\ order.$ 



### **DRILLING LOCATIONS**

Sides	A	В	С	D
Hand-hole	χ			
Single	Х			
D180		χ		Х
D90	Х			Х
DN901				
T90	χ	χ		Х
TN120 <sup>2</sup>				
Q90	χ	Χ	Х	Х
QN90 <sup>3</sup>				
Single FBO	Х			
Double FBO		Х		Х



- Two locations will be 45° to the left and right of Side A.
   Other two locations will be 120° to the left and right of Side A.
   Two locations will be 45° to the left and right of Side A and two locations will be 135° to the left and right of Side A.

Type : \_\_\_\_\_

Consult factory for custom variations. Standard SF and DF pole preparations are located 3/4of the height of the pole from the base, except on 20' poles. Maximum height for SF and DF pole preparations on 20' poles is 13' from the base.

## **FIXTURE CONFIGURATIONS**





















## STANDARD BASEPLATE

**BOLT CIRCLE** 

4" (102mm) square 10-1/8" (257mm) sq.





5" (127mm) square 10-1/8" (257mm) sq.



Ell (127mm) anuara

6" (152mm) square 12" (305mm) sq.

Type : \_\_\_\_\_



C!! (152mm) course

79mm) Dia. Bolt Circle	11" (279mm) Dia. Bolt Circle	11" (279mm) Dia. Bolt Circle	12" (3

	11" (279mm) Dia. Bolt Circle	11" (279mm) Dia. Bolt Circle	11" (279mm) Dia. Bolt Circle	12" (305mm) Dia. Bolt Circle
Bolt Circle Designator	В	(	D	J
Bolt Circle	Slotted	Slotted	Slotted	Slotted
	8"-11" (203mm-279mm)	9"-11" (229mm-279mm)	9"-11" (229mm-279mm)	12" (305mm)
Anchor Bolt Size	3/4" x 24"	3/4" x 24"	1" x 36"	1" x 36"
	(19mm x 609mm)	(19mm x 609mm)	(25mm x 914mm)	(25mm x 914mm)
Anchor Bolt	<mark>3-1/4"</mark>	3-1/4"	4"	4"
Projection	(83mm)	(83mm)	(102mm)	(102mm)
Base Plate Opening	3-5/8"	4-3/4"	4-5/8"	5-5/8"
for Wireway Entry	(92mm)	(121mm)	(117mm)	(143mm)
Base Plate Dimensions	10-1/8" sq. x 3/4" thk.	10-1/8" sq. x 3/4" thk.	10-1/8" sq. x 1" thk.	12" sq. x 1-1/8" thk.
	(257mm x 19mm)	(257mm x 19mm)	(257mm x 25mm)	(305mm x 29mm)
Pole Gauge	11	11	1	7

Note: Base plate illustrations may change without notice. Do not use for setting anchor bolts. Consult factory for the appropriate anchor bolt template.

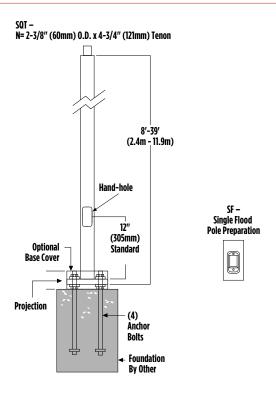
#### **UNIVERSAL BASEPLATE**

Pole Gauge

	4" (102mm) square	5" (127mm) square	5" (127mm) square	6" (152mm) square
	10.5" (267mm) sq.	11.125" (283mm) sq.	11.75" (298mm) sq.	12-1/2" (318mm) sq.
	4SQ	550	550	14" (356mm) Dia. Bolt Circle
Bolt Circle Designator	E	F	G	Н
Bolt Circle	Slotted	Slotted	Slotted	Slotted
	9"-12"	10-13"	10-13"	11"-14" (279mm-356mm)
Anchor Bolt Size	3/4" x 24"	3/4x 24"	1x 36"	1" x 36"
	(19mm x 609 mm)	(19mm x 609 mm)	(25mm x 914 mm)	(25mm x 914mm)
Anchor Bolt Projection	3-1/4"	3-1/4"	4"	4"
	(83 mm)	(83 mm)	(102 mm)	(102mm)
Base Plate Opening	3-5/8"	4-3/4"	5-1/8"	5-5/8"
for Wireway Entry	(92mm)	(121mm)	(130 mm)	(143mm)
Base Plate Dimensions	10-1/2" sq. x 3/4" thk.	11-1/8 sq. x 3/4" thk.	11-3/4" sq. x 1" thk.	12 1/2" sq. x 1 1/8" thk.
	(267 mm x 19 mm)	(283 mm x 19 mm)	(298 mm x 25 mm)	(318mm x 29mm)

Note: Base plate illustrations may change without notice. Do not use for setting anchor bolts. Consult factory for the appropriate anchor bolt template.

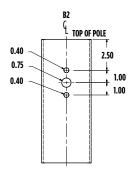
## **PRODUCT DIMENSIONS**

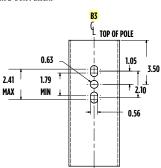


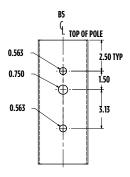
SHIPPING WEIGHTS	
4"(102mm) sq. 11 Ga. is approximately	7.50 lbs./ft.
4"(102mm) sq. 07 Ga. is approximately	10.00 lbs./ft.
5"(127mm) sq. 11 Ga. is approximately	9.00 lbs./ft.
5"(127mm) sq. 07 Ga. is approximately	12.50 lbs./ft.
6"(152mm) sq. 07 Ga. is approximately	15.40 lbs./ft.
Anchor Bolts (3/4" x 24")(19mm x 609mm)	15 lbs. (7kg)/set
Anchor Bolts (1" x 36")(25mm x 914mm)	30 lbs. (14kg)/set

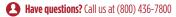
Type : \_\_\_\_\_

#### Bolt-On Mount 2-Bolt Pattern









### WIND SPEED

#### EPA Information

All LSI Industries' poles are guaranteed to meet the EPA requirements listed. LSI Industries is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole will be located.

CAUTION: This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. LSI Industries cannot accept responsibility for harm or damage caused in these situations.

NOTE: Pole calculations include a 1.3 gust factor over steady wind velocity. Example: poles designed to withstand 80 MPH steady wind will withstand gusts to 104 MPH. EPAs are for locations 100 miles away from hurricane ocean lines. Consult LSI for other areas. Note: Hurricane ocean lines are the Atlantic and Gulf of Mexico coastal areas. For applications in Florida or Canada, consult factory.

			BOLT CIRCLE						EPA					
POLE <sup>1</sup>	Mtg. Height Length (ft)	Wall Thick (ga)	Designator	Dia. (in)	Anchor bolt Dia {in}	110 MPH	115 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH
4" x 11-ga x 12'	12	11	В	8" - 11"	0.75	13.9	12.5	11.3	9.2	7.6	6.3	5.2	4.3	3.6
4" x 11-ga x 14'	14	11	В	8" - 11"	0.75	10.7	9.5	8.5	6.8	5.4	4.4	3.5	2.7	2.1
4" x 11-ga x 16'	16	11	В	8" - 11"	0.75	8.2	7.2	6.4	4.9	3.8	2.9	2.1	1.5	1.0
4" x 11-ga x 18'	18	11	В	8" - 11"	0.75	6.3	5.4	4.7	3.4	2.4	1.6	1.0	0.4	n/a
4" x 11-ga x 20'	20	11	В	8" - 11"	0.75	4.6	3.9	3.2	2.1	1.2	0.6	n/a	n/a	n/a
4" x 11-ga x 22'	22	11	В	8" - 11"	0.75	7.6	6.6	5.7	4.2	3.0	2.0	1.2	0.5	n/a
4" x 11-ga x 24'	24	11	В	8" - 11"	0.75	6.0	5.1	4.3	2.9	1.8	0.9	n/a	n/a	n/a
4" x 11-ga x 26'	26	11	В	8" - 11"	0.75	4.6	3.7	3.0	1.7	0.7	n/a	n/a	n/a	n/a
4" x 7-ga x 14'	14	7	В	8" - 11"	0.75	18.3	16.4	14.9	12.2	10.2	8.5	7.1	5.9	5.0
4" x 7-ga x 16'	16	7	В	8" - 11"	0.75	14.7	13.2	11.8	9.6	7.8	6.3	5.2	4.2	3.4
4" x 7-ga x 18'	18	7	В	8" - 11"	0.75	11.9	10.5	9.3	7.4	5.9	4.6	3.6	2.8	2.1
4" x 7-ga x 20'	20	7	В	8" - 11"	0.75	9.6	8.4	7.4	5.7	4.3	3.2	2.3	1.6	0.9
4" x 7-ga x 22'	22	7	В	8" - 11"	0.75	7.7	6.6	5.7	4.2	3.0	2.0	1.2	0.5	n/a
4" x 7-ga x 24'	24	7	В	8" - 11"	0.75	6.0	5.1	4.3	2.9	1.8	0.9	n/a	n/a	n/a
4" x 7-ga x 26'	26	7	В	8" - 11"	0.75	4.6	3.7	3.0	1.7	0.7	n/a	n/a	n/a	n/a
4" x 7-ga x 28'2	28	7	В	8" - 11"	0.75	3.3	2.5	1.8	0.7	n/a	n/a	n/a	n/a	n/a
4" x 7-ga x 30'²	30	7	В	8" - 11"	0.75	2.2	1.4	0.8	n/a	n/a	n/a	n/a	n/a	n/a
5" x 11-ga x 14'	14	11	C	9" - 11"	0.75	17.4	15.7	14.1	11.5	9.3	7.7	6.3	5.2	4.2
5" x 11-ga x 16'	16	11	C	9" - 11"	0.75	13.8	12.3	10.9	8.7	6.9	5.5	4.3	3.3	2.5
5" x 11-ga x 18'	18	11	C	9" - 11"	0.75	10.8	9.6	8.4	6.5	4.9	3.7	2.6	1.8	1.1
5" x 11-ga x 20'	20	11	C	9" - 11"	0.75	8.5	7.3	6.3	4.6	3.2	2.1	1.2	0.5	n/a
5" x 11-ga x 22'	22	11	C	9" - 11"	0.75	10.9	9.5	8.3	6.2	4.5	3.2	2.1	1.2	0.5
5" x 11-ga x 24'	24	11	C	9" - 11"	0.75	8.8	7.5	6.4	4.5	3.0	1.8	0.8	n/a	n/a
5" x 11-ga x 26'	26	11	C	9" - 11"	0.75	6.8	5.7	4.6	3.0	1.6	0.6	n/a	n/a	n/a
5" x 11-ga x 28'	28	11	C	9" - 11"	0.75	5.2	4.1	3.2	1.6	0.4	n/a	n/a	n/a	n/a
5" x 11-ga x 30'	30	11	C	9" - 11"	0.75	3.6	2.7	1.8	0.4	n/a	n/a	n/a	n/a	n/a
5" x 7-ga x 20'	20	7	D	9" - 11"	1.00	21.6	19.3	17.3	14.0	11.3	9.2	7.4	6.0	4.8
5" x 7-ga x 22'	22	7	D	9" - 11"	1.00	20.7	18.6	16.6	13.3	10.7	8.5	6.8	5.4	4.2
5" x 7-ga x 24'	24	7	D	9" - 11"	1.00	17.7	15.6	13.8	10.8	8.5	6.6	5.0	3.7	2.6
5" x 7-ga x 26'	26	7	D	9" - 11"	1.00	14.9	13.1	11.4	8.8	6.6	4.9	3.5	2.3	1.3
5" x 7-ga x 28'	28	7	D	9" - 11"	1.00	12.5	10.9	9.4	6.9	4.9	3.4	2.1	1.0	n/a
5" x 7-ga x 30'	30	7	D	9" - 11"	1.00	10.3	8.9	7.5	5.2	3.4	2.0	0.8	n/a	n/a
5" x 7-ga x 35'	35	7	D	9" - 11"	1.00	6.0	4.8	3.6	1.8	n/a	n/a	n/a	n/a	n/a
6" x 7-ga x 24'	24	7	J	12"	1.00	18.6	16.4	14.3	11.2	8.6	6.5	4.8	3.4	2.2
6" x 7-ga x 26'	26	7	J	12"	1.00	15.6	13.4	11.7	8.8	6.5	4.6	3.0	1.8	0.7
6" x 7-ga x 28'	28	7	J	12"	1.00	12.9	10.9	9.3	6.7	4.6	2.8	1.5	n/a	n/a
6" x 7-ga x 30'	30	7	J	12"	1.00	10.4	8.8	7.3	4.8	2.9	1.3	n/a	n/a	n/a
6" x 7-ga x 32'	32	7	J	12"	1.00	8.3	6.8	5.5	3.1	1.3	n/a	n/a	n/a	n/a
6" x 7-ga x 34'	34	7	J	12"	1.00	6.5	5.0	3.7	1.6	n/a	n/a	n/a	n/a	n/a
6" x 7-ga x 35'	35	7	J	12"	1.00	5.5	4.2	2.9	0.9	n/a	n/a	n/a	n/a	n/a
6" x 7-ga x 39'	39	7	J	12"	1.00	2.3	1.0	n/a						



Type: \_\_\_\_\_



### **WIND SPEED**

				BOLT CI	RCIF					EPA				
POLE <sup>1</sup>	Mtg. Height Length (ft)	Wall Thick (ga)	Designator	Dia. (in)	Anchor Bolt Dia (in)	110 MPH	115 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH
5" x 11-ga x 14'	14	11	F	11"	0.75	17.6	15.8	14.2	11.5	9.4	7.7	6.3	5.2	4.3
5" x 11-ga x 14'	14	11	F	13"	0.75	17.6	15.8	14.2	11.5	9.4	7.7	6.3	5.2	4.3
5" x 11-ga x 16'	16	11	F	11"	0.75	13.9	12.2	11.0	8.8	7.0	5.5	4.3	3.4	2.5
5" x 11-ga x 16'	16	11	F	13"	0.75	13.9	12.2	11.0	8.8	7.0	5.5	4.3	3.4	2.5
5" x 11-ga x 18'	18	11	F	11"	0.75	11.0	9.6	8.4	6.5	5.0	3.7	2.7	1.8	1.1
5" x 11-ga x 18'	18	11	F	13"	0.75	11.0	9.6	8.4	6.5	5.0	3.7	2.7	1.8	1.1
5" x 11-ga x 20'	20	11	F	11"	0.75	8.6	7.4	6.4	4.6	3.3	2.2	1.3	0.5	-
5" x 11-ga x 20'	20	11	F	13"	0.75	8.6	7.4	6.4	4.6	3.3	2.2	1.3	0.5	-
5" x 11-ga x 22'	22	11	F	11"	0.75	12.7	11.1	9.6	7.4	5.6	4.1	3.0	2.0	1.1
5" x 11-ga x 22'	22	11	F	12"	0.75	10.3	8.9	7.7	5.7	4.1	2.8	1.8	0.9	-
5" x 11-ga x 22'	22	11	F	13"	0.75	8.6	7.4	6.4	4.6	3.1	2.0	1.1	-	-
5" x 11-ga x 24'	24	11	F	11"	0.75	10.2	8.9	7.6	5.6	4.0	2.6	1.6	0.7	-
5" x 11-ga x 24'	24	11	F	12"	0.75	8.0	6.9	5.8	4.0	2.6	1.5	0.5	-	-
5" x 11-ga x 24'	24	11	F	13"	0.75	6.7	5.5	4.6	3.0	1.7	0.7	-	-	-
5" x 11-ga x 26'	26	11	F	11"	0.75	8.1	6.9	5.8	4.0	2.5	1.3	-	-	-
5" x 11-ga x 26'	26	11	F	12"	0.75	6.2	5.1	4.1	2.6	1.3	-	-	-	-
5" x 11-ga x 26'	26	11	F	13"	0.75	5.0	4.0	3.1	1.6	0.5	-	-	-	-
5" x 11-ga x 28'	28	11	F	11"	0.75	6.3	5.2	4.3	2.5	1.1	-	-	-	-
5" x 11-ga x 28'	28	11	F	12"	0.75	4.6	3.6	2.7	1.2	-	-	-	-	-
5" x 11-ga x 28'	28	11	F	13"	0.75	3.4	2.5	1.7	-	-	-	-	-	-
5" x 11-ga x 30'	30	11	F	11"	0.75	4.7	3.7	2.8	1.2	-	-	-	-	-
5" x 11-ga x 30'	30	11	F	12"	0.75	3.1	2.2	1.4	-	-	-	-	-	-
5" x 11-ga x 30'	30	11	F	13"	0.75	2.0	1.2	0.5	-	-	-	-	-	-
5" x 7-ga x 20'	20	7	G	11"	0.75	19.0	17.0	15.0	12.2	9.7	7.8	6.2	5.0	3.8
5" x 7-ga x 20'	20	7	G	12"	0.75	21.4	19.1	17.1	13.8	11.2	9.1	7.3	5.9	4.7
5" x 7-ga x 20'	20	7	G	13"	0.75	21.4	19.2	17.2	13.9	11.3	9.2	7.4	6.0	4.8
5" x 7-ga x 20'	20	7	G	11"	1	21.7	19.4	17.4	14.0	11.4	9.3	7.5	6.0	4.8
5" x 7-ga x 20'	20	7	G	13"	1	21.7	19.4	17.4	14.0	11.4	9.3	7.5	6.0	4.8
5" x 7-ga x 22'	22	7	G	11"	0.75	16.0	14.1	12.5	9.8	7.6	5.9	4.4	3.3	2.3
5" x 7-ga x 22'	22	7	G	12"	0.75	17.7	15.9	14.2	11.2	8.7	7.0	5.4	4.1	3.0
5" x 7-ga x 22'	22	7	G	13"	0.75	19.9	17.3	15.6	12.6	10.0	8.0	6.3	5.0	3.8
5" x 7-ga x 22'	22 22	7	G	11"	1	21.0	18.7	16.7	13.4 15.0	10.6 12.2	8.5 9.9	6.8 8.0	5.4	4.2
5" x 7-ga x 22'		7		12"	1		20.6	18.4					6.4	5.1
5" x 7-ga x 22'	22	7	G G	13" 11"	0.75	21.3	18.8	17.0 10.0	13.7 7.7	11.0 5.7	8.8 4.2	7.0 2.9	5.6 1.9	4.3
5" x 7-ga x 24' 5" x 7-ga x 24'	24	7		12"	0.75	15.0	13.0		8.9					1.0
5" x 7-ga x 24"	24	7	G G	13"	0.75	16.6	14.6	11.6	10.2	6.8 8.0	5.1 6.1	3.8 4.6	2.6	2.3
5" x 7-ga x 24"	24	7	G	11"	0.75 1	17.5	15.7	13.9	10.2	8.6	6.7	5.0	3.7	2.7
5" x 7-ga x 24"	24	7	G	12"	1	20.0	17.4	15.4	12.3	9.9	7.8	6.0	4.7	3.5
5" x 7-ga x 24"	24	7	G	13"	1	18.1	16.0	14.2	11.0	8.7	6.7	5.3	3.9	2.8
5" x 7-ga x 24	26	7	G	11"	0.75	10.9	9.3	8.0	5.9	4.1	2.7	1.6	0.6	-
5" x 7-ga x 26'	26	7	G	12"	0.75	12.4	10.9	9.5	7.0	5.1	3.6	2.3	1.3	-
5" x 7-ga x 26'	26	7	G	13"	0.75	14.0	12.3	10.7	8.1	6.0	4.4	3.1	2.0	1.0
5" x 7-ga x 26'	26	7	G	11"	1	15.0	13.2	11.5	8.8	6.7	4.4	3.5	2.3	1.3
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Type : \_\_\_\_\_



## **WIND SPEED**

				BOLT CIF	CCLE					EPA				
POLE <sup>1</sup>	Mtg. Height Length (ft)	Wall Thick (ga)	Designator	Dia. (in)	Anchor Bolt Dia (in)	110 MPH	115 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH
5" x 7-ga x 26'	26	7	G	12"	1	17.0	14.8	13.0	10.2	7.9	6.0	4.4	3.1	2.1
5" x 7-ga x 26'	26	7	G	13"	1	15.3	13.5	11.8	9.0	6.8	5.0	3.6	2.5	1.4
5" x 7-ga x 28'	28	7	G	11"	0.75	8.9	7.4	6.3	4.3	2.7	1.4	-	-	-
5" x 7-ga x 28'	28	7	G	12"	0.75	10.2	8.8	7.5	5.3	3.5	2.1	1.0	-	-
5" x 7-ga x 28'	28	7	G	13"	0.75	11.8	10.2	8.8	6.4	4.5	3.0	1.7	0.7	-
5" x 7-ga x 28'	28	7	G	11"	1	12.5	10.9	9.5	7.0	5.0	3.3	2.1	1.0	-
5" x 7-ga x 28'	28	7	G	12"	1	14.2	12.4	11.0	8.2	6.0	4.3	3.0	1.7	0.8
5" x 7-ga x 28'	28	7	G	13"	1	12.9	11.0	9.7	7.2	5.2	3.6	2.2	1.1	-
5" x 7-ga x 30'	30	7	G	11"	0.75	7.0	5.8	4.7	2.8	1.3	-	-	-	-
5" x 7-ga x 30'	30	7	G	12"	0.75	8.4	7.0	5.8	3.8	2.2	0.9	-	-	-
5" x 7-ga x 30'	30	7	G	13"	0.75	9.7	8.2	7.0	4.8	3.0	1.6	0.5	-	-
5" x 7-ga x 30'	30	7	G	11"	1	10.4	8.8	7.6	5.3	3.4	2.0	0.8	-	-
5" x 7-ga x 30'	30	7	G	12"	1	12.0	10.3	9.0	6.4	4.4	2.9	1.6	0.5	-
5" x 7-ga x 30'	30	7	G	13"	1	10.6	9.1	7.7	5.5	3.6	2.1	1.0	-	-
5" x 7-ga x 35'	35	7	G	11"	0.75	3.2	2.2	1.2	-	-	-	-	-	-
5" x 7-ga x 35'	35	7	G	12"	0.75	4.4	3.2	2.2	0.5	-	-	-	-	-
5" x 7-ga x 35'	35	7	G	13"	0.75	5.5	4.2	3.1	1.3	-	-	-	-	-
5" x 7-ga x 35'	35	7	G	11"	1	6.0	4.8	3.6	1.8	-	-	-	-	-
5" x 7-ga x 35'	35	7	G	12"	1	7.3	6.0	4.8	2.7	1.1	-	-	-	-
5" x 7-ga x 35'	35	7	G	13"	1	6.3	5.0	3.8	1.9	-	-	-	-	-
6" x 7-ga x 24'	24	7	Н	11"	1	16.5	14.4	12.6	9.6	7.2	5.3	3.8	2.5	1.4
6" x 7-ga x 24'	24	7	H	12-1/2"	1	19.8	17.5	15.4	12.0	9.2	7.0	5.3	3.8	2.7
6" x 7-ga x 24'	24	7	H	14"	1	23.0	20.5	18.0	14.3	11.2	8.9	6.9	5.3	3.8
6" x 7-ga x 26'	26	7	H	11"	1	13.7	11.8	10.2	7.5	5.3	3.6	2.1	1.0	-
6" x 7-ga x 26'	26	7	Н	12-1/2"	1	16.5	14.6	12.6	9.6	7.0	5.2	3.6	2.2	1.1
6" x 7-ga x 26'	26	7	Н	14"	1	19.6	17.3	15.2	11.7	8.9	6.7	5.0	3.5	2.2
6" x 7-ga x 28'	28	7	Н	11"	1	11.0	9.3	7.8	5.5	3.5	1.9 3.4	0.6	0.7	-
6" x 7-ga x 28' 6" x 7-ga x 28'	28	7	Н	12-1/2" 14"	1	13.8 16.4	12.0	10.2 12.5	7.5	5.2	4.7	1.9	0.7	0.7
	30	7	H	11"	1	9.0	14.5 7.3	6.0	9.4 3.6	6.9 1.9	0.5	3.2	1.8	0.7
6" x 7-ga x 30' 6" x 7-ga x 30'	30	7	Н	12-1/2"	1 1	11.4	9.6	8.0	5.5	3.4	1.7	-	-	_
6" x 7-ga x 30'	30	7	Н	14"	1	14.0	12.0	10.0	7.2	5.0	3.2	1.6	-	_
6" x 7-ga x 32'	32	7	Н	11"	1	7.0	5.5	4.2	2.0	-	-	-	_	_
6" x 7-ga x 32'	32	7	Н	12-1/2"	1	9.2	7.6	6.0	3.8	1.8	_	-	_	<del>-</del>
6" x 7-ga x 32'	32	7	Н	14"	1	11.4	9.7	8.0	5.4	3.2	1.6	-	_	-
6" x 7-ga x 34'	34	7	Н	11"	1	5.1	3.7	2.5	0.6	-	-	-	_	_
6" x 7-ga x 34'	34	7	Н	12-1/2"	1	7.2	5.6	4.4	2.2	_	_	-	_	-
6" x 7-ga x 34'	34	7	Н	14"	1	9.3	7.6	6.2	3.6	1.7	-	-	-	-
6" x 7-ga x 35'	35	7	Н	11"	1	4.2	3.0	1.8	-	-	-	-	-	-
6" x 7-ga x 35'	35	7	Н	12-1/2"	1	6.2	4.8	3.6	1.4	-	-	-	-	-
6" x 7-ga x 35'	35	7	Н	14"	1	8.2	6.6	5.2	2.9	1.0	-	-	-	-
6" x 7-ga x 39'	39	7	Н	11"	1	1.0	-	-	-	-	-	-	-	-
6" x 7-ga x 39'	39	7	Н	12-1/2"	1	3.0	1.6	0.5	-	-	-	-	-	-
6" x 7-ga x 39'	39	7	Н	14"	1	4.6	3.3	2.0	-	-	-	-	-	-



Type : \_\_\_\_\_





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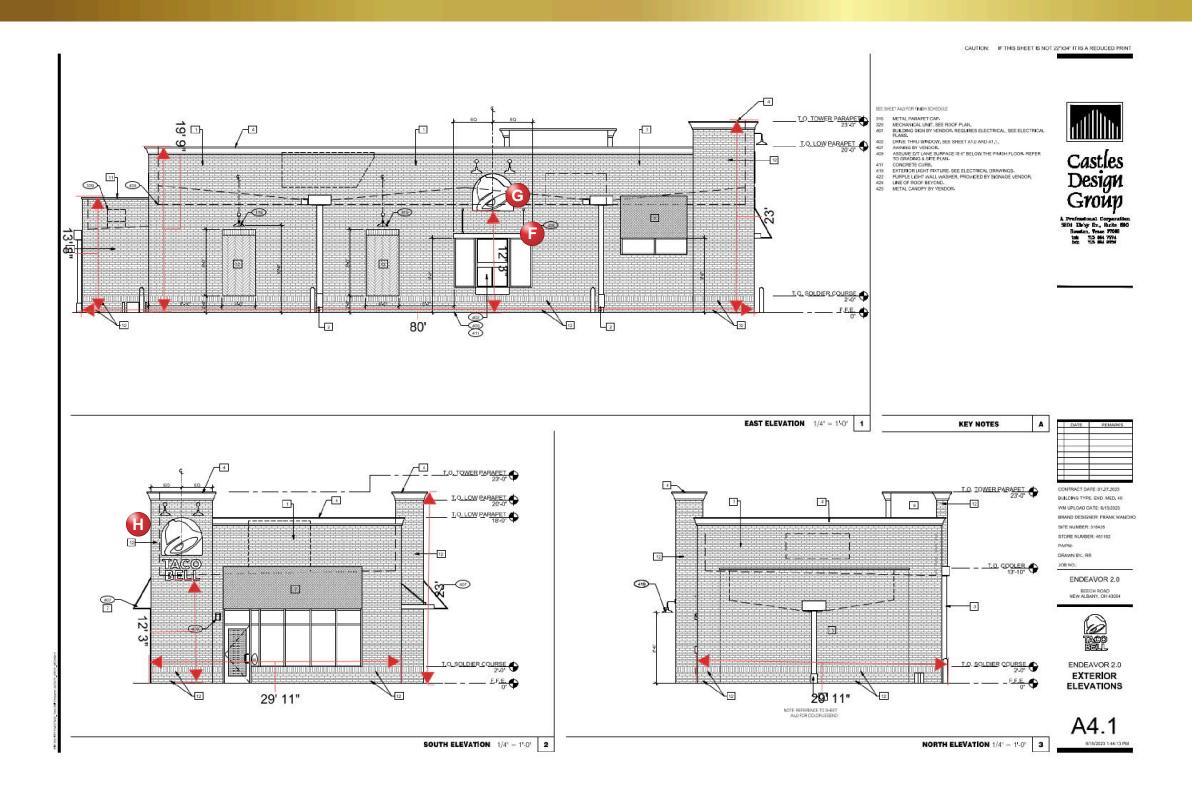
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# Sign Schedule



# Sign Schedule

- Drive Thru building Canopy
- G Large White Cut Out Bell Nonilluminated 22 SF
- White Bell and Stacked Letters 25 SF Non-illumin.

Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

Description: TACO BELL

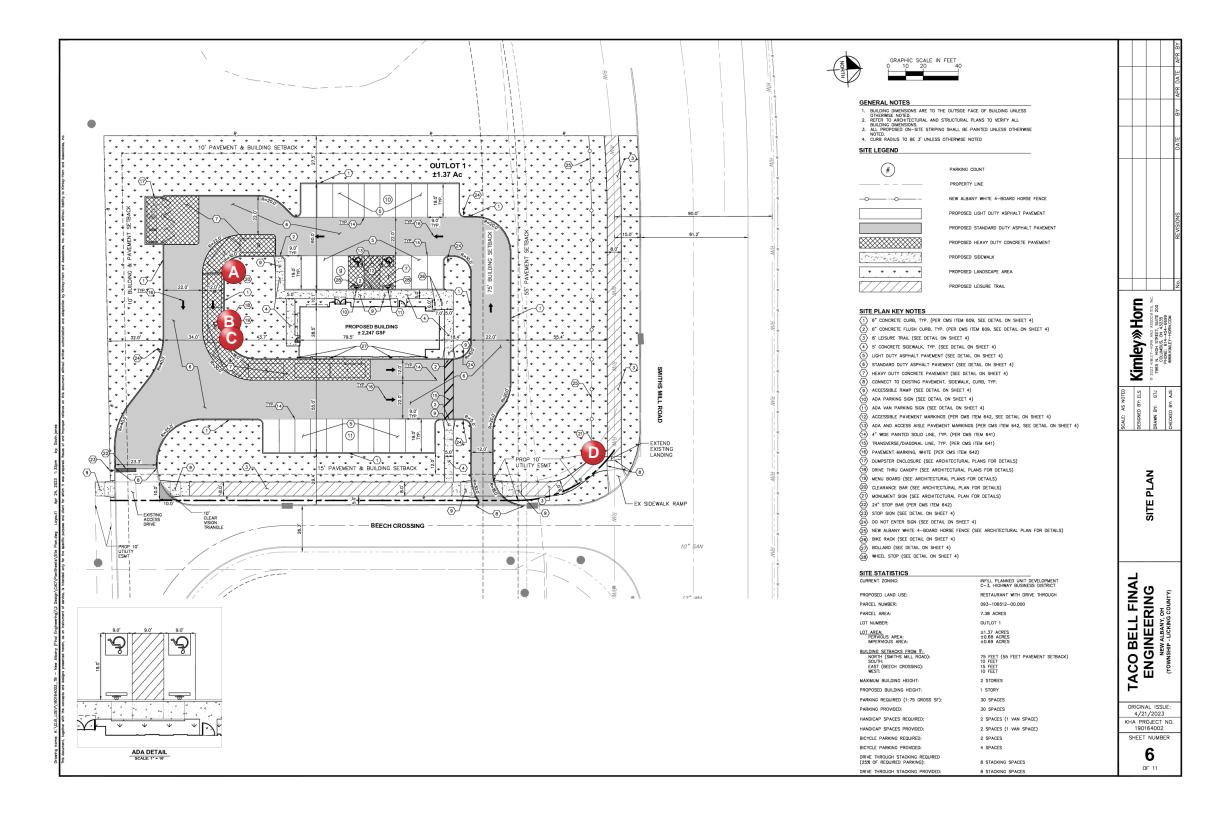
Prepared By: Susan Wenszell

Date: 07/13/2023

PIF: 482882-0

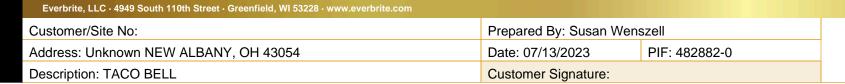
Customer Signature:



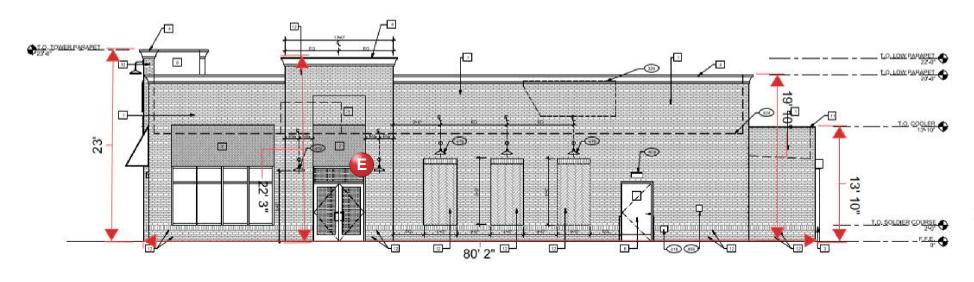


# Sign Schedule

- A Clearance Bar
- B Order Point Canopy
- Menu board
- Monument Sign











Ð	NAME	FAMILY	MURAL	SEE	LOCATION
$\Theta$	HYPYOTER ME BOLL	D	902	4505	Ma
0	HYPNORIZE ME BOLL	. 0	902	4608	MZ
0	HYPNOTEZE ME BELL	D	W(2	0-01	AG
0	HYPNOTIZE ME BELL	0	802	464	M2
7 7		1			Ů.
3 3					
8 3					
S 9		31 - 3			1

**WEST ELEVATION** 1/4\* = 1\*-0\* 1

# SITE NUMBER: 196635 SS MECHANICAL UNIT, SEE ROOF MAN. 401 GHUCHNO SKON SY VENDOR, REQUIRES ELECTRICAL, SEE ELECTRICAL, RANGE, CHARLES BY VENDOR, REQUIRES ELECTRICAL, SEE ELECTRICAL, SEE CLECTRICAL, SEE ELECTRICAL, DIVANISOR, SEE PLURE LIGHT MAN, MASHERI, PROVIDED BY SIGNACE VENDOR, UNE OF ROOF SEYONG.

ENDEAVOR 2.0

BUILDING TYPE: END, MED, 40 SRAND DESKINER: FRANK WAYCH

ENDEAVOR 2.0 EXTERIOR ELEVATIONS

A4.0

	FEM WATERING	WWW.PACTURER	AATERIAL SPEC	R0.00	CONTACT INFORMATION
Τ	HAMDWADE BRICK.	GLESWOERY	483948510I	MONTOSLIO HANDWINDE SANDED FINSH	SEE 07472
	SCUPPERS		- 3	CYBERSPACE (SWYOR) KYNAN SIG COATING	33
	DOWN SPOURS	1	14	CYRERSPACE ISMNOVO KYNAMI SIÓ CONTING	- 1
	ELES, COMICE	SHERVIN WILLIAMS		SANGRASS BASKET (SW6/GH) INHARE INDICONTROL	3
3	Accessory 1		17.0		- 3
1	HOLLOW METAL DOOR	30	38	CYBERSPACE ISM'ISRE KINAH SIO COATING	iii ii
	ARMING:	COOL PLANET AWARD	1X1 HWE	SUMBRELLA BLACK, BLACK AND EXCEPTIONS:	93
	ELFUI.	BHERMINWLINES	- 13	FIGNE SWOODS, WORLDY BREY	
	1969	Annual Control	100	E ACTOR ACTOR ACTOR AND	3
	STOREFRONT			DARK BRONDS	10
П	METAL PARKET CAP	- W	295A 6ALVANDED	CYBERSPACE (SMOONS KYMAN 500 COATING).	
	andherep vocuum artor	GLENGERY	56/EXNOVER	AGHFELD (TURBLED SAMBED FINISH)	SEE 074.70
1	SINGLE PLY ROOF MEMBRANE OVER PLZS RECOMBLIGHTEN AND SAF CITTER OR GRADE PLYROCOC, CONTRACTOR TO INSTALL PER MANUS PACTURED SINCE CALCAG.	BUACAUR		W-FE	SEC. VIS

068099104	FEMID: WARLPACTURES
SURROUND JICHARRES, 1996	12 - NY RESLET JUS - TAMEN
SURROUNG YERREAL THIN	V2 - FRY REGLET BEHERY - TAMENY
VENT SCREEN	VEDS-TAM/W
SURROUND HONDONTAL TRIM	MZ - DAMON
SURROUNC DEN BACK PLASHBIS	XWF - TABLYN
SURROUND-OUTSIDE CORNER THIN	OCH-RRY RESLET KOCHSIG - TANLIN
SUPPOUND INSIDE CONNER THIS	Char Car - HAY REQUET SIGNEY - TAKE YO

SURROUND JICHARNEL 1984	12. PRY RESILET JUST TAMESN
SURROUND VERTICAL TITLE	VII - FRY RESELET SIGNARY - TAMONY
VENT SCREEN	VSESS - TAME, NV
SCRWOONS HEREZONTAL TRIM	ser - DAMON
SURROUNG SPANKE FUZSHNE	XAY - DAILUN
BURROUND-OUTSIDE CORNER THM	OCIS-RRY RESULT KOCHS/6-TMM/mi
BUFFOUND INSIDE CORNER TRIV	Charles revealed

EXTERIOR FINISH SCHEDULE KEY NOTES

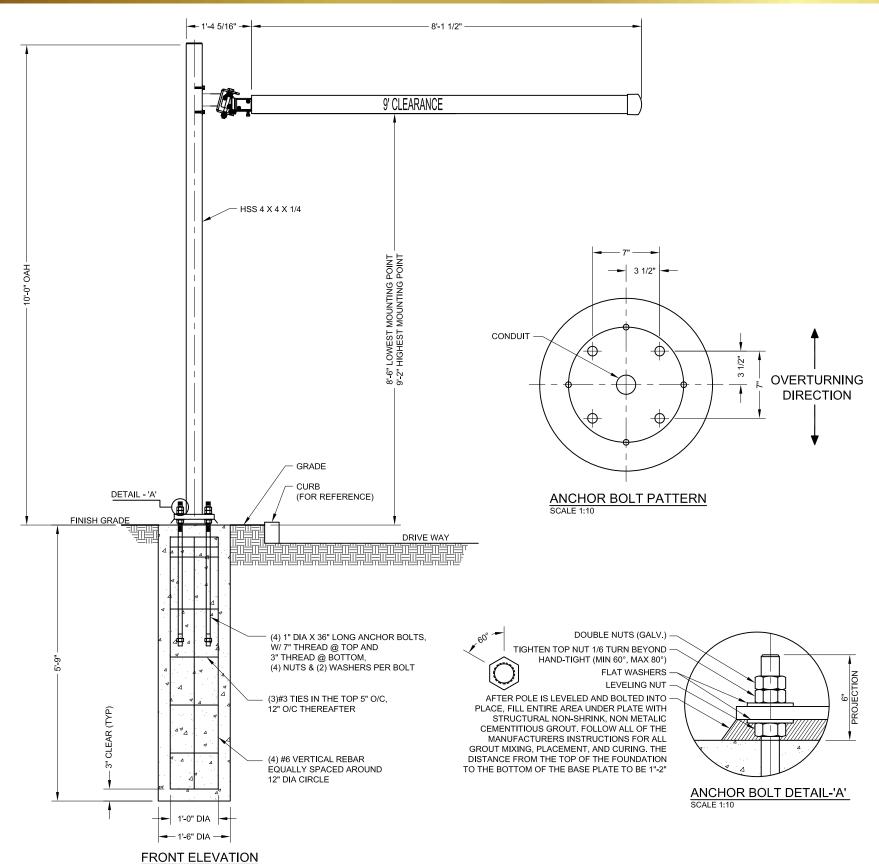
# Sign Schedule





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#### INSTALLER TO PROVIDE COMPLETION PROTOS OF

FOUNDATION WITH ANCHOR BOLTS, REBAR & CONDUIT (BEFORE & AFTER POUR), BASE PLATE(S) W/ANCHOR BOLT CONNECTIONS, GROUT INSTALLATION, MATCH PLATE/SIGN CONNECTIONS, ANY WELDED CONNECTIONS, ELECTRICAL WIRING

LANDSCAPING MATERIALS SHOULD BE KEPT MINIMUM TWO INCHES AWAY FROM SIGN POLES OR BASE PLATES.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR MANUFACTURING.

0.38 CU. YDS. TOTAL. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS. REINFORCING STEEL SHALL HAVE A MIN. YIELD STRENGTH OF 60,000 PSI. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.

ANY LIFTING HOLES CREATED ARE THE RESPONSIBILITY OF THE INSTALLER. LIFTING HOLES ARE TO BE SEALED BY A CAP PLATE, WELDED OVER TO COVER AND THEN PAINTED.

 $\frac{\hbox{WELDING NOTE}}{\hbox{ANY REQUIRED WELDING IS TO BE COMPLETED BY AN AWS CERTIFIED WELDER QUALIFIED IN THE APPLICABLE POSITIONS}$ 

SIGN, POLE, AND CONCRETE FOUNDATION ARE DESIGNED TO WITHSTAND A WIND LOAD OF 29 PSF.

CONCRETE BASE DESIGNED USING A LATERAL SOIL BEARING CAPACITY OF 150 PSF / FT. OF DEPTH. IF THESE SOIL CONDITIONS DO NOT EXIST AT THE FOUNDATION LOCATION, IT IS THE ERECTOR'S RESPONSIBILITY TO NOTIFY EVERBRITE, LLC PRIOR TO PERFORMING ADDITIONAL EXCAVATION OR ANY CONCRETE PLACEMENT.

#### INSTALLATION INSTRUCTIONS

- STAKE FOUNDATION AREA AND CONFIRM FINAL GRADE REQUIREMENTS WITH G. C.
- EXCAVATE FOUNDATION AREA.
- SET ANCHOR BOLTS, REBAR
- POUR CONCRETE. ALLOW CONCRETE CURE TIME AS REQUIRED. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.
- ANCHOR POLE(S) AS SHOWN IN AB DETAIL. CHECK FOR PLUMB.
- MOUNT SIGNAGE TO POLE(S).
- 7. TEST SIGNAGE FOR PROPER FUNCTION.
- 8. REMOVE ANY LIFTING BRACKETS AND REINSTALL BOLTS.
- CLEAN UP AREA AND REMOVE ANY PACKING MATERIAL. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE

#### SWING ARM INSTALLATION INSTRUCTIONS

- 1. MOUNT ARM ASSEMBLY TO CHASSIS
- 2. LOCATE CORRECT SIDE OF CHASSIS THAT IS FACING ONCOMING TRAFFIC INTO THE DRIVE THRU.
- SLIDE PVC TUBE INTO POSITION, OVER ASSEMBLY ARM, WITH THE LETTERING FACING ONCOMING TRAFFIC.
- 4. DRILL A HOLE ON THE TOP OF THE PVC TUBE 6" FROM THE END, ON THE END THAT HAS THE PIVOT BRACKET, COUNTERSINK FOR 1/4" BOLT.
- 5. INSERT 1/4" SCREW (PROVIDED) INTO PRE-DRILLED HOLE AND TIGHTEN UNTIL SNUG.
- INSERT PVC CAP ON OPPOSITE END.
- 7. DRILL 1/8" HOLE THRU THE TOP OF THE CAP AND TUBE.
- 8. INSERT PROVIDED #8 3/4" SHEET METAL SCREW AND TIGHTEN INTUL SNUG SO CAP WILL NOT COME OFF

- 1 10'-0" PORTAL SIGN
- 2. ANCHOR BOLTS
- 3. ALL MOUNTING HARDWARE

#### INSTALLER TO FURNISH

1. FOUNDATION

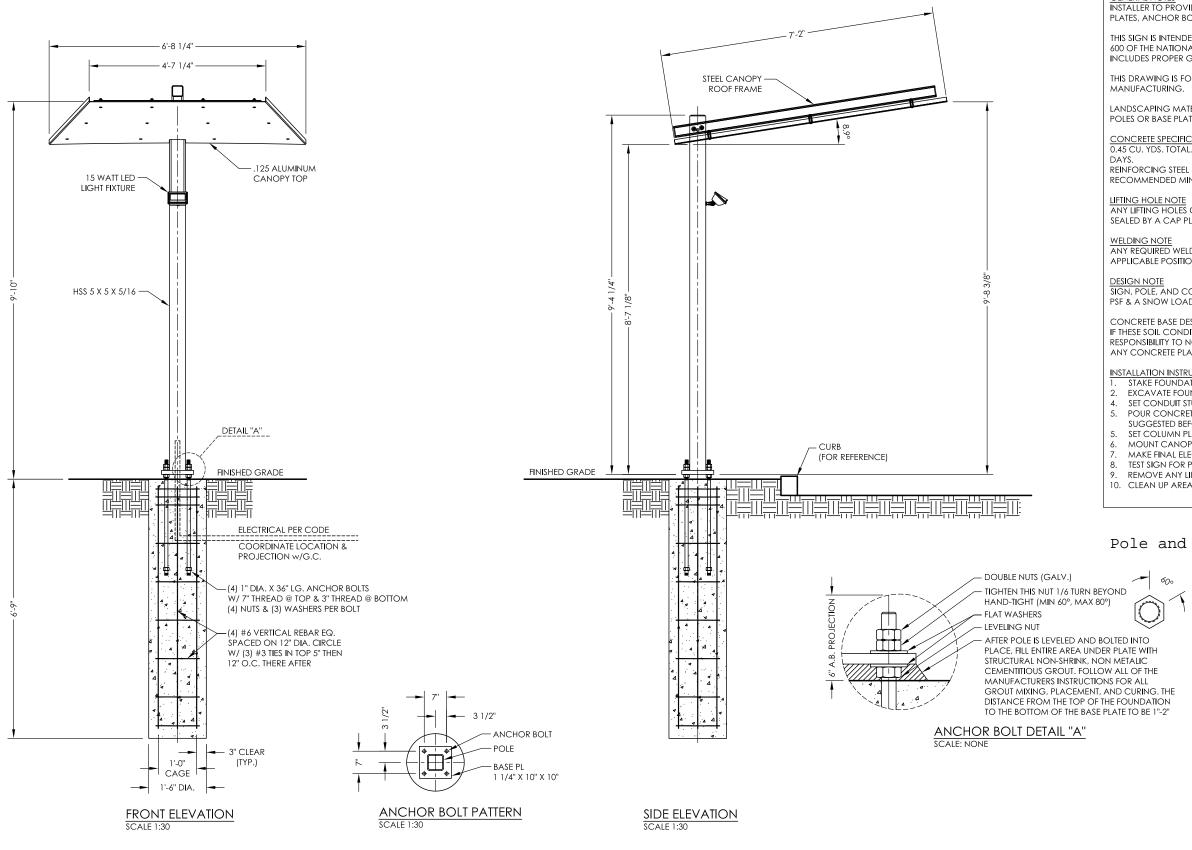
INIOTALI ATIONI DRAWN BY .....



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Page 6 of 26



INSTALLER TO PROVIDE COMPLETION PHOTOS OF FOUNDATION, GROUT INSTALLATION, BASE PLATES, ANCHOR BOLTS, MATCH PLATE, WELDING CONNECTIONS AND OVERALL ELEVATION.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR

LANDSCAPING MATERIALS SHOULD BE KEPT TO A MINIMUM OF TWO INCHES AWAY FROM SIGN

CONCRETE SPECIFICATION 0.45 CU. YDS. TOTAL. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI @ 28

REINFORCING STEEL SHALL HAVE A MIN. YIELD STRENGTH OF 60,000 PSI.

RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE POLE & SIGN INSTALLATION.

LIFTING HOLE NOTE ANY LIFTING HOLES CREATED ARE THE RESPONSIBILITY OF THE INSTALLER. LIFTING HOLES ARE TO BE SEALED BY A CAP PLATE, WELDED OVER TO COVER AND THEN PAINTED.

ANY REQUIRED WELDING IS TO BE COMPLETED BY AN AWS CERTIFIED WELDER QUALIFIED IN THE APPLICABLE POSITIONS NEEDED.

<u>DESIGN NOTE</u>
SIGN, POLE, AND CONCRETE FOUNDATION ARE DESIGNED TO WITHSTAND A WIND LOAD OF 54
PSF & A SNOW LOAD OF 17 PSF OR A WINDLOAD OF 24 PSF & A SNOWLOAD OF 76 PSF.

CONCRETE BASE DESIGNED USING A LATERAL SOIL BEARING CAPACITY OF 150 PSF / FT. OF DEPTH. IF THESE SOIL CONDITIONS DO NOT EXIST AT THE FOUNDATION LOCATION, IT IS THE ERECTOR'S RESPONSIBILITY TO NOTIFY EVERBRITE, LLC PRIOR TO PERFORMING ADDITIONAL EXCAVATION OR ANY CONCRETE PLACEMENT.

- INSTALLATION INSTRUCTIONS

  1. STAKE FOUNDATION AREA AND CONFIRM FINAL GRADE REQUIREMENTS WITH G. C.
- 2. EXCAVATE FOUNDATION AREA.
- 4. SET CONDUIT STUB, ANCHOR BOLTS AND REBAR.
- POUR CONCRETE. ALLOW CONCRETE CURE TIME AS REQUIRED ( A MINIMUM OF 7 DAYS IS SUGGESTED BEFORE CONTINUING WITH INSTALLATION).
- SET COLUMN PLUMB AND ANCHOR AS SHOWN IN A.B. DETAIL.
- MOUNT CANOPY TO POLE.
- MAKE FINAL ELECTRICAL HOOK UP (ALL ELECTRICAL TO MEET LOCAL CODES.)
- TEST SIGN FOR PROPER FUNCTION.
  REMOVE ANY LIFTING BRACKETS AND REINSTALL BOLTS.
- 10. CLEAN UP AREA AND REMOVE ANY PACKING MATERIAL.

### Pole and Canopy are painted Black





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Page 7 of 26

C Menu board (6077)

# **STRATACACHE**

May 10, 2022

Re: Letter of lighting ordinance compliance.

To whom it may concern,

This letter describes that **STRATACACHE** ("Sign Manufacturer" as listed herein) confirms that the proposed new digital menu boards for Taco Bell restaurants will be in compliance with the outdoor lighting standards detailed below:

- 1. The maximum luminance produced by the sign shall not exceed three-tenths (3/10) foot candles greater than the ambient light level.
- 2. Automatic dimming capability shall adjust the signs illumination to the ambient light at all times of the day or night.
- 3. Menu board signs shall be permitted EMDs or changeable copy signs. Such signs shall only display menu items with no other advertisement and the content of such sign shall only change once in any twenty-four (24) hour period.

Name: Bruno Pupo

Company: STRATACACHE

Phone #: 937-660-5828

Email: bpupo@stratacache.com

Signature:

Digitature.



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Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

Description: TACO BELL

Prepared By: Susan Wenszell

Date: 07/13/2023

PIF: 482882-0

Customer Signature:



Page 8 of 26

Menu board (6077)

# **OUTDOOR** DIGITAL **DISPLAY**

High quality and manufactured in the USA, STRATACACHE outdoor digital displays are designed to handle any weather condition and deliver maximum visibility even in direct sunlight. Integrated hardware and software provides streamlined content management with remote monitoring and control 24/7, making it easy to reboot a media player or troubleshoot. Our advanced display technology has a sensor-rich design that delivers personalization and predictive maintenance, ensuring the delivery of the best customer experience. A partnership with STRATACACHE for your outdoor digital signage needs means confident deployment and network management, at scale, regardless of your project's complexity or size. Discuss your outdoor digital display goals with us today, and we can create a custom solution for your business.

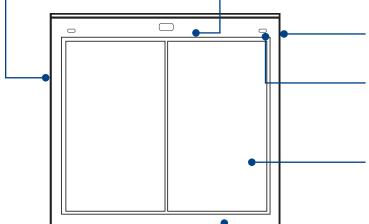


## Modular Design

All components are field serviceable in 15 mins or less or troubleshoot remotely

## 24/7 Monitoring and Control

Easy to reboot a media player



### Content Management

Streamlined using integrated hardware and software

#### Sensor-Rich Capabilities

Gives deeper understanding of operations and customer behavior ensuring the delivery of the best customer experience

## Visibility at All Angles

A brightness of 3,000 nits and vandal resistant tempered glass delivers clear views even in direct sunlight through polarized sunglasses

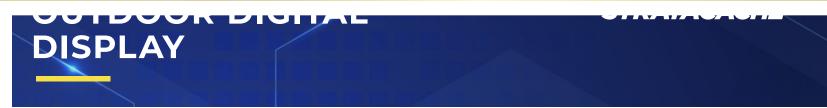
Maximum Reliablity

**Everbrite** 

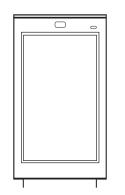
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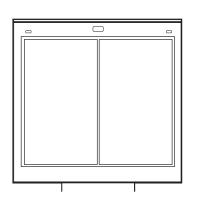


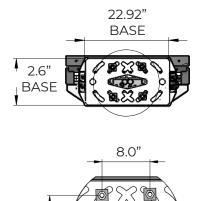
Page 9 of 26



Description	Specification	55STR-V12S	55STR-V12D		
	Configuration	1 x 1 Single Panel	1 x 2 Double Panel		
	Panel Size	55" Diagonal LCD	2 x 55" diag		
	Orientation	Port	Portrait		
	Native Resolution (W x H)	1080 x 1920	2160 x 1920		
LCD Panel	Brightness (Min/Max)	380/3,500 cd/m <sup>2</sup>			
	Contrast Ratio	1300:1			
	LCD Technology	IPS RGB+W with QLP - pola	IPS RGB+W with QLP - polarized eyewear compatible		
	Viewing Angle	178° x 178°			
	External Control	Yes - RS232C			
Connectivity	Content	ActiVia for Media 4.0			
Connectivity	Data Access	CAT 6   Wi-Fi   4GLTE			
Audio	Speakers	Optional - Side or Bottom Mounted			
Audio	Microphone	Optional - Side or	Bottom Mounted		
	Thermal Management	Direct Air Cooling System (DACS) US Patent# 8472174 B2			
	Cover Glass	Proprietary AR treated tempered safety glass (UL48 Listed)			
	Ingress Protection	Water and Dust Protection to IP56 - NEMA 4 - Certified IEC-60950			
	Mount Design	8" x 8" Univer	8" x 8" Universal Base-Plate		
Enclosure	Accessibility	Remote power lock with h	inge-less front door access		
	Dimensions (HxWxD mm)	1849.2 x 850.9 x 330.2	1849.2 x 1551.0 x 330.2		
	(HxWxD in)	72.8" x 33.5" x 13"	72.8" x 61.1" x 13"		
	Overall Height (options)	1.8 m / 72" standard - Optional 1.68 m/ 66" and 1.98m / 78"			
	Net Weight	215 kg / 474 lbs	320 kg / 705 lbs		
	Ambient Light Sensor	Yes - Automatically adjusts backlight brightness based on ambient light conditions (night sky compliance ready)			
Special Features	Field Serviceability	All components are on-site serviceable in under 15 min. (avg)			
reatures	Easy Access Module Swap	All components are modular for simple trouble-shooting and swap.			
	Remote Monitoring	Remote diagnostics, control an	Remote diagnostics, control and monitoring of system health		
	Input Power	100/120/24	100/120/240V 50/60Hz		
Power	Consumption	450W/800W	830W/1150W		
Power	Cable Access	Bottom via sealed junction box in base area.			
	Termination	Embedded circuit breaker, surge suppression protection and EMI filter			
Approval	Safety	UL, cUL, UL48, TUV, CB Report, IEC-60950			
Approvar	EMC	FCC Class "A"   CE Mark   CISPR			
	Operating Temperature	-30°C to +50°C Under full solar exposed conditions			
Environmental	Wind Load Rating	Up to 290 km/h   180 mph			
	Operating Humidity	10% to 90% RH (non-condensing)			



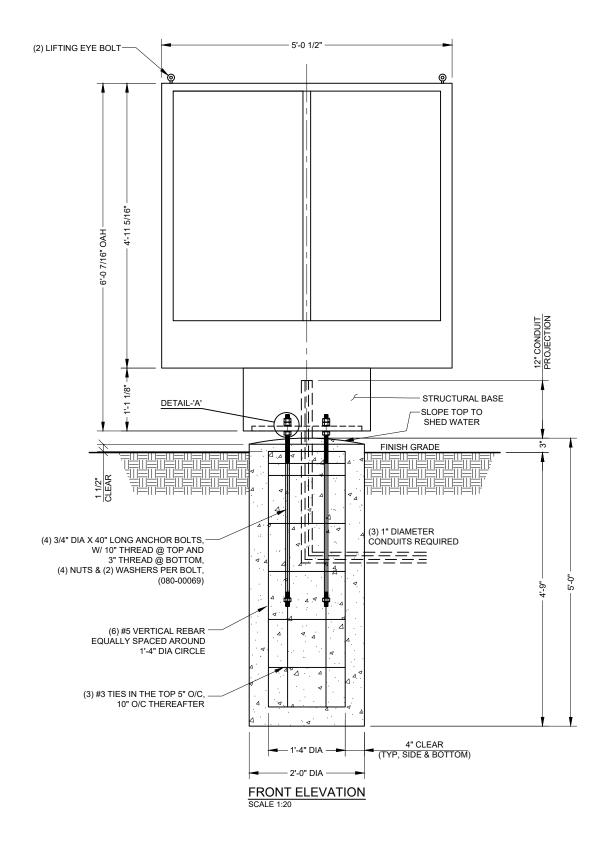






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Customer/Site No:	Prepared By: Susan Wenszell			
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Description: TACO BELL	Customer Signature:			





INICTALI ATICAL

#### 1. 6'-0 //16" X 5'-0 1/2" MENU BOARD WITH POLE

- 2. (4) ANCHOR BOLTS AND NUTS
- 3. ALL MOUNTING HARDWARE

#### INSTALLER TO FURNISH

- 1. ALL ELECTRICAL COMPONENTS REQUIRED
- 2. FOUNDATION

#### GENERAL CONTRACTOR TO FURNISH

1. PRIMARY WIRES FROM BUILDING TO SIGN

#### **ELECTRICAL SPECIFICATION:**

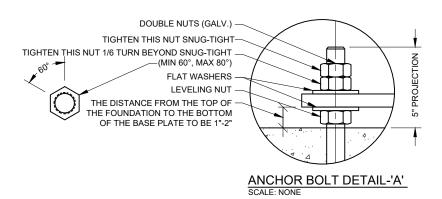
POWER SUPPLIES : HARDWIRED AC POWER 120/240V 50/60Hz

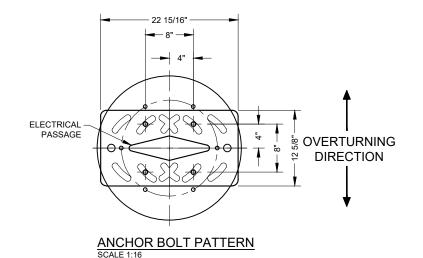
1150W (@ MAX LOAD)

UL RATED @ 10Amp

BACKLIGHT: LED LIGHT SOURCE 380 CD/M2 TO 3,500 CD/M2

WEIGTH: 915 LBS





#### INSTALLER TO PROVIDE COMPLETION PROTOS OF THE FOLLOWING

- 1. MATCH PLATE/SIGN CONNECTIONS
- BEFORE AND AFTER PHOTOS OF ALL PLUG WELDS, CAP PLATE WELDS, AND ANY OTHER WELDED CONNECTIONS DONE IN THE FIELD
- 3. ELECTRICAL WIRING
- 4. ALL SIGN ILLUMINATING (PREFRABLY SHOWING LED'S OR LAMPS ILLUMINATING)
- 5. ANY WALL PENETRATION CAULKED AND SEALED
- 6. OVERALL ELEVATION

#### GENERAL NOTES

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN AND INSTALLING DISCONNECT SWITCHES IF NOT FACTORY INSTALLED ON THE SIGN.

SIGN ASSEMBLY IS INTENDED FOR OUTDOOR WET LOCATION.

INSTALLER TO BE SURE SIGNS ARE PROPERLY INSTALLED, CONNECTED AND GROUNDED.

LANDSCAPING MATERIALS SHOULD BE KEPT MINIMUM TWO INCHES AWAY FROM SIGN POLES OR BASE PLATES.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR MANUFACTURING.

#### CONCRETE SPECIFICATION

0.58 CU. YDS. TOTAL. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF  $3,\!000$  PSI @ 28 DAYS. REINFORCING STEEL SHALL HAVE A MIN. YIELD STRENGTH OF  $60,\!000$  PSI. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.

#### LIFTING HOLE NOTE

ANY LIFTING HOLES CREATED ARE THE RESPONSIBILITY OF THE INSTALLER. LIFTING HOLES ARE TO BE SEALED BY A CAP PLATE, WELDED OVER TO COVER AND THEN PAINTED.

#### WELDING NOTE

ANY REQUIRED WELDING IS TO BE COMPLETED BY AN AWS CERTIFIED WELDER QUALIFIED IN THE APPLICABLE POSITIONS NEEDED. PROOF OF WELDER CERTIFICATION REQUIRED (COPY OF WELDER CERTIFICATION, PHOTO OF AWS CERTIFICATION CARD OF PERSON DOING THE WELDING).

#### ESIGN NOTE

SIGN, POLE AND CONCRETE FOUNDATION ARE DESIGNED TO WITHSTAND AN ALLOWABLE WIND LOAD OF 35 PSF, 123 MPH,IBC 2009,EXPOSURE C.

CONCRETE BASE DESIGNED USING A LATERAL SOIL BEARING CAPACITY OF 150 PSF / FT. OF DEPTH. IF THESE SOIL CONDITIONS DO NOT EXIST AT THE FOUNDATION LOCATION, IT IS THE ERECTOR'S RESPONSIBILITY TO NOTIFY EVERBRITE, LLC PRIOR TO PERFORMING ADDITIONAL EXCAVATION OR ANY CONCRETE PLACEMENT.

#### INSTALLATION INSTRUCTIONS

- 1. STAKE FOUNDATION AREA AND CONFIRM FINAL GRADE REQUIREMENTS WITH G. C.
- 2. EXCAVATE FOUNDATION AREA.
- 3. SET ANCHOR BOLTS, REBAR AND CONDUIT STUB. (PRIMARY ELECTRICAL SERVICE TO BASE BY G.C.)
- 4. POUR CONCRETE. ALLOW CONCRETE CURE TIME AS REQUIRED. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.
- 5. ANCHOR POLE(S) AS SHOWN IN AB DETAIL. CHECK FOR PLUMB.
- 6. MOUNT SIGNAGE TO POLE(S). (INSTALLER TO PROVIDE WIRE BETWEEN SIGN AND BASE OF POLE.)
- 7. MAKE FINAL ELECTRICAL HOOK-UP. (ALL ELECTRICAL TO MEET LOCAL CODES.)
- 8. TEST SIGNAGE FOR PROPER FUNCTION AND LIGHTING.
- 9. REMOVE ANY LIFTING BRACKETS AND REINSTALL BOLTS.
- CLEAN UP AREA AND REMOVE ANY PACKING MATERIAL. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE DUMPSTERS.

DRAWN BY \_\_\_ .... SITE

TITLE

**Everbrite** 

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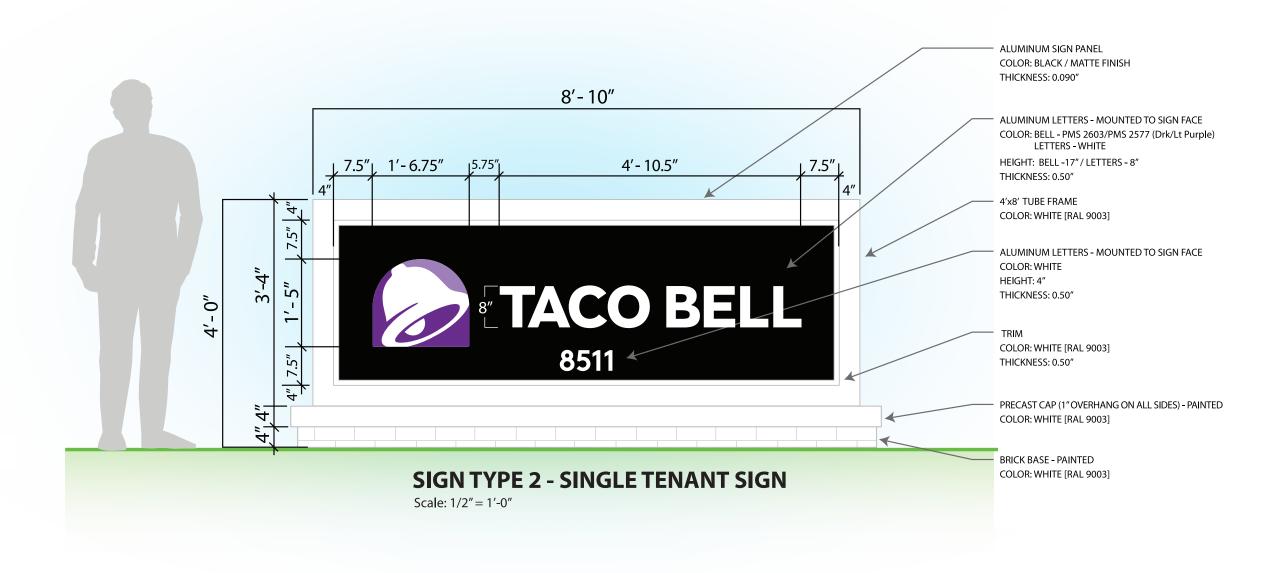
Customer Signature:



Page 11 of 26

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Monument Sign (Custom)



**Everbrite** 

DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings.

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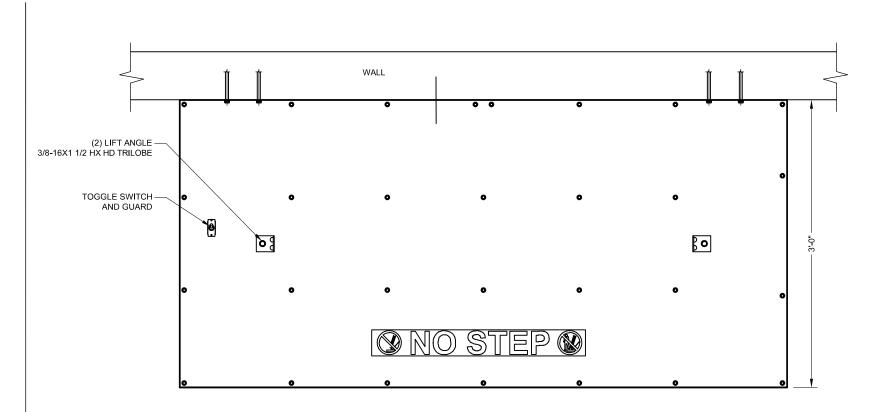
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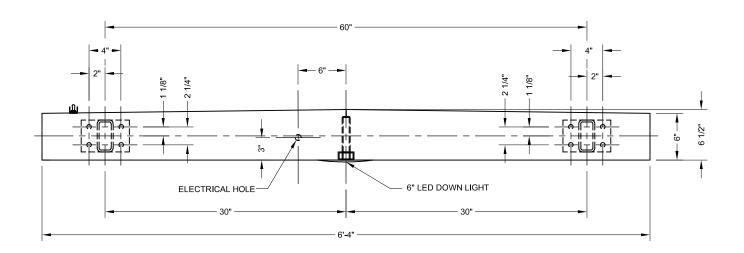


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Page 12 of 26

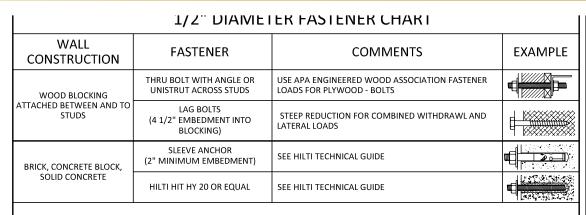


**TOP VIEW** 

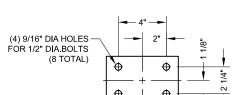


This sign is non-illuminated

FRONT VIEW W/ MOUNTING PATTERN



NOTE: ALL FASTENERS TO BE THRU BOLTS IF POSSIBLE, USE ALTERNATE FASTENERS PER WALL TYPE SHOWN ABOVE IF THRU BOLTING IS NOT POSSIBLE. ALL FASTENERS ARE TO BE CHOSEN AND PLACED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.



(2) WALL MOUNTING DETAIL SCALE 1:8

GENERAL NOTES INSTALLER TO PROVIDE COMPLETION PHOTOS OF MOUNTING/CONNECTION

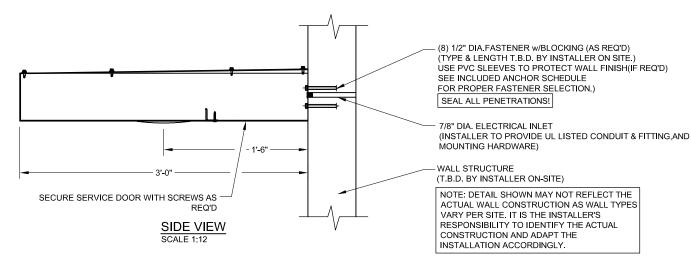
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED

#### INSTALLATION INSTRUCTIONS

- OPEN PACKAGING CAREFULLY AND INSPECT FOR DAMAGE. IF DAMAGE IS FOUND, CLAIM MUST BE FILED WITHIN 5-DAYS WITH SHIPPING AGENT.
- DETERMINE SIGN LOCATION AND TAPE UP THE TEMPLATE (IF PROVIDED) ON THE SURFACE TO WHICH IT WILL BE INSTALLED, RECEIVE CONFIRMATION FROM CLIENT OR CONTRACTOR.
- 3. LAYOUT AND PRE-DRILL ALL REQUIRED MOUNTING HOLES.
- 4. FILL ALL HOLES WITH SILICONE PRIOR TO MOUNTING THE CANOPY.
- ALIGN CANOPY TO MATCHING PRE-DRILLED HOLES WHILE INSERTING FASTENERS THROUGH CANOPY, WALL AND BLOCKING (AS REQ'D). FASTEN WITH HARDWARE. USE PVC SLEEVES TO PROTECT WALL FINISH OVER SHEATHING (IF NECESSARY).
- MAKE ELECTRICAL CONNECTIONS.
- PERFORM TOUCH-UP AS REQUIRED
- CLEAN INSTALLATION WORK SITE OF ALL EXCESS MATERIALS AND DEBRIS. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE DUMPSTERS.

· 20. 31

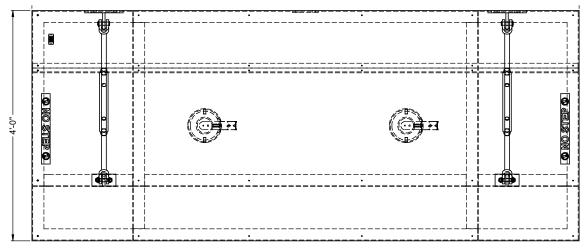


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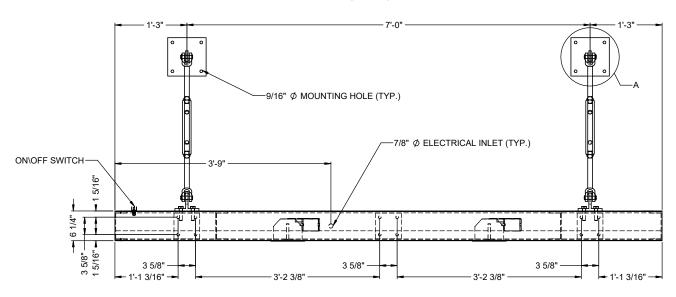
Everbrite, LLC · 4949 South 110th Street · Greenfield, WI 53228 · www.everbrite.com Prepared By: Susan Wenszell Customer/Site No: Address: Unknown NEW ALBANY, OH 43054 Date: 07/13/2023 PIF: 482882-0 Description: TACO BELL **Customer Signature:** 



Page 13 of 26



**TOP VIEW** SCALE 1:10



# FRONT VIEW SCALE 1:10

INSTALLER TO PROVIDE COMPLETION PHOTOS OF MOUNTING/CONNECTION POINTS, WIRE ROUTING, OVERALL ELEVATION, AND SEALED PENETRATIONS.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES.THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN AND INSTALLING DISCONNECT SWITCHES IF NOT FACTORY INSTALLED ON THE SIGN.

SIGN ASSEMBLY IS INTENDED FOR OUTDOOR WET LOCATION.

INSTALLER TO BE SURE SIGNS ARE PROPERLY INSTALLED, CONNECTED AND

THIS DRAWING IS TO BE USED FOR INSTALLATION PURPOSES ONLY, NOT TO BE USED FOR MANUFACTURING.

#### SIGN SPECIFICATIONS

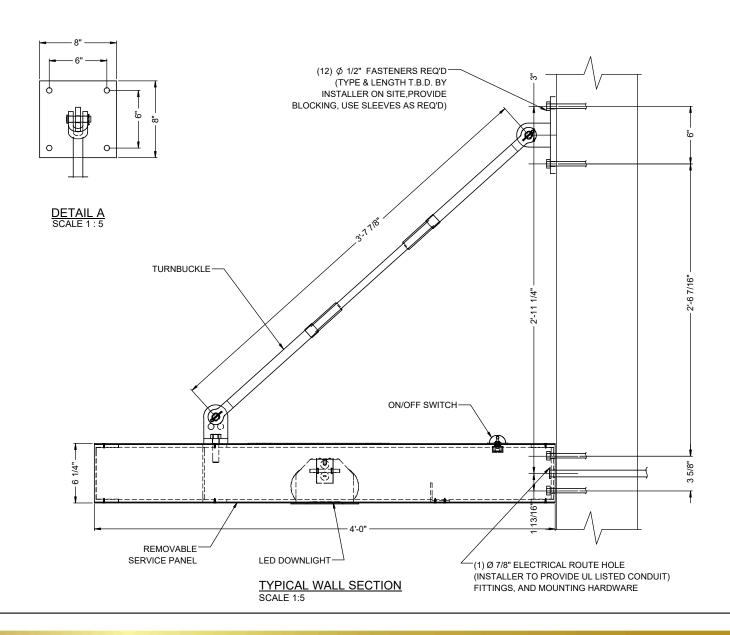
APPROX. WEIGHT: TO BE DETERMINED BY INSTALLER PRIOR TO INSTALLATION

This sign is non-illuminated

- OPEN PACKAGING CAREFULLY AND INSPECT FOR DAMAGE.
  DETERMINE SIGN LOCATION AND TAPE UP THE TEMPLATE (IF PROVIDED) ON THE
  SURFACE TO WHICH IT WILL BE INSTALLED, RECEIVE CONFIRMATION FROM THE CLIENT.
- LAYOUT AND PRE-DRILL ALL MOUNTING AND ELECTRICAL HOLES REQUIRED FOR MOUNTING THE SIGN.
  FILL ALL HOLES WITH SILICONE PRIOR TO MOUNTING THE SIGN.
- ATTACH THE HORIZONTAL BLOCKING BEHIND WALL FRAMING SO ALL CONNECTION
- POINTS HAVE SUPPORT (IF REQUIRED).
  ALIGN SIGN TO MATCHING PRE-DRILLED HOLES WHILE INSERTING FASTENERS
  THROUGH SIGN, WALL AND BLOCKING. FASTEN WITH HARDWARE. USE PVC SLEEVES TO PROTECT BUILDING FINISH IF NECESSARY.
- MAKE ELECTRICAL CONNECTIONS TO REMOTE POWER SUPPLY/PRIMARY WIRING THROUGH DRILLED FLECTRICAL HOLES
- TEST THE SIGN FOR PROPER FUNCTION AND LIGHTING.
- PERFORM TOUCH-UP AS REQUIRED.
- CLEAN INSTALLATION WORK SITE OF ALL EXCESS MATERIALS AND DEBRIS. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE DUMPSTERS.

1/2" DIAMETER FASTENER CHART WALL **FASTENER** COMMENTS **EXAMPLE** CONSTRUCTION THRU BOLT WITH ANGLE OR USE APA ENGINEERED WOOD ASSOCIATION UNISTRUT ACROSS STUDS FASTENER LOADS FOR PLYWOOD - BOLTS WOOD BLOCKING ATTACHED BETWEEN AND LAG BOLTS (4 1/2" EMBEDMENT INTO TO STUDS STEEP REDUCTION FOR COMBINED WITHDRAWL AND LATERAL LOADS BLOCKING) SLEEVE ANCHOR SEE HILTETECHNICAL GUIDE (2" MINIMUM EMBEDMENT) BRICK, CONCRETE BLOCK, SOLID CONCRETE HILTI HIT HY 20 OR EQUAL SEE HILTI TECHNICAL GUIDE

NOTE: ALL FASTENERS TO BE THRU BOLTS IF POSSIBLE, USE ALTERNATE FASTENERS PER WALL TYPE SHOWN ABOVE IF THRU BOLTING IS NOT POSSIBLE. ALL FASTENERS ARE TO BE CHOSEN AND PLACED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS

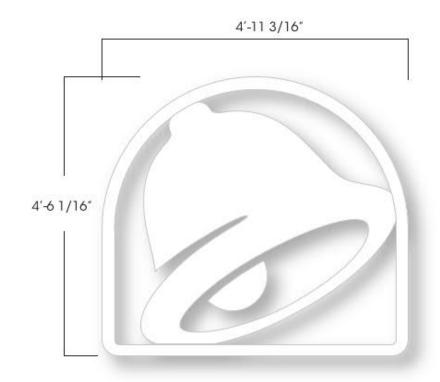


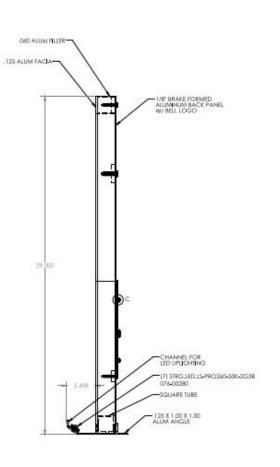


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Page 14 of 26





## **GENERAL SPECIFICATIONS:**

- Fabricated a uminum
- Wind load: 90 mph 3 second gust wind speed per ASCE 7-05
- · Sign Area: 22.2 Sq. Ft.

## **COLOR SPECIFICATIONS:**

Matte White



E032894; V08.4650 Matte White

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Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:

Description:

4'6x5' BELL LOGO FCO IL -WHITE

Part No: Project No: 385417-2

Description: Date: 12/20/18

4'6x5' BELL LOGO FCO IL -WHITE Drawn By: RB





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Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

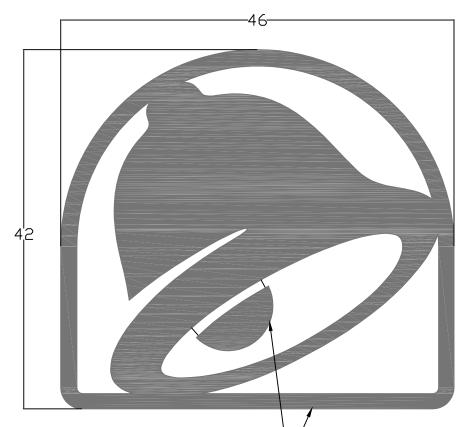
Description: TACO BELL

Customer Signature:



NOTE: ADJUSTABLE DEPTH SIGN TO BE MOUNTED USING ALUMINUM TUBE INSERT/RECEIVER SYSTEM, OR BY REMOVING ALUMINUM MOUNTING PLATES, REVEALING KEEP-NUT/THREADED ROD SYSTEM.

INSTALLER TO DETERMINE INSTALLATION SYSTEM PER SITE CONDITIONS.

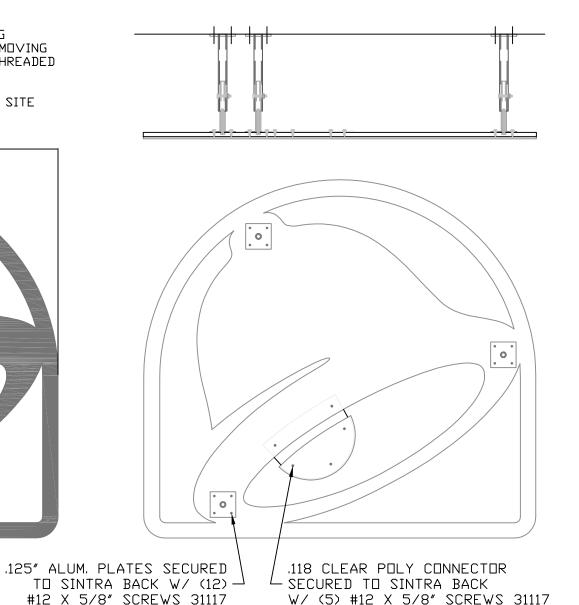


.250" ALUMINUM LOGO FACE
GLUED TO 1/2" BLACK SINTRA \_
USING LORD 7610DTM (017-00026);
THEN ALL PAINTED MATTE BLACK

ALUM, TUBES/PLATES PAINTED MATTE BLACK

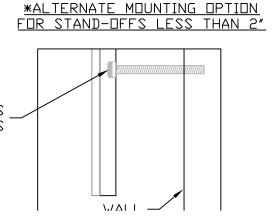
AS INSTALLATIONS WILL VARY GREATLY FROM LOCATION TO LOCATION, IT IS IMPOSSIBLE TO PROVIDE SPECIFIC INSTALLATION INFORMATION. TYPICAL INSTALLATION WILL INCLUDE A TOTAL OF (12) 5/16" PENETRATIONS IN THE FASCIA, UTILIZING 1/4" (SIZE) NUTS, BOLTS, LAGS, SHIELDS, ETC. (NOT PROVIDED).

Description: TACO BELL

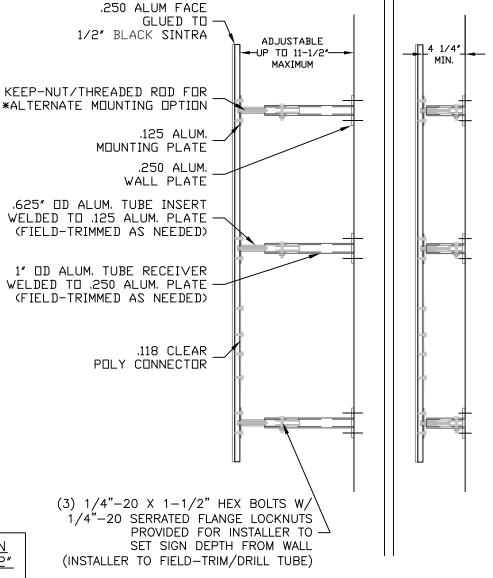


NOTE: KEEP-NUTS/THREADED RODS
TO BE MANUFACTURED INTO LOGO
BACK PRIOR TO ATTACHMENT
OF ALUMINUM MOUNTING PLATES.

(3) Ø1/4 X 3" THREADED RODS INSTALLED INTO KEEP-NUTS



FOR MINIMUM TUBE INSTALL DEPTH
5-1/8" FIELD-TRIMMED FROM
1" 0.D. RECEIVER;
2" FIELD-TRIMMED FROM
5/8" D.D. INSERT



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P.O. Box 20020
Greenfield, WI 53220

414-529-3500

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Address: Unknown NEW ALBANY, OH 43054 Date: 07/13/2023 PIF: 482882-0

**Customer Signature:** 

TACO BELL SHEET 1 OF 6





Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

Description: TACO BELL

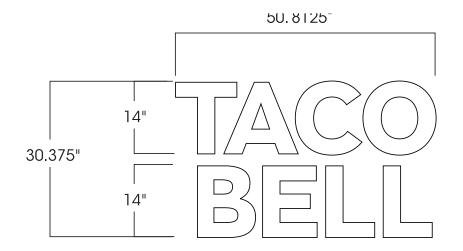
Prepared By: Susan Wenszell

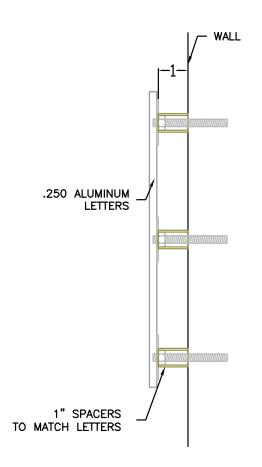
Date: 07/13/2023

PIF: 482882-0

Customer Signature:







# **GENERAL SPECIFICATIONS:**

- .25" Flat Aluminum w/ white finish
- Sign Area (Squared): 10.71

# **COLOR SPECIFICATIONS:**

White

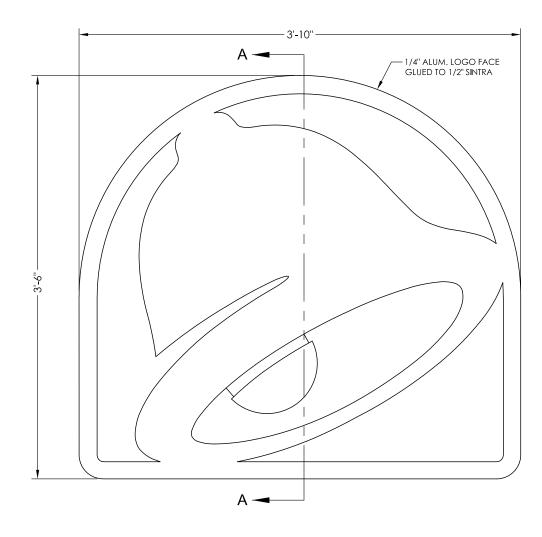
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Address: Unknown NEW ALBANY, OH 43054	Date: 07/13/2023	PIF: 482882-0
Description: TACO BELL	Customer Signature:	



Page 18 of 26



# FRONT VIEW

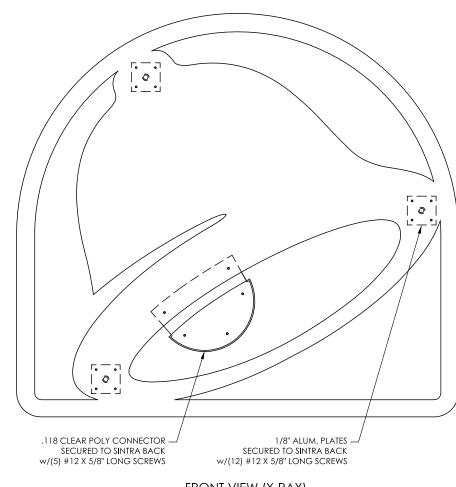
GENERAL NOTES
INSTALLER TO PROVIDE COMPLETION PHOTOS OF MOUNTING/CONNECTION POINTS AND OVERALL

INSTALLER TO VERIFY SIGN IS PROPERLY INSTALLED, CONNECTED AND GROUNDED.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR MANUFACTURING.

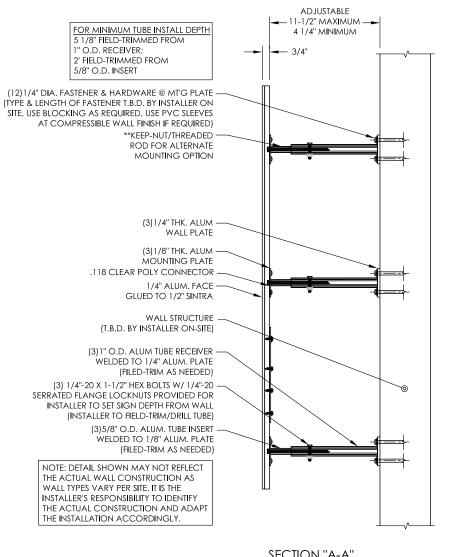
#### **INSTALLATION INSTRUCTIONS**

- OPEN PACKAGING CAREFULLY AND INSPECT FOR DAMAGE. IF DAMAGE IS FOUND, CLAIM MUST BE FILED WITHIN 5-DAYS WITH SHIPPING AGENT.
- DETERMINE SIGN LOCATION AND TAPE UP TEMPLATE (IF PROVIDED) ON THE SURFACE TO WHICH IT WILL BE INSTALLED, RECEIVE CONFIRMATION FROM CLIENT OR CONTRACTOR. LAYOUT AND PRE-DRILL ALL MOUNTING AND ELECTRICAL HOLES REQUIRED FOR MOUNTING THE
- LETTERS TO THE WALL.
- FILL ALL HOLES WITH SILICONE PRIOR TO MOUNTING THE SIGN.
  ALIGN WALL PLATES TO MATCHING PRE-DRILLED HOLES WHILE INSERTING FASTENERS THROUGH PLATES, WALL AND BLOCKING (AS REQ'D). FASTEN WITH HARDWARE. USE PVC SLEEVES TO PROTECT BUILDING FINISH SYSTEM OVER SHEATHING (IF REQ'D).
- DETERMINE IF ADJUSTABLE MOUNTING OR ALTERNATE MOUNTING IS REQUIRED.
- TRIM INSERTS IF REQUIRED (PER NOTES) ADJUST SIGN SPACING IF REQUIRED.
- PERFORM TOUCH-UP AS REQUIRED.
- CLEAN INSTALLATION WORK SITE OF ALL EXCESS MATERIALS AND DEBRIS. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE DUMPSTERS.

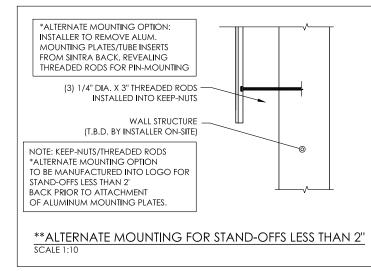


FRONT VIEW (X-RAY)

NOTE: ADJUST ABLE DEPTH SIGN TO BE MOUNTED USING ALUMINUM TUBE INSERT / RECEIVER SYSTEM, OR BY REMOVING ALUMINUM MOUNTING PLATES, REVEALING KEEP-NUT /THREADED ROD SYSTEM. INSTALLER TO DETERMINE INSTALLATION SYSTEM PER SITE CONDITIONS.





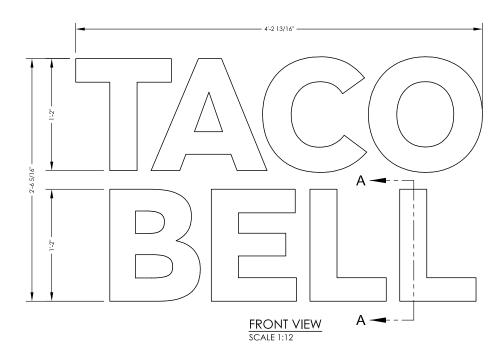


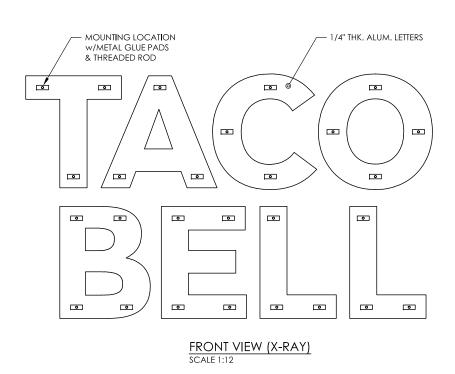


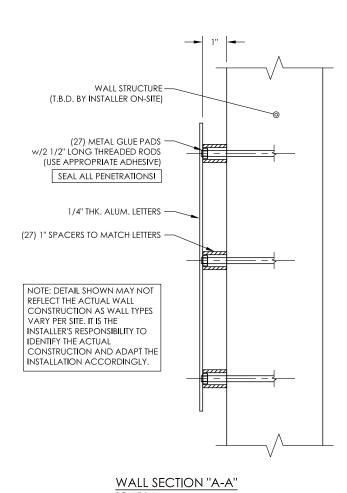
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Page 19 of 26







GENERAL NOTES INSTALLER TO PROVIDE COMPLETION PHOTOS OF MOUNTING LOCATIONS AND OVERALL

INSTALLER TO BE VERIFY SIGNS ARE PROPERLY INSTALLED, CONNECTED AND GROUNDED.

THIS DRAWING IS TO BE USED FOR INSTALLATION PURPOSES ONLY, NOT TO BE USED FOR MANUFACTURING.

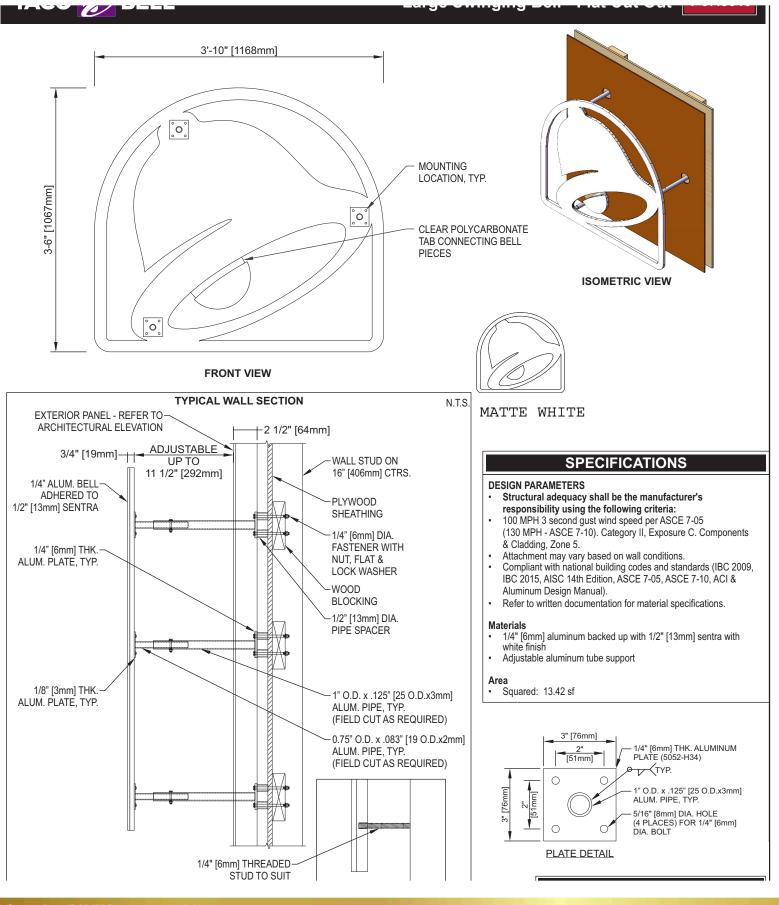
- INSTALLATION INSTRUCTIONS

  1. OPEN PACKAGING CAREFULLY AND INSPECT FOR DAMAGE. IF DAMAGE IS FOUND, CLAIM MUST BE FILED WITHIN 5-DAYS WITH SHIPPING AGENT.
- 2. DETERMINE SIGN LOCATION AND TAPE UP THE TEMPLATE (IF PROVIDED) ONTO THE SURFACE TO WHICH IT WILL BE INSTALLED, RECEIVE CONFIRMATION FROM CLIENT OR CONTRACTOR
- 3. LAYOUT AND PRE-DRILL ALL MOUNTING HOLES REQUIRED FOR MOUNTING THE SIGN.
  4. FILL ALL HOLES WITH SILICONE PRIOR TO MOUNTING THE SIGN.
- ASSEMBLY THREADED RODS AND GLUE PADS AND APPLY TO BACKS OF LETTERS (IF REQUIRED). PLACE SPACERS ON THREADED RODS.
- ALIGN SIGN TO MATCHING PRE-DRILLED HOLES & INSERT RODS INTO WALL STRUCTURE. HOLD 1" USING SPACERS.
- PERFORM TOUCH-UP AS REQUIRED.
- CLEAN INSTALLATION WORK SITE OF ALL EXCESS MATERIALS AND DEBRIS. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE DUMPSTERS.











Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

Description: TACO BELL

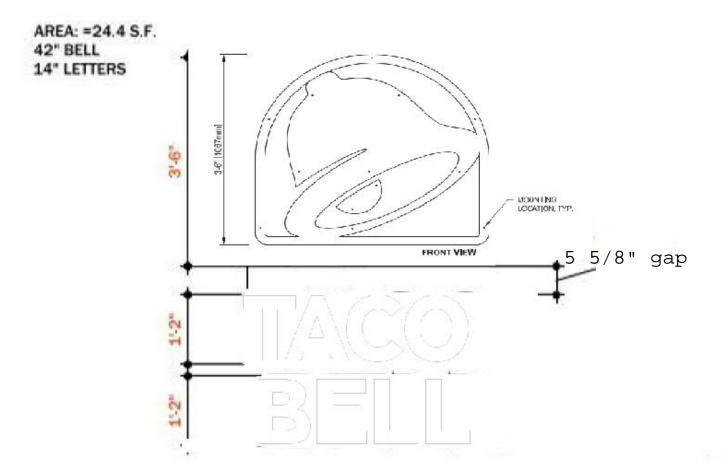
Prepared By: Susan Wenszell

Date: 07/13/2023

PIF: 482882-0

Customer Signature:

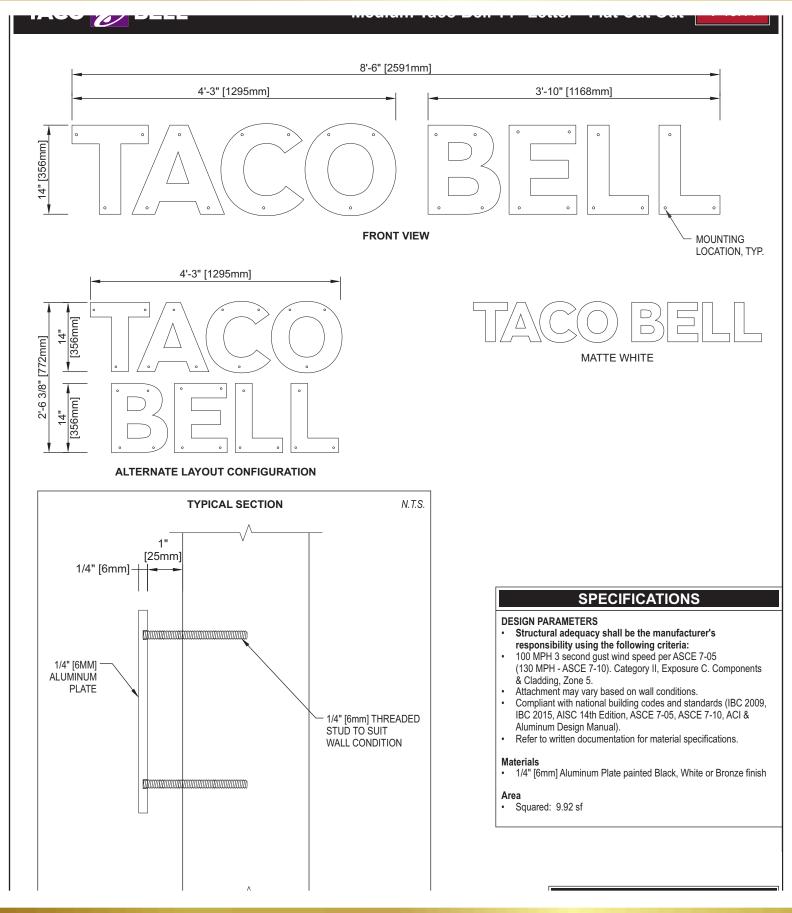




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Description: TACO BELL	Customer Signature:	







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Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

Description: TACO BELL

Prepared By: Susan Wenszell

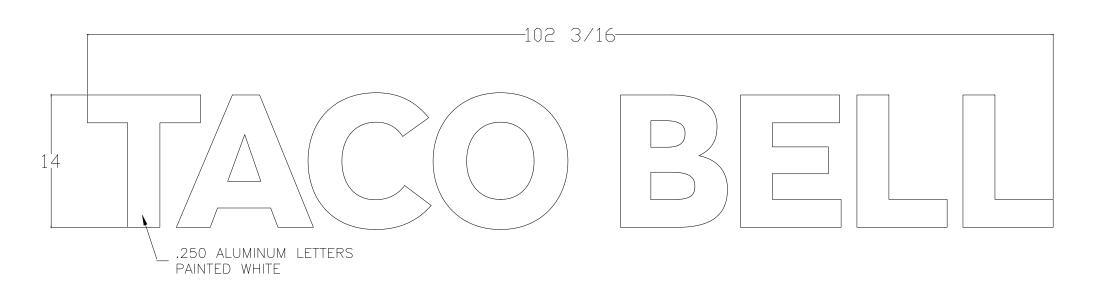
Date: 07/13/2023

PIF: 482882-0

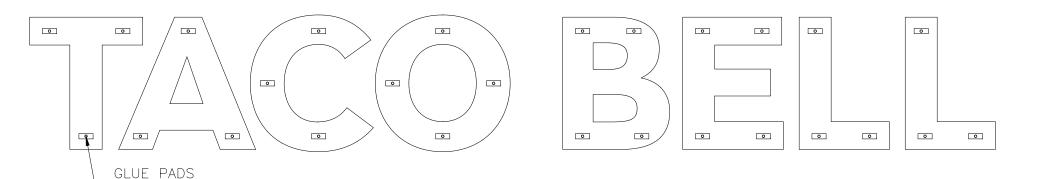
Customer Signature:



DESCRIPTION	ITEM #  QTY TOTAL HAND BUY
SHT,ALU .250 48X96 M.F.	1100022B 1
FSTNR F1-T38 1/4	153-00273 27
ROD,THREADED 1/4"-20X72" SS	SC00088B 1
PAINT, AVERAGE OF COLORS, SIGNS	93146413'

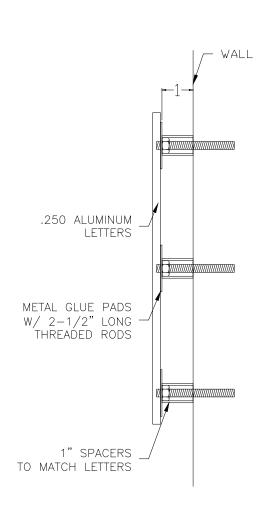


# SEND MOUNTING PATTERN WITH JOB



AS INSTALLATIONS WILL VARY GREATLY FROM LOCATION TO LOCATION, IT IS IMPOSSIBLE TO PROVIDE SPECIFIC INSTALLATION INFORMATION. TYPICAL INSTALLATION WILL INCLUDE A TOTAL OF (27) 5/16" AND (0) 7/8" PENETRATIONS IN THE FASCIA, UTILIZING 1/4"X2.5" (SIZE) STAINLESS THREADED RODS (PROVIDED).

NOTE: FRANCHISEE IS RESPONSIBLE FOR PROVIDING A POWER SOURCE TO THE SIGN



NOTE: PAINTED ALUMINUM PIN-MOUNT

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W/THREADED RODS

Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

Description: TACO BELL

Prepared By: Susan Wenszell

Date: 07/13/2023

PIF: 482882-0

Customer Signature:

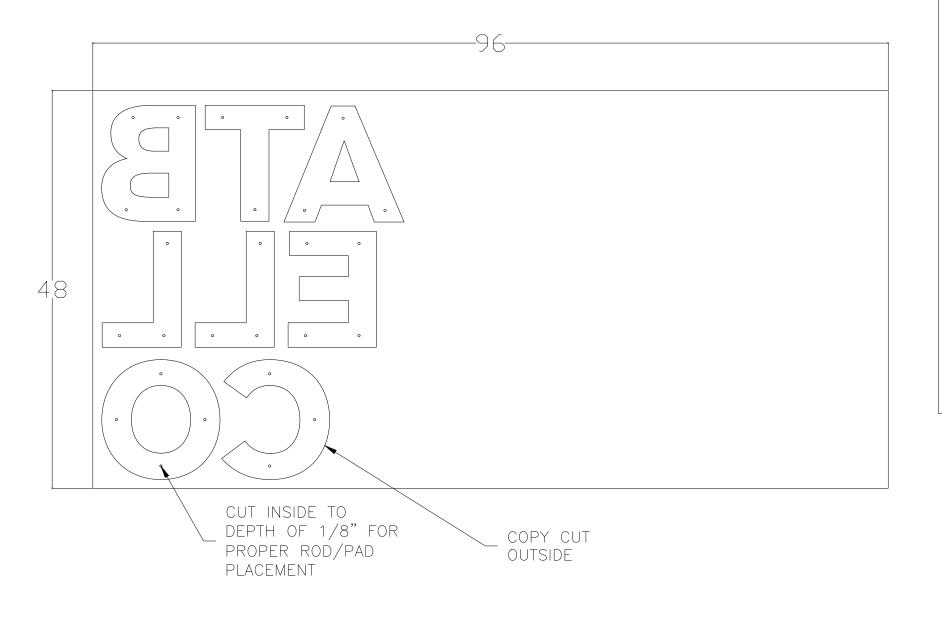


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Page 24 of 26

SHEET 1 OF 2

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# **MATERIAL**

.250 ALUMINUM 48 X 96

# SIZE OF BIT

3/16" STRAIGHT

# PLUNGE DEPTH

1/32"

# CUT TO SIDE

(INSIDE, OUTSIDE, ON LINE)
AS NOTED

# FILE NAME

E032920L.DXF

# NOTE:

1. PARTS SHOWN ABOVE ON BLANK.

HEET 2 OF 2

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Customer/Site No:

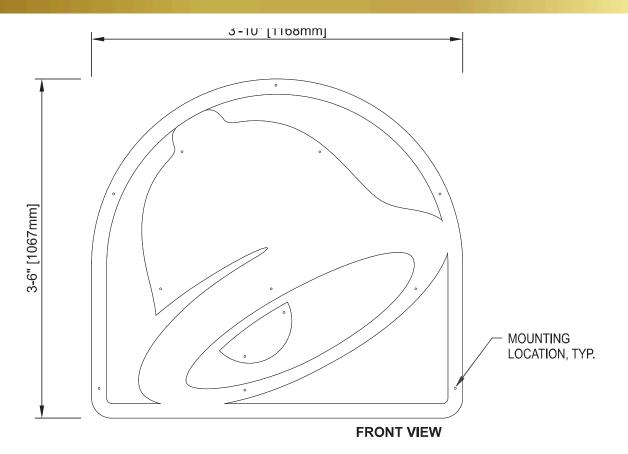
Address: Unknown NEW ALBANY, OH 43054

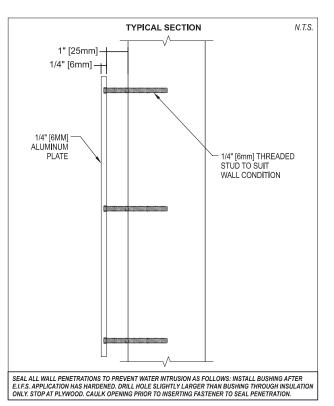
Description: TACO BELL

Customer Signature:

THIS SHEFT IS A VISUAL REPRESENTATION TITLE I TO TO 4/11 FOO NAINA N/404/1 1888 F. C. C. C. C. C.







# **SPECIFICATIONS**

# **DESIGN PARAMETERS**

- Structural adequacy shall be the manufacturer's responsibility using the following criteria: 100 MPH 3 second gust wind speed per ASCE 7-05
- (130 MPH ASCE 7-10). Category II, Exposure C. Components & Cladding, Zone 5.
- Attachment may vary based on wall conditions.
  Compliant with national building codes and standards (IBC 2009, IBC 2015, AISC 14th Edition, ASCE 7-05, ASCE 7-10, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

### Materials

• 1/4" [6mm] Aluminum Plate painted Black, White or Bronze finish

### Area

• Squared: 13.42 sf



MATTE WHITE

**GRAPHIC & COLOR SPECIFICATIONS:** 

COLOR

1 White

Painted White Matte Face & Sides

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# Planning Commission Staff Report August 21, 2023 Meeting

# TACO BELL VARIANCES

LOCATION: 8511 Smiths Mill Road (PID: 093-016512)

APPLICANT: Kimley-Horn, c/o Evan Salyers

REQUEST:

(A) Variance to C.O. 1169.04 to allow a digital menu board sign where

code prohibits digital/electronic signs.

(B) Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that there be active and operable doors on the Beech Crossing private

road building elevation.

ZONING: Beech Crossing I-PUD

STRATEGIC PLAN: Retail

APPLICATION: VAR-70-2023

Review based on: Application materials received August 10, 2023.

Staff report prepared by Chelsea Nichols, Planner

# I. REQUEST AND BACKGROUND

This application is for variances related to a final development plan for a proposed Taco Bell located at the southwest corner of Smith's Mill Road and Beech Crossing within the Beech Crossing development. The development includes a dine in restaurant with a drive-thru.

# The applicant requests the following variances:

- (A) Variance to C.O. 1169.04 to allow digital menu board sign where code prohibits digital/electronic signs.
- (B) Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that there be active and operable doors on the Beech Crossing private road building elevation.

### II. SITE DESCRIPTION & USE

The site is generally located north of State Route 161, south of Smith's Mill Road and west of Beech Road. The site is 1.37 acres and is currently undeveloped. This is the third proposed development for this zoning district. The Planning Commission approved a final development plan application for Duke and Duchess in this zoning district on October 20, 2020 and an application for Holiday Inn Express in this zoning district on February 19, 2020.

## III. EVALUATION

The application complies with the submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

#### Criteria

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

- 1. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.
- 2. Whether the variance is substantial.
- 3. Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."
- 4. Whether the variance would adversely affect the delivery of government services.
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction.
- 6. Whether the problem can be solved by some manner other than the granting of a variance.
- 7. Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.

Plus, the following criteria as established in the zoning code (Section 1113.06):

- 8. That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- 9. That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- 10. That the special conditions and circumstances do not result from the action of the applicant.
- 11. That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- 12. That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

## III. RECOMMENDATION

Considerations and Basis for Decision

# (A) Variance to C.O. 1169.04 to allow digital menu board sign where code prohibits digital/electronic signs.

The following should be considered in the Commission's decision:

- 1. C.O. 1169.04 states that digital/electronic signs are a prohibited sign type. The applicant proposes to allow a digital menu board sign to be used on the site, therefore a variance is required.
- 2. An update to C.O. Chapter 1169 (Display Signs and Outdoor Advertising) to permit and establish regulations for electronic drive-thru menu board signs was approved by New Albany City Council on August 15, 2023. The city staff prepared these changes at the direction of the Planning Commission and City Council, as multiple variances have been requested and approved to allow the installation of electronic drive-thru menu board signs. The proposed code amendment permits the use of electronic menu board signs and includes additional regulations that are consistent with those approved by the Planning Commission. The proposed code changes were reviewed and recommended for approval by the Planning Commission by a vote of 5-0 at their July 17, 2023 meeting. This code

- update will not be in effective until September 15, 2023. Therefore, any current requests for an electronic menu board sign still require a variance.
- 3. The Planning Commission approved the same variance request for other restaurants with drive-thrus such as Popeyes, Dunkin Donuts, and Wendy's. These restaurants are located in a similar nearby development, Canini Trust Corp. All three approvals include common conditions:
  - a. The electronic menu-board signs do not display any flashing graphics, nor may animated or moving graphics take up more than 33% of the menu board sign area;
  - b. The menu must be static so it not be used as a reader board with scrolling or frequent display changes; and
  - c. Wherever possible, additional landscape screening for the menu board must be added, subject to staff approval.
- 4. The Popeyes and Wendy's variance approvals also includes a condition that an automatic brightness dimmer is installed to ensure the menu sign is not overly bright.
- 5. The placement of the digital menu board sign is directed away from public roads and the heavy landscape buffer requirements provides additional screening from off-site view.
- 6. The proposed menu board sign is 25 square feet (code permits 32 square feet).
- 7. The signs meet all other menu board sign requirements in city code which requires the following:
  - a. The sign is located on the property to which it refers;
  - b. The sign is not visible from the public right-of-way;
  - c. The sign is single-face only and does not exceed thirty-two (32) square feet in size; and,
  - d. The sign is not placed in front of the building setback line.
- 8. The city sign code states the purpose of the sign regulations are intended to provide design regulations for sign types so that they may fit harmoniously with structures and their surroundings. It is the intent of these regulations to prevent signs from becoming a distraction or obstruction to the safe flow of pedestrian and vehicular traffic, to prevent signs from becoming a nuisance factor to adjacent properties or uses, to protect and encourage a healthful economic and business environment in the community, and thereby protect the general health, safety, and welfare of the community. Accordingly, the city sign code Codified Ordinance Chapter 1169.04 lists flashing, animated, and electronic signs as prohibited sign types. The city staff recommends a condition of approval requiring that the menu board sign does not employ any animated or flashing features on the sign.
- 9. Additionally, in order to abide by the spirit and intent of a typical menu sign, as stated above, the applicant commits to the menu be static so it is not used as a reader board with scrolling or frequent display changes. The city staff recommends this be a condition of approval.
- 10. To prevent the sign from becoming a nuisance factor to adjacent properties or uses at night, as stated above, the applicant commits that an automatic brightness dimmer be installed to ensure the sign is not overly bright. The city staff recommends a condition of approval.
- 11. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

# (B) Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that buildings have operable and active front doors along all public and private roads.

The following should be considered in the Commission's decision:

1. The applicant is requesting a variance to eliminate the requirement that buildings have operable and active front doors along all public and private roads. The building has two frontages, one along Beech Crossing and one along Smiths Mill. As proposed, the commercial building will have an entrance along the Smiths Mill elevation and along the

west facing side elevation facing an internal parcel boundary (1/2 elevations are meeting the requirement). The elevation with no active door is along the side of the building and is adjacent to Beech Crossing, which is a private drive and referred to as the Outparcel Access Drive in the zoning text.

- 2. As required by the zoning text, the building is designed with the same caliber of finish on all sides of the building using the same building materials.
- 3. The variance appears to preserve the "spirit and intent" of the zoning requirement. The intent of this requirement is to ensure that buildings maintain a presence on the street and not contain blank or "empty" building elevations so there is architectural vibrancy and interest on all sides of a building which is crucial in pedestrian oriented development. This site and the overall Beech Crossing developments are auto-oriented by design, therefore it does not appear that maintaining an entrance on every street is as important in this development scenario along a private, secondary road. All sides of the building are designed with the same caliber of finish using the same building materials so none of the elevations appear as a "lesser" side of the building.
- 4. The building has been designed with the drive-thru window on the east side/Beech Crossing (private road side) in order to allow for the menu board and stacking for the drive-thru to happen to the rear of the building as opposed to the front of the building.
- 5. While there isn't an active and operable door along the private road elevation, the applicant is providing strong architectural features and materials so the building adequately addresses the primary street (Smiths Mill) architecturally. The building is designed so the front door architectural elements such as the awning and retail storefront windows front Smiths Mill. The Smiths Mill elevation of this building makes the entrance to the building easily identifiable.
- 6. It does not appear that the essential character of the neighborhood will be altered if the variance request is granted. This same variance request has been granted for other developments including the nearby Canini Trust Corp development.
- 7. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

### II. SUMMARY

Due to the auto-oriented nature of this zoning district, providing active and operable front doors on every elevation does not appear to be necessary, and the applicant is still providing a high-quality designed building. The electronic menu board sign may be appropriate if there are parameters in place to ensure the sign is unobtrusive as possible to ensure it doesn't become a nuisance or distraction. The Planning Commission approved the same variance request for multiple sites within the nearby Canini Trust Corp and Walton-62 zoning districts for Popeyes, Dunkin Donuts and Wendy's. The variances were approved with additional restrictions and regulations regarding the display and brightness of the sign to ensure it meets the purpose of the sign code regulations and is unobtrusive as possible. The variances were also approved with consideration on where the sign is oriented, additional landscaping be added, and that the signs meet all other code requirements. Given the fact that this application commits to the same consistent standards, which are listed as recommended conditions of approval, the request does not appear to be substantial.

### V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (The Planning Commission can make one motion for all variances or separate motions for each variance request):

## Move to approve application VAR-70-2023 with the following conditions:

1. The electronic menu-board signs do not display any flashing, moving or animated graphics;

- 2. The menu-board signs must be static so they are not used as a reader board with scrolling or frequent display changes; and
- 3. An automatic brightness dimmer is installed to ensure the menu sign is not overly bright;





Source: ArcGIS

Permit #	
Board	
Mtg. Date	



# **Community Development Planning Application**

	Site Address 8511 Smiths Mill Ro	ad	
		au	_
	Parcel Numbers 093-016512-00.009		
	Acres <u>1.37</u>	# of lots created N/A	
	<b>Choose Application Type</b>	Circle all	Details that Apply
Project Information	□□Appeal □□Certificate of Appropriateness □□Conditional Use □□Development Plan □□Plat □□Lot Changes □□Minor Commercial Subdivision □□Vacation □□XVariance □□Extension Request □□Zoning  Description of Request:  Request	Preliminary Final Preliminary Final Combination Split Easement  Amendment (rezoning)  for two variances for a proponiths Mill Road. First variance	Comprehensive Amendment  Adjustment  Street  Text Modification  sed Taco Bell quick serve restaurant e is for a digital menu board in the drive
Contacts	Address: 10600 Shadow Wood D City, State, Zip: Houston, TX 7704 Phone number: 346-260-4190 Email: cnew@masrgllc.com	alyers (Kimley-Horn) et Suite 200 235	Fax:Fax:
Signature	Site visits to the property by City of Ne The Owner/Applicant, as signed below employees and appointed and elected o described in this application. I certify the true, correct and complete.  Signature of Owner Signature of Applicant	, hereby authorizes Village of fficials to visit, photograph ar	New Albany representatives, and post a notice on the property



Chelsea Nichols
City of New Albany

To: Village Hall 899 W. Main St.

New Albany, OH 43054

614-245-8871

Date: 8/10/2023

Subject: Taco Bell 8511 Smiths Mill Road – Variance Application

#### Chelsea.

The following is a variance request for a Digital Menu Board and omitting an operable front door along the private road (Beech Crossing) for the above referenced project. This request is to be submitted for review at the August 21<sup>st</sup>, 2023 Planning Commission meeting. The current zoning district is an Infill Planned Unit Development (IPUD).

### Legal Description:

Parcel 093-016512-00.009 Situated in the State of Ohio, County of Licking, City of New Albany, located in Half Section 15, Quarter Township 3, Township 2, Range 15, United States Military District, being part of the remainder of that 49.534 acre tract conveyed to MBJ Holdings, LLC by deed of record in Instrument Number 201010060020026, (all references refer to the records of the Recorder's Office, Licking County, Ohio).

## Variance 1

C.O. 1169.04 Signage – Digital Menu Board

Taco Bell is requesting a variance to allow the installation of a standalone digital menu board at the drive thru area for this project. The proposed menu board will be 25 SF consisting of two (2) menu screens per the attached menu board drawings. The content on the menu board will be static – no video, including flashing or animated graphics, or continuous movement will be displayed. The menu board will have adjustable light levels and a built-in sensor to adjust to ambient lighting. The menu board will only be on during the hours of operation of the restaurant.

This variance request is based on precedence of similar variances given to quick serve restaurants near Johnstown Road, such as the Popeye's at 9980 Johnstown Road and the Wendy's at 10014 Johnstown Road.



# Variance 2

DGR Section 6(I)(A)(12) – Operable front doors along all public and private streets.

Taco Bell is requesting a variance to omit an operable front door from the private road facing side of the building. Based on the geometry of the site and coordination with city staff, the building drive-thru window is on the private road face. This feature prohibits an operable door on this face due to the building floor plan and the close proximity of the drive through lane. The building will provide two operable front doors, one to the public road frontage per this section and one to the west facing side of the building near the parking lot.

If you have any questions or need any additional information, please feel free to contact me at 380-215-0695.

Sincerely,

Evan Salyers, PE

Kimley-Horn and Associates, Inc.

Com dafas

kimley-horn.com «Full\_Address» «Office\_»





# **Licking County Property Map**

Parcel 093-106512-00.000 Owner: MBJ Holdings LLC

Land Use: Commercial Vacant Land (not pictured – adjacent property east of site)

8000 Walton Parkway, Suite 120

New Albany, OH 43054

Parcel 093-107928-00.000

Land Use: Industrial Vacant Land

1 Riverside Plaza Columbus, OH 43215 Parcel 093106512-00.008 Owner: Beech Road Land LLC Land Use: Commercial Vacant Land

3430 Ohio Health Parkway Columbus, OH 43214

Parcel 093-107046-00.004

Owner: AEP Ohio Transmission Company LLC Owner: AEP Ohio Transmission Company LLC Land Use: Office Buildings (3 Stories or More)

> 1 Riverside Plaza Columbus, OH 43215

kimley-horn.com «Full\_Address» «Office\_» C Menu board (6077)

# **STRATACACHE**

May 10, 2022

Re: Letter of lighting ordinance compliance.

To whom it may concern,

This letter describes that **STRATACACHE** ("Sign Manufacturer" as listed herein) confirms that the proposed new digital menu boards for Taco Bell restaurants will be in compliance with the outdoor lighting standards detailed below:

- 1. The maximum luminance produced by the sign shall not exceed three-tenths (3/10) foot candles greater than the ambient light level.
- 2. Automatic dimming capability shall adjust the signs illumination to the ambient light at all times of the day or night.
- 3. Menu board signs shall be permitted EMDs or changeable copy signs. Such signs shall only display menu items with no other advertisement and the content of such sign shall only change once in any twenty-four (24) hour period.

Name: Bruno Pupo

Company: STRATACACHE

Phone #: 937-660-5828

Email: bpupo@stratacache.com

Signature:

Digitature.



Everbrite, LLC · 4949 South 110th Street · Greenfield, WI 53228 · www.everbrite.com

Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

Description: TACO BELL

Prepared By: Susan Wenszell

Date: 07/13/2023

PIF: 482882-0

Customer Signature:



Page 8 of 26

Menu board (6077)

# **OUTDOOR** DIGITAL **DISPLAY**

High quality and manufactured in the USA, STRATACACHE outdoor digital displays are designed to handle any weather condition and deliver maximum visibility even in direct sunlight. Integrated hardware and software provides streamlined content management with remote monitoring and control 24/7, making it easy to reboot a media player or troubleshoot. Our advanced display technology has a sensor-rich design that delivers personalization and predictive maintenance, ensuring the delivery of the best customer experience. A partnership with STRATACACHE for your outdoor digital signage needs means confident deployment and network management, at scale, regardless of your project's complexity or size. Discuss your outdoor digital display goals with us today, and we can create a custom solution for your business.

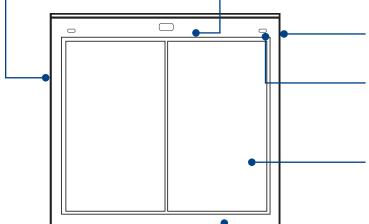


# Modular Design

All components are field serviceable in 15 mins or less or troubleshoot remotely

# 24/7 Monitoring and Control

Easy to reboot a media player



## Content Management

Streamlined using integrated hardware and software

### Sensor-Rich Capabilities

Gives deeper understanding of operations and customer behavior ensuring the delivery of the best customer experience

## Visibility at All Angles

A brightness of 3,000 nits and vandal resistant tempered glass delivers clear views even in direct sunlight through polarized sunglasses

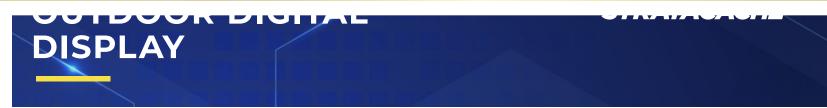
Maximum Reliablity

**Everbrite** 

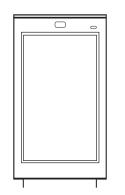
Everbrite, LLC · 4949 South 110th Street · Greenfield, WI 53228 · www.everbrite.com Customer/Site No: Prepared By: Susan Wenszell Address: Unknown NEW ALBANY, OH 43054 PIF: 482882-0 Date: 07/13/2023 Description: TACO BELL **Customer Signature:** 

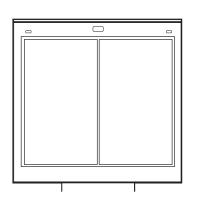


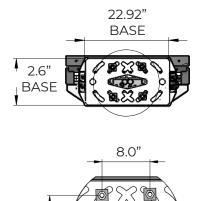
Page 9 of 26



Description	Specification	55STR-V12S	55STR-V12D	
	Configuration	1 x 1 Single Panel	1 x 2 Double Panel	
	Panel Size	55" Diagonal LCD	2 x 55" diag	
	Orientation	Portrait		
	Native Resolution (W x H)	1080 x 1920	2160 x 1920	
LCD Panel	Brightness (Min/Max)	380/3,50	00 cd/m <sup>2</sup>	
	Contrast Ratio	130	00:1	
	LCD Technology	IPS RGB+W with QLP - pola	arized eyewear compatible	
	Viewing Angle	178°>	(178°	
	External Control	Yes - R	S232C	
Connectivity	Content	ActiVia for	Media 4.0	
Connectivity	Data Access	CAT 6   Wi	-Fi   4GLTE	
Audio	Speakers	Optional - Side or	Bottom Mounted	
Audio	Microphone	Optional - Side or	Bottom Mounted	
	Thermal Management	Direct Air Cooling System (Da	ACS) US Patent# 8472174 B2	
	Cover Glass	Proprietary AR treated tempe	ered safety glass (UL48 Listed)	
	Ingress Protection	Water and Dust Protection to IP5	66 - NEMA 4 - Certified IEC-60950	
	Mount Design	8" x 8" Univer	sal Base-Plate	
Enclosure	Accessibility	Remote power lock with h	inge-less front door access	
	Dimensions (HxWxD mm)	1849.2 x 850.9 x 330.2	1849.2 x 1551.0 x 330.2	
	(HxWxD in)	72.8" x 33.5" x 13"	72.8" x 61.1" x 13"	
	Overall Height (options)	$1.8\ m\ /\ 72"\ standard$ - Optional 1.68 m/ $66"$ and 1.98m / $78"$		
	Net Weight	215 kg / 474 lbs	320 kg / 705 lbs	
	Ambient Light Sensor	Yes - Automatically adjusts backlight brightness based on ambient Light Sensor ambient light conditions (night sky compliance ready)		
Special Features	Field Serviceability	All components are on-site ser	viceable in under 15 min. (avg)	
reatures	Easy Access Module Swap	All components are modular for s	imple trouble-shooting and swap.	
	Remote Monitoring	Remote diagnostics, control an	nd monitoring of system health	
	Input Power	100/120/24	0V 50/60Hz	
Power	Consumption	450W/800W	830W/1150W	
Power	Cable Access	Bottom via sealed junction box in base area.		
	Termination	Embedded circuit breaker, surge suppression protection and EMI filter		
Approval	Safety	UL, cUL, UL48, TUV, CB Report, IEC-60950		
Approvar	EMC	FCC Class "A"   (	CE Mark   CISPR	
	Operating Temperature	-30°C to +50°C Under full	solar exposed conditions	
Environmental	Wind Load Rating	Up to 290 km/h   180 mph		
	Operating Humidity	10% to 90% RH (non-condensing)		



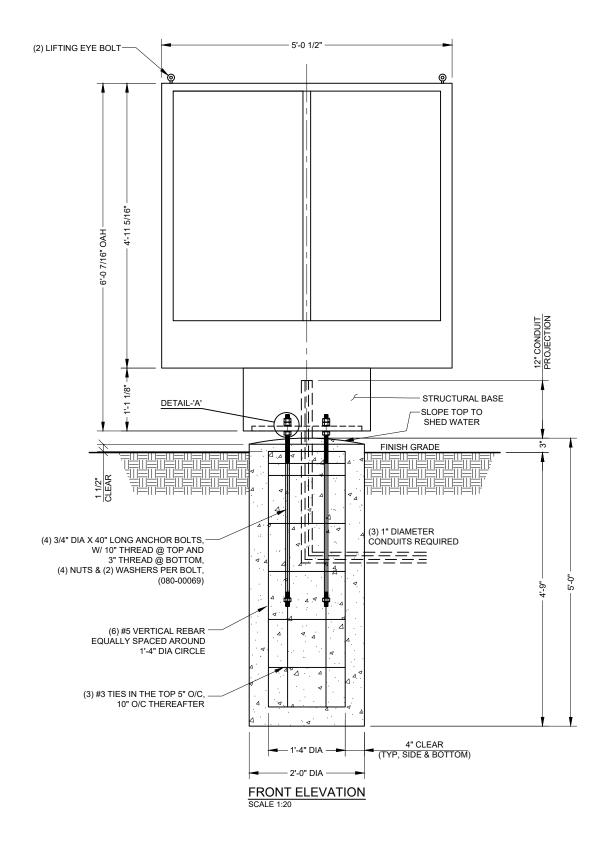






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Customer/Site No:	Prepared By: Susan Wen	szell
Address: Unknown NEW ALBANY, OH 43054	Date: 07/13/2023	PIF: 482882-0
Description: TACO BELL	Customer Signature:	





INICTALI ATICAL

#### 1. 6'-0 //16" X 5'-0 1/2" MENU BOARD WITH POLE

- 2. (4) ANCHOR BOLTS AND NUTS
- 3. ALL MOUNTING HARDWARE

#### INSTALLER TO FURNISH

- 1. ALL ELECTRICAL COMPONENTS REQUIRED
- 2. FOUNDATION

#### GENERAL CONTRACTOR TO FURNISH

1. PRIMARY WIRES FROM BUILDING TO SIGN

### **ELECTRICAL SPECIFICATION:**

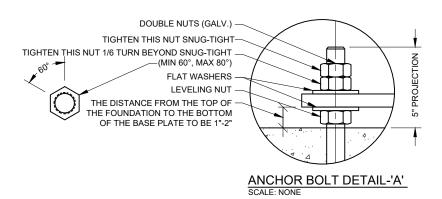
POWER SUPPLIES : HARDWIRED AC POWER 120/240V 50/60Hz

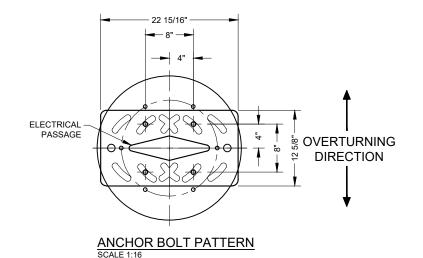
1150W (@ MAX LOAD)

UL RATED @ 10Amp

BACKLIGHT: LED LIGHT SOURCE 380 CD/M2 TO 3,500 CD/M2

WEIGTH: 915 LBS





#### INSTALLER TO PROVIDE COMPLETION PROTOS OF THE FOLLOWING

- 1. MATCH PLATE/SIGN CONNECTIONS
- BEFORE AND AFTER PHOTOS OF ALL PLUG WELDS, CAP PLATE WELDS, AND ANY OTHER WELDED CONNECTIONS DONE IN THE FIELD
- 3. ELECTRICAL WIRING
- 4. ALL SIGN ILLUMINATING (PREFRABLY SHOWING LED'S OR LAMPS ILLUMINATING)
- 5. ANY WALL PENETRATION CAULKED AND SEALED
- OVERALL ELEVATION

#### GENERAL NOTES

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN AND INSTALLING DISCONNECT SWITCHES IF NOT FACTORY INSTALLED ON THE SIGN.

SIGN ASSEMBLY IS INTENDED FOR OUTDOOR WET LOCATION.

INSTALLER TO BE SURE SIGNS ARE PROPERLY INSTALLED, CONNECTED AND GROUNDED.

LANDSCAPING MATERIALS SHOULD BE KEPT MINIMUM TWO INCHES AWAY FROM SIGN POLES OR BASE PLATES.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR MANUFACTURING.

#### CONCRETE SPECIFICATION

0.58 CU. YDS. TOTAL. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS. REINFORCING STEEL SHALL HAVE A MIN. YIELD STRENGTH OF 60,000 PSI. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.

#### LIFTING HOLE NOTE

ANY LIFTING HOLES CREATED ARE THE RESPONSIBILITY OF THE INSTALLER. LIFTING HOLES ARE TO BE SEALED BY A CAP PLATE, WELDED OVER TO COVER AND THEN PAINTED.

#### WELDING NOTE

ANY REQUIRED WELDING IS TO BE COMPLETED BY AN AWS CERTIFIED WELDER QUALIFIED IN THE APPLICABLE POSITIONS NEEDED. PROOF OF WELDER CERTIFICATION REQUIRED (COPY OF WELDER CERTIFICATION, PHOTO OF AWS CERTIFICATION CARD OF PERSON DOING THE WELDING).

#### ESIGN NOTE

SIGN, POLE AND CONCRETE FOUNDATION ARE DESIGNED TO WITHSTAND AN ALLOWABLE WIND LOAD OF 35 PSF, 123 MPH,IBC 2009,EXPOSURE C.

CONCRETE BASE DESIGNED USING A LATERAL SOIL BEARING CAPACITY OF 150 PSF / FT. OF DEPTH. IF THESE SOIL CONDITIONS DO NOT EXIST AT THE FOUNDATION LOCATION, IT IS THE ERECTOR'S RESPONSIBILITY TO NOTIFY EVERBRITE, LLC PRIOR TO PERFORMING ADDITIONAL EXCAVATION OR ANY CONCRETE PLACEMENT.

#### INSTALLATION INSTRUCTIONS

- 1. STAKE FOUNDATION AREA AND CONFIRM FINAL GRADE REQUIREMENTS WITH G. C.
- 2. EXCAVATE FOUNDATION AREA.
- 3. SET ANCHOR BOLTS, REBAR AND CONDUIT STUB. (PRIMARY ELECTRICAL SERVICE TO BASE BY G.C.)
- 4. POUR CONCRETE. ALLOW CONCRETE CURE TIME AS REQUIRED. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.
- 5. ANCHOR POLE(S) AS SHOWN IN AB DETAIL. CHECK FOR PLUMB.
- 6. MOUNT SIGNAGE TO POLE(S). (INSTALLER TO PROVIDE WIRE BETWEEN SIGN AND BASE OF POLE.)
- 7. MAKE FINAL ELECTRICAL HOOK-UP. (ALL ELECTRICAL TO MEET LOCAL CODES.)
- 8. TEST SIGNAGE FOR PROPER FUNCTION AND LIGHTING.
- 9. REMOVE ANY LIFTING BRACKETS AND REINSTALL BOLTS.
- CLEAN UP AREA AND REMOVE ANY PACKING MATERIAL. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE DUMPSTERS.

IDRAWN BY \_\_\_ .... SITE

TITLE

**Everbrite** 

Everbrite, LLC · 4949 South 110th Street · Greenfield, WI 53228 · www.everbrite.com

Customer/Site No:

Address: Unknown NEW ALBANY, OH 43054

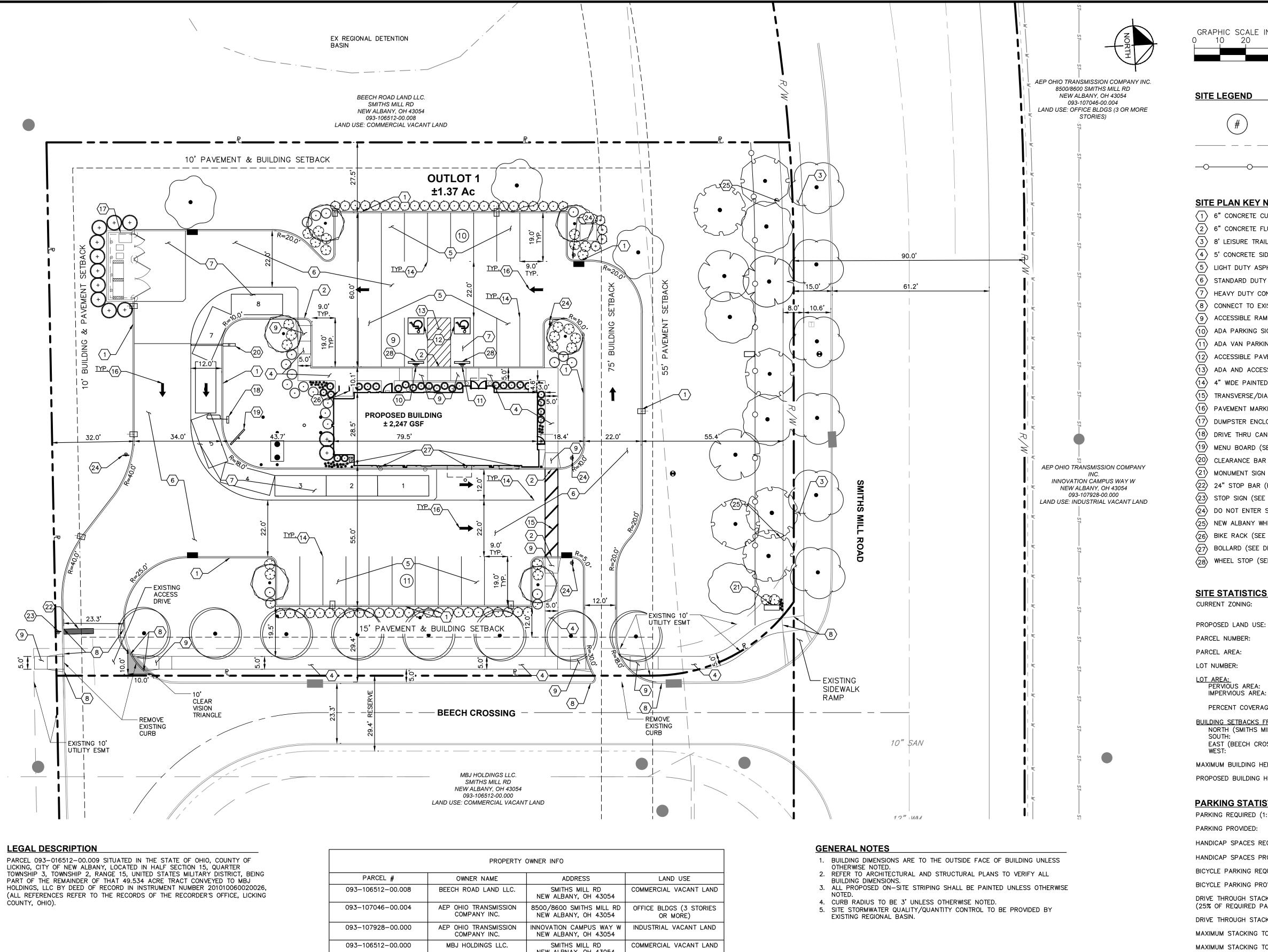
Description: TACO BELL

Customer Signature:



Page 11 of 26

These drawings and designs are the exclusive property of Everbrite, LLC Use or duplication in any manner, without express written permission of Everbrite, LLC, is prohibited.



PROPERTY OWNER INFO			
PARCEL #	OWNER NAME	ADDRESS	LAND USE
093-106512-00.008	BEECH ROAD LAND LLC.	SMITHS MILL RD NEW ALBANY, OH 43054	COMMERCIAL VACANT LAND
093-107046-00.004	AEP OHIO TRANSMISSION COMPANY INC.	8500/8600 SMITHS MILL RD NEW ALBANY, OH 43054	OFFICE BLDGS (3 STORIES OR MORE)
093-107928-00.000	AEP OHIO TRANSMISSION COMPANY INC.	INNOVATION CAMPUS WAY W NEW ALBANY, OH 43054	INDUSTRIAL VACANT LAND
093-106512-00.000	MBJ HOLDINGS LLC.	SMITHS MILL RD NEW ALBNAY, OH 43054	COMMERCIAL VACANT LAND

# **OWNER**

MBJ HOLDINGS, LLC 8000 WALTON PKWY STE 120 NEW ALBANY OH 43054 PHONE: (614) 939-8000

# **DEVELOPER**

MAS RESTAURANT GROUP, LLC 10600 SHADOW WOOD DRIVE HOUSTON, TX 77043 CONTACT: CHUCK NEW PHONE: (346) 260-4190 EMAIL: CNEW@MASRGLLC.COM

# **CIVIL ENGINEER**

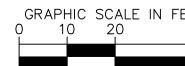
KIMLEY-HORN & ASSOCIATES, INC. 7965 N. HIGH ST, SUITE 200 COLUMBUS, OH 43235 CONTACT: EVAN SALYERS PHONE: (380) 215-0695 EMAIL: EVAN.SALYERS@KIMLEY-HORN.COM

# **ARCHITECT**

CASTLES DESIGN GROUP 3801 KIRBY DRIVE SUITE 600 HOUSTON, TX 77098 CONTACT: JANIE CORTÉS-SAUCEDO PHONE: (713) 664-7974 EX.1346 EMAIL: JCSAUCEDO@CASTLESDESIGNGROUP.COM EMAIL: CLUTTER@CESOINC.COM

# SURVEYOR

CESO, INC. 175 MONTROSE WEST AVE, SUITE 400 AKRON, OH 44321 CONTACT: STEVEN CLUTTER PHONE: (330) 396-5967



# SITE LEGEND



PARKING COUNT

PROPERTY LINE

NEW ALBANY WHITE 4-BOARD HORSE FENCE

# SITE PLAN KEY NOTES

- (1) 6" CONCRETE CURB, TYP. (PER CMS ITEM 609, SEE DETAIL ON SHEET 4)
- $\langle 2 
  angle$  6" CONCRETE FLUSH CURB, TYP. (PER CMS ITEM 609, SEE DETAIL ON SHEET 4)
- $\langle 3 \rangle$  8' LEISURE TRAIL (SEE DETAIL ON SHEET 4)
- $\langle 4 \rangle$  5' CONCRETE SIDEWALK, TYP. (SEE DETAIL ON SHEET 4)
- 5 LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHEET 4)
- 6 STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHEET 4)
- $\langle 7 \rangle$  HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHEET 4)
- 8 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 9 ACCESSIBLE RAMP (SEE DETAIL ON SHEET 4)
- ADA PARKING SIGN (SEE DETAIL ON SHEET 4)
- ADA VAN PARKING SIGN (SEE DETAIL ON SHEET 4)
- ACCESSIBLE PAVEMENT MARKINGS (PER CMS ITEM 642, SEE DETAIL ON SHEET 4)
- ADA AND ACCESS AISLE PAVEMENT MARKINGS (PER CMS ITEM 642, SEE DETAIL ON SHEET 4)
- (14) 4" WIDE PAINTED SOLID LINE, TYP. (PER CMS ITEM 641)
- TRANSVERSE/DIAGONAL LINE, TYP. (PER CMS ITEM 641)
- (16) PAVEMENT MARKING, WHITE (PER CMS ITEM 642)
- 17 DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- (18) DRIVE THRU CANOPY (SEE ARCHITECTURAL PLANS FOR DETAILS)
- (19) MENU BOARD (SEE ARCHITECTURAL PLANS FOR DETAILS)
- (20) CLEARANCE BAR (SEE ARCHITECTURAL PLAN FOR DETAILS)
- MONUMENT SIGN (SEE ARCHITECTURAL PLAN FOR DETAILS)
- (22) 24" STOP BAR (PER CMS ITEM 642)
- (23) STOP SIGN (SEE DETAIL ON SHEET 4)
- (24) DO NOT ENTER SIGN (SEE DETAIL ON SHEET 4) NEW ALBANY WHITE 4-BOARD HORSE FENCE (SEE DETAIL ON SHEET 4)
- (26) BIKE RACK (SEE DETAIL ON SHEET 4)
- $\langle 27 \rangle$  BOLLARD (SEE DETAIL ON SHEET 4)
- WHEEL STOP (SEE DETAIL ON SHEET 4)

# SITE STATISTICS

INFILL PLANNED UNIT DEVELOPMENT CURRENT ZONING: C-3, HIGHWAY BUSINESS DISTRICT PROPOSED LAND USE: RESTAURANT WITH DRIVE THROUGH PARCEL NUMBER: 093-106512-00.000 PARCEL AREA: 7.38 ACRES LOT NUMBER: OUTLOT 1 LOT AREA:
PERVIOUS AREA: ±1.37 ACRES ±0.70 ACRES

> PERCENT COVERAGE (IMPERVIOUS/TOTAL) 48.9%

BUILDING SETBACKS FROM P:

75 FEET (55 FEET PAVEMENT SETBACK) NORTH (SMITHS MILL ROAD): SOUTH: 10 FEET EAST (BEECH CROSSING): 15 FEET

±0.67 ACRES

10 FEET MAXIMUM BUILDING HEIGHT: 2 STORIES PROPOSED BUILDING HEIGHT: 1 STORY

# PARKING STATISTICS

PARKING REQUIRED (1:75 GROSS SF): 30 SPACES PARKING PROVIDED: 30 SPACES 2 SPACES (1 VAN SPACE) HANDICAP SPACES REQUIRED:

HANDICAP SPACES PROVIDED: 2 SPACES (1 VAN SPACE)

BICYCLE PARKING REQUIRED: 2 SPACES BICYCLE PARKING PROVIDED: 4 SPACES DRIVE THROUGH STACKING REQUIRED

(25% OF REQUIRED PARKING): 8 STACKING SPACES DRIVE THROUGH STACKING PROVIDED: 8 STACKING SPACES MAXIMUM STACKING TO BEECH CROSSING: 21 STACKING SPACES

25 STACKING SPACES MAXIMUM STACKING TO SMITHS MILL:

SUBMITTAL DATE:

7/24/2023 KHA PROJECT NO. 190164002

IGITAL ME VARIANCE

Horn

SHEET NUMBER



# Planning Commission Staff Report August 21, 2023 Meeting

# CENTRAL COLLEGE OFFICE ZONING DISTRICT ZONING AMENDMENT

LOCATION: Located at 6455 West Campus Oval for an area to be known as Central

College Office Zoning District (PID: 222-003104).

REQUEST: Zoning Amendment

ZONING: OCD (Office Campus District)

STRATEGIC PLAN: Employment Center

APPLICATION: ZC-80-2023

APPLICANT: NDA Ohio LLC, c/o Aaron Underhill, Esq.

Review based on: Application materials received July 17, 2023 and August 3, 2023.

Staff report completed by Chelsea Nichols, Planner

# I. REQUEST AND BACKGROUND

The applicant requests review for the rezoning of 5.916+/- acres. The request proposes to create a new zoning text for the area known as the "Central College Office Zoning District" by zoning the area to Infill Planned Unit Development (I-PUD) from Office Campus District (OCD). The Rocky Fork-Blacklick Accord is scheduled to reviewed the application on August 17, 2023. The application is solely for adding uses the property. The site is already developed and there are no proposed changes to the development standards.

The proposed zoning districts allows for the existing uses found in the City of New Albany's general Office Campus District (OCD) and it also allows for veterinary offices, veterinary hospitals, and research & development uses associated with veterinary office and/or veterinary hospital uses. Unless otherwise specified in the zoning text, the standards and requirements of Chapter 1144, OCD (Office Campus District) shall apply to this proposed zoning district. Therefore, it is consistent with surrounding zoning requirements.

### II. SITE DESCRIPTION & USE

The site is currently located within an existing office development known as The Business Campus at New Albany. The site is one of five lots within the office development located within Franklin County. The site is located at the northwest corner of Central College Road and New Albany Road E.

The property is developed with an office building consisting of 46,080+/- gross square feet of floor area, which is currently unoccupied. The property owner has received interest from a company that would bring a state-of-the-art veterinary hospital as the sole occupant of the recently constructed office building. The neighboring uses and zoning districts include OCD zoned land in the existing business park to the north, east and west. Properties across the street (Central College Road) to south are located within the city of Columbus.

### III. PLAN REVIEW

The Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to city council. The staff's review is based on city plans

and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

<u>Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:</u>

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

# A. Engage New Albany Strategic Plan

The 2020 Engage New Albany strategic plan designates the area as the Employment Center future land use category. The strategic plan lists the following development standards for the Employment Center land use category:

- 1. No freeway/pole signs are allowed.
- 2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
- 3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
- 4. Sites with multiple buildings should be well organized and clustered if possible.
- 5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
- 6. All office developments should plan for regional stormwater management.
- 7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscaping in an appealing manner.
- 8. Any periphery security should integrate with the landscape and maintain and enhance the character of road corridor.
- 9. Combined curb cuts and cross-access easements are encouraged.
- 10. The use of materials, colors, and texture to break up large-scale facades is required.

## B. Use, Site and Layout

- 1. The site is located within the Engage New Albany Strategic Plan's Employment Center future land use district. The site is currently zoned Office Campus District (OCD). Veterinary hospitals are not listed as permitted or conditional uses in the OCD. The purpose of this rezoning of the property to an I-PUD classification is to allow for this use, in addition to those in the OCD classification, The change in use for the area enables the continued success of the New Albany International Business Park.
- 2. The proposed use is consistent with the zoning in the surrounding area. Due to the proximity of this to State Route 161, and its location adjacent to OCD zoned land in the existing business park (to the north, and east and west), the site is appropriate for office and commercial development.
- 3. The proposed zoning text permits the following uses (new uses in italics):
  - o Office
  - Veterinary offices
  - Veterinary hospitals (not including facilities for outside boarding or exercising of animals),
  - Research and development use associated with veterinary office and/or veterinary hospitals
  - o Religious exercise facilities
  - Temporary parking lots
  - o Park-and-ride facility
  - Data centers.

- Other uses permitted in the building where the primary use in the building is an office, when such use is clearly incidental to and located within the same building as the primary permitted use, including:
  - Drug store
  - Deli/restaurant/food service
  - Office supply service
  - Travel agent personal services
  - Newsstand
  - Health and fitness center
  - Training facility
  - Storage facilities
  - Day care facilities.

All of these non-veterinary uses are already permitted on this site with the current zoning classification. The rezoning only introduces veterinary offices, veterinary hospitals (not including facilities for outside boarding or exercising of animals), and research and development uses associated with veterinary office and/or veterinary hospitals as new uses.

- 4. The proposed zoning text includes limitations on veterinary office and animal hospital uses. The following limitations shall apply to veterinary and animal hospital uses:
  - No outdoor activities: No exercising of animals shall be permitted outside of a fully enclosed primary (not accessory) structure.
  - No boarding: No overnight boarding of animals of any animal daycare uses shall be permitted, except tat overnight boarding of animals within a fully enclosed structure shall be permitted for the sole purpose of allowing an animal to recover from medical procedure or to undergo treatment of a health condition.
- 5. Conditional uses include those listed is C.O. 1144.03 (OCD). This is not a change from the existing zoning designation. Such conditional uses include drive-through facilities to eb developed in association with a permitted use, research and development, hotels, limited educational institutions, and miscellaneous accessory uses when the primary use of the building is permitted.

## C. Access, Loading, Parking

- 1. Parking and loading must be provided per code requirements (Chapter 1167) and will be evaluated at the time of development for each individual site.
- 2. The rezoning proposal is solely for adding uses to the site and does not modify any exterior development standards.

#### D. Architectural Standards

1. The rezoning proposal is solely for adding uses to the site and does not modify any exterior development standards.

# E. Parkland, Buffering, Landscaping, Open Space, Screening

1. The rezoning proposal is solely for rezoning the site adding uses to the site and does not modify any exterior development standards.

## F. Lighting & Signage

- 1. No signage is proposed at this time. All signage shall conform to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany.
- 2. The rezoning proposal is solely for adding uses to the site and does not modify any exterior development standards.

### **D.** Other Considerations

1. The property owner has submitted a school impact statement which indicates the rezoning merely provides a change in use for the existing building and does allow for

- residential development. By permitting the zoning change, it results in no new financial burdens on New Albany Plain Local School District and continues to provide an opportunity for new revenue sources.
- 2. Should the property owner propose any exterior changes in the future, for anything to the building or parking lot, the applicant will need to apply to modify the final development plan and it would be reviewed by the Planning Commission at that time.

### IV. ENGINEER'S COMMENTS

The City Engineer has no comments on this submittal.

#### IV. SUMMARY

It appears that the proposed zoning text meets the use recommendations found in the Engage New Albany Strategic Plan. The application is solely for rezoning the site. No exterior site development standard modifications result from the proposed rezoning. The property has recently been developed within an office building, which is currently unoccupied. The existing zoning does not allow for exterior facilities for outside boarding or exercising of animals in order to ensure it continues to look and feel like a traditional office building in the business park.

Due to the proximity of this to State Route 161, and its location adjacent to OCD zoned land in the existing business park (to the north, and east and west), the site is appropriate for office and commercial development.

## V. ACTION

# Suggested Motion for ZC-80-2023:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added):

Move to approve application ZC-80-2023 based on the findings in the staff report.

# Approximate Site Location:



Source: ArcGIS

Permit #	
Board	
Mtg. Date	



# **Community Development Planning Application**

	Site Address 6455 West Campus Oval, New Albany, OH 43054			
	Parcel Numbers 222-003104			
	Acres <u>5.916 +/- Acres</u>	# of lots cr	eated	
	Choose Application Type		Circle a	ll Details that Apply
Project Information	□ □ Appeal □ □ Certificate of Appropriateness □ □ Conditional Use □ □ Development Plan □ □ Plat □ □ Lot Changes □ □ Minor Commercial Subdivision □ □ Vacation □ □ Variance □ □ Extension Request □ ★Zoning   Description of Request: Request to I-PUD, Infill Planned Developme	Easement  Amendment (restauration rezone the si		Comprehensive Amendment Adjustment Street  Text Modification  Derty from OCD, Office Campus District
Contacts	Property Owner's Name: Medical Address: Underhill & Hodge L. City, State, Zip: New Albany, OH. Phone number: 614.335.9320  Email: aaron@uhlawfirm.com  Applicant's Name: NDA C. City, State, Zip: Underhill & Hodge L. City, State, Zip: New Albany, OH. Phone number: 614.335.9320  Email: aaron@uhlawfirm.com	LC, 8000 Waltor 1 43054 om Phio, LLC, c/o Aa le LLC, 8000 Wa 43054	n Parkway,	Suite 260  Fax: 614.335.9329  derhill
Signature	Site visits to the property by City of N The Owner/Applicant, as signed below employees and appointed and elected of described in this application. I certify true, correct and complete.  By:  Signature of Owner Signature of Applicant  By:  Aaron L.  Aaron L.	y, hereby authorize officials to visit, puthat the information	es Village of hotograph a on here with	of New Albany representatives, and post a notice on the property

# **AFFIDAVIT OF FACTS**

I, Aaron L. Underhill, in my capacity as attorney for the applicant listed on the zoning
application pertaining to 5.916+/- acres known as Franklin County Parcel Number 222-003104
being first duly sworn, do hereby state and depose the following:
That accompanying this office wit is a list of all property owners located within two hundress
That accompanying this affidavit is a list of all property owners located within two hundred

(200) feet of the parcel(s) that are the subject of the application and their addresses as appearing on the Franklin County Auditor's current tax list; and

That said list is based solely on the records of the Office of the Auditor of Franklin County, Ohio, as provided on its website on or about the date of this affidavit.

Further Affiant sayeth not.	
	By: Aaron L. Underhill Attorney, Underhill & Hodge LLC
	Attorney, ondermin & Hodge ELE
STATE OF OHIO	
COUNTY OF FRANKLIN SS.	
č č	acknowledged before me on the day of knowledged the foregoing signature to be his voluntary ac
	Notary Public
	My Commission Expires:

**APPLICANT:** 

NDA Ohio, LLC 601 Gates Road, Suite 1 Vestal, NY 13850

**PROPERTY OWNER:** 

Medical Center of New Albany LLC 170 N. Sunbury Road Westerville, OH 43081

**ATTORNEY:** 

Aaron L. Underhill Underhill & Hodge LLC 8000 Walton Parkway, Suite 260 New Albany, OH 43054

**SURROUNDING PROPERTY OWNERS:** 

Sugar Run Owner LLC 3330 Dundee Road, Suite S1 Northbrook, IL 60062 Huntington National Bank 7 Easton Oval Columbus, OH 43219

FDT Group LLC 1000 Taylor Station Rd., Suite C Columbus, OH 43230 Exchangeright Net-Leased Portfolio 50 DST 1055 E. Colorado Blvd., Suite 310 Pasadena, CA 91106

Lancaster Pine Village Ltd. 222 E. 11<sup>th</sup> Avenue Columbus, OH 43201

The New Albany Company LLC 8000 Walton Parkway, Suite 120 New Albany, OH 43054

Discover Properties LLC 2500 Lake Cook Road Riverwoods, IL 60015



Aaron L. Underhill

8000 Walton Parkway, Suite 260 New Albany, Ohio 43054

P: 614.335.9321 F: 614.335.9329 aaron@uhlawfirm.com

July 17, 2023

Chris Christian City of New Albany 99 West Main Street New Albany, Ohio 43054

RE: School Impact of Zoning of 5.916+/- acres located at 6455 West Campus Oval

in New Albany, Ohio (the "Property")

### Dear Chris:

This letter accompanies an application to rezone the Property from an OCD, Office Campus District designation to an I-PUD, Infill Planned Development to expand the permitted and conditional uses which are allowed to be operated thereon. The property is located in the New Albany-Plain Local School District. The purpose of this letter is to analyze the impact of this zoning on this school district.

There is an existing commercial building on this property that will remain on the site. This rezoning will merely provide a change in use for the existing building and will not allow for residential development. Therefore, it will result in no new financial burdens on the school district and will continue to provide an opportunity for new revenue sources.

The obvious positive financial impact of developing the Property with non-residential uses eliminates the need to undertake a detailed analysis of the impact the development would have on the local school district. In general terms, the rezoning will permit the development of the Property with non-residential uses, which will provide the school with a substantial financial benefit. This zoning will add significant value to the land and will provide the means to provide additional value by way of improvements.

The applicant is pleased to bring forth this application and looks forward to working with the City. Please let me know if you have any questions.

Sincerely,

Aaron L. Underhill

Attorney for the Applicant

Tana L. Midel !!

# CENTRAL COLLEGE OFFICE DISTRICT INFILL PLANNED DEVELOPMENT (I-PUD)

# Information concerning specific Code requirements for rezoning submittal by NDA Ohio, LLC

Per C.O. 1111.03(g), a statement as to how the proposed zoning amendment will impact adjacent and proximate properties.

Response: The property being zoned includes 5.9 +/- acres located at 6455 W. Campus Oval in New Albany, Ohio. The site is already developed with an office building and associated parking. No exterior modifications to the site are being proposed with this application, with the possible exception that new signage may be installed in accordance with the standards of the Codified Ordinances. A veterinary hospital is proposed to be operated within the existing building, with no outdoor operations. The current zoning of the property (OCD, Office Campus District) does not list this use as being permitted or conditional, so this rezoning serves to add this use as being permitted in addition to OCD uses. The proposed zoning amendment will have no impact on adjacent and proximate properties.

Per C.O. 1111.03(i), any deed restrictions, easements, covenants and encumbrances to be imposed to control the use, development and maintenance of the area to be rezoned.

<u>Response:</u> No new restrictions, easements, covenants, or encumbrances will apply to the property in conjunction with this rezoning.

Per C.O. 1159.07(b)(2)(F) The schedule of site development, construction of structures and associated facilities. Such schedule shall include the proposed use or reuse of existing features such as topography, streets, easements and natural areas.

Response: Development of the site is already complete.

Per C.O. 1159.07(b)(2)(J) Verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain a Water Quality Certification Permit from the Ohio Environmental Protection Agency. In the case of an isolated wetland either a general state or individual state isolated wetland permit must be obtained from the Ohio Environmental Protection Agency (Sections 6111.021, - 6111.024 of House Bill 231).

<u>Response:</u> No such application is required since no exterior site modifications will result from approval of this rezoning.

Per C.O. 1159.07(b)(2)(K) Verification that an application, if required, has been submitted to the U.S. Army Corps of Engineers, in compliance with Section 404 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain either a nationwide or individual permit from the U.S. Army Corps of Engineers.

<u>Response:</u> No such application is required since no exterior site modifications will result from approval of this rezoning.



Instrument Number: 201611030151852 Recorded Date: 11/03/2016 11:29:38 AM



Terry J. Brown
Franklin County Recorder
373 South High Street, 18<sup>th</sup> Floor
Columbus, OH 43215
(614) 525-3930
http://Recorder.FranklinCountyOhio.gov

Recorder@FranklinCountyOhio.gov

FranklinCountyRecorderTerryBrown 🦃 @RecorderBrown

**Transaction Number: T20160071750** 

**Document Type:** DEED **Document Page Count:** 3

Submitted By (Walk-In): STEWART TITLE AGENCY OF COLS LTD Return To (Box):

STEWART TITLE BOX

	<b>Walk</b> -In		Вох
First Grantor:		First Grantee:	
NWES REALTY PARTNERS II LLC		SHREYAS15 LLC	
Fees:		Instrument Number: 201611030151852	
Document Recording Fee:	\$28.00	Recorded Date: 11/03/2016 11:29:38 AM	
Additional Pages Fee:	\$8.00		
Non-Conforming Document Fee:	\$20.00		
Total Fees:	\$56.00		
Amount Paid:	\$56.00		
Amount Due:	<b>\$0.</b> 00		

**OFFICIAL RECORDING COVER PAGE** 

# **DO NOT DETACH**

THIS PAGE IS NOW PART OF THIS RECORDED DOCUMENT

NOTE: If the document data differs from this cover sheet, the document data always supersedes the cover page. COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.

Page: 2 of 4

**Mandatory** 

CLARENCE E. MINGO II FRANKLIN COUNTY AUDITOR **TRANSFERRED** 

NOV 03 2016

CLARENCE E. MINGO II AUDITOR FRANKLIN COUNTY, OHIO

File No.: 01032-21832

# **GENERAL WARRANTY DEED**

NWES Realty Partners II, LLC, an Ohio limited liability company, for One Dollar (\$1.00) and other good and valuable consideration paid, grants with general warranty covenants to Shreyas15 LLC, an Ohio limited liability company, their and assigns forever, whose tax mailing address is: 99 N. Brice Rd, Suite 100, \*/ , the following described real estate: \*Columbus, OH 43213 SEE EXHIBIT "A" ATTACHED HERETO

Property Address: 0 West Campus Oval, New Albany, OH 43054

Parcel Number: 222-003104-00

Prior Instrument Reference: Instrument No. 200701240014710, of the Franklin County, Ohio Records.

Excepting from said general warranty covenants, all legal highways, restrictions, and easements of record, and taxes and assessments not yet due and payable.

Executed this November \_\_\_\_\_\_, 2016.

NWES Realty Partners II, LLC, an Ohio limited liability company

By: Name: It's: By: Name: Name: kem haa l Ву: Name:

The foregoing deed was acknowledged before me this Member of NWES Realty day of November, 2016, by Member of NWES Realty Partners II, LLC, an Ohio limited liability company, on behalf of the company.

Stewart Title Agency of Columbus Box 01032-21832

Notary Public
My Commission Expires: 11/28/2017

Page: 3 of 4

State of	shio 11
County of _	Franklin

Mulesca Dunaway
Notary Public
My Commission Expires: 11/380/12017

State of Ohio
County of Franklin

The foregoing deed was acknowledged before me this 15T day of November, 2016, by best E. Lembach Member of NWES Realty Partners II, LLC an Ohio limited liability company, on behalf of the company.

State of Ohio
County of Fanklin

The foregoing deed was acknowledged before me this 15 day of November, 2016, by 16ff 16g Member of NWES Realty Partners II, LLC an Ohio limited liability company, on behalf of the company.

Autera Dunaway
Notary Public
My Commission Expires: 11/28/2017

This instrument was prepared by: Joseph E. Budde Attorney at Law 259 W. Schrock Road Westerville, OH 43081

### Instrument # 201611030151852

Page: 4 of 4

## **EXHIBIT "A" LEGAL DESCRIPTION**

## PARCEL I:

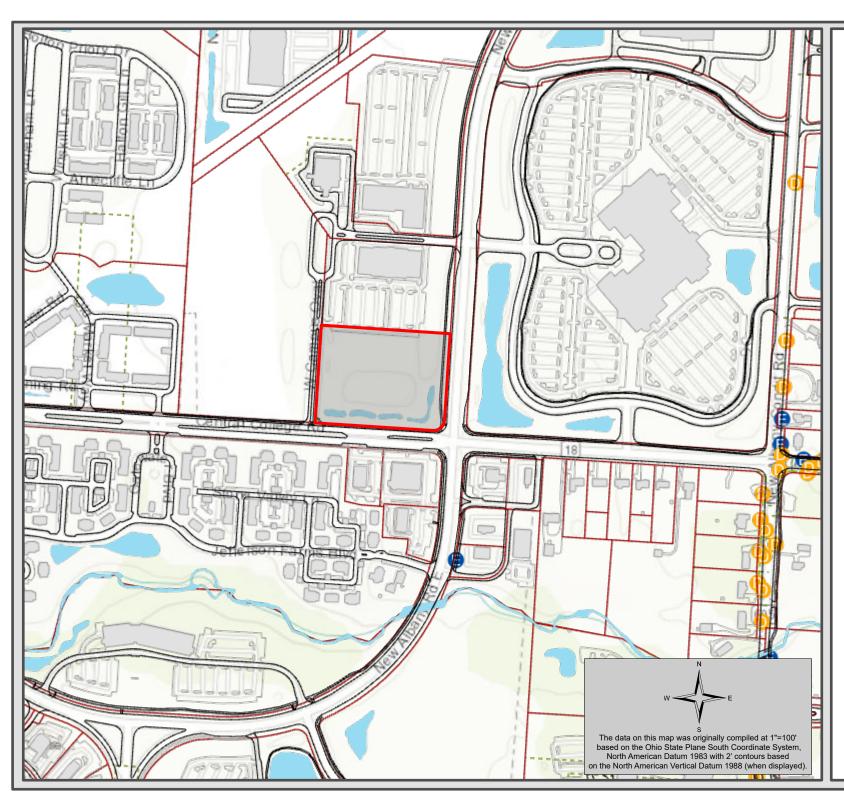
Situated in the State of Ohio, County of Franklin, and in the City of New Albany:

Recorded: 11/03/2016 11:29:38 AM

Being Lot Number One (1) in THE BUSINESS CAMPUS AT NEW ALBANY as the same is numbered and delineated upon the recorded plat thereof, of record in <u>Plat Book 101 Page 79</u>. Recorder's Office, Franklin County, Ohio.

## PARCEL II:

Non-exclusive easements as contained in that certain Drainage and Dumpster/Utility and Cross Access Easement by Duke Realty Ohio of record in <a href="Instrument No. 200701240014707">Instrument No. 200701240014707</a>.



# **Franklin County Auditor's Office Auditor Michael Stinziano**

Map Produced June 19, 2023

Planimetric Legend
Source: 2021 Aerial Photography
Edge of Pavement

Roadway Centerlines

Railroad Centerlines

**Building Footprints** 

**Building Under Construction** 

Creeks, Streams, Ditches

Rivers & Ponds

# Topographic Legend Source: OSIP - 2019 LiDAR Collection

♠ Spot Elevation

Index Contour

Intermediate Contour

Appraisal Legend
Source: Franklin County Auditor & Engineer

xxxxxxxxx Parcel IDs

100 Parcel Dimensions

100 Lot Numbers

123 Main St Site Address

Parcel Boundary

Subdivision Boundary

Condominium Boundary

County Boundary

City or Village Boundary

Tax District Boundary

School District Boundary

Zip Code Boundary

The information on this web site is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained on this site. The county and vendors assume

on this site. The country and venues assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

For scaled maps, please visit the parcel viewer at



# THE BUSINESS CAMPUS AT NEW ALBANY

Approved this D day of April 2003 Approved this 15 day of 2003

Approved this 15 day of APRIL

Approved this by day of MRIL

Chairperson, Planning Commission, New Moany, Ohio

New Albany, Ohio

Approved this 15 day of April 2003 Council Representative to Planning Commission,

New Albany, Ohio

New Albany, Ohio

Approved and accepted by Resolution No. R-22-2003, passed 4-1-, 2003 wherein all of THE BUSINESS CAMPUS AT NEW ALBANY shown hereon is accepted as such by the Council for the Village of New Albany, Ohio. Approval of this plat shall become null and void unless recorded prior to 4-/-, 2004.

Transferred this 2/4 day of Auditor, Franklin County, Ohio

Deputy Auditor, Franklin County, Ohio

Eiled for record this 21<sup>51</sup> day of APRIL, 2003 at \_\_\_\_\_\_\_
Fee \$ 43.20 File No.

Recorder, Franklin County, Ohio By ME

Recorded this 315 day of APRIL, 2003

Marcia a. Egan Deputy Recorder, Franklin County, Ohio

Plat Book 101 , Page 79-80

**SURVEY DATA:** 

BASIS OF BEARINGS: The bearings are based on the Ohio State Plane Coordinate System, Ohio South Zone, NAD83. Control for the bearings was established from Franklin County Survey Control Monuments, FRANK 5211 and FRANK 5212, coordinates established by the Franklin County Engineering Department, using Global Positioning System procedures and equipment.

SOURCE OF DATA: The sources of recorded survey data are the records of Franklin County, Ohio. Existing easements shown hereon reflect recorded easements shown in Stewart Title Agency of Columbus Title Commitment No. 12003130, Schedule B-2 dated January 14, 2003.

IRON PINS, where indicated, unless otherwise noted, are to be set and are iron pipes, thirteen-sixteenths inch inside diameter, thirty inches long with a plastic cap placed in the top bearing the inscription "ADVANCED". Iron pins shall be placed within 30 days of the record date of this document.

PERMANENT MARKERS: Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped "ADVANCED". Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.

DOUGLAS

EST CAMPUS RD

LOCATION MAP

In Witness, Whereof, DONALD J. HUNTER, Senior Vice-President of CAMPUS DEVELOPMENT COMPANY, LLC. has hereunto set his hand this 14th day of april , 2003.

Signed and acknowledged in the presence of:

**CAMPUS DEVELOPMENT** COMPANY, LLC.

Stephanie T. Tran

By Denleggy Denleggy

# STATE OF OHIO COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared DONALD J. HUNTER, Senior Vice-President of CAMPUS DEVELOPMENT COMPANY. LLC. who acknowledged the signing of the foregoing instrument to be his free and voluntary act and deed and the free and voluntary act and deed of CAMPUS DEVELOPMENT COMPANY, LLC. for the uses and purposes expressed therein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this <u>14th</u> day of <u>upril</u>, 2003.

My Commission expires \_\_08-24-04

Notary Public, State of Ohio

seal this 14th day of april , 2003. My Commission expires 08-24-04

Before me, a Notary Public in and for said State, personally appeared

DONALD J. HUNTER, Senior Vice-President of DUKE REALTY LIMITED

PARTNERSHIP, a general partner of DUKE REALTY OHIO, who

acknowledged the signing of the foregoing instrument to be his free and

voluntary act and deed and the free and voluntary act and deed of DUKE

In Witness Thereof, I have hereunto set my hand and affixed my official

**REALTY OHIO** for the uses and purposes expressed therein.

Situated in the State of Ohio, County of Franklin, Village of New Albany and in Section 8, Farm Lot 15, Quarter Township 2, Township 2, Range 16,

United States Military Lands, containing 40,836 acres of land, more or less, said 40.836 acres being comprised of all of that 32.021 acre tract of

land deeded to DUKE REALTY OHIO in Instrument Number 200302260056923, and all of that 8.815 acre tract of land deeded to CAMPUS DEVELOPMENT COMPANY, LLC. in Instrument Number 200004280083098 both being of record in the Recorder's Office, Franklin

The undersigned, DUKE REALTY OHIO of DUKE REALTY LIMITED PARTNERSHIP, a general partner of DUKE REALTY OHIO, an Indiana limited partnership, by DONALD J. HUNTER, Senior Vice-President,

CAMPUS DEVELOPMENT COMPANY, LLC., an Indiana limited liability company, by DONALD J. HUNTER, Senior Vice-President, owners of the lands platted herein, duly authorized in the premises, do hereby certify that this plat correctly represents its "THE BUSINESS CAMPUS AT NEW

ALBANY", a subdivision containing Lots numbered 1 to 5, both inclusive,

does hereby accept this plat of the same and dedicates the Lots shown

Easements are hereby reserved in, over and under areas hereby platted,

construction/installation, operation and maintenance of all public and quasi public utilities above and beneath the surface of the ground. No building shall be constructed in any area over which easements are

In Witness, Whereof, DONALD J. HUNTER, Senior Vice-President of DUKE

REALTY LIMITED PARTNERSHIP, the general partner of DUKE REALTY

OHIO, has hereunto set his hand this \_\_\_\_\_\_\_ day of \_\_\_\_\_\_\_\_

designated on this plat as "Easement" for the,

County, Ohio.

hereon.

2003.

hereby reserved.

STATE OF OHIO

COUNTY OF FRANKLIN ss:

Signed and acknowledged in the

presence of:



**DUKE REALTY OHIO** 

By: Duke Realty Limited

Partnership

By Dindelfff, DONALD J. HUNTER, Senior

**Vice-President** 

TRANSFERRED

APR 2 1 2003 JOSEPH W. TESTA AUDITOR

FRANKLIN COUNTY, CHAR



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

O = Iron Pin Set

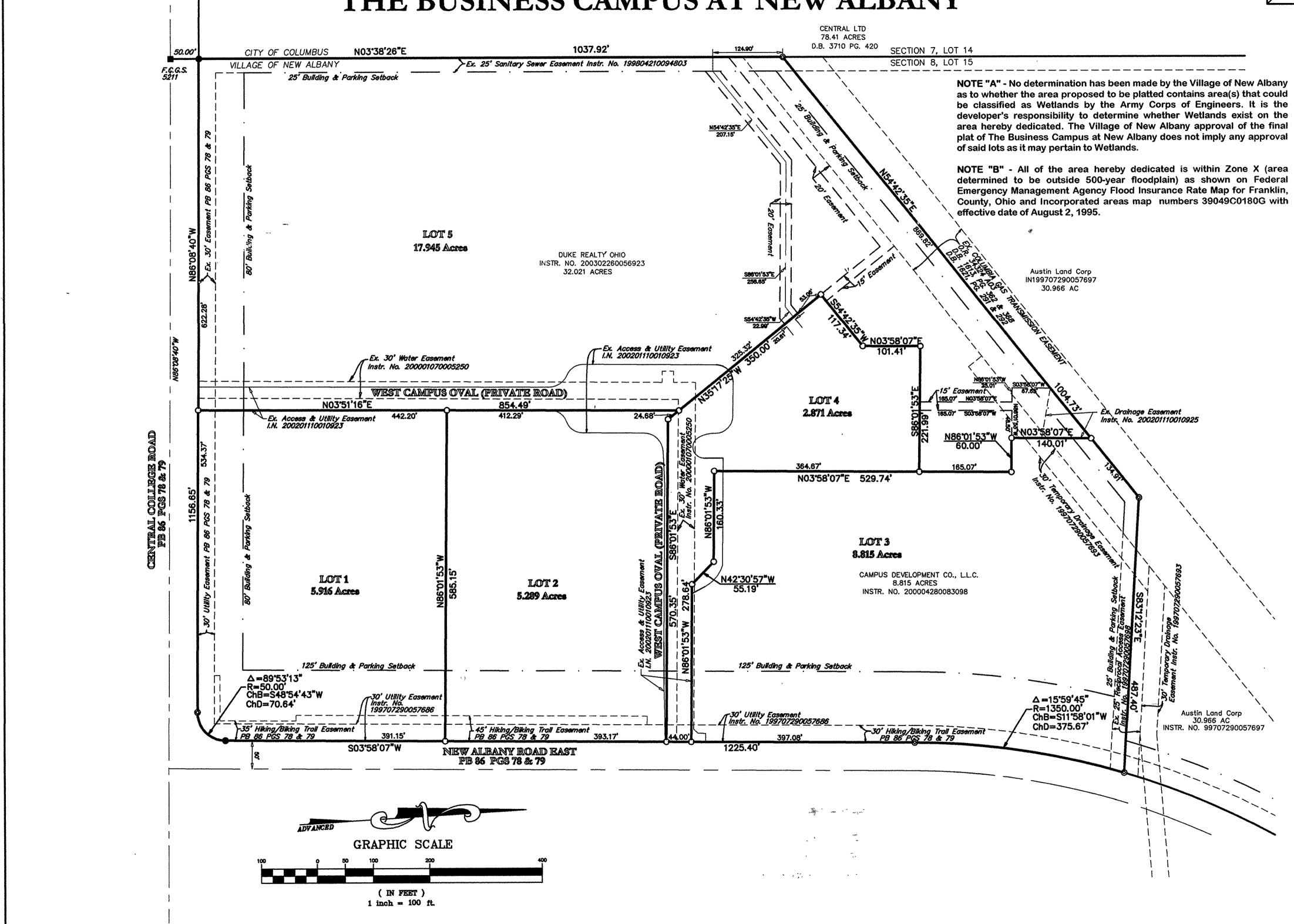
 = Permanent Marker = Iron Pin Found

Douglas R Hock, Chio P.S. #7661

Robert G. Montgomery T20030048489
Franklin County Recorder HAC 0304210115130 F \$43.20

> SURVEYED & PLATTED BY: ADVANCED CIVIL DESIGN, INC. 4625 MORSE ROAD, SUTTE 102 COLUMBUS, OHIO 43230 PH: (614) 428-7750 FAX: (614) 428-7755

# THE BUSINESS CAMPUS AT NEW ALBANY



# CENTRAL COLLEGE OFFICE DISTRICT

# INFILL PLANNED DEVELOPMENT (I-PUD)

## DEVELOPMENT STANDARDS TEXT

# July 17, 2023

**I.** <u>Summary</u>: The property which is the subject of this text consist of 5.9+/- acres located to the northwest of and adjacent to the intersection of New Albany Road East and Central College Road. It has recently been developed with an office building consisting of 46,080+/- gross square feet of floor area which is unoccupied and is zoned with the OCD, Office Campus District classification under the City's Codified Ordinances. This zoning classification permits a range of office uses, a select group of other uses, and allows a list of allowable conditional uses (subject to review and approval of Planning Commission) which include, but are not limited to, research and development, hotels, and educational institutions.

The property owner, Medical Center of New Albany LLC, has received interest from a company that would bring a state-of-the-art veterinary hospital as the sole occupant of the recently constructed office building. Veterinary hospitals are not listed as permitted or conditional uses in the OCD zoning category. The purpose of this rezoning of the property to an I-PUD classification is to allow for this use in addition to those in the OCD classification and to establish development standards that will apply to this new district.

**II.** <u>Development Standards</u>: Unless otherwise specified in the submitted drawings or in this written text, the provisions of City of New Albany Codified Ordinances shall apply to this zoning district. The standards and requirements of Chapter 1144, OCD, Office Campus District shall apply to this zoning district. In the event of a conflict between this text or the submitted drawings and a specific provision of the Codified Ordinances, this text and/or the drawings shall govern.

# III. <u>Uses</u>:

- A. Permitted uses in this zoning district shall include:
- 1. The permitted uses set forth in Codified Ordinances Section 1144.02 (Office Campus District).
- 2. Veterinary offices and veterinary hospitals, not including facilities for outside boarding or exercising of animals.
- 3. Research and development uses associated with a veterinary office and/or veterinary hospital.
- B. The conditional uses listed in Codified Ordinances Chapter 1144.03 (Office Campus District) shall be conditional uses in this I-PUD, subject to review and approval in accordance with the procedures set forth in Codified Ordinances Chapter 1115.

- **IV.** <u>Limitations on Veterinary Office and Animal Hospital Uses</u>: The following limitations shall apply to veterinary office and animal hospital uses:
- A. <u>No Outdoor Activities</u>: No exercising of animals shall be permitted outside of a fully enclosed primary (not accessory) structure.
- B. <u>No Boarding</u>: No overnight boarding of animals or any animal daycare uses shall be permitted, except that overnight boarding of animals within a fully enclosed structure shall be permitted for the sole purpose of allowing an animal to recover from a medical procedure or to undergo treatment of a health condition.
- V. <u>Final Development Plan</u>: Due to the fact that this zoning district has recently been developed in accordance with permits issued by the City and meets the requirements of the OCD, Office Campus District under the Codified Ordinances, there shall be no requirement for the review and approval of a final development plan application for the site in its present condition. The plans that were approved by the City in *Commercial New Building Permit Number PRBCN-2021-0322* shall constitute the approved final development plan for this zoning district. Should the property owner or another applicant desire to modify those plans in accordance with applicable portions of the Codified Ordinances and this text, it shall be allowed to do so after filing for and being issued applicable permits. If the proposed modification to an approved final development plan seeks variances from the Codified Ordinances or this text, then an amended final development plan application shall be required to be filed for review and approval in accordance with the procedures for I-PUDs as set forth in the Codified Ordinances.



# Planning Commission Staff Report August 21, 2023 Meeting

# 9160 MCCLELLAN DRIVE PERGOLA MATERIAL VARIANCE

LOCATION: 9160 McClellan Drive (PID: 222-003776)

APPLICANT: Natasha Jones

REQUEST: Variance to allow a pergola to be constructed of metal material.

ZONING: I-PUD (Planned Unit Development District)

STRATEGIC PLAN: Residential APPLICATION: VAR-73-2023

Review based on: Application materials received on July 7, 2023.

Staff report prepared by Sierra Cratic-Smith, Planner

# I. REQUEST AND BACKGROUND

The applicant requests a variance to allow a pergola material to be an aluminum metal where city code ordinance Chapter 1165.04(b)(1) prohibits metal material for recreational amenities.

### II. SITE DESCRIPTION & USE

The property measures at 0.35 acres in size and contains a single-family home. This property is located within the Tidewater subdivision and is zoned residential I-PUD. The Tidewater subdivision is located east of US Route 62 (Johnstown Road) and north of Central College Road.

## III. ASSESMENT

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. In accordance with C.O. 1113.05(b), all property owners within 200 feet of the subject property in question have been notified of the request via mail.

### Criteria

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

- 1. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.
- 2. Whether the variance is substantial.
- 3. Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."
- 4. Whether the variance would adversely affect the delivery of government services.

- 5. Whether the property owner purchased the property with knowledge of the zoning restriction.
- 6. Whether the problem can be solved by some manner other than the granting of a variance.
- 7. Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.

Plus, the following criteria as established in the zoning code (Section 1113.06):

- 8. That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- 9. That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- 10. That the special conditions and circumstances do not result from the action of the applicant.
- 11. That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- 12. That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

## IV. EVALUATION

A variance to allow a pergola material to be an aluminum metal where codified ordinance chapter 1165.04(b)(1) prohibits metal material for recreational amenities.

The following should be considered in the board's decision:

- 1. The applicant requests a variance to allow the pergola column material to be aluminum metal where city code prohibits metal material for recreational amenities except on roofs. The applicant requests to use a black aluminum for the pergola's columns.
- 2. The pergola is fully constructed. The variance request is to allow the pergola to remain in its existing form and location. During a zoning final inspection for a pool, it was discovered that the pergola was built without a permit.
- 3. The variance does not appear to alter the character of the neighborhood considering the surrounding landscape and general area of the lot. The home is generally located in a corner of the subdivision with the pergola located in the rear yard so there is no visibility from the public street. In addition, there is currently arborvitae landscape along all sides of the pergola. This buffer prevents any visibility of the pergola and pool. Also, a reserve is located behind the arborvitae which provides additional buffering.
- 4. The variance does not appear to be substantial since the proposed black aluminum is a very popular material in New Albany for fencing material. In addition, the metal is a matte finish and is not the typical metallic shiny color so it appears to be appropriate in design. Also, the columns will be covered by a fabric curtain leaving the roof as the only visible material. Otherwise, this pergola meets all other code requirements.
- 5. Granting the variances will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
- 6. Approving the variances will not adversely affect the delivery of government services.

## IV. SUMMARY

This variance is not significant because it is not visible to the public and has limited visibility from neighbors because of the layers of screening including: landscaping, a reserve, and the addition of PC 23 0821 9160 McClellan Drive Pergola Material Staff Report V-73-2023 2 of 3

fabric curtains. In addition, the black aluminum material is a very popular material used in New Albany because it lacks shine and blends/fades into the background. The spirit and intent of the material regulation is to ensure metallic and shiny metals are not utilized since it they would clash with the character of the community and materials used on the primary structure. This pergola material and color is extensively used for fencing in this subdivision and throughout New Albany. Therefore, the proposed pergola material appears suitable for the home without disrupting the character of the neighborhood.

# V. ACTION

Should the Planning Commission find that the application has sufficient basis for disapproval, finding the following motion is appropriate.

Move to approve application VAR-73-2023 based on the findings in the staff report (conditions of approval may be added).

**Approximate Site Location:** 



Source: NearMap

Permit #	
Board	
Mtg. Date	



# **Community Development Planning Application**

t Ed	Site Address 9160 Mc Clellan Pr			
	Parcel Numbers 222 - 005776 - 00			
	Acres # of lots created #			
Project Information	-	Preliminary Final Preliminary Final Combination Split Easement  Amendment (rezoning)	Comprehensive Amendment Adjustment Street  Text Modification	
Contacts	Property Owner's Name: Address:  Gity, State, Zip: Phone number: Email:  Applicant's Name: Address: City, State, Zip: Phone number:  Address: City, State, Zip: Phone number:  Address: City, State, Zip: Phone number:  Email:  Address: City, State, Zip: Phone number:  Email:  Address:  City, State, Zip: Phone number:  Company OH 43054  Applicant's Name:  Address:  City, State, Zip: Phone number:  Company OH 43054  Fax:  Fax:  Fax:  Email:  Company OH 43054  Fax:  Company OH 43054  Fa			
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.  Signature of Owner Signature of Applicant  Date: 1-2-23  Date: 1-2-23			

# Printable page

# KNOW YOUR HOME VALUE

# **OWNER**

Owner KUMAR ASHISH

Owner Mailing / 9160 MCCLELLAN DR

Contact Address NEW ALBANY OH 43054-7113

**Submit Mailing Address Correction Request** 

Site (Property) Address 9160 MCCLELLAN DR

**Submit Site Address Correction Request** 

Legal Description 9160 MCCLELLAN DRIVE

**TIDEWATER AT NEW ALBANY** 

LOT 5

Calculated Acres .35 Legal Acres 0

Tax Bill Mailing View or Change on the Treasurer's Website

If you have recently satisfied or refinanced your mortgage, please visit the above link to review your tax mailing address to ensure you receive

your tax bill and other important mailings.

Parcel Permalink https://audr-apps.franklincountyohio.gov/redir/Link/Parcel/222-003776-

00

eAlerts Sign Up for or Manage Property eAlerts

The Auditor's office provides a Property eAlerts tool through which a property owner can sign up to receive an automated email alert whenever a change in owner or value is made to their property record. Click on the

above button to sign up for or manage your Property eAlerts.

Tools View Google Map

Print Parcel Summary

# MOST RECENT TRANSFER

Transfer Date MAY-28-2020

Transfer Price \$0
Instrument Type QE
Parcel Count 1

# 2022 TAX STATUS

Property Class R - Residential

Land Use 510 - ONE-FAMILY DWLG ON PLATTED LOT

# Kumar family's request for a variance:

We come to you to today, to kindly request a variance for parcel 222-003776, 9160 McClellan Dr., according to city codified ordinance Chapter 1165.04(b)(1) Metal is not permitted for pergolas. We are requesting approval of the installed pergola, as there was careful consideration and deliberation between wooden or aluminum columns. With wooden columns, there was no option for the louvered roofing system, allowing for a waterproof area underneath the pergola. While the columns are made of aluminum, they are covered with curtains and are not visible. The pergola columns are so hidden by the landscaping trees placed around the property. The Pergola was selected to match the aesthetics of the home and to provide covering for our children and loved ones as they rest from the pool. Photo of the Louvered system below:



