



Parks and Trails Advisory Board Agenda

Monday, October 2, 2023 6:00pm

Members of the public must attend the meeting in-person to participate and provide comment at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes: March 6, 2023

IV. Additions or corrections to agenda

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

V. Hearing of visitors for items not on tonight's agenda

VI. Cases:

FDP-87-2023 Final Development Plan - Parkland and Open Space Review

Review and recommendation regarding the suitability of parkland and open space proposed to be provided as part a 151 lot, age-restricted residential housing development on 63.5+/- acres for the subdivision known as The Courtyards at Haines Creek.

Applicant: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

Motion of Acceptance of staff reports and related documents into the record for FDP-87-2023.

Motion of approval for application FDP-87-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VII. Other business

VIII. Poll members for comment

IX. Adjournment



Parks and Trails Advisory Board
DRAFT Meeting Minutes
Monday, March 6, 2023 6:00pm

CM Wilttrout administered the oath of office to Ms. Schaper, Ms. Segnini, Mr. Heuerman, and Ms. Stoughton.

I. Call to order 6:07 pm

The New Albany Parks and Trails Advisory Board held a regular meeting on March 6, 2023 in the New Albany Village Hall Council Chambers. Vice Chair Steelman called the meeting to order at 6:07 p.m. She welcomed everyone, particularly the new members.

II. Roll call

Those answering roll call:

Mr. Stribick	absent
Ms. Steelman	present
Ms. Bhat	present
Mr. Heuerman	present
Ms. Schaper	present
Ms. Segnini	present
Ms. Stoughton	present
Council Member Fellows	absent
Council Member Wilttrout	present

With 6 of the 7 voting members present, the board had a quorum.

Staff members present: Planner Chelsea Nichols; Planning Manager Steve Mayer; Law Director Ben Albrecht; Planner Chris Christian; Deputy Clerk Christina Madriguera.

Vice Chair Steelman recognized and remembered former Board Member Bill Resch and his tremendous contributions. Board Member Resch was one of the founding members of the board. He was Mr. Parks and Trails and he loved the earth. He asked the hard questions, and he spoke his mind. Vice Chair Steelman encouraged the board to continue his mission and to follow in his footsteps.

III. Action on minutes:

Vice Chair Steelman stated that she had a correction to the March 7, 2022 meeting minutes. Under section IV of the minutes, all references to Chair Stribick should be corrected to Board Member Resch because he delivered the corresponding narrative.

Vice Chair Steelman moved to approve the March 7, 2022 meeting minutes as corrected. Board Member Bhat seconded the motion.

Upon roll call the minutes as corrected were approved without objection.

IV. Additions or corrections to agenda

Vice Chair Steelman asked if there were any additions or corrections to the agenda.

There was no response.

V. Hearing of visitors for items not on tonight's agenda

Vice Chair Steelman asked if there were any visitors who wished to address the board for items not on tonight's agenda.

There was no response.

VI. Cases:

FPL-20-2023 Preliminary and Final Plat

Preliminary and final plat for Alden Woods which will be located at 6700, 6770, 6800 Central College Road in Franklin County (PID: 222-001997, 222-001998 and 222-001999).

Applicant: Andrew Maletz

Planner Nichols delivered the staff report.

Vice Chair Steelman asked how far is the retention pond was from Central College Rd.

Mr. Maletz responded that the development setback was 200 ft from the center line of Central College Rd. The southern edge of the pond is just over 65 ft.

Vice Chair Steelman asked whether there was a plan for fencing since the pond is so close to the road.

Mr. Maletz responded that he will be installing a horse rail fence barrier between the leisure trail and the pond.

Vice Chair Steelman asked, where the site plan said future road to the north, whether there was a plan for it to connect to SR 605.

Mr. Maletz responded that there are seven parcels to the west and that it could connect, if desired, in the future.

Vice Chair Steelman offered Mr. Maletz kudos for doing 9 homes on 9 acres. She also asked whether there would be street parking at the park.

Mr. Maletz responded in the affirmative and further that there is nothing in the plans to prohibit parking. He noted, however, that there was no off-street parking in the community.

Vice Chair Steelman asked whether the community was connected to the community behind it via trails or sidewalks.

Mr. Maletz replied that he relied on existing sidewalks for connectivity and the community was designed to maintain the heavy vegetation and some degree of privacy.

Vice Chair Steelman asked whether the road through the community would be one-way.

Mr. Maletz responded that it was originally designed to be a one-way loop but had since been altered and now it is two-way traffic on the loop in both directions.

Board Member Bhat questioned the safety of using the Central College sidewalk. She liked the proposal of the road going on to SR 605. She was concerned that a lot of kids will be attempting to cross the Central College entrance at the same time cars are attempting to access the development. She remarked that SR 605 is significantly safer than Central College.

Mr. Maletz explained that there will be stop signs on the leisure trail, to signal to users of the trail that they need to yield to vehicular traffic. He further stated that he was not required to perform a traffic study because the density was so low.

Board Member Segnini asked, regarding safety, whether the would the city consider a cross-walk between Alden Woods and SR 605. The leisure trail does not extend to SR 605 and provision of a crosswalk could provide safe connectivity to the leisure trail.

Planning Manager Mayer responded that there was a leisure path on the north side of Central College all the way to SR 605. Currently there was no proposed crossing because there was no other stop condition for vehicular traffic. A crosswalk would be an unsafe condition for vehicular traffic. The intent was that any bikers and walkers will follow the path to existing cross-walks and noted that placing a cross-walk directly across from the park would be a mid-block crossing which is unsafe for pedestrians.

Council Member Wiltout remarked that it reminded her of Dublin Granville Rd, at Meadway. It does not impede the flow either way but it does provide a signal to motorists.

Planning Manager Mayer stated that the goal for the city was to provide multiple opportunities for pedestrian travel without having to cross a busy street like Central College.

Board Member Schaper remarked that the perimeter of the playground did not appear to have a sidewalk.

Mr. Maletz answered yes, there is no sidewalk on the interior. He was trying to preserve trees and he indicated points where strollers could access the park.

Board Member Schaper understood and further asked whether, in the places where there were sidewalks, curb-cuts would be provided.

Mr. Maletz answered in the affirmative.

Board Member Schaper further remarked that a sidewalk on the perimeter would also provide a visual barrier and a safety function for children who might be chasing a ball.

Mr. Maletz stated that he was trying to strike a balance between accessibility and preserving the natural surroundings.

Vice Chair Steelman asked what the piles of soil present now were for.

Mr. Maletz explained that the soil was being stockpiled and would be used to fill in significant low spots where the road would be built.

Board Member Stoughton asked Mr. Maletz whether he considered installing playground structures for older kids.

Mr. Maletz responded that he thought the play structure would be appealing to older kids. He also envisioned younger kids when he planned the structures, and also, he did not want to create an attractive nuisance.

Board Member Stoughton stated that she understood and continued that she has a 5th grader who can no longer fit in the playhouse at the pocket park close to her home and is sad about that.

Board Member Segnini asked whether the HOA for this development would allow homeowners to have individual play sets.

Mr. Maletz responded that temporary structures would be limited, no basketball courts. However, individual playsets would be considered by the HOA.

Board Member Segnini asked whether there would be swings.

Mr. Maletz responded that he was working within space constraints for the play structure area in order to preserve a balance with the natural space. He further explained that he did an alternative design for 3 swings and it almost doubled the size of the area.

Board Member Segnini asked how big the green space was.

Planner Nichols responded Reserve C is about 17,000 square feet.

Board Member Segnini commented that when her homeowner's association updated their park, the older kids wanted an area where they could kick the soccer ball.

Mr. Maletz stated that he was not opposed to moving the play structures and wanted to make the park equally visible for all 9 homes.

Vice Chair Steelman commented that this small park would not be a large community draw, considering that there were only 9 homes. Particularly the location on Central College Rd.

Board Member Segnini remarked that it was surprising how many people stop at a neighborhood park on the way to another destination.

Mr. Maletz agreed and stated that he was not opposed to designing a bigger park, but as it was currently conceived he was attempting balance community draw with privacy and preference for the 9 homes in the development.

Board Member Segnini further noted that she could envision parking on the nub of the road. has been surprised to see cars parked at neighborhood parks so people can go fishing.

Mr. Maletz stated that the cost of the homes was projected to be between \$1.3 – \$1.9 million dollars.

Planner Nichols recommended adding benches as a condition of approval.

Board Member Bhat stated that she was trying to think of older kids. She liked that the slide was open air. The young kids that move in now will grow older. She asked about

the piers/pegs in the climbing cluster and whether the older kids would be interested in climbing the rocks.

Mr. Maletz agreed and stated that he was trying to maintain the wooded features. But, he thought that perhaps some of the components could be swapped for components that would attract older kids.

Board Member Stoughton asked about the pond. She stated that she was concerned about kids getting too close to the pond. She asked whether, in other neighborhoods the ponds were separated by the roads or fencing.

Mr. Maletz responded that the road is a visual barrier to the pond. He was not thinking of fencing because it creates an emergency response issue and the pond itself was for water retention and would be benched and remain shallow.

Planning Manager Mayer continued that this type of pond was a typical storm water basin and planting aquatic plants, cattails, lily pads, vegetation would discourage fishing or swimming.

Board Member Stoughton stated that she understood but she worried about kids in this small neighborhood getting away from parents. Even a small embankment would assist.

Council Member Wiltout asked whether there would be leisure trails around the pond or fishing.

Mr. Maletz answered no, there will be no trails around the pond. It is an architectural requirement. Fishing will be prohibited and signs would be posted to prohibit fishing.

Council Member Wiltout remarked that her child rode his bike into the neighborhood pond. The pond was very shallow and the 0-entry feature was very effective, he just got very dirty.

Board Member Segnini asked whether there was drainage.

Mr. Maletz responded that the pond will have an inlet and outlet to maintain the water level. There would also be a head wall and catch basins in the street. He acknowledged that there would be 100-year events that would exceed that level.

Board Member Segnini stated that she knew, at the Links, that the kids liked to play around the drainpipe.

Mr. Maletz laughed and admitted he did the same thing when he was a kid. He further stated that this drainpipe will not have that kind of diameter.

Board Member Segnini asked whether there would be lighting. She stated that if the park is not lit well enough teenagers would congregate there and the residents would complain.

Mr. Maletz responded that there will be streetlights but there are no plans for separate lights around the park. He further commented that the park will be lit by the post lamps at the homes too.

Vice Chair Steelman commented that this is one of the last areas in New Albany where you can see the night sky.

Board Member Segnini asked whether trash cans and a pet waste receptacle could be added. She further thanked the applicant for preserving trees.

Planner Nichols answered in the affirmative.

Vice Chair Steelman commented that she thought the community was well-planned community.

Board Member Bhat stated that she would like to make the piers taller or otherwise providing structures for kids up to 12 as a condition of approval.

Planning Manager Mayer responded that it could be added as a condition of approval, subject to staff approval.

Planner Nichols stated that staff would work with the applicant to provide features for older kids.

Council Member Wiltout confirmed that the conditions were acceptable to the applicant.

Vice Chair Steelman moved for acceptance of staff reports and related documents into the record for FPL-20-2023. Board Member Stoughton seconded the motion.

Upon roll call: Ms. Steelman, yes; Ms. Stoughton, yes; Ms. Bhat, yes; Mr. Heuerman, yes; Ms. Schaper, yes; Ms. Segnini, yes. Having 6 yes votes; 0 no votes; and 0 abstentions, the staff reports and related documents were accepted into the record.

Vice Chair Steelman moved for approval for application FPL-20-2023 based on the findings in the staff report with the 5 conditions listed in the staff report, and the additional condition that the play equipment include equipment for children up to 12 years of age, subject to staff approval. Board Member Schaper seconded the motion.

Upon roll call: Ms. Steelman, yes; Ms. Schaper, yes; Ms. Stoughton, yes; Ms. Segnini, yes; Mr. Heuerman, yes; Ms. Bhat, yes. Having 6 yes votes; 0 no votes; 0 abstentions, FPL-20-2023 was approved.

VII. Other business

1. Annual Organizational Meeting

Planning Manager Mayer acknowledged that 4 new members were sworn in prior to this meeting and stated that the current leadership structure was that Mr. Stribick served as Chair; Ms. Steelman served as Vice Chair; and Ms. Bhat served as secretary.

Vice Chair Steelman recommended that the current leadership be maintained for 2023 because the board had 4 new members.

Board Member Heuerman moved to maintain the current leadership of the Parks and Trails Advisory Board for 2023. Board Member Bhat seconded the motion.

Upon roll call: Mr. Heuerman, yes; Ms. Bhat, yes; Ms. Steelman, yes; Ms. Schaper, yes; Ms. Segnini, yes; Ms. Stoughton, yes. Having 6 yes votes; 0 no votes; and 0 abstentions, the Mr. Stribick was elected Chair, Ms. Steelman was elected Vice Chair, and Ms. Bhat was elected Secretary.

Planning Manager Mayer requested that the board adopt the recommended meeting schedule, that being the first Monday of the month at 6:00 p.m. on an as-needed basis to consider cases.

Vice Chair Steelman moved that the board should continue to meet on the first Monday of the month at 6:00 p.m. Board Member Segnini seconded the motion. Upon roll call: Ms. Steelman, yes; Ms. Segnini, yes; Ms. Stoughton, yes; Ms. Segnini, yes; Ms. Schaper, yes; Mr. Heuerman, yes. Having 6 yes votes; 0 no votes; and 0 abstentions, the board agreed to meet on the first Monday of the month at 6:00 p.m.

Law Director Albrecht Law Director Albrecht reviewed the attendance policy. He explained that 3 consecutive absences or 4 absences in any 12-month period would be considered a forfeiture. For that reason, he encouraged the board members to be responsive to quorum calls and to attend all meetings.

2. Annual Trail Update/Parks Framework Plan Implementation Update

Planning Manager Mayer delivered the annual train update and the parks framework plan implementation update. He stated that because of construction and supply chain delays there were no real updates to the trails from last year. He discussed the city parks and the improvements to Rose Run. He further stated that plans for Taylor Farm Park were ongoing. He stated that the city hopes to complete Planter's Grove and Lambton Park this year as well and that he would keep the board updated.

Board Member Segnini asked whether there was timeline for Kitsmiller.

Planning Manager Mayer responded, not as of yet but it is in the parks framework plan.

Board Member Segnini thanked Planning Manager Mayer and recalled that it came up in the town hall in 2022 and was glad it was still on the agenda.

Law Director Albrecht advised the board that he would be sending out a memo regarding open meetings, electronic communications, and the requirement that all discussions of public business be open to the public. He further encouraged the board to please reach out to staff for questions.

VIII. Adjournment

Board Member Stoughton moved to adjourn. Vice Chair Steelman seconded the motion. Without objection the meeting adjourned at 7:05 p.m.

Submitted by Deputy Clerk Christina Madriguera.

Appendix

FPL-20-2023 Staff Report and Record of Action



**Parks and Trails Advisory Board Staff Report
March 6, 2023 Meeting**

**ALDEN WOODS SUBDIVISION
PARKS AND OPEN SPACE REVIEW**

LOCATION: 6700, 6770, 6800 Central College Road (PIDs: 222-001997, 222-001998 and 222-001999).
APPLICANT: Andrew Maletz
REQUEST: Parkland and Open Space Review
ZONING: Alden Woods: Limited Suburban Single-Family Residential District (L-R-4)
STRATEGIC PLAN: Residential District
APPLICATION: FPL-20-2023

Review based on: Application materials received on February 3, 2023 and February 21, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation to the Planning Commission regarding the suitability of parkland and open space proposed to be provided in a new subdivision located at 6700, 6770 and 6800 Central College Road. The subdivision is known as “Alden Woods”.

City Council reviewed and approved the rezoning application for this subdivision during their meeting on October 18, 2022 (O-30-2022). The approved zoning text contains requirements for open space and parkland within the subdivision.

II. SITE DESCRIPTION & USE

The 8.83+/- acre zoning area is located in Franklin County and is currently made up of three properties. The properties are zoned to allow for the development of a nine lot residential subdivision. The site is located on the north side of Central College Road. The site is located generally east of New Albany Condit Road, generally west of the Wentworth Crossing subdivision, and generally south of the Courtyards at New Albany subdivision.

III. PLAN REVIEW

The Parks and Trails Advisory Board review authority is found under C.O. Chapter 139.04 and 139.05. Upon review of a proposed final development plan, or if a final development is not required, on each final plat, the board shall make a recommendation to the Planning Commission regarding the suitability of parkland, or fee-in-lieu therefore, being provided to the municipality.

New Albany Parks Framework Plan

The New Albany parks framework plan lists the following overall recommendations:

- As most park maintenance responsibilities transfer from homeowner’s associations to the city of New Albany, remove exclusive signage from the parks and development communications to clarify that parks are open to everyone.
- Improve the quality and maintenance of existing parks.
- Create a park system in which each park satisfies the needs of a variety of user groups with a range of active and passive recreation options.
- Continue to connect parks, green spaces, and natural corridors with leisure trails.

- Expand programming, especially free and family-friendly programming, in parks and civic open spaces.
- Consider the addition of public art in New Albany's park and public spaces.
- Incorporate amenities in the pocket playgrounds providing necessary comforts for all ages, such as shaded area, seating, picnic tables and trash receptacles.
- Manage and maintain city-owned forests, street trees, and natural open spaces by maintaining a tree inventory, developing re-forestation plans, and controlling invasive species.
- Improve the quality of city-owner natural resources, especially streams, wetlands, and other ecologically sensitive areas.

The New Albany parks framework plan lists the following recommendations for neighborhood parks:

- Upgrade the pocket playgrounds with more engaging play equipment that is inclusive for a range of ages and abilities.
- Vary play equipment from site to site to provide residents variety.
- Incorporate amenities in the pocket playground proving necessary comforts for all ages, such as shaded areas, seating, and picnic tables.
- Use the development process to ensure adequate open space and parkland dedication for all new residential development.

Per Codified Ordinance Chapter 1165.10 in deciding on the change, the Parks and Trails Advisory Board shall consider, among other things, the following elements of the case:

- 1) The basic mandatory land dedication with each type of new development listed below. These requirements shall not apply to existing residential lots and/or homes that are being improved or reconstructed.
- 2) The following suitability and quality criteria shall be used to provide an assessment and recommendation relative to the appropriateness of proposed land dedication or area/facility, i.e., playground, park, recreational area/facility, and open space. The criteria to be used shall include, but not be limited to the following:
 - a) Minimum size for each service level:

Playgrounds	2 acres
Neighborhood Parks	5 acres
Playfields	10 acres
Community Parks	40 acres

- b) Suitability of the following for the proposed use:
 - i) Soils and geology.
 - ii) Topography and drainage.
 - iii) Location and impact of designated floodways and floodway fringe areas.
 - iv) Extent of natural vegetation and tree cover. Preservation of wooded areas is a top priority.
 - v) The degree of access of proposed area to pedestrians and vehicles, where appropriate. Public accessibility is a top priority.
- c) The proposed recreational facilities and site improvement to be made.
- d) A schedule indicating how actual construction of the proposed park/open space and improvements are to be phased in relationship with the overall project.
- e) How both ownership and maintenance of such areas is to be undertaken.

- f) Residential development as categorized in C.O. 1165.10(a)(1) must be within one thousand two hundred (1,200) feet of playground equipment and a Pocket Park or a larger size park for development categorized in C.O. 1165.

Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

The following should be considered in the board decision:

1. This new subdivision includes 9 residential lots on 8.83+/- acres.
2. There is an existing 8-foot wide asphalt leisure trail along Central College Road. No additional leisure trail is required to be installed based on the recommendations of the New Albany Leisure Trail Master Plan.
3. Zoning text section XI.(C) requires the applicant to provide a 5-foot wide, concrete public sidewalk within the right-of-way along the new internal streets. These are typically installed in conjunction with the home.
4. New Albany's Codified Ordinance requires that 2,400 square feet per home be dedicated as parkland and 20% of the total acreage in the subdivision shall be dedicated as open space. For this development the total minimum, required parkland and open space is 2.26 acres. The applicant is providing three reserve areas that consist of either open space or parkland, totaling 2.39 acres.
 - a. Open space is provided by reserves "A" and "B". These reserves are located between Central College Road the Woodview Drive as recommended by the New Albany strategic plan to create an appropriate setback.
 - b. Parkland is provided by reserve "C" and is centrally located within the Woodview Drive loop.
 - c. Per C.O. 1187.16 wet and dry stormwater basins shall not be considered open space. The proposed amounts meet the codified ordinance requirements and the applicant is exceeding the required dedication amount.
5. The zoning text states that all open space and parkland be owned by the city and maintained by the HOA in perpetuity. This is consistent with all other residential subdivisions.
6. The applicant proposes to install playground equipment that aligns with the design of current city neighborhood park improvements. The proposed playground would accommodate children ages 2-5 years old. The equipment includes three wooden wobble boards, a wooden step cluster, and a wooden play structure with slide. The submittal does not specify the proposed ground materials to be used within the play area. The city staff recommends a condition of approval that the ground material be subject to staff approval at the time of permitting.
 - a. The proposal appears appropriate based on the number of lots within the subdivision and the city service level criteria.
 - b. C.O. 1187.15(c)(6) requires all residences to be located within 1,200 feet of playground equipment. The applicant has committed to including playground equipment within Reserve C that is centrally located within the subdivision thereby meeting this proximity requirements. This location provides a high degree of access to pedestrians.
 - c. The location is not within a floodway or floodplain and there are no known topography, drainage, soil or geologic constraints or environmentally sensitive areas.
 - d. The proposal does not include amenities within Reserve C where the playground is located that would provide necessary comforts for all ages such as shaded area(s), seating, picnic table(s) and trash receptacle(s). The city staff recommends a condition of approval that these items be incorporated into the design of the playground area for Reserve C, subject to staff approval.
7. A schedule has not been provided indication how construction of the proposed park and open space improvements are to be phased in relation to the overall project. In accordance with city code requirements, the city staff recommends a condition of

approval that the playground amenities be installed and included as part of the overall subdivision infrastructure improvements (e.g. streets, utilities, etc.).

8. The open space location is appropriate. It provides a high degree of access to pedestrians. The location is not within a floodway or floodplain and there are no known topography, drainage, soil or geologic constraints or environmentally sensitive areas.
 - a. Trees also shall be provided around the stormwater basins that will be located in reserves at the rate of four (4) trees per one hundred (100) linear feet of pond perimeter.
 - b. Along the College Central Road frontage, within these reserves, the text requires a landscaping buffer to be provided at the rate of four (4) trees per one hundred (100) linear feet along Central College Road.

IV. SUMMARY

The final plat is generally consistent with the zoning exhibit and meets code requirements. The application includes many of the same development standards that have made more recent subdivisions successful including providing meaningful open space and pedestrian connectivity. It appears that the proposal meets the recommendations found in the Parks Framework Plan and the playground aligns with the design of current city neighborhood park improvements. The plan for the subdivision's parkland and open space adds to the creation of a park system in which it satisfies the needs of a variety of user groups with both active and passive recreation options. The plan positively attributes to the connection of parks, green spaces, and natural corridors with leisure trails.

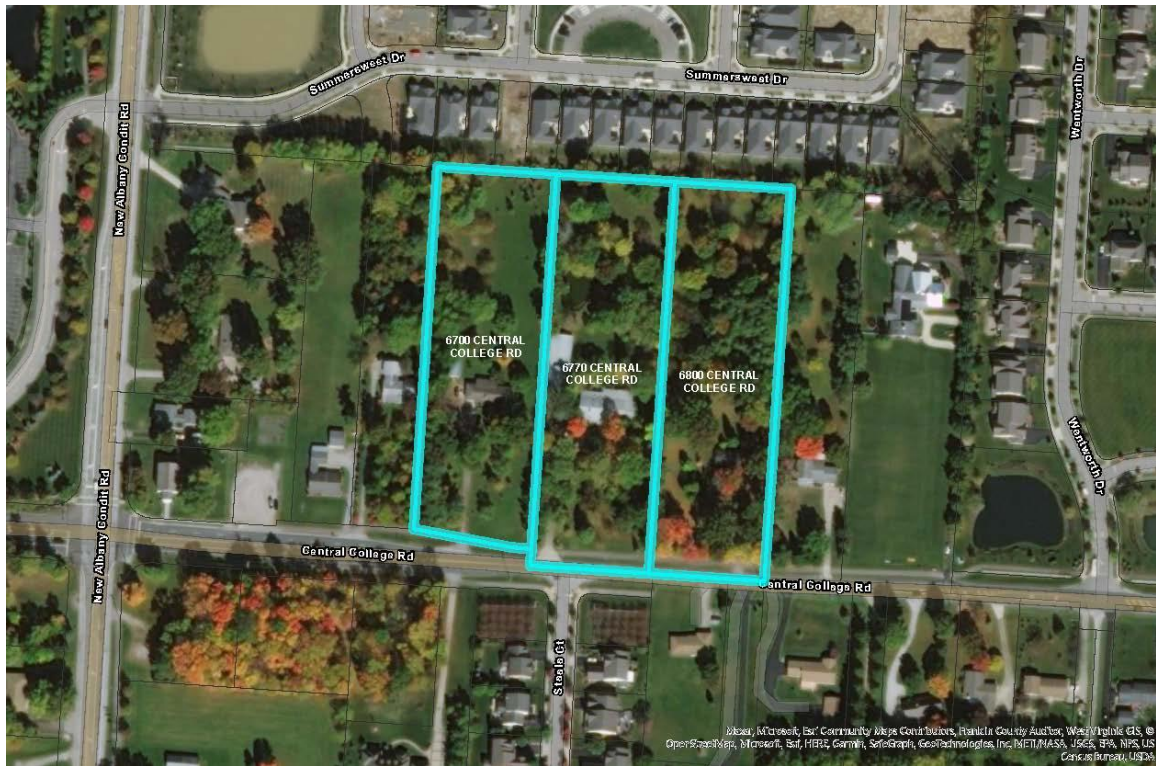
V. ACTION

Suggested Motion for FPL-20-2023:

To recommend approval to Planning Commission of the suitability of the proposed parkland and open space, the following motion would be appropriate: Move to recommend approval of FPL-20-2023 based on the findings in the staff report with the following condition:

1. The city engineer comments regarding the final plat must be addressed at the time of engineering permits, subject to staff approval;
2. Shaded areas, seating, picnic tables and trash receptacles shall be incorporated into the design of the playground area for Reserve C, subject to staff approval;
3. The ground material for the playground area shall be subject to staff approval at the time of permitting; and
4. The playground amenities shall be installed and included as part of the overall subdivision infrastructure improvements (e.g. streets, utilities, etc.).

Approximate Site Location:





Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Andrew Maletz,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, March 07, 2023

The New Albany Parks and Trails Advisory Board took the following action on 03/06/2023 .

Final Plat

Location: 6770 CENTRAL COLLEGE RD, 6800 CENTRAL COLLEGE RD, 6700 CENTRAL COLLEGE RD

Applicant: Andrew Maletz,

Application: PLFPL20230020

Request: Review and recommendation to the Planning Commission regarding the suitability of parkland and open space proposed to be provided in a new subdivision known as Alden Woods.

Motion: To approve PLFPL20230020 with conditions.

Commission Vote: Motion Approved with Conditions, 6-0

Result: PLFPL20230020 was Approved with Conditions, by a vote of 6-0.

Recorded in the Official Journal this March 07, 2023

Condition(s) of Approval:

1. The city engineer comments regarding the final plat must be addressed, subject to staff approval;
2. Shaded areas, seating, picnic tables, and trash receptacles shall be incorporated into the design of the playground area for Reserve C, subject to staff approval;
3. The ground material for the playground area shall be subject to staff approval at the time of permitting;
4. A dog waste station shall be provided, subject to staff approval; and
5. Play equipment for children ages 6-12 years of age shall be incorporated into the design of the playground, subject to staff approval.

Staff Certification:

Chelsea Nichols

Chelsea Nichols
Planner



**Parks and Trails Advisory Board Staff Report
October 2, 2023 Meeting**

**COURTYARDS AT HAINES CREEK SUBDIVISION
PARKS AND OPEN SPACE REVIEW**

LOCATION:	Generally located at the northwest corner of the intersection at Central College Road and Jug Street Rd NW (PIDs: 222-005156, 222-005157, 222-005158, 222-005159).
APPLICANT:	EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.
REQUEST:	Parkland and Open Space Review
ZONING:	Infill-Planned Unit Development (I-PUD)
STRATEGIC PLAN:	Residential District
APPLICATION:	FPL-88-2023

Review based on: Application materials received on September 1, 2023, September 15, 2023 and September 21, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

The applicant requests a review and recommendation to the Planning Commission regarding the suitability of parkland and open space proposed in a new subdivision located at the northwest corner of the Central College Road and Jug Street Rd NW intersection. The subdivision is known as “Courtyards at Haines Creek”.

The city council reviewed and approved the rezoning and preliminary development plan for this subdivision during their meeting on July 18, 2023 (O-84-2023). The approved zoning text contains requirements for open space and parkland within the subdivision.

II. SITE DESCRIPTION & USE

The 63.5+/- acre zoning area is located in Franklin County and is currently made up of four properties. There is one existing barn located on one of the properties. The properties are zoned to allow for the development of a 151-lot age-restricted residential subdivision.

III. PLAN REVIEW

The Parks and Trails Advisory Board review authority is found under C.O. Chapter 139.04 and 139.05. Upon review of a proposed final development plan, the board shall make a recommendation to the Planning Commission regarding the suitability of parkland, or fee-in-lieu therefore, being provided to the municipality.

Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

New Albany Parks Framework Plan

The New Albany Parks Framework plan lists the following overall recommendations:

- As most park maintenance responsibilities transfer from homeowner’s associations to the city of New Albany, remove exclusive signage from the parks and development communications to clarify that parks are open to everyone.
- Improve the quality and maintenance of existing parks.
- Create a park system in which each park satisfies the needs of a variety of user groups with a range of active and passive recreation options.

- Continue to connect parks, green spaces, and natural corridors with leisure trails.
- Expand programming, especially free and family-friendly programming, in parks and civic open spaces.
- Consider the addition of public art in New Albany's park and public spaces.
- Incorporate amenities in the pocket playgrounds providing necessary comforts for all ages, such as shaded areas, seating, picnic tables and trash receptacles.
- Manage and maintain city-owned forests, street trees, and natural open spaces by maintaining a tree inventory, developing re-forestation plans, and controlling invasive species.
- Improve the quality of city-owned natural resources, especially streams, wetlands, and other ecologically sensitive areas.

The New Albany Parks Framework plan lists the following recommendations for neighborhood parks:

- Upgrade the pocket playgrounds with more engaging play equipment that is inclusive for a range of ages and abilities.
- Vary play equipment from site to site to provide residents variety.
- Incorporate amenities in the pocket playground providing necessary comforts for all ages, such as shaded areas, seating, and picnic tables.
- Use the development process to ensure adequate open space and parkland dedication for all new residential development.

Per Codified Ordinance Chapter 1165.10 in deciding on the change, the Parks and Trails Advisory Board shall consider, among other things, the following elements of the case:

- 1) The basic mandatory land dedication with each type of new development is listed below. These requirements shall not apply to existing residential lots and/or homes that are being improved or reconstructed.
- 2) The following suitability and quality criteria shall be used to provide an assessment and recommendation relative to the appropriateness of the proposed land dedication or area/facility, i.e., playground, park, recreational area/facility, and open space. The criteria to be used shall include, but not be limited to the following:
 - a) Minimum size for each service level:

Playgrounds	2 acres
Neighborhood Parks	5 acres
Playfields	10 acres
Community Parks	40 acres

- b) Suitability of the following for the proposed use:
 - i) Soils and geology.
 - ii) Topography and drainage.
 - iii) Location and impact of designated floodways and floodway fringe areas.
 - iv) Extent of natural vegetation and tree cover. Preservation of wooded areas is a top priority.
 - v) The degree of access of the proposed area to pedestrians and vehicles, where appropriate. Public accessibility is a top priority.
 - c) The proposed recreational facilities and site improvement to be made.
 - d) A schedule indicating how the actual construction of the proposed park/open space and improvements are to be phased in relationship with the overall project.
 - e) How both ownership and maintenance of such areas are to be undertaken.

- f) Residential development as categorized in C.O. 1165.10(a)(1) must be within one thousand two hundred (1,200) feet of playground equipment and a Pocket Park or a larger size park for development categorized in C.O. 1165.

The following should be considered in the board decision:

1. This zoning district requires 90% of the units have occupants who are 55 years of age or older. The zoning further commits that the community shall not permit permanent residents within the 90% age-restricted units who are under the age of 21. With 151 units, that permits 136 age-restricted and 15 non-age-restricted lots within the subdivision on 63.5 gross acres.
2. The PUD text states “due to the nature of this subarea as an age-restricted community, it shall be exempt from the requirement of Section 1185.15(c)(6) that would otherwise require all residences to be located within 1,200 feet of playground equipment.”
3. During the rezoning hearing, the city council directed the applicant to perhaps relocate up to four units shown on the preliminary development plan near the adjacent neighbor along the western boundary line to provide additional tree preservation. Those four homes have since been relocated to the northern area of the site and back onto Reserve C.

Sidewalk and Leisure Trail

4. The text requires the applicant to install a 5-foot-wide public sidewalk within the right-of-way on each internal subdivision street (other than the North-South Street, the south side of Street 2, and the north side of Street 8), in the general locations shown in the final development plan. The total amount of sidewalk within the development is approximately 2 miles.
5. The text requires the applicant to install an 8-foot-wide, asphalt leisure trail along the north side of Central College Road, the west side of Jug Street rights-of-way, along the both sides of Haines Creek Drive to the intersection with Heidelberg Drive, and along both sides of Heidelberg Drive that goes westward towards. The total proposed leisure trails equal to about 1.3 miles.
6. A path with a minimum width of 8 feet is to be constructed along the south side of the pond in Reserve A, except the path may be reduced to a minimum width of 5 feet in areas restricted by site conditions (trees, grading, etc.). This trail is calculated as part of the 1.3 miles of trail.
 - a. The city is coordinating street improvements with the Franklin County engineer. The city staff intended to field locate the leisure path along Central College Road to minimize tree disturbance. However, the path running along the south side of the pond in Reserve A provides a meaningful alternate path to connect Central College Road to Jug Street, rather than running along the street frontage which may require more tree removal. The city recommends a condition of approval that the final alignment of the leisure path be subject to staff approval.

Parks & Open Spaces (Reserves)

7. New Albany’s Codified Ordinance requires that 2,400 square feet per home be dedicated as parkland and 20% of the total acreage in the subdivision shall be dedicated as open space.
 - a. For this development the total minimum, required parkland and open space is 21.01 acres.
 - b. The applicant is providing multiple reserve areas (A-K) that consists of either open space or parkland, totaling 17.66 acres. Per C.O. 1187.16 wet and dry stormwater basins shall not be considered open space.
 - c. The proposal does not meet the Codified Ordinance requirements since there is a 3.35-acre deficit in open space. The applicant commits to provide for an equivalent contribution toward the city’s parkland and open space amenities through the purchase and dedication to the city or Franklin County Metro Parks

of undeveloped land located elsewhere in the New Albany Plain Local School District, or alternatively by making an equivalent monetary contribution to the City for the purpose of funding other parkland development, leisure path, and/or other recreational programs or plans. This form and the amount of such contribution shall be approved by the city council as part of a final plat.

8. The zoning text states ownership and maintenance of the parkland and open space areas shown on the final development plan shall be defined and approved with the final development plan. The private community clubhouse shall be located as generally shown on the final development plan.
9. Reserve A:
 - a. This is located along Central College Road and is 7.3 acres of open space. This reserve consists of a large basin, preservation of trees, a stream, a pavilion and leisure trail.
 - b. The stream is not a FEMA mapped stream and not considered to have FEMA floodway or floodway fringe. It does have a local 100-year floodplain, which the applicant has studied and has shown on the master grading plan.
 - c. Within reserve A, the zoning text commits to providing a tree preservation zone located a minimum distance of 100 feet from the right-of-way of Central College Road and Jug Street.
 - d. This parcel shall be owned by the city and maintained by applicant (or its affiliated entities) or the HOA.
10. Reserve B:
 - a. This is 1.2 acres, also located along Central College Road and on the west side of the entry drive, Haines Creek Drive.
 - b. This parcel shall be owned by the city and maintained by applicant (or its affiliated entities) or the HOA.
11. Reserve C1:
 - a. This area is located in the northwest corner of the subdivision. It is 2.7 acres consisting of a basin, a stream, and tree preservation.
 - b. The stream is not a FEMA mapped stream and not considered to have FEMA floodway or floodway fringe. It does have a local 100-year floodplain, which the applicant has studied and has shown on the master grading plan.
 - c. This parcel shall be owned by the city and maintained by applicant (or its affiliated entities) or the HOA.
12. Reserve C2:
 - a. This area is located to the north and in northeast corner of the subdivision. It is 3.5 acres consisting of a drainage swale and tree preservation.
 - b. The developer is required to provide natural grasses in this area. No artificial pesticides and fertilizer are permitted in this area. The plan meets these requirements of the zoning text.
 - c. This parcel shall be owned by the city and maintained by applicant (or its affiliated entities) or the HOA.
13. Reserves D, E, F1, F2, and G:
 - a. These areas are located along the eastern side of Haines Creek Drive and along the sides of lots 1, 20, 21, 40, 41, 59, 129, and 146 for a total of 0.58 acres.
 - b. These parcels shall be owned by the city and maintained by applicant (or its affiliated entities) or the HOA.
14. Reserve H:
 - a. This is the community amenity area and is 1.5 acres in size. The amenities consist of a club house with pool, a community garden, a bocce court, and pickleball courts.
 - b. This parcel shall be owned and maintained by applicant (or its affiliated entities) or the HOA.

15. Reserve I:
- a. This area is 0.14 acres and located north of reserve B, south of lot 102, and west of the stub for McClellan Drive East. This area serves as the future street extension of McClellan Drive East.
 - b. This parcel shall be owned by the city and maintained by applicant (or its affiliated entities) or the HOA. However, at such time the future street is extended, the city will be responsible for street maintenance within this reserve area.
16. Reserve J:
- a. This area is 0.6 acres located on the west side of Wooster Drive between lots 108 and 113. The intent of this open space is to provide for tree preservation.
 - b. This parcel shall be owned by the city and maintained by applicant (or its affiliated entities) or the HOA.
17. Reserve K:
- a. This area is 0.14 acres and located south of reserve K, north of lot 124, and west of the stub for Heidelberg Drive. This area serves as the future street extension of Heidelberg Drive.
 - b. This parcel shall be owned by the city and maintained by applicant (or its affiliated entities) or the HOA. However, at such time the future street is extended, the city will be responsible for street maintenance within this reserve area.
18. A schedule has not been provided indicating how construction of the open space improvements are to be phased in relation to the overall project. In accordance with city code requirements, the city staff recommends a condition of approval that the amenities be installed and included as part of the overall subdivision infrastructure improvements (e.g. streets, utilities, etc.).

IV. SUMMARY

The final development plan is generally consistent with the preliminary development plan and meets text requirements. The application includes many of the same development standards that have made more recent subdivisions successful including providing meaningful open space and pedestrian connectivity. The plan for the subdivision's parkland and open space adds to the creation of a park system in which it satisfies the needs of a variety of user groups with both active and passive recreation options. The plan positively attributes to the connection of parks, green spaces, and natural corridors with leisure trails.

V. ACTION

Suggested Motion for FDP-88-2023:

Move to recommend approval to Planning Commission of the suitability of the proposed parkland and open space, based on the findings in the staff report with the following conditions:

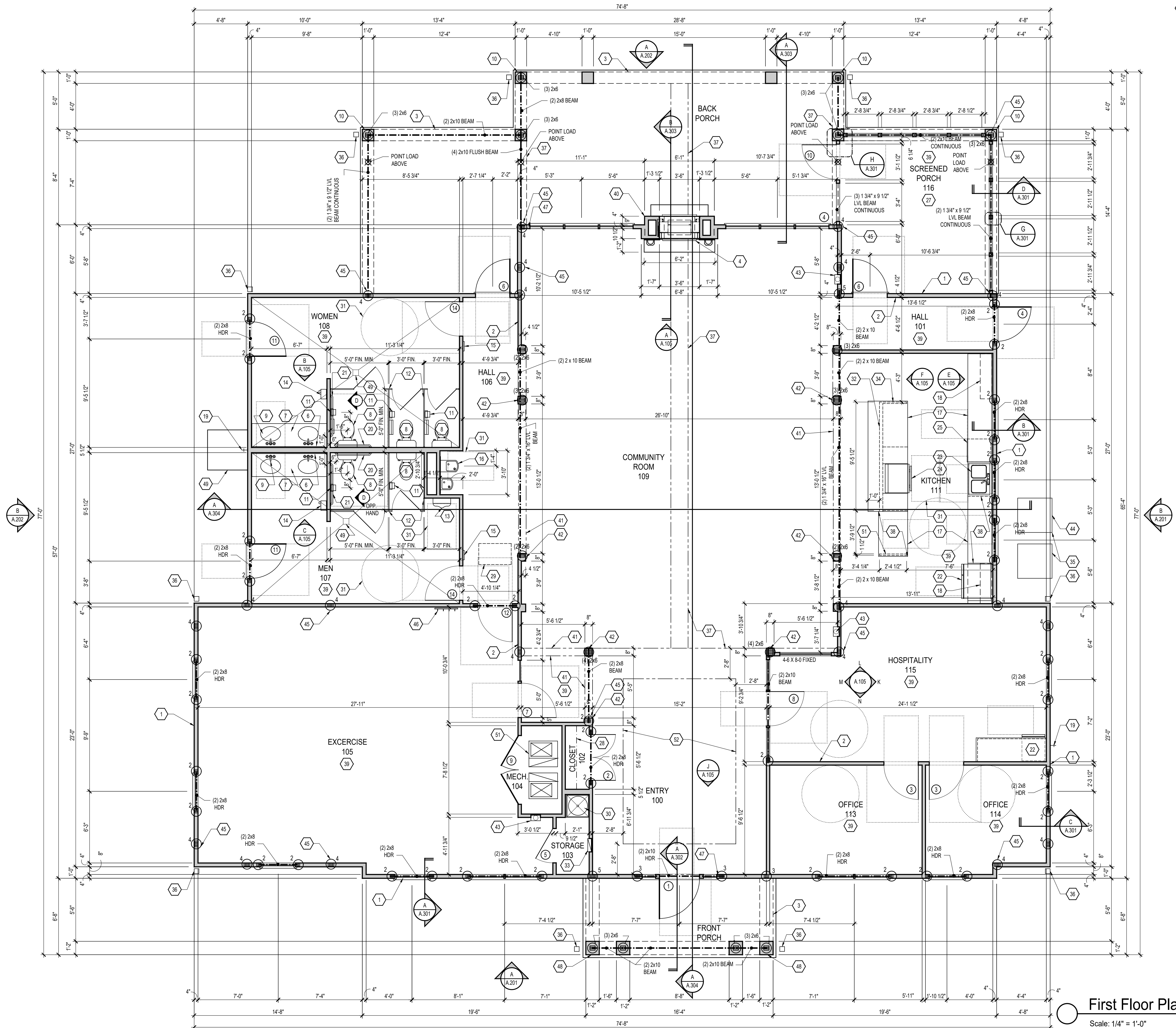
1. The open space amenities shall be installed and included as part of the overall subdivision infrastructure improvements (e.g. streets, utilities, etc.).
2. The final alignment of the leisure path shall be subject to staff approval.

Permit # _____
Board _____
Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>0, 8390 and 8306 Central College Road</u>																																																												
	Parcel Numbers <u>222-005156, 222-005157, 222-005158, and 222-005159</u>																																																												
	Acres <u>63.5 +/-</u> # of lots created <u>151</u>																																																												
	<table border="1"><thead><tr><th>Choose Application Type</th><th colspan="4">Circle all Details that Apply</th></tr></thead><tbody><tr><td><input type="checkbox"/> Appeal</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Certificate of Appropriateness</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Conditional Use</td><td></td><td></td><td></td><td></td></tr><tr><td><input checked="" type="checkbox"/> Development Plan</td><td>Preliminary</td><td>[Final]</td><td>Comprehensive</td><td>Amendment</td></tr><tr><td><input checked="" type="checkbox"/> Plat</td><td>Preliminary</td><td>(Final)</td><td></td><td></td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td>Combination</td><td>Split</td><td>Adjustment</td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Vacation</td><td>Easement</td><td></td><td>Street</td><td></td></tr><tr><td><input type="checkbox"/> Variance</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Extension Request</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Zoning</td><td>Amendment (rezoning)</td><td></td><td>Text Modification</td><td></td></tr></tbody></table>	Choose Application Type	Circle all Details that Apply				<input type="checkbox"/> Appeal					<input type="checkbox"/> Certificate of Appropriateness					<input type="checkbox"/> Conditional Use					<input checked="" type="checkbox"/> Development Plan	Preliminary	[Final]	Comprehensive	Amendment	<input checked="" type="checkbox"/> Plat	Preliminary	(Final)			<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment		<input type="checkbox"/> Minor Commercial Subdivision					<input type="checkbox"/> Vacation	Easement		Street		<input type="checkbox"/> Variance					<input type="checkbox"/> Extension Request					<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification	
	Choose Application Type	Circle all Details that Apply																																																											
<input type="checkbox"/> Appeal																																																													
<input type="checkbox"/> Certificate of Appropriateness																																																													
<input type="checkbox"/> Conditional Use																																																													
<input checked="" type="checkbox"/> Development Plan	Preliminary	[Final]	Comprehensive	Amendment																																																									
<input checked="" type="checkbox"/> Plat	Preliminary	(Final)																																																											
<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment																																																										
<input type="checkbox"/> Minor Commercial Subdivision																																																													
<input type="checkbox"/> Vacation	Easement		Street																																																										
<input type="checkbox"/> Variance																																																													
<input type="checkbox"/> Extension Request																																																													
<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification																																																										
	Description of Request: <u>Approval of final development plan to allow for the development of a single family subdivision in accordance with the approved zoning and preliminary development plan for The Courtyards at Haines Creek I-PUD</u>																																																												
Contacts	Property Owner's Name: <u>Homewood Corporation</u>																																																												
	Address: <u>Attn: Bill Moorehead, 2700 E. Dublin-Granville Road. Suite 320.</u>																																																												
	City, State, Zip: <u>Columbus, OH 43231</u>																																																												
	Phone number: <u>614-898-7200</u> Fax: _____																																																												
	Email: <u>Bill@trinity-homes.com</u>																																																												
	Applicant's Name: <u>EC New Vision Ohio LLC, c/o Aaron Underhill, Esq.</u>																																																												
	Address: <u>Underhill & Hodge LLC, 8000 Walton Pkwy., Suite 260</u>																																																												
	City, State, Zip: <u>New Albany, OH 43054</u>																																																												
	Phone number: <u>614-335-9320</u> Fax: <u>614-335-9329</u>																																																												
	Email: <u>aaron@uhlfirm.com</u>																																																												
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																																																												
	Signature of Owner <u>[Signature]</u> Date: <u>08/29/23</u> Signature of Applicant By: <u>WILLIAM MOOREHEAD</u> VP Date: <u>8/30/23</u> <u>Aaron Underhill, Attorney for Applicant</u>																																																												



- FIRST FLOOR PLAN CODED NOTES**
(DRAWING SHEET B-A.102 ONLY)
- EXTERIOR STUD WALL - 2 X 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES AND 7/16" ZIP SYSTEM SHEATHING ON EXTERIOR SURFACES. TYPICAL UNLESS NOTED OTHERWISE.
 - INTERIOR STUD WALL - 2 X 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL FINISHED SURFACES - TYPICAL.
 - BUILT-UP WOOD BEAM - SEE WALL SECTIONS FOR DETAILS AND FIRST FLOOR PLAN FOR STRUCTURAL BEAM SIZES.
 - DIRECT VENT GAS THRU FIREPLACE (OUTDOOR LIFESTYLES, TWILIGHT II INDOOR/OUTDOOR FIREPLACE OR EQUAL) WITH BILTMORE MANTEL, W/ HEARTH 2 (INTERIOR SIDE); PROVIDE GAS LINE & GAS LOG SET - CONTRACTOR TO VERIFY ALL FRAMING DIMENSIONS AND CLEARANCES WITH MANUFACTURER'S INSTRUCTIONS.
 - ACCESSIBLE TOILET COMPARTMENT DOORS TO HAVE A MIN. CLEAR OPENING WIDTH OF 32" (EXACT DOOR SIZE TO BE DETERMINED BY MANUFACTURER), CLOSER AND GRASPABLE LATCH PER APPLICABLE ANSI STANDARDS & CODE REQUIREMENTS.
 - FRAMELESS MIRROR LOCATION.
 - VANITY COUNTERTOP 34" (MAX.) A.F.F.
 - ADA COMPLIANT TOILET & SEAT.
 - ADA COMPLIANT COUNTER LAVATORY AND FAUCET.
 - 12" x 12" BUILT-UP COLUMN - SEE ELEVATIONS AND WALL SECTIONS (E ON SHEET A.302) FOR DETAILS.
 - TOILET TISSUE DISPENSER - MOUNT WITH CENTER AT 22" A.F.F..
 - TOILET PARTITION - PROVIDE 2 x 6 BLOCKING IN WALL FOR MOUNTING AS NEEDED.
 - URINAL - SET RIM AT 17" A.F.F..
 - ADA COMPLIANT ELECTRIC HAND DRYER WITH AUTOMATIC SENSOR OPERATION TO BE WALL MOUNTED AT 54" MAX. A.F.F. TO BOTTOM OF SENSOR LENS.
 - ADA COMPLIANT SIGNAGE AS SHOWN IN DETAIL ON SHEET B-A.104. SIGNAGE IS TO COMPLY WITH ALL NATIONAL AND LOCAL CODES. MOUNT AT 60" A.F.F. TO CENTER OF SIGN.
 - ADA COMPLIANT TWO-LEVEL DRINKING FOUNTAIN WITH DUAL FOUNTAINS FOR WHEEL CHAIR USE AND STANDING PERSONS.
 - BASE CABINETS AND COUNTERTOP AT 36" A.F.F. OR 34" A.F.F. - SEE INTERIOR ELEVATIONS. FINISH ALL EXPOSED EDGES.
 - LINE OF WALL CABINETS ABOVE.
 - HOSE BIB LOCATION.
 - 36" LONG GRAB BAR - MOUNT HORIZONTALLY WITH CENTER AT 34" A.F.F..
 - 42" LONG GRAB BAR - MOUNT HORIZONTALLY WITH CENTER AT 34" A.F.F..
 - REFRIGERATOR LOCATION.
 - DOUBLE BOWL SINK AND FAUCET WITH 30" MIN. WIDE WHEEL CHAIR SPACE BELOW.
 - UNDER COUNTER BUILT-IN OVEN LOCATION.
 - DISHWASHER LOCATION.
 - (4) 16" DEEP WIRE SHELVES (29", 42", 55", 68" A.F.F.) - STANDARD SPACING.
 - SEE SHEET A.301 FOR SCREENED PORCH DETAILS.
 - SINGLE CLOSET ROD & SHELF (67 1/2" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACING.
 - ATTIC ACCESS IN CEILING ABOVE: 22" x 30" MINIMUM. PANEL SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. IF IN THE CEILING, A BAFFLE IS REQUIRED TO CONTAIN LOOSE-FILL INSULATION.
 - WATER HEATER LOCATION WITH PAN ON SHELF ABOVE MOP SINK. SEE PLUMBING SHEETS FOR MORE INFORMATION.
 - DOTTED LINE INDICATES AREA OF REQUIRED CLEARANCE FOR A.D.A. COMPLIANCE.
 - 1/2" WALL TO UNDERSIDE OF BAR COUNTERTOP.
 - RECESSED ELECTRIC PANEL LOCATION.
 - 2 X 4 WOOD STUDS AT 16" O.C. LAID FLAT WITH 1/2" DRYWALL ON ALL FINISHED SURFACES.
 - HVAC CONDENSOR UNIT LOCATION - CONTRACTOR TO COORDINATE PADS (AND LOCATION) WITH HVAC CONTRACTOR - LOCATE UNITS PER APPLICABLE CODES AND MANUFACTURER'S INSTRUCTIONS.
 - INDICATES DOWNSPOUT LOCATION.
 - INDICATES LINE OF BREAK IN CEILING PLANE ABOVE.
 - ADA COMPLIANT COUNTERTOP AT 34" A.F.F. WITH 30" MIN. WIDE WHEEL CHAIR SPACE BELOW - SEE INTERIOR ELEVATIONS.
 - FLAT DRYWALL CEILING @ 9'-0" A.F.F.
 - NO R-SHEATHING AROUND EXTERIOR CHIMNEY - SEE FIREPLACE WALL SECTION.
 - BUILT-UP DRYWALL BEAM. WIDTH OF BEAM TO MATCH WIDTH OF COLUMN. BOTTOM OF BEAM (TOP OF COLUMN) AT 8'-0" A.F.F..
 - INTERIOR COLUMN/PLASTER - SEE SHEET A.104.
 - MULTI-PURPOSE DRY CHEMICAL FIRE EXTINGUISHER AND CABINET - 2-A.10-8-C RATING MINIMUM. FIRE EXTINGUISHER TO BE ADA COMPLIANT - MOUNT TO ACHIEVE MAX. 48" A.F.F. TO HANDLE, AND MAX. 4" PROTRUSION FROM WALL. EXACT LOCATION TO BE DETERMINED BY LOCAL AUTHORITY.
 - 42" x 42" SLAB - SLOPE AWAY FROM BUILDING.
 - INDICATES MULTIPLE FULL-HEIGHT STUD COLUMN IN WALL - TYPICAL AT BEARING OF ALL WOOD BEAMS, GIRDER TRUSSES UNLESS NOTED OTHERWISE. SEE PLAN FOR NUMBER OF STUDS REQUIRED.
 - PROVIDE BLOCKING AT 54" A.F.F. FOR COAT HOOKS.
 - PROVIDE (2) JACKS UNDER ALL HEADERS IN OPENINGS OVER 48" WIDE - TYPICAL.
 - 14" x 14" BUILT-UP COLUMN - SEE ELEVATIONS AND WALL SECTION D ON SHEET A.302 FOR DETAILS.
 - FLOOR DRAIN LOCATION - SLOPE FLOOR NO LESS THAN 1/4" PER FOOT TOWARDS DRAIN.
 - FAUX SHUTTER LOCATION - SEE EXTERIOR ELEVATIONS.
 - FURNACE LOCATION.
 - TRAY CEILING AT 11'-0" A.F.F.

- GENERAL NOTES**
- EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
 - REFER TO SITE LAYOUT PLAN & POOL PLANS FOR POOL LOCATIONS IF APPLICABLE.
 - REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
 - DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING MIN. 4" FROM INTERSECTING WALLS.
 - REFER TO SITE PLAN FOR SIDEWALK/PORCH SPOT ELEVATIONS & LAYOUT.
 - DOORS OPENING DIRECTLY TO THE POOL AREA MUST BE SELF-LATCHING WITH ACTUATING DEVICE A MIN. 54" A.F.F..

First Floor Plan
Scale: 1/4" = 1'-0"



Building Prototypes
Building Prototypes
000 Your Street
City State & Zip

© 2022 IP86, LLC.
THIS NOTICE IS "COPYRIGHT MANAGEMENT INFORMATION" UNDER THE DIGITAL MILLENNIUM COPYRIGHT ACT AND IS INCLUDED TO POLICE AND DETER COPYRIGHT INFRINGEMENT AND MUST NOT BE REMOVED OR MODIFIED FROM ANY COPY OR DERIVATIVE OF THIS WORK.

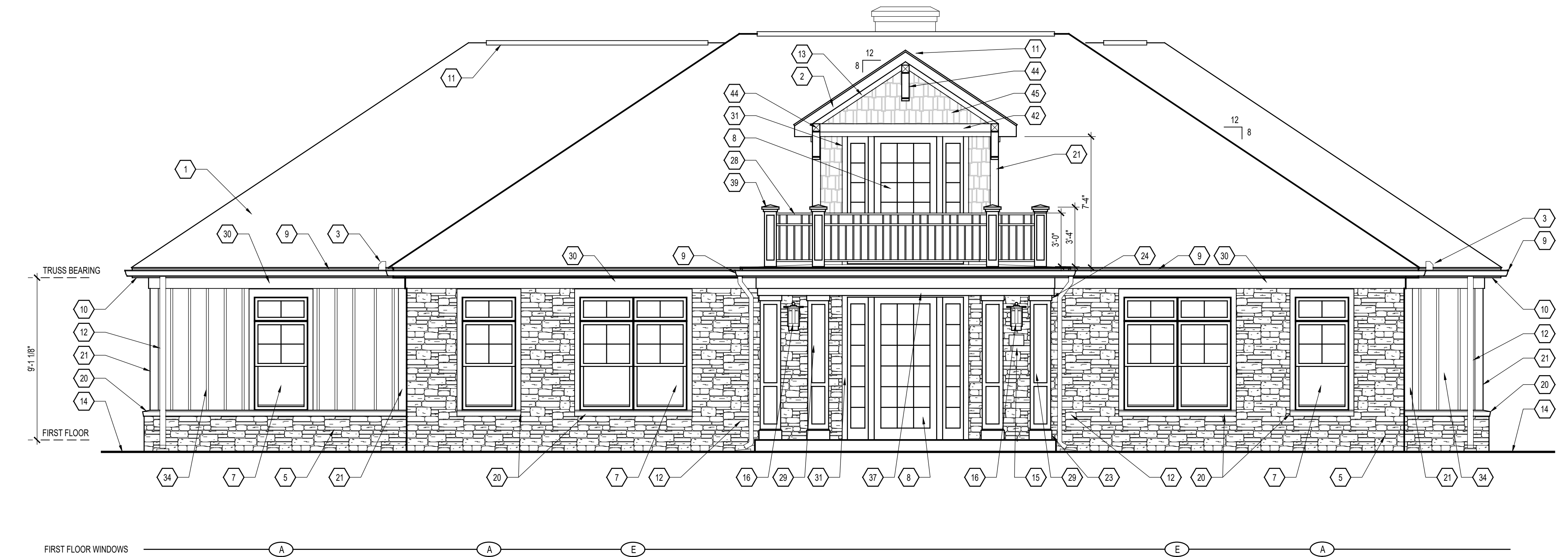
Prototype Disk No.	Interim Revision	Page Revisions Date
2022		8/30/22

Architect Project Number

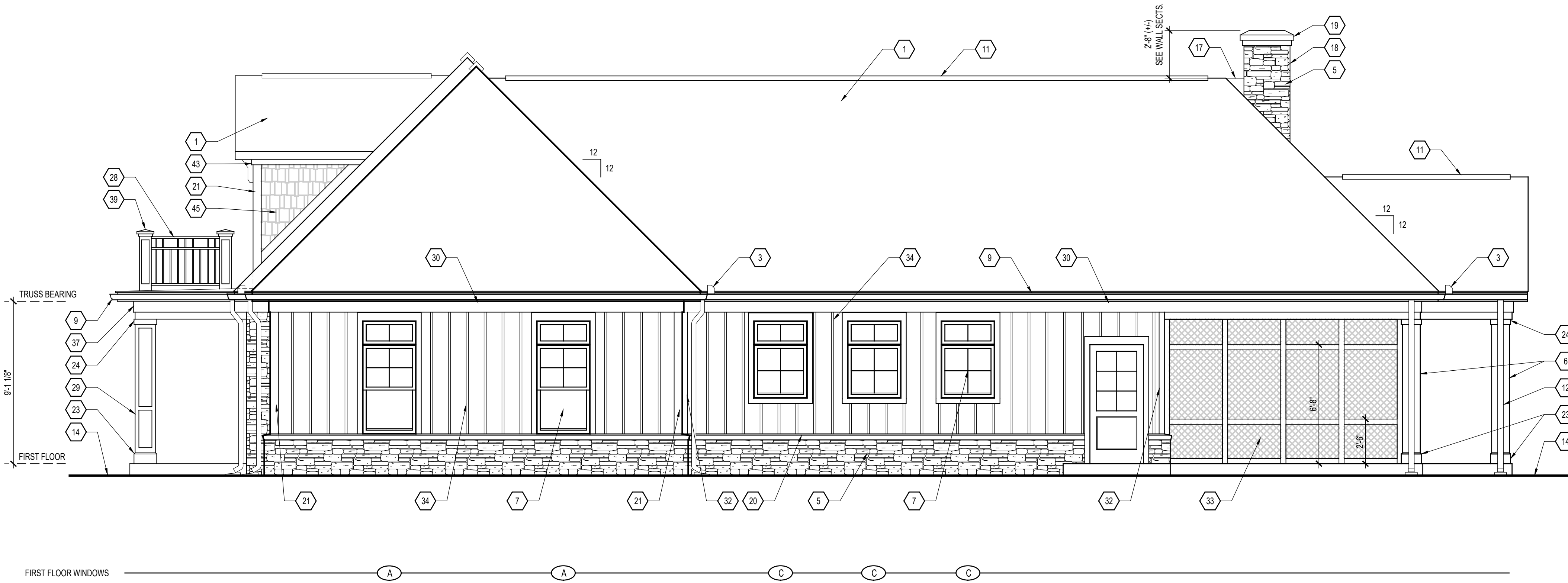
Community Dates & Revisions	
Date Originated	
Bid	
Permit	
Construction	
Revisions	
△	
△	
△	

Drawing Title
First Floor Plan

Architectural Style
Craftsman
Sheet Number
A.102
Clubhouse 'Large'



A Front Elevation
Scale: 1/4" = 1'-0"



B Right Side Elevation
Scale: 1/4" = 1'-0"

- EXTERIOR ELEVATION CODED NOTES**
(CLUBHOUSE ELEVATION SHEETS ONLY)
- FIBERGLASS / ASPHALT SHINGLE ROOFING.
 - ALUMINUM CLAD WOOD RAKE EXTENSION - SEE WALL SECTIONS.
 - WATER FLOW DIVERTER - TYPICAL AT VALLEY ENDS.
 - PRE-PRIMED COMPOSITION LAP SIDING BY LOUISIANA PACIFIC (OR EQUAL).
 - CULTURED STONE VENEER. COLOR, STYLE, MORTAR COLOR, COURSING & JOINT STYLE TO BE SELECTED BY THE OWNER.
 - 12" SQUARE BUILT-UP COLUMN - SEE DETAIL E ON SHEET A.302.
 - VINYL WINDOW UNIT - SEE WINDOW DETAILS ON SHEET A.401 FOR SIZE AND TRIM INFORMATION.
 - PRE-HUNG INSULATED METAL ENTRY DOOR - PAINTED. SEE DOOR SCHEDULE FOR MORE INFORMATION.
 - 5" ALUMINUM OGEE GUTTER ON 2 X 6 ALUMINUM CLAD WOOD SUB FASCIA (OR AS SPECIFIED ON WALL SECTION) - TYPICAL.
 - VENTED ALUMINUM SOFFIT (TYPICAL) - SEE TYPICAL WALL SECTIONS FOR MORE DETAILS.
 - CONTINUOUS RIDGE VENT LOCATION.
 - DOWNSPOUT LOCATION WITH SPLASH BLOCK (NO SPLASH BLOCK WHERE ROUTED UNDER WALKS).
 - 5/4 X 4 RAKE TRIM.
 - APPROXIMATE LINE OF GRADE - TO BE COORDINATED WITH BUILDER PRIOR TO START OF CONSTRUCTION - MAINTAIN MINIMUM 6" BELOW FIRST FLOOR.
 - ADDRESS PLAQUE - USE DOUBLE-THICKNESS TRIM AS BACKING. MOUNT TOP @ 5'-5" A.F.F. AND CENTER ON WALL - TYPICAL.
 - EXTERIOR LIGHT FIXTURE - MOUNT TOP @ 7'-8" A.F.F. AT TYPICAL DOOR LOCATIONS. G.C. TO COORDINATE OTHER MOUNTING HEIGHTS AS NEEDED.
 - CHIMNEY CRICKET.
 - SEE WALL SECTION FOR MORE INFORMATION ON CHIMNEY DETAILS.
 - METAL CHIMNEY CAP & FLASHING - SEE WALL SECTION FOR DETAILS.
 - SLOPED CULTURED STONE BELT COURSE.
 - 5/4 X 6" CORNER TRIM - RIP ONE SIDE TO ACHIEVE 5 1/2" DIMENSION EACH SIDE OF CORNER.
 - 5/4 X 8 WOOD TRIM WITH FLASHING ON 1 X BACKER.
 - 1 X 8 PAINTED COLUMN BASE TRIM WITH BEVELED TOP EDGE.
 - 1 X 4 PAINTED COLUMN CAP TRIM.
 - 1/4" PAINT GRADE FINISH PLYWOOD SHEATHING ON UNDERSIDE OF ARCH - BEND TO RADIUS.
 - SCREENED PORCH BEYOND. SEE DOOR SCHEDULE FOR SCREENED DOOR DETAILS.
 - 5/4 X 6 TRIM.
 - DECORATIVE ALUMINUM GUARDRAIL WITH BALLUSTERS SPACED 4" O.C. - DESIGN AS SHOWN.
 - 1/4" SQUARE BUILT-UP COLUMN - SEE DETAIL D ON SHEET A.302.
 - 5/4 X 8 FRIEZE BOARD TRIM - TYPICAL.
 - 5/4 X 4 TRIM.
 - 5/4 X 4 CORNER TRIM - RIP ONE SIDE TO ACHIEVE 3 1/2" DIMENSION EACH SIDE OF CORNER.
 - INSET SCREEN IN FRAMED WOOD. FOR SCREENED PORCH DETAILS SEE SHEET B-A.301.
 - BOARD AND BATTEN SIDING.
 - 4" WIDE LIMESTONE CHIMNEY WATER TABLE - TOP OF STONE AT 5'-4" A.F.F..
 - STONE HEARTH - MIN. 2" THICK.
 - PORCH BEAM - SEE WALL SECTIONS.
 - 5/4 X 8 ARCHED TRIM - DIMENSIONS AS SHOWN.
 - 8" X 8" BUILT-UP WOOD POST WITH METAL CAP.
 - DIRECT VENT GAS THRU FIREPLACE (OUTDOOR LIFESTYLES, TWILIGHT II INDOOR/OUTDOOR FIREPLACE OR EQUAL). PROVIDE GAS LINE & GAS LOG SET - CONTRACTOR TO VERIFY ALL FRAMING DIMENSIONS AND CLEARANCES WITH MANUFACTURERS' INSTRUCTIONS.
 - PROVIDE STEP FLASHING AND COUNTER FLASHING MIN. 16" HIGH THE ENTIRE LENGTH OF VERTICAL WALL ADJACENT TO ROOF - TYPICAL.
 - 1 X 6 TRIM ON 1 X BACKER.
 - 5/4 X 4 FRIEZE BOARD TRIM.
 - WALL BRACKET - SEE DETAIL B ON SHEET A.302.
 - VINYL ROUGH-SPLIT SHAKE SIDING (OR FIBER-CEMENT OR SIM.) WITH MATCHING CORNER PIECES. PROVIDE 5/4" X 4" PAINTED WOOD TRIM AT INSIDE CORNER WHERE STONE MEETS SHAKE SIDING.
- ALL SIDING & TRIM TO BE LOUISIANA PACIFIC "SMART SIDE" CEDAR GRAIN TEXTURE - SIZES AS INDICATED. TRIM IN DIRECT CONTACT WITH CONCRETE TO BE PVC PRODUCT EQUIVALENT.



Building Prototypes
Building Prototypes
000 Your Street
City State & Zip

© 2022 IP86, LLC.
THIS NOTICE IS "COPYRIGHT MANAGEMENT INFORMATION" UNDER THE DIGITAL MILLENNIUM COPYRIGHT ACT AND IS INCLUDED TO POLICE AND DETER COPYRIGHT INFRINGEMENT AND MUST NOT BE REMOVED OR MODIFIED FROM ANY COPY OR DERIVATIVE OF THIS WORK.

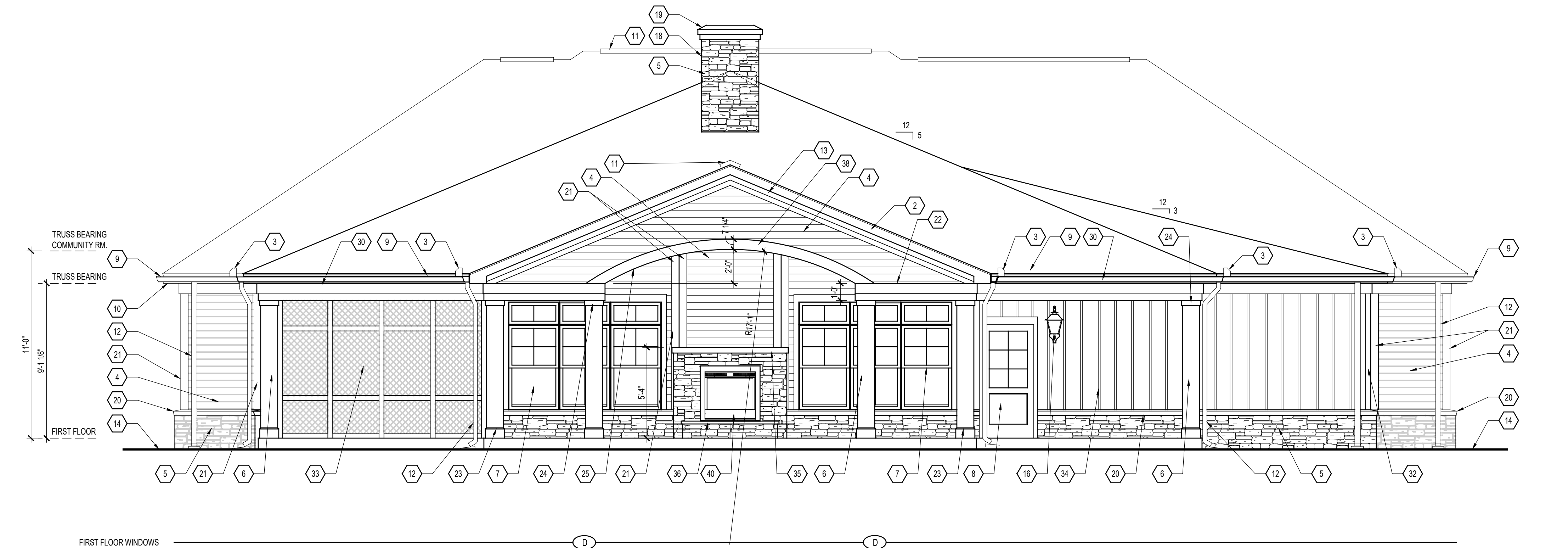
Prototype Disk No.	Interim Revision	Page Revisions Date
	Revision	Date
2022		8/22/22

Architect Project Number

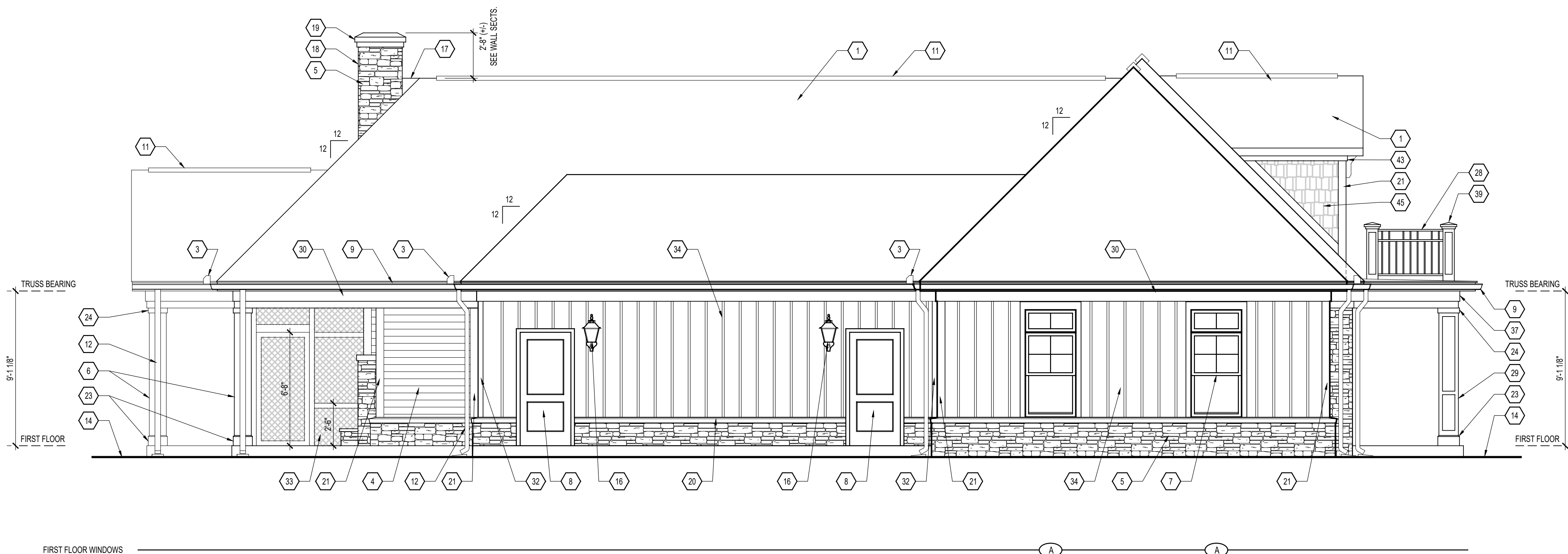
Community Dates & Revisions	
Date Originated	
Bid	
Permit	
Construction	
Revisions	
△	△
△	△
△	△

Drawing Title
Exterior Elevations

Architectural Style
Craftsman
Sheet Number
A.201
Clubhouse 'Large'



A Rear Elevation
Scale: 1/4" = 1'-0"



B Left Side Elevation
Scale: 1/4" = 1'-0"

EXTERIOR ELEVATION CODED NOTES
(CLUBHOUSE ELEVATION SHEETS ONLY)

1. FIBERGLASS / ASPHALT SHINGLE ROOFING.
2. ALUMINUM CLAD WOOD RAKE EXTENSION - SEE WALL SECTIONS.
3. WATER FLOW DIVERTER - TYPICAL AT VALLEY ENDS.
4. PRE-PRIMED COMPOSITION LAP SIDING BY LOUISIANA PACIFIC (OR EQUAL).
5. CULTURED STONE VENEER. COLOR, STYLE, MORTAR COLOR, COURSING & JOINT STYLE TO BE SELECTED BY THE OWNER.
6. 12" SQUARE BUILT-UP COLUMN - SEE DETAIL E ON SHEET A.302.
7. VINYL WINDOW UNIT - SEE WINDOW DETAILS ON SHEET A.401 FOR SIZE AND TRIM INFORMATION.
8. PRE-HUNG INSULATED METAL ENTRY DOOR - PAINTED. SEE DOOR SCHEDULE FOR MORE INFORMATION.
9. 5" ALUMINUM OGEE GUTTER ON 2 X 6 ALUMINUM CLAD WOOD SUB FASCIA (OR AS SPECIFIED ON WALL SECTION) - TYPICAL.
10. VENTED ALUMINUM SOFFIT (TYPICAL) - SEE TYPICAL WALL SECTIONS FOR MORE DETAILS.
11. CONTINUOUS RIDGE VENT LOCATION.
12. DOWNSPOUT LOCATION WITH SPLASH BLOCK (NO SPLASH BLOCK WHERE ROUTED UNDER WALKS).
13. 5/4 X 4 RAKE TRIM.
14. APPROXIMATE LINE OF GRADE - TO BE COORDINATED WITH BUILDER PRIOR TO START OF CONSTRUCTION - MAINTAIN MINIMUM 6" BELOW FIRST FLOOR.
15. ADDRESS PLAQUE - USE DOUBLE-THICKNESS TRIM AS BACKING. MOUNT TOP @ 5'-5" A.F.F. AND CENTER ON WALL - TYPICAL.
16. EXTERIOR LIGHT FIXTURE - MOUNT TOP @ 7'-8" A.F.F. AT TYPICAL DOOR LOCATIONS. G.C. TO COORDINATE OTHER MOUNTING HEIGHTS AS NEEDED.
17. CHIMNEY CRICKET.
18. SEE WALL SECTION FOR MORE INFORMATION ON CHIMNEY DETAILS.
19. METAL CHIMNEY CAP & FLASHING - SEE WALL SECTION FOR DETAILS.
20. SLOPED CULTURED STONE BELT COURSE.
21. 5/4 X 6" CORNER TRIM - RIP ONE SIDE TO ACHIEVE 5 1/2" DIMENSION EACH SIDE OF CORNER.
22. 5/4 X 8 WOOD TRIM WITH FLASHING ON 1 X BACKER.
23. 1 X 8 PAINTED COLUMN BASE TRIM WITH BEVELED TOP EDGE.
24. 1 X 4 PAINTED COLUMN CAP TRIM.
25. 1/4" PAINT GRADE FINISH PLYWOOD SHEATHING ON UNDERSIDE OF ARCH - BEND TO RADIUS.
26. SCREENED PORCH BEYOND. SEE DOOR SCHEDULE FOR SCREENED DOOR DETAILS.
27. 5/4 X 6 TRIM.
28. DECORATIVE ALUMINUM GUARDRAIL WITH BALUSTERS SPACED 4" O.C. - DESIGN AS SHOWN.
29. 14" SQUARE BUILT-UP COLUMN - SEE DETAIL D ON SHEET A.302.
30. 5/4 X 8 FRIEZE BOARD TRIM - TYPICAL.
31. 5/4 X 4 TRIM.
32. 5/4 X 4 CORNER TRIM - RIP ONE SIDE TO ACHIEVE 3 1/2" DIMENSION EACH SIDE OF CORNER.
33. INSECT SCREEN IN FRAMED WOOD. FOR SCREENED PORCH DETAILS SEE SHEET B-A.301.
34. BOARD AND BATTEN SIDING.
35. 4" WIDE LIMESTONE CHIMNEY WATER TABLE - TOP OF STONE AT 5'-4" A.F.F..
36. STONE HEARTH - MIN. 2" THICK.
37. PORCH BEAM - SEE WALL SECTIONS.
38. 5/4 X 8 ARCHED TRIM - DIMENSIONS AS SHOWN.
39. 8" X 8" BUILT-UP WOOD POST WITH METAL CAP.
40. DIRECT VENT GAS THRU FIREPLACE (OUTDOOR LIFESTYLES, TWILIGHT II INDOOR/OUTDOOR FIREPLACE OR EQUAL); PROVIDE GAS LINE & GAS LOG SET - CONTRACTOR TO VERIFY ALL FRAMING DIMENSIONS AND CLEARANCES WITH MANUFACTURERS INSTRUCTIONS.
41. PROVIDE STEP FLASHING AND COUNTER FLASHING MIN. 16" HIGH THE ENTIRE LENGTH OF VERTICAL WALL ADJACENT TO ROOF - TYPICAL.
42. 1 X 6 TRIM ON 1 X BACKER.
43. 5/4 X 4 FRIEZE BOARD TRIM.
44. WALL BRACKET - SEE DETAIL B ON SHEET A.302.
45. VINYL ROUGH-SPLIT SHAKE SIDING (OR FIBER-CEMENT OR SIM.) WITH MATCHING CORNER PIECES. PROVIDE 5/4" X 4" PAINTED WOOD TRIM AT INSIDE CORNER WHERE STONE MEETS SHAKE SIDING.

ALL SIDING & TRIM TO BE LOUISIANA PACIFIC "SMART SIDE" CEDAR GRAIN TEXTURE - SIZES AS INDICATED. TRIM IN DIRECT CONTACT WITH CONCRETE TO BE PVC PRODUCT EQUIVALENT.



Building Prototypes
Building Prototypes
000 Your Street
City State & Zip

© 2022 IP86, LLC.
THIS NOTICE IS "COPYRIGHT MANAGEMENT INFORMATION" UNDER THE DIGITAL MILLENNIUM COPYRIGHT ACT AND IS INCLUDED TO POLICE AND DETER COPYRIGHT INFRINGEMENT AND MUST NOT BE REMOVED OR MODIFIED FROM ANY COPY OR DERIVATIVE OF THIS WORK.

Prototype Disk No.	Interim Revision	Page Revisions Date
2022		8/22/22

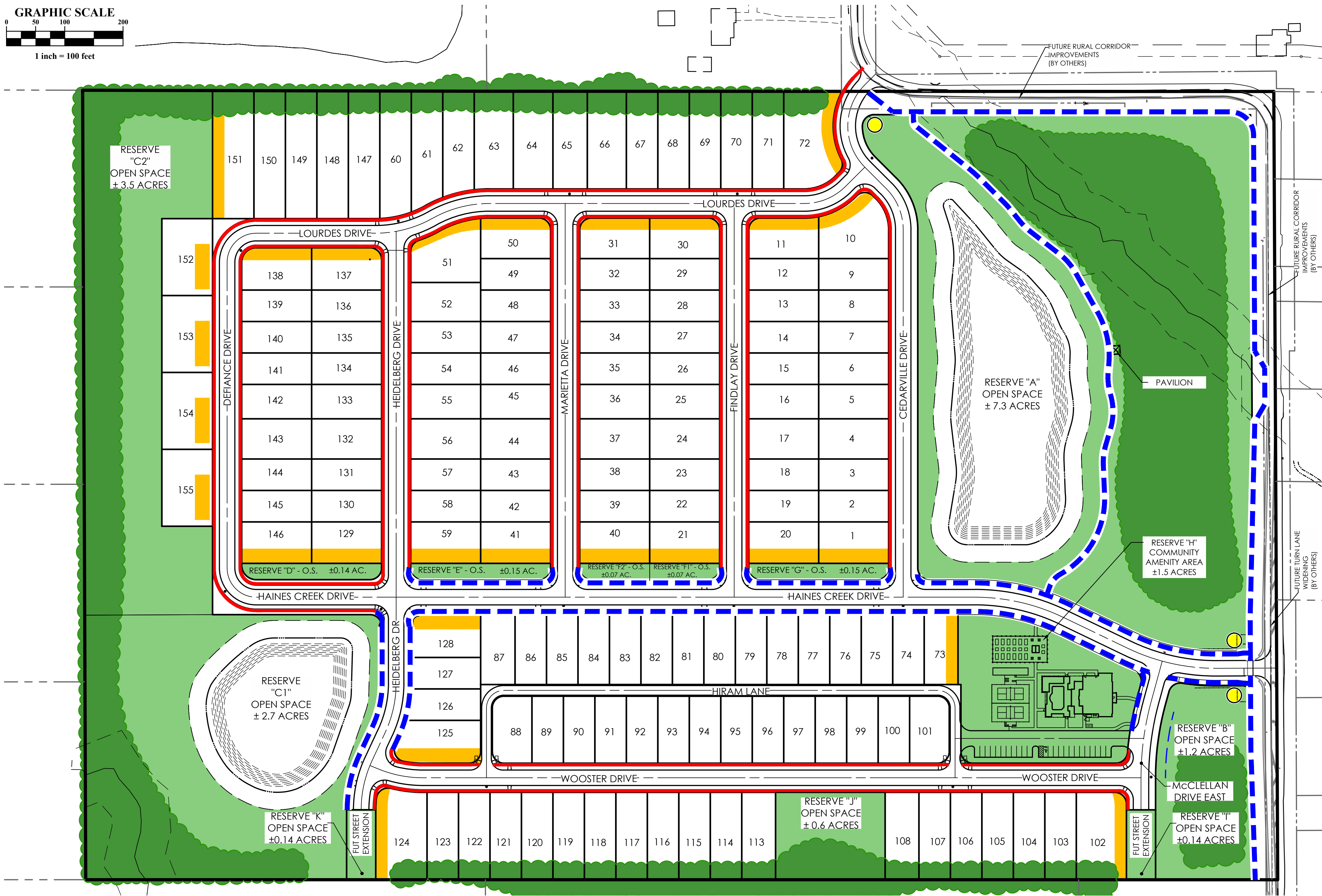
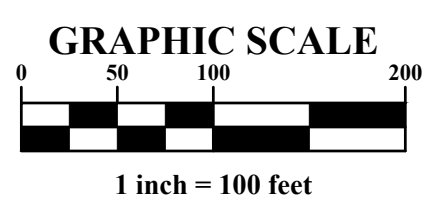
Architect Project Number

Community Dates & Revisions	
Date Originated	
Bid	
Permit	
Construction	
Revisions	
△	△
△	△
△	△

Drawing Title
Exterior Elevations

Architectural Style
Craftsman

Sheet Number
A.202
Clubhouse 'Large'



Open Space and Parkland	
Open Space and Parkland Required	21.02 ac ±
Open Space 63.5 X 20%	12.7 ac ±
Parkland 151 D.U. x 2400	8.32 ac ±
Open Space and Parkland Provided	17.66 ac ±
(Acreages are net of pond from top of bank.)	
Reserve A	7.30 ac ±
Reserve B	1.20 ac ±
Reserve C1, C2	6.20 ac ±
Reserves D, E, F1, F2, G	0.58 ac ±
Reserve H	1.50 ac ±
Reserve I, K	0.28 ac ±
Reserve J	0.60 ac ±
	3.36 ac ±
Reserve Ownership and Maintenance	
Reserves A, B, C1, C2, D, E, F1, F2, G, I, J, K	
Owned by the City of New Albany	
Active Areas Maintained by the HOA and Passive Areas Maintained by the City of New Albany	
Reserve H	
Owned + Maintained by the HOA	

LEGEND

- PROPOSED OPEN SPACE / PARKLAND
- 8' LEISURE TRAIL - ± 1.3 MILES
- 5' SIDEWALK - ± 2 MILES
- PROPOSED ENTRY FEATURE
- HOMES REQUIRING ENHANCED SIDE ARCHITECTURAL DETAILS (SEE ZONING TEXT FOR SPECIFIC REQUIREMENTS)

- Notes:
- Paths along Central College Road/Jug Street/Basin shown for reference only. Location subject to change based on coordination with the city.
 - Lot numbers 109-112 have been omitted.



PAVILION WITH SEATING



COMMUNITY GARDEN



COMMUNITY GARDEN



PATH AT POND



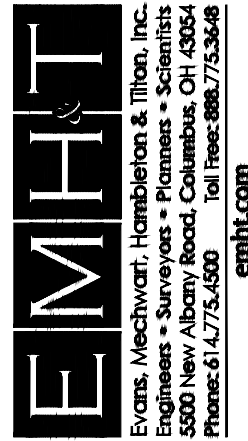
BOCCE COURT



PICKLEBALL COURT



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
THE COURTYARDS AT HAINES CREEK
OPEN SPACE & PEDESTRIAN CONNECTIVITY PLAN



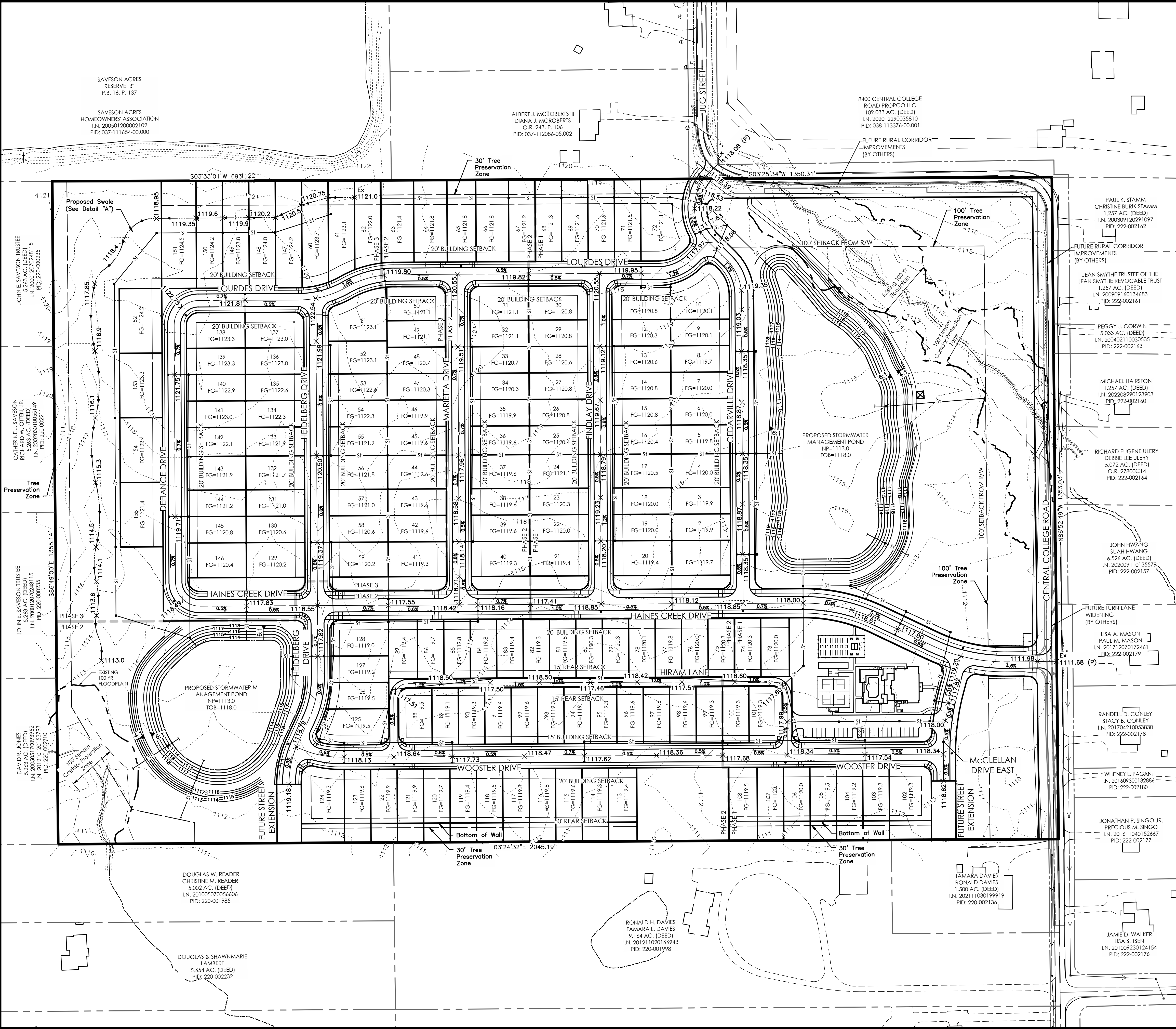
DATE
September 15, 2023

SCALE
AS NOTED

JOB NO.
20230578

SHEET

J:\20230578\Drawings\45Sheets\Final Development Plan\7 Master Grading Plan.dwg - Last Saved By: sherry, 9/15/2023 12:07 PM Last Printed By: Berry, Sydney, 9/15/2023 12:33 PM
1 Year: 20171086 - IS-REF-B 20171086 - TBK 20171086 - VS-1000-F

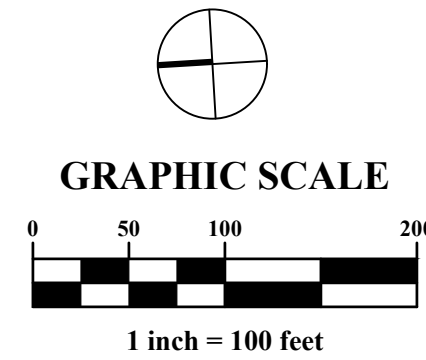


NORTHERN SWALE GRADING SECTION
DETAIL "A"

NOTE:
Grading, utilities, layout and easements are conceptual and subject to change during Final Engineering.

Paths along Central College Road/Jug Street/Basin shown for reference only. Location subject to change based on coordination with the city.

Lot numbers 109-112 have been omitted.



REVISIONS	
MARK	DATE DESCRIPTION



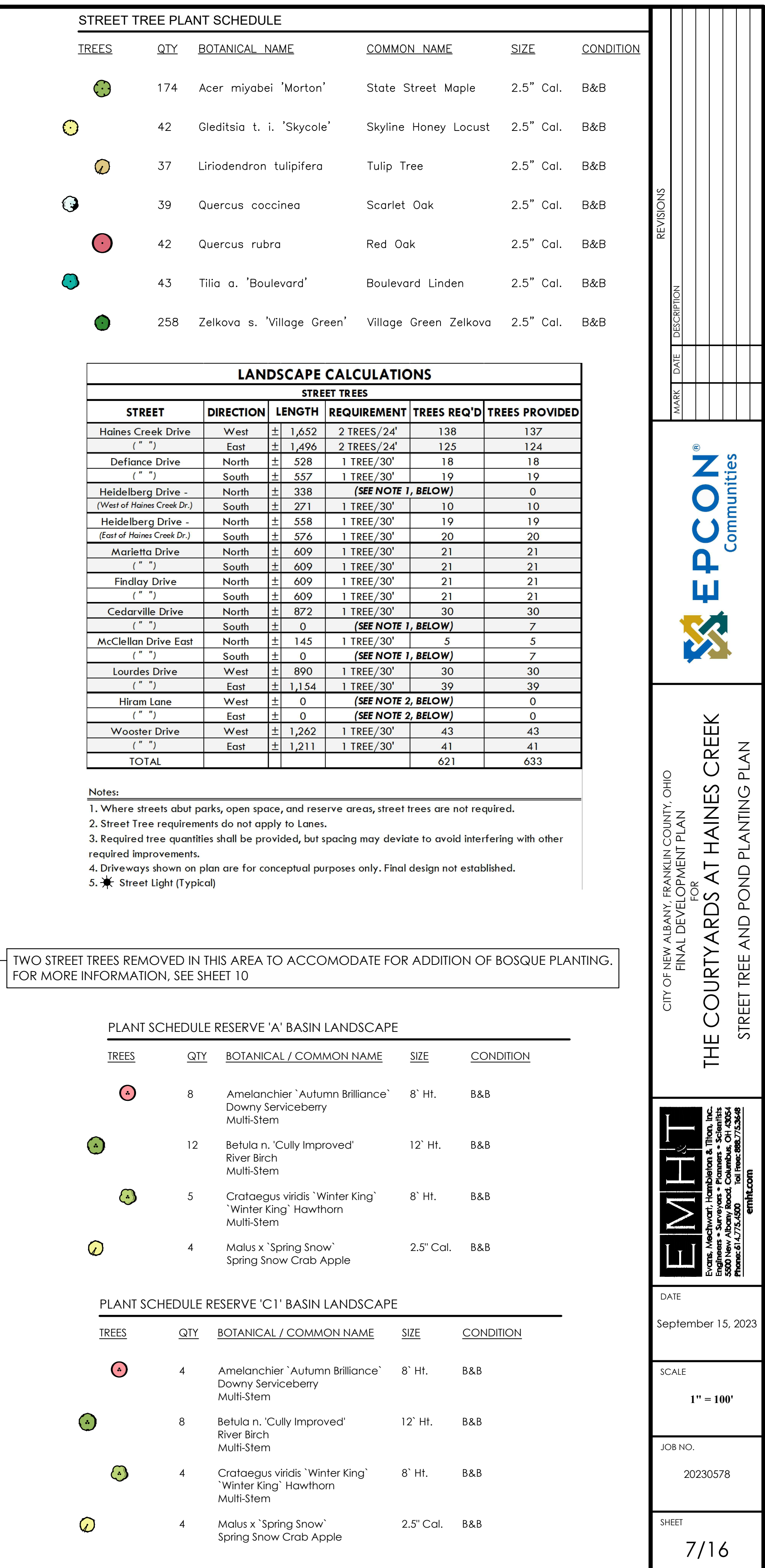
EPCON
Communities

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
THE COURTYARDS AT HAINES CREEK
MASTER GRADING PLAN

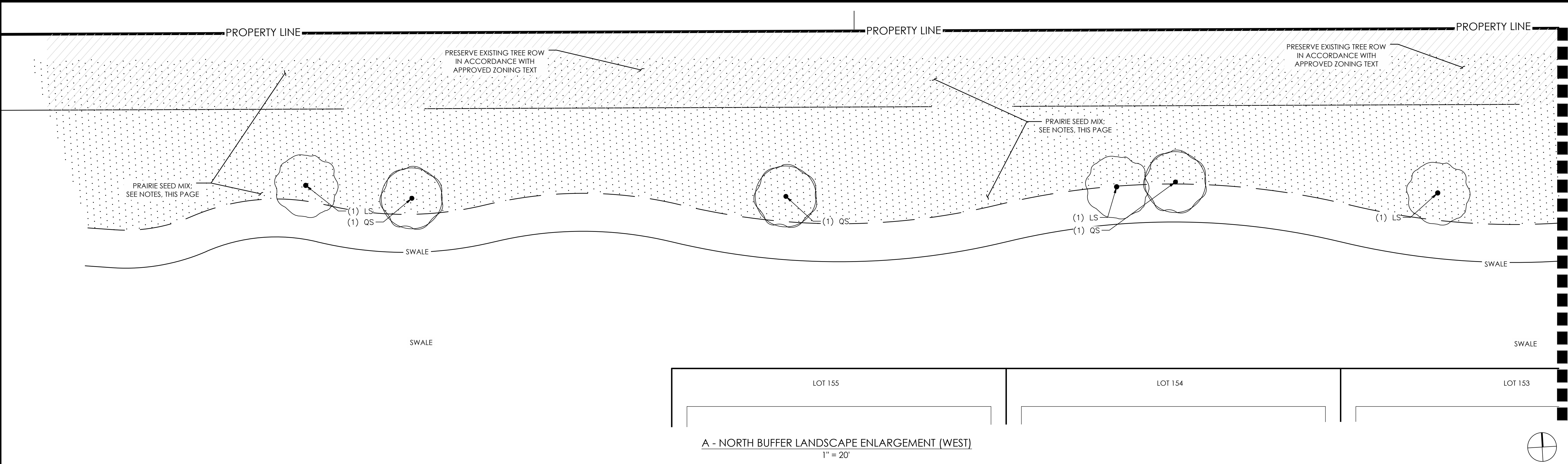


EMHT
Engineering, Mapping, and Technology, Inc.
5800 New Albany Road, Columbus, OH 43246
Phone: 614.775.5500 Fax: 614.775.5501
emht.com

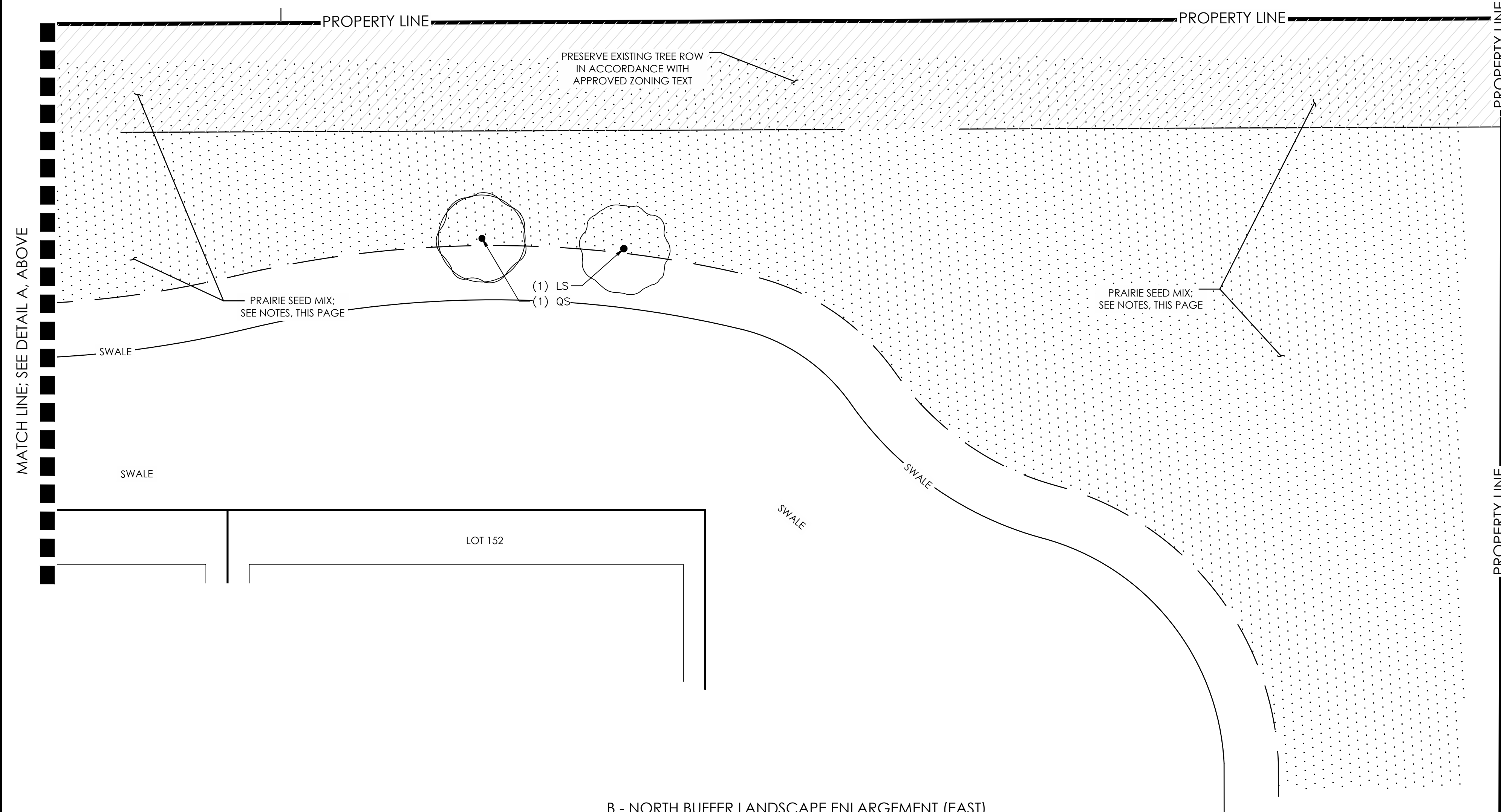
DATE	September 15, 2023
SCALE	1" = 100'
JOB NO.	20230578
SHEET	5/16



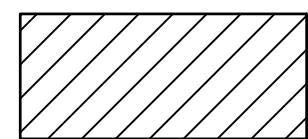
j:\20230578\Draw\04Sheets\final development plan\9 Buffer Landscape Enlargements.dwg, Last Saved By: Johnson, Joseph, 9/15/2023 12:24 PM
3 Years: 20171086 = LS=REF-B 20171086 = TBK 20171086-XS=10B0-F



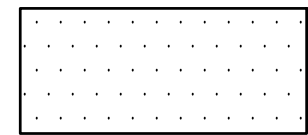
A - NORTH BUFFER LANDSCAPE ENLARGEMENT (WEST)
1" = 20'



B - NORTH BUFFER LANDSCAPE ENLARGEMENT (EAST)
1" = 20'



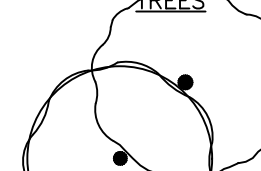

TREE PRESERVATION AREA



PRAIRIE SEED MIX

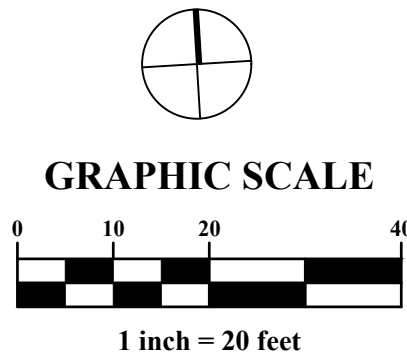
- Seed mixture shall be pre-mixed by manufacturer, Comprised of:
 - Aruba or Audobon Red Fescue
 - J5 Chewings Fescue
 - Ecostar Hard Fescue
 - Marco Polo Sheeps Fescue
 - Annual Ryegrass
- Contractor to review seed mix with owner prior to installation.

PLANT SCHEDULE NORTH BUFFER LANDSCAPE ENLARGEMENT

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	LS	4	Liquidambar styraciflua	American Sweet Gum	2" Cal.	B&B
	QS	4	Quercus shumardii	Shumard Oak	2" Cal.	B&B

NOTES:

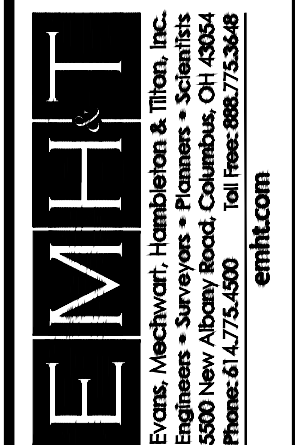
- Lot numbers 109-112 have been omitted.
- Per text commitments:
Within the area between the northern perimeter boundary line of this zoning district and extending southward to the upper limit of a drainage swale that will be installed within the large open space/reserve area in the northern portion of the site, the application of fertilizer or other lawn treatment chemicals shall be prohibited.



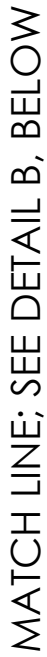
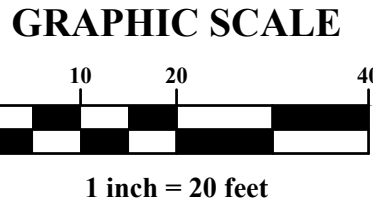
REVISIONS		
MARK	DATE	DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
THE COURTYARDS AT HAINES CREEK
NORTH BUFFER LANDSCAPE ENLARGEMENTS



DATE
September 15, 2023
SCALE
AS NOTED
JOB NO.
20230578
SHEET
8/16

 $1'' = 20'$  $1'' = 20'$  $1'' = 20'$ 

(See Tree Survey and Inventory,
Sheets 15 & 16, for more information)

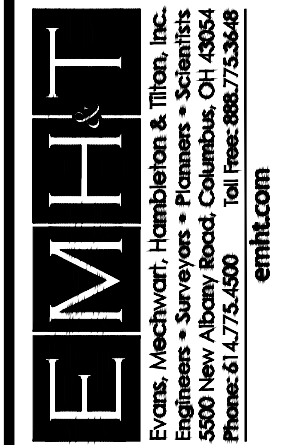
- NOTES:

1. Developer shall provide replacement trees based on the number of trees removed within the 30 foot buffer at a ratio of two trees for each tree removed. Replacement trees shall be a min. 2" caliper, native species, sourced from Central Ohio nurseries.
2. Tree removal is subject to City of New Albany Staff approval.
3. Replacement tree locations, as shown are conceptual, with final locations to be adjusted and placed in strategic locations to infill gaps after tree removal has occurred.
4. The applicant has the right to plant trees and shrubs on the adjacent parcel to achieve buffering if permission is obtained from the owner of the adjacent parcel.
5. Planting within the buffer area along the western property line is anticipated to occur prior to construction of the wall.
6. Lot numbers 109-112 have been omitted.

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN

FOR
THE COURTYARDS AT HAINES CREEK

WEST BUFFER LANDSCAPE FENI ARGEMENTS



DATE _____

September 15, 2023

SCALE

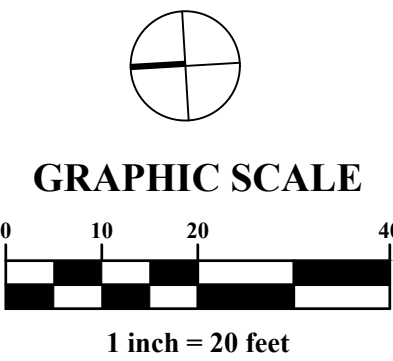
AS NOTED

JOB NO.

20230578

SHEET

9/16

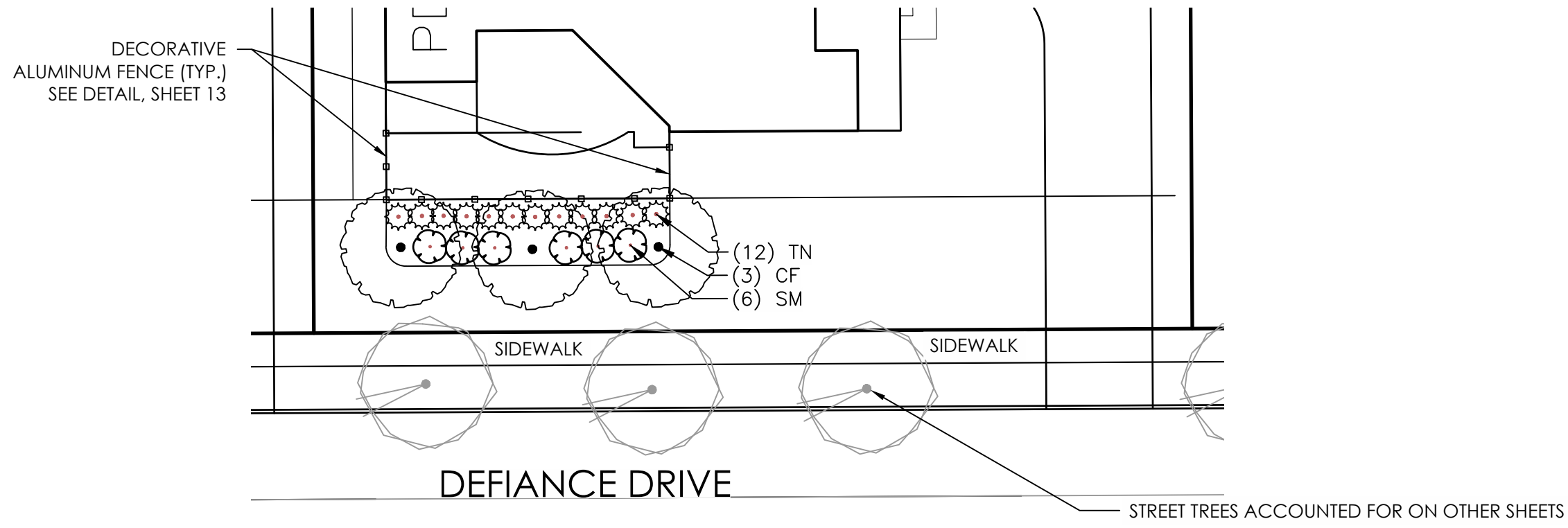


<u>REFS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>
CF	11	Carpinus b. 'Fastigiata'	Columnar Hornbeam	2.5" Cal.	B&B
CV	10	Crataegus viridis 'Winter King'	'Winter King' Hawthorn	8' Ht.	B&B
PM	4	Platanus x 'Morton Circle'	Exclamation London Plane	2.5" Cal.	B&B
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>
HA	16	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	36" Ht.	B&B
JT	2	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	5' Ht.	B&B
RY	13	Rosa x 'Radsunny'	Yellow Knock Out Rose	#3	Cont.
RR	13	Rosa x 'Radtko'	Red Double Knock Out Rose	#3	Cont.
RW	12	Rosa x 'Radwhite'	White Knock Out Rose	#3	Cont.
SM	13	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24" Ht.	B&B or Cont.
TN	40	Taxus c. var. 'Nana'	Dwarf Japanese Yew	24" Ht.	B&B
TX	78	Taxus x media 'Hicksii'	Hicks Yew	36" Ht. min.	B&B
VJ	13	Viburnum x juddii	Judd Viburnum	36" Ht.	B&B
<u>PERENNIALS/ORN. GRASSES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>
AG	28	Astilbe x arendsii 'Glut'	Red Astilbe	#1	Cont.
CK	62	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2	Cont.
EF	41	Echinacea purpurea 'Fragrant Angel'	Fragrant Angel Coneflower	#1	Cont.
EK	24	Echinacea purpurea 'Kim's Knee High'	Kim's Knee High Coneflower	#1	Cont.
HH	7	Hosta x 'Halcyon'	Halcyon Hosta	#1	Cont.
HR	8	Hosta x 'Regal Splendor'	Regal Splendor Hosta	#1	Cont.
LB	66	Liriope muscari 'Big Blue'	Big Blue Lilyturf	#1	Cont.
LS2	43	Liriope muscari 'Silvery Sunproof'	Silvery Sunproof Lilyturf	#1	Cont.
PB	25	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	#1	Cont.
SA	44	Sedum x 'Herbstfreude'	Autumn Joy Sedum	#1	Cont.
<u>ANNUALS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>
AN	91	Annuaals Area	Annuaals (12" O.C.)	Mass	

1. All dimensions as shown hereon are approximate and will be confirmed with Final Engineering.

J:\20230578\Dwg\04Sheets\final development plan\11 Amenity Area.dwg, Last Saved By: jjohnson, 9/15/2023 1:50 PM Last Printed By: Johnson, 9/15/2023 1:51 PM

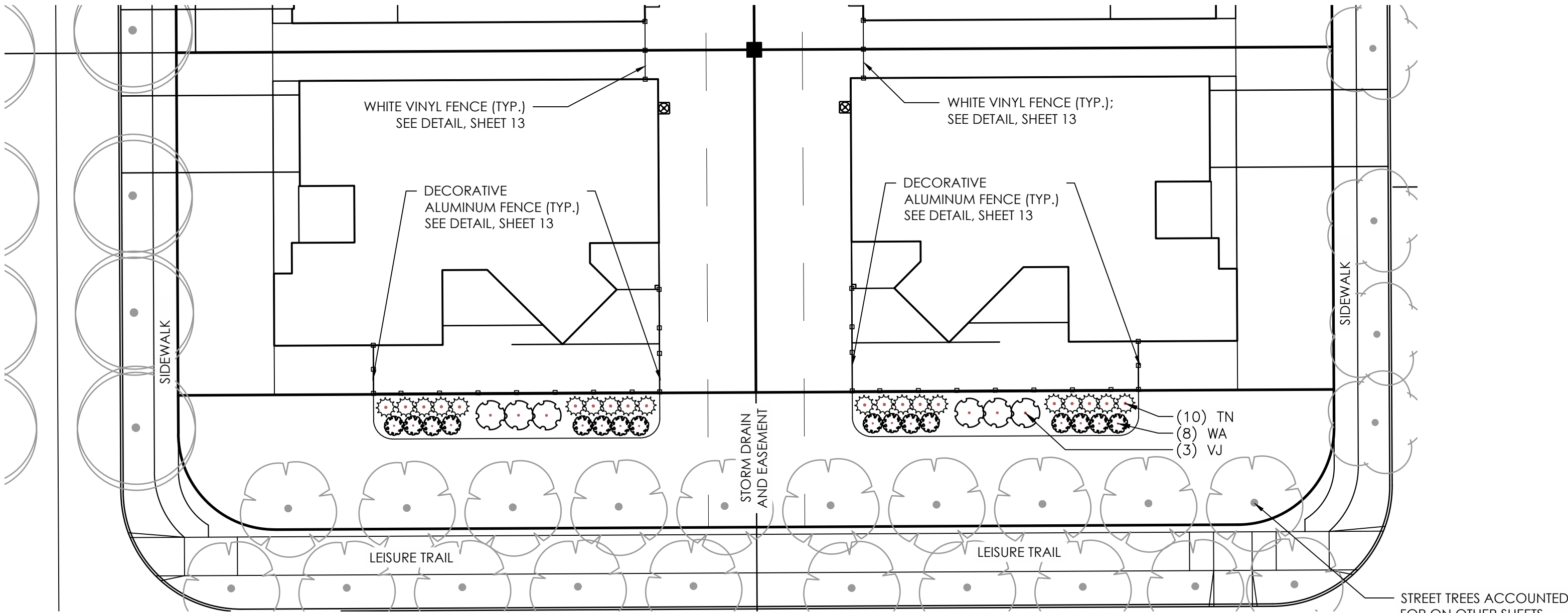
j:\20230578\Drawings\04\Sheets\final development plan\0 Buffer Landscape Enlargements.dwg, Last Saved By: Johnson, Joseph, 9/15/2023 12:24 PM
3 Years: 20171086 = TBLK 20171086-XS=10B0-F
15-REF-B 20171086 = TBLK 20171086-XS=10B0-F



SIDE-LOAD FRONT YARD LOT LANDSCAPE ENLARGEMENT
(TYPICAL OF LOTS 152, 153, 154, & 155, ON NORTH SIDE OF DEFIANCE DRIVE)
1" = 20'

PLANT SCHEDULE SIDE LOAD FRONT YARD LOT LANDSCAPE (TYPICAL OF LOTS LISTED ABOVE)

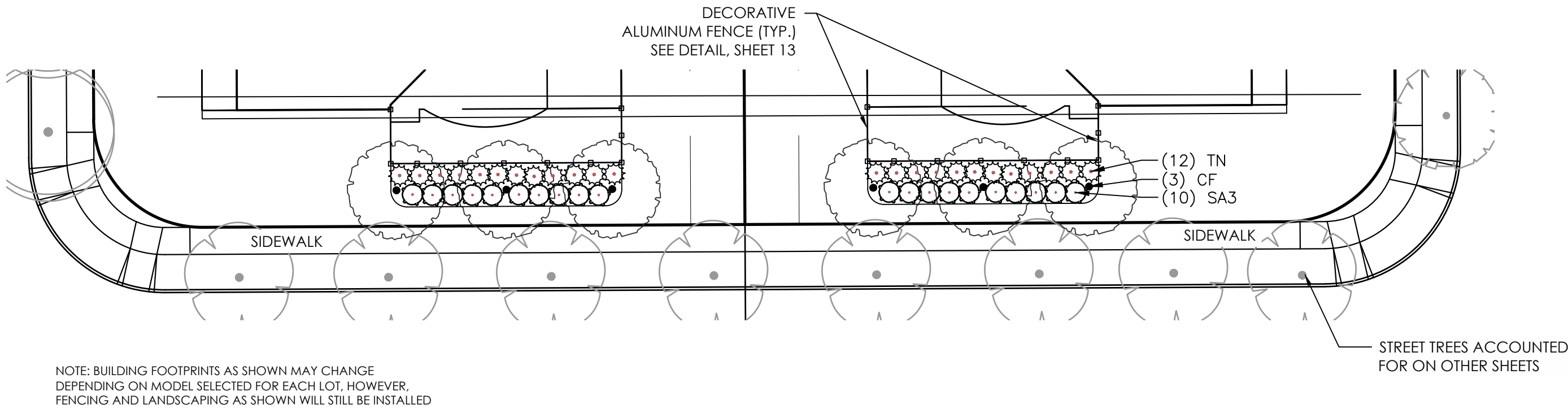
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
CF	3	Carpinus b. 'Fastigiata'	Columnar Hornbeam	2.5" Cal.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
SM	6	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24" Ht.	B&B or Cont.
TN	12	Taxus c. var. 'Nana'	Dwarf Japanese Yew	24" Ht.	B&B



HAINES CREEK DRIVE LOT LANDSCAPE ENLARGEMENT
(TYPICAL OF LOTS 1, 20, 21, 40, 41, 59, 73, 128, 129, & 146 ALONG HAINES CREEK DRIVE)
1" = 20'

PLANT SCHEDULE HAINES CREEK DRIVE LOT LANDSCAPE (TYPICAL OF LOTS LISTED ABOVE)

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
TN	10	Taxus c. var. 'Nana'	Dwarf Japanese Yew	24" Ht.	B&B
VJ	3	Viburnum x juddii	Judd Viburnum	36" Ht.	B&B
WA	8	Weigela f. 'Alexandra'	Wine & Roses Weigela	24" Ht.	B&B or Cont.

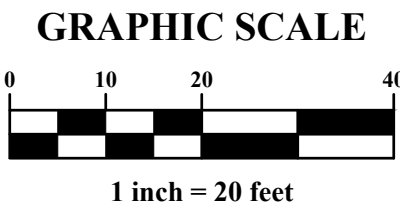


SIDE YARD LOT LANDSCAPE ENLARGEMENT
(TYPICAL OF LOTS 10, 11, 30, 31, 50, 51, 72, 102, 124, 125, 137, & 138 ALONG; SEE SITE PLAN FOR LOCATIONS)
1" = 20'

PLANT SCHEDULE SIDE YARD LANDSCAPE (TYPICAL OF LOTS LISTED ABOVE)

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
CF	3	Carpinus b. 'Fastigiata'	Columnar Hornbeam	2.5" Cal.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
SA3	10	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	18" Ht.	B&B or Cont.
TN	12	Taxus c. var. 'Nana'	Dwarf Japanese Yew	24" Ht.	B&B

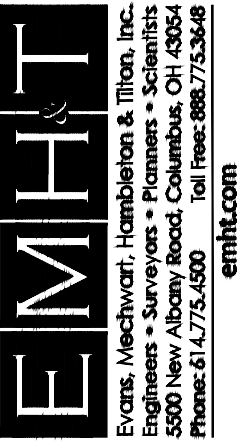
- Notes:
- All dimensions as shown hereon are approximate and will be confirmed with Final Engineering.
 - Lot numbers 109-112 have been omitted.
 - Building footprints as shown may change, depending on model selected for each lot; however, fencing and landscaping as shown will still be installed.



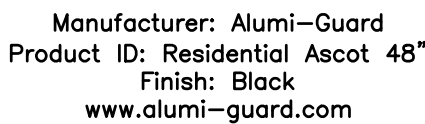
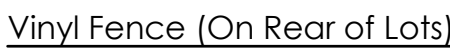
REVISIONS	DATE	DESCRIPTION
MARK		



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
THE COURTYARDS AT HAINES CREEK
TYPICAL LANDSCAPE DETAILS



DATE	September 15, 2023
SCALE	AS NOTED
JOB NO.	20230578
SHEET	12/16



AC Screening Detail
N.T.S.

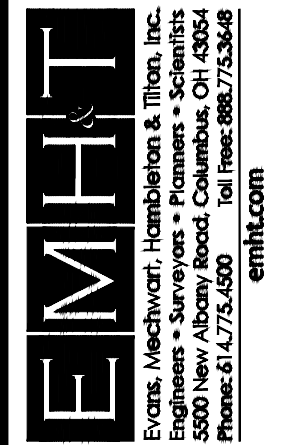
Notes (Per Text):

1. Typical of all lots that back to the western perimeter boundary line and Lots 63-72 .
2. Air conditioning units are to be screened from view of adjacent properties to the rear of those lots.

[illegible]CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN

THE COURTYARDS AT HAINES CREEK

TYPICAL LANDSCAPE DETAILS



DATE
September 15, 2023

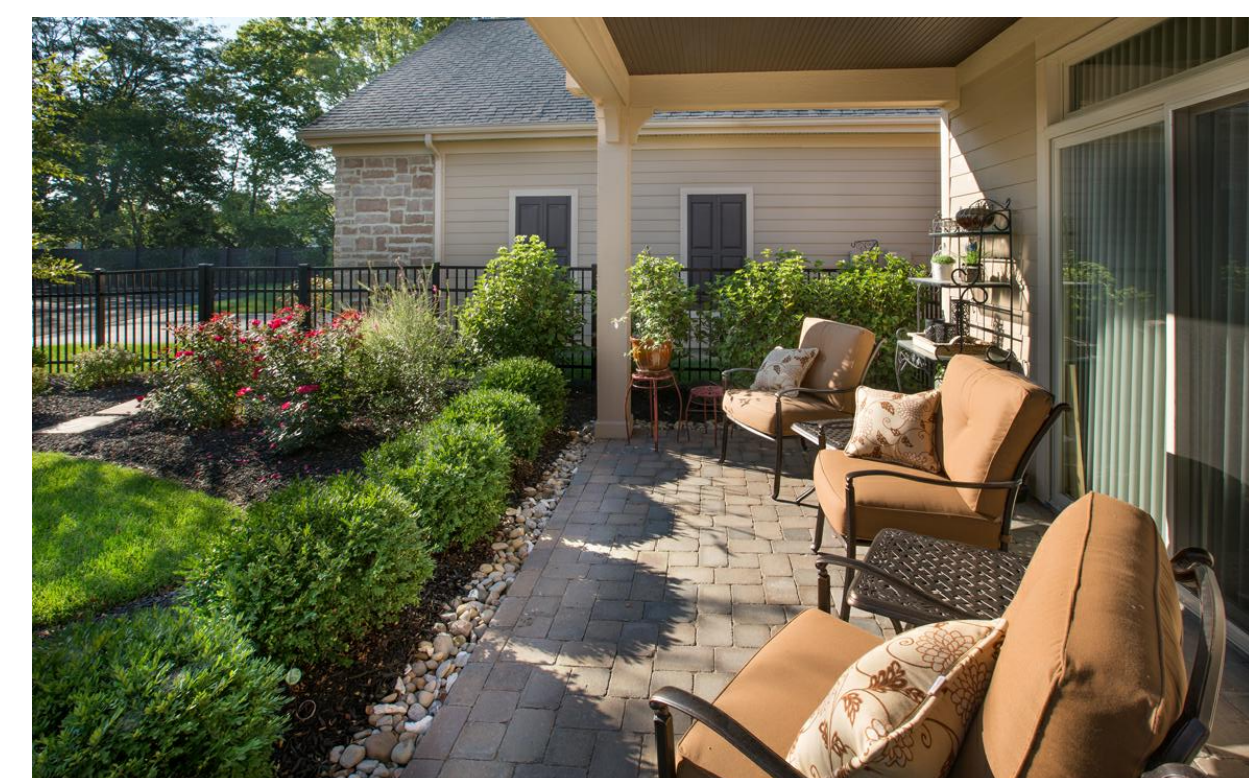
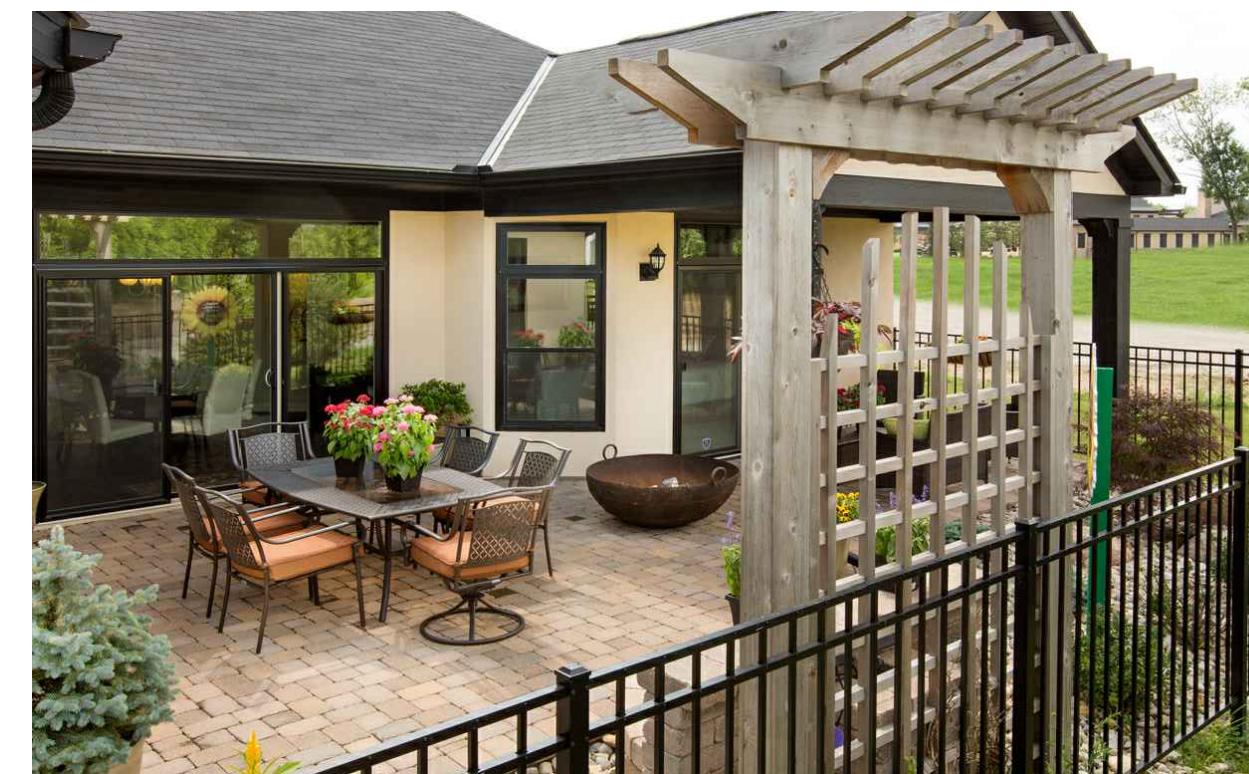
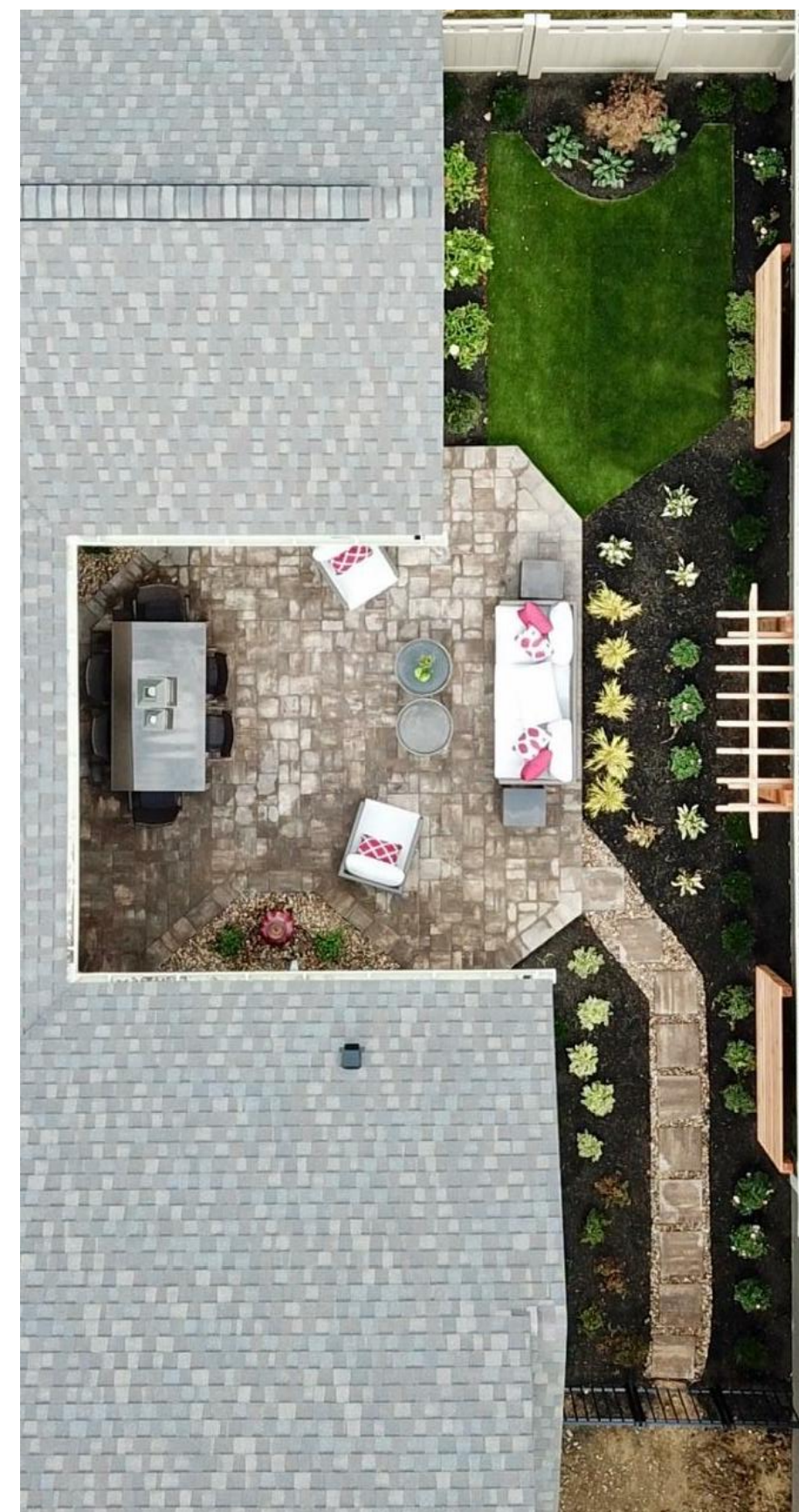
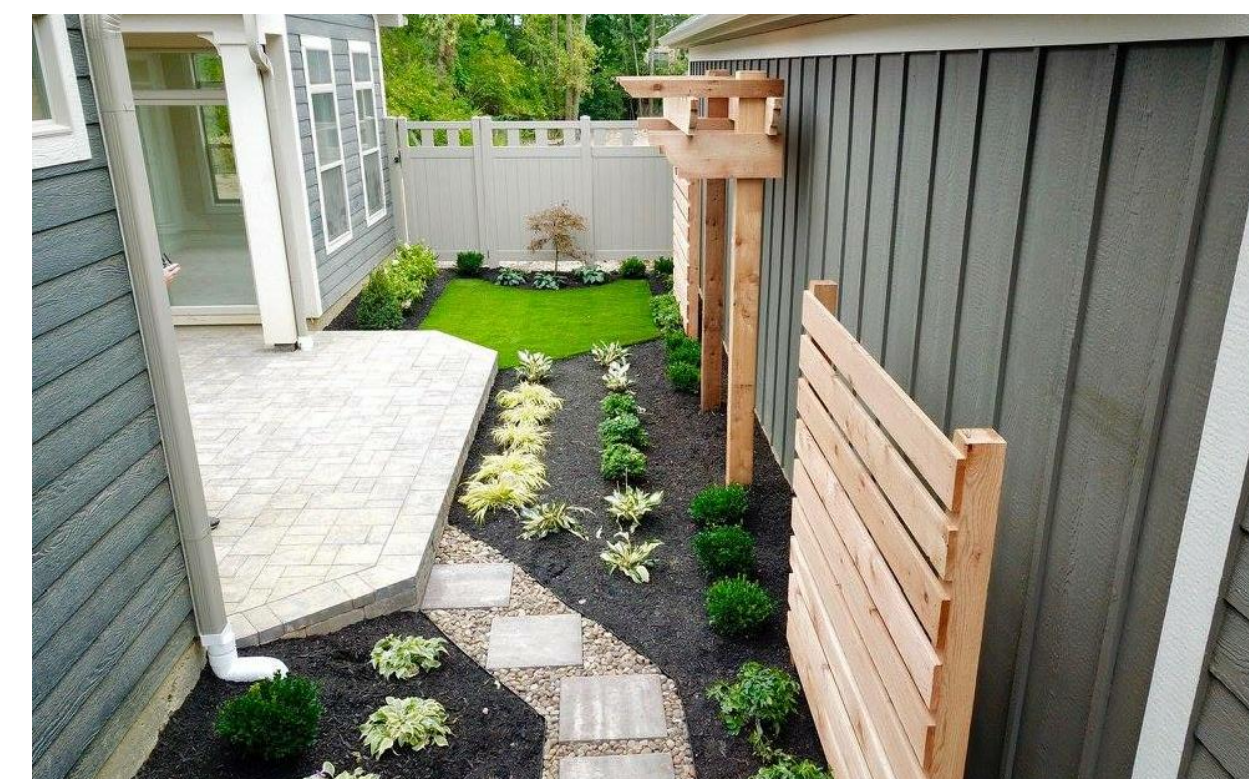
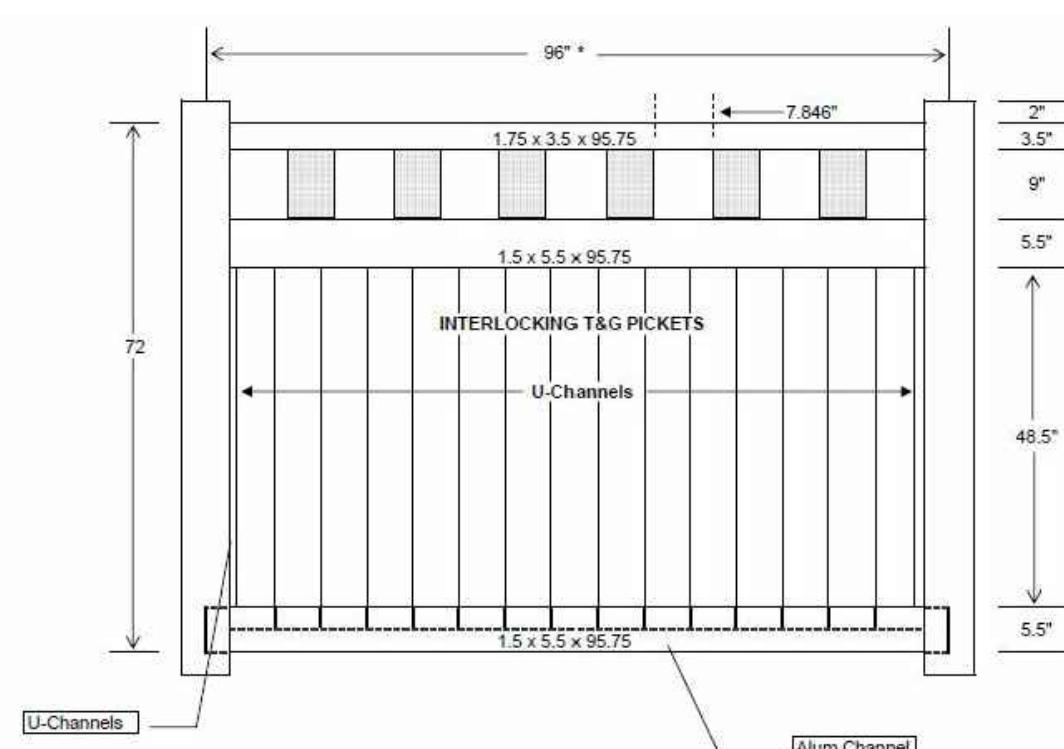
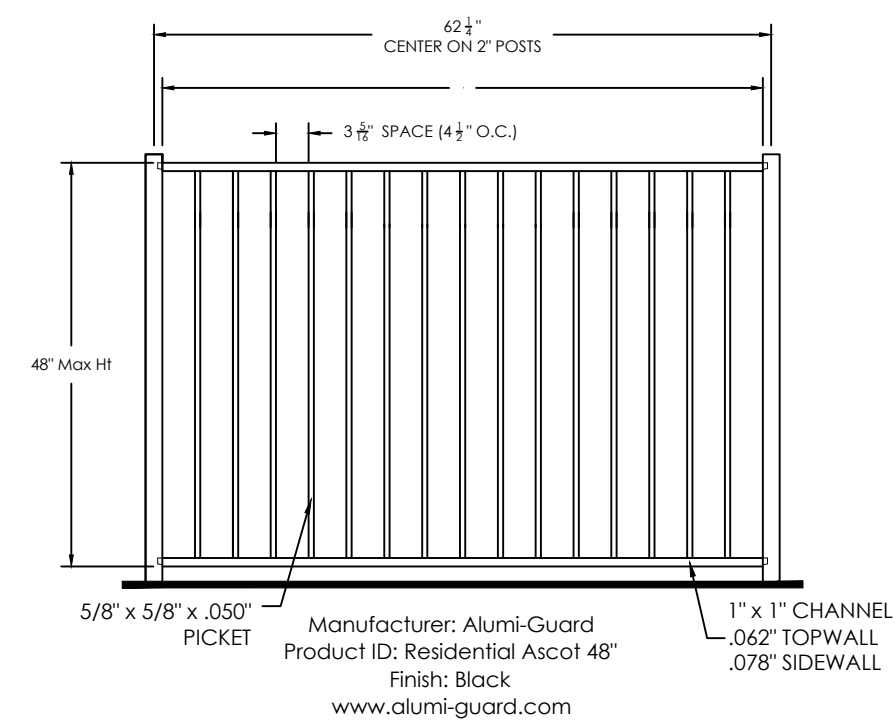
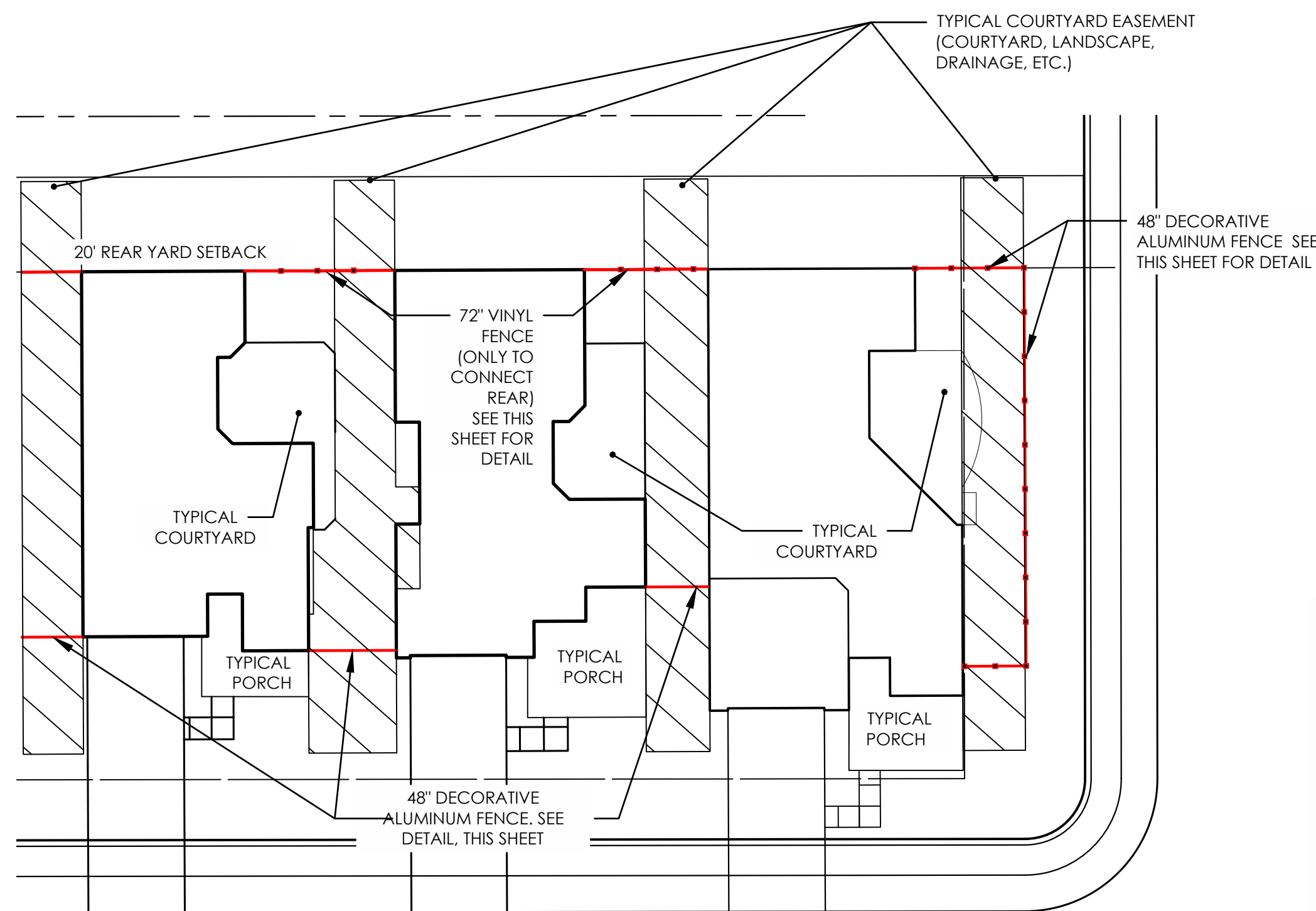
SCALE

AS NOTED

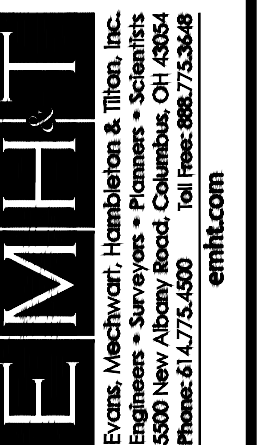
JOB NO.
20230578

SHEET

13/16

[illegible]

THE COURTYARDS AT HAINES CREEK
FOR
CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
COURTYARD CONCEPTS



DATE
September 15, 2023

SCALE

AS NOTED

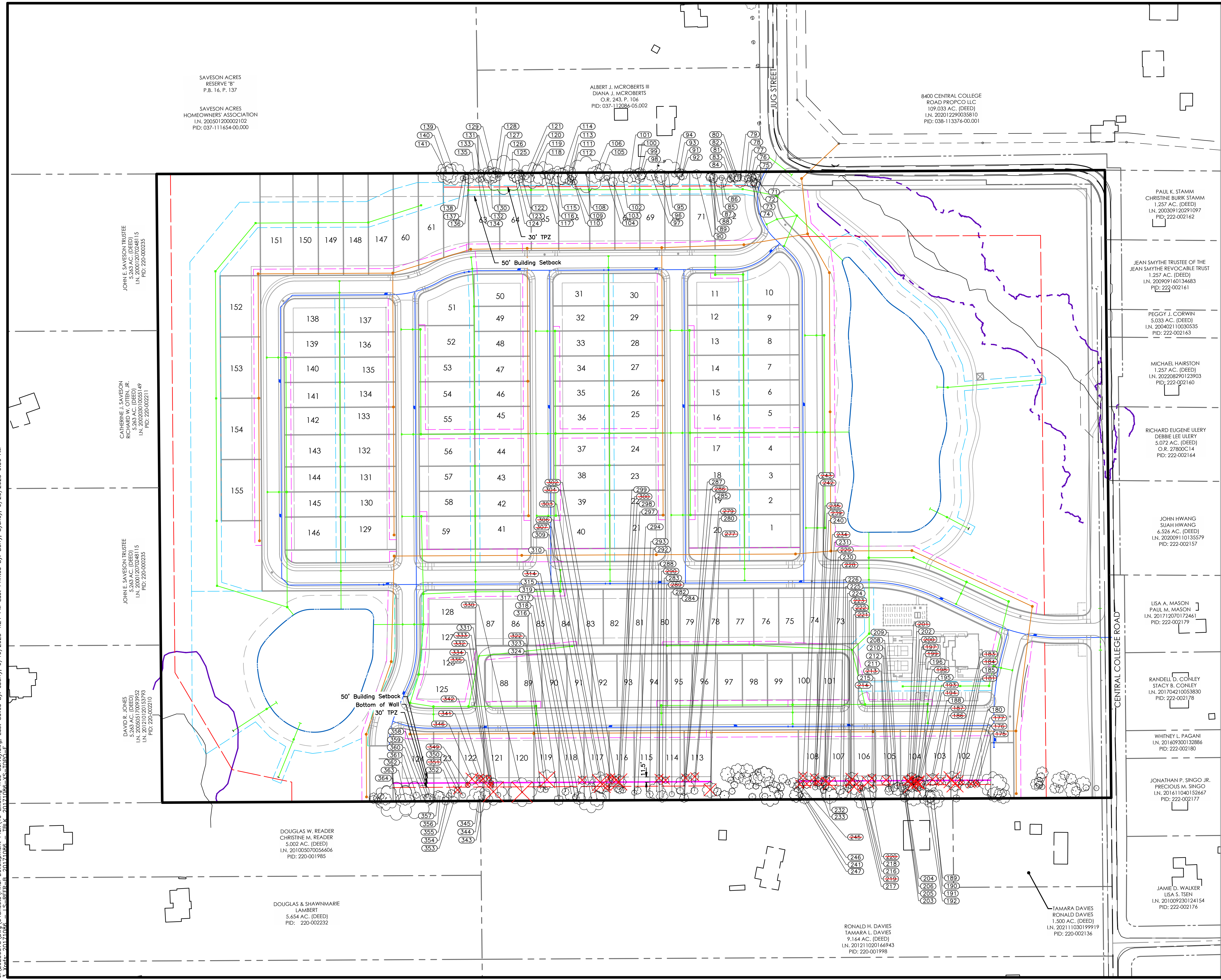
OB NO.
20230578

14/16

LEGEND

- St CB MH Proposed Storm Sewer
- Sa MH Proposed Sanitary Sewer
- WM Proposed Watermain
- Proposed Utility Easement
- Proposed Drainage Easement

Note:
1. Paths along Central College Road/Jug Street/Basin shown for reference only. Location subject to change based on coordination with the city.



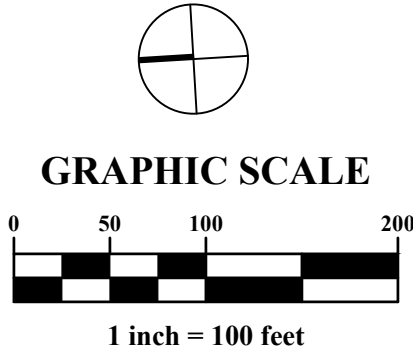
REVISIONS		
MARK	DATE	DESCRIPTION


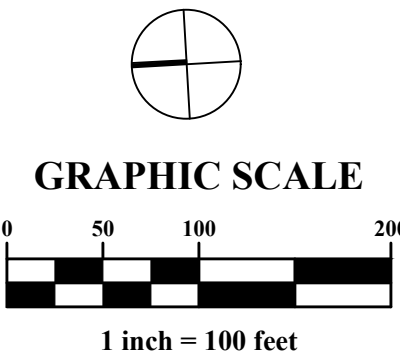


CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
THE COURTYARDS AT HAINES CREEK
EXISTING TREE SURVEY

EMHT
E.M.H. & M.H.T. Inc.
Engineers - Surveyors - Planners - Scientists
5800 New Albany Road, Columbus, OH 43244
Phone: 614.775.5500 Fax: 614.775.5501
emht.com

DATE
September 15, 2023
SCALE
1" = 100'
JOB NO.
20230578
SHEET





EPCON[®]
Communities

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
THE COURTYARDS AT HAINES CREEK
EXISTING TREE SURVEY
INCLUDES TREES OFFSITE & OUTSIDE 50' REAR SETBACK

EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Fax: 668.753646
emht.com

DATE
September 15, 2023

SCALE

1" = 100'

JOB NO.
20230578

SHEET

1 / 1

