

New Albany Planning Commission Agenda

Monday, November 20, 2023 7:00pm

Members of the public must attend the meeting in-person to participate and provide comment at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at https://newalbanyohio.org/answers/streaming-meetings/

- I. Call to order
- II. Roll call
- **III.** Action on minutes: October 16, 2023

IV. Additions or corrections to agenda

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

- V. Hearing of visitors for items not on tonight's agenda
- VI. Cases:

FDP-77-2023 Final Development Plan

Final development plan to allow for construction of a CME Credit Union with a drivethrough and Crimson Cup Coffee Shop on 2.03 acres located at the southwest corner of Beech Road and Smiths Mill Road (PID: 093-106512-00.00).

Applicant: Brian Wellert

Motion of acceptance of staff reports and related documents into the record for FDP-77-2023.

Motion of approval for application FDP-77-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VAR-79-2023 Variances

Variance to eliminate the requirement that there be active and operable doors on the Beech Crossing elevation; associated with a final development plan application for a CME Credit Union with a Crimson Cup Coffee Shop development generally located at the southwest corner of Beech Road and Smiths Mill Road (PID: 093-106512-00.00).

Applicant: Brian Wellert

Motion of acceptance of staff reports and related documents into the record for VAR-79-2023.

Motion of approval for application VAR-79-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VAR-89-2023 Variances

Variances to C.O. 1154.12(b)(3) to allow both outdoor storage and indoor storage of hazardous materials to encroach into the setback where code requires such material to be at least 200 feet from all property lines at 3195 Harrison Road (PID: 095-111732-00.000, 095-111564-00.000).

Applicant: Tuan Q. Luu with MDG Architecture Interiors on behalf of Rinchem Company LLC

Motion of acceptance of staff reports and related documents into the record for VAR-89-2023.

Motion of approval for application VAR-89-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VAR-104-2023 Variances

Variances to the Reserve at New Albany PUD text and plat to allow a home extension to encroach into the rear setback and conservation easement, and to allow a paver patio to encroach into a conservation easement at 7823 Calverton Square (PID: 222-001816).

Applicant: The Columbus Architectural Studio on behalf of Thad and Susanne Perry

Motion of acceptance of staff reports and related documents into the record for *VAR-104-2023*.

Motion of approval for application VAR-104-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

CU-105-2023 Conditional Use

Request for a conditional use permit to operate a school located at 7527 and 0 West Campus Road and 6005 Nacot Place (PIDs: 222-002055, 222-004975, 222-004626).

Applicant: Cornerstone Academy Community School, c/o Aaron Underhill, Esq.

Motion of acceptance of staff reports and related documents into the record for CU-105-2023.

Motion of approval for application CU-105-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

CU-108-2023 Conditional Use

Request for a conditional use permit to operate a model home located at 7215 Steeple Chase Lane N (PID: 222-005343).

Applicant: Bob Webb Woodhaven, LLC, c/o Kirk Denyes

Motion of acceptance of staff reports and related documents into the record for CU-108-2023.

Motion of approval for application CU-108-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

CU-109-2023 Conditional Use

Request for a conditional use permit to operate a model home located at 7390 Haven Green Lane (PID: 222-005319).

Applicant: Bob Webb Woodhaven, LLC, c/o Kirk Denyes

Motion of acceptance of staff reports and related documents into the record for CU-109-2023.

Motion of approval for application CU-109-2023 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

- VII. Other business
- VIII. Poll members for comment
- IX. Adjournment



New Albany Planning Commission

October 16, 2023 Meeting Minutes - DRAFT

I. Call to order

The New Albany Planning Commission held a regular meeting on Monday, October 16, 2023 in the New Albany Village Hall. Chair Kirby called the meeting to order at 7:06 p.m., and asked to hear the roll.

II. Roll call

Those answering roll call:

Mr. Kirby present
Mr. Wallace present
Mr. Schell present
Ms. Briggs present
Mr. Larsen present
Council Member Brisk present

Having all voting members present, the commission had a quorum to transact business.

Staff members present: Law Director Albrecht, Engineer Albright, Planning Manager Mayer, Planner Nichols, Deputy Clerk Madriguera.

III. Action on minutes: September 18, 2023

Chair Kirby asked whether there were any corrections to the minutes from the meeting on September 18, 2023.

Hearing none, Commissioner Wallace moved for approval of the September 18, 2023 meeting minutes as submitted. Commissioner Briggs seconded the motion.

Chair Kirby asked for discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Wallace yes; Ms. Briggs yes; Mr. Larsen abstain; Mr. Kirby yes; Mr. Schell yes. Having four votes in favor, the September 18, 2023 meeting minutes were approved as submitted.

IV. Additions or corrections to agenda

Chair Kirby asked whether there were any additions or corrections to the agenda.

Planner Nichols said yes. She stated that, as the commission had read in the staff report, the application for Haines Creek was incomplete. As a result, the applicant has requested that their applications scheduled for consideration and public hearing on tonight's agenda, FDP-87-2023, FPL-88-2023, FPL-91-2023, FPL-92-2023, be tabled until the November 20, 2023 meeting.

Chair Kirby asked staff to compare the staff report to the minutes from the meeting approving the initial development plan. He recalled that there was quite a bit of discussion regarding the spacing of the street trees, and that the commission imposed a condition requiring tighter spacing of the trees. He observed that the staff report for the final development plan did not seem to incorporate that condition.

Planer Nichols stated that she would check on that.

Chair Kirby asked whether the applications could be tabled with one motion, or whether the applications needed to be tabled individually.

Planning Manager Mayer replied that they could all be tabled together.

Chair Kirby moved to table the final development plan and three final plats, FDP-87-2023, FPL-88-2023, FPL-91-2023, and FPL-92-2023, until the November 20, 2023 meeting. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Schell yes; Mr. Larsen yes; Mr. Wallace yes; Ms. Briggs yes. Having five yes votes the applications were laid upon the table until the November 20, 2023 meeting.

V. Hearing of visitors for items not on tonight's agenda

Chair Kirby asked whether there were any visitors present who wished to address the commission for an item that was not on tonight's agenda.

Jim Rufo, 9175 Lee Hall Court. Mr. Rufo stated that he lives in the Tidewater community and he was concerned about the Haines Creek development along the Jug Road intersection.

Chair Kirby asked Mr. Rufo to pause briefly. Chair Kirby then administered the oath to all present who would be addressing the commission.

Mr. Rufo stated that he had two main concerns about the development. First was the street traffic. The intersection of Central College Road and Jug Road is a tight turn. The amount of large dump trucks and semi-tractor trailers has increased as the result of Intel construction. The dump trucks move quickly, and there have been semis that have turned around and, in the process, they have destroyed lamp posts and grass. He stated that he did not feel this location was suited for a 151-home development because it could increase traffic by 300 more cars. He was interested to know whether a road study has been conducted. He also noted the recent uptick in crime. He had heard that this development was supposed to connect to Tidewater via McClellan but was not sure and would like to understand more about that. He saw no indication for sidewalks or trails. He continued that his first ask was for a redesign of Central College and Jug Road, and that the redesign should include, at a minimum, sidewalks and turn lanes and bike lanes. This would promote the healthy lifestyle of New Albany. His second ask was for a No Truck sign on Central College east of 62. The other main concern was the park space. He explained that Tidewater does not have any park space and now this development was being proposed without providing sufficient space. And the fee in lieu of the park space was not the fair market value of the land. His ask here was that the developer be made to follow the strategic plan and comply with parkland and open space requirements, and to provide sidewalks along Central College.

Chair Kirby responded that city staff is available to go over the fine details of the issues he raised. He continued that he believed that there were paths and sidewalks along Central College Road.

Planning Manager Mayer confirmed that was correct.

Chair Kirby continued, regarding the portions of frontage with no sidewalks, that those portions of land are private property not owned by the city. Until and unless the city is granted the land, it cannot install a path or sidewalk. The city's goal is that all new developments have sidewalks/paths. Thus, he explained that now there are multiple fragments of paths that lead nowhere but as the city is granted land and with new development the fragments will connect. Chair Kirby speculated that fair market value of the land for the fee in lieu was the reason these applications were tabled. He encouraged Mr. Rufo to chat with staff and elected officials regarding the acquisition of green space for Tidewater; and on the issue of connecting with Tidewater he explained that the plan is to connect with the next lot over and to minimize curb cuts. He added that city staff could speak to the issue of adding sidewalks across private property, but nothing would happen until the city was granted permission or the land.

Planning Manager Mayer gave Mr. Rufo his card.

Aaron Underhill, 8000 Walton Parkway, applicant in the Haines Creek applications approached the lectern. He apologized for the inconvenience and let the commission know that he could not attend the meeting on November 20, 2023, however he was able to attend on December 4, 2023. He requested that the commission reconsider their decision to table the applications until November 20, 2023 and further requested that the applications be tabled until the December 4, 2023 meeting.

Chair Kirby asked Law Director Albrecht whether Mr. Underhill had provided new information that was unavailable to the commission at the time of their initial consideration of the motion to table. Law Director Albrecht replied yes.

Chair Kirby asked whether there were any other visitors present who wished to speak on an item not on tonight's agenda, including items laid upon the table.

Hearing none, Chair Kirby moved to reconsider the commission's decision to table the Haines Creek applications, FDP-87-2023, FPL-88-2023, FPL-91-2023, FPL-93-2023, until the November 20, 2023 meeting. Commissioner Larsen seconded the motion.

Chair Kirby asked if there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Larsen yes; Mr. Schell yes; Mr. Wallace yes; Ms. Briggs. Having five yes votes, the motion for reconsideration was granted.

Commissioner Wallace moved to table the Haines Creek applications, FDP-87-2023, FPL-88-2023, FPL-91-2023, FPL-93-2023, until the December 4, 2023 meeting. Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Wallace yes; Ms. Briggs yes; Mr. Kirby yes; Mr. Larsen yes; Mr. Schell yes. Having five yes votes, the Haines Creek applications were laid upon the table until the meeting on December 4, 2023.

VI. Cases:

FDP-84-2023 Final Development Plan Amendment

Final development plan amendment to allow for site circulation modifications to a previously approved carry-out food and beverage establishment with a drive-through facility on approximately 2+/- acres located immediately north of Johnstown Road and

generally south of the intersection at Bevelhymer Road and Walton Parkway (PID: 222-004463).

Applicant: Prime AE Group, c/o Steve Fox

Planner Nichols delivered the staff report. As part of the staff presentation Planner Nichols also stated that one thing not brought up in the written staff report is the need for a cross-access easement along the new two-way drive. Staff recommends that the planning commission require this cross-access easement.

Chair Kirby confirmed that staff was requesting a third condition, a cross access easement, that was not in the staff report.

Planner Nichols stated yes.

Chair Kirby asked to hear from engineering.

Development Engineer Albright delivered the engineering report.

Commissioner Wallace clarified that the staff report had a five-foot shortening distance that was not present in the engineering memo. He wanted to clarify that the condition should specify five feet. He further noted that the condition in the staff report regarding the southern curb cut did not include the use of signage prohibiting U-turns from the north drive aisle as stated in the engineering comments.

Planner Nichols answered yes and stated she would include those items in the Record of Action.

Chair Kirby asked to hear from the applicant.

Applicant Steve Fox, Civil Engineer 8415 Pulsar Place 43230, spoke in support of the application and explained that the modifications were intended to improve circulation and that he agreed with the conditions in the staff report. He stated that at this time they were uncertain about what would happen with the property to the north.

Commissioner Schell asked Mr. Fox whether he owned both parcels.

Mr. Fox replied that it was actually one parcel, but it may be split in the future. He further stated that in the event the lot was split, they had no problem providing the cross-access easement.

Chair Kirby requested that staff note that in order to be sure that the cross easement is added as a condition of approval of an application for the lot split.

Planning Manager Mayer replied that it was a good idea to make that a condition of approval, and that staff will work with the applicant.

Chair Kirby asked who was responsible for the maintenance on the shared private drives, and asked whether it was monetarily split.

Mr. Fox replied that he thought it was pro-rated among the property owners.

Greg Munster, the owner of the Wealth Center at 9835 Johnstown Road, stated that he was not sure about that. He stated that he is concerned about the maintenance of the private drives in this area and was hopeful that the business park will take over the maintenance; he has reached out the NACO and they are considering it. The traffic has changed, the ingress and egress has changed and he was concerned about the cost of

plowing and maintenance. He further noted an area on the site plan that he thought would include more trees for screening.

Applicant and property owner Tom Brigdon, 387 Livingston Avenue 43215, explained that they have always and will continue to maintain the southern road.

Mr. Munster explained that what he was actually saying was that he thought it was time for the business park to take over maintenance. And, the southern road was not the area he was expressing concern about, he was concerned about the increase in traffic from Walton Parkway and maintenance of the northern and eastern private drives. This was a maturing business area and needed to be treated as such.

Commissioner Schell noted that Mr. Munster mentioned that he had contacted the New Albany Company (NACO), and asked what their response was.

Mr. Munster responded that NACO thought it made sense, but nothing was put in writing. He further noted that there are other areas further north that are maintained by the business park.

Commissioner Schell asked whether he was currently spending money on maintenance.

Mr. Munster responded that he has spent money from time to time when it needed plowing, but the roads are old and through traffic load is increasing. In addition, there is construction traffic, which happens, but he does not feel he should have to pay for it.

Commissioner Schell responded that from one business owner to another, whether Mr. Munster would agree that the increase in traffic increased the visibility of his business, which was not horrible.

Mr. Munster agreed that in the longer term it would be beneficial.

Commissioner Briggs asked Law Director Albrecht whether he had a comment.

Law Director Albrecht stated that making the private road a city road is not within the jurisdiction of what the commission would be deciding tonight. The commission could hear the concerns but he wanted to be clear about the role of the commission.

Chair Kirby replied that reasonable conditions on the property being considered are within the purview of the commission and asked whether Mr. Fox would be willing for the two-way driveway to be a public right of way.

Mr. Fox responded that he could not commit to that because it is jointly owned property and there are restrictions on the property.

Chair Kirby asked staff how close the two-lane drive way was to meeting the construction standards for a public right of way.

Planning Manager Mayer replied that the city standards per the Strategic Plan for a public street included connectivity, street typology – the street scape and trees, and construction standards. He was unsure whether this would meet those criteria but stated that New Albany has private streets serving as secondary streets in retail areas. He continued that private streets serve an important role for connectivity. He stated that he would research the issue but did not believe it was built to public right of way standards, based on its character and location.

Development Engineer Albright agreed with Planning Manager Mayer. He was not sure but speculated that it does not meet public right of way standards.

Chair Kirby responded that for the applicants' purposes and for the neighbor's purposes it was possible that this was not desirable as a public street and it was not built to the standard of a public street. Thus, it was not unlikely that it would remain a private road. He also noted that the city's batting average on this issue was not perfect, it was working out well around the hotels, but not as well around Keswick. For staff, he added, that the commission's objective was to plan for roads that work and to minimize tension among the owners.

Chair Kirby asked for further questions from the commission and the public.

Mr. Munster stated that he would like to revisit the green space. He continued that he recalled seeing a rendering with more green space.

Mr. Fox stated that perhaps there was less green space because he had to include more parking.

Mr. Munster then asked the applicant whether he would be opposed to adding trees to his property.

Planner Nichols then stated that the existing approved landscape plan had trees and shrubs on the east side.

Chair Kirby asked for further questions and comments. Hearing none, Chair Kirby stated that he heard three conditions. One was the basic cross access easement, another was about the sign prohibiting U-turns, and no lot split without a cross-access easement to the new lot.

Commissioner Briggs asked whether a condition confirming the trees needed to be added.

Planner Nichols confirmed that the trees were present in the existing and approved landscape plan.

Chair Kirby moved to admit the staff reports and related documents into the record for FDP-84-2023. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Wallace yes; Mr. Larsen yes; Ms. Briggs yes; Mr. Schell yes. Having five affirmative votes, the staff reports and related documents were admitted into the record.

Commissioner Wallace moved to approval the amendment to FDP-84-2023 subject to the two conditions listed in the staff report including the commentary regarding the specifics of the engineer's comments, subject to staff approval, and the following additional conditions:

3. that cross-access easements be required and documented, subject to staff approval; and that there would be no lot split without cross-access easement to the new parcel.

Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Wallace yes; Mr. Larsen yes; Mr. Schell yes; Ms. Briggs yes; Mr. Kirby yes. Having five yes votes, FDP-84-2023 was approved subject to the stated conditions.

The commission wished the applicant good luck.

Chair Kirby noted that the Epcon applications included a lot of underlined text and he requested that the underlined text include a reference to the corresponding condition. These markers would help with wayfinding through the conditions and the underlined text.

ZC-90-2023 Rezoning

Request to rezone 84.736 acres located at 2650 Harrison Road in Licking County from Agricultural (AG) to Limited General Employment (L-GE) for an area to be known as the Jug Street South Expansion Zoning District (PID: 037-112110-00.000, 037-111930-00.000, 037-112044-00.001, 037-112044-00.003, 037-112044-01.000, 037-112044-03.000, 037-112044-02.000, 037-112044-00.002, 037-112044-00.009, 037-112044-00.004, 037-112044-00.005, 037-112044-00.000, 037-112044-00.008, 037-112044-00.007, 037-112044-00.005, 037-112050-00.001).

Applicant: Jackson B. Reynolds, III

Planner Nichols delivered the staff report.

Chair Kirby asked for comments from engineering.

Development Engineer Albright stated that engineering had no comments.

Chair Kirby asked to hear from the applicant.

Applicant Jackson Reynolds, III, attorney with Smith and Hale. He stated that he had been working in this area for quite some time. He thanked staff and stated that his client had one small request, and that was regarding condition #2. He requested that the words, "as possible" be removed from the condition. He explained that the applicant wanted to remove the subjective context from the sentence.

Chair Kirby confirmed that staff was agreeable to this. Chair Kirby further confirmed with Mr. Reynolds that this proposed text matched adjacent texts.

Commissioner Wallace stated he was not sure if it removed all of the subjective context as the terms "simple and unobtrusive" were subjective and remained. He further noted that some texts imposed a 65-foot height restriction, and asked whether the building height of 85-feet here was agreeable to staff.

Planner Nichols responded that there was no concern with the 85-foot building height. She explained that the 65-foot height maximum was imposed on properties that were adjacent to residential uses. Staff had agreed to the 85-foot height here because there are no adjacent residential uses.

Commissioner Larsen noted that in item #6, that there would be an exception for transmission lines to not be underground, and asked why.

Chair Kirby responded that the reason was because the utility lines were so big. He further remarked that he believed that transmission was a term of art.

Commissioner Wallace stated that as long as the condition was clear.

Planning Manager Mayer explained that staff had no concerns with this, and explained that transmission poles are required for the larger lines like these. Distribution poles were used for the smaller poles along the street.

Chair Kirby asked if there were any further questions from the commission. Hearing none, he moved to admit the staff reports and related documents into the record for ZC-90-2023. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Wallace yes; Ms. Briggs yes; Mr. Larsen yes; Mr. Schell yes. Having five yes votes, the staff reports and related documents were admitted into the record.

Chair Kirby asked whether there was anyone present from the public who wished to comment.

Hearing none, Commissioner Schell moved to recommend approval of ZC-90-2023 based on the findings in the staff report with the six conditions in the staff report, as modified by removing the words "as possible" from condition #2. Commissioner Briggs seconded the motion.

Chair Kirby asked if there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Schell yes; Ms. Briggs yes; Mr. Kirby yes; Mr. Larsen yes; Mr. Wallace yes. Having five yes votes, ZC-90-2023 the zoning change was approved with the conditions in the staff report as amended by the commission.

The commission wished the applicant good luck.

FPL-94-2023 Final Plat

Final plat for Briscoe Parkway public street dedication and easements phase 1 located between Horizon Court and Harrison Road in Licking County.

Applicant: City of New Albany

Planning Manager Mayer delivered the staff report for FPL-94-2023 final plat for Briscoe Parkway phase 1, and FPL-95-2023 final plat for Briscoe Parkway phase 2, in a single presentation.

Chair Kirby asked for comments from engineering.

Development Engineer Albright replied that there were no comments from engineering.

Chair Kirby asked if there were any questions from the commission or from the public. Hearing none, he moved to admit the documents and related staff reports into the record for FPL-94-2023. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Wallace yes; Mr. Wallace yes; Mr. Schell yes; Ms. Briggs yes. Having five yes votes, the staff reports and related documents were admitted into the record.

Commissioner Briggs moved to approve of FPL-84-2023 based on the findings in the staff report with the conditions in the staff report, and noted there were no conditions here, subject to staff approval. Chair Kirby seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Ms. Briggs yes; Mr. Kirby yes; Mr. Schell yes; Mr. Wallace yes; Mr. Wallace yes. Having five yes votes the final plat for phase 1 of Briscoe Parkway was approved.

FPL-95-2023 Final Plat

Final plat for Briscoe Parkway public street dedication and easements phase 2 located between Harrison Road and Clover Valley Road in Licking County.

Applicant: City of New Albany

Chair Kirby asked whether there were any additional comments from staff on FPL-95-2023.

Planning Manager Mayer stated that there were none from staff. Development Engineer Albright stated there were no engineering comments.

Chair Kirby moved to admit the staff reports and related documents into the record for FPL-95-2023. Commissioner Wallace seconded the motion. Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Wallace yes; Ms. Briggs yes; Mr. Larsen yes; Mr. Schell yes. Having five yes votes, the staff reports and related documents were admitted into the record.

Chair Kirby moved for approval of FPL-95-2023 based on the findings in the staff report and noted there were no conditions in the staff report, subject to staff approval. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes; Mr. Wallace yes; Ms. Briggs yes; Mr. Larsen yes; Mr. Schell yes. Having five yes votes, phase 2 of Briscoe Parkway was approved.

VII. Other business

Chair Kirby asked if there was any other business before the commission.

Planning Manager Mayer answered no.

VIII. Poll members for comment

Chair Kirby polled the members for comment. None of the members had a comment.

IX. Adjournment

Having no further business, Chair Kirby adjourned the October 16, 2023 New Albany Planning Commission meeting at 8:04 p.m.

Submitted by: Deputy Clerk Madriguera, Esq.

Appendix FDP-84-2023

Staff Report

Record of Action

FDP-87-2023

Record of Action

FPL-88-2023

Record of Action

FPL-91-2023

Record of Action

FPL-92-2023

Record of Action

ZC-90-2023

Staff Report

Record of Action

FPL-94-2023

Staff Report

Record of Action

FPL-95-2023

Staff Report

Record of Action





Planning Commission Staff Report October 16, 2023 Meeting

CHIPOTLE FINAL DEVELOPMENT PLAN AMENDMENT

LOCATION: Located immediately north of Johnstown Road and generally south of the

intersection at Bevelhymer Road and Walton Parkway (PID: 222-

004463).

APPLICANT: Prime AE Group, c/o Steve Fox REQUEST: Final Development Plan Amendment

ZONING: Infill Planned Unit Development (IPUD), Subarea 7D-Section 2:

Business Park (South Oak Grove – Retail)

STRATEGIC PLAN: Retail

APPLICATION: FDP-84-2023

Review based on: Application materials received September 29, 2023.

Staff report prepared by Chelsea Nichols, Planner

I. REQUEST AND BACKGROUND

The applicant requests review and approval of a final development plan amendment to allow for revisions to the previously approved Chipotle circulation pattern. The proposed revisions include:

- 1. Adding a second full access curb cut on the east side of the site, and
- 2. Modifying the previously approved northwestern right-out only curb cut to a full access curb cut.

The rest of the site and the entire building is unchanged.

The Planning Commission reviewed and approved the final development plan for this site at their October 17, 2022 meeting (FDP-115-2022).

II. SITE DESCRIPTION & USE

The site and building are currently under construction. The site is located immediately north of Johnstown Road and generally south of the intersection at Bevelhymer Road and Walton Parkway within Subarea 7D-Section 2: Business Park (South Oak Grove – Retail).

The lot is approximately 2 acres in size and can accommodate an additional development. The Chipotle is located on the southern portion of the lot and a separate future development could be located on the northern portion of the lot. Currently, there are no plans to split the lot into two. However, the current proposal does contemplate theoretical property lines for when the larger 2-acre lot is split into two. Once that lot split happens in the future, the Chipotle site would become approximately 1 acre at that time. The review of this application is based on the potential future lot split and a site size of 1 acre.

III. EVALUATION

The staff's review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in <u>underlined text</u>. Planning Commission's review authority is found under Chapter 1159. The property owners within 200 feet of the property in question have been notified.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;
- b. That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;
- c. That the proposed development advances the general welfare of the Municipality;
- d. That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;
- e. Various types of land or building proposed in the project;
- f. Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;
- g. Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- h. Building heights of all structures with regard to their visual impact on adjacent facilities;
- i. Front, side and rear yard definitions and uses where they occur at the development periphery;
- j. Gross commercial building area;
- k. Area ratios and designation of the land surfaces to which they apply;
- l. Spaces between buildings and open areas;
- m. Width of streets in the project;
- n. Setbacks from streets;
- o. Off-street parking and loading standards;
- p. The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- *q.* The potential impact of the proposed plan on the student population of the local school district(s):
- r. The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- s. The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. Ensure that future growth and development occurs in general accordance with the Strategic Plan;
- b. Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible
- c. Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;
- d. Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;
- e. Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;
- f. Foster the safe, efficient and economic use of land, transportation, public facilities and services:
- g. Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;
- h. Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;

- i. Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- j. Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;
- k. Provide an environment of stable character compatible with surrounding areas; and
- l. Provide for innovations in land development, especially for affordable housing and infill development.

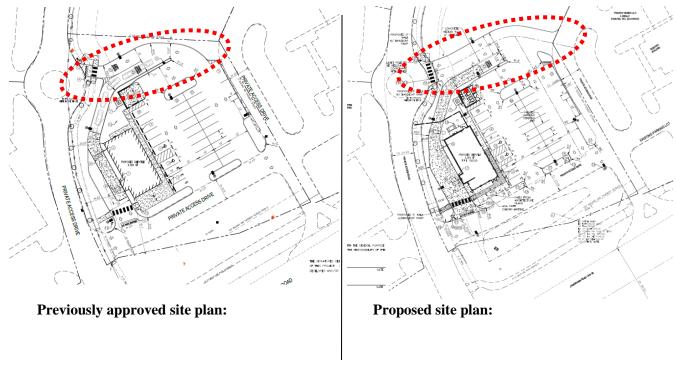
Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan lists the following development standards for the Neighborhood Retail future land use category:

- 1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
- 2. Combined curb cuts and cross access easements are encouraged.
- 3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
- 4. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
- 5. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

- 1. The site is currently under construction for a 2,394 sq. ft. Chipotle restaurant with a drive-thru on approximately 1 acre. The Chipotle has a dine-in option but focuses primarily on to-go orders. The drive-thru lane is pick-up only and not a conventional, full-service drive-thru with a menu or order board.
- 2. The proposed revisions include:
 - a. Adding a second full-access curb cut on the east side of the site along a shared private drive aisle; and
 - b. Modifying the previously approved northwestern right-out only curb cut to a full access curb cut at an existing traffic circle on a private drive.
- 3. The rest of the site and the entire building is unchanged. The proposed lot coverage is unchanged. The proposed setbacks remain unchanged with the exception of the pavement being added for the new curb-cut and the revised curb-cut.



B. Access, Loading, Parking

- 1. The drive aisle on the northern side of the site is modified to accommodate two-way traffic. This access point allows traffic to enter and exit on the private access drive shared with the Wealth Center. The applicant states that by allowing for two-way traffic north of the Chipotle building, in-lieu of one-way, it improves potential connections and access to the vacant area on the north side of the parcel. In order to provide appropriate circulation on-site with the new bidirectional traffic flow, the drive aisle:
 - a. Adds a second full-access curb cut on the east side of the site.
 - b. Changes the right-out only curb cut to a full access curb cut at the private traffic circle.
- 2. The applicant has updated the drive-through to include a concrete curb on one side to assist with traffic circulation.
 - a. The city traffic engineer recommends a condition of approval requiring the shortening of the southern curb of the drive-through approximately five (5) feet in order to help cars turn into drive-thru from the parking lot. This encourages vehicles to enter from the parking lot and not from the drive aisle from the traffic circle. The city staff recommends a condition of approval that the southern curb is shortened and use of signage prohibiting U-turns from the north drive aisle be subject to the city traffic engineer's approval.
- 3. The development utilizes the same shared private drives on the west and eastern sides of the site.
- 4. The zoning text encourages shared access drives between sites by allowing for zero pavement setbacks and by including a provision stating that cross access easements between developments within Section 2 shall be provided. Historically the city staff and Planning Commission have encouraged shared curb cuts and connecting drive aisles between commercial sites.

C. Architectural Standards

There are no proposed changes to the architecture. The previously approved architecture is included in the packet material for reference.

D. Parkland, Buffering, Landscaping, Open Space, Screening

There are no proposed changes to the landscaping.

E. Lighting & Signage

There are no proposed changes to the lighting or to the signage. The previously approved signage is included in the packet material.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. <u>Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval.</u>

- 1. Refer to Exhibit A. Add the Monumentation Note to sheet C-1.
- 2. Refer to Exhibit B. Shorten the length of the curb where indicated to facilitate turning movements for those wishing to utilize the drive thru lane.
- 3. Refer to sheet C-3. Add site distance triangles at all curb cuts and ensure that landscaping, fencing, etc. does not impede motorist view.

V. SUMMARY

The proposed final development plan amendment improves the circulation onsite by converting the one-way drive aisle to two-way traffic. The drive-through stacking, pedestrian connections and parking lot configuration remains unchanged. The revisions to the site plan are simply to improve the vehicular circulation by adding an additional curb cut to the east and traffic flow.

The proposed plan amendment allows for flexibility in the design and location of the future development on the northern portion of the lot. The number and location of curb cuts connecting this site to the north will be evaluated with future applications.

VI. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve final development plan amendment FDP-84-2023 with the following conditions:

- 1. That the comments of the city engineer are address, subject to staff approval; and
- 2. That the southern curb is shortened and use of signage prohibiting U-turns from the north drive aisle be subject to the city traffic engineer's approval.

Approximate Site Location:



Source: nearmap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Prime AE Group, c/o Steve Fox

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, October 17, 2023

The New Albany Planning Commission took the following action on Monday, October 16, 2023.

Final Development Plan Modification

Location: 10087 Johnstown Rd.

Applicant: Prime AE Group, c/o Steve Fox

Application: PLFDM20230084

Request: Final Development plan amendment to allow for revisions to the previously

approved Chipotle circulation pattern. **Motion:** To approve with conditions

Commission Vote: Motion to approve with conditions, 5-0

Result: Final Development Plan Amendment, PLFDM20230084 was approved with conditions, by

a vote of 5-0.

Recorded in the Official Journal this Tuesday, October 17, 2023.

Condition(s) of Approval:

- 1) That the engineering comments in the engineering review memo dated October 2, 2023 be addressed;
- 2) That the southern curb for the drive-through is shortened by 5' and use of signage prohibiting U-turns from the north drive aisle be required, subject to the city engineer's approval; and
- 3) That a cross-access easement for the new two-way drive aisle be provided and recorded prior to the submittal of any lot split applications.

Staff Certification:

Chelsea Nichols

Chelsea Nichols

Planner



Planning Commission Staff Report October 16, 2023 Meeting

COURTYARDS AT HAINES CREEK SUBDIVISION FINAL DEVELOPMENT PLAN

LOCATION: Generally located at the northwest corner of the intersection at Central

College Road and Jug Street Rd NW (PIDs: 222-005156, 222-005157,

222-005158, 222-005159).

APPLICANT: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

REQUEST: Final Development Plan

ZONING: Courtyards at Haines Creek I-PUD Zoning District

STRATEGIC PLAN: Residential District APPLICATION: FDP-87-2023

Review based on: Application materials received September 15, 2023 and October 2, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

The application is for a final development plan for a new 151 lot age-restricted subdivision known as "Courtyards at Haines Creek". There are three combined preliminary and final plat applications for the property on the agenda. However, they will be evaluated under separate staff reports: FPL-88-2021, FPL-91-2023, and FPL-92-2023.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 20, 2023 (ZC-07-2023) and the zoning change was adopted by city council on July 18, 2023 (O-84-2023). The final development plan application is generally consistent with the approved preliminary development plan. The subdivision zoning text requires 90% of the homes be age-restricted resulting in 136 age-restricted and 15 non-age-restricted homes.

During the rezoning hearing, the city council approved it with a requirement that the applicant "to perhaps relocate up to four units shown on the preliminary development plan" near the adjacent neighbor along the western boundary line to provide additional tree preservation. Those four homes have been relocated to the northern area of the site and back onto Reserve C.

The Parks and Trails Advisory Board (PTAB) reviewed the proposed development at their October 2, 2023 meeting and recommended approval with conditions. The PTAB placed the following conditions of approval on the application:

- 1. That the open space amenities shall be installed and included as part of the overall subdivision infrastructure improvements (e.g. streets, utilities, etc.);
- 2. That the final alignment of the leisure path shall be subject to staff approval;
- 3. Increase the open space with consideration of the wetland on the adjacent property to the north; and
- 4. Review the 42k fee in-lieu payment or purchase land within close proximity to the development.

In addition, at the Parks and Trails Advisory Board meeting, the applicant verbally committed to sliding lots 152-155 west to allow pedestrian access at the northeast corner. The Planning Commission will evaluate the lot location as part of this Final Development Plan application.

Staff recommends a condition of approval that the lots on the plat match the lots on the final development plan.

II. SITE DESCRIPTION & USE

The 63.5+/- acre zoning area is located in Franklin County and is made up of four properties. There is one existing barn located on one of the properties. The site is generally located at the northwest corner of the intersection at Central College Road and Jug Street Rd NW. The site is located immediately west of the Licking County line and immediately, north of Agricultural zoned and residentially used properties, and there are unincorporated residentially zoned and used properties to the west and north of the site.

III. PLAN REVIEW

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in <u>underlined text</u>. Planning Commission's review authority is found under Chapter 1159. The property owners within 200 feet of the property in question have been notified.

The Commission should consider, at a minimum, the following (per Section 1159.08): That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;

- (a) That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;
- (b) That the proposed development advances the general welfare of the Municipality;
- (c) That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance:
- (d) Various types of land or building proposed in the project;
- (e) Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;
- (f) Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- (g) Building heights of all structures with regard to their visual impact on adjacent facilities;
- (h) Front, side and rear yard definitions and uses where they occur at the development periphery;
- (i) Gross commercial building area;
- (j) Area ratios and designation of the land surfaces to which they apply;
- (k) Spaces between buildings and open areas;
- (l) Width of streets in the project;
- (m) Setbacks from streets:
- (n) Off-street parking and loading standards;
- (o) The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- (p) The potential impact of the proposed plan on the student population of the local school district(s);
- (q) The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- (r) The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. Ensure that future growth and development occurs in general accordance with the Strategic Plan;
- b. Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible

- c. Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;
- d. Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district:
- e. Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;
- f. Foster the safe, efficient and economic use of land, transportation, public facilities and services:
- g. Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;
- h. Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;
- i. Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- j. Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;
- k. Provide an environment of stable character compatible with surrounding areas; and
- l. Provide for innovations in land development, especially for affordable housing and infill development.

A. Engage New Albany Strategic Plan

The site is located within the Residential District future land use district. The Engage New Albany Strategic Plan lists the following development standards for the Residential District:

- Organically shaped stormwater management ponds and areas should be incorporated into the overall design as natural features and assets to the community.
- Houses should front onto public open spaces and not back onto public parks or streets.
- All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site.
- A hierarchy of open spaces is encouraged. Each development should have at least one
 open space located near the center of the development. Typically, neighborhood parks
 range from a half an acre to 5 acres. Multiple greens may be necessary in large
 developments to provide centrally located greens.
- Adequate amounts of open space and parkland are encouraged to be provided on site.
- Rear or side loaded garages are encouraged. When a garage faces the street, the front façade of the garage should be set back from the front facade of the house.
- Any proposed residential development outside of the Village Center shall have a base density of 1 dwelling unit per gross acre in order to preserve and protect the community's natural resources and support the overall land conservation goals of the community. A transfer of residential density can be used to achieve a gross density of 1 dwelling unit per acre.
- Private streets are at odds with many of the community's planning principles such as: interconnectivity, a hierarchy of street typologies and a connected community. To achieve these principles, streets within residential developments must be public.

The Engage New Albany Strategic Plan recommends the following standards as prerequisites for all development proposals in New Albany:

- Development should meet setback recommendations contained in strategic plan.
- Streets must be public and not gated. Cul-de-sacs are strongly discouraged.
- Parks and open spaces should be provided, publicly dedicated and meet the quantity requirements established in the city's subdivision regulations (i.e. 20% gross open space and 2,400 sf of parkland dedication for each lot).

- All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site. If it cannot be provided on-site, purchasing and publicly dedicating land to expand the Rocky Fork Metro Park or park space for the Joint Parks District is an acceptable alternative.
- The New Albany Design Guidelines & Requirements for residential development must be met.
- Quality streetscape elements, including an amenity zone, street trees, and sidewalks or leisure trails, and should be provided on both sides of all public streets.
- Homes should front streets, parks and open spaces.
- A residential density of 1 dwelling unit (du) per acre is required for single-family residential and a density of 3 du per acre for age restricted housing.
 - Higher density may be allowed if additional land is purchased and deed restricted. This type of density "offset" ensures that the gross density of the community will not be greater than 1 unit per acre. Any land purchased for use as an offset, should be within the NAPLS district or within the metro park zone.
 - 3 du/acre is only acceptable if 100% age restricted. Otherwise, the federal regulations and criteria for subdivisions to qualify as age-restricted must be accounted for when calculating density (i.e. 80% age restricted and 20% non-age restricted).
 - Age restriction must be recorded as a deed restriction and included as a requirement in the subdivision's zoning text.

B. Use, Site and Layout

- 1. The property is zoned I-PUD under the Courtyards at Haines Creek PUD text.
- 2. The zoning text section VI(A) permits a maximum of 151 lots in the age-restricted subdivision named "Courtyards at Haines Creek."
- 3. The subdivision consists of 136 age-restricted and 15 non-age-restricted homes on approximately 63.5+/- acres. Furthermore, the text prohibits any permanent resident within the age-restricted units to be under the age of 21, to the extent permitted by law.
- 4. The final development plan is generally consistent with the preliminary development plan that was approved as part of the zoning change application (ZC-07-2023).
- 5. The text requires that prior to the issuance of the first building permit for construction of a home in this zoning district, the applicant/developer shall provide evidence to the city that it has recorded a written restriction requiring the property may only be developed and operated in accordance with the age restriction requirements listed above. Prior to recording the restriction, the text requires the applicant/developer to deliver a draft copy of the restriction to the city's law director for reasonable review and confirmation. These requirements are consistent with other age-restricted subdivisions in New Albany.
- 6. Zoning text section VI(D) states that the minimum lot width at the building line shall be 52 feet. All of the proposed lots are meeting these requirements.
- 7. The city's design consultant, MKSK, provided the following comments related to the location of the four relocated homes:
 - a. As the applicant verbally committed during the PTAB meeting, center the four relocated parcels within Haines Creek and Lourdes Drive, providing access to a leisure path on either side for increased public green space. Staff recommends a condition of approval that the city's design consultant comments be addressed, subject to staff approval.
- 8. Zoning text section VI(F) requires the following setbacks:

SETBACKS	
Central College Road and Jug Street Rd NW	100-foot building and pavement setback from
(Engage New Albany strategic plan recommends 100-foot setback)	the edge of the right-of-way, except homes and other improvements on Lots 71 and 72 shall be permitted within this setback.

Front Yard	20 feet, except for the Lane Homes facing
	Defiance Drive which shall have a minimum
	front yard setback of 15 feet.
Side Yard	5 feet
Rear Yard	50 feet for lots with rear boundary lines
	which also serve as the eastern and western
	perimeter boundary of this zoning district, 15
	feet for all other lots.

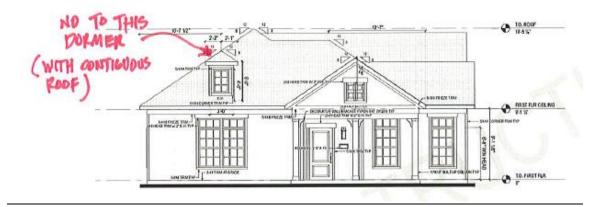
All of the setbacks required in the zoning text are accurately shown on the final development plan. The setbacks for individual homes will be reviewed and approved with each new residential building permit application.

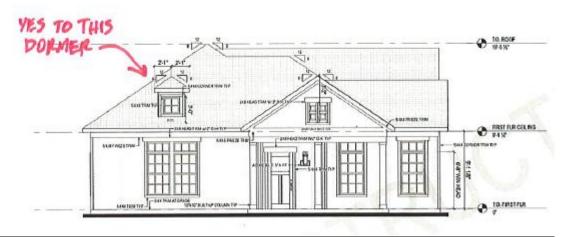
C. Access, Loading, Parking

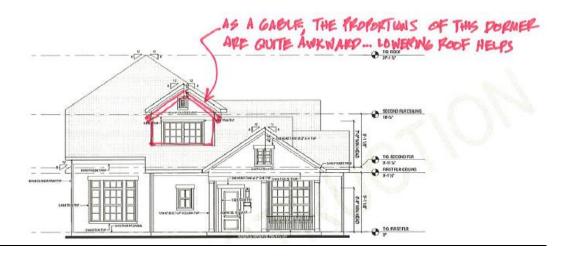
- 1. The primary access points into the subdivision are from Central College Road and Jug Street Road NW in the locations shown on the final development plan. Per zoning text requirements and the submitted plats, the applicant is dedicating right-of-way to the city for a distance that extends 40 feet from the centerlines of Central College Road and Jug Street Road NW.
- 2. Zoning text section VII(E) requires the right-of-way to be dedicated for the future extension of two streets to the western boundary line of the subdivision. The final development plan shows the construction of the extension for a distance of 10 feet from its westernmost intersection. Signage is also proposed to be installed at the end of the 10-foot stubs which indicate that these streets may be extended in the future as a through street. The city staff recommends a condition of approval that the sign be shown on the plans at the time of permitting, subject to staff approval.
- 3. Zoning text section VII(E) also requires all internal streets to be dedicated as public streets and built to city standards. The right-of-way for these internal streets is required to be 50 feet with 26-foot pavement widths, measured from front of curb to front of curb. The right-of-way for alleys shall be a minimum of 20 feet with a minimum of 16 feet of pavement. The proposed north-south street shall have a right-of-way of 60 feet in width. These requirements match those found in the city's subdivision regulations.
- 4. Zoning text section VII(F) requires a 5-foot-wide, concrete public sidewalk to be constructed within the right-of-way on each internal subdivision street (other than Haines Creek Drive, the south side of Cedarville Drive, and the north side of Heidelberg Drive where leisure trail is required). This requirement is being met.
- 5. Zoning text section VII(G) requires 8-foot-wide, asphalt leisure trails to be installed along the north side of Central College Road, the west side of Jug Street rights-of-way, along both sides of Haines Creek Drive to the intersection with Heidelberg Drive, and along both sides of Heidelberg Drive that goes westward. This requirement is being met.
- 6. A leisure trail with a minimum width of 8 feet is proposed along the south side of the pond in Reserve "A," and along Central College Road. The city is coordinating street improvements with the Franklin County engineer. The path running along the south side of the pond in Reserve A provides a meaningful alternative leisure trail connection from Haines Creek Drive to Jug Street Road, rather than running along the street frontage which may require more tree removal. The city recommends a condition of approval that the installation of the leisure path along Central College Road be subject to staff approval.
- 7. Zoning text section VII(A) requires all homes to have a minimum of 2 off-street parking spaces on their driveways in addition to a minimum of 2 parking spaces within the garage. This appears to be met and will be reviewed and approved as part of each new residential building permit.
- 8. Per code section 1167.05(f), the Planning Commission shall determine the number of parking spaces required for the club house as it is a use not mentioned in the code. The applicant proposes 23 designated parking spaces for the club house.

D. Architectural Standards

- 1. The Architectural standards have been approved as part of the PUD rezoning. The PUD text states the design of the neighborhood borrows from the tradition of summer retreat camps like Lakeside Ohio and Oak Bluffs Meeting Camp on Martha's Vineyard. These camps were a collection of small cottages around a central meeting house and green. The architectural aesthetic is consistent with the character of New Albany by referencing the "rectangular form houses." The homes in this community are simple forms, generally rectangular in shape.
- 9. The text requires all homes to be a minimum of 1.5 stories or 1.5 stories in appearance from the front elevation thereby meeting one of the New Albany Strategic Plan's development standards recommendations that all houses should be a minimum of 1.5 stories in appearance and a maximum of three stories. This appears to be met and will be reviewed and approved as part of each new residential building permit.
- 1. The text requires the final development plan submittal includes detailed architectural elevations and/or renderings and must incorporate additional architectural details including roof plans; garage door design/colors; dormer details; entablature; and shutter specifications; columns, cornice and pediment details; window specifications; louver details, brickmould profile. These architectural plans are to create a baseline set of architectural requirements and guidelines from which each home design will be based. These details are included in the submitted home elevations and have been reviewed by the city architect. The city architect has the following comments:
 - a. The city architect recommends eliminating the horizontally proportioned window grids from the home designs from Dean Wenz's office. The city staff recommend a condition of approval be that the plans be updated at the time of permitting to meet this recommendation of eliminating of the horizontally proportioned grids.
 - b. The city architect provided a marked sheet indicating suggested revisions to the Lane Homes, specifically with regard to the proposed dormers







The city staff recommends a condition of approval that all applicable home elevations are updated at the time of permitting to meet the city architect's recommendations for the dormers.

- 2. Exterior paint colors for siding, doors, shutters, fascias, cornices, soffits and miscellaneous trim have been submitted. Zoning text section XI(A)(2) states garage doors that are white in color shall only be used in the circumstance when white is the primary exterior color of the individual home. The architectural sheets include white garage doors on houses with non-white colored exteriors. The city staff recommends a condition of approval that the plans be revised at the time of permitting as needed to meet this garage door color requirement.
- 3. Zoning text section IX(C)(3)(i) requires shutters to have appropriate shutter hardware (hinges and shutter dogs.) The city staff recommends a condition of approval that the final shutter hardware is provided on all homes and their design be subject to staff approval.
- 4. The text states where the courtyard condition is present and is not screened from the view, a decorative fence shall be installed and may extend past the building setback line to provide screening of the courtyard area from the right-of-way. A combination of landscaping and fencing may also be used to achieve the same screening objective, but solid fences shall be prohibited to provide this screening. This appears to be met on the final development plan.
- 5. The text further states that where the courtyard conditions are adjacent to open space, a decorative fence and landscaping may be installed between the lot line and the courtyard to provide screening. Screening shall have a minimum opacity of 75% to a height of feet. The applicant has submitted an aluminum decorative fencing design and an exhibit indicating the areas where this treatment will occur throughout the subdivision. Staff is supportive of only aluminum fencing to be used in areas along public right-of-way or open space.
- 6. The zoning text requires on corner lots, the street on which the front façade of a home is required to be located shall be identified as part of the final development plan submittal. This has been submitted and the proposed orientations all appear to be appropriate.
- 7. Zoning text section IX(C)(2) states that exposed concrete foundation walls shall be prohibited unless otherwise approved as part of the final development plan. It appears as though exposed concrete foundations are not being proposed as part of this final development plan. Individual homes will be reviewed and approved as part of each new residential building permit.

E. Parkland, Buffering, Landscaping, Open Space, Screening

1. Per C.O. 1159.07, detailed landscaping plans must be provided for all areas of the final development plan. The landscape plan must include the proposed landscape for all

- reserve areas and street lawns. The applicant submitted a detailed master landscape plan for the subdivision.
- 2. Per the zoning text, street trees shall be required on both sides of internal public streets where homes are present. Street trees shall be a minimum of 2 ½ inches in caliper at installation and shall be spaced at an average distance of 30 feet on center, except that a double row of trees shall be provided along the Haines Creek Drive. These trees may be grouped, provided the quantity is equivalent to 1 tree per 30 feet or fraction thereof.
- 3. The zoning requires the developer to work in good faith with the owner of property to the south of Central College Road that is directly across to the street from the subdivision entrance to establish a screening plan and install landscaping at the developer's expense. The applicant proposes to install nine (9) spruce trees in front of the Mason property to screen the front of the home.
- 4. The zoning text commits to a Tree Preservation Zone which applies to the following areas of the subdivision:
 - a. For a minimum distance of 100 feet from the right-of-way of Central College Road and Jug Street Road NW in Reserve A;
 - b. In areas to the south of the intersection of Jug Street Road NW and a new public street connecting it to the new subdivision;
 - c. Within the northwest corner of the zoning district and covering the tree line along the north property line of Reserve C; and
 - d. Within a distance of 30 feet from the rear property line on any lots where a minimum rear yard setback of 50 feet is required. Trees shall be preserved in accordance with the recommendations of a certified arborist and subject to staff approval.
 - e. The city code does not permit the removal of trees with the 100-year floodplain and stream riparian corridor. The city landscape architect recommends the developer provide a clear plan boundary for tree removal limits outside of those zones if additional trees are to be removed. The developer should preserve the maximum number of established groupings of trees present on the site.
 - f. The city's landscape architect recommends a condition of approval that the developer utilizes fencing around tree drip lines for proper protection along all tree preservation zones, subject to staff approval.
- 5. New Albany's Codified Ordinance requires that 2,400 square feet per home be dedicated as parkland and 20% of the total acreage in the subdivision shall be dedicated as open space. The zoning text states ownership and maintenance of the parkland and open space areas which are shown on the preliminary development plan shall be defined and approved with the final development plan.
 - a. For this development the total minimum, required parkland and open space is 21.01 acres.
 - b. The applicant is providing multiple reserve areas (A-K) that consists of either open space or parkland, totaling 17.66 acres. Per C.O. 1187.16 wet and dry stormwater basins shall not be considered parkland or open space.
 - c. Therefore, the proposal does not meet the Codified Ordinance requirements since there is a 3.35-acre deficit in parkland. The developer is requesting to waive the appraisal requirement and use the \$42,000 per acre value that was established by the most recent appraisal the city completed in September 2022. This results in a total fee payment of \$140,700.00.
 - d. Per codified ordinance chapter 1159.07(3)(X) the city Planning Commission must review:
 - i. The amount and location of open space and parkland required to be provided on-site and
 - ii. The dollar amount of the fee payment based upon an appraisal completed by the applicant as required by 1165.10(d) if less than the required 21.01 acres is provided on-site.
 - e. The city staff determined the applicant cannot request a deviation from the procedural requirements of the codified ordinances. Therefore, the applicant

- must complete and submit an appraisal as required in Chapter 1165.10(d) outlined above.
- f. This appraisal must be completed prior to the Planning Commission taking final action on the final development plan. The application can have a full hearing, including public input, but staff recommends the application be tabled until the appraisal is completed and submitted.

Reserves:

- 1. The PUD text states "due to the nature of this subarea as an age-restricted community, it shall be exempt from the requirement of Section 1185.15(c)(6) that would otherwise require all residences to be located within 1,200 feet of playground equipment."
- 2. Reserves A, B, C & J: These are the perimeter areas providing tree preservation and buffering.
 - a. Reserve A consists of a large basin, wetlands, preservation of trees, a stream, a pavilion and leisure trail. Reserve A also shows grading for the basin proposed within the 100-year floodplain. The city floodplain regulations (C.O. Section 1154.02 and 1154.04) do not allow for any modifications to this area. The city staff recommends a condition of approval requiring the basin and grading to be revised to meet code requirements or a variance can be requested.
 - b. Reserve B consists of the preservation of trees.
 - c. Reserve C consists of a basin, stream, tree preservation zone, and a drainage swale connecting the stream to an off-site wetland located to the east. The developer is required to provide natural grasses in this area. No artificial pesticides and fertilizers are permitted in this area.
 - i. During the rezoning hearing, the city council directed the applicant to perhaps relocate up to four units that were previously along the western boundary to provide additional tree preservation. Those four homes have since been relocated to the northern area of the site and back onto Reserve C. Where those lots were previously located is now Reserve J. The PTAB recommended that the applicant review increasing open space with consideration of the wetlands on the adjacent property to the east. The Planning Commission should evaluate the appropriateness of the four relocated lots along reserve C.
 - d. Reserve J provides tree preservation. The natural vegetation will be untouched. The city landscape architect recommends the applicant provide a site plan that shows how the reserve's green space will be used as an amenity for the community (i.e. seating, paths, etc.). Staff recommends a condition of approval that the city landscape architect's comments are addressed, subject to staff approval.
 - e. The city's landscape architect provided the following comments related to the basins that are also attached in the packets as a memo:
 - i. Revise basins to increase undulation in grade and create a more naturalized form Basins should not exceed 6:1 slope.
 - ii. Increase planting adjacent storm water basins. Trees should be planted in randomized spacing and species in groups of 3 to 9 trees. See diagram.
 - iii. Densely plant trees along swale. Trees should be planted in randomized spacing and species in groups of 3 to 9 trees. See diagram.
 - iv. The city staff recommends a condition of approval that the city landscape architect's comments are addressed, subject to staff approval.
- 3. Reserves D, E, F, and G: These areas are located along the eastern side of Haines Creek Drive and provide a landscaping buffer between the homes and the public street.
- 4. Reserve H: This is the community amenity area which consists of a club house with pool, a community garden, a bocce court, and pickleball courts.
- 5. Reserve I and Reserve K: These areas will be used as greenspace upfront but serves as future street extensions if and when development occurs to the west.

Western Property Line:

- 1. The zoning text requires a buffering area to be located 50' from the property line along the western perimeter boundary. Along with the landscaping plan, the applicant is required to and has submitted a report from a certified arborist. The report details the conditions of existing trees within the minimum required 50-foot rear yard setbacks on lots of homes that back to the western perimeter boundary line.
 - a. The plan identifies which trees are to be preserved based on the report and provides for the planting of replacement trees, landscaping, and/or other improvements to provide buffering between new homes and adjacent property to the west which is outside of this zoning district.
 - b. New trees and landscaping may be planted on the adjacent parcel to achieve the buffering objective if permission is obtained from the owners of such parcel.
 - c. The applicant has indicated to staff that they had shared the arborist's report with the adjacent property owners before the date when the final development plan was filed with the City, and has scheduled a meeting with the property owners that will happen prior to the Planning Commission's hearing scheduled for October 16, 2023.
 - d. As part of the city staff's review of the tree study and west buffer landscape plan, the city arborist walked the site and examined the trees the applicant is proposing to remove within the 30' tree preservation area along the western property line. As a result, there were three trees the city arborist asked the applicant to consider preservation (trees 219, 303, and 351). The applicant has since updated the trees on the tree survey as trees to be preserved.
- 2. The plan proposes a retaining wall between the 30' tree preservation zone and the 50' rear yard setback. The applicant indicates that the retaining wall is due to the proposed grading for the purpose of saving trees. The applicant also indicates that in order to accommodate the same amount of grading within a smaller footprint of only 20', it is necessary to introduce a wall along the rear of the lots to make up for the elevation difference. They further indicate that to minimize the impacts to the existing trees, they designed the wall to be 8.5 feet away from the tree preservation zone to allow for as much room as possible for the roots to remain untouched. Therefore, the face of the wall will be setback 38.5 +/- feet to the rear property line. The wall then steps back towards the buildings to make up an elevation difference of 6-7 feet.
 - e. The city's landscape architect issued the following comments related to the wall:
 - If the proposed wall is deemed necessary after a thorough review of the grading plan, the developer should provide a minimum of three to five site condition sections for review. This should include a plan and details for the proposed site condition at the terminus of the wall along 'Reserve J'.
 - ii. <u>If the proposed wall is deemed necessary, the use of natural stone is recommended. The developer should provide samples for review by the Landscape Architect.</u>
 - iii. If the proposed wall is deemed necessary, update the planting plan to include a seed mix of native grasses for disturbed areas.
 - iv. Staff recommends a condition of approval that the city's design consultant comments be addressed, subject to staff approval.
- 5. AC unit screening is required along the western perimeter and lots 63-72 along the eastern perimeter of the subdivision to obscure their view to adjacent properties. The applicant proposes to screen each AC unit with eight (8) Karl Forester tall grass plants. S
- 6. The city landscape architect has reviewed the application and provided a comprehensive comment memo and diagram that are also enclosed in the packets as a separate memo. Staff recommends a condition of approval that the city landscape architect comments be addressed, subject to staff approval.

F. Lighting & Signage

- 1. The text states signage shall be reviewed by the Planning Commission with the final development plan. The applicant has provided this information. The city's landscape architect, has reviewed the signage and provided the following comments that are also attached in the packets as a memo:
 - a. Revise location and position of entry sign at Central College Road. Signs should match the typical residential placement within the horse fence, see image in separate comment memo. Staff recommends a condition of approval that the city landscape architect's comments be addressed, subject to staff approval.
- 10. Each home must have coach lights on the garage. This appears to be met and will be reviewed and approved as part of each new residential building permit. In addition, uplighting of the exterior of a home shall be prohibited. Security lighting, when used, shall be of a motion sensor type.
- 2. Light poles within parking lot areas near the clubhouse shall not exceed 18 feet in height, shall be cut-off type fixtures and be down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site. These details were not provided as part of this application and will be reviewed at the time of permitting. The city recommends a condition of approval that all final lighting details be subject to staff approval.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided the following comments. <u>Staff</u> recommends a condition of approval that these comments be addressed, subject to staff approval.

- 1. Refer to Exhibit A. Please modify the Cover Sheet to show all signature blocks and notes shown on this Exhibit.
- 2. Please add a sheet to the Index of Drawings entitled Street Typical Sections.
- 3. Refer to Exhibit B. Add a sheet to the Index of Drawings entitled Turn Lane Improvements. Verify that the turn lane is in fact to be built "By Others".
- 4. Sheet 2 of 16. Notes indicate that the City of New Albany shall have some maintenance responsibility relative to the Reserves. This is consistent with the plat. The HOA maintains all reserves and only owns the reserve with the private club house.
- 5. Sheet 3 of 16. Delineate all Reserves that will be utilized for stormwater management as lying within Drainage Easements. Clearly show this on all sheets.
- 6. Sheet 3 of 16. Label the width of the Tree Preservation Zone at the north parcel boundary.
- 7. Sheet 5 of 16. Show the northern swale as lying within a Drainage Easement.
- 8. Sheet 7 of 16. Add site distance triangles at the curb cuts off of Central College Road and Jug Street. Remove landscaping and fencing that may impede motorist view.
- 9. Provide Fire Truck turning radius analysis.
- 10. "No Parking Signs" be added along curved sections of streets.
- 11. In accordance with code sections 1159.07 (b)(3) Z and AA, the applicant provide documentation indicating that all OEPA and ACOE permitting requirements have been obtained.
- 12. We will evaluate storm water management, sanitary sewer collection and roadway construction related details once construction plans become available.

V. SUMMARY

The city staff determined the applicant cannot request a deviation from the procedural requirements of the codified ordinances. Therefore, the applicant must complete and submit an appraisal as required by chapter 1165.10(d) prior to the Planning Commission taking final action on the application. The city staff recommends this application have a full hearing so neighbors can provide public comments and the applicant can receive feedback from the Planning Commission.

The final development plan is in conformity with the residential land use density recommendations of the Engage New Albany Strategic Plan and is consistent with the preliminary development plan design standards approved as part of the rezoning application.

The application includes many of the same community amenities that have been successfully implemented in Epcon's Courtyards at New Albany subdivision. Overall, the Courtyards at New Albany has been successful and this proposal builds on that by providing a historical color palette that adds more character to the subdivision. The street network, landscaping, and layout are desirable from a site planning perspective; however, the Planning Commission should evaluate the amount of on-site parkland and open space that is appropriate for this type of development.

VI. ACTION

Suggested Motion for FDP-87-2023:

Move to table FDP-87-2023 until the regularly schedule meeting.

Based upon the current submittal, staff recommends the following conditions for the future hearing or that they are addressed prior to the next hearing date:

- 1. That lots on the plats match the lots on the final development plan;
- 2. Revise location and position of entry sign at Central College Road. Signs to match preexisting residential examples, see image in memo;
- 3. Signage is to be installed at the end of the 10-foot stubs which indicates that these streets may be extended in the future as a through street. The signage is to be shown on the plans at the time of permitted, subject to staff approval;
- 4. The installation of the leisure path along Central College Road be subject to staff approval;
- 5. The architectural plans be updated at the time of permitting to meet the city architect's recommendation of the following:
 - a. Eliminate the horizontally proportioned grids; and
 - b. Revise the dormers to reflect suggestions in the sketch provided.
- 6. The plans be revised at the time of permitting as needed to meet the garage door color requirements, subject to staff approval;
- 7. The final shutter hardware design be subject to staff approval;
- 8. The city floodplain regulations (C.O. Section 1154.02 and 1154.04) do not allow for any modifications to this area. The basin and grading plans shall be revised to meet code requirements or a variance can be requested;
- 9. The city landscape architect/design consultant comments outlined in the memo dated October 6, 2023 are addressed, subject to staff approval:
 - a. Review entire development grading plan, focusing on the improvement of the following items...
 - i. Storm Water Basins revise basins to increase undulation in grade and create a more naturalized form. Basins should not exceed 6:1 slopes.
 - ii. Proposed Wall (west edge of site) If deemed necessary after thorough review of grading plan, provide a minimum of three to five site condition sections for review. Include plan and details for proposed site condition at break in wall along 'Reserve J'. See diagram.
 - iii. If proposed wall is deemed necessary, the use of natural stone is recommended. Developer to provide samples for review by Landscape Architect.
 - b. Center the four relocated parcels within Haines Creek and Lourdes Drive, providing access to a leisure path on either side for increased public green space. See diagram.
 - c. Provide a site plan that shows how the reserve green space will be used as an amenity for the community (i.e. seating, paths, etc.). See diagram.

- d. Revise entry sign at Central College Road to match precedents in the neighborhood, see images for reference.
- e. Review and submit proposed removal of existing tree stands to landscape architect. Provide clear plan boundary for tree removal limits. Preserve the maximum number of established groupings of trees present on the site. Submit tree protection plan. Utilize fencing around tree drip lines for proper protection.
- f. Increase planting adjacent storm water basins. Trees should be planted in randomized spacing and species in groups of 3 to 9 trees. See diagram.
- g. If proposed wall is deemed necessary, update planting plan to include a seed mix of native grasses for disturbed areas.
- h. Densely plant trees along swale. Trees should be planted in randomized spacing and species in groups of 3 to 9 trees. See diagram.
- 10. The final lighting details are subject to staff approval; and
- 11. All of the city engineer comments be addressed, subject to staff approval.

Approximate Site Location:



Source: ArcGIS



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Aaron Underhill,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, October 17, 2023

The New Albany Planning Commission took the following action on 10/16/2023 .

Final Development Plan

Location: FDP-87-2023

Applicant: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

Application: FDP-87-2023

Request: Final development plan review and approval of 151 lot, age-restricted residential housing development on 63.5+/- acres for the subdivision known as the Courtyards at Haines Creek located at 8390 and 8306 Central College Road in Franklin County.

Motion: To table FDP-87-2023

Commission Vote: Motion Table, 5-0

Result: FDP-87-2023 was Tabled to the December 4th Informal meeting, by a vote of 5-0.

Recorded in the Official Journal this October 16, 2023

Condition(s) of Approval:

N/A

Staff Certification:

Chelsea Nichols

Chelsea Nichols Planner



Planning Commission Staff Report October 16, 2023 Meeting

COURTYARDS AT HAINES CREEK SUBDIVISION PHASE 1 PRELIMINARY AND FINAL PLAT

LOCATION: Generally located at the northwest corner of the intersection at Central

College Road and Jug Street Rd NW (PIDs: 222-005156, 222-005157,

222-005158, 222-005159).

APPLICANT: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

REQUEST: Preliminary and Final Plat

ZONING: Courtyards at Haines Creek I-PUD Zoning District

STRATEGIC PLAN: Residential District APPLICATION: FPL-88-2023

Review based on: Application materials received September 15, 2023 and October 2, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

This final plat application is for phase 1 of the Courtyards at Haines Creek subdivision. This phase includes 46 residential lots, six reserves (A, B, F1, G, H, I), and seven new public streets on 29.111acres.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 20, 2023 (ZC-07-2023) and the zoning change was adopted by city council on July 18, 2023 (O-84-2023).

There is a related final development plan application on the October 16th Planning Commission agenda. This application is reviewed under a separate staff report (FDP-87-2023).

II. SITE DESCRIPTION & USE

The 63.5+/- acre subdivision is located in Franklin County. The site is generally located at the northwest corner of the intersection at Central College Road and Jug Street Rd NW. The site is located immediately west of the Licking County line and immediately, north of Agricultural zoned and residentially used properties, and there are unincorporated residentially zoned and used properties to the west and north of the site.

III. PLAN REVIEW

The Planning Commission's review authority of the final plat is found under C.O. Section 1187. Upon review of the final plat, the Commission is to make a recommendation to the City Council. The staff's review is based on New Albany plans and studies, zoning text, and zoning regulations.

Residential Lots

- The final plat is consistent with the proposed Courtyards at Haines Creek final development plan. The plat shows 46 residential lots. The proposed lot layout and dimensions match what is shown on the final development plan and meet the requirements of the zoning text.
 - The final plat appropriately shows the lot widths to be at least 52 feet, as required by zoning text section VI(D).
 - The final plat appropriately shows the lot depths to be at least 115 feet, as required by zoning text section VI(E).

- The final plat appropriately shows the following front yard setbacks, as required by the zoning text section VI(F)(2):
 - A 15-foot setback for Lane Homes (lots 100 and 101).
 - A 20-foot setback for all other lots on the final plat.
- O Zoning text section VI(F)(1) states that there shall be a minimum building and pavement setback of 100 feet from the Central College Road and Jug Street right-of-way. However, the text states that homes and other improvements located on lots 71 and 72 may encroach into this setback. This setback is shown on the final plat.

Streets

- The plat creates seven (7) new publicly dedicated streets totaling 6.339+/- acres. All of the new streets meet the right-of-way requirements in the zoning text:
 - Haines Creek Drive provides access to the subdivision from Central College Road, with 60 feet of right-of-way.
 - Cedarville Drive, provides access to the subdivision from Jug Street, with 50 feet of right-of-way.
 - McClellan Drive East, is stubbed from this development to the west property line to provide for a future connection with the existing portion of McClellan Drive located in the Tidewater subdivision, with 50 feet of right-of-way.
 - The city police chief has reviewed the street name and recommends this be changes in order to distinguish it from the existing McClellan Drive in the existing Tidewater subdivision located generally to the west of this site. The city staff recommends a condition of approval that the street name be changed to a unique name.
 - o Wooster Drive, with 50 feet of right-of-way.
 - o Hiram Lane, a publicly dedicated alley, with 20 feet of right-of-way.
 - o Findlay Drive, with 50 feet of right-of-way.
- The utility easements are shown on the plat.
- Per the city's subdivision regulations, C.O. 1187.04, all new streets shall be named and shall be subject to the approval of the Planning Commission. The applicant proposes to utilize the names of private Ohio colleges as street names within the subdivision. Haines Creek Drive shares the same name as the subdivision.

Parkland, Open Space and Tree Preservation Areas

- This phase of the plat contains six (6) reserve areas shown as Reserves "A", "B", "F1", "G", "H", "I" on the plat with a total acreage of 14.589 +/- acres.
 - According to the plat notes, Reserves "A", "B", "F1", and "G" shall be owned by the
 City of New Albany and maintained by the homeowner's association in perpetuity for the
 purpose of open space and/or stormwater retention.
 - The plat states that Reserve "H" will also be owned and maintained by the homeowner's association for the purpose of a Community Amenity Area.
 - O The plat states that Reserve "I" shall be owned by the City of New Albany and maintained by the homeowner's association until a public road is constructed within the reserve and is dedicated to the city as public right-of-way. The city staff recommends a condition of approval that the plat note be updated to clarify that the city will maintain just the street, which is everything between and including the concrete curbs. Everything else outside of the curbs must be maintained by the HOA in perpetuity.
- Various tree preservation zones are shown on the final plat and comply with the tree preservation zone requirements of zoning text section VI(G).
- Typically, subdivision plats that include tree preservation zones, will have a note that requires special markers be placed at each lot corner marking the edge of the Tree Preservation Area. The design of the markers shall be provided by the applicant and must be approved by the city. These markers must be installed prior to any infrastructure acceptance by the city. Historically, the signs are installed on every-other lot line so that there is one sign for each lot. Staff recommends a condition of approval that this note be added to the plat, that the

- developer supply the signs, the design be subject to staff approval and the markers are installed by the developer prior to any infrastructure acceptance by the city.
- C.O. 1187.04(d)(4) and (5) requires verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act and to the U.S. Army Corps of Engineers in compliance with Section 404 of the Clean Water Act. The applicant states that a delineation report is currently under review with the U.S. Army Corps of Engineers; however, the permits have not yet been issued. Staff requests evidence of any permits received from the Ohio Environmental Protection Agency as a condition of approval.
- The city codified ordinance 1159.11 states when a final plat is approved by Council, the owner shall file and record the same in the Office of the County Recorder within twelve (12) months unless such time is, for good cause shown, extended by resolution of Council. If not recorded within this time, the approval of Council shall become null and void.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided the following comments. <u>Staff recommends a condition of approval that these comments be addressed by the applicant, subject to staff approval.</u>

- 1. Sheet 2 of 3: Label the width as measured from the Jug Street road centerline to the r/w line.
- 2. Sheet 3 of 3. Label the 100-year flood plain boundary and floodway in Reserve A.
- 3. Sheet 3 of 3. Refer to Note M. Delete Preliminary Development plan and add Final Development Plan.
- 4. Label all proposed developer easements such as water, storm and sanitary.
- 5. Provide more information regarding private utility easements.
- 6. Refer to Code Section 1187.06 (c) (1) and (2). Provide hard copy documentation indicating that all environmental permit requirements have been addressed.

V. ACTION

Basis for Approval:

The final plat is generally consistent with the final development plan and meets code requirements. Should the Planning Commission approve the application, the following motion would be appropriate.

Suggested Motion for FPL-88-2023:

Move to approve final plat application FPL-88-2023 with the following conditions:

- 1. The plat note for Reserve "I" be updated to clarify that when the public road is constructed within the reserve and is dedicated to the city as public right-of-way, the city will maintain just the street, which is everything between and including the concrete curbs. Everything else outside of the curbs must be maintained by the HOA in perpetuity.
- 2. The plat be updated to include a note for the tree preservation zone signs. The developer shall supply the signs, the design be subject to staff approval, the signs are installed on every-other lot line so that there is one sign for each lot, and the markers are installed by the developer prior to any infrastructure acceptance by the city.
- 3. The applicant provides evidence of any applications filed with the U.S. Army Corps of Engineers or Ohio Environmental Protection Agency, as well as any associated permits that are issued.
- 4. The city engineer comments are addressed, subject to staff approval.
- 5. Approval of the final plat is contingent upon the approval of the final development plan for this development.

Approximate Site Location:



Source: ArcGIS



RE: City of New Albany Board and Commission Record of Action

Dear Aaron Underhill,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Decision and Record of Action

Tuesday, October 17, 2023

The New Albany Planning Commission took the following action on 10/16/2023.

Final Development Plan

Location: FPL-88-2023

Applicant: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

Application: FDP-88-2023

Request: Preliminary and final plat for phase one of Courtyards at Haines Creek located at 8390 and

8306 Central College Road in Franklin County.

Motion: To table FPL-88-2023

Commission Vote: Motion Table, 5-0

Result: FPL-88-2023 was Tabled to the December 4th Informal meeting, by a vote of 5-0.

Recorded in the Official Journal this October 16, 2023

Condition(s) of Approval:

N/A

Staff Certification:

Chelsea Nichols

Chelsea Nichols

Planner



Planning Commission Staff Report October 16, 2023 Meeting

COURTYARDS AT HAINES CREEK SUBDIVISION PHASE 2 PRELIMINARY AND FINAL PLAT

LOCATION: Generally located at the northwest corner of the intersection at Central

College Road and Jug Street Rd NW (PIDs: 222-005156, 222-005157,

222-005158, 222-005159).

APPLICANT: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

REQUEST: Preliminary and Final Plat

ZONING: Courtyards at Haines Creek I-PUD Zoning District

STRATEGIC PLAN: Residential District APPLICATION: FPL-91-2023

Review based on: Application materials received September 15, 2023 and October 2, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

This final plat application is for phase 2 of the Courtyards at Haines Creek subdivision. This phase includes 56 residential lots, four reserves (C1, F2, J, and K), and six new public streets on 18.990 acres.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 20, 2023 (ZC-07-2023) and the zoning change was adopted by city council on July 18, 2023 (O-84-2023).

There is a related final development plan application on the October 16th Planning Commission agenda. This application is reviewed under a separate staff report (FDP-87-2023).

II. SITE DESCRIPTION & USE

The 63.5+/- acre subdivision is located in Franklin County. The site is generally located at the northwest corner of the intersection at Central College Road and Jug Street Rd NW. The site is located immediately west of the Licking County line and immediately, north of Agricultural zoned and residentially used properties, and there are unincorporated residentially zoned and used properties to the west and north of the site.

III. PLAN REVIEW

The Planning Commission's review authority of the final plat is found under C.O. Section 1187. Upon review of the final plat, the Commission is to make a recommendation to the City Council. The staff's review is based on New Albany plans and studies, zoning text, and zoning regulations.

Residential Lots

- The final plat is consistent with the proposed Courtyards at Haines Creek final development plan. The plat shows 56 residential lots. The proposed lot layout and dimensions match what is shown on the final development plan and meet the requirements of the zoning text.
 - The final plat appropriately shows the lot widths to be at least 52 feet, as required by zoning text section VI(D).
 - The final plat appropriately shows the lot depths to be at least 115 feet, as required by zoning text section VI(E).

- The final plat appropriately shows the following front yard setbacks, as required by the zoning text section VI(F)(2):
 - A 15-foot setback for Lane Homes (lots 88-99).
 - A 20-foot setback for all other lots on the final plat.

Streets

- The plat creates six (6) new publicly dedicated streets totaling 3.504+/- acres. All of the new streets meet the right-of-way requirements in the zoning text:
 - Haines Creek Drive provides north-south access through the subdivision, with 60 feet of right-of-way.
 - O Heidelberg Drive, is stubbed from this development to the west property line to provide for a future connection, with 50 feet of right-of-way.
 - o Wooster Drive, with 50 feet of right-of-way.
 - o Hiram Lane, a publicly dedicated alley, with 20 feet of right-of-way.
 - o Marietta Drive, with 50 feet of right-of-way.
 - o Lourdes Drive, with 50 feet of right-of-way.
- The utility easements are shown on the plat.
- Per the city's subdivision regulations, C.O. 1187.04, all new streets shall be named and shall be subject to the approval of the Planning Commission. The applicant proposes to utilize the names of private Ohio colleges as street names within the subdivision. Haines Creek Drive shares the same name as the subdivision.

Parkland, Open Space and Tree Preservation Areas

- This phase of the plat contains four (4) reserve areas shown as Reserves "C1", "F2", "J", and "K" on the plat with a total acreage of 5.848+/- acres.
 - According to the plat notes, Reserves "C1" and "F2", shall be owned by the City of New Albany and maintained by the homeowner's association in perpetuity for the purpose of open space and/or stormwater retention.
 - The zoning text states that in the area consisting of Reserve C1, the application of fertilizer or other lawn treatment chemicals shall be prohibited. Within this area, prairie grass shall be planted and maintained and the landscape plan shall provide for the planting of additional trees to increase buffering of the site from the properties to the north. The city staff recommends a condition of approval that the plat note includes these restrictions for this area.
 - The plat states Reserve "J" shall be owned by the City of New Albany and maintained by the homeowner's association in perpetuity for the purpose of open space and/or stormwater retention.
 - The plat states trees as shown on the Final Development Plan within Reserve "J" shall be preserved and subject to staff approval. Within this reserve, only the construction of paths/trails/sidewalks, underground utility lines and underground storm water management infrastructure shall be permitted.
 - The plat includes a 14-foot-wide general utility easement along Wooster Drive. A plat note requires healthy mature trees and understory vegetation to be preserved unless they conflict with the installation of permitted utility or storm water infrastructure. And, when trees are removed from the reserve due to utility installation, reasonable efforts shall be made to plant new trees in areas within the reserve. Trees shall not be required to be planted in easements and/or locations that may harm the health of preserved trees or unreasonably encroach into the rear yards of lots.
 - Trees and understory vegetation within the reserve may be trimmed, cut, or removed if they are diseased, dead, or of a noxious species or if they present a threat of danger to persons or property.
- The plat states Reserve "K" shall be owned by the City of New Albany and maintained by the homeowner's association until a public road is constructed within the reserve and is dedicated to the city as public right-of-way. The city staff recommends a condition of approval that the

plat note be updated to clarify that the city will maintain just the street, which is everything between and including the concrete curbs. Everything else outside of the curbs must be maintained by the HOA in perpetuity.

- Various tree preservation zones are shown on the final plat and comply with the tree preservation zone requirements of zoning text section VI(G).
- Typically, subdivision plats that include tree preservation zones, have a note that requires special markers be placed at each lot corner marking the edge of the Tree Preservation Area. The design of the markers shall be provided by the applicant and must be approved by the city. These markers must be installed prior to any infrastructure acceptance by the city. Historically, the signs are installed on every-other lot line so that there is one sign for each lot. Staff recommends a condition of approval that this note be added to the plat, that the developer supply the signs, the design be subject to staff approval and the markers are installed by the developer prior to any infrastructure acceptance by the city.
- C.O. 1187.04(d)(4) and (5) requires verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act and to the U.S. Army Corps of Engineers in compliance with Section 404 of the Clean Water Act. The applicant states that a delineation report is currently under review with the U.S. Army Corps of Engineers; however, the permits have not yet been issued. Staff requests evidence of any permits received from the Ohio Environmental Protection Agency as a condition of approval.
- The city codified ordinance 1159.11 states when a final plat is approved by Council, the owner shall file and record the same in the Office of the County Recorder within twelve (12) months unless such time is, for good cause shown, extended by resolution of Council. If not recorded within this time, the approval of Council shall become null and void.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided the following comments. <u>Staff</u> recommends a condition of approval that these comments be addressed by the applicant, subject to staff approval.

- 1. Label all proposed developer easements such as water, storm and sanitary.
- 2. Provide more information regarding private utility easements.
- 3. Refer to Code Section 1187.06 (c) (1) and (2). Provide hard copy documentation indicating that all environmental permit requirements have been addressed.
- 4. Refer to Note J. Delete Preliminary Development plan and add Final Development Plan.

V. ACTION

Basis for Approval:

The final plat is generally consistent with the final development plan and meets code requirements. Should the Planning Commission approve the application, the following motion would be appropriate.

Suggested Motion for FPL-91-2023:

Move to approve final plat application FPL-91-2023 with the following conditions:

- 1. The zoning text states that in the area consisting of Reserve C1, the application of fertilizer or other lawn treatment chemicals shall be prohibited. Within this area, prairie grass shall be planted and maintained and the landscape plan shall provide for the planting of additional trees to increase buffering of the site from the properties to the north. The plat note shall be updated to include these restrictions for this area.
- 2. The plat note for Reserve "K" be updated to clarify that when the public road is constructed within the reserve and is dedicated to the city as public right-of-way, the city will maintain just the street, which is everything between and including the concrete curbs. Everything else outside of the curbs must be maintained by the HOA in perpetuity.

- 3. The plat be updated to include a note for the tree preservation zone signs. The developer shall supply the signs, the design be subject to staff approval, the signs are installed on every-other lot line so that there is one sign for each lot, and the markers are installed by the developer prior to any infrastructure acceptance by the city.
- 4. The applicant provides evidence of any applications filed with the U.S. Army Corps of Engineers or Ohio Environmental Protection Agency, as well as any associated permits that are issued.
- 5. The city engineer comments are addressed, subject to staff approval.
- 6. Approval of the final plat is contingent upon the approval of the final development plan for this development.

Approximate Site Location:



Source: ArcGIS



RE: City of New Albany Board and Commission Record of Action

Dear Aaron Underill,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Decision and Record of Action

Tuesday, October 17, 2023

The New Albany Planning Commission took the following action on 10/16/2023 .

Final Development Plan

Location: FPL-91-2023

Applicant: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

Application: FDP-91-2023

Request: Preliminary and final plat for phase two of Courtyards at Haines Creek located at 8390

and 8306 Central College Road in Franklin County.

Motion: To table FPL-91-2023

Commission Vote: Motion Table, 5-0

Result: FPL-91-2023 was Tabled to the December 4th Informal meeting, by a vote of 5-0.

Recorded in the Official Journal this October 16, 2023

Condition(s) of Approval:

N/A

Staff Certification:

Chelsea Nichols

Chelsea Nichols

Planner



Planning Commission Staff Report October 16, 2023 Meeting

COURTYARDS AT HAINES CREEK SUBDIVISION PHASE 3 PRELIMINARY AND FINAL PLAT

LOCATION: Generally located at the northwest corner of the intersection at Central

College Road and Jug Street Rd NW (PIDs: 222-005156, 222-005157,

222-005158, 222-005159).

APPLICANT: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

REQUEST: Preliminary and Final Plat

ZONING: Courtyards at Haines Creek I-PUD Zoning District

STRATEGIC PLAN: Residential District APPLICATION: FPL-92-2023

Review based on: Application materials received September 15, 2023 and October 2, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

This final plat application is for phase 3 of the Courtyards at Haines Creek subdivision. This phase includes 49 residential lots, three reserves (C2, D, and E), and four new public streets on 15.428 acres.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 20, 2023 (ZC-07-2023) and the zoning change was adopted by city council on July 18, 2023 (O-84-2023).

There is a related final development plan application on the October 16th Planning Commission agenda. This application is reviewed under a separate staff report (FDP-87-2023).

II. SITE DESCRIPTION & USE

The 63.5+/- acre subdivision is located in Franklin County. The site is generally located at the northwest corner of the intersection at Central College Road and Jug Street Rd NW. The site is located immediately west of the Licking County line and immediately, north of Agricultural zoned and residentially used properties, and there are unincorporated residentially zoned and used properties to the west and north of the site.

III. PLAN REVIEW

The Planning Commission's review authority of the final plat is found under C.O. Section 1187. Upon review of the final plat, the Commission is to make a recommendation to the City Council. The staff's review is based on New Albany plans and studies, zoning text, and zoning regulations.

Residential Lots

• At the Parks and Trails Advisory Board meeting on Monday, October 2, 2023, the applicant verbally committed to sliding lots 152-155 west to allow access at the northeast corner. The Planning Commission will evaluate the lot location as part of the Final Development Plan application. Staff recommends a condition of approval that the lots on this plat match the lots on the final development plan.

- The final plat is consistent with the proposed Courtyards at Haines Creek final development plan. The plat shows 49 residential lots. The proposed lot layout and dimensions match what is shown on the final development plan and meet the requirements of the zoning text.
 - The final plat appropriately shows the lot widths to be at least 52 feet, as required by zoning text section VI(D).
 - The final plat appropriately shows the lot depths to be at least 115 feet, as required by zoning text section VI(E).
 - The final plat appropriately shows the front yard setbacks to be 20 feet, as required by the zoning text section VI(F)(2):

Streets

- The plat creates four (4) new publicly dedicated streets totaling 1.298+/- acres. All of the new streets meet the right-of-way requirements in the zoning text:
 - o Haines Creek Drive, with 60 feet of right-of-way.
 - Heidelberg Drive, is stubbed from this development to the west property line to provide for a future connection, with 50 feet of right-of-way.
 - o Lourdes Drive, with 50 feet of right-of-way.
 - o Defiance Drive, with 50 feet of right-of-way.
- The utility easements are shown on the plat.
- Per the city's subdivision regulations, C.O. 1187.04, all new streets shall be named and shall be subject to the approval of the Planning Commission. The applicant proposes to utilize the names of private Ohio colleges as street names within the subdivision. Haines Creek Drive shares the same name as the subdivision.

Parkland, Open Space and Tree Preservation Areas

- This phase of the plat contains three (3) reserve areas shown as Reserves "C2", "D", and "E" on the plat with a total acreage of 8.801+/- acres.
 - According to the plat notes, the reserves shall be owned by the City of New Albany and maintained by the homeowner's association in perpetuity for the purpose of open space and/or stormwater retention.
 - O The zoning text states that in the area consisting of Reserve C2, the application of fertilizer or other lawn treatment chemicals shall be prohibited. Within this area, prairie grass shall be planted and maintained and the landscape plan shall provide for the planting of additional trees to increase buffering of the site from the properties to the north. The city staff recommends a condition of approval that the plat note includes these restrictions for this area.
- Various tree preservation zones are shown on the final plat and comply with the tree preservation zone requirements of zoning text section VI(G).
- Typically, subdivision plats that include tree preservation zones, have a note that requires special markers be placed at each lot corner marking the edge of the Tree Preservation Area. The design of the markers shall be provided by the applicant and must be approved by the city. These markers must be installed prior to any infrastructure acceptance by the city. Historically, the signs are installed on every-other lot line so that there is one sign for each lot. Staff recommends a condition of approval that this note be added to the plat, that the developer supply the signs, the design be subject to staff approval and the markers are installed by the developer prior to any infrastructure acceptance by the city.
- C.O. 1187.04(d)(4) and (5) requires verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act and to the U.S. Army Corps of Engineers in compliance with Section 404 of the Clean Water Act. The applicant states that a delineation report is currently under review with the U.S. Army Corps of Engineers; however, the permits have not yet been issued. Staff requests evidence of any permits received from the Ohio Environmental Protection Agency as a condition of approval.
- The city codified ordinance 1159.11 states when a final plat is approved by Council, the owner shall file and record the same in the Office of the County Recorder within twelve (12) months

unless such time is, for good cause shown, extended by resolution of Council. If not recorded within this time, the approval of Council shall become null and void.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided the following comments. <u>Staff</u> recommends a condition of approval that these comments be addressed by the applicant, subject to staff approval.

- 1. Label all proposed developer easements such as water, storm and sanitary.
- 2. Provide more information regarding private utility easements.
- 3. Refer to Code Section 1187.06 (c) (1) and (2). Provide hard copy documentation indicating that all environmental permit requirements have been addressed.
- 4. Refer to Note I. Delete Preliminary Development plan and add Final Development Plan.

V. ACTION

Basis for Approval:

The final plat is generally consistent with the final development plan and meets code requirements. Should the Planning Commission approve the application, the following motion would be appropriate.

Suggested Motion for FPL-92-2023:

Move to approve final plat application FPL-92-2023 with the following conditions:

- 1. That the lots on this plat match the lots on the final development plan.
- 2. The zoning text states that in the area consisting of Reserve C1, the application of fertilizer or other lawn treatment chemicals shall be prohibited. Within this area, prairie grass shall be planted and maintained and the landscape plan shall provide for the planting of additional trees to increase buffering of the site from the properties to the north. The plat note shall be updated to include these restrictions for this area.
- 3. The plat be updated to include a note for the tree preservation zone signs. The developer shall supply the signs, the design be subject to staff approval, the signs are installed on every-other lot line so that there is one sign for each lot, and the markers are installed by the developer prior to any infrastructure acceptance by the city.
- 4. The applicant provides evidence of any applications filed with the U.S. Army Corps of Engineers or Ohio Environmental Protection Agency, as well as any associated permits that are issued.
- 5. The city engineer comments are addressed, subject to staff approval.
- 6. Approval of the final plat is contingent upon the approval of the final development plan for this development.

Approximate Site Location:



Source: ArcGIS



RE: City of New Albany Board and Commission Record of Action

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Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Decision and Record of Action

Tuesday, October 17, 2023

The New Albany Planning Commission took the following action on 10/16/2023 .

Final Development Plan

Location: FPL-92-2023

Applicant: EC New Vision Ohio LLC, c/o Aaron L. Underhill, Esq.

Application: FDP-92-2023

Request: Preliminary and final plat for phase three of Courtyards at Haines Creek located at

8390 and 8306 Central College Road in Franklin County.

Motion: To table FPL-92-2023

Commission Vote: Motion Table, 5-0

Result: FPL-92-2023 was Tabled to the December 4th Informal meeting, by a vote of 5-0.

Recorded in the Official Journal this October 16, 2023

Condition(s) of Approval:

N/A

Staff Certification:

Chelsea Nichols

Chelsea Nichols

Planner



Planning Commission Staff Report October 16, 2023 Meeting

JUG STREET SOUTH EXPANSION ZONING DISTRICT ZONING AMENDMENT

LOCATION: 2650 Harrison Road (PIDs: 037-112110-00.000, 037-111930-00.000,

037-112044-00.001, 037-112044-00.003, 037-112044-01.000, 037-112044-03.000, 037-112044-02.000, 037-112044-00.002, 037-112044-00.009, 037-112044-00.004, 037-112044-00.005, 037-112044-00.000, 037-112044-00.008, 037-112044-00.007,

037-112044-00.005, 037-112050-00.001)

APPLICANT: Jackson B. Reynolds, III REQUEST: Zoning Amendment

ZONING: AG Agricultural to L-GE Limited General Employment

STRATEGIC PLAN: Employment Center

APPLICATION: ZC-90-2023

Review based on: Application materials received September 15, 2023 and October 6, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

The applicant requests a review and recommendation to rezone approximately 84.736 acres. The request creates a new limitation text for the area known as the "Jug Street South Expansion Zoning District" by zoning the area to Limited General Employment (L-GE). The proposed rezoning expands the New Albany International Business Park.

The zoning district meets the recommended use and development standards found in the Engage New Albany strategic plan Northeast Area addendum Employment Center land use category. The text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts that are also zoned Limited General Employment (L-GE). This rezoning extends the same or similar zoning and development standards to this property as currently apply to its neighboring commercially zoned property in the general vicinity.

II. SITE DESCRIPTION & USE

The overall site consists of 16 parcels and is located within Licking County. The site is located at the southwest corner of Jug Street St Rd SW and Harrison Rd NW. The subject parcels are currently being annexed into the city. The annexation petitions were submitted on June 23, 2023 and was heard for first and record readings at city council on September 5, 2023 and September 19, 2023. The 30-day referendum period expires on October 19, 2023.

There are no residentially zoned or used properties adjacent to this zoning district. The site is comprised of residential homes. The neighboring uses and zoning districts include L-GE and Technology Manufacturing District. The immediate neighboring zoning districts include the Harrison East L-GE zoning district to the east, the Harrison West and Business Park East Innovation L-GE zoning districts to the south, the Jug Street South L-GE zoning district to the west, the Jug Street North L-GE zoning district to the north, and the Technology Manufacturing zoning district to the northeast.

III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.09. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to City Council. The property owners within 200 feet of the property in question have been notified.

Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in <u>underlined text</u>.

<u>Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:</u>

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

A. New Albany Strategic Plan

The zoning district is located within the 2018 Western Licking County Accord's Office/Warehouse future land use district. The subject parcels are also located within the New Albany Planning Area. The 2022 Engage New Albany strategic plan lists the following development standards for the Employment Center future land use district:

- 1. No freeway / pole signs are allowed.
- 2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
- 3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
- 4. Sites with multiple buildings should be well organized and clustered if possible.
- 5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
- 6. All office developments should plan for regional stormwater management.
- 7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
- 8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
- 9. Combined curb cuts and cross-access easements are encouraged.
- 10. The use of materials, colors, and texture to break up large-scale facades is required.

B. Use, Site and Layout

- 1. The proposed zoning text is a limitation text. A limitation text can only establish more restrictive requirements than the zoning code.
- 2. The applicant proposes the same development standards from nearby L-GE zoning districts within the New Albany International Business Park. Due to the proximity of this site to the State Route 161 interchange and its location adjacent to commercially zoned and used land in the existing Licking County business park, the site appears to be most appropriate for commercial development.
- 3. This district has the same list of permitted, conditional, and prohibited General Employment uses as the neighboring L-GE zoning districts.
 - The limitation text allows for general office activities, data centers, warehouse & distribution, and research & production uses. Personal service and retail product sales and services are only allowed as accessory uses to a permitted use in this zoning district.

- Conditional uses industrial manufacturing and assembly, car fleet/truck fleet parking, and limited educational institutions.
- Prohibited uses include industrial product sales and services, mini-warehouses, off-premises signs, vehicle services, radio/television broadcast facilities, and sexually oriented business.
- 4. The text establishes the following setbacks which are consistent with surrounding zoning districts where L-GE uses are also permitted:

Perimeter Boundary	Pavement Setback	Building Setback
Jug Street (Northern)	50 feet	100 feet
Harrison Road (Eastern)	50 feet	50 feet
Perimeter Boundaries	25 feet	25 feet
(Western and Southern)		
Southern Boundary	25 feet	25 feet
Other Public Rights-of-Way	25 feet	50 feet

There are no residentially owned and used properties along the boundaries of this zoning district.

5. The text contains the same provision for elimination of setbacks for building and pavement when this zoning district and any adjacent parcel located outside of this zoning district come under common ownership, are zoned to allow compatible non-residential uses, and are combined into a single parcel.

C. Access, Loading, Parking

- 1. The zoning text states that the number, locations and spacing of curb cuts along public rights-of-way shall be determined and approved at the time that a certificate of appropriateness is issued for a project in this zoning district.
- 2. The proposed text requires 30 feet of right-of-way to be dedicated along Jug Street and 40 feet of right-of-way to be dedicated along Harrison Road, which is consistent with the surrounding zoning districts.
- 3. In addition to right-of-way amounts, the city staff is recommending a condition of approval that the text be revised to require the property owner to grant easements adjacent to the right-of-way in order to install and maintain streetscape improvements and/or utilities. The proposed right-of-way widths and easement requirements are sufficient to accommodate the city street capital improvement projects.
- 4. Parking is required be provided per code requirements (Chapter 1167) and will be evaluated at the time of development of the site.
- 5. The text requires an 8-foot-wide leisure trail to be installed along Jug Street and Harrison Road frontage of the site.

D. Architectural Standards

- 1. The proposed rezoning implements many of the same standards and limitations set forth in the New Albany Architectural Design Guidelines and Requirements (Chapter 1157).
- 2. The zoning text section IV.A. permits 85-foot-tall buildings, subject to Section 1165.03 of the Codified Ordinances. The General Employment district does not typically have a height limitation. However, there are other L-GE districts that do implement a height restriction usually allowing up to 85-foot tall buildings. There are some L-GE districts that require a height maximum of 65 feet when adjacent to residential uses. In this case, there are no residentially owned and used properties along the boundaries of this zoning district.
- 3. The City's Design Guidelines and Requirements do not provide architectural standards for warehouse and distribution type facilities. Due to the inherent size and nature of these facilities careful attention must be paid to their design to ensure they are appropriately integrated into the rest of the business park. This limitation text contains specific design requirements for uses not governed by the DGRs as those in other subareas of the Licking County business park, which ensures the quality design of these buildings throughout this portion of the business park.

- 4. Section IV.E.6 of the zoning text requires complete screening of all roof-mounted equipment on all four sides of the building using materials that are consistent and harmonious with the building's façade and character. The text indicates that the screening is provided to screen equipment from off-site view but also to buffer sound generated by the equipment.
- 5. The city staff recommends a condition of approval that the zoning text be updated to require building color palettes be as simple and unobtrusive as possible and that buildings shall avoid overly bright or jarring colors. The addition of this language will ensure constancy within the business park as this language has been established for surrounding zoning districts where L-GE uses are also permitted.

E. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Maximum lot coverage for this zoning district is 75%. This matches the surrounding zoning districts.
- 2. The proposed zoning text contains the same tree preservation language as the neighboring approved L-GE zoning texts. The text states that the developer of the property shall make a reasonable effort to preserve existing trees to provide a buffer from the public streets. Additionally, the text states that if reasonable efforts cannot be made to preserve existing trees, an additional 1 tree per 25 feet of road frontage must be provided in addition to the required street trees.
- 3. Beech Road North Landscape Plan: Landscaping for the Jug Street right of way shall adhere the guidelines found in the Beech Road North Landscape Plan as adopted by the City of New Albany. The city staff recommends a condition of approval that the text be updated to require the landscape standards in the plan to apply to both Jug Street and Harrison Road.
- 4. A street tree row shall be established along Jug Street and Harrison Road and shall contain one (1) tree for every thirty (30) feet of road frontage. Trees may be grouped or regularly spaced. Street trees shall be located within the right-of-way. Minimum street tree size at installation shall be three (3) caliper inches. This requirement may be waived in areas where existing vegetation occurs, subject to approval of the City Landscape Architect.
- 5. Minimum On-Site Tree Sizes: Unless otherwise set forth herein, minimum tree size at installation shall be no less than two and one half (2 ½) inches in caliper for shade trees, six (6) feet in height for evergreen trees, two (2) inches in caliper for ornamental trees, and thirty (30) inches in height for shrubs. Caliper shall be measured six (6) inches above grade.
- 6. The zoning text states the standard New Albany white four-board horse fence may (but shall not be required to) be provided within the public right-of-way. However, all of the neighboring site have the white horse fence. The city staff recommends a condition of approval that the text be revised to require the white four-board horse fence.
- 7. The zoning text states all security fencing shall be coordinated and consistent between sites. All security fencing shall be black decorative Ameristar fencing or black vinyl coated chain link fencing. The city staff recommends a condition of approval that the zoning text be revised to include "or similar subject to review and approval of the city landscape architect." The addition of this language will ensure constancy within the business park as this language has been established for surrounding zoning districts where L-GE uses are also permitted.
- 8. Utilities: The zoning text states that all new utilities installed solely to serve this zoning district shall be installed underground. The city staff recommends a condition of approval that the zoning text be updated to require an exception for transmission lines for electric. The addition of this language will ensure constancy within the business park as this language has been established for surrounding zoning districts where L-GE uses are also permitted.

F. Lighting & Signage

- 1. All signage shall conform to the standards set forth in Codified Ordinance Section 1169.
- 2. All lighting shall be cut-off type fixtures and down cast to minimize light spilling beyond the boundaries of the site. The maximum height is 30 feet.
- 3. The zoning text requires landscape lighting details to be included in the landscape plan which is subject to review and approval by the City Landscape Architect.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and have no comments.

V. SUMMARY

The limitation text provides for stricter limitations in use and design than the straight General Employment zoning districts and retains many of the requirements found in adjacent existing zoning texts. Due to the proximity of this site to the State Route 161 interchange and its location adjacent to commercially zoned land in the existing New Albany Business Park, the site appears to be most appropriate for commercial development.

It appears that the proposed zoning text meets or exceeds a majority of the development standards found in both the Western Licking County Accord Plan and the Engage New Albany Strategic Plan.

- 1. The rezoning results in a more comprehensive planned redevelopment of the area and will ensure compatibility between uses (1111.06(a)).
- 2. The L-GE rezoning application is an appropriate application for the request (1111.06(e)).
- 3. The overall effect of the development advances and benefits the general welfare of the community (1111.06(f)).
- 4. The proposed rezoning allows for the development of businesses that generate revenue for the school district while eliminating residential units having a positive impact on the school district (1111.06(h)).

VI. ACTION

Suggested Motion for ZC-90-2023:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to recommend approval to city council of application ZC-90-2023, based on the findings in the staff report, with the following conditions:

- 1. The zoning text be revised to require the property owner to grant easements adjacent to the right-of-way in order to install and maintain streetscape improvements and/or utilities. The proposed right-of-way widths and easement requirements are to be sufficient to accommodate the city street capital improvement projects;
- 2. The zoning text be revised to require building color palettes be as simple and unobtrusive as possible and that buildings shall avoid overly bright or jarring colors;
- 3. The zoning text be revised to require the Beech Road North Landscape Plan apply to both Jug Street and Harrison Road;
- 4. The zoning text be revised to state that a standard New Albany white four-board horse fence shall be required to be provided within the public right-of-way;
- 5. The zoning text be revised to state all security fencing shall be black decorative Ameristar fencing or black vinyl coated chain link fencing, or similar subject to review and approval of the city landscape architect; and
- 6. The zoning text be revised to state all new utilities, with the exception of transmission line for electric, installed solely to serve this zoning district shall be installed underground.

Approximate Site Location:



Source: Nearmap



RE: City of New Albany Board and Commission Record of Action

Dear Jackson B. Reynolds,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Decision and Record of Action

Tuesday, October 17, 2023

The New Albany Planning Commission took the following action on Monday, October 16, 2023.

Final Development Plan Modification

Location: 2650 Harrison Road **Applicant:** Jackson B. Reynolds

Application: ZC-90-2023

Request: To rezone approximately 84.736 acres

Motion: To approve with conditions

Commission Vote: Motion to approve with conditions, 5-0

Result: Rezoning, ZC-90-2023, was approved with conditions, by a vote of 5-0.

Recorded in the Official Journal this Tuesday, October 17, 2023.

Condition(s) of Approval: See attached page three of three.

Staff Certification:

Chelsea Nichols

Chelsea Nichols

Planner



Conditions of Approval

- 1. The zoning text be revised to require the property owner to grant easements adjacent to the right-of-way in order to install and maintain streetscape improvements and/or utilities.
- 2. The proposed right-of-way widths and easement requirements are to be sufficient to accommodate the city street capital improvement projects;
- 3. The zoning text be revised to require building color palettes be simple and unobtrusive and that buildings shall avoid overly bright or jarring colors;
- 4. The zoning text be revised to require the Beech Road North Landscape Plan apply to both Jug Street and Harrison Road;
- 5. The zoning text be revised to state that a standard New Albany white four-board horse fence shall be required to be provided within the public right-of-way;
- 6. The zoning text be revised to state all security fencing shall be black decorative Ameristar fencing or black vinyl coated chain link fencing, or similar subject to review and approval of the city landscape architect; and
- 7. The zoning text be revised to state all new utilities, with the exception of transmission line for electric, installed solely to serve this zoning district shall be installed underground.



Planning Commission Staff Report October 16, 2023 Meeting

BRISCOE PARKWAY PHASE 1 FINAL PLAT

LOCATION: Generally located between Horizon Court and Harrison Road (PIDs:

095-111756-00.010, 095-111756-00.011, 095-111756-00.013, and 095-

111756-00.000)

City of New Albany APPLICANT:

Final Plat REQUEST:

ZONING: Limited General Employment (L-GE) and Technology Manufacturing

District (TMD)

Employment Center STRATEGIC PLAN: FPL-94-2023

APPLICATION:

Review based on: Application materials received October 2, 2023.

Staff report completed by Stephen Mayer, Planning Manager

I. REQUEST AND BACKGROUND

The application is for a final plat for Briscoe Parkway public street dedication and easements phase 1 located between Horizon Court and Harrison Road in Licking County. This new street provides additional connections within the New Albany International Business Park for existing and future development sites.

The Planning Commission approved a preliminary plat (PP-43-2023) for this public street on April 17, 2023, with a condition that the road alignment be such that the 25-foot easement be 50 feet from the centerline of Blacklick Creek. The final plats meet the condition by providing a minimum of 50 feet of separation from the easement to the creek's centerline.

II. SITE DESCRIPTION & USE

The proposed right-of-way dedication connects Horizon Court to Harrison Road and ultimately Clover Valley Road. The property being dedicated and all of the adjacent property to the street is zoned L-GE permitting commercial uses such as office, distribution, manufacturing and production, and warehousing uses.

III. PLAN REVIEW

The Planning Commission's review authority of the final plat is found under C.O. Section 1187. Upon review of the final plat, the Commission is to make a recommendation to City Council. The staff's review is based on city plans and studies, zoning text, and zoning regulations.

- 1. This plat dedicates right-of-way to the City of New Albany for phase 1 of a new public street named Briscoe Parkway. The dedication extension consists of approximately 3,033 +/- linear feet of a new public street totaling approximately 4.152+/- acres. There are no reserves being platted or lots being created within this new right-of-way extension.
- 2. This is the first of two phases for a new 6,042 linear foot long east/west public street connecting Horizon Court, Harrison Road and Clover Valley Road in Licking County. The phase 2 final plat is also on the October 16, 2023 Planning Commission agenda.
- 3. The plat dedicates 60 feet of right-of-way. The plat includes a 25 foot wide utility and streetscape easement on both sides of the street.

- 4. The street extends through the Jug Street North zoning district, the proposed Harrison Road Triangle zoning district, and Technology Manufacturing zoning district.
- 5. Based on the roadway typologies in the immediate area, this proposed roadway is best classified as a Business Park road character classification as described in the Engage New Albany Strategic Plan. The new street is designed to accommodate heavier traffic traveling into the business park. The 60 feet of right-of-way, coupled with the proposed 25 foot wide easements on each side is consistent with a 67-foot to 115-foot range recommendation in the Engage New Albany Strategic Plan.

IV. ENGINEER'S COMMENTS

The city Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and has no comments.

V. RECOMMENDATION

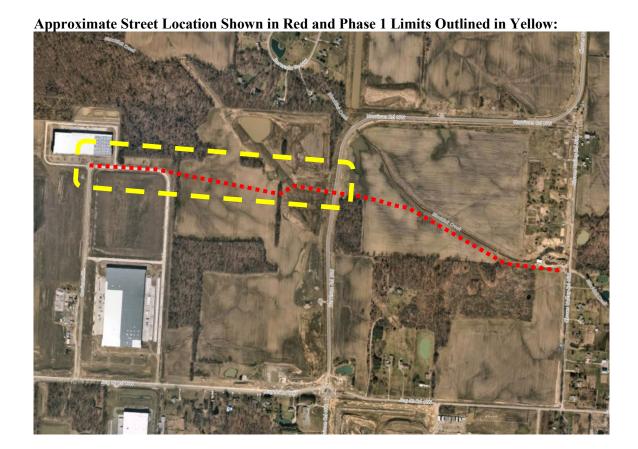
Basis for Approval:

The proposed street plat is consistent with the approved preliminary plat alignment and condition of approval. It meets the goals and objectives found in the Engage New Albany strategic plan for this area. One of the mobility goals within the Engage New Albany strategic plan is to maximize the connectivity and safety of New Albany's network. One of the plan's priorities is to distribute traffic throughout the roadway network. This street serves as an additional connection within the New Albany Business Park and provides access to existing and future development sites. This connection results in Horizon Court no longer being a culde-sac and connects that portion of the business park to the supplier park.

VI. ACTION

Suggested Motion for FPL-94-2023 (additional conditions may be added):

Move to recommend approval of application FPL-94-2023.





RE: City of New Albany Board and Commission Record of Action

Dear Director Chrysler,

Attached is the Record of Action for your recent application that was heard by the New Albany Planning Commission. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy, or make alterations to any land area or building. A building permit and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval, these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Decision and Record of Action

Tuesday, November 7, 2023

The New Albany Planning Commission took the following action on 10/16/2023.

Final Plat

Location: FPL-94-2023

Applicant: City of New Albany

Application: FPL-94-2023

Request: Final Plat for Briscoe Parkway public street dedication and easements phase I located

between Horizon Court and Harrison Road in Licking County.

Motion: To approve.

Commission Vote: Motion Granted 5-0.

Result: Final Plat, FPL-94-2023, was granted by a vote of 5-0.

Recorded in the Official Journal this November 7, 2023.

Staff Certification:

Chris Christian

Chris Christian

Planner II



Planning Commission Staff Report October 16, 2023 Meeting

BRISCOE PARKWAY PHASE 2 FINAL PLAT

LOCATION: Generally located between Horizon Court and Harrison Road (PIDs:

095-111756-00.010, 095-111756-00.011, 095-111756-00.013, and 095-

111756-00.000)

APPLICANT: City of New Albany

REQUEST: Final Plat

ZONING: Limited General Employment (L-GE) and Technology Manufacturing

District (TMD)

STRATEGIC PLAN: Employment Center

APPLICATION: FPL-94-2023

Review based on: Application materials received October 2, 2023.

Staff report completed by Stephen Mayer, Planning Manager

I. REQUEST AND BACKGROUND

The application is for a final plat for Briscoe Parkway public street dedication and easements phase 2 located between Harrison Road and Clover Valley Road in Licking County. This new street provides additional connections within the New Albany International Business Park for existing and future development sites.

The Planning Commission approved a preliminary plat (PP-43-2023) for this public street on April 17, 2023, with a condition that the road alignment be such that the 25-foot easement be 50 feet from the centerline of Blacklick Creek. The final plats meet the condition by providing a minimum of 50 feet of separation from the easement to the creek's centerline.

II. SITE DESCRIPTION & USE

The proposed right-of-way dedication connects Harrison Road to Clover Valley Road. The property being dedicated and all of the adjacent property to the street is zoned L-GE and TMD permitting commercial uses such as office, distribution, manufacturing and production, and warehousing uses.

III. PLAN REVIEW

The Planning Commission's review authority of the final plat is found under C.O. Section 1187. Upon review of the final plat, the Commission is to make a recommendation to the City Council. The staff's review is based on city plans and studies, zoning text, and zoning regulations.

- 1. This plat dedicates right-of-way to the City of New Albany for phase 2 of a new public street named Briscoe Parkway. The dedication extension consists of approximately 3,009 +/- linear feet of a new public street totaling approximately 4.259+/- acres. There are no reserves being platted or lots being created within this new right-of-way extension.
- 2. This is the second of two phases for a new 6,042 linearly foot long east/west public street connecting Horizon Court, Harrison Road and Clover Valley Road in Licking County. The phase 1 final plat is also on the October 16, 2023 Planning Commission agenda.
- 3. The plat dedicates 60 feet of right-of-way. The plat includes a 25 foot wide utility and streetscape easement on both sides of the street.

- 4. The street extends through the Jug Street North zoning district, the proposed Harrison Road Triangle zoning district, and Technology Manufacturing zoning district.
- 5. Based on the roadway typologies in the immediate area, this proposed roadway is best classified as a Business Park road character classification as described in the Engage New Albany Strategic Plan. The new street is designed to accommodate heavier traffic traveling into the business park. The 60 feet of right-of-way, coupled with the proposed 25 foot wide easements on each side is consistent with a 67-foot to 115-foot range recommendation in the Engage New Albany Strategic Plan.

IV. ENGINEER'S COMMENTS

The city Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and has no comments.

V. RECOMMENDATION

Basis for Approval:

The proposed street plat is consistent with the approved preliminary plat alignment and condition of approval. It meets the goals and objectives found in the Engage New Albany strategic plan for this area. One of the mobility goals within the Engage New Albany strategic plan is to maximize the connectivity and safety of New Albany's network. One of the plan's priorities is to distribute traffic throughout the roadway network. This street serves as an additional connection within the New Albany Business Park and provides access to existing and future development sites. This connection results in Horizon Court no longer being a culde-sac and connects that portion of the business park to the supplier park.

VI. ACTION

Suggested Motion for FPL-95-2023 (additional conditions may be added):

Move to recommend approval of application FPL-95-2023.





RE: City of New Albany Board and Commission Record of Action

Dear Director Chrysler,

Attached is the Record of Action for your recent application that was heard by the New Albany Planning Commission. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy, or make alterations to any land area or building. A building permit and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval, these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Decision and Record of Action

Tuesday, November 7, 2023

The New Albany Planning Commission took the following action on 10/16/2023.

Final Plat

Location: FPL-95-2023

Applicant: City of New Albany

Application: FPL-95-2023

Request: Final Plat for Briscoe Parkway public street dedication and easements phase II located

between Harrison Road and Clover Valley Road in Licking County.

Motion: To approve.

Commission Vote: Motion Granted 5-0.

Result: Final Plat, FPL-95-2023, was granted by a vote of 5-0.

Recorded in the Official Journal this November 7, 2023.

Staff Certification:

Chris Christian

Chris Christian

Planner II



Planning Commission Staff Report November 20, 2023 Meeting

CME CREDIT UNION AND CRIMPSON CUP COFFEE SHOP FINAL DEVELOPMENT PLAN

LOCATION: Located at the southwest corner of Beech Road and Smith's Mill Road

(PID: 093-106512-00.00)

APPLICANT: Brian Wellert

REQUEST: Final Development Plan ZONING: Beech Crossing I-PUD

STRATEGIC PLAN: Retail

APPLICATION: FDP-77-2023

Review based on: Application materials received October 31, 2023.

Staff report prepared by Chelsea Nichols, Planner

I. REQUEST AND BACKGROUND

The application is a final development plan for a proposed CME credit union and Crimson Cup coffee shop with drive-throughs located at the southwest corner of Beech Road and Smith's Mill Road.

The Planning Commission reviewed and tabled this application at the September 2023 meeting. The Planning Commission advised the applicant to re-evaluate the proposed site plan and consider revising it to reduce the number of variances that would be needed. Since that meeting, the applicant has revised the site plan to align with New Albany standards and to reduce the number of variance requests from three to one.

The applicant is applying for one variance related to this final development plan under application VAR-79-2023. Information and evaluation of the variance request is under a separate staff report.

The property in question is zoned I-PUD and is located within the Beech Crossing Zoning District which was reviewed and approved by the Planning Commission on January 22, 2020 (ZC-102-2019).

II. SITE DESCRIPTION & USE

The site is generally located north of State Route 161, south of Smith's Mill Road and west of Beech Road. The site is 2.03 acres and is currently undeveloped. This is the fourth proposed development for this zoning district. The Planning Commission approved final development plan applications for Duke and Ditches on October 20, 2020, Holiday Inn Express on February 19, 2020, and Taco Bell on August 21, 2023.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in <u>underlined text</u>. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;
- b. That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;
- c. That the proposed development advances the general welfare of the Municipality;
- d. That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;
- e. Various types of land or building proposed in the project;
- f. Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;
- g. Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- h. Building heights of all structures with regard to their visual impact on adjacent facilities;
- i. Front, side and rear yard definitions and uses where they occur at the development periphery;
- j. Gross commercial building area;
- k. Area ratios and designation of the land surfaces to which they apply;
- l. Spaces between buildings and open areas;
- m. Width of streets in the project;
- n. Setbacks from streets;
- o. Off-street parking and loading standards;
- p. The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- *q.* The potential impact of the proposed plan on the student population of the local school district(s);
- r. The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- s. The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. Ensure that future growth and development occurs in general accordance with the Strategic Plan;
- b. Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible
- c. Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;
- d. Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;
- e. Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;
- f. Foster the safe, efficient and economic use of land, transportation, public facilities and services:
- g. Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;
- h. Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;
- i. Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- j. Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;

- k. Provide an environment of stable character compatible with surrounding areas; and
- l. Provide for innovations in land development, especially for affordable housing and infill development.

Engage New Albany Strategic Plan Recommendations

The Engage New Albany strategic plan recommends the following development standards for the Retail future land use category:

- 1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
- 2. Combined curb cuts and cross access easements are encouraged.
- 3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
- 4. Combined curb cuts and cross-access easements between parking areas are preferred between individual buildings.
- 5. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
- 6. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

- 1. The proposed coffee shop with drive-through is a permitted use as a "carry-out food and beverage establishment with drive-through facility". The proposed bank is permitted as a personal service. The drive-through associated with the bank is also a permitted use.
- 2. The applicant proposes to develop a 4,419 sq. ft. CME credit union and Crimson Cup coffee shop with drive-throughs.
 - a. The credit union floor area is be 1,309 sq ft,
 - b. The coffee shop is be 894 sq ft, and
 - c. 2,216 sq ft for shared space.
- 3. The PUD zoning text requires the following setbacks from these perimeter boundaries:
 - a. Beech Road:
 - i. Required minimum: 40-foot pavement and 75-foot building
 - ii. Proposed: 41.74+/- foot pavement and 112.24+/- foot building setback [requirement met]
 - b. Smith's Mill Road:
 - i. Required minimum: 55-foot pavement and 75-foot building
 - ii. Proposed: 65+/- foot pavement and 135.5+/- foot building setback [requirement met]
 - c. Internal Parcel Boundaries (southern and western property lines):
 - i. Required minimum: 10-foot pavement and building setback
 - ii. Proposed (western property line): 11.9-foot pavement and 118.9-foot building setback [requirement met]
 - iii. Proposed (southern property line): 8.5+/- feet pavement and 65-foot building setback [The building setback requirement is met but the pavement setback requirement is not met. A variance has not been requested. Staff recommends a condition of approval that this be revised to meet code standards at the time of permitting (condition #1)]
 - d. Outparcel Access Road (Beech Crossing):
 - i. Required minimum: 15-foot building and pavement setback
 - ii. Proposed: 50+/- foot pavement (not counting drive aisle to enter the site) and 133+/- foot building setback [requirement met]
- 4. The development site is accessed by a private road which was reviewed and approved by the Planning Commission on October 21, 2019 (FDP-72-2019). This private road, Beech Crossing, was constructed by another private developer and includes street trees and a sidewalk along the road.
- 5. According to zoning text section C(1), the applicant is required to install leisure trail along Smith's Mill Road. The site plan meets this standard by providing an 8' wide leisure trail within the front yard of the lot along Smith's Mill Road

- 6. Per zoning text section C(4), the applicant is required to connect into the existing pedestrian circulation system. The applicant is meeting this requirement by providing a direct connection into the future leisure trail along Smith's Mill Road, in addition to the existing leisure trail along Beech Road and the existing sidewalk along Beech Crossing.
- 7. The zoning text requires that the total lot coverage, which includes all areas of pavement and building, not to exceed 80% of the total area. The proposed development is at 54% lot coverage thereby meeting this requirement.
- 8. The Beech Crossing I-PUD zoning text places a limitation on total acreage that can be utilized for retail uses in the Beech Road / Smith's Mill Road area. The intent is to limit retail development to a maximum of 92 acres in this general area. Once 92 acres have been developed with retail uses found in the C-3 and GE zoning districts, the remainder of the land from all of these subareas can only allow non-retail General Employment (GE) zoning district uses listed in their respective zoning texts. This 2.03-acre development is subject to this overall 92-acre retail limitation.

B. Access, Loading, Parking

- 1. The site is accessed from one full access curb cut along Beech Crossing, which is near the southwest corner of the property.
- 2. Since the September 2023 Planning Commission meeting, the applicant has made the following revisions:
 - i. Site layout consists of two-way vehicular traffic traveling around three of the four sides of the building.
 - ii. The building has been rotated so the drive-through is located on the south side of the building.
 - iii. The dumpster, enclosure, and loading area have been relocated to the interior of the site, and out of view from traffic on Beech and Smith's Mill Roads.
 - iv. A second doorway to the two-story architecture feature has been added so that there are entrances along Smith's Mill Road and Beech Road.
- 3. The city engineer comments that the one-way lanes could potentially conflict with southbound circulation and for cars backing out of the first parking space. To remedy this comment, the city staff recommends a condition of approval that a private traffic circle be added to the site as suggested in the engineering comments and exhibit below. The curbed should be 6-inch mountable curbs so as to not negatively affect fire truck turning (condition #6).
- 4. The city staff also recommends a condition of approval that signage is installed to avoid improper vehicular circulation (i.e. right turns across entry drives in an effort to exit the site onto Beech Crossing). This shall be addressed at the time of permitting, subject to staff approval (condition #7).
- 5. The city parking code contains the following parking standards for coffee shops associated with a bank use.
 - a. Parking requirements for the bank, per Chapter 1167, is 1 parking space per 200 square feet of gross floor area. Drive-through for the bank; the number of stacking spaces are based on 80% of the required parking.
 - b. Parking requirements for the coffee shop, per Chapter 1167, is 1 parking space per 75 sq ft of gross floor area. Drive-through stacking spaces are based on 25% of the required parking.
 - c. The credit union floor area is 1,309 sq ft, the coffee shop is 894 sq ft, and 2,216 for shared space. The applicant divided the 2,216 sq ft in half to calculate 2,417 square feet for the credit union and 2002 sq ft for the coffee shop. Based on these calculations, 13 spaces are required for the credit union and 27 spaces for the coffee shop; for a total of 40 spaces required. The applicant is providing 43 parking spaces.
 - d. As for the required drive-through stacking spaces, 11 spaces are required for the credit union and 7 spaces are required for the coffee shop. It appears as though a minimum of 11 spaces are provided for the credit union between the drive through lanes and 10 spaces are provided for the coffee shop.

- 6. Per C.O. 1167.03(a), the minimum parking space dimensions required are 9 feet wide and 19 feet long. The applicant is meeting this requirement.
- 7. Per C.O. 1167.03(a), the minimum maneuvering lane width size is 22 feet for this development type. The applicant is exceeding this requirement at 24 feet.

C. Architectural Standards

- 1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design. The zoning text contains architectural standards and the site also falls under the Section 6 of the Design Guidelines and Requirements: Commercial Outside Village Center
- 2. The zoning text states that retail buildings shall be a minimum of one story and a maximum of two stories in height. This requirement is being met as the building is a one-story building.
- 3. The primary building material is brick, which is a permitted building material in the zoning text.
- 4. Zoning text section E.4(b) states that all rooftop mechanical units must be screened to limit off site visibility and sound. The applicant meets this requirement.
- 5. DGR Section 6(I)(A)(4) states that the number, location, spacing and shapes of window openings shall be carefully considered, particularly for buildings in retail use and shall impart a sense of human scale. The applicant meets this requirement by designing the windows with consistent spacing and shapes. The number and location of the windows are also appropriate.
- 6. DGR Section 6(I)(A)(6) states that all visible elevations of a building must receive similar treatments in style, materials and design so that no visible side is of a lesser character than any other. The applicant is meeting this requirement by using the same materials on all building elevations.
- 7. C.O. 1149.04 states dumpsters are to be located as to effectively be screened from view. The applicant has revised the plan since the September meeting to meet this standard.
- 8. DGR Section 6(I)(A)(12) states that buildings shall have active and operable front doors along all public and private streets. The building fronts onto Smith's Mill Road to the north, Beech Road to the east, and Beech Crossing to the southwest. The building design has been updated since the September meeting with an active and operable front door facing Beech Road and facing Smith's Mill. However, there is still no door facing Beech Crossing. The applicant requests a variance, under application VAR-79-23, to eliminate this requirement for southwest elevations of the building. This variance request is evaluated under a separate staff report.

D. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Per Beech Crossing zoning text requirements G(a) and G(3)(a), a four-board horse fence is required to be installed along Smith's Mill Road. This requirement is met.
- 2. Per zoning text requirement G(8), a master landscape plan shall be completed as part of the first final development plan that is submitted for a property located west of the previously approved "Outparcel Access Road"/the existing Beech Crossing. This landscape plan is subject to the review and approval of the city landscape architect. The current property owner, the New Albany Company (NACO), had submitted the plan and it had been approved by the city landscape architect ahead of the future Taco Bell site to the west. The landscape standards established along Smiths Mill and Beech Road surround the proposed site to the north and east.
- 3. Per zoning text requirement (G)(3)(b)(i), a minimum of 6 trees per 100 lineal feet must be installed within the required setback area along Smith's Mill and along Beech Road. This requirement is being met.
- 4. Per zoning text requirement G(3)(c), a minimum 3.5-foot-tall landscape buffer must be provided to screen parking areas along all public rights of way. The proposed landscape plan shows that a 3.5-foot-tall landscape buffer installed along the parking areas that are along public rights of way, therefore this requirement is being met.

- 5. Per zoning text requirement G(3)(d), a landscape buffer is required to be installed within the required setback of any interior side parcel line and shall consist of a ten-foot landscape buffer with grass and landscaping and deciduous trees planted at a rate of 4 trees for every 100 feet of side property line and deciduous shrubs must be planted under the trees. The applicant proposes to install these 10 trees and shrubs along the west side within the 10-foot setback. Therefore, this requirement is being met.
- 6. Per zoning text requirement G(5), street trees shall be planted at a rate of one (1) tree for every thirty (30) feet of street frontage. Trees shall be regularly spaced along Beech Road and Smith's Mill Road. The proposed landscape plan shows the existing street trees along Beech Road and the proposed 9 trees along Smith's Mill Road, therefore this requirement is being met.
- 7. Per zoning text requirement G(7), a minimum of one tree for every 10 parking spaces is required and at least 5 percent of the vehicular use area shall be landscaped. The applicant is providing 43 parking spaces, and meeting this requirement by providing 5 trees. In addition, over 5% of the total parking area is landscaped. This requirement is being met.

E. Lighting & Signage

- 1. Section II(H)(1) of the zoning text requires all parking lot light poles to be downcast and use cut-off type fixtures in order to minimize light spilling beyond the boundaries of the site. The proposed light fixtures for the site lighting match the existing Duke and Duchess site with the development and meets the requirements. In addition, a detailed photometric plan was submitted showing that there is no light spillage from this site.
- 2. Section II(H)(3) states that all parking lot poles within the entire zoning district shall be black or New Albany Green, be constructed of metal and not exceed 30 feet in height. to the city staff recommends this site uses the same black metal poles that are installed at the existing Duke and Duchess site so there is consistent and cohesive lighting within the development. However, the applicant has not submitted this information. Staff recommends a condition of approval that all parking lot light poles are black metal, are to not exceed 30 feet in height, and are subject to staff approval at the time of permitting (condition #2).
- 3. The applicant requests to install a drive-through menu board sign for the coffee shop. Drive-through menu board signs are allowed and code states drive-through menu board signs shall not be visible from the public right-of-way. The plan has been updated to include the drive-through menu board sign on the western side of site. With the menu board sign being located behind the building, the sign location meets code.
- 4. Details, including location, for the proposed monument sign are not provided, in addition to other sign details still needed for a full evaluation. Staff recommends a condition of approval that all other sign details be subject to staff approval and must meet code requirements (condition #3). Any additional variances needed, other than what is included in application VAR-79-2023, must be heard by the Planning Commission at a later date in the future.

Wall Signs

- 1. The zoning text and C.O. 1169.15(d) permit one wall sign per tenant on each of the building frontages, either on a public or private road, with 1 square foot in area per linear square foot of building frontage, not to exceed 50 square feet.
- 2. This building has two tenants and three building frontages. This permits the building to have one wall sign per tenant on each of the three building frontages. Based on the architectural elevations, the applicant proposes one wall sign on the north elevation, four on the west elevation, and two signs on the east elevation. The west elevation currently shows one sign for the credit union and three for the coffee shop. There are two extra signs on the west elevation not permitted by code. Staff recommends a condition of approval that the western elevation be revised so that there is no more than one sign per tenant as permitted by code (condition #3).
- **3.** As shown on the architectural elevation sheets, the wall signs are proposed:

Smith's Mill Northern Elevation Wall Sign for CME:

The wall sign reads "CME Federal Credit Union" and featuring the company logo.

- a. Lettering Height: information not provided [must meet code, 24-inch maximum]
- b. Area: information not provided [must meet code]
- c. Location: facing northern elevation along Smith's Mill Road [meets code]
- d. Lighting: external lighting [meets code]
- e. Relief: information not provided [must meet code minimum of 1-inch relief]
- f. Colors: red, grey, blue, black, and tan (total of 5 colors) [4 color maximum, a variance was not requested. Staff recommends a condition of approval that all signage is revised to meet code requirements, subject to staff approval (condition #3).]
- g. Material: information not provided [must meet requirements of C.O. 1169]

Beech Road Eastern Elevation Wall Sign for CME:

The wall sign reads "CME Federal Credit Union" and featuring the company logo.

- a. Lettering Height: information not provided [must meet code, 24-inch maximum]
- b. Area: information not provided [must meet code]
- c. Location: facing eastern elevation along Beech Road [meets code]
- d. Lighting: external lighting [meets code]
- e. Relief: information not provided [must meet code minimum of 1-inch relief]
- f. Colors: red, grey, blue, black, and tan (total of 5 colors) [4 color maximum, a variance was not requested. Staff recommends a condition of approval that all signage is revised to meet code requirements, subject to staff approval (condition #3).]
- g. Material: information not provided [must meet requirements of C.O. 1169]

Beech Road Eastern Elevation Wall Sign for Crimson Cup:

The wall sign reads "Crimson Cup coffee & tea"

- a. Lettering Height: information not provided [must meet code, 24-inch maximum]
- b. Area: information not provided [must meet code]
- c. Location: facing eastern elevation along Beech Crossing [meets code]
- d. Lighting: external lighting [meets code]
- e. Relief: information not provided [must meets code]
- f. Colors: red and black (total of 2 color) [meets code]
- g. Material: information not provided [must meet requirements of C.O. 1169]

Beech Crossing Western Elevation Wall Sign for CME:

The wall sign reads "CME Federal Credit Union" and featuring the company logo.

- a. Lettering Height: information not provided [must meet code, 24-inch maximum]
- b. Area: information not provided [must meet code]
- c. Location: facing northern elevation along Smith's Mill Road [meets code]
- d. Lighting: external lighting [meets code]
- e. Relief: information not provided [must meet code minimum of 1-inch relief]

- f. Colors: red, grey, blue, black, and tan (total of 5 colors) [4 color maximum, a variance was not requested. Staff recommends a condition of approval that all signage is revised to meet code requirements, subject to staff approval (condition #3).]
- g. Material: information not provided [must meet requirements of C.O. 1169]

Beech Crossing Western Elevation Wall Sign for Crimson Cup:

The wall sign reads "Crimson Cup coffee & tea"

- a. Lettering Height: information not provided [must meet code, 24-inch maximum]
- b. Area: information not provided [must meet code]
- c. Location: facing eastern elevation along Beech Crossing [meets code]
- d. Lighting: external lighting [meets code]
- e. Relief: information not provided [must meets code]
- f. Colors: red and black (total of 2 color) [meets code]
- g. Material: information not provided [must meet requirements of C.O. 1169]

Beech Crossing Western Elevation Wall Sign for Crimson Cup:

The wall sign is not legible. Staff believes it says something about "coffee".

- a. Lettering Height: information not provided [must meet code, 24-inch maximum]
- b. Area: information not provided [must meet code]
- c. Location: facing eastern elevation along Beech Crossing [does not meet code, two signs permitted, one sign per tenant on each frontage, a variance was not requested. Staff recommends a condition of approval that all signage is revised to meet code requirements, subject to staff approval (condition #3).]
- d. Lighting: information not provided [must meet code]
- e. Relief: information not provided [must meets code]
- f. Colors: red (total of 1 color) [meets code]
- g. Material: information not provided [must meet requirements of C.O. 1169]

Beech Crossing Western Elevation Wall Sign for Crimson Cup:

The wall sign reads "COFFEE".

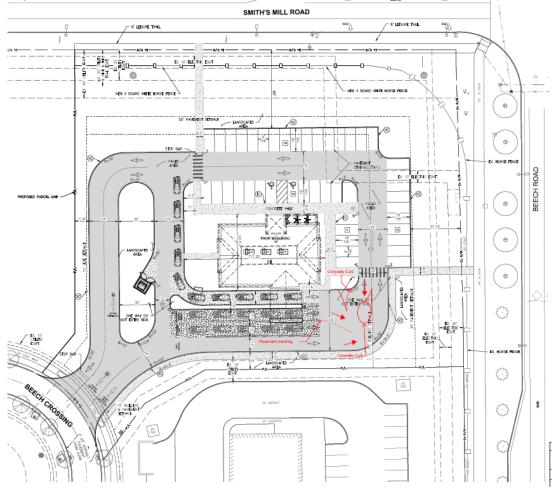
- a. Lettering Height: information not provided [must meet code, 24-inch maximum]
- b. Area: information not provided [must meet code]
- c. Location: facing eastern elevation along Beech Crossing [does not meet code, two signs permitted, one sign per tenant on each frontage, a variance was not requested. Staff recommends a condition of approval that all signage is revised to meet code requirements, subject to staff approval (condition #3).]
- d. Lighting: information not provided [must meet code]
- e. Relief: information not provided [must meets code]
- f. Colors: black (total of 1 color) [meets code]
- g. Material: information not provided [must meet requirements of C.O. 1169]

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. <u>Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition #4).</u>

1. Refer to Exhibit A, note block 1.1.1. Delete the 2023 Specifications note block shown on sheet G.S. and add note 1.1.1 in its place.

- 2. Refer to sheet C1.01. Show the location of the stop bar and stop sign at the curb cut and provide a cross walk and signage that meets ADA requirements.
- 3. Refer to Exhibit B. Revise sheet C1.01 in accordance with this Exhibit. Consider mountable curb where concrete curb is proposed.
- 4. Refer to sheet L1.00. Provide a site distance triangle at the Beech Crossing curb cut and evaluate site distance relative to existing and proposed landscaping. Remove landscaping that may impede motorist view.
- 5. Provide parking lot lighting photometric analysis for staff review and approval.
- 6. Provide fire truck turning radius analysis.
- 7. In accordance with code sections 1159.07 (b)(3) sections Z. and AA. provide documentation indicating that all OPEA or ACOE issues have been addressed.
- 8. We will evaluate storm water management, water distribution, sanitary sewer collection and roadway construction related details once construction plans become available.



V. SUMMARY

The proposed use is appropriate for this site given its proximity to State Route 161 and the New Albany International Business Park. This site, and the Beech Crossing development, is auto-oriented but still incorporates strong pedestrian connectivity. The use appears to be appropriate and with the revisions the applicant has made to the site plan, the building is appropriately oriented to the public streets.

The Engage New Albany Strategic Plan recommends retail sites have a strong street presence and include architectural and landscaping features that respond to the existing New Albany character. Ensuring a strong street presence that appropriately addresses the intersection is important since the site is located at a prominent gateway into the city and business park. The building orientation has been updated in the current plan to better align with New Albany's principle planning standards found in the city codes and plans.

The building is surrounded by the parking lot, a drive-thru lane and internal drive aisles. With the addition of the traffic circle, vehicles will be able to safely traverse throughout the site, and results in a strong circulation plan. The drive-through appears to be appropriately positioned on the site where it does not interfere with traffic on the rest of the site and will not cause traffic to back up onto the private road. By having a one-way drive aisle on just one side of the building, the site layout provides desirable and convenient circulation.

The updated site plan also provides a strong landscape plan that exceeds code standards. The plan also provides space for a future gateway feature at the corner of this prominent corner of the city.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve final development plan application FDP-77-2023, subject to the following conditions:

- 1. The site plan shall be revised so that the pavement is at least 10 feet away from the southern property line at the time of permitting;
- 2. All parking lot light poles shall match the neighboring Duke and Duchess, are colored black, and shall not exceed 30 feet in height, and are subject to staff approval at the time of permitting;
- 3. All sign details are subject to staff approval at the time of permitting and all signage shall be revised to meet code requirements, subject to staff approval;
- 4. The city engineer comments must be addressed, subject to staff approval; and
- 5. Any additional variances needed, other than what is included in application VAR-70-2023, must be heard by the Planning Commission at a later date in the future.
- 6. A private traffic circle shall be added to the site as suggested in the engineering comments and exhibit. The curbed should be 6-inch mountable curbs as to not negatively affect fire truck turning.
- 7. Signage shall be installed to avoid improper vehicular circulation (i.e. right turns across entry drives in an effort to exit the site onto Beech Crossing). This shall be addressed at the time of permitting, subject to staff approval.

Approximate Site Location



Source: ArcGIS

City of New Albany

99 West Main Street New Albany, Ohio 43054



404.651-01 October 30, 2023 (Revised 11/6/23)

To: Chelsea Nichols City Planner

From: Matt Ferris, P.E., P.S.

By: Jay M. Herskowitz, P.E., BCEE

Re: Credit Union Crimson Coffee - FDP (October)

We reviewed the referenced submittal in accordance with Code Section 1159.07 (b)(3) FDP. Our review comments are as follows:

- 1. Refer to Exhibit A, note block 1.1.1. Delete the 2023 Specifications note block shown on sheet G.S. and add note 1.1.1 in its place.
- 2. Refer to sheet C1.01. Show the location of the stop bar and stop sign at the curb cut and provide a cross walk and signage that meets ADA requirements.
- 3. Refer to Exhibit B. Revise sheet C1.01 in accordance with this Exhibit. Consider mountable curb where concrete curb is proposed.
- 4. Refer to sheet L1.00. Provide a site distance triangle at the Beech Crossing curb cut and evaluate site distance relative to existing and proposed landscaping. Remove landscaping that may impede motorist view.
- 5. Provide parking lot lighting photometric analysis for staff review and approval.
- 6. Provide fire truck turning radius analysis.
- 7. In accordance with code sections 1159.07 (b)(3) sections Z. and AA. provide documentation indicating that all OPEA or ACOE issues have been addressed.
- 8. We will evaluate storm water management, water distribution, sanitary sewer collection and roadway construction related details once construction plans become available.

MEF/JMH

(attachments)

cc: Cara Denny, Engineering Manager
Joshua Albright, Development Engineer





CITY OF NEW ALBANY STANDARD NOTES

Revised February 21, 2023

1 GENERAL

1.1 Standards

1.1.1 The City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, together with the City of New Albany specifications including all supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items of these plans unless otherwise noted. If conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. CMSC item numbers listed refer to the City of Columbus Construction and Material Specifications.

1.2 Plan Modifications

1.2.1 Any modifications to the work as shown on these drawings must have prior written approval by the City Engineer, City of New Albany. Inspectors have no authority to approve revisions in the field.

1.3 Preconstruction Conference

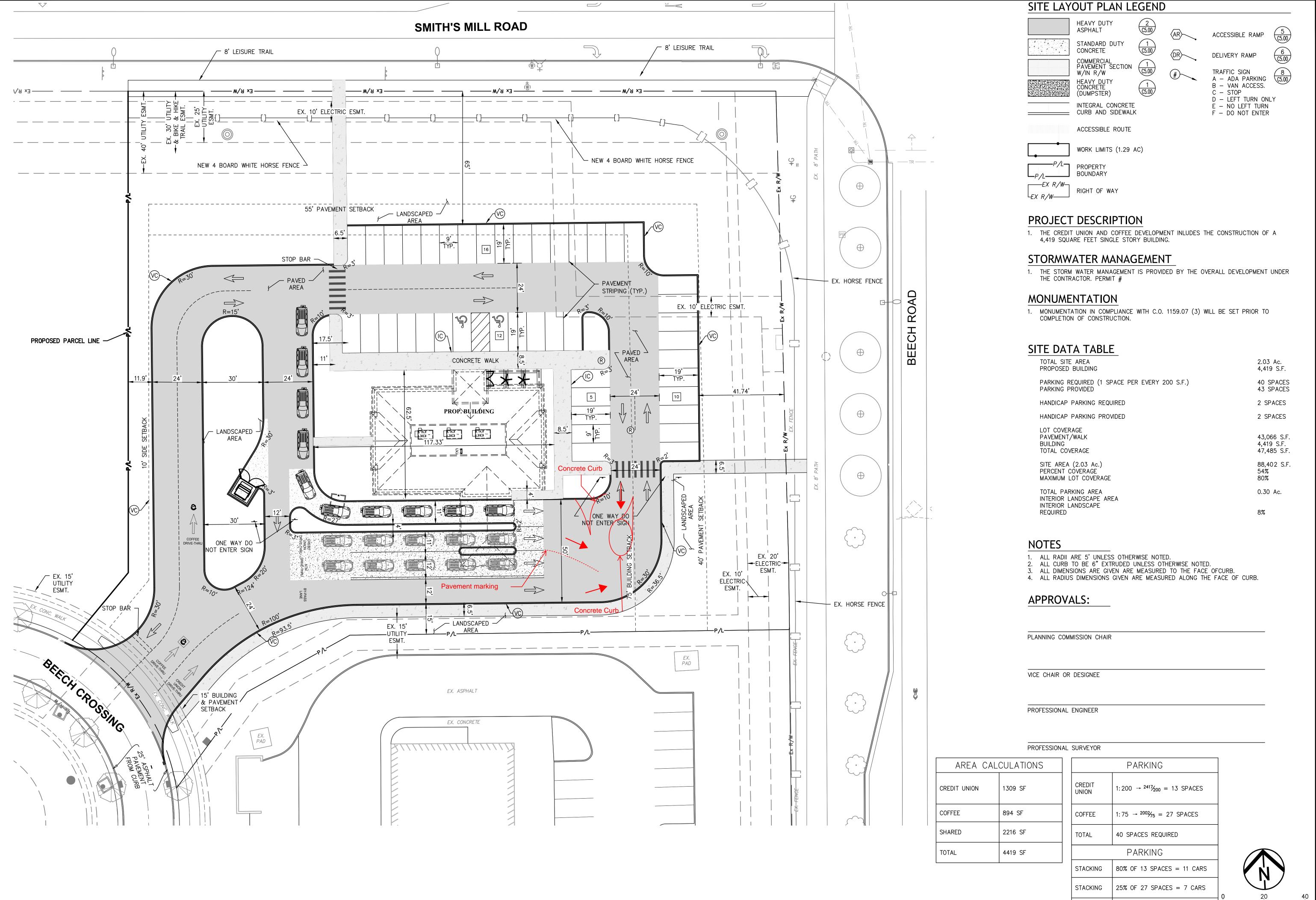
- 1.3.1 A pre-construction conference involving a representative of the City of New Albany, the Owner, the Principal Contractor, and all available Sub-Contractors will be held prior to the start of construction.
- 1.3.2 All easements shall be recorded and submitted to the City Engineer prior to the pre-construction conference.
- 1.3.3 During the conference the Contractor shall submit his construction schedule, proposed schedule for controlling siltation and erosion, and for temporary and permanent seeding for the project.

1.4 Working Hours

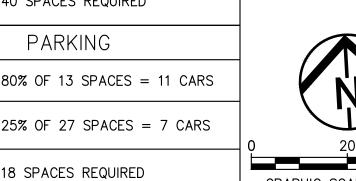
- 1.4.1 City Ordinance 521.12 restricts the hours of work to 7:30 am to 7:00 pm.
- 1.4.2 Work will not be permitted on Sundays unless otherwise approved by the City Manager.

1.5 Inspection

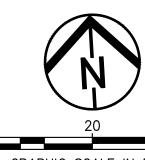
- 1.5.1 Inspection on this project will be provided by the representatives of the City of New Albany.
- 1.5.2 The Owner shall deposit with the City of New Albany the total estimated costs for construction inspection prior to any construction operations.



WGROUN



TOTAL



GRAPHIC SCALE IN FEET

SHEET FINAL DEVELOPMENT

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O

10/19/2023

JOB NO.

29580-0002

Permit #	899
Board	30
Mtg. Date	1000000



Community Development Planning Application

	Site Address Southwest corner of Smith's Mill rd & Beech Rd					
	Parcel Numbers Part of parcel 093-106512-00.00					
	Acres 2.0					
					<u> </u>	
		ion Type	STALLAND STA	Circle a	ll Details that Apply	等基本的基本的
Ë	□□Appeal □□Certificate of A □□Conditional Us					
Project Information	⊠⊠Development l	Plan	Preliminary	(Fina)	Comprehensive	Amendment
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<u>Ö</u>	□□Lot Changes		Combination	Split	Adjustment	
<u> I</u>	□□Minor Comme □□Vacation	rcial Subdivision	E		04 4	
et]	□□Variance		Easement		Street	
ijē	□□Extension Req	nest				
7.0	II		Amendment (r	ezoning)	Text Modification	
				<i>B</i> /		
	Description of Re	quest: See Ex	hibit B			
	Property Owner's	Name: CMF I	Codoral Cred	it Union	- Brian Warner	_
:	Address:	150 E. Mound	St	ic dirion	- bitan wainer	
		Columbus, O				
	Phone number:	614-222-3	197		Fax:	···
7,6	Email:	BWARNER@CMEFO	CU.ORG			
Contacts			<u></u>		·	
ıta						
[5]	Applicant's Name	: <u>Briar</u>	<u>Wellert</u>			
	Address:	450 Grant St				
	City, State, Zip:	Akron, Oh 4	14313			
	Pnone number: Email:	330-808-0821	nvDesignGrou		Fax:	
	Email:	DWEITELLGEI	IvbesignGrou	p.com		
	Site visits to the p	roperty by City of N	ew Albany repres	entatives are	e essential to process t	his application
	The Owner/Appli	cant, as signed belov	v, hereby authoriz	es Village o	f New Albany represe	ntatives.
ခ	employees and ap	pointed and elected	officials to visit,	hotograph a	nd post a notice on the	e property
			that the informati	on here with	in and attached to this	application is
Signature	true, correct and c	complete.				
50						
O 2	Signature of Own	, a	B. 1			lasta a
	Signature of Own		1 suan Va	1.00 1	Date	
	oignature of Abbi		May N	recent	Date	10/31/2023



Exhibit A

Please see below for our responses to the provided planning review comments.

<u>Submittal Requirements for a Final Development Plan application:</u>

• Submit 12 paper copies (in the size of 11" x 17") of your complete submittal packet.

Paper Copies have been provided.

 Please submit an updated application form that does not include the mention of a conditional use in the "Description of Request" section of the form.

An Updated Application has been provided.

Per C.O. 1159(b)(3)(K), a detailed narrative regarding the proposal is required to be submitted. Staff suggests that you submit an updated narrative that outlines the changes made to the plan since the last PC hearing.

An updated narrative has been provided.

Submittal Requirements for a Variance application:

- One variance request still needs to be submitted for the following standard:
 - Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that there be active and operable doors on the private drive, Beech Crossing

New Variance Application has been provided.

 Submit 12 paper copies (in the size of 11" x 17") of your complete submittal packet.

Paper Copies have been provided

 Please revise your recently submitted variance application so that only the one variance request is on application form.

New Variance Application has been provided.

 Per C.O 1113.03, the following is required to be submitted for a complete application:

CORPORATE

450 Grant Street / Akron, OH 44311 P 330.375.1390 / F 330.375.1590 TF 800.835.1390

COLUMBUS OFFICE

7965 North High Street, Suite 050 Columbus, Ohio 43235

CLEVELAND OFFICE

2814 Detroit Avenue Cleveland, Ohio 44113

MARIETTA OFFICE

204 Front Street Marietta, Ohio 45750

NEWARK OFFICE

33 West Main Street, Suite 206-A Newark, Ohio 43055

envdesigngroup.com

- An updated narrative statement explaining the following:
 - Each application for a variance shall refer to the specific provisions of the ordinance which apply.
 - The narrative should explain the following: the use for which variance is sought, details of the variance that is applied for and the grounds on which it is claimed that the variance or appeal should be granted as the case may be, the specific reasons why the variance is justified.
 - The narrative should state the nature of the special conditions or circumstances giving rise to the application for approval.
 - The narrative should state the relationship of the requested variance to the development standards and explain the use of the land and location of structures on adjacent properties.

A New Variance Narrative has been provided.

 If there are any items described below in the next section (Additional Information Needed) that you wish to request a variance for, submit that the updated variance application and associated materials includes necessary info for any additional variance/variances.

Additional Information Needed (and necessary for city staff to fully evaluate the project to ensure code requirements are met):

- Connectivity:
 - City staff encourages bike racks. While there is not a standard type or design that is required, if you provide bike racks, NACO will want to approve the design of the racks.

A Bike Rack has been added to the final development plan.

- Signage:
 - The following comments were provided as part of the last submittal and are still outstanding:
 - While conceptual wall signage is shown on the building elevation sheets, signage details were not provided.
 - Wall signs; one per business frontage.
 Signage permitted on 3 building sides.
 This is how it I shown.

- 1 sq ft per linear sq ft of the building face (not to exec 50 square feet), maximum 18" projection from building, maximum lettering height 24", minimum 1" sign relief
- Monument sign: No information was provided. See code section 1169.17. In addition, the monument sign shall match those shown in the sign plan previously sent to applicant.
- All other signage shall also comply with code section 1169.
- Please note, per the zoning text, ground signs/monument signs are not permitted along Beech Road.
- o It is not clear as to whether the drive-thru menu board sign is digital. Please clarify the intent. Also, please provide a spec on the drivethrough menu board sign. And please clarify the height. This will ensure that it will not be visible from Beech Road.

A sheet providing additional information on the digital menu board sign has been provided as Exhibit D. No additional signage has been provided as part of this submittal. The applicant is looking for conditional approval based on signage being provided at a later date.

- Landscaping:
 - o Street Trees should be all the way in the tree lawn. All street trees should be on the front side of the bike path. Buffer trees can hop the fence and be on both sides of the fence. Most buffer trees should be on the back side of the fence but a few on the front side.

Landscaping plan has been updated and Street Trees have been relocated.

- Lighting:
 - The following comments were provided as part of the process before and are still outstanding:
 - A photometrics plan was not provided. Provide this information as part of your submittal.
 - Please comply with Section H of the zoning text for lighting standards.
 - Poles and fixtures shall match those used at the New Albany Duke & Duchess located at

New Albany Planning Commission 10/31/2023 Page | 4

2135 Beech Road – in Style, height, and color.

An updated photometric plan has been provided as part of this application.

Regards,

Brian Wellert

Brian Wellert



"Exhibit B"

CME Credit Union is applying for Planning Commission approval to develop the 2.038 acre parcel (PN 093-106512-00.000) located at the south west corner of Smith's Mill rd and Beech rd. This parcel is a part of the New Albany Corporation's Beech Crossing development and will be a part of the New Albany Business Park Association. It is located within the Beech Crossing I-PUD Zoning district. The parcel will host a new shared 4,419 sq. ft building consisting of a CME Credit Union and a Crimson Coffee location. The proposed facility will have a drive-thru for Crimson Coffee and 3 additional lanes provided for Credit Union customer service. The current application has been previously reviewed and approved by the New Albany Corporation.

There will be 43 parking spaces, including two van accessible ADA parking locations, sufficient stacking in the drive thru lanes for up to 18 vehicles and one offloading space. The dumpster will reside within a masonry enclosure with brick veneer and have sufficient landscaping screening around the exterior of the enclosure. Three pedestrian accessible routes going to the adjoining roads will be provided. One route will be to the existing right of way along Beech rd, one to Smith's Mill and the other to the interior of the development along Beech Crossing.

This design focused on providing a functional and safe layout to serve the people of New Albany. Once this design was established, significant effort was made to improve the form of the location to provide a positive addition within the local community and adhere to the local zoning requirements. When code could not be strictly adhered to, the design attempts to fulfill the intent of the code. Significant additional landscaping has been provided along the parking areas to eliminate viewing of the menu board, stacking and headlights throughout the paved areas. Considerable changes were made to the architectural design to accommodate NACO and New Albany's requirements and produce a look that was within the framework of CME and Crimson Coffee while providing an aesthetic that lies within the future vision of this intersection.

The layout provides primary entrance access facing Beech rd and Smith's Mill rd. The dumpster enclosure and menu board have both been screened and placed on the back of house in relation to the primary right of ways. Additional parking has been added and queue length provided.

CORPORATE

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Change log since the initial application:

- The building has added additional primary doors to face both Smith's Mill rd and Beech rd.
- The orientation of the building has been turned 90 degrees moving the drive through menu board to the southern part of the site.
- The floor plan has been adjusted considerably to make this change possible.
- Materials have been updated on the building elevation according to the recommendation of planning.
- The dumpster enclosure has also been relocated south.
- The pick up windows for the drive through lanes are now located on the southern side of the building.
- Three additional parking spots have been provided.
- An internal landscaped island has been added to provide additional queue length and improve site circulation based on the new rotation.
- The drive entrance width has increased to allow for additional lanes.
- An additional accessible route to Smith's Mill rd. has been added.



Exhibit D

Parcel Description

Parcel I

Situated in the State of Ohio, County of Licking, City of New Albany, located in Half Section 15, Quarter Township 3, Township 2, Range 15, United States Military District, being part of the remainder of that 49.534 acre tract conveyed to MBJ Holdings, LLC by deed of record in Instrument Number 20101-0060020026, (all references refer to the records of the Recorder's Office, Licking County, Ohio) and being more particularly described as follows:

Beginning, for reference, at a magnetic nail set at the centerline intersection Beech Road (width varies) with Smiths Mill Road (width varies), of record in Instrument Numbers 200505130014263 and 201108120014948;

Thence North 86° 38' 10" West, with the centerline of said Smiths Mill Road (LN. 200505130014263), a distance of 414.73 feet to a point:

Thence South 03° 21' 50" West, across the right-of—way of said Smiths Mill Road, a distance of 45.00 feet to an iron pin set in the southerly right-of-way line thereof, the northerly line of said 49.534 acre tract, being the TRUE POINT OF BEGINNING;

Thence South 86° 38' 10" East, with said southerly right-of-way, the northerly line of said 49.534 acre tract, a distance of 319.08 feet to an iron pin set in the westerly line of that tract conveyed as Parcel No. 7-WDV4 to Board of Commissioners of Licking County, Ohio, at the intersection of the southerly right-of-way line of Smiths Mill Road with the westerly right-of-way line of said Beech Road, being the northeasterly corner of said 49.534 acre tract;

Thence South 01° 49' 28" West, with said westerly right-of-way line and the line common to said 49.534 acre tract and said Parcel No. 7-WDV4, a distance of 229.72 feet to an iron pin set;

Thence South 02° 39' 12" West, continuing with said right-of-way line and said common line, a distance of 32.64 feet to an iron pin set at the easterly common corner of a remainder of said 49.534 acre

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The community impact people.

New Albany Planning Commission 8/16/2023 Page | 2

tract and that 2.107 acre tract conveyed to New Albany Duchess, LLC by deed of record in Instrument Number 202001030000267;

Thence with this line common to a remainder of said 49.534 acre tract and said 2.107 acre tract, the following Course and distances:

North 87° 20' 48" West, a distance of 214.22 feet to an iron pin set;

South 64° 26' 01" West, a distance of 57.23 feet to an iron pin set;

and South 39° 42' 07" West, a distance of 58.12 feet-to an iron pin set on the arc of a curve, being the northwesterly comer of said 2.107 acre tract:

Thence across said 49.534 acre tract, the following courses and distances:

With the arc of a curve to the left, having a central angle of 37° 55' 56", a radius of 102.00 feet, an arc length of 67.53 feet, a chord bearing of North 25° 06' 54" West and chord distance of 66.30 feet to an iron pin set at a point of non-tangency;

North 39° 42' 07" East, a distance of 7.91 feet to an iron pin set;

and North 03° 21' 50" East, a distance of 274.79 feet to the TRUE POINT OF BEGINNING, containing 2.038 acres, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record. Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (1986 Adjustment). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected Franklin County Engineering Department monuments Frank 80 and Frank 180. The portion of the centerline of Beech Road, having a bearing of North 03°25'04" East, is designated the "basis of bearing' for this survey.

This description was prepared using documents of record, prior plats of survey and observed evidence located by an actual field survey.

SHEET COVER SHEET

G.S.

CME FEDERAL CREDIT UNION CITY OF NEW ALBANY

SOUTHWEST CORNER OF SMITHS MILL & BEECH ROAD LICKING & FRANKLIN COUNTY, OHIO ISSUED: 10/31/2023



ANN Ramm	
Striff & Mill Rd	smith's Mill Rd
Be on Rd NW	
Beech Rd NW	(161)
Coccia (161) Keyboard shortcuts	
	PROJECT LOCATION
LOCATION MAP	
SCALE: NTS	

PLANS PREPARED AND RECOMMENDED BY:



2023	SPEC	IFICA	TIONS

THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THESE PLAN BID DOCUMENTS SHALL GOVERN THIS IMPROVEMENT. FOR PURPOSES OF THIS PLAN, REFERENCES TO DIRECTOR OR ENGINEER SHALL BE CONSTRUED TO MEAN THE CITY ENGINEER AND/OR HIS REPRESENTATIVES.



INDEX OF SHEETS	
CIVIL	
COVER SHEET	G.S.
ALTA/NSPS LAND SURVEY	V0.01
EXISTING CONDITIONS PLAN	V1.00
FINAL DEVELOPMENT PLAN	C1.01
FIRE TRUCK TURNING PLAN	C1.02
SITE GRADING PLAN	C2.00
SITE UTILITY PLAN	C3.00
SITE LANDSCAPE PLAN	L1.00
SITE LANDSCAPE DETAILS	L1.01
ARCHITECTURE REFERENCES	
EXTERIOR ELEVATIONS	A4.1
EXTERIOR ELEVATIONS	A4.2
FLOOR PLAN	A4.3
LIGHTING PLAN	E1.0
LIGHTING CUT SHEETS	E1.1

ALTA/NSPS LAND TITLE SURVEY

HALF SECTION 15, QUARTER TOWNSHIP 3, TOWNSHIP 2, RANGE 15 UNITED STATES MILITARY DISTRICT

CITY OF NEW ALBANY, COUNTY OF LICKING, STATE OF OHIO

SMITHS MILL ROAD

I.N. 200505130014623

Item 11

10' Electric Easement -

I.N. 201903180004909

Grass | E

COMMISSIONERS OF

LICKING COUNTY, OHIO

PARCEL NO. 7-WDV4

I.N. 200510280034302

N86°38'10"W 414.73'

Item 23

25' Utility Easement -

I.N. 201912180028131

MBJ HOLDINGS, LLC

49.534 AC. (DEED)

I.N. 201010060020026

P.N. 093-106512-00.000

Smiths Mill Road

PARCEL

2.038 AC.

Vacant

Back of Curb (typ.)-

40' Easement-

I.N. 200505130014263

I.N. 200505130014263

DESCRIPTION FROM TITLE COMMITMENT No. 8459:

Parcel I:

Situated in the State of Ohio, County of Licking, City of New Albany, located in Half Section 15, Quarter Township 3, Township 2, Range 15, United States Military District, being part of the remainder of that 49.534 acre tract conveyed to MBJ Holdings, LLC by deed of record in Instrument Number 201010060020026, (all references refer to the records of the Recorder's Office, Licking County, Ohio) and being more particularly described as follows:

Beginning, for reference, at a magnetic nail set at the centerline intersection Beech Road (width varies) with Smiths Mill Road (width varies), of record in Instrument Numbers 200505130014263 and 201108120014948;

Thence North 86° 38' 10" West, with the centerline of said Smiths Mill Road (I.N. 200505130014263), a distance of 414.73 feet to a point:

Thence South 03° 21' 50" West, across the right-of-way of said Smiths Mill Road, a distance of 45.00 feet to an iron pin set in the southerly right-of-way line thereof, the northerly line of said 49.534 acre tract, being the TRUE POINT OF BEGINNING;

Thence South 86° 38' 10" East, with said southerly right-of-way, the northerly line of said 49.534 acre tract, a distance of 319.08 feet to an iron pin set in the westerly line of that tract conveyed as Parcel No. 7-WDV4 to Board of Commissioners of Licking County, Ohio, at the intersection of the southerly right-of-way line of Smiths Mill Road with the westerly right-of-way line of said Beech Road, being the northeasterly corner of said 49.534 acre tract;

Thence South 01° 49' 28" West, with said westerly right-of-way line and the line common to said 49.534 acre tract and said Parcel No. 7-WDV4, a distance of 229.72 feet to an iron pin set;

Thence South 02° 39' 12" West, continuing with said right-of-way line and said common line, a distance of 32.64 feet to an iron pin set at the easterly common corner of a remainder of said 49.534 acre tract and that 2.107 acre tract conveyed to New Albany Duchess, LLC by deed of record in Instrument Number 202001030000267;

Thence with this line common to a remainder of said 49.534 acre tract and said 2.107 acre tract, the following course and distances:

North 87° 20' 48" West, a distance of 214.22 feet to an iron pin set;

South 64° 26' 01" West, a distance of 57.23 feet to an iron pin set; and

South 39° 42' 07" West, a distance of 58.12 feet to an iron pin set on the arc of a curve, being the northwesterly corner of said 2.107 acre tract;

Thence across said 49.534 acre tract, the following courses and distances:

With the arc of a curve to the left, having a central angle of 37° 55' 56", a radius of 102.00 feet, an arc length of 67.53 feet, a chord bearing of North 25° 06' 54" West and chord distance of 66.30 feet to an iron pin set at a point of non-tangency;

North 39° 42' 07" East, a distance of 7.91 feet to an iron pin set; and

North 03° 21' 50" East, a distance of 274.79 feet to the TRUE POINT OF BEGINNING, containing 2.038 acres, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any,

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (1986 Adjustment). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected Franklin County Engineering Department monuments Frank 80 and Frank 180. The portion of the centerline of Beech Road, having a bearing of North 03°25'04" East, is designated the "basis of bearing' for this survey.

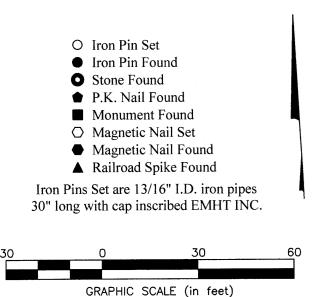
This description was prepared using documents of record, prior plats of survey and observed evidence located by an actual field survey.

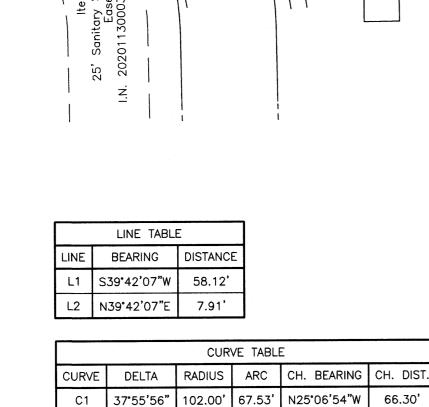
Parcel II:

Together with the rights of access as contained in the Access Easement Agreement of record in Instrument 202003240006755.

Parcel III:

Together with the rights of drainage as contained in the Storm Warter Drainage Easement of record in Instrument 202011300032409.





Item 23

15' Utility Easement

I.N. 201912180028131

Item 23 Access Easement -I.N. 201912180028131 I.N. 202011300032404

The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (1986 Adjustment). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected Franklin County Engineering Department monuments Frank 80 and Frank 180. The portion of the centerline of Beech Road, having a bearing of North 03°25'04" East, is designated the "basis of bearing' for this survey.

7.5' Utility Easement -

I.N. 201912180028131

Landscaping

NEW ALBANY DUCHESS, LLC

2.107 AC. (DEED)

I.N. 202001030000267

FEMA NOTE: According to the Federal Emergency Management Agency's Flood Insurance Rate Map No. 39049c0209k (dated September 23, 2019), the subject tract shown hereon lies within Zone X (areas determined to be outside of the 0.2% annual chance floodplain). Any floodplain lines shown are georeferenced and are not based on actual field elevations.

UTILITY STATEMENT: A Utility Marking request was submitted to OHIO811 on October 26, 2022. The utilities shown hereon have been located from field survey information. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities shown are in the exact location indicated, although s/he does certify that they are located as accurately as possible.

SURVEY NOTE: This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey performed in November 3, 2022 and May 10, 2023.

TABLE A OPTIONAL ITEM NOTES:

- 7. No buildings were observed on the subject tract at the time the fieldwork was conducted.
- No parking striping was observed on the subject tract at the time the fieldwork was conducted.

POTENTIAL ENCROACHMENT NOTE:

Except as noted below and shown hereon, no evidence of potential encroachments was observed in the process of conducting the field work or determined in the course of analyzing the field work and preparing this survey. This includes potential encroachments: (1) extending from the subject tract onto an adjoining tract, (2) extending from an adjoining tract onto the subject tract, or (3) extending into an easement located on the subject tract. The undersigned makes these representations based solely on a physical observation of the subject tract and does NOT make any representation, opinion, or determination as to the legal validity of any potential encroachment that is shown hereon.

- A. The concrete sidewalk extends up to 4.5 feet northwest of the
- southeast boundary line.

B. The fence extends up to 39.3 feet southwest of the north and east boundary lines.

LINE	ELEGEND
×	Fence Line
GM	Gas Line
E	Underground Electric
c	Underground Comm.
CATV	Underground Cable TV
F0	Underground Fiber Optic

SYMBOL LEGEND

- -El- Electric Pull Box ⊸ Sign Telephone Manhole **E** Transformer Telephone Pedestal Box Sanitary Sewer Manhole Catch Basin Telephone Marker Post Fiber Optic Pull Box Storm Sewer Manhole Fiber Optic Manhole Curb & Gutter Inlet • Fiber Optic Marker Post Gas Marker Post Traffic Signal Pole ■ Water Service -the Traffic Pull Box **Tire Hydrant** - Traffic Crossing Button Post Water Valve Electric Meter ★ Light Pole
- Schedule B Items from Title Commitment No. 8459 issued by Stewart Title Guaranty Company with an effective date of May 3, 2023 at 8:00 A.M.

Items 1-8 NOT SURVEY RELATED ITEMS.

- Easement & Right of Way granted to Licking Rural Electrification, Inc., as more fully set forth in the document recorded as Instrument 200402060004403. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED. THE 20' EASEMENT CANNOT BE DEPICTED FROM THE DOCUMENT OF RECORD.
- All matters shown on the plat of record as Instrument 200505130014263. THE 40' EASEMENT AND 50' BUILDING LINE ARE LOCATED ON THE SUBJECT TRACT (PARCEL I) AS SHOWN HEREON.
- Easement & Right of Way granted to Licking Rural Electrification, Inc., as more fully set forth in the document recorded as Instrument 201903180004909. THE 10' ELECTRIC EASEMENT IS LOCATED ON THE SUBJECT TRACT (PARCEL I) AS SHOWN HEREON.
- Intentionally Deleted Reservations, restrictions, covenants, limitations, easements, assessments, and/or other conditions of record in Instrument 201112190024776. THE SUBJECT TRACT (ALL PARCELS) IS LOCATED IN THE AREA DEPICTED AS "RESTRICTED AREA"; NO EASEMENTS GRANTED THEREIN.
- Declaration of Covenants, Restrictions and Agreements for The New Albany East Community Authority of record in Amendment of record in Instrument 201507230015501, as amended by the Third Amendment of record in Instrument 201705190010466, as amended by the Fourth Amendment of record in Instrument 201708090016777, as amended by the Fifth Amendment of record in Instrument 201811090023836 THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; NO EASEMENTS GRANTED THEREIN. PARCELS I. II AND IV ARE LOCATED IN THE AREA DESCRIBED "PROPERTY AREA G" AND PARCEL III IS LOCATED IN THE AREA DESCRIBED AS "PROPERTY AREA F" AND "PROPERTY AREA G".
- Intentionally Deleted Declaration of Covenants, Conditions, Restrictions and Easements for The New Albany Business Park East of record in Instrument 201409080017225. THE SUBJECT TRACT IS NOT LOCATED IN THE AREA

DESCRIBED.

CERTIFICATION: Commitment No. 8459

rofessional Surveyor No. 8307

hking@emht.com

and May 10, 2023.

HEATHER

KING S-8307 Guaranty Company, and RET Solutions, LLC:

- Intentionally Deleted Easement granted to Sinclair Refining Co., as more fully set forth in the document recorded as Deed Book 353 page 468, as assigned to the Ohio River Pipe Line Company of record in Deed Book 663 page 69, as amended by Instrument 200906160013038. THE GAS EASEMENT (AS AMENDED) IS NOT LOCATED ON THE SUBJECT
- Intentionally Deleted Perpetual Easement for Highway Purposes granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 616 page 496. THE HIGHWAY EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.
- Intentionally Deleted Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 714 page 606. THE 3' POWER EASEMENTS ARE NOT LOCATED ON THE SUBJECT TRACT.

To: MBJ Holdings, LLC, CME Federal Credit Union, Stewart Title

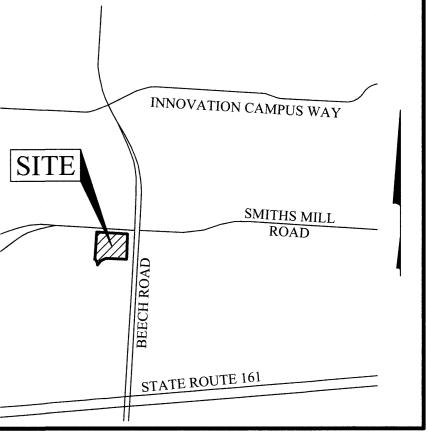
This is to certify that this map or plat and the survey on which it is based

Requirements for ALTA/NSPS Land Title Surveys", jointly established and

adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, and

13 of Table A thereof. The fieldwork was completed on November 3, 2022

were made in accordance with the 2021 "Minimum Standard Detail



LOCATION MAP AND BACKGROUND DRAWING

NOT TO SCALE

- Intentionally Deleted Terms and provisions of Oil and Gas Lease contained in the instrument recorded as Lease Record 136 page 672. Assignment of Overriding Royalty Interest to Noxco Leasing Program-A of record in Lease Record 136 page 906. Affidavit of Nondevelopment and Nonpayment of Rental Executed by Owner of record in Instrument 200910140022434. Affidavit of Forfeiture of record in Instrument 202004230009010. Notice of Failure to File of record in Instrument 202005270012168. THE SUBJECT TRACT IS LOCATED IN THE AREA DECRIBED. THE LEASE IS INDICATED AS CANCELLED IN I.N. 202005270012168.
- Intentionally Deleted Easement for Highway Purposes granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 602 page 572. THE HIGHWAY EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.
- Intentionally Deleted Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 604 page 33. THE 5' POWER EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.
- Intentionally Deleted Easement granted to Sinclair Refining Co., as more fully set forth in the document recorded as Deed Book 354 page 33, as assigned in Deed Book 663 page 69. THE GAS EASEMENT (AS AMENDED IN I.N. 200906160013038) IS NOT LOCATED ON THE SUBJECT
- Item 22 Intentionally Deleted Sanitary Sewer Easement granted to the City of New Albany, Ohio, as more fully set forth in the document recorded as Instrument 202011300032405. THE 25' SANITARY SEWER EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON FOR REFERENCE.
- Declaration of Covenants, Conditions, Restrictions and Easements for Beech Crossing Owners' Association of record in Instrument 201912180028131. As amended by the First Amendment in Instrument 202011300032404. THE ACCESS EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON FOR REFERENCE. THE 25', 7.5' AND 15' UTILITY EASEMENTS ARE LOCATED ON THE SUBJECT TRACT (PARCEL I) AS SHOWN
- Subject to the terms and conditions of the easement contained in the Access Easement Agreement, as more fully set forth in the document recorded as Instrument 202003240006755. THE ACCESS EASMEMENT IS LOCATED ON THE SUBJECT TRACT (PARCEL II ONLY).
- Subject to the terms and conditions of the easement contained in the Storm Water Drainage Easement, as more fully set forth in the document recorded as Instrument 202011300032409. THE STORM WATER DRAINAGE EASEMENT IS LOCATED ON THE SUBJECT TRACT (PARCEL III ONLY).
- Intentionally Deleted Subject to the terms and conditions of the easement contained in the Construction Access Easement, as more fully set forth in the document recorded as Instrument 202011300032413. THE TEMPORARY CONSTRUCTION ACCESS EASEMENT EXPIRED BY ITS OWN TERMS ON MARCH 31, 2022.

Items 27-31 NOT SURVEY RELATED ITEMS.



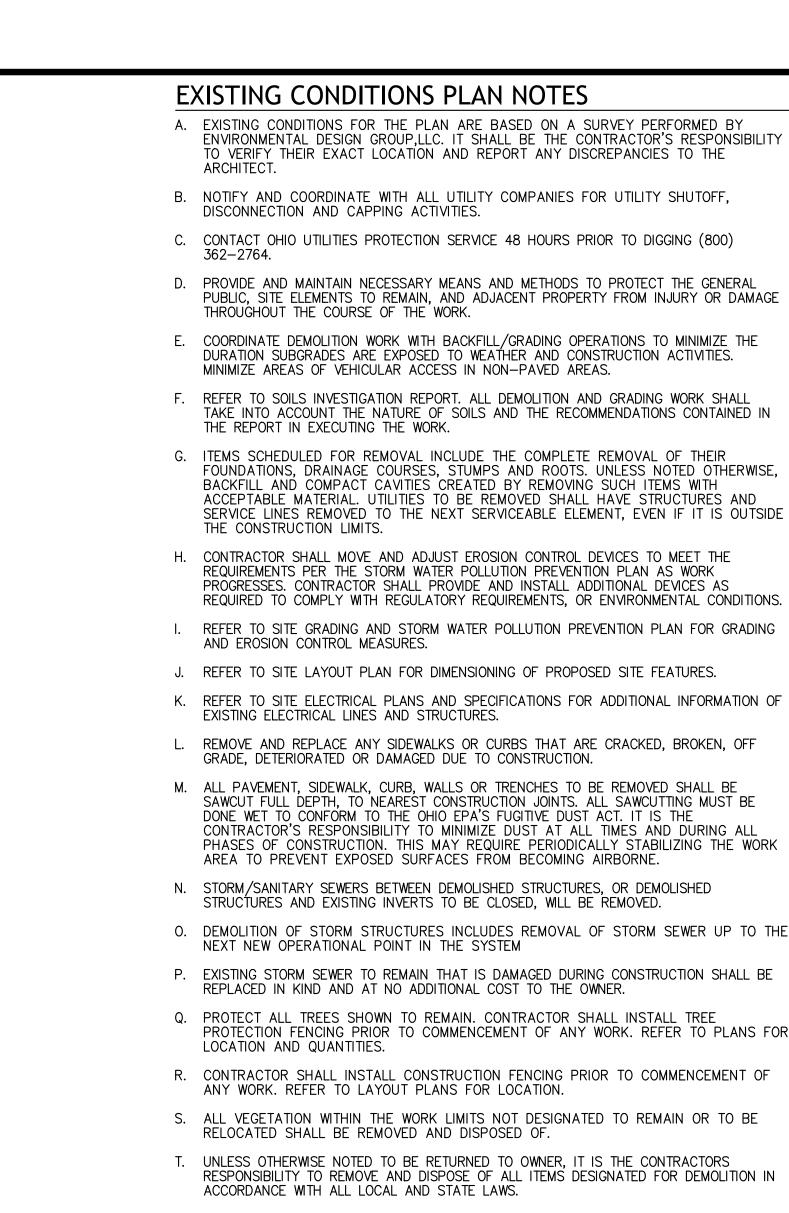
oate: June 30, 2023 cale: 1" = 30'Job No: 2023-0499 1 of 1

REVISIONS C DATE DESCRIPTION

Beech Crossing Lot 3 ALTA / 20230449-VS-ALTA-01

JOB NO. 29580-0002

SHEET **EXISTING CONDITIONS**



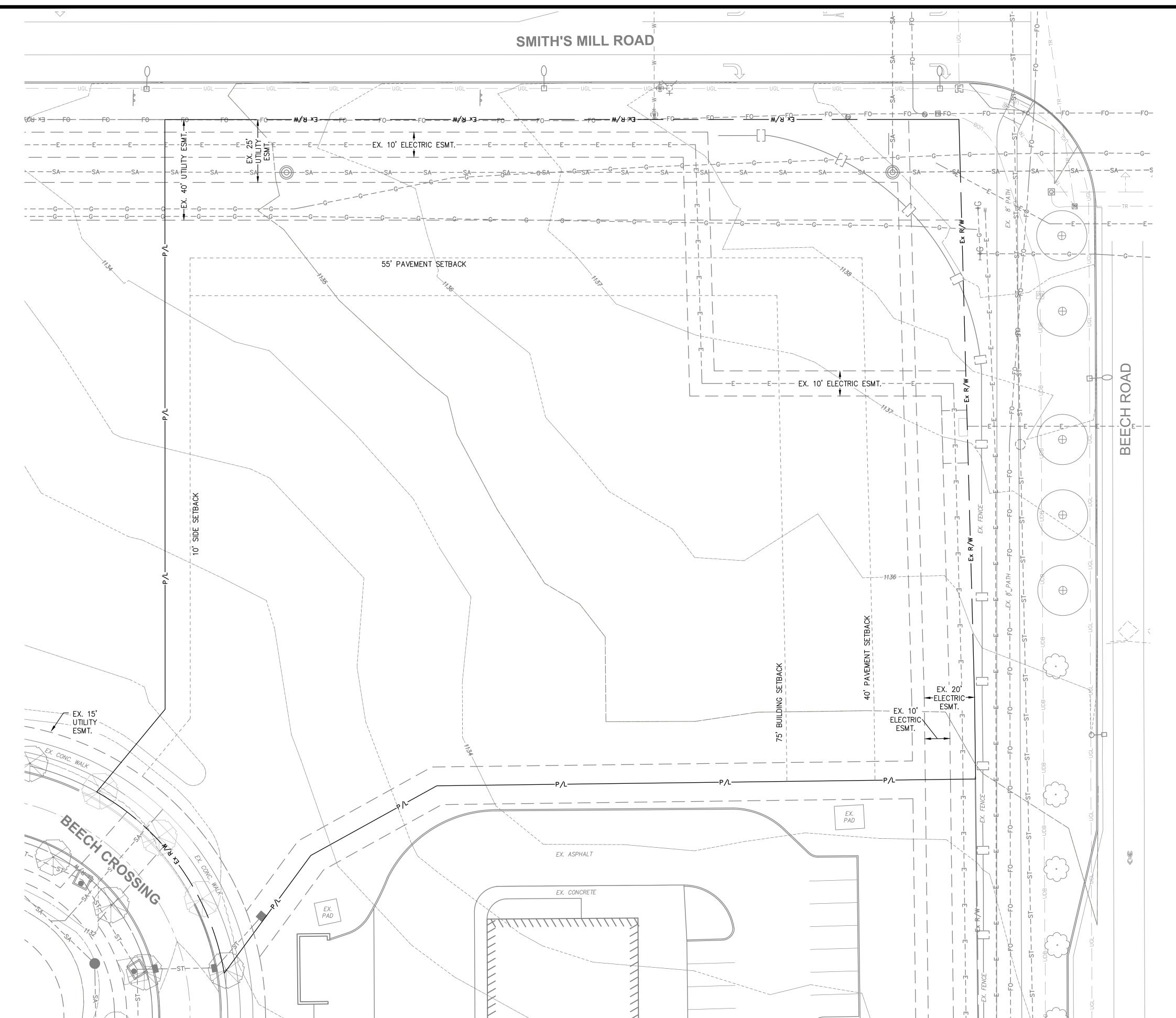
N. STORM/SANITARY SEWERS BETWEEN DEMOLISHED STRUCTURES, OR DEMOLISHED STRUCTURES AND EXISTING INVERTS TO BE CLOSED, WILL BE REMOVED. O. DEMOLITION OF STORM STRUCTURES INCLUDES REMOVAL OF STORM SEWER UP TO THE P. EXISTING STORM SEWER TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE

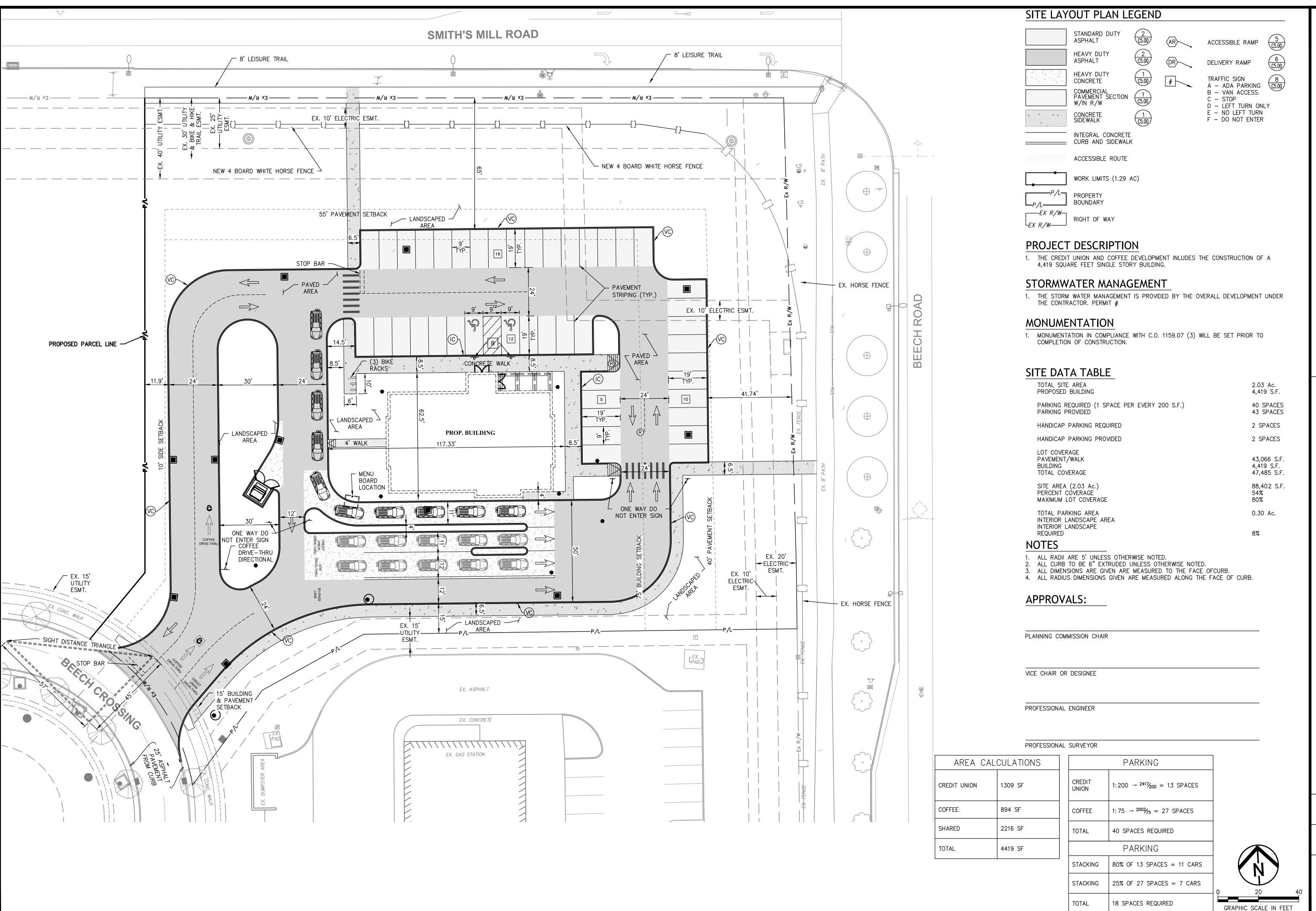
- Q. PROTECT ALL TREES SHOWN TO REMAIN. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING PRIOR TO COMMENCEMENT OF ANY WORK. REFER TO PLANS FOR

- S. ALL VEGETATION WITHIN THE WORK LIMITS NOT DESIGNATED TO REMAIN OR TO BE
- T. UNLESS OTHERWISE NOTED TO BE RETURNED TO OWNER, IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE AND DISPOSE OF ALL ITEMS DESIGNATED FOR DEMOLITION IN

EXISTING CONDITIONS PLAN LEGEND

GENERAL AND EXISTING LINE WORK AND SYMBOLS —— EDGE OF PAVEMENT UTILITY POLE LIGHT POLE EXISTING PROPERTY SANITARY STRUCTURE STORM STRUCTURE Ma xa— I RIGHT OF WAY WATER STRUCTURE GAS STRUCTURE ELECTRIC STRUCTURE TELECOM STRUCTURE EXISTING TREES OR TREE LINE





NEWGROUNI



swGround International, Inc. 450 South Outer Forty Drive lite 300 aesterfield, MO 63017

ME Credit Unio

O

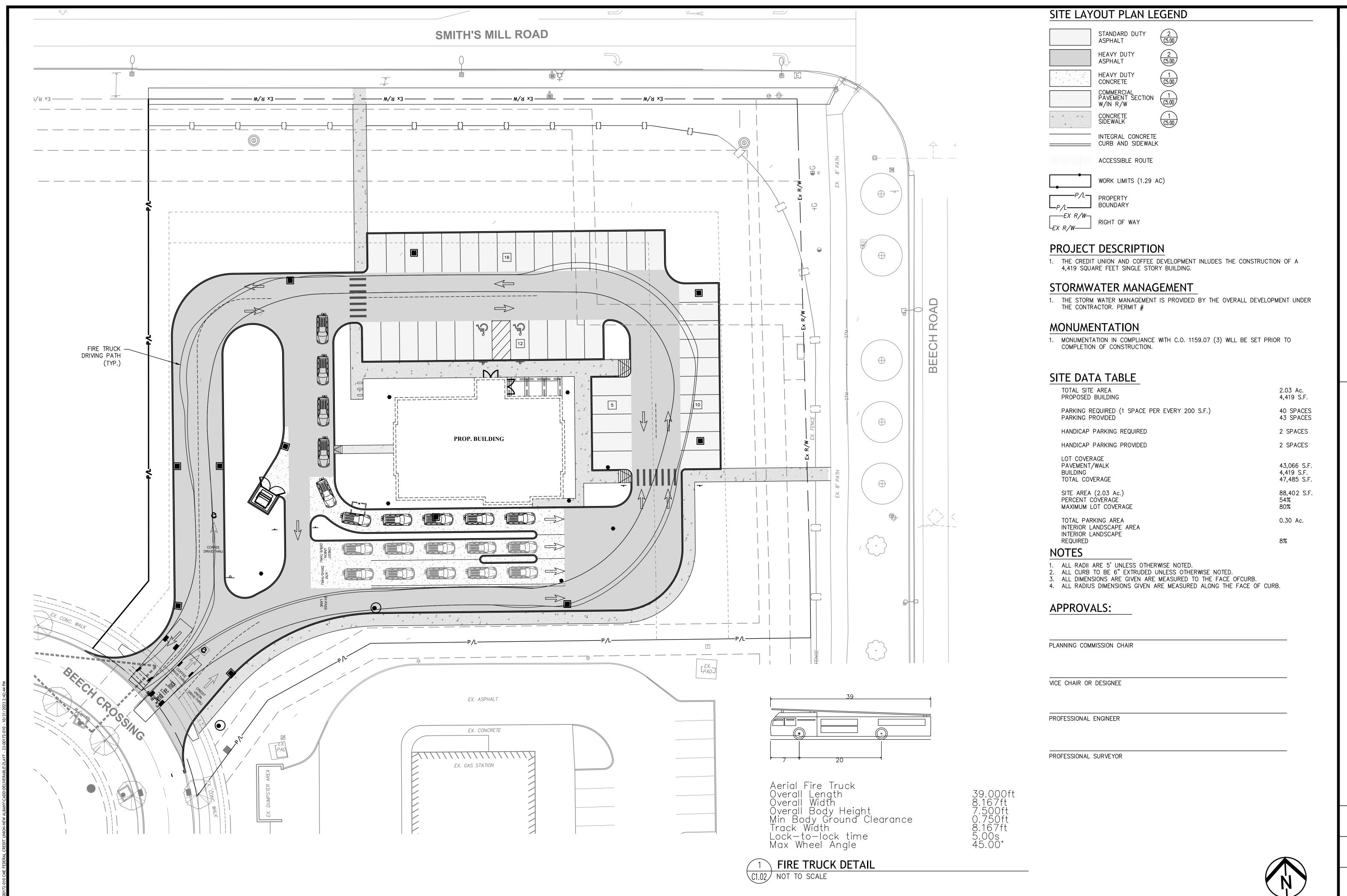
DATE

10/31/2023

JOB NO. 29580-0002

SHEET
FINAL DEVELOPMENT

C1.01



NEWGROUN

NewGround International, Inc. 15450 South Outer Forty Drive Suite 300 Chesterfield, MO 63017

CME Credit Unio

DATE 10/31/202

10/31/2023

JOB NO. 29580-0002

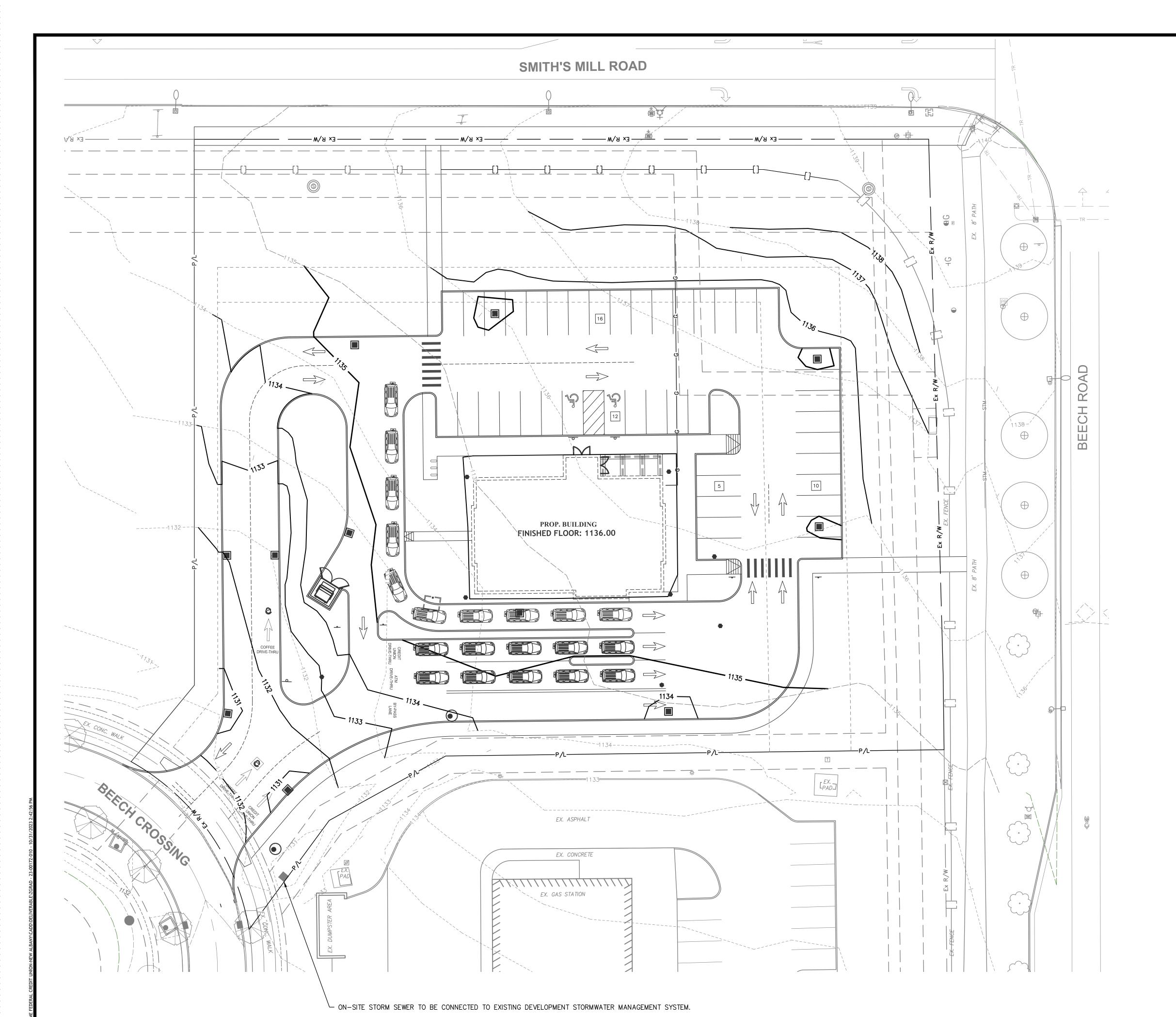
SHEET
FIRE TRUCK TURNING

C1.02

GRAPHIC SCALE IN FEET

JOB NO. 29580-0002

SHEET SITE GRADING PLAN



SITE GRADING PLAN NOTES

- 1. EXISTING CONDITIONS ARE BASED ON SURVEY BY ENVIRONMENTAL DESIGN GROUP, LLC. ALL UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION ACTIVITY.
- 2. MAINTAIN UNIFORM AND POSITIVE SLOPES FOR ALL REGRADED SURFACES.
- 3. ENGINEER TO APPROVE ROUGH GRADING PRIOR TO FINISH-GRADING AND TO APPROVE FINISH-GRADING OF SOIL SURFACE AREAS PRIOR TO SEEDING OR LANDSCAPING.
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO GRADE TO FINISH GRADE EXCEPT WHERE THE FUTURE BUILDING, PARKING AND WALKS ARE SHOWN. IN THESE AREAS THE CONTRACTOR SHALL GRADE TO SUBGRADE, (BOTTOM OF THE PAVEMENT AND 12" BELOW BUILDING FINISHED FLOOR ELEVATIONS). SEE LAYOUT PLAN FOR PAVEMENT
- 5. PRIOR TO CONSTRUCTION, PLACE EROSION CONTROL FENCING AS SHOWN ON THE --- AND AT THE DRIP LINE OF TREES TO REMAIN. DO NOT PARK OR STORE ANY VEHICLES, EQUIPMENT OR BUILDING MATERIALS WITHIN THE PROTECTED AREAS. OBTAIN FIELD APPROVAL FROM THE OWNER, ARCHITECT.
- 6. SEED <u>ALL</u> DISTURBED AREAS WITH SPECIFIED SEED MIXTURE.
- 7. CONSTRUCTION NOTES AND TYPICAL LABELS MAY APPEAR ONLY ONCE ON THE DRAWINGS, BUT APPLY TO ALL SIMILAR CONDITIONS.
- 8. REFER TO SITE UTILITY PLANS FOR LOCATIONS AND ELEVATIONS OF PROPOSED UTILITY STRUCTURES.
- 9. REFER TO LAYOUT PLAN FOR LOCATION OF BENCHMARK AND HORIZONTAL CONTROL
- 10. PRIOR TO EXCAVATION AND EARTHWORK OPERATIONS THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND PROPOSED GRADES AND REPORT ANY DISCREPANCIES TO THE OWNER. FIELD VERIFY LOCATIONS OF ALL BURIED UTILITIES AND DEPTHS AND REPORT ANY DISCREPANCIES TO OWNER.
- 11. ACCESSIBLE PARKING SPACES SHALL NOT TO EXCEED 2% SLOPE IN ALL DIRECTIONS.
- 12. ACCESSIBLE ROUTES SHALL NOT EXCEED 2% CROSS SLOPE AND 5% RUNNING SLOPE.

SITE GRADING PLAN LEGEND

GENERAL AND E	EXISTING LINE WORK AND SYME	BOLS	
•	WORK LIMITS		PAVEMENT EDGE
- — —EX RW— X3— — -	RIGHT OF WAY		TREE OR TREE LINE
	PARCEL LINES	XXXX XXXX	EXISTING CONTOURS
EXISTING UTILITY	Y SYMBOLS		
	STORM STRUCTURES		ELECTRIC STRUCTURE
○ ◎	SANITARY STRUCTURES	\boxtimes	TELECOM STRUCTURE
FH > M >FDC	WATER STRUCTURES	\bowtie	GAS STRUCTURE
J \$ 2 \$	UTILITY POLES		
PROPOSED LINE	WORK, TAGS AND SYMBOLS		
- 000 00		VVVV	

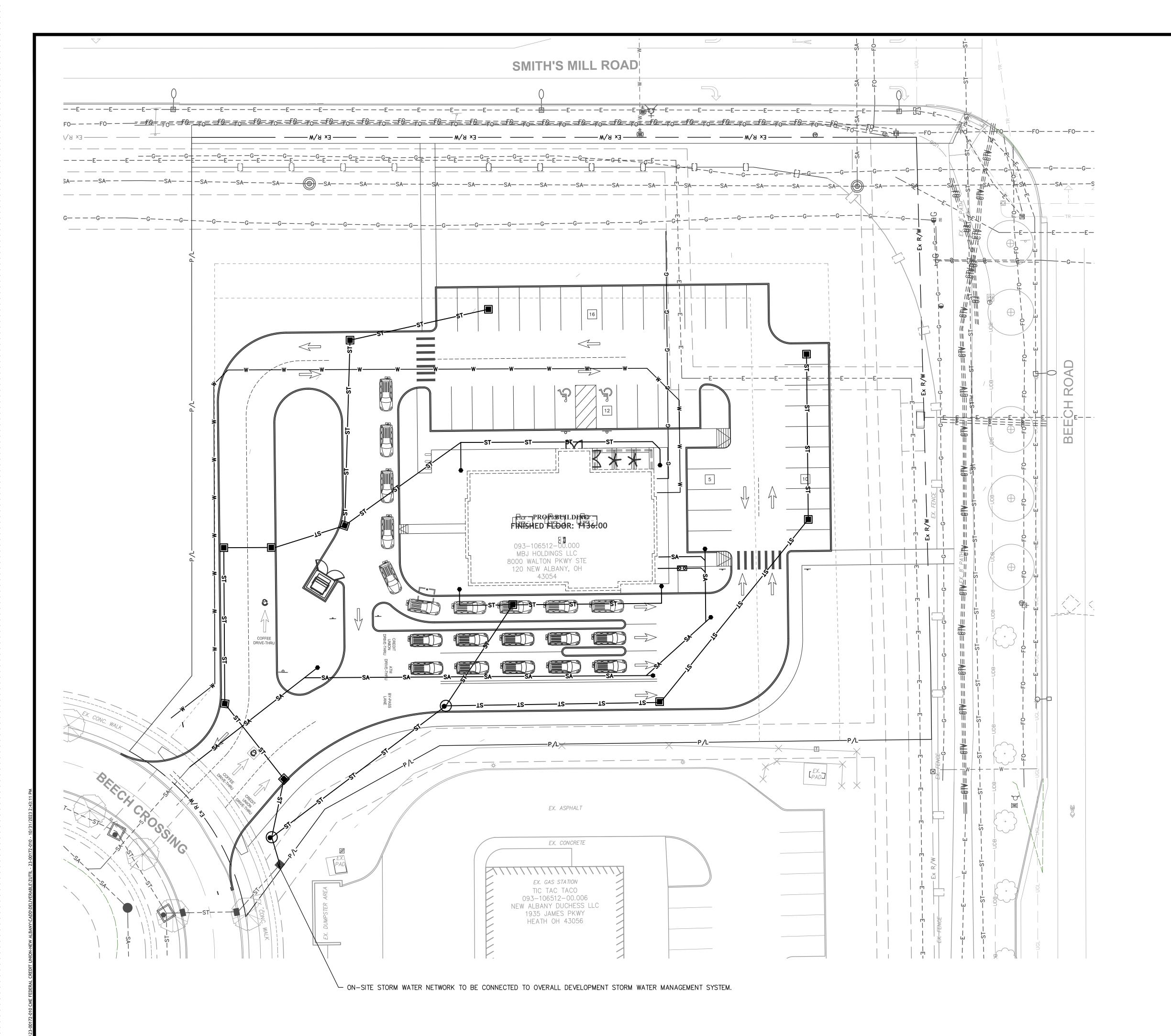
XXXX PROPOSED CONTOURS SPOT ELEVATION TW:000.00 WALL TOP BOTTOM TC:000.00 CURB TOP BOTTOM

 \geq

JOB NO. 29580-0002

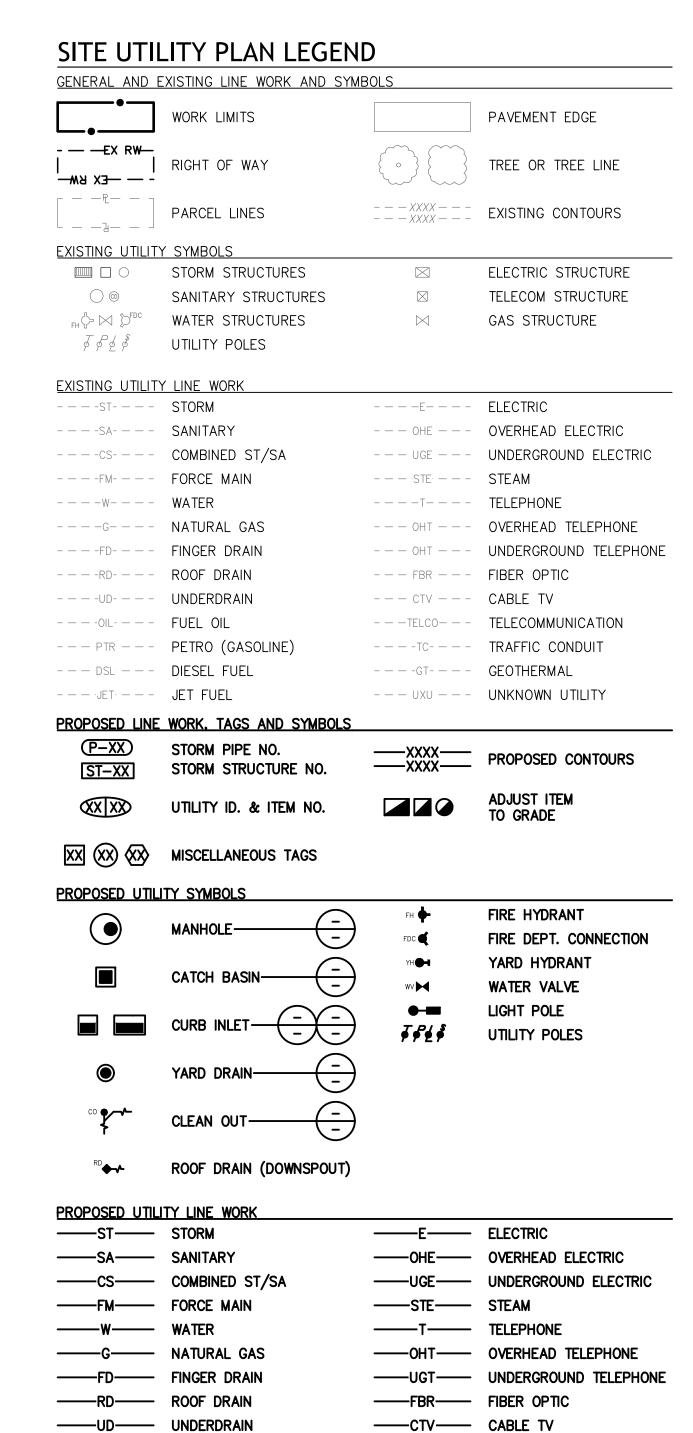
SHEET
SITE UTILITY PLAN

C3.00



SITE UTILITY PLAN NOTES

- SEE PLUMBING AND MECHANICAL PLANS FOR UTILITY WORK WITHIN 5' OF THE BUILDING.
- 2. SEE SITE ELECTRICAL PLANS FOR ELECTRICAL SERVICE.
- 3. CONTRACTOR SHALL COORDINATE WITH DOMINION EAST OHIO GAS FOR SERVICE LINES.
- 4. CONTRACTOR SHALL CONFIRM GAS HOUSE LINE SIZE WITH PLUMBING AND DOMINION EAST OHIO GAS.
- 5. CATCH BASINS IN PAVED AREAS WILL HAVE FINGER DRAINS INTEGRAL TO THE INSTALLATION. SEE STRUCTURE DETAIL FOR ADDITIONAL INFORMATION.
- 6. ALL ROOF DRAINS ARE TO BE TIED INTO THE STORM SEWER. SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION.



——OIL—— FUEL OIL

——JET—— JET FUEL

——PTR—— PETRO (GASOLINE)

0 20

GRAPHIC SCALE IN FEET

—TELCO— TELECOMMUNICATION

——TC—— TRAFFIC CONDUIT

——GT—— GEOTHERMAL

SITE LANDSCAPE PLAN NOTES

- 1. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES ASSOCIATED WITH WORK. UTILITIES SHALL BE REPAIRED TO SATISFACTION OF THE UTILITY OWNER AND/OR OPERATING AUTHORITY AT NO ADDITIONAL COST.
- 2. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT.
- 3. FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED.
- 4. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED. IF PLANTS ARE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID
- 5. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTOR'S OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
- 6. ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, 2014 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- 7. MAINTENANCE OF PLANT MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL PLANT MATERIALS ARE ACCEPTED BY OWNER. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO WATERING, WEEDING, PEST CONTROL, AND OTHER ACTIONS AS REQUIRED TO MAINTAIN PLANT MATERIALS IN A HEALTHY CONDITION.
- 8. ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT END OF THIS PERIOD, PLANT MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.
- 9. SEE SHEET L1.01 FOR DETAILED PLANT SCHEDULE.





CME

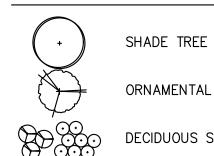
DATE 10/31/2023

JOB NO. 29580-0002

SHEET

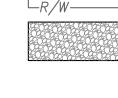
SITE LANDSCAPE PLAN

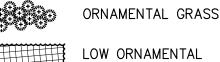
SITE LANDSCAPE PLAN LEGEND

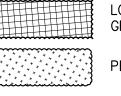


ORNAMENTAL TREE

DECIDUOUS SHRUB







GRASS MASSING PERENNIALS/BULBS

WORK LIMITS

RIVER ROCK

NewGround International, Inc. 15450 South Outer Forty Drive Suite 300 Chesterfield, MO 63017 Area Code 636 898- 8100

I 1 01

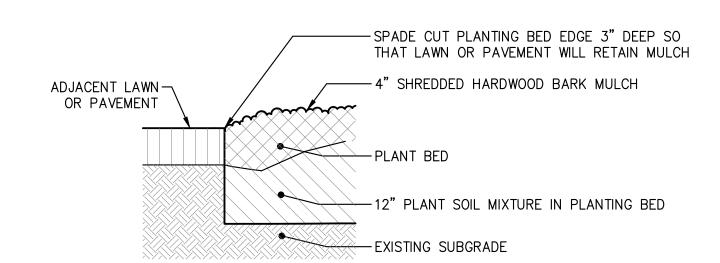
-PRUNE DEAD OR BROKEN BRANCHES, DO NOT PRUNE CENTRAL LEADER -STAKING (2" CAL AND 9' OR SMALLER TREE) 2" x 2" STAKES, 3 STAKES PER TREE (SEE NOTES 2 AND 3) -#12 GAUGE WIRE -½" FABRIC BEARING RUBBER HOSE OVER #12 GALVANIZED WIRE - TURNBUCKLE -STAKING (2½" CAL. AND 10' OR LARGER TREE) 3 PER TREE, #12 GALV. WIRE (SEE NOTES 2 - GROUND LEVEL TO BE SAME AS BEFORE DIGGING - 3" SAUCER AROUND TREE 3" SHREDDED BARK MULCH WITH SPADED EDGE REMOVE BURLAP, WIRE BASKETS AND TWINE FROM TOP AND SIDES OF ROOT BALL -PLANTING MIX AS SPECIFIED -SET BALL ON UNDISTURBED SUBGRADE

NOTES:

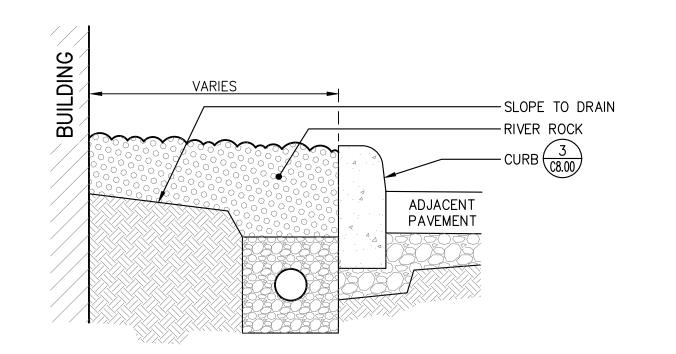
1. REMOVE BURLAP, WIRE BASKETS AND TWINE FROM TOP AND SIDES OF ROOT BALL. CENTER
TREE IN HOLE SET TOP OF BALL 1" ABOVE FINISH GRADE.

- 2. STAKING AND GUYING TREES IS OPTIONAL, HOWEVER THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLED TREES STAYING PLUMB AND STABLE. IF A NON-STAKED TREE MOVES OUT OF PLUMB DURING THE WARRANTY PERIOD THE CONTRACTOR SHALL STRAIGHTEN AND STAKE THE TREE AT NO ADDITIONAL COST TO THE OWNER.
- 3. THE CONTRACTOR SHALL RETURN TO REMOVE ALL STAKES, GUYS & ASSOCIATED HARDWARE ON THE TREES ONE YEAR AFTER STAKING OR PER THE DIRECTION OF THE OWNER OR LANDSCAPE ARCHITECT.

1 DECIDUOUS TREE PLANTING L1.01 NOT TO SCALE

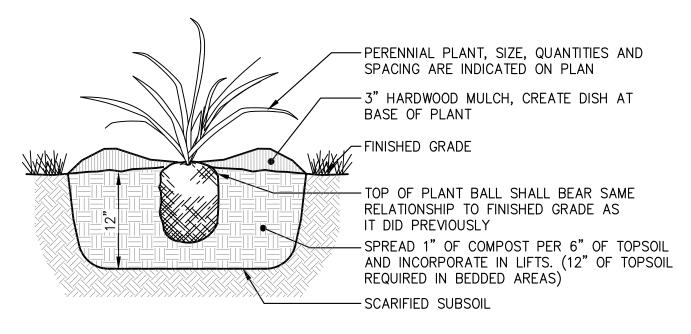


5 PLANTING BED SPADE CUT EDGING L1.01 NOT TO SCALE



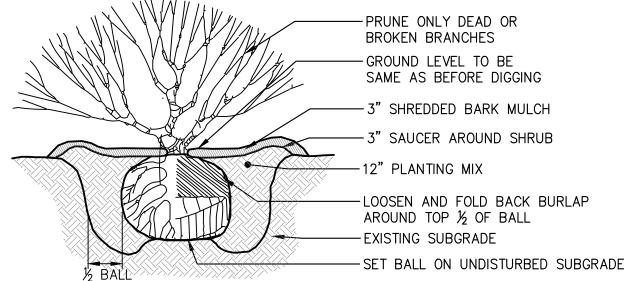
6 BUILDING EDGE - ROCK MULCH

L1.01 NOT TO SCALE



NOTE:
COMPOST SHALL CONSIST OF STERILIZED, COMPOSTED MATERIAL (SWEET PEAT OR OTHER APPROVED EQUAL). CONTRACTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF PLANTS.





NOTES:

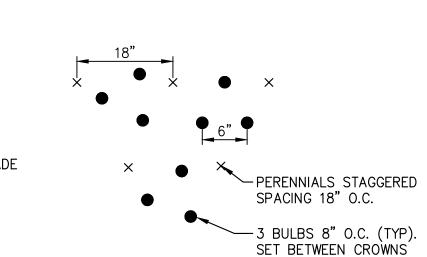
1. PLANTING MIX TO CONSIST OF 1" COMPOST PER 6" OF TOPSOIL.

2. COMPOST SHALL CONSIST OF STERILIZED, COMPOSTED MATERIAL (SWEET PEAT OR OTHER APPROVED EQUAL). CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER'S

REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF PLANTS.

3. MULCH TO FORM CONTINUOUS SHRUB BEDS.





NOTES:

1. SCARIFY SOIL AT BOTTOM OF PIT BEFORE PLANTING.

2. PLANT WITH NOSE POINTING

TOWARD SURFACE.

3. FALL PLANTING ONLY.

4. WATER DRY SOIL.

5. MULCH DEPTH AS SPECIFIED.

6. PLANT BULBS, 8" APART, DEPTH

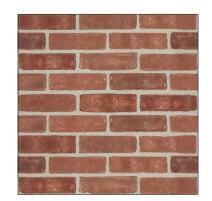
PER BULB SUPPLIER'S
RECOMMENDATIONS.
7. BURY BULBS WITH 1 PART BONE
MEAL TO 3 PARTS PLANTING MIX.

4 PERENNIAL PATTERN
L1.01 NOT TO SCALE

OF PERENNIALS

	LANDSCAPE REQUIREMEN	TS	
	NEW ALBANY MUNICIPAL CODE	-	
CODE	REQUIREMENTS	PROVIDED	
TRASH RECEPTICAL SCREENING	TRASH RECEPTICALS MUST BE SCREENED TO 8' HIGH	SCREENING PROVIDED	
MINIMUM TREES	3 TREES PER 5,000 SF 3 TREES PROVIDED A 4,419/5,000 SF = 3 TREES 4,419/2,000SF - BUNCHES TRUNK SIZE 3" CAL PROVIDED A		
	BEECH CROSSING I-PUD REQUIREM		
TREATMENT ALONG BEECH ROAD AND SMITH'S MILL ROAD (G)(3)(A)	A FOUR BOARD HORSE FENCE IS REQUIRED TO BE INSTALLED ALONG THE STREET FRONTAGE	PROVIDED, SEE PLAN	
SETBACK LANDSCAPING (G)(3)(B)	A MINIMUM OF 6 TREES PER 100 LINEAR FT MUST BE INSTALLED BEHIND THE FENCE & WITHIN THE SETBACK AREA TREES PROVIDED AS PER NA LANDSCAPE PLAN		
SCREENING OF PARKING (G)(3)(C)	MINIMUM HEIGHT OF 3.5' 75% OPACITY MINIMUM IN 3 YEARS	LANDSCAPING PROVIDED, SEE PLAN	
INTERIOR SETBACK LINES (G)(3)(D)	(4) TREES FOR EVERY 100 LF OF SIDE PROPERTY LINE. DECIDUOUS SHRUBS SHALL BE PLANTED UNDER THE TREES 265=3 3*4=12 TREES REQUIRED	12 TREES PROVIDED ALONG WITH DECIDUOUS SHRUBS	
STREET TREES (G)(5)	(1) TREE FOR EVERY 30' OF FRONTAGE 3" CAL MIN.	STREET TREES PROVIDED LOCATED ON EACH SIDE OF LEISURE TRAIL ALONG SMITH'S MILL RD. EX. STREET TREES ON BEECH RD TO REMAIN	
GATEWAY FEATURE (G)(6)	ADEQUATE SPACE SHALL BE PROVIDED	SEE LANDSCAPING PLAN 50x50 SPACE PROVIDED	
PARKING AREAS	1 TREE PLANTED FOR EVERY 10 PARKING SPACES \$\frac{43}{10} = 5 TREES REQUIRED AT LEAST 5% OF VEHICULAR USE AREA (INCLUDING ENTRANCE) SHALL BE LANDSCAPED 2,480*.05=1243	7 TREES PROVIDED 2,690 SF PROVIDED OF LANDSCAPE IN ADDITION TO PARKING SCREENING PROVIDED.	

ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION	QUANTITY	REMARKS	
	SHADE TREES							
AF AB	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3" CAL.	AS SHOWN	B&B	3		
AR RR	ACER RUBRUM 'RED ROCKET'	RED ROCKET RED MAPLE	3" CAL.	AS SHOWN	B&B	4		
AS SM	ACER SACCHARUM	SUGAR MAPLE	3" CAL.	AS SHOWN	B&B	7		
CA CA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3" CAL.	AS SHOWN	B&B	3		
CO CH	CELTIS OCCIDENTALIS	COMMON HACKBERRY	3" CAL.	AS SHOWN	B&B	5		
GL TR	GLEDETSIA TRIACANTHOS F. INERMIS	SKYLINE HONEYLOCUST	3" CAL.	AS SHOWN	B&B	7	SPECIMEN	
LI TU	LIRIODENDRON TULIPIFERA	TULIP TREE	3" CAL.	AS SHOWN	B&B	5		
LS AS	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEET GUM	3" CAL.	AS SHOWN	B&B	7		
PL OC	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	3" CAL.	AS SHOWN	B&B	2		
QR RO	QUERCUS RUBRUM	RED OAK	3" CAL.	AS SHOWN	B&B	7		
QU WO	QUERCUS ALBA	WHITE OAK	3" CAL.	30' O.C.	B&B	9		
	ORNAMENTAL TREES		ı	1				
AM LA	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	2" CAL.	AS SHOWN	B&B	5	CLUMP	
MA PP	MALUS 'PURPLE PRINCE'	PURPLE PRINCE CRABAPPLE	2" CAL.	AS SHOWN	B&B	9		
MA SS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL.	AS SHOWN	B&B	4		
	DECIDUOUS SHRUBS							
НҮ МА	HYDRANGEA MACROPHYLLA 'ALL SUMMER BEAUTY'	ALL SUMMER BEAUTY HYDRANGEA	30" HT.	AS SHOWN	#5 CONT.	2		
IL RS	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	30" HT.	AS SHOWN	#5 CONT.	16		
	EVERGREEN SHRUBS			l	l			
BU SI	BUXUS SINICA VAR. INSULARIS 'WINTERGREEN'	WINTERGREEN BOXWOOD	36" HT.	AS SHOWN	B&B	70	HEDGE	
IL GL	ILEX GLABRA 'DENSA'	DENSE COMPACT INKBERRY	36" HT.	AS SHOWN	B&B	55		
TH OC	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	48" HT.	AS SHOWN	B&B	5		
	GROUNDCOVER			· L				
LI MU	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILYTURF	CLUMP	18" O.C.	#1 CONT.	246	FULL-WELL ROOTE	
	PERENNIALS, BULBS, AND GRASSES							
CA AC	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CLUMP	30" O.C.	#2 CONT.	21		
НЕ НА	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	CLUMP	18" O.C.	#1 CONT.	62		
PE AL	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CLUMP	2' O.C.	#2 CONT.	65		
NA DM	NARCISSUS 'DUTCH MASTER'	DUTCH MASTER DAFFODIL	BULB	6" O.C.		145		
	SEED	1	l	1	l	I	L	
	ODOT LAWN MIXTURE			SFF ODOT	CMS 659.09			



BRICK: BELDEN BRICK BELCREST 730 SANDMOLD



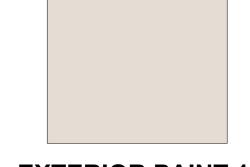
ASPHALT SHINGLES: OWENS-CORNING OAKRIDGE PEPPER MILL GRAY



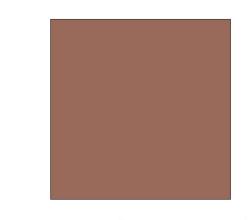
ACCENT EIFS: DRYVIT 115 BEACH



CAST STONE: CONTINENTAL 1102 NATURAL STONE



EXTERIOR PAINT 1: SHERWIN WILLIAMS 7035 AESTHETIC WHITE



EXTERIOR PAINT 2: SHERWIN WILLIAMS 7598 SIERRA REDWOOD

EXTERIOR MATERIALS



NORTH ELEVATION (facing Smith's Mill Rd)



GENERAL NOTES: EXTERIOR ELEVATIONS

- DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND STORM DRAINAGE PIPING U.N.O.
- 2. CONTRACTOR TO SEAL ALL MEP PENETRATIONS & OPENINGS AT THE BUILDING ENVELOPE.
- 3. ALL HVAC EQUIPMENT TO BE LOCATED ON THE ROOFTOP AND SCREENED FROM VIEW. NO EQUIPMENT TO BE LOCATED ON THE GROUND LEVEL.

KEYNOTES PER SHEET

11-11

22-01

22-23

175 114	OTEOTER OTTEET
	1
04-08	16" H BRICK JACK ARCH
04-12	FULL BRICK VENEER
04-13	FULL BRICK WATER TABLE
04-14	FULL BRICK HERRINGBONE PATTERN ACCENT
05-01	STEEL PIPE BOLLARD W/ BOLLARD COVER
05-07	WOOD PERGOLA, PAINTED WHITE
07-06	PREFINISHED METAL COPING / ROOF EDGE,
	COLOR TO MATCH SHINGLES
07-07	PREFINISHED METAL FASCIA, WHITE
07-11	PREFINISHED FASCIA & GUTTER
	W/ 3/4 DOWNSPOUT, WHITE
07-13	ASPHALT SHINGLE ROOF
07-14	FULLY ADHERED SINGLE-PLY MEMBRANE
	WALL FLASHING
07-22	EIFS (EXTERIOR INSULATION & FINISH
	SYSTEM) W/ DRAINAGE
07-31	PRE-FINISHED METAL COUNTER FLASHING,
	FINISH TO MATCH ADJACENT MATERIAL
08-05	CASEMENT WINDOW / DOOR SYSTEM WITH
	7/8" MUNTINS, WHITE
08-07	INSULATED H.M. DOOR & FRAME,
	PAINT "EXTERIOR PAINT 1"
08-08	SPANDREL GLASS
08-10	DRIVE THROUGH SLIDING SERVICE WINDOW
10-15	CHANNEL LOGO & LETTER SIGNAGE BY
	OWNER, LIT BY EXTERIOR FIXTURES
10-31	8" HIGH VINYL ADDRESS NUMBERS
11-08	PNEUMATIC TUBE SYSTEM BY OWNER
11-09	DRIVE-UP ATM UNIT BY OWNER

AFTER-HOURS DEPOSITORY BY OWNER

ELECTRIC METER, PAINT "EXTERIOR PAINT 2"

3X4 DOWNSPOUT W/ ADAPTER, WHITE

SCREENED ROOFTOP EQUIPMENT

EXTERIOR LIGHT FIXTURE

NEWGROUND



ARCHITECT

15450 South Outer Forty Drive Suite 300 Chesterfield, MO 63017 Phone: 636-898-8100

CONSULTANT

W.F. Cann Company 15450 South Outer Forty Drive Suite 300 Chesterfield, MO 63017 Phone: 636-898-8100

CONSULTANT

Environmental Design Group 450 Grant St. Akron, OH 44311 Phone: 330-375-1390

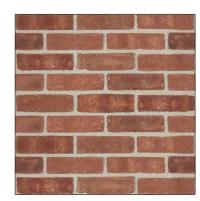
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DATE 18 Oct 2023

JOB NO. 29580-0002

SHEET

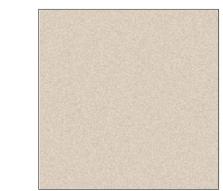
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BRICK: BELDEN BRICK BELCREST 730 SANDMOLD



ASPHALT SHINGLES: OWENS-CORNING OAKRIDGE PEPPER MILL GRAY



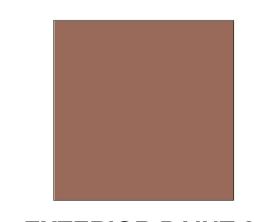
ACCENT EIFS: DRYVIT 115 BEACH



CAST STONE: CONTINENTAL 1102 NATURAL STONE



EXTERIOR PAINT 1: SHERWIN WILLIAMS 7035 AESTHETIC WHITE



EXTERIOR PAINT 2: SHERWIN WILLIAMS 7598 SIERRA REDWOOD

EXTERIOR MATERIALS



SOUTH ELEVATION



GENERAL NOTES: EXTERIOR ELEVATIONS

- DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND STORM DRAINAGE PIPING U.N.O.
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KEYNOTES PER SHEET

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ELECTRIC METER, PAINT "EXTERIOR PAINT 2"

EXTERIOR LIGHT FIXTURE

26-03

NEWGROUND



ARCHITECT

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CONSULTANT

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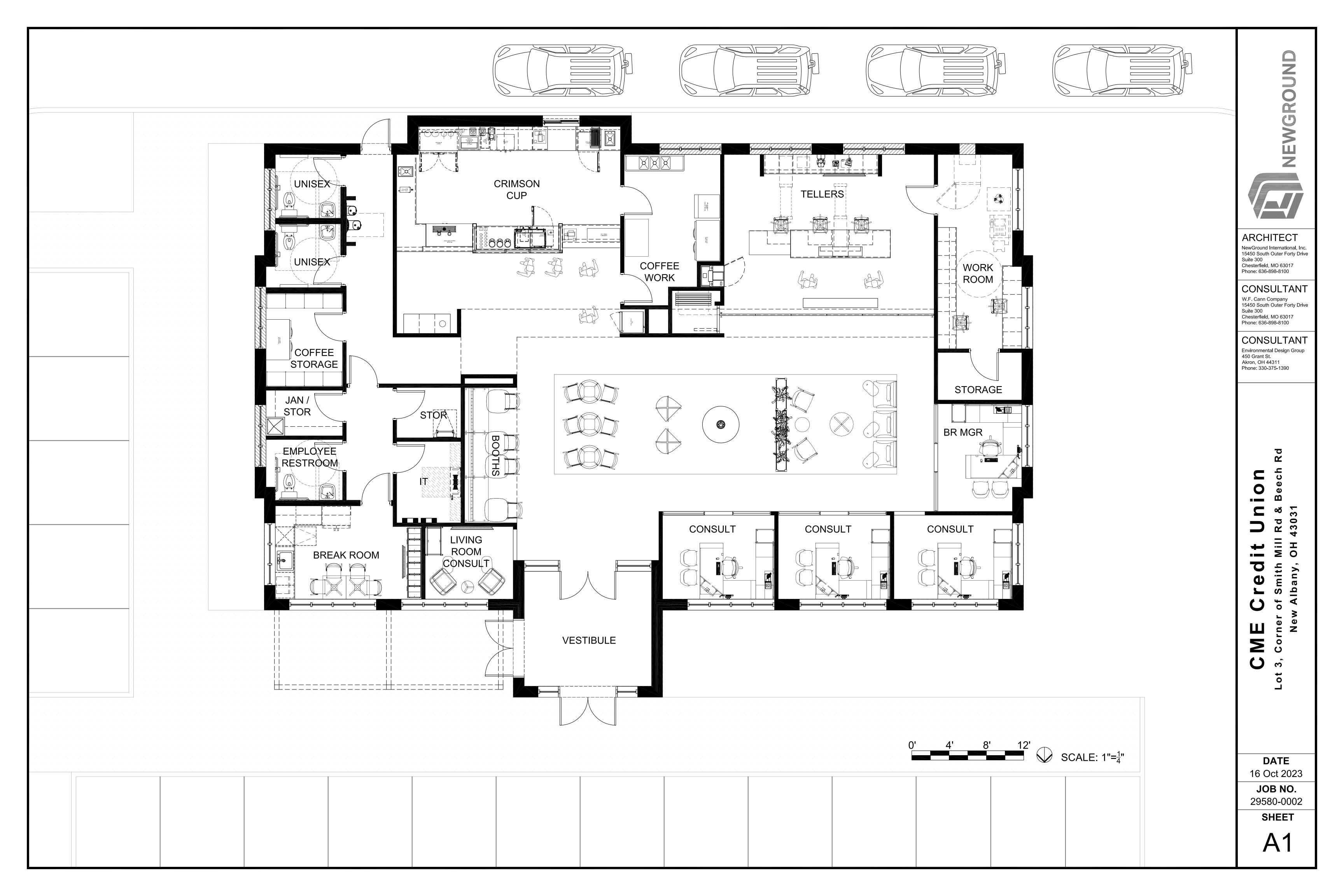
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JOB NO. 29580-0002

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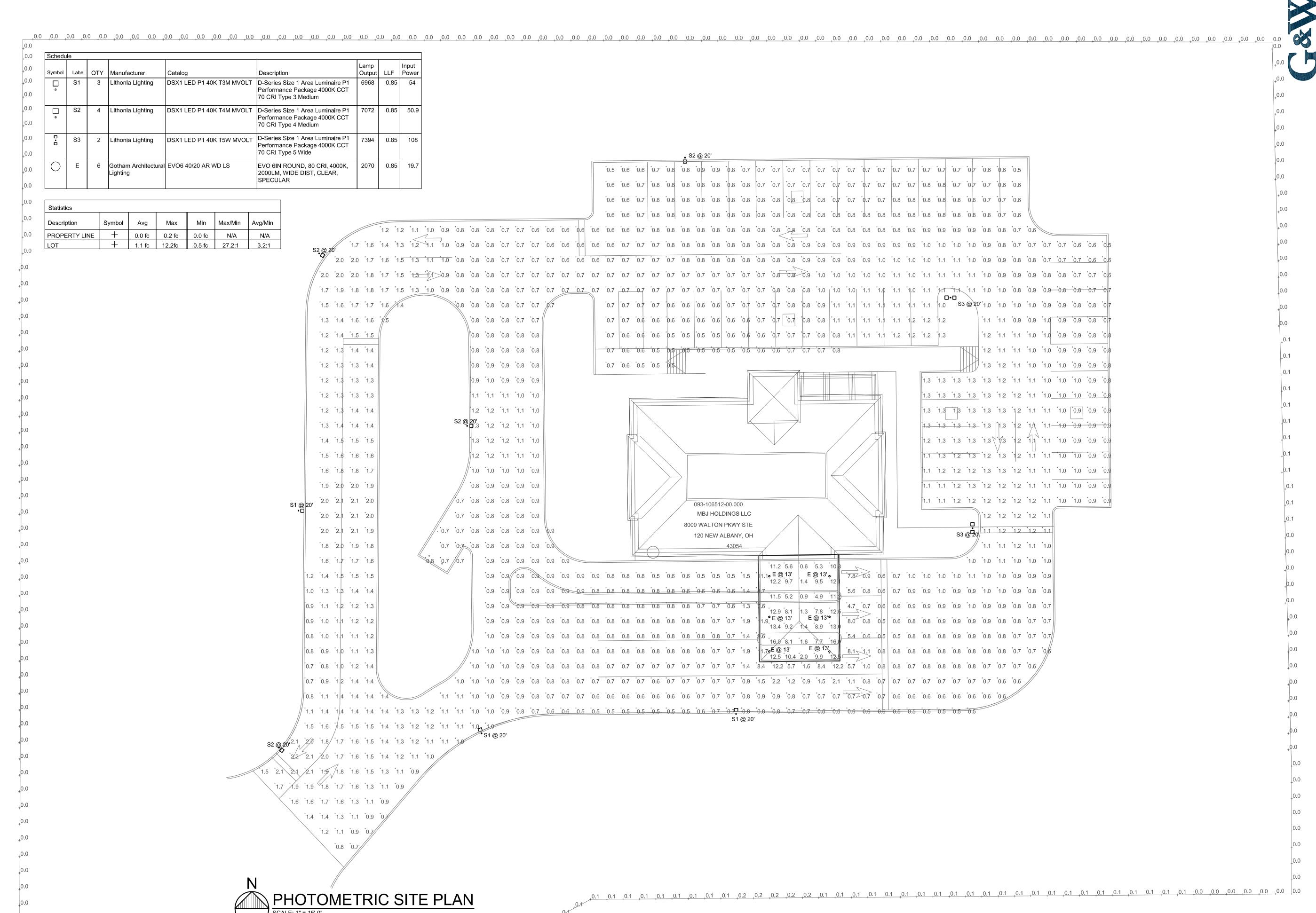
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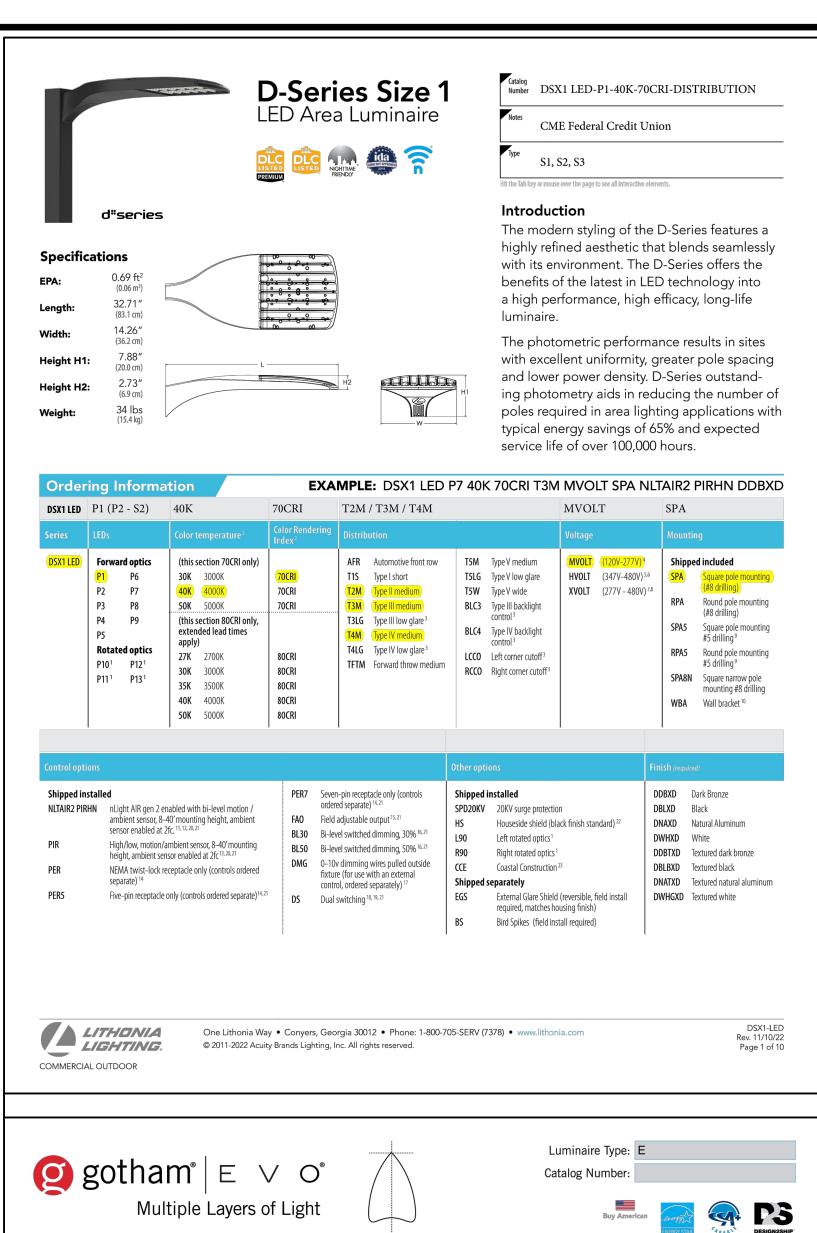
JOB NO. 29580-0002

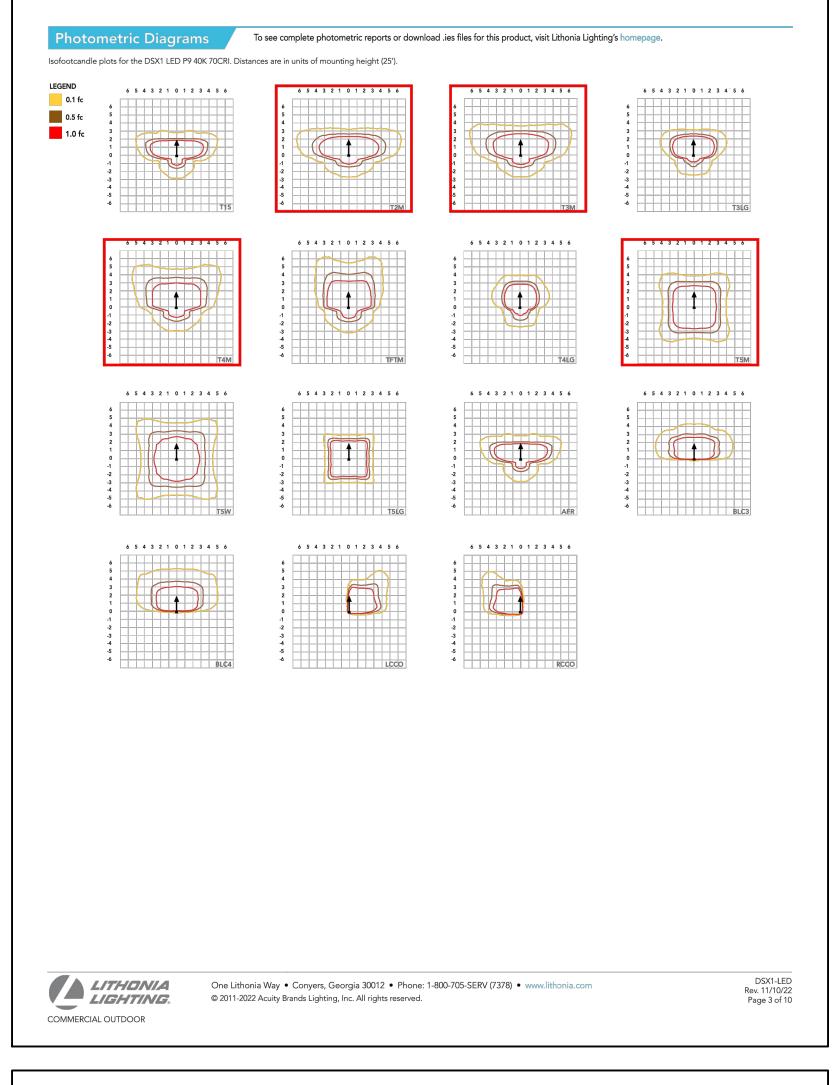
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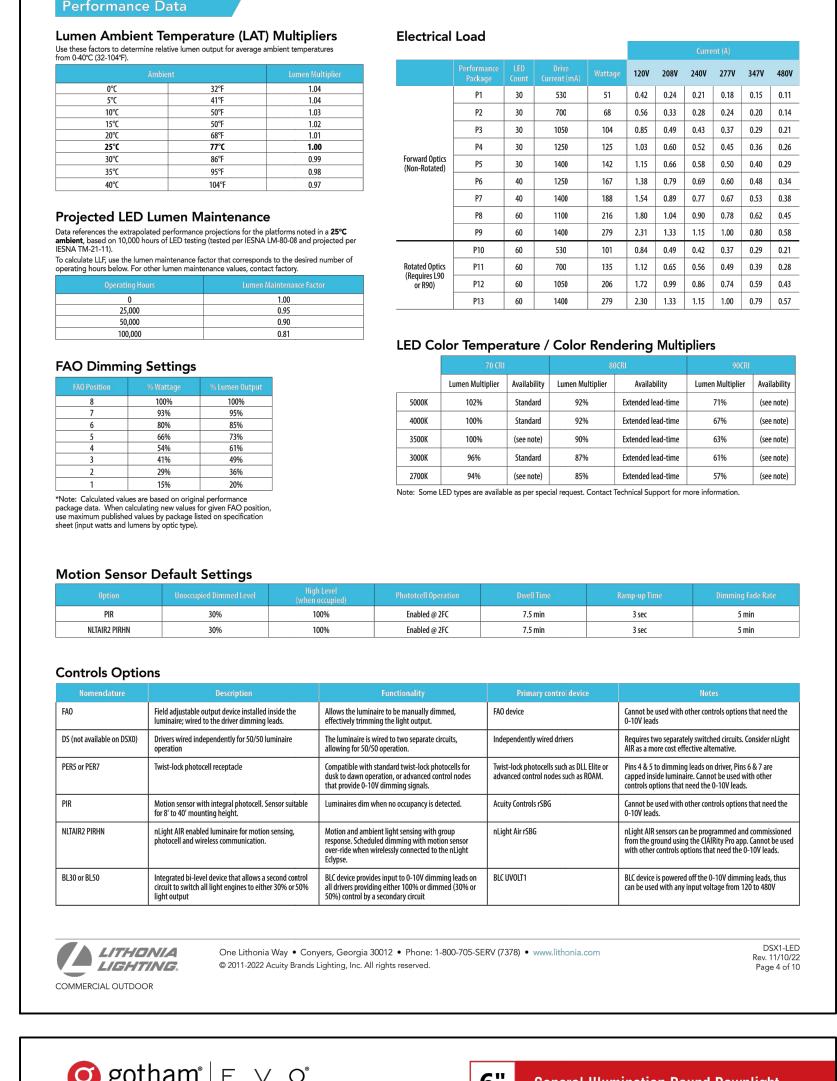
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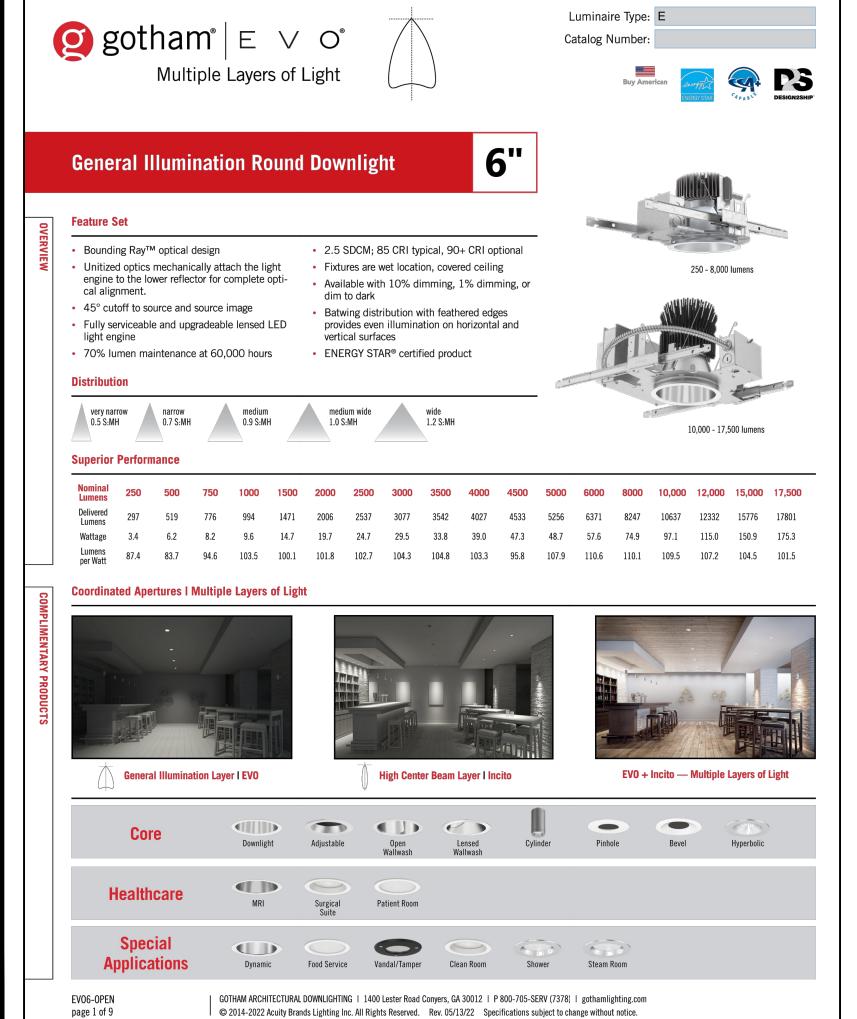
PHOTOMETRIC SITE PLAN

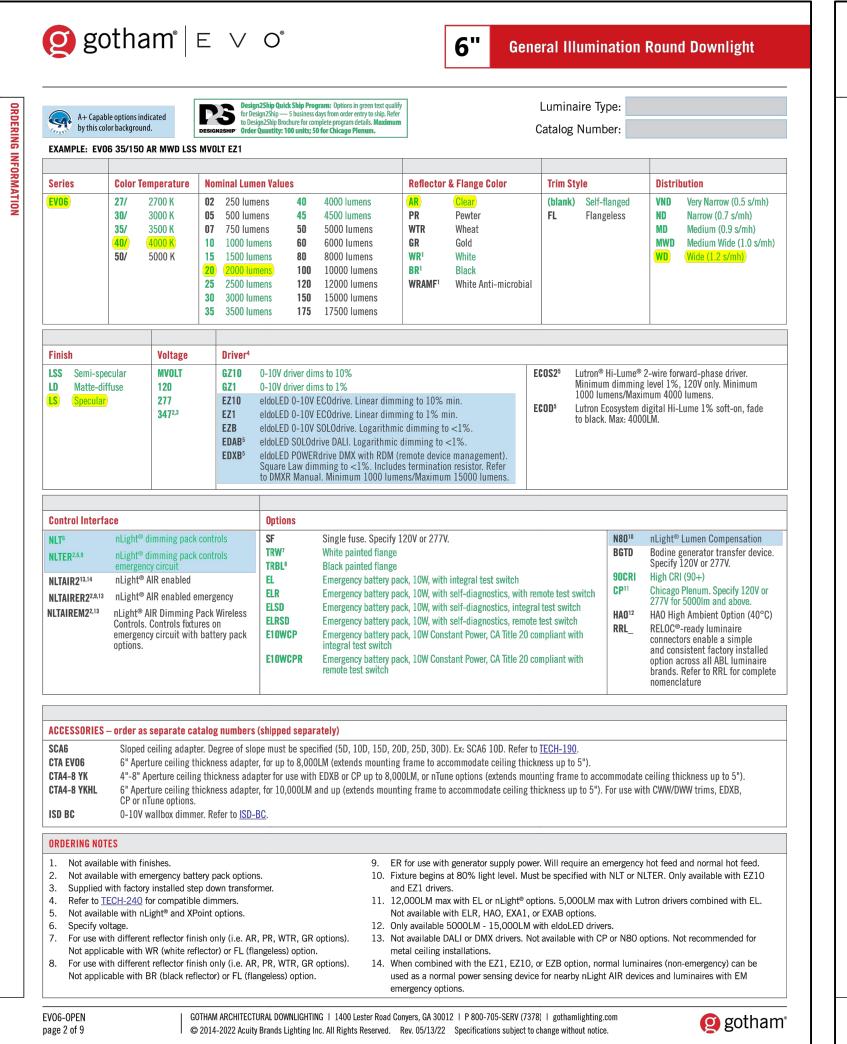


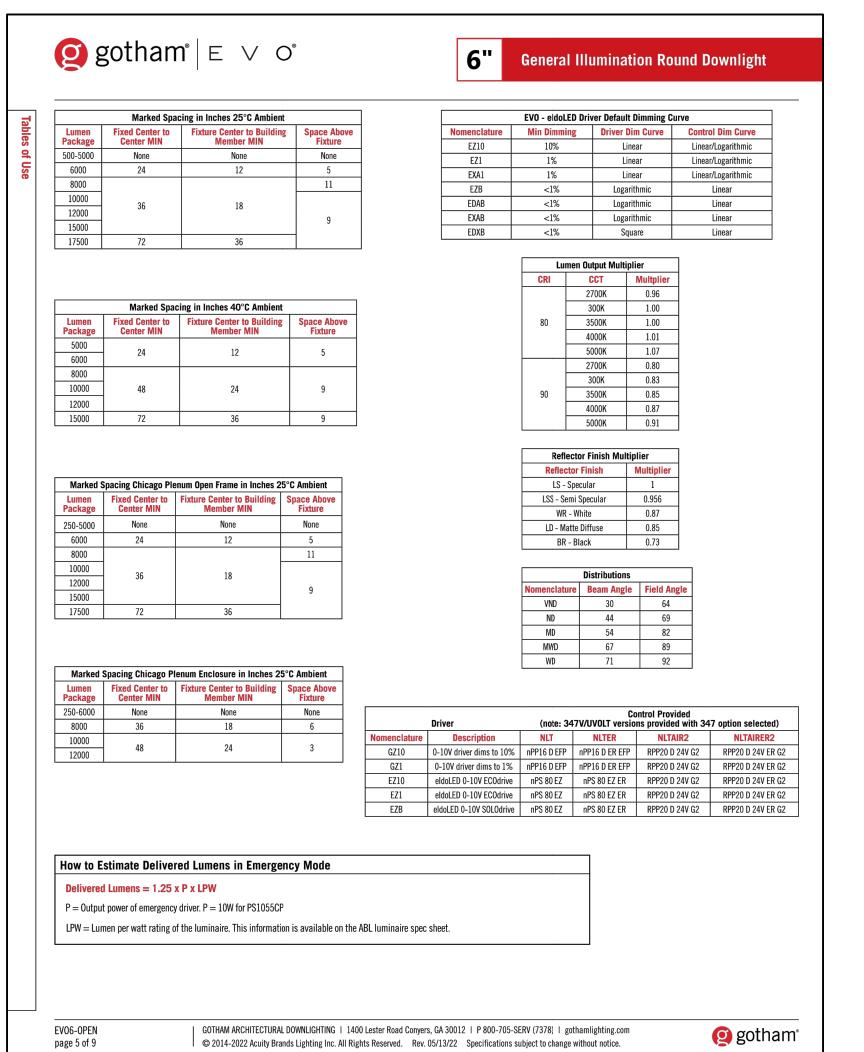






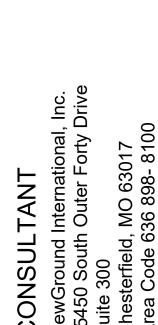








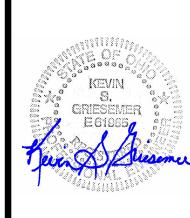




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DATE 10/25/2023

JOB NO.

29580-0002

SHEET

LIGHTING CUT SHEETS



Planning Commission Staff Report November 20, 2023 Meeting

CME CREDIT UNION AND CRIMSON CUP COFFEE SHOP VARIANCES

LOCATION: Located at the southwest corner of Beech Road and Smith's Mill Road

(PID: 093-106512-00.00)

APPLICANT: Brian Wellert

REQUEST:

(A) Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that there be active and operable doors on the Beech Crossing

building elevations.

ZONING: Beech Crossing I-PUD

STRATEGIC PLAN: Retail

APPLICATION: VAR-79-2023

Review based on: Application materials received October 31, 2023

Staff report prepared by Chelsea Nichols, Planner

I. REQUEST AND BACKGROUND

This application is for a variance related to a final development plan for a proposed CME credit union with a drive-through and Crimson Cup coffee shop located at the southwest corner of Beech Road and Smith's Mill Road within the Beech Crossing development.

The applicant requests the following variance:

(A) Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that there be active and operable doors on the Beech Crossing building elevation.

The Planning Commission reviewed and tabled this application at the September 2023 meeting. The application previously contained three variance requests. The Planning Commission advised the applicant to re-evaluate the proposed site plan and consider revising it to reduce the number of variances that would be needed. Since that meeting, the applicant has revised the site plan and building orientation to reduce the number of variance requests from three to one.

II. SITE DESCRIPTION & USE

The site is generally located north of State Route 161, south of Smith's Mill Road and west of Beech Road. The site is 2.03 acres and is currently undeveloped. This is the fourth proposed development for this zoning district. The Planning Commission approved final development plan applications for Duke and Duchess on October 20, 2020 Holiday Inn Express on February 19, 2020, and Taco Bell on August 21, 2022.

III. EVALUATION

The application complies with the submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

- 1. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.
- 2. Whether the variance is substantial.
- 3. Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."
- 4. Whether the variance would adversely affect the delivery of government services.
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction.
- 6. Whether the problem can be solved by some manner other than the granting of a variance.
- 7. Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.

Plus, the following criteria as established in the zoning code (Section 1113.06):

- 8. That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- 9. That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- 10. That the special conditions and circumstances do not result from the action of the applicant.
- 11. That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- 12. That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

III. RECOMMENDATION

Considerations and Basis for Decision

(A) Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that buildings have operable and active front doors along all public and private roads.

The following should be considered in the Commission's decision:

- 1. The applicant is requesting a variance to eliminate the requirement that buildings have operable and active front doors along all public and private roads. The building has three frontages: Smith's Mill Road (public street), Beech Road (public street), and Beech Crossing (private road).
 - a. The commercial building has active doors for the public streets facing Beech Road and Smith's Mill Road (two of the three elevations meet the requirement). These doors are located within a two-story architectural feature on the north elevation of the building that includes an 8.5 concrete walk. There are no active doors along Beech Crossing, which is a private road.

- 2. As required by the zoning text, the building is designed with the same caliber of finish on all sides of the building using the same building materials.
- 3. The variance appears to preserve the "spirit and intent" of the zoning requirement. The intent of this requirement is to ensure that buildings maintain a presence on the street and not contain blank or "empty" building elevations so their architectural vibrancy and interest on all sides of a building. This site and the overall Beech Crossing developments are auto-oriented by design therefore it does not appear that maintaining an entrance on every street is as important in this development scenario. All sides of the building are designed with the same caliber of finish using the same building materials so none of the elevations appear as a "lesser" side of the building.
- 4. While there is not an active and operable door along the private road elevation (Beech Crossing), the applicant is providing strong architectural features and materials so the building adequately addresses the primary streets (Beech Road and Smith's Mill Road) architecturally. The building is designed so the front door architectural elements and retail storefront windows front Beech Road and Smith's Mill Road.
- 5. It does not appear that the essential character of the neighborhood will be altered if the variance request is granted. This same variance request has been granted for other developments within the nearby Canini Trust Corp. In addition, the Duke and Duchess immediately south of the subject CME site received the same variance and was approved by the Planning Commission at their October 20th, 2020 meeting.
- 6. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

II. SUMMARY

The proposed use appears to be appropriate for the site based on the current zoning and the site is strategically located to provide auto oriented services/retail uses due to its proximity to the interchange and to serve this end of the business park.

The purpose of the New Albany Design Guidelines and Requirements (DGR) is to help ensure that the New Albany community enjoys the highest possible quality of architectural design. The building architecture meets the city DGR requirements, and the building's two-story architectural feature is appropriately positioned on the site facing Smith's Mill Road Beech Road. This is desirable from a site layout perspective since it faces the building's primary and active elevations to the city's primary public streets.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (The Planning Commission can make one motion for all variances or separate motions for each variance request):

Move to approve application VAR-79-2023 (conditions may be added).

Approximate Site Location:



Source: ArcGIS

Permit #	
Board	
Mtg. Date	



Community Development Planning Application

	Site Address Southwest corner	of Smith's Mill rd	& Beech Rd	
Πij	Parcel Numbers Part of parcel 093-106512-00.00			
	Acres2.03	# of lots created		
Project Information	Choose Application Type Choose Application Type Certificate of Appropriateness Conditional Use Development Plan Plat Choose Application Type Conditional Use Development Plan Plat Choose Application Use Conditional Use Choose Application Type Conditional Use Conditional Use Choose Application Type Conditional Use Conditional Use Choose Application Type Choose Application Type	Preliminary Final Preliminary Final Combination Split Easement Amendment (rezoning)	Comprehensive Amendment Adjustment Street Text Modification	
ts	Property Owner's Name: CME F Address: 150 E. Mound City, State, Zip: Columbus, O Phone number: 614-222-33 Email: BWARNER@CMEFO	St. h 43215 197	- Brian Warner Fax:	
Contacts	Address: 450 Grant St City, State, Zip: Akron, Oh 4 Phone number: 330-808-0821		Fax:	
Signature	Site visits to the property by City of N The Owner/Applicant, as signed below employees and appointed and elected of described in this application. I certify terue, correct and complete. Signature of Owner	v, hereby authorizes Village o officials to visit, photograph a	of New Albany representatives, and post a notice on the property	



Exhibit C

Variance Narrative

- 1. Per New Albany Design Guidelines section 6
 - <u>b.</u> Section 6(I)(A)(12) Buildings shall have operable and active front doors along all public and private roads. As proposed, the northern elevation that faces Smiths Mill does not have an operable and active front door.

A variance is being requested for the aforementioned section of the New Albany Design Guidelines. Per the instruction of the New Albany Planning Department, the building was rotated and additional doors were added to provide the primary entrances along both Smith's Mill Rd and Beech Rd.

The shape of this lot creates a hardship for the intended use as a bank with drive thru facilities. The lot has frontage on three different sides, with one being at an angle in relation to the primary roads. This makes adding a door that is technically fulfilling code to be an architectural hardship. It would require a building of peculiar shape to strictly adhere to the guidelines.

Providing an additional door facing the interior private road would create traffic/pedestrian interactions through the portion of the site that is retained primarily for vehicular traffic in the drive through locations.

A pedestrian accessible route has been provided from the interior private drive to the primary entrance on the building to help reduce safety concerns.

This variance, if granted, will provide relief to the client and its intended use while requiring the least modification possible of any additional regulation at hand. This variance will not alter the character or negatively impact the surrounding community or the adjacent lots in any way nor will it impact the value or public welfare of the area.

CORPORATE

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CLEVELAND OFFICE

2814 Detroit Avenue Cleveland, Ohio 44113

MARIETTA OFFICE

204 Front Street Marietta, Ohio 45750

NEWARK OFFICE

33 West Main Street, Suite 206-A Newark, Ohio 43055

envdesigngroup.com



"Exhibit B"

CME Credit Union is applying for Planning Commission approval to develop the 2.038 acre parcel (PN 093-106512-00.000) located at the south west corner of Smith's Mill rd and Beech rd. This parcel is a part of the New Albany Corporation's Beech Crossing development and will be a part of the New Albany Business Park Association. It is located within the Beech Crossing I-PUD Zoning district. The parcel will host a new shared 4,419 sq. ft building consisting of a CME Credit Union and a Crimson Coffee location. The proposed facility will have a drive-thru for Crimson Coffee and 3 additional lanes provided for Credit Union customer service. The current application has been previously reviewed and approved by the New Albany Corporation.

There will be 43 parking spaces, including two van accessible ADA parking locations, sufficient stacking in the drive thru lanes for up to 18 vehicles and one offloading space. The dumpster will reside within a masonry enclosure with brick veneer and have sufficient landscaping screening around the exterior of the enclosure. Three pedestrian accessible routes going to the adjoining roads will be provided. One route will be to the existing right of way along Beech rd, one to Smith's Mill and the other to the interior of the development along Beech Crossing.

This design focused on providing a functional and safe layout to serve the people of New Albany. Once this design was established, significant effort was made to improve the form of the location to provide a positive addition within the local community and adhere to the local zoning requirements. When code could not be strictly adhered to, the design attempts to fulfill the intent of the code. Significant additional landscaping has been provided along the parking areas to eliminate viewing of the menu board, stacking and headlights throughout the paved areas. Considerable changes were made to the architectural design to accommodate NACO and New Albany's requirements and produce a look that was within the framework of CME and Crimson Coffee while providing an aesthetic that lies within the future vision of this intersection.

The layout provides primary entrance access facing Beech rd and Smith's Mill rd. The dumpster enclosure and menu board have both been screened and placed on the back of house in relation to the primary right of ways. Additional parking has been added and queue length provided.

CORPORATE

450 Grant Street / Akron, OH 44311 P 330.375.1390 / F 330.375.1590 TF 800.835.1390

COLUMBUS OFFICE

7965 North High Street, Suite 050 Columbus, Ohio 43235

CLEVELAND OFFICE

2814 Detroit Avenue Cleveland, Ohio 44113

MARIETTA OFFICE

204 Front Street Marietta, Ohio 45750

NEWARK OFFICE

33 West Main Street, Suite 206-A Newark, Ohio 43055

envdesigngroup.com

Change log since the initial application:

- The building has added additional primary doors to face both Smith's Mill rd and Beech rd.
- The orientation of the building has been turned 90 degrees moving the drive through menu board to the southern part of the site.
- The floor plan has been adjusted considerably to make this change possible.
- Materials have been updated on the building elevation according to the recommendation of planning.
- The dumpster enclosure has also been relocated south.
- The pick up windows for the drive through lanes are now located on the southern side of the building.
- Three additional parking spots have been provided.
- An internal landscaped island has been added to provide additional queue length and improve site circulation based on the new rotation.
- The drive entrance width has increased to allow for additional lanes.
- An additional accessible route to Smith's Mill rd. has been added.



Planning Commission Staff Report November 20, 2023 Meeting

RINCHEM HAZARDOUS MATERIAL SETBACK VARIANCE

LOCATION: 3195 Harrison Road (PID: 095-111732-00.000, 095-111564-00.000)
APPLICANT: Tuan Q. Luu with MDG Architecture Interiors on behalf of Rinchem

Company LLC

REQUEST: Variances to C.O. 1154.12(b)(3) to allow both outdoor storage and

indoor storage of hazardous materials to encroach into the setback where code requires such material to be at least 200 feet from all property lines

ZONING: Technology Manufacturing District (TMD)

STRATEGIC PLAN: Employment Center APPLICATION: VAR-89-2023

Review based on: Application materials received on September 15, October 20 and November 1, 2023.

Staff report prepared by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

The applicant requests a variance to allow the storage of hazardous material to be setback less than the required 200 feet minimum for the current and future phases of the development. The current phase (phase one) includes the indoor storage of hazardous material setback 88' from the eastern property line and outdoor storage setback 35' from the northern property line and 30' feet from the eastern property line.

The proposed project would support chemical storage and distribution for Intel's semiconductor manufacturing campus in New Albany.

ISO tank containers comply with the International Standard Organization (ISO) standards. They are suitable for transporting both hazardous and non-hazardous bulk liquids. ISO containers are made with stainless steel and housed inside a protective layer.

II. SITE DESCRIPTION & USE

The 29.8-acre property is located on the north side of Harrison Road NW; which is generally west of the intersection at Harrison Road NW and Clover Valley Road NW, within Licking County. The property is surrounded by vacant TMD zoned land to the north, south and east. The site is also adjacent to vacant L-GE zoned property to the southwest and residential properties to the west.

III. ASSESSMENT

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

- 1. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.
- 2. Whether the variance is substantial.
- 3. Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."
- 4. Whether the variance would adversely affect the delivery of government services.
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction.
- 6. Whether the problem can be solved by some manner other than the granting of a variance.
- 7. Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.

Plus, the following criteria as established in the zoning code (Section 1113.06):

- 8. That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- 9. That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- 10. That the special conditions and circumstances do not result from the action of the applicant.
- 11. That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- 12. That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

III. EVALUATION

Variances to C.O. 1154.12(b)(3) to allow both outdoor storage and indoor storage of hazardous materials to encroach into the setback where code requires such material to be at least 200 feet from all property lines.

The following should be considered in the board's decision:

- 1. The city's Technology Manufacturing District (TMD) acknowledges that due to the nature of the permitted uses in the TMD, hazardous waste and materials storage and processing is anticipated. When such storage and/or processing are desired the following code requirements apply (chapter 1154.12(b)):
 - a. The nature of the storage and processing shall be described in a detailed written statement that shall be submitted as part of an application for a Planning and Design Permit. This statement also shall provide details regarding the safety measures and protocols that are proposed to prevent the migration of any hazardous materials outside of designated containment areas and procedures that will be implemented upon the occurrence of an event that does or has the potential to damage the environment, persons, or property. This information shall be provided so that relevant City departments and public safety providers will have notice of the presence of these storage and processing operations.

- The applicant states the phase one ISO yard containing hazardous materials is proposed 30' from the east property line and 35' from the north property line, screened by a 10' CMU wall at those property lines. An 8' tall chain link fence meets the CMU wall at both ends, wrapping the rest of the project area for phase one, ensuring the entirety of the development is screened.
- The ISO yard is separated into six individual, fully contained spill containment basins with sensors. The ISO yard does not meet the hazardous storage setback of 200' from the north or east property lines, but provides screening and protection in-lieu of separation.
- b. All such storage and/or processing shall comply in all respects with state and federal law and regulations, and shall not be undertaken until such time as all necessary state and federal permits are received and copies of the same are provided to the City.
 - The materials being stored are received in multiple containers approved by the US Department of Transportation.
 - The interior storage of hazardous materials is to be compliant with the current local, state and federal building and fire codes. This project will utilize H-3 occupancy for the flammable storage area and H-4 for the corrosive storage material. The construction type for the building is IA, the exterior walls will be 3-hour rated. The building will be fully equipped with building and in-rack sprinkler system compliant with current fire code and per NFPA13.
- c. No such storage and/or processing shall occur within the greater of (A) two hundred (200) feet of any perimeter boundary of a parcel that is not under common ownership and (B) an otherwise applicable minimum building setback. The applicant proposes the following setbacks:
 - Northern proposed setback for the outdoor storage: 35 feet [does not meet code, variance requested]
 - Eastern proposed setback for the outdoor storage: 30 feet [does not meet code, variance requested]
 - Eastern proposed setback for the building containing indoor storage: 88
 feet [does not meet code, variance requested]
 - Southern proposed setback for building containing indoor storage: 235+/-feet [meets code]
 - Western proposed setback for building (phase two) containing indoor storage: 593+/- feet [meets code]
 - Western proposed setback for outdoor storage (phase two): 397+/- feet [meets code]
- d. If such storage or processing is undertaken outside of a structure, then all exterior areas where these activities are occurring shall be surrounded by a masonry wall that is at least ten (10) feet in height, but only if they are wholly or partially visible in whole or in part from a public street right-of-way. Building facades may be used to meet this requirement. Any gates or doors shall include enhanced security features to ensure that unauthorized individuals cannot gain access to the area.
 - The applicant proposes to surround the outdoor storage a 10' CMU wall at those property lines.
- 2. The variance request may be substantial. The large setbacks are due to the potentially significant impact on life, property, and the environment. The Planning Commission should take into consideration the safety precautions the company is installing onsite and the distances to neighboring properties. The adjacent properties include residential to the west, and undeveloped properties to the north, east, and south that is also zoned TMD. Setback requirements are met to the west and south. The setback requirements are not met to the north and east.

- 3. The "spirit and intent" of the zoning requirement is to create separation between the hazardous material stored on-site and neighboring uses. The applicant proposes to construct a 10-foot-tall concrete masonry wall around the portions of the site where the setback encroachment is proposed in order to create a physical and visual separation.
- 4. There does not appear to be special conditions or circumstances that exist which are peculiar to the land or structure involved which are not also applicable to other lands or structures in the same zoning district.
- 5. It appears that the problem could be solved in some other manner other than the granting of a variance request. There are undeveloped properties to the north and east where additional land may be purchased and phases could be altered to initially store the hazardous material 200 feet away from the property lines.
- 6. The Planning Commission should consider if granting the variances will adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
- 7. Granting the variance would not adversely affect the delivery of government services.

IV. RECOMMENDATION

The TMD zoning code contemplates and permits hazardous material to be stored outside within this portion of the business park. Due to the potential hazards of chemical storage, the codified ordinances require a minimum 200-foot setback from property lines regardless of the neighboring use. The large setback is intended to reduce the risks and protect neighboring properties from adverse health effects and physical hazards such as spills that can harm people and property.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added):

Move to approve application VAR-89-2023 (conditions of approval may be added).

Approximate Site Location:



Permit #	
Board	
Mtg. Date	



Community Development Planning Application

	Site Address Harrison Road, New Albany, OH					
	Parcel Numbers 095-111732-00.000, 095-111564-00.000					
	Acres <u>29.8</u>	# of lots cr	eated 1			
	Choose Application Type		Circle a	ll Details that A	pply	
	□□Appeal □□Certificate of Appropriateness					
u	□□Conditional Use					
Project Information	□□Development Plan	Preliminary	Final	Comprehensiv	ve A	amendment
ms		Preliminary	Final	A 1:		
for	□□Lot Changes □□Minor Commercial Subdivision	Combination	Split	Adjustment		
Im	□□Vacation	Easement		Street		
ect	□ ✓ Variance					
roj	□□Extension Request	A	:	T4 M- 4:6:		
Р		Amendment (re	ezoning)	Text Modifica	шоп	
	Description of Request: 1154.12 (St	orage; Hazardo	us Material	ls). Outdoor sto	orage of	hazardous
	materials sh	nall not occur wit	:hin 200 fee	et of any perim	eter bou	indary of all
		is not under con rage within this 2				
	eastern pro	perty line. The a	pplicant pr	oposes a 10'-0	" tall CM	1U wall in lieu of
	the 200' set	back.				
	Property Owner's Name: Gary Huffman, Rinchem Company LLC					
	Address: 5131 Masthead Street NE					
	City, State, Zip: Albuquerque, NM 8	37109				
	Phone number:			Fax:		
ts	Email: ghuffman@rinchem	n.com				
tac						
Contacts		Q. Luu, MDG	Architect	ure Interior	S	
	Address: 4875 SW Griffith					
	City, State, Zip: Phone number: Beaverton, OR 97 503-244-0552	7005		Fax:		
	Email: tuan@mdgpc.com			1 ux.		
	Site winite to the manner to be Site of N	A 11	4-4:	4:-1.4	41. : .	1:4:
	Site visits to the property by City of N The Owner/Applicant, as signed below					
e	employees and appointed and elected officials to visit, photograph and post a notice on the property					
fur	described in this application. I certify t	that the information	on here with	in and attached	to this ap	plication is
na	true, correct and complete.					
Signature						0.7.0000
	Signature of Owner				Date:	9-7-2023
	Signature of Applicant	uan Jun			Date:	09/06/2023

New Albany, Ohio

Variance Application – Technology Manufacturing DistrictRinchem - MISC-GRADE-23-000015 – Storage; Hazardous Materials Variance

Rinchem Company, LLC

Date: October 26th, 2023



APPLICANT

Rinchem Company, LLC 5131 Masthead Street NE Albuquerque, NM 87109 Gary Huffman, ghuffman@rinchem.com

PREPARED FOR

City of New Albany Community Development Department 99 West Main Street P.O. Box 188 New Albany, Ohio 43054 Phone – 614-939-2254

PREPARED BY

First Forty Feet 412 NW Couch Street, Suite 405 Portland, Oregon 97209 Will Grimm, will@firstfortyfeet.com Phone – 802-595-9448

ARCHITECT

MDG Architecture/Interiors 4875 SW Griffith Drive, Suite 300 Beaverton, Oregon 97005 Tuan Q. Luu – <u>tuan@mdgpc.com</u> Phone – 503-244-0552

DEVELOPMENT LOCATION

Harrison Road, New Albany, OH

PARCEL

095-111732-00.000, 095-111564-00.000

LEGAL DESCRIPTION

29.829 AC LOT 12 & 13 R15 T2 Q2

First Forty Feet, in collaboration with MDG, will be submitting for the following:

1) Variance application to **1154.12(b)(3) - STORAGE; HAZARDOUS MATERIALS.**

No such storage and/or processing shall occur within the greater of (A) two hundred (200) feet of any perimeter boundary of a parcel that is not under common ownership and (B) an otherwise applicable minimum building setback.

Phase one – Outdoor storage of hazardous materials (ISO YARD); Indoor storage of hazardous materials (WAREHOUSE).

Phase two – Outdoor storage of hazardous materials (ISO YARD EXPANSION).

PROJECT DESCRIPTION

The proposed development of Rinchem Company, LLC, will provide employment in chemical management solutions. Rinchem has proven expertise in creating and managing safe workplaces with high purity, pre-packaged chemicals and gases. This proposed development is approximately 30 acres of land for a chemical storage warehouse and storage yard. The entire development is divided into two separate phases. Phase one proposes an office, storage warehouses, and ISO yard (outdoor storage pad). For phase two, the ISO yard and warehouse will each almost double in size. A variance is requested to 1154.12(b)(3) as both the outdoor storage (phase one and two) and indoor storage (phase one) of hazardous materials does not meet the required setbacks, but provides screening and protection in-lieu of separation.

The phase one warehouse building will contain indoor storage of hazardous materials, but will be fully contained, with sprinklers, and meets all HMIS code regulations. The exterior walls (painted concrete tilt panels) will be fire-rated for three hours. The building does not meet the hazardous storage setback of 200' from the east property line. At 88' from the east property line, a variance is requested for indoor storage of hazardous materials for phase one, providing protection through robust building structure and containment curbs in-lieu of separation. The future phase two warehouse expansion will meet the hazardous materials setback and will not need to be considered as part of this variance application.

The phase one ISO yard containing hazardous materials is proposed 30' from the east property line and 35' from the north property line, screened by a 10' CMU wall at those property lines. An 8' tall chain link fence meets the CMU wall at both ends, wrapping the rest of the project area for phase one, ensuring the entirety of the development is screened. The ISO yard is separated into six individual fully contained spill containment basins with sensors. The ISO yard does not meet the hazardous storage setback of 200' from the north or east property line, but provides screening and protection in-lieu of separation. The phase two ISO yard expansion included in this variance application will

also not meet the 200' setback from the north property line, but will use the same strategies of protection and screening as the phase one ISO yard.

SUBMITTAL REQUIREMENTS

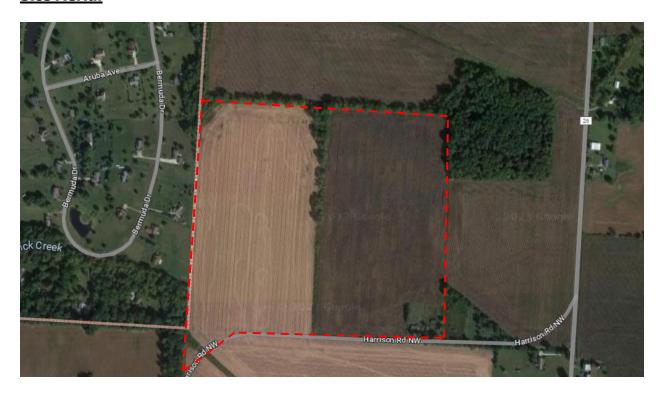
- (a) Name, address and phone number of the applicant. (pg. 2)
- (b) Legal description of property as recorded in Franklin County Recorder's office. **(pg. 2)**
- (c) Each application for a variance or appeal shall refer to the specific provisions of this Ordinance which apply. **(pg. 3, 6)**
- (d) The names and addresses of all property owners within two hundred (200) feet, contiguous to, and directly across the street from the property, as appearing on the Franklin County Auditor's current tax list. (pg. 7 and attachment)
- (e) A narrative statement explaining the following: (pg. 3, 6-7)
 - (1) The use for which variance or appeal is sought.
 - (2) Details of the variance or appeal that is applied for and the grounds on which it is claimed that the variance or appeal should be granted, as the case may be.
 - (3) The specific reasons why the variance or appeal is justified according to this chapter.
 - (4) Such other information regarding the application for appeal as may be pertinent or required for appropriate action by the Board of Zoning Appeals.
- (f) A plot plan drawn to an appropriate scale showing the following: **(see plans attached)**
 - (1) The boundaries and dimensions of the lot.
 - (2) The nature of the special conditions or circumstances giving rise to the application for approval.
 - (3) The size and location of existing and proposed structures.
 - (4) The proposed use of all parts of the lots and structures, including accesses, walks, off-street parking and loading spaces, and landscaping.
 - (5) The relationship of the requested variance to the development standards.
 - (6) The use of land and location of structures on adjacent property.

Vicinity Map



PROJECT SITE

Site Aerial



Detailed variance description: 1154.12**(b)(3)** (Storage; Hazardous Materials). Storage of hazardous materials shall not occur within 200 feet of any perimeter boundary of all parcels that is not under common ownership. Permission is requested for indoor and outdoor storage within this 200' setback. The site plan was designed to locate the hazardous materials storage in the warehouse and ISO yard as far from and out of view of the residential neighborhood (to the west) and Harrison Road (to the south) as possible. The materials being stored are received in multiple containers approved by the US Department of Transportation.

The ISO yard will be designed to be a fully contained slab isolated from the overall storm system. The yard can contain and accommodate 24-hours of an average 25 year rainfall plus the entire content of the ISO tanks. The rainfall data will be sourced from the NOAA Precipitation Frequency Data. Each ISO yard catch basin will be equipped with a sensor control mechanism installed before the connection with storm water discharge line to continuously monitor storm water and flow from the containment areas.

The interior storage of hazardous materials is to be compliant with the current local, state and federal building and fire codes. This project will utilize H-3 occupancy for the flammable storage area and H-4 for the corrosive storage material. The construction type for the building is IA, the exterior walls will be 3-hour rated. The building will be fully equipped with building and in-rack sprinkler system compliant with current fire code and per NFPA13. The slab of the building is designed to be fully contained for spill containment by creating a bathtub at the storage areas. The spill control measures are to be designed to contain the entire volume of the largest container stored in the facility, as well as secondary containment for the warehouse is designed to exceed the minimum depth of containment required to contain 20-minutes of sprinkler flow plus the entire volume of the largest container stored at the facility. An HMIS report will be completed for Hazardous Materials classifications categories for the building.

Granting the requested variance will not be contrary to the public interest, because: the public interest is to have hazardous materials away from residential and public right-of-ways. If the site layout were to comply with the 200' setback, the warehouse and ISO yard would be brought closer to residents and/or public right-of-ways. It would be in the best interest of the public to have the ISO yard screened in its proposed location.

Substantial justice would be done to the property-owner by granting the variance, because: due to the size of the property, 200' setbacks on the north, south, and east would reduce the site needed for operations by forcing the warehouse and ISO yard towards the center of the parcel, also making it inefficient for truck movement and site operations. Additionally, on the western side of the property there is a drainage

easement that ranges from 391' to 422' inward from the property line, further limiting site availability for operations.

Special conditions exist such that literal enforcement of the ordinance results in unnecessary hardship, because: relocating the warehouse and ISO yard to comply with the 200' setback would disorder necessary site circulation, impacting the efficiency of services to Intel.

The proposed use will observe the spirit of the ordinance, because: the spirit of the ordinance is to shield the public from hazardous material storage, which this variance request fulfills. Additionally, the proposed development follows all local, state, and federal laws and codes to ensure safe and proper storage of hazardous materials.

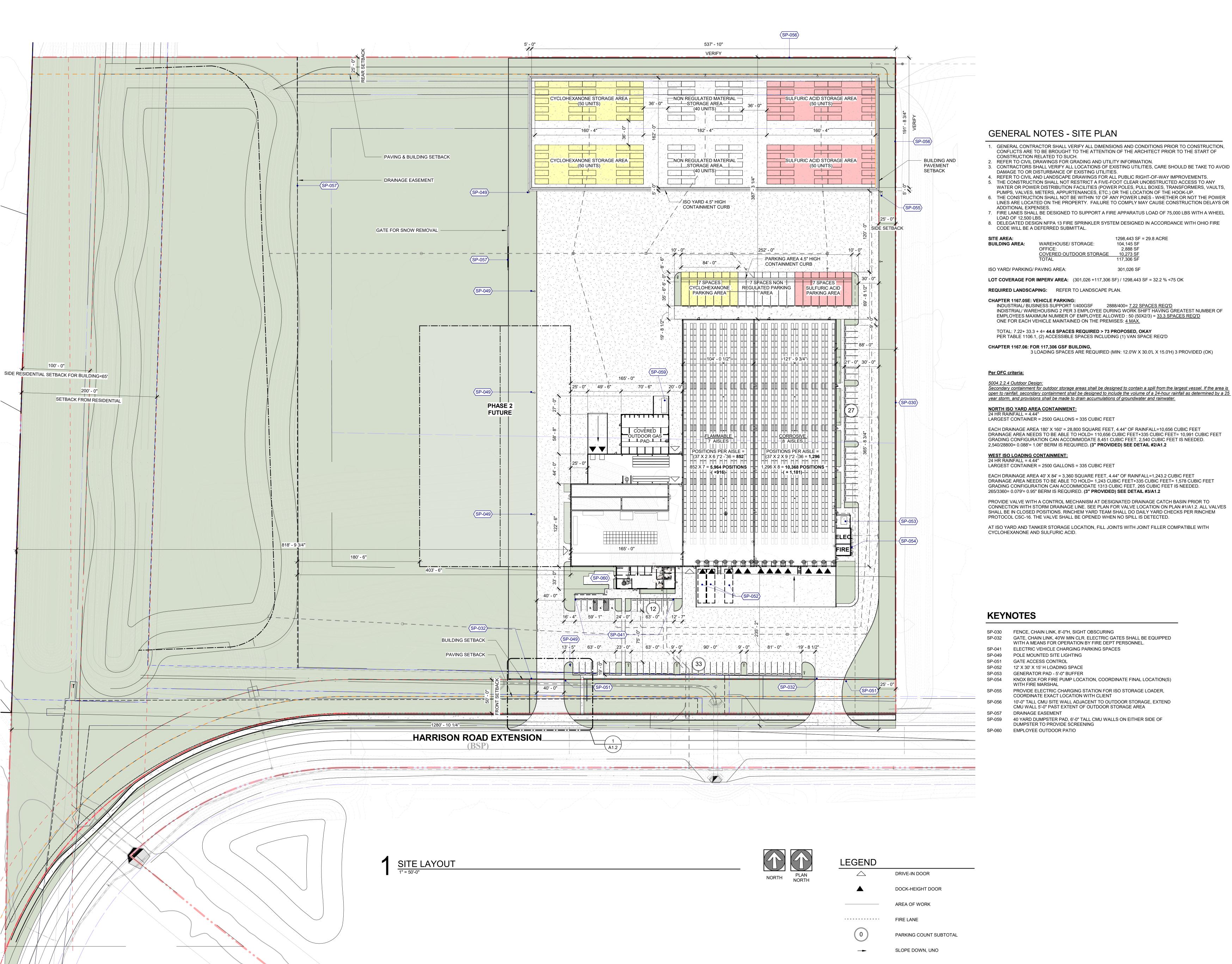
The proposed use will not diminish the values of surrounding properties because: the surrounding properties to the north and east, which are adjacent to the proposed warehouse and ISO yard, are also part of the Technology Manufacturing District of New Albany. Additionally, there is a CMU wall, fencing, and vegetation to provide further screening.

Property Owners within 200 Feet

Parcel Number	Engineer PIN	OWNER1	OWNER2	Address	City	State	Zip Code
037-112008-00.009" "	02151284315392005000""	STANIFER, MARK D	STANIFER, KRISTIN M	132 BERMUDA DR	JOHNSTOWN	ОН	43031
037-112008-00.008" "	02151284315392004000""	POLING, TIFFANY	,	124 BERMUDA DR	JOHNSTOWN	ОН	43031
037-112008-00.010" "	02151284315392006000""	DEBELIUS, FRANK M	DEBELIUS, MARILYN T	140 BERMUDA DR	JOHNSTOWN	ОН	43031
095-111756-00.000" "	02150000400000043000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
095-111732-00.002" "	02150000400000053000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
095-112200-00.000" "	02150000400000072000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
095-111978-00.000" "	02150000300000079000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
095-111732-00.003" "	02150000400000045200""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN ST, STE 400	KANSAS CITY	MO	64112
095-111756-00.013" "	02150000400000043300""	PJP HOLDINGS LLC,	,	9005 SMITH'S MILL RD	NEW ALBANY	ОН	43054
095-112062-00.000" "	02150000400000067000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
095-112062-00.003" "	02150000400000045400""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN ST STE 400	KANSAS CITY	MO	64112
095-111732-00.022" "	02150000400000045300""	RINCHEM COMPANY LLC,	,	5131 MASTHEAD ST	ALBUQUERQUE	NM	87109
095-112062-00.002" "	02150000400000067100""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN STREET SUITE 400	KANSAS CITY	MO	64112
095-112620-00.000" "	02150000300000079200""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN ST, STE 400	KANSAS CITY	MO	64112
037-112008-00.012" "	02151283815392002000""	DRISCOLL, SCOTT	BECKNELL, KRISTIN	156 BERMUDA DR	JOHNSTOWN	ОН	43031
037-112008-00.019" "	02150000316146008000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
037-112008-00.011" "	02151283815392001000""	SHADWICK, JEFFREY A	SHADWICK, DONNA M	148 BERMUDA DR	JOHNSTOWN	ОН	43031
095-111732-00.003" "	02150000400000045200""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN ST, STE 400	KANSAS CITY	MO	64112

Property Owners within 200 Feet

Parcel Number	Engineer PIN	OWNER1	OWNER2	Address	City	State	Zip Code
037-112008-00.009" "	02151284315392005000""	STANIFER, MARK D	STANIFER, KRISTIN M	132 BERMUDA DR	JOHNSTOWN	ОН	43031
037-112008-00.008" "	02151284315392004000""	POLING, TIFFANY	,	124 BERMUDA DR	JOHNSTOWN	ОН	43031
037-112008-00.010" "	02151284315392006000""	DEBELIUS, FRANK M	DEBELIUS, MARILYN T	140 BERMUDA DR	JOHNSTOWN	ОН	43031
095-111756-00.000" "	02150000400000043000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
095-111732-00.002" "	02150000400000053000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
095-112200-00.000" "	02150000400000072000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
095-111978-00.000" "	02150000300000079000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
095-111732-00.003" "	02150000400000045200""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN ST, STE 400	KANSAS CITY	MO	64112
095-111756-00.013" "	02150000400000043300""	PJP HOLDINGS LLC,	,	9005 SMITH'S MILL RD	NEW ALBANY	ОН	43054
095-112062-00.000" "	02150000400000067000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
095-112062-00.003" "	02150000400000045400""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN ST STE 400	KANSAS CITY	MO	64112
095-111732-00.022" "	02150000400000045300""	RINCHEM COMPANY LLC,	,	5131 MASTHEAD ST	ALBUQUERQUE	NM	87109
095-112062-00.002" "	02150000400000067100""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN STREET SUITE 400	KANSAS CITY	MO	64112
095-112620-00.000" "	02150000300000079200""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN ST, STE 400	KANSAS CITY	MO	64112
037-112008-00.012" "	02151283815392002000""	DRISCOLL, SCOTT	BECKNELL, KRISTIN	156 BERMUDA DR	JOHNSTOWN	ОН	43031
037-112008-00.019" "	02150000316146008000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	ОН	43054
037-112008-00.011" "	02151283815392001000""	SHADWICK, JEFFREY A	SHADWICK, DONNA M	148 BERMUDA DR	JOHNSTOWN	ОН	43031
095-111732-00.003" "	02150000400000045200""	COI NEW ALBANY TECH PARK LAND LLC,	,	4900 MAIN ST, STE 400	KANSAS CITY	MO	64112





FOR REFERENCE ONLY

Client/ Owner:

RINCHEM COMPANY, LLC

5131 MASTHEAD STREET NE ALBUQUERQUE, NM 87109 Project:

RINCHEM -NEW ALBANY

HARRISON ROAD OHIO

. .

Sheet Title:

SITE PLAN

Revisions:

Description

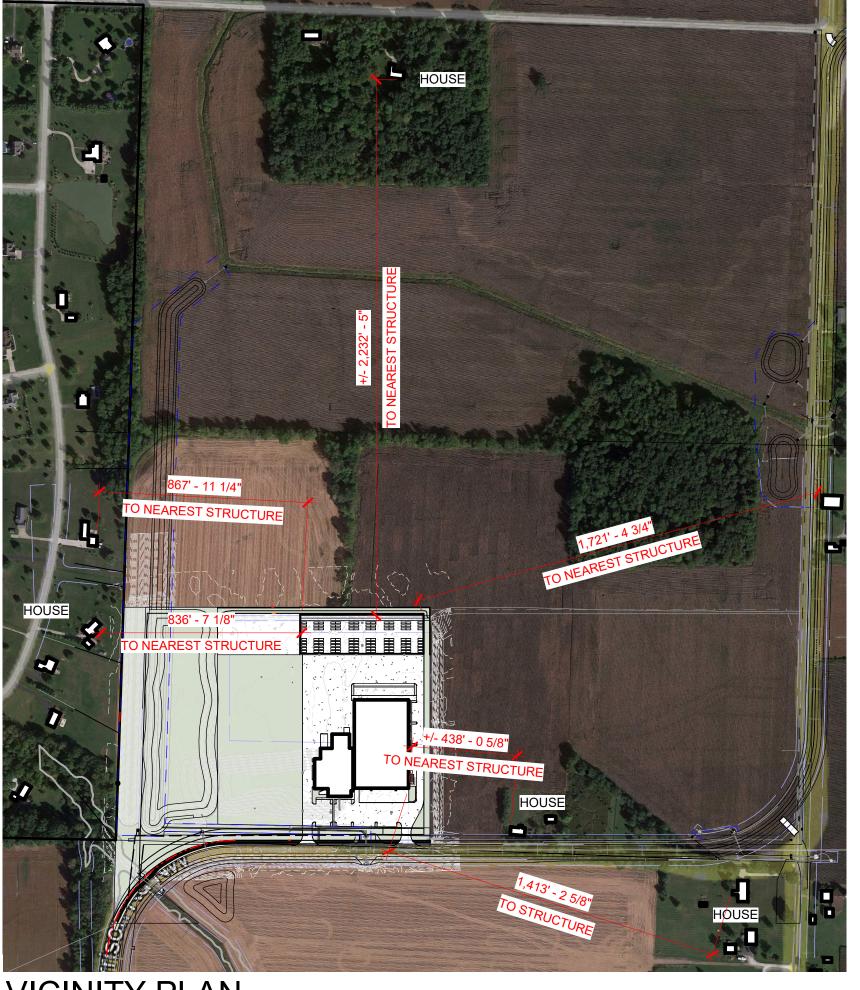
MDG, P.C., 2023, ALL RIGHTS RESERVED ⊚

THESE DRAWINGS ARE THE PROPERTY OF MDG, P.C., AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER, EXCEPT WITH THE PRIOR WRITTEN PERMISSION OF MDG, P.C.

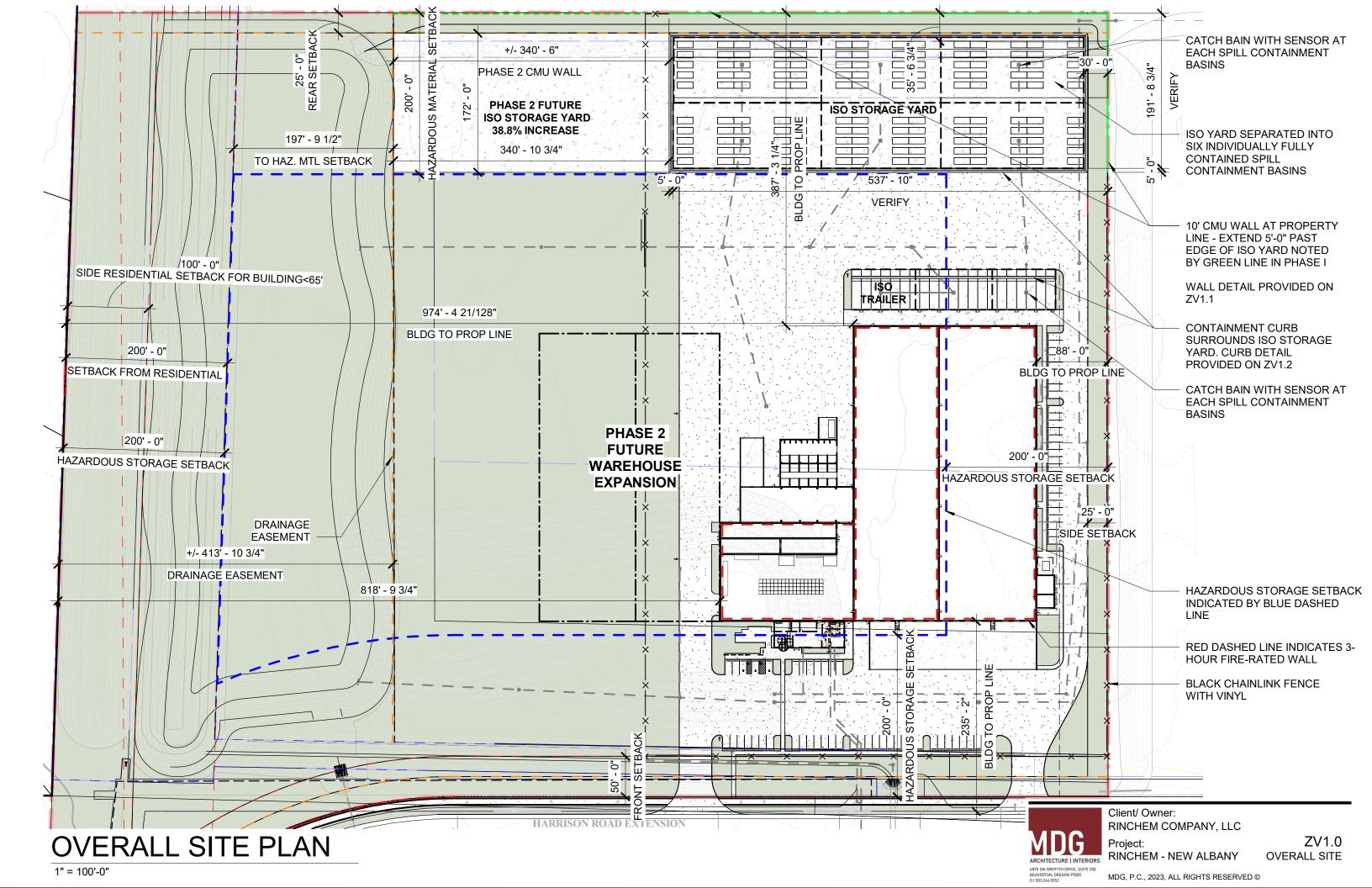
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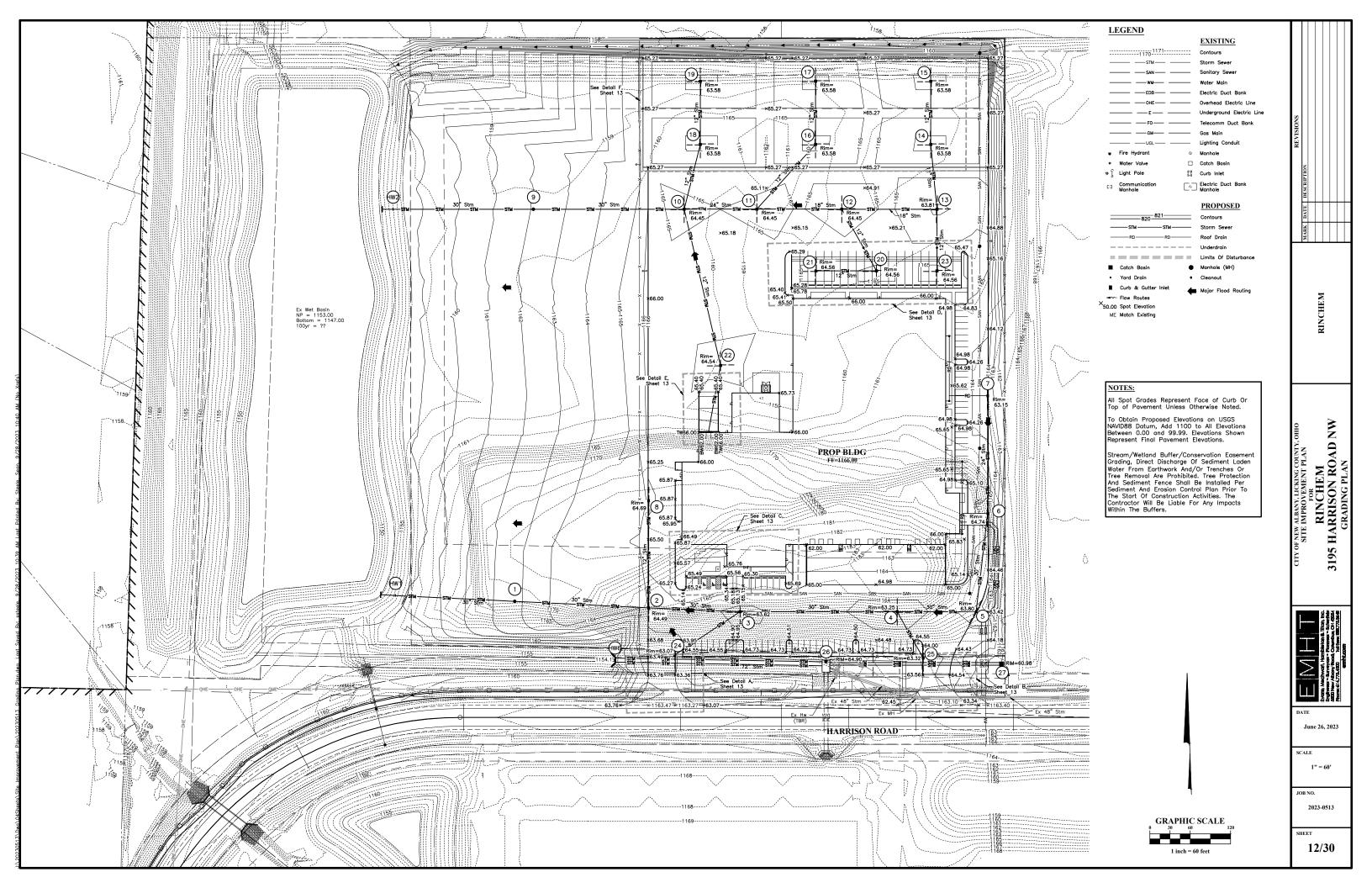
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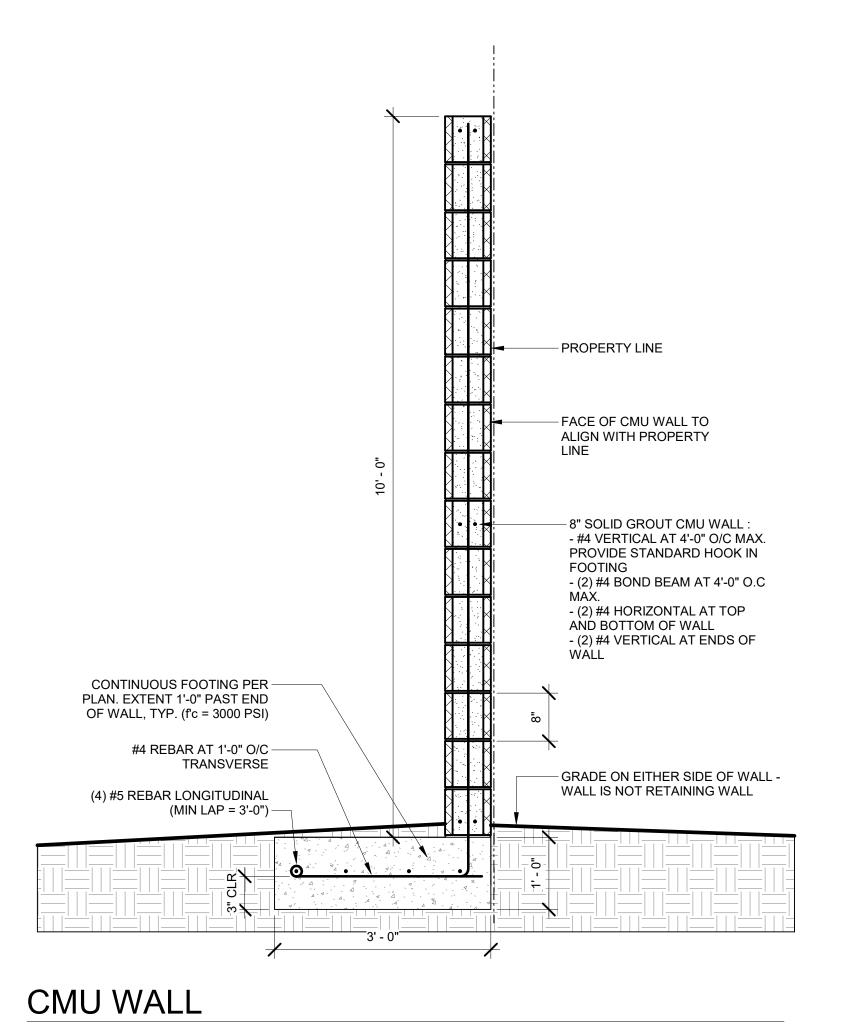
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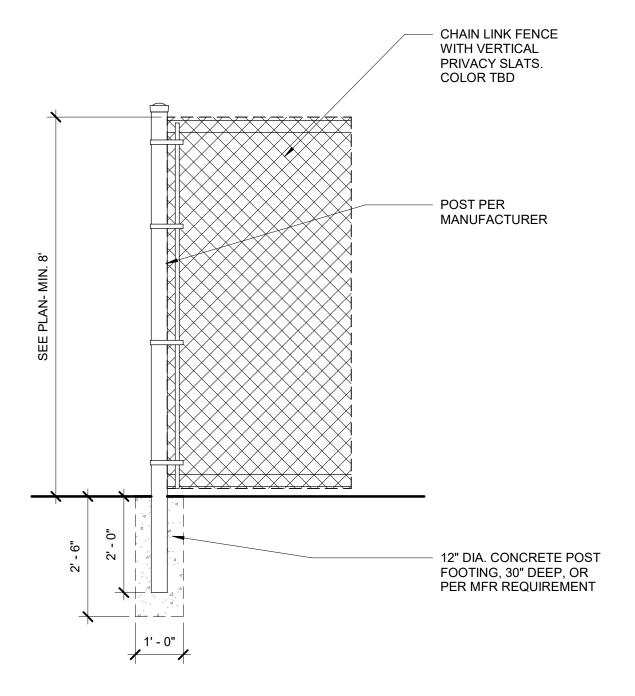


VICINITY PLAN







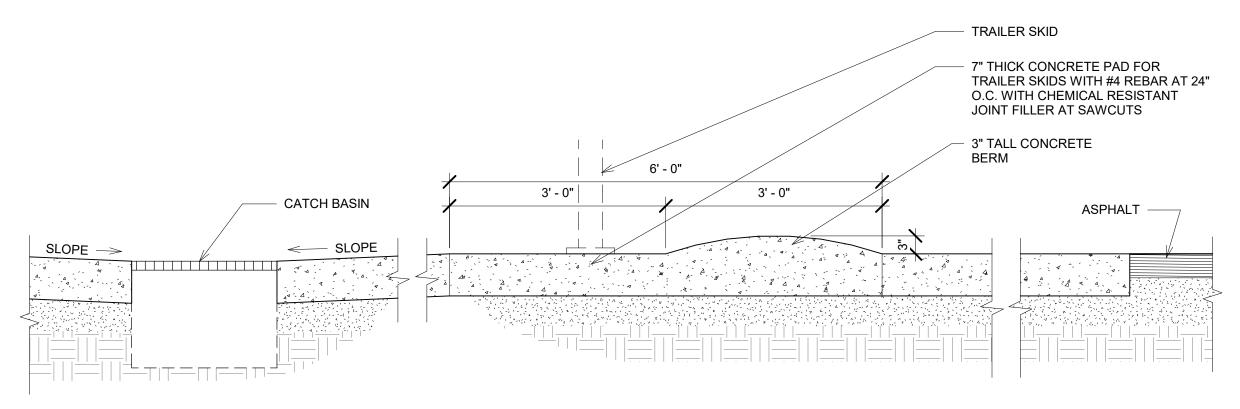


PERIMETER CHAINLINK FENCE

1/2" = 1'-0"

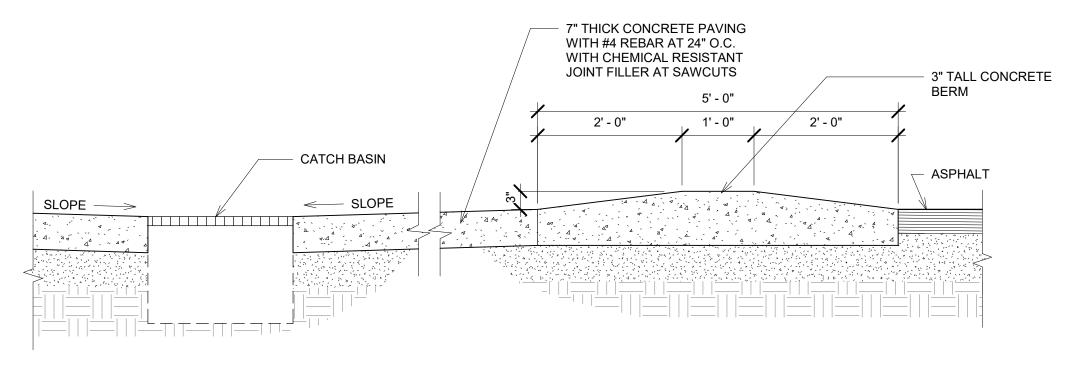


ZV1.1



CONTAINMENT AT ISO PARKING

3/4" = 1'-0"



CONTAINMENT AT ISO YARD

3/4" = 1'-0"

Per OFC criteria:

5004.2.2.4 Outdoor Design:

Secondary containment for outdoor storage areas shall be designed to contain a spill from the largest vessel. If the area is open to rainfall, secondary containment shall be designed to include the volume of a 24-hour rainfall as determined by a 25 year storm, and provisions shall be made to drain accumulations of groundwater and rainwater.

WEST ISO PARKING CONTAINMENT:

24 HR RAINFALL = 4.44" LARGEST CONTAINER = 2500 GALLONS = 335 CUBIC FEET

EACH DRAINAGE AREA 40' X 84' = 3,360 SQUARE FEET, 4.44" OF RAINFALL=1,243.2 CUBIC FEET DRAINAGE AREA NEEDS TO BE ABLE TO HOLD= 1,243 CUBIC FEET+335 CUBIC FEET= 1,578 CUBIC FEET

GRADING CONFIGURATION CAN ACCOMMODATE 1313 CUBIC FEET, 265 CUBIC FEET IS NEEDED. 265/3360= 0.079'= 0.95" BERM IS REQUIRED. (3" PROVIDED) SEE DETAIL CONTAINMENT AT ISO PARKING

NORTH ISO YARD AREA CONTAINMENT:

24 HR RAINFALL = 4.44"

LARGEST CONTAINER = 2500 GALLONS = 335 CUBIC FEET

EACH DRAINAGE AREA 180' X 160' = 28,800 SQUARE FEET, 4.44" OF RAINFALL=10,656 CUBIC FEET

DRAINAGE AREA NEEDS TO BE ABLE TO HOLD= 110,656 CUBIC FEET+335 CUBIC FEET= 10,991 CUBIC FEET

GRADING CONFIGURATION CAN ACCOMMODATE 8,451 CUBIC FEET, 2,540 CUBIC FEET IS NEEDED. 2,540/28800= 0.088'= 1.06" BERM IS REQUIRED. (3" PROVIDED) SEE DETAIL CONTAINMENT AT ISO YARD

PROVIDE VALVE WITH A CONTROL MECHANISM AT DESIGNATED DRAINAGE CATCH BASIN PRIOR TO CONNECTION WITH STORM DRAINAGE LINE. SEE PLAN FOR VALVE LOCATION ON PLAN # 1/A1.2. ALL VALVES SHALL BE IN CLOSED POSITIONS. RINCHEM YARD TEAM SHALL DO DAILY YARD CHECKS PER RINCHEM PROTOCOL CSC-16. THE VALVE SHALL BE OPENED WHEN NO SPILL IS DETECTED.

AT ISO YARD AND TANKER STORAGE LOCATION, FILL JOINTS WITH JOINT FILLER COMPATIBLE WITH CYCLOHEXANONE AND SULFURIC ACID.



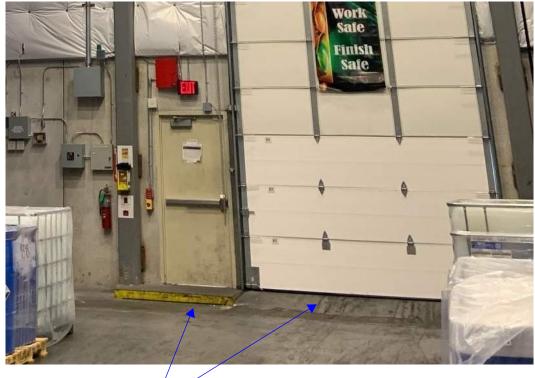
Client/ Owner: RINCHEM COMPANY, LLC

Project: RINCHEM - NEW ALBANY ZV1.2 ISO YARD









INTERIOR SPILL CONTAINMENT CURB





Response to Submittal requirement: 1154.12(b)(1)

Rinchem Company, LLC, is a chemical management solutions provider with proven expertise and over four decades of experience in creating and managing safe and efficient supply chains for high purity, pre-packaged chemicals and gases. We provide our customers with world class Warehousing, Trucking, International Freight Forwarding, and Logistics Technology/Analytics to bring the upmost safety, performance, and value to each one of our client's supply chains. We do this through our diverse network of temperature-controlled, hazardous materials compliant warehouses in locations across the globe and with a team of more than 500 hazmat-trained drivers with temperature-controlled, hazmat-customized trucks and trailers. Rinchem's transportation and warehousing network are linked through Chem-Star®, our proprietary, web-enabled software that provides all Rinchem lines of business and our customers with real-time visibility into inventory location and status.

Chem-Star® provides users the ability to create new material entries or edit existing material entries for products which are stored in the Chem-Star® Product Master Database. Chem-Star® users have the ability to select the Rinchem facility or facilities where their product is to be stored and the Product Master Database ensures that regulatory and storage specifications are accounted for before a material is received into a Rinchem facility. The Chem-Star® inventory management system allows customers to view inventory in real-time and update the status or attributes of the material on-hand. Customers through Chem-Star® have the ability to create and submit inbound or outbound orders as well as transfer orders of materials to other Rinchem facilities. With the Track and Trace features, customers have the ability to monitor in real-time the status of their materials from the time an order is placed to the expected time of delivery. The Analytics dashboards in Chem-Star® allows customers to view inventories and transactions as well as conduct planning for material receipt and shipping.

Rinchem Company, LLC stores and distributes finished chemical products, including hazardous and non-hazardous, toxic, and flammable substances. The chemical products warehoused are received from multiple manufacturers in containers approved by the U.S. Department of Transportation (DOT) typically ranging from 1 pint to 330 gallons in volume. Select facilities, including this proposed Ohio location, also receive and store specialty gases used in manufacturing in various size cylinders and ISO tanks with a volume of approximately 2,500-gallons when fully loaded. The Chem-Star® "Directed Put Away" feature dictates material storage based on the put-away rules that have been established to ensure products are stored in accordance with hazard class segregation and temperature control requirements. Rinchem does not manufacture, formulate, or otherwise engage in direct handling of chemicals outside of the containers in which the chemicals are received.

All Rinchem Company, LLC warehouses are constructed or retrofitted to be compliant with the current local, state, and federal building and fire design codes and standards. Occupancy and construction are based on the proposed use and chemical storage. This project will utilize the most stringent allowable occupancy classification codes in accordance with IBC Sections 304, 307, and 311. The High Hazard (storage) will have an occupancy classification of H-3 for the flammable storage area and H-4 for the corrosives storage. The electrical/mechanical rooms and office area will have standard occupancy classifications of S-1 and B, respectively. Construction types will be Type 1A for the High Hazard and electrical/mechanical rooms (warehouse) and Type IIB for the office area and covered outdoor storage area in accordance with IBC Table 601.

Rinchem Company, LLC

Address: 5131 Masthead ST NE, Albuquerque, NM 87109 Phone: 1-505-345-3655

Website: http://www.rinchem.com Email: Info@Rinchem.com



Rinchem, working with a contracted Fire Protection Engineer (FPE) and local fire code officials will provide the code requirements for protection from hazards associated with the materials being stored, the location of the material storage, and with the maximum expected quantities of hazardous materials to be stored by hazard classification category through submittal of a Hazardous Material Inventory Statement (HMIS). If requested by local fire officials, Rinchem and their FPE will evaluate Performance-based Design Alternatives in compliance to other requirements of IFC Chapter 50 (and other requirements of Chapters 51-67) in the areas of the facility where hazardous materials are stored to provide additional protection to people and property from the consequences of unauthorized discharges, fires, or explosions involving hazardous materials.

Safety features built into Rinchem warehouses to prevent the migration of chemical releases outside of the containment area (warehouse) include constructing beveled thresholds for spill control to contain the entire volume of the largest container stored in the facility (330-gallons). Secondary containment for the warehouse is designed to exceed the minimum depth of containment required to contain 20-minutes of sprinkler flow plus the entire volume of the largest container stored in the facility (330-gallons). The ISO yard will be constructed as such so that each drainage area within the ISO yard can accommodate 24-hours of an average of 25-years of rainfall plus the entire contents of one (1) ISO tank (2,500-gallons). The NOAA Precipitation Frequency Data Server or equivalent will be used to determine the average rainfall for the location. Drainage valves with a sensor control mechanism, or equivalent, will be installed at the drainage catch basins prior to the connection with the stormwater discharge lines in order to monitor stormwater and control stormwater flow from the containment areas. Joints are filled with a chemical-resistant joint filler.

Standard safety measures employed by Rinchem Company, LLC include documentation of policies and procedures through Standards of Performance (SOP's), Work Instructions (WI's), and Job Breakdowns (JBD's). These documents are managed by the Rinchem Quality team and maintained on the Rinchem server in the Quality Management System (QMS) database. Safety Data Sheets (SDS's) for all products received by Rinchem are reviewed prior to entry into the Chem-Star® Product Master Database. SDS's are stored in an on-line database maintained by Velocity EHS and are available to all employees. Additional safety measures include conducting periodic Workplace Hazard Assessments to ensure all employees have the required personal protective equipment (PPE) to safely perform their job functions and links to Warehouse Inspection Checklists located in QMS. These inspections are required to be conducted and include inspections of life safety systems such as emergency eyewash and shower stations, fire extinguishers, and emergency exit signage and lighting; safety/OSHA inspections of first-aid kits, racking integrity, ladders, and fall protection devices; and operating procedures such as daily facility start-up and shut-down protocols. Spill kits are also provided throughout the warehouse, at the ISO yard, and in close proximity to any fuel tanks such as emergency generators or oil-containing equipment. Although Rinchem facilities are non-responding locations, spill kits are provided to attempt to mitigate the migration of a chemical release outside of the warehouse or prevent chemical releases from entering stormwater catch basins or to migrate off-site.

Preventative maintenance (PM) of equipment used in the storage process, such as forklifts, ISO-loaders, HVAC systems, and fire control systems is maintained in QMS. PM's are scheduled through the QMS module based on manufactures recommended service intervals or regulatory requirements. QMS sends notifications to the responsible parties prior to maintenance due dates to ensure PM's are conducted

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on-time. Another feature built-in to the maintenance module is for ad hoc repairs. This feature allows Rinchem to track excessive repairs in order to determine if the equipment is not functioning properly or needs to be replaced. Rinchem ensures that new and existing equipment, inspections, and testing of equipment used in the process complies with OSHA Recognized and Generally Accepted Good Engineering Practices (RAGAGEP).

Initial and refresher training is provided to all employees and documentation of completed trainings is recorded and maintained in the Rinchem Learning System (RLS) located on the Rinchem server. Initial Training is provided in conjunction with hazard communication and training in emergency procedures. The training includes an overview of the process, process safety information, and operating procedures and emphasizes specific safety and health hazards, emergency operations, including shutdown, and safe work practices applicable to the employee's job tasks. Rinchem ensures that employees are trained in the use of new equipment introduced into the process or changes to the operating procedures.

Rinchem Company, LLC provides details on the hazardous materials stored through the development of a Hazardous Material Management Plan (HMMP) and submission of Tier II reports required under Section 312 of the Emergency Planning and Community Right-to-Know Act of 1986 (EPCRA). Rinchem requests inclusion in community emergency response plans and annually sends community outreach letters to local emergency responders (fire, police) and local (LEPC) and/or state (SERC) emergency planning/response committees inviting the organizations to tour the facility and to observe our process or participate in a response drill.

All Rinchem locations are non-responding facilities and employees are not trained in emergency response. Along with developing a Business Continuity Plan for response to major events across the Rinchem network, each facility has developed an Emergency Action Plan (EAP) in accordance with 29 CFR 1910.38. The EAP lists the contact information for Rinchem Incident Command (IC), who must be contacted by the facility emergency coordinator (EC) in the event of an emergency or accidental chemical release. The EAP also contains the contact information for local, state, and federal emergency response organizations, local and Rinchem contracted spill response organizations, and critical vendors. Facilities are equipped with a fire alarm system that consists of deluge sprinkler system and foam suppression system in the flammable storage areas of the warehouse, fire extinguishers, and gas sensors at locations that store gas cylinders. Sprinkler and gas alarms annunciate locally, and the alarms are monitored continually by a central station monitoring service who will dispatch emergency responders when an event is received.

Respectfully submitted,

Ron Kantor EHS Specialist II

Rinchem Company, LLC

Address: 5131 Masthead ST NE, Albuquerque, NM 87109 Phone: 1-505-345-3655

Website: http://www.rinchem.com Email: Info@Rinchem.com



Planning Commission Staff Report November 20, 2023 Meeting

7823 CALVERTON SQUARE CONSERVATION AREA VARIANCE

LOCATION: 7823 Calverton Square (PID: 222-001816)

APPLICANT: The Columbus Architectural Studio c/o Thad and Susanne Perry REQUEST: (A) Variance to the Reserve at New Albany PUD section 26.04.01 and

the subdivision plat to allow a screened porch home addition to encroach into the minimum rear yard setback and a platted conservation area by 4

feet

(B) Variance to the subdivision plat to allow an open paver patio to

encroach a platted conservation area by 9 feet

ZONING: Reserve at New Albany I-PUD

STRATEGIC PLAN: Residential APPLICATION: VAR-104-2023

Review based on: Application materials received on October 20 and November 1, 2023.

Staff report prepared by Stephen Mayer, Planning Manager.

I. REQUEST AND BACKGROUND

The applicant requests a variance to allow the construction of a home addition within the building setback and conservation area in the rear of the property. The home addition is a screened-in porch located over an existing paver patio. During the city staff initial review of the application, it was discovered the paver patio is encroaching into a conservation area. The city staff couldn't locate any historically issued variances or permits for the paver patio so the applicant has added a request to allow it to remain as constructed.

Section 18 of the Reserve at New Albany PUD text states that variances may be requested of the Planning Commission but must be approved by the city council. Accordingly, the Planning Commission is review and make a recommendation to city council regarding the variance requests.

II. SITE DESCRIPTION & USE

The 0.4-acre property is located in the Reserve at New Albany subdivision and contains a single-family residential home that was built in 1997. The property is surrounded by single family residential homes on all sides of the property.

III. ASSESSMENT

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

- 1. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.
- 2. Whether the variance is substantial.
- 3. Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."
- 4. Whether the variance would adversely affect the delivery of government services.
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction.
- 6. Whether the problem can be solved by some manner other than the granting of a variance.
- 7. Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.

Plus, the following criteria as established in the zoning code (Section 1113.06):

- 8. That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.
- 9. That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.
- 10. That the special conditions and circumstances do not result from the action of the applicant.
- 11. That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.
- 12. That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

III. EVALUATION

(A) Variance to the Reserve at New Albany PUD section 26.04.01 and the subdivision plat to allow a screened porch home addition to encroach into the minimum rear yard setback and a platted conservation area by 4 feet

The following should be considered in the board's decision:

- 1. There are two zoning regulatory restrictions located within the rear of the property:
 - The first is a minimum 30 foot rear yard building setback. This is the standard building setback applicable to the entire residential subdivision.
 - The second is a 30 foot conservation area which prohibits any structure or building from being constructed within it established by a subdivision plat note.
 The conservation area is located on the rear of lots within the western half of the subdivision.
- 2. The applicant is requesting a variance to allow a screened-in porch to encroach into both the minimum rear yard setback and a platted conservation area by 4 feet. The screened in porch is considered a home addition since it is attached to the primary home.
- 3. The variance request does not appear to be substantial. The property is 0.4 acres (17,424 square feet). The conservation area is 6,737 square feet, equating to 38.7% of the overall lot area. The screened in porch is 457 square feet in size and 124 square feet of it is encroaching into the building setback and conservation areas. The 124 square feet

- encroachment area is 1.8% of the conservation area on the lot.
- 4. It appears the problem can be solved by some manner other than the granting of a variance. The existing house is located 3.5 feet from the rear yard setback line and conservation area so there is buildable space behind the home. The applicant could reduce the size of the screened in porch by 4 feet, and utilize the 3.5 feet of buildable space, and not need a variance.
- 5. There don't appear to be special conditions and circumstances that exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district. Section 25.06 states "conservation areas will be designated in the rear of lots six (6) through thirteen (13) and sixteen (16) through twenty-four (24) in order to conserve the existing trees. The care of these areas will fall to each owner of a lot containing a conservation area. The subject property is lot 21 so the properties on both sides of it have the same conservation area.
- 6. Granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
- 7. Granting the variance would not adversely affect the delivery of government services. There are no easements or public utilities located within the rear of the property.

(B) <u>Variance to the subdivision plat to allow an open paver patio to encroach a platted</u> conservation area by 9 feet

The following should be considered in the board's decision:

1. The applicant is requesting a variance to allow an open paver patio to encroach 9 feet into a conservation area located on the back of the property. There is a 30 foot conservation area which prohibits any structure or building from being constructed within it established by a subdivision plat note.

NOTE "F" - CONSERVATION AREAS: No structure or building shall be placed upon, in or under areas designated "Conversation Area" hereon, nor shall any work be performed thereon which would alter the natural state of such areas or damage any of the trees or vegetation thereon provided, however, 1) that there shall be such construction areas as may be required for the installation, operation and maintenance of utility and drainage facilities for the development as the developer may deem necessary for efficient development and 2) that within such areas in lots 10, 11, 18 and 19, such construction areas shall be replanted and re-vegetated with a minimum 30 - 2 inch to 4 inch hardwood trees. Such maintenance within said "Conservation Area" shall occur only in easement areas designated on this plat unless otherwise approved by the Village of New Albany Engineer. Areas disturbed by such maintenance shall be restored as nearly as practical to their original condition. Not withstanding the foregoing, trees and/or vegetation which are dead or diseased may be removed therefrom.

- 2. The codified ordinance section 1105.02(bbb) defines a structure as "anything constructed or erected, the use of which requires location on the ground or attachment to something having a fixed location on the ground, including, among other things, walls, buildings, and patios. 'Structure' does not include fences."
- 3. That the special conditions and circumstances do not result from the action of the applicant. There is currently a paver patio constructed within the conservation easement. Based on aerial imagery, it appears the patio was constructed sometime between 1997 and 2000. The city staff could not locate any permits or variances associated with the paver patio. Therefore, a variance is required to allow the paver patio to remain within the conservation easement. The current property owners and applicant, Thad and Susanne Perry, purchased the property in 2023.
- 4. The variance does not appear to be substantial. This is a long-standing existing condition. The patio encroachment is very minor compared to the overall conservation area on the lot. The conservation area is 6,737 square feet, equating to 38.7% of the overall lot area.

- The area of the paver patio encroaching to the conservation easement is 279 square feet. The 279 square feet encroachment area is 4.1% of the conservation area on the lot.
- 5. The variance request appears to meet the spirit and intent of the zoning requirement. The Reserve at New Albany PUD text allows for open porches and patios to encroach into the required yard if a minimum distance of 20 feet is maintained to any rear lot line. The existing patio meets this requirement. Additionally, allowing the patio to remain will not alter or negatively impact any of the existing trees within the conservation area.
- 6. Granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
- 7. Granting the variance would not adversely affect the delivery of government services. There are no easements or public utilities located within the rear of the property.

IV. RECOMMENDATION

Staff recommends approval of the variance application should the Planning Commission finds that the application has sufficient basis for approval. The addition of the screened in porch is located on an existing paver patio that is partially located within a conservation easement. Therefore, allowing the home addition will not negatively any trees within the conservation area. The home addition is also encroaching into the required rear yard setback but it appears to be a minor encroachment when compared to the size of the conservation area. The existing paver patio within the backyard is an existing condition requiring a variance since there is no evidence of it being permitted. The patio area is surrounded by landscaping and allowing it to remain will alter the spirit and intent of the conservation area which is to preserve trees.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added):

Move to approve application VAR-104-2023 (conditions of approval may be added).



Source: NearMap

Permit #	
Board	
Mtg. Date	



Community Development Planning Application



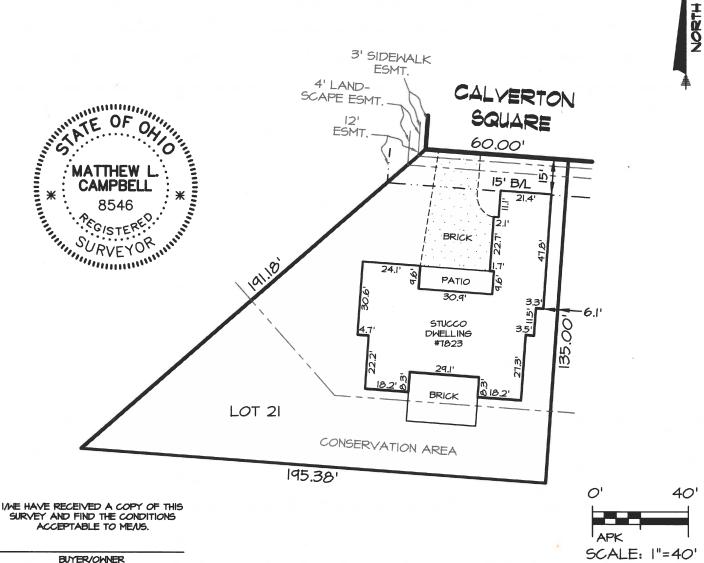
	Site Address 7823 Calverton Squa	ro Now Albany C	No. 42054		Эу
		ie, New Albarry, C	71110 43034	,	
5 B	Parcel Numbers 222-001816-00				
	Acres 0.40 acres	# of lots crea	ated Not a	applicable	
	Choose Application Type		Circle al	ll Details that Apply	
	□□Appeal				
_	□□Certificate of Appropriateness □□Conditional Use				
101	□□Development Plan	Preliminary	Final	Comprehensive	Amendment
ıat	- Plat	Preliminary	Final	Comprehensive	Amendment
Ξ	□□Lot Changes	Combination	Split	Adjustment	
n fe	□ ■ Minor Commercial Subdivision	_		_	
五	□□Vacation	Easement		Street	est.
je	□ Variance □ Extension Request				
Project Information		Amendment (rez	zoning)	Text Modification	
	Description of Paguage Pagu	oot variance from	Danes :	A Name Allegan DLID	
				t New Albany PUD uce rear yard setbac	k at
				ew screen porch 31	
	in wid				
	Property Owner's Name: Thac	d Perry & Susanne	Perry	-	
	Address: 7823 Calverton Squa				
	City, State, Zip: New Albany, Ohi	0 43054			
	Phone number: 614-537-3835 Email: tssperry@sbcol	abal not augenne	22002	Fax:	
\$ 5	tssperry@sbcgi	obal.net susanne	agp@cs.co	OHI	
ontacts					
0.0			Columbus A	Architectural Studio	
	Address: 405 N Front S City, State, Zip: Columbus, C				
	City, State, Zip: Columbus, C Phone number: 614-586-55			Fax:	
		@cbusarch.com		rax.	-
300	Site visite to the manner, by City of N	/ A 11	-4-4:		1. * 1 * *
	Site visits to the property by City of N The Owner/Applicant, as signed below				
၁	employees and appointed and elected	officials to visit, ph	otograph a	nd post a notice on the	e property
Ë	described in this application. I certify	that the information	n here with	in and attached to this	application is
Signature	true, correct and complete.	A-		_	
51		1	KA	>	
	Signature of Owner	2002	1X	Date Date	: 0.1 19 2013
	Signature of Applicant	AND	90	Date	





614.785.9340 Fax: 614.785.9342 77 E Wilson Bridge Road Suite 205 Worthington, OH 43085 http://www.campbellsurvey.com

Mortgage Location Survey



Street Address: 7823 Calverton Sq, New Albany, Ohio 43054

New Owner:

Thad R. Perry, Susanne G. Perry

Allotment: THE RESERVE AT NEW ALBANY

Record Info: Plat Book: 83 Page: 45

Client Order No: 23-918-LS

Date: August 22, 2023

Present Owner:

Acme Rocket Powered Roller Skates LLC

This is to certify to:

Cbus Title Agency that a visual inspection of the property and buildings shown (if any) has been made and there are no apparent encroachments or visible easements unless otherwise shown. This service was not performed for the purpose of establishing boundary lines, and is not to be used for that purpose.

This Mortgage Location Survey has been prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37, Ohio Administrative Code.

Matthew L. Campbell - Reg. Surveyor No. 8546

EXHIBIT "A"

LEGAL DESCRIPTION

Situated in the State of Ohio, County of Franklin and City of New Albany: Being Lot Number Twenty One (21) of THE RESERVE AT NEW ALBANY, as the same is numbered and delineated upon the recorded plat thereof, of record in Plat Book 83, Page 45, Recorder's Office, Franklin County, Ohio.

Prior Instrument Reference: 201911010146011

Parcel Number: 222-001816-00

Property Address: 7823 Calverton Square, New Albany, OH 43054



Owner 2	MAI HUI	SULLIVAN CASEY L	GEORGE ROBERT A	HIGGISTON SARAHJ	DUNN D GARDNER			GELLERT ELLEN M	ESCHLEMAN SHARON	MORRIS NANCY E	KURTZ DEBORAH LYNN TR	RYAN STACEY	PERRY SUSANNE G	NEITZEL RADHIKA D	LEVITIN JENNY M	GLANCY ERICA J	RAVEENDRAN RESHMI P TR	CIMINELLO MICHELLE
Owner 1	CHAN DAVID L	SULLIVAN DAVID P	GEORGE JEANNE	MILLERICK SHAWN D	DUNN YVETTE L	SILVER JANICE R	JOHNSON PATRICK	GELLERT LARRY M	ESCHLEMAN DAVID ELLIS	MORRIS STEPHEN	KURTZ CHARLES LINDLEY II TR	RYAN DANIEL	PERRY THAD R	YARGER JONATHAN L	LEVITIIN HOWARD W	VERRET ALPHONSE P IV	PATEL SUNNY MAHESH TR	CIMINELLO JOSEPH A
Site Address	4282 VAUX LINK RD	4298 VAUX LINK RD	4312 VAUX LINK RD	4320 VAUX LINK RD	4328 VAUX LINK RD	7755 ARBORETUM CT	4299 BROMPTON CT	4311 BROMPTON CT	4329 BROMPTON CT	7859 CALVERTON SQ	7845 CALVERTON SQ	7833 CALVERTON SQ	7823 CALVERTON SQ	7815 CALVERTON SQ	7814 CALVERTON SQ	7822 CALVERTON SQ	7832 CALVERTON SQ	7858 CALVERTON SQ
Alt ID	222-001386-00	222-001387-00	222-001388-00	222-001389-00	222-001390-00	222-001398-00	222-001849-00	222-001850-00	222-001851-00	222-001819-00	222-001818-00	222-001817-00	222-001816-00	222-001815-00	222-001814-00	222-001813-00	222-001812-00	222-001810-00



200 CHP (700 CHP)

7823 Calverton Square, New Albany, Ohio 43054

Request variance from Reserve at New Albany PUD Section 26.04 (Rear Yard) to reduce the rear yard setback at Lot 21 from 30'-0" to 26'-0" for a new screen porch 31'-0" in width.

The property at 7823 Calverton is located in the Reserve at New Albany neighborhood and consists of a single-family French country style house with an auto-court in the front and a brick patio at the rear. Due to the spatial requirements of the front auto-court, the house is pushed back to the rear of the property; 33'-7" from the rear property line. With the rear yard setback requirement of 30', there is only 3'-7" of buildable area at the rear of the lot. There is an existing brick patio at the rear of the house that extends 9' into the rear yard setback.

The owners purchased the property with the thinking that they would be able to construct a screen porch utilizing the footprint of the existing brick patio. When they received the property survey, it was realized that there is a conservation area extending 30' from the rear property line which aligns with the 30' rear setback line.

The design of the screen porch was studied utilizing the allowable buildable area. This would only allow an interior depth of 11'-0". With the location of the existing doors from the house, and the projection of the existing fireplace, this limited dimension was unusable to accommodate a small dining table and small lounge area.

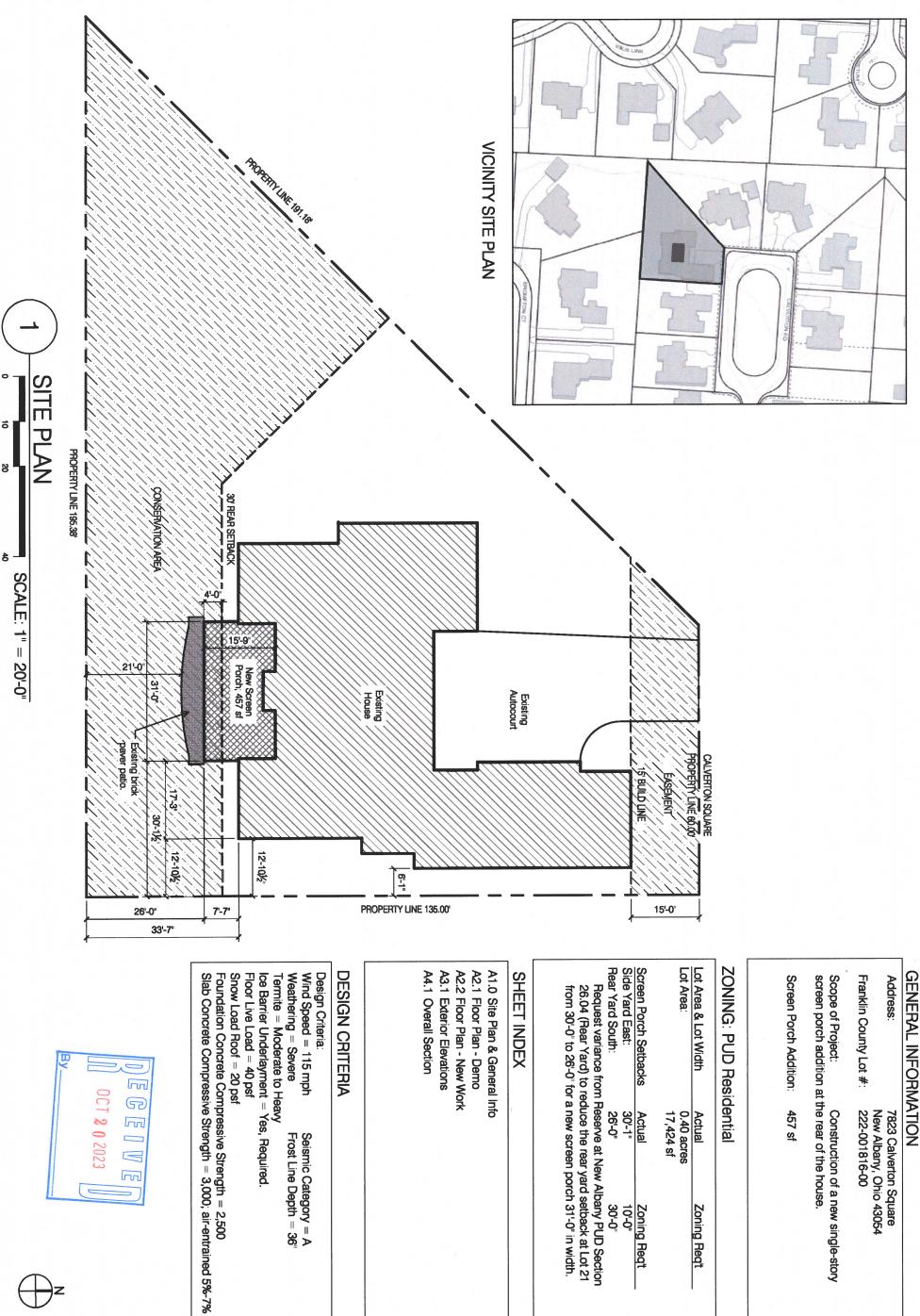
Multiple iterations were then studied to identify the ideal dimension that allowed for the proper use of the screen porch while minimizing the encroachment into the rear yard. This ideal dimension is 15'-0" which is a 4'-0" encroachment into the rear yard. The proposed dimensions of the new screen porch do not extend the full depth of the existing brick patio. The edge of the brick patio will remain in place to allow for movement in and out of the screen porch down to the yard and to the side yards.

The 4'-0" encroachment into the rear yard results in a zoning variance request of reducing the rear yard setback from 30'-0" to 26'-0".

Regarding the conservation area, per the PUD, the conservation areas were identified in order to preserve the mature tree canopy at various lots throughout the development. The new screen porch is being constructed over an existing brick patio and will therefore not jeopardize the health of the tree canopy or negatively impact the tree canopy in any way. Therefore, the intent of the conservation area remains intact even with the screen porch encroachment.

The zoning variance request to reduce the rear yard setback from 30'-0" to 26'-0" would only be to allow for the single-story screen porch with an overall width of 31'-0".









Oct 18, 2023

Zoning Reqt

30'-0" 10'-0"

Zoning Reqt

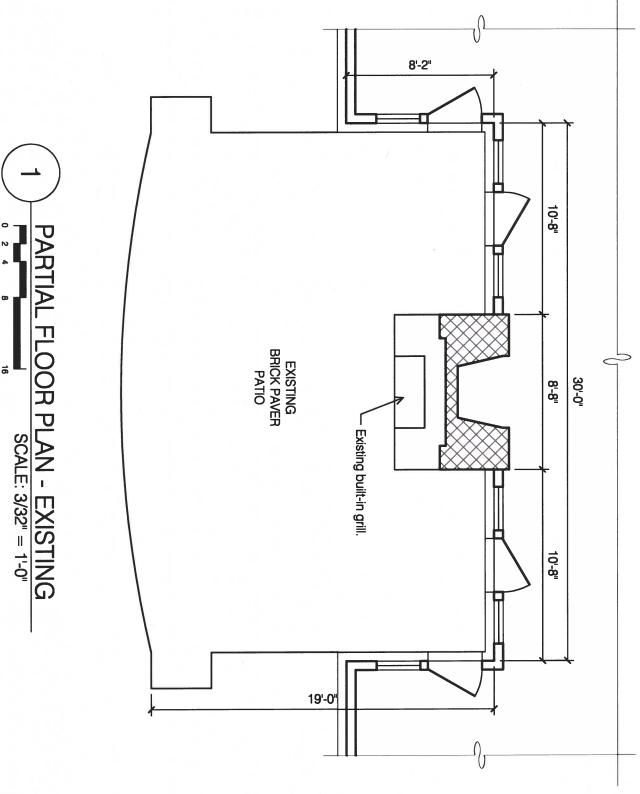
brenda.parker@cbusarch.com 614-586-5514 BRENDA PARKER ARCHITECT

Oct 18, 2023

SITE PLAN & GENERAL INFO

NEW SCREEN PORCH

7823 CALVERTON SQUARE NEW ALBANY, OHIO 43054







ARCHITECT
BRENDA PARKER
614-586-5514
brenda parker@cbusarch.com

DATE:

Oct 18, 2023

PROJECT NO:

SHEET NO.

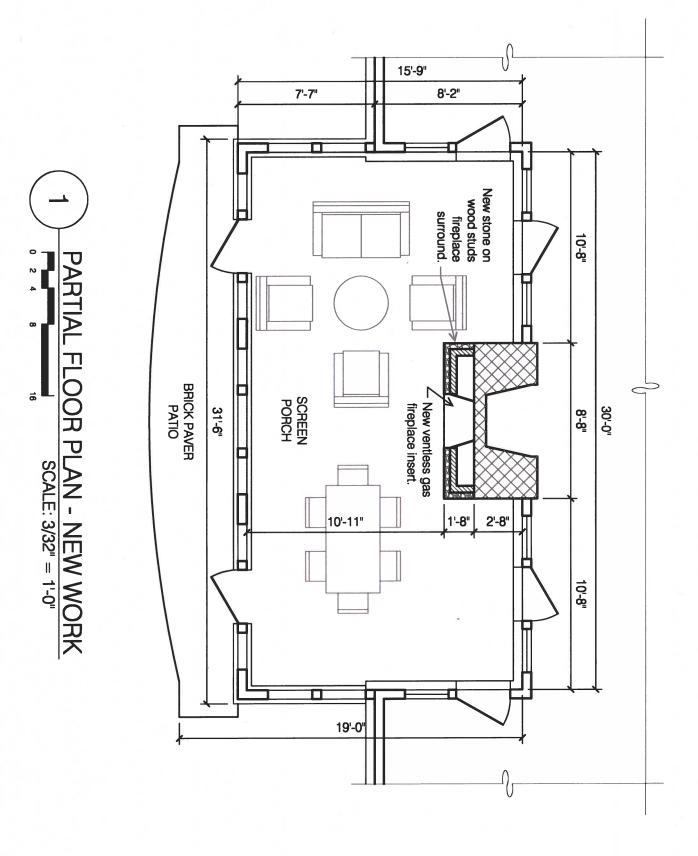
SHEET NO.

SHEET NO.

PROJECT NO:

Oct 18, 2023

FLOOR PLAN - DEMO





ARCHITECT
BRENDA PARKER
814-586-5514
brenda parker@cbusarch.com

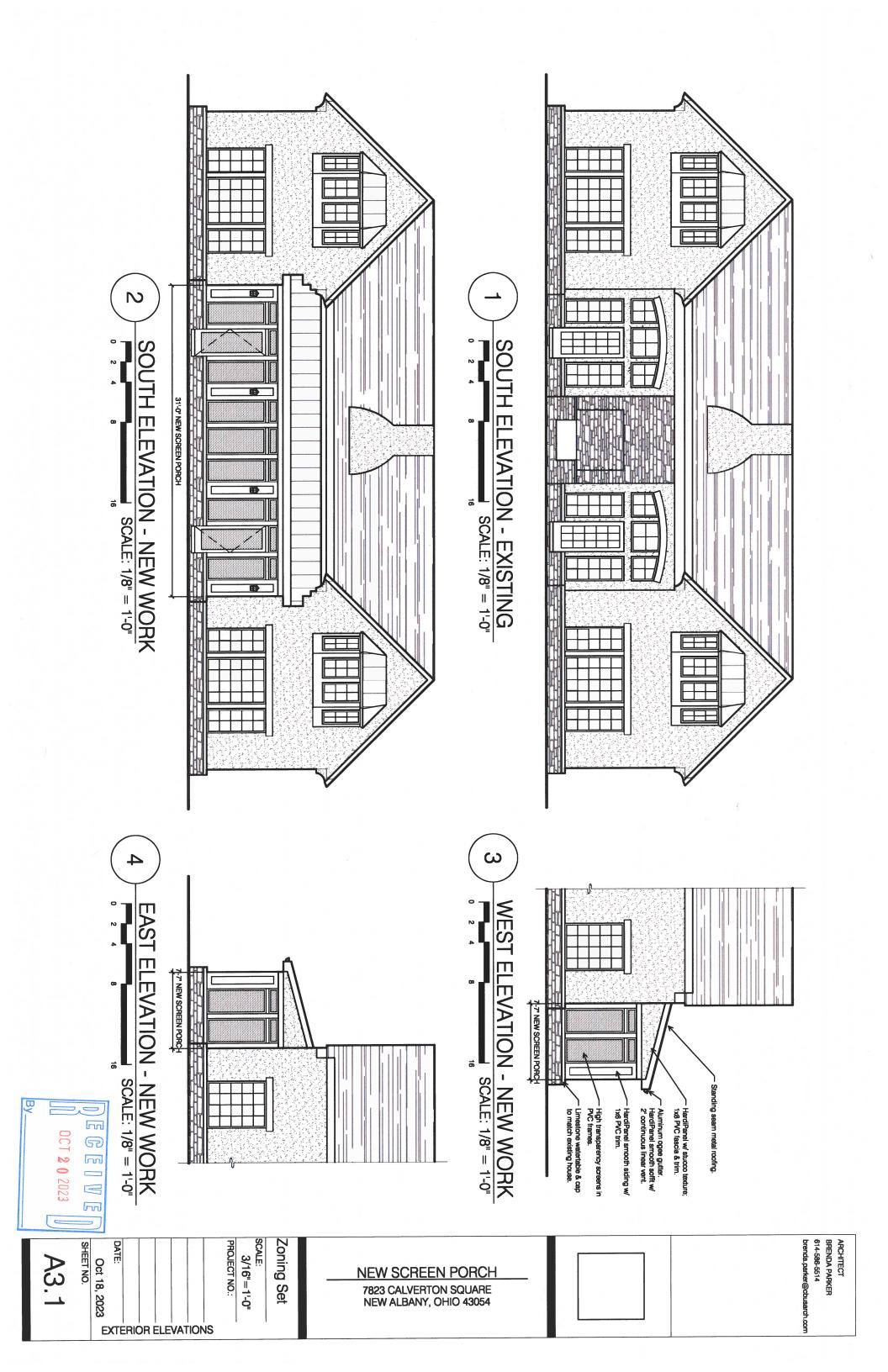
PROJECT NO:

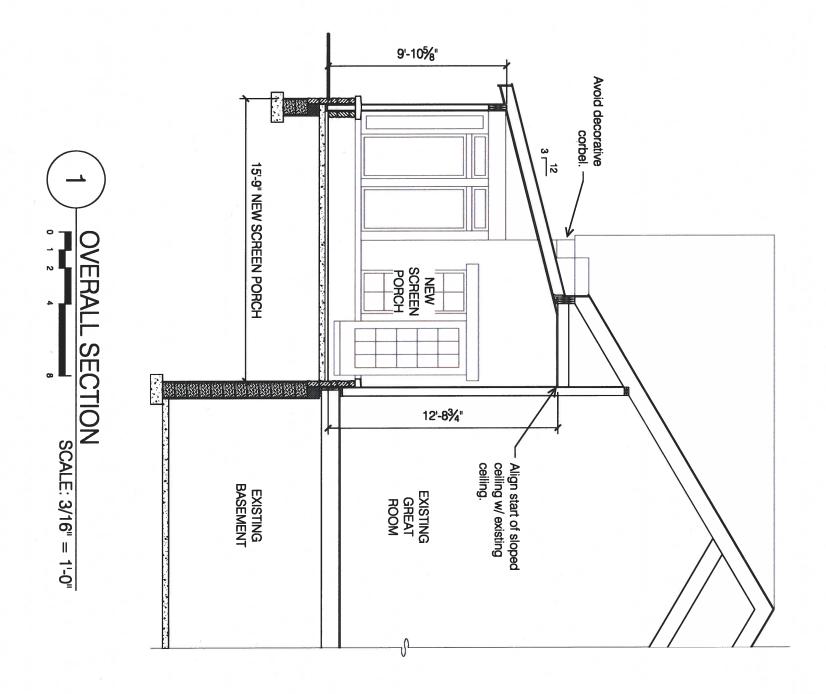
PROJECT NO:

SHEET NO.

PROJECT NO:

FLOOR PLAN - NEW WORK







ARCHITECT
BRENDA PARKER
614-586-5514
brenda parker@cbusarch.com

PROJECT NO:

NEW SCREEN PORCH
7823 CALVERTON SQUARE
NEW ALBANY, OHIO 43054

NEW ALBANY, OHIO 43054



Planning Commission Staff Report November 20, 2023 Meeting

CORNERSTONE CONDITIONAL USE

LOCATION: Located at 7525 and 0 West Campus Road and 6005 Nacot Place (PIDs:

222-002055, 222-004975, 222-004626)

APPLICANT: Cornerstone Academy Community School, c/o Aaron Underhill, Esq.

REQUEST: Conditional Use

ZONING: Office Campus District (OCD)

STRATEGIC PLAN: Employment Center APPLICATION: CU-105-2023

Review based on: Application materials received October 18, 2023 and October 31, 2023.

Staff report prepared by Chelsea Nichols, Planner

I. REQUEST AND BACKGROUND

The applicant requests approval of a conditional use to allow secondary school (middle school and high school) uses on 22.994+/- acres consisting of both developed and undeveloped properties zoned Office Campus District (OCD).

In 2021, the city approved a rezoning of other real property located at the northwest corner of New Albany-Condit Road and New Albany Road East to facilitate the development and construction of a new school campus for Cornerstone Academy.

On February 7, 2022, the Planning Commission reviewed and recommended adoption to city council to add secondary school uses as a conditional use in the following zoning districts: Office (O), Office Campus District (OCD) and General Employment (GE). City council adopted these code changes on March 1, 2022 (O-3-2022).

In March of 2022, the Cornerstone Academy received conditional use approval to operate their secondary school at a 7.283+/- acre site that contains a 50,461+/- sq. ft. commercial office building. This building was formerly known as the NACOT I building. The Cornerstone Academy leases this building from NACO. The use of the building has proven to be a great fit for the school. Cornerstone has determined they would like to remain on the site permanently. Therefore, rather than developing the site located at the NW corner of New Albany-Condit Road and New Albany Road East, Cornerstone Academy seeks to purchase the surrounding properties to expand its campus at the existing school location.

II. SITE DESCRIPTION & USE

The 22.994+/- acre site is located in the Franklin County portion of the New Albany Business Park. One portion of the site contains 8.76+/- acres and a 68,463+/- sq. ft. commercial office building. The second portion of the site is 13.19+/- acres of undeveloped property located at the west of and adjacent to the intersection of New Albany Road East and West Campus Road. The third portion of the site is 1.044+/- acres containing an existing paved parking area.

III. EVALUATION

The general standards for Conditional Uses are contained in Codified Ordinance Section 1115.03. The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location meets all of the following requirements:

- (a) The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.
 - The site is zoned Office Campus District (OCD). The applicant proposes to expand their secondary school campus.
 - By adding these types of uses in commercial zoning districts such as this site, it
 allows diversification within the business park, encourages links between education
 and workforce development and in this case adds commercial income tax base.
 - The existing school occupies a 50,461 sq foot building on 7.283 acres known as NACOT I. This conditional use allows an additional secondary school use within an existing 68,463+/- sq. ft. neighboring office building on a 7.283+/- acre commercially zoned property known as NACOT II.
 - The conditional use allows the development of the unimproved parcel to the east of the existing school for accessory uses in support of the schools. Immediate plans call for two athletic fields and concession stands to be located on that land, which is 13.19+/- acres located at the southwest corner of New Albany Road East and West Campus Road. These fields and concession stands are located immediately next to a smaller lot (1.044+/- acres) that contains an existing parking, which would serve as athletic fields parking.
 - The previously approved secondary school building will continue to contain grades 6-8th. This conditional use allows for a new secondary school building containing grades 9-12th. The applicant provides enrollment projection for the next three school years for both buildings:

Enrollment Projections							
	2026-2027						
6-8th grade	325	350	400				
9-12th grade	250	300	325				

- The applicant states that there are approximately 75 employees for each building.
- It does not appear that the proposed use alters the character of the surrounding area. The site is located on the western edge of New Albany and all surrounding land uses within the city are commercial. To the west, within Columbus, there are multi-family and single family attached residential properties. The property is zoned for office uses and contains a large office building that is currently vacant.
- C.O. 1167.05(C)(2) states that 3 parking spaces are required for each classroom in the building or one parking space for every 5 seats in the main auditorium, whichever is greater. The applicant has indicated there will be no auditorium in the building. The applicant also indicated that there will be approximately 16 classrooms in the immediate future but that they plan to expand to 28 classrooms in the future. Therefore, 84 parking spaces are required to be provided. The applicant is exceeding this requirement as there are approximately 505 parking spaces on site. This is an ample amount of existing parking spaces available for use.

- C.O. 1167.05(b)(1) states 20 parking spaces are required for each playfield, plus one for each six seats in stands. Therefore, the two fields require 40 parking spaces. The parking lot designated on the circulation plan as being for the athletic fields appears to provide approximately 62 parking spaces. It also appears as though overflow parking could be accommodated on the other two sites containing the school buildings as those parking lots are exponentially exceeding the parking requirements. City staff recommends that the applicant clarify their intent for the field parking at the time of the public hearing. Parking will also be addressed and must meet code requirements at the time of permitting for the athletic fields and concession stands (condition #2).
- (b) The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.
 - The proposed use is harmonious with the existing and intended character for the general vicinity and will not change the essential character of the area as the use is located within an existing building.
 - The proposed use is appropriate due to its proximity to the State Route 161 interchange, the New Albany Business Park and nearby residential uses where a school is typically located.
- (c) The use will not be hazardous to existing or future neighboring uses.
 - The proposed secondary school use will be permitted in an existing, vacant office building. There are no proposed changes to the building's exterior and/or site.
- (d) The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.
 - Since this is an existing site/building, it is already being adequately served by essential public services.
- (e) The proposed use will not be detrimental to the economic welfare of the community.
 - The proposed use will improve economic welfare in the city due to creation of jobs which generate income taxes in a building that is currently vacant and thus generating no income tax revenue.
- (f) The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
 - The applicant states that the proposed use does not involve any of the above uses as it operates a traditional school.
- (g) Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.
 - A site circulation plan was submitted as part of the application. The city traffic engineer's comments are addressed below in a separate section of this report.

III. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. <u>Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition #1).</u>

1. Requested information regarding enrollment (current and future), existing car and bus traffic, and split between bused students and students dropped off by car (current and future) were recently provided. From our initial review of that information, it is anticipated the on-site backups are unlikely to extend onto West Campus in the future.

However, in the event this does occur there appears to be options for increasing on-site queuing and reducing the impact to West Campus. As a result, further traffic evaluation does not appear necessary.

- 2. We will provide recommendations regarding signage modifications required on West Campus Road when detailed construction plans become available.
- 3. Information was provided regarding traffic and parking associated with special events. The response was there is significant on-site parking capacity. At this time, we do not anticipate any issues with special event parking.

IV. SUMMARY

The overall proposal is consistent with the code requirements for conditional uses for secondary schools. The proposed use is appropriate for the site based on the current zoning and its location within the New Albany Business Park. Educational uses, which are a type of institutional use, are not a specific future land use district in the Engage New Albany Strategic Plan. As such, these types of uses are intended to be integrated throughout the community which is why they were added as a conditional use within the Office (O), Office Campus District (OCD) and General Employment (GE) zoning districts by the Planning Commission and City Council.

The Planning Commission approved a rezoning to allow the high school on a neighboring piece of undeveloped property located at the northwest corner of SR 605 and New Albany Road East. This application allows the same uses as the rezoning at the new site. This use will be harmonious with the existing or intended character of the general vicinity.

There is an existing middle school at NACOT I. By allowing the high school at NACOT II, the NACOT buildings are interconnected with streets and private drives and share parking lots. By allowing Cornerstone to operate within both buildings, it will allow the area to act as a school campus.

The NACOT buildings were designed and previously used as call centers. Call centers have a larger number of employees on each shirt than typical office uses. In order to accommodate for the large number of employees, there is a large parking lot on the site with multiple means of access and public streets to disperse traffic. This makes the site ideal for a high school where it is expected to have students and teachers driving and parking at the site.

The site is zoned to allow, and has been occupied by, commercial office uses which typically generate a large number of daytime employees. The applicant submitted a site circulation exhibit which has been reviewed by the city traffic engineer.

Additionally, there is an ample amount of existing parking space on the site that allows for additional queueing/stacking for drop off/pick up lanes.

V. ACTION

The Commission shall approve, approve with supplementary conditions, or disapprove the application as presented. If the application is approved with supplementary conditions, the Planning Commission shall direct staff to issue a zoning permit listing the specific conditions listed by the Planning Commission for approval.

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application CU-104-2023 with the following conditions:

- 1. Comments of the city engineer are addressed, subject to staff approval.
- 2. Parking to be addressed and must meet code requirements at the time of permitting for the athletic fields and concession stands.

Approximate Site Location:

Existing school/previously approved conditional use in NACOT I shown in yellow. Proposed sites shown in red, including NACOT II in red and blue.



Source: Google Earth

City of New Albany

99 West Main Street New Albany, Ohio 43054



401.60-149

November 8, 2023

To: Chelsea Nichols

Planner

From: Matt Ferris, P.E., P.S., Consulting City Engineer

By: Jay M. Herskowitz, P.E., BCEE

Re: Cornerstone School Conditional Use

We have the following review comments regarding this application:

- 1) Requested information regarding enrollment (current and future), existing car and bus traffic, and split between bused students and students dropped off by car (current and future) were recently provided. From our initial review of that information, it is anticipated the on-site backups are unlikely to extend onto West Campus in the future. However, in the event this does occur there appears to be options for increasing on-site queuing and reducing the impact to West Campus. As a result, further traffic evaluation does not appear necessary.
- 2) We will provide recommendations regarding signage modifications required on West Campus Road when detailed construction plans become available.
- 3) Information was provided regarding traffic and parking associated with special events. The response was there is significant on-site parking capacity. At this time, we do not anticipate any issues with special event parking.

MEF/JH

CC: Dave Samuelson, P.E., Traffic Engineer





Permit #	
Board	
Mtg. Date	



Community Development Planning Application

	Site Address 7525 and 0 West Campus Road & 6005 Nacot Place, New Albany, OH							
Parcel Numbers 222-002055, 222-004975 and 222-004626 Acres 22.994 +/- # of lots created								
Project Information	Choose Application Type Appeal Certificate of Appropriateness XConditional Use Development Plan Plat Lot Changes Minor Commercial Subdivision Vacation Variance Extension Request Zoning		Comprehensive Amendment Adjustment Street Text Modification					
Contacts	Address: Underhill & Hodge LLC, 800 City, State, Zip: New Albany, OH 4309 Phone number: 614.335.9320 Email: aaron@uhlawfirm.com Applicant's Name: Cornerst	200 Walton Parkway, Suite 260 54 tone Academy Community School.C, 8000 Walton Parkway, Suite						
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete. By: Signature of Owner Signature of Applicant Date: 10/18/2023 Date: 10/18/20							

EXHIBIT A 30.966 ACRES

Situated in the State of Ohio, County of Franklin, Village of New Albany, Lot 15, Section 8, Quarter Township, Township 2, Range 16, United States Military and being all out of that tract of land as conveyed to New Albany Company Limited Partnership of record in Official Record 30262D04 (all deed references refer to the records of the Recorder's Office, Franklin County, Ohio) and described as follows:

Beginning for reference at a PK nail found in the centerline of Central College Road at its intersection with the westerly line of said Section 8 at the southwesterly corner of said Lot 15 and the southeasterly corner of a 79.004 acre tract as conveyed to Central LTD. of record in Deed Book 3710, Page 120;

thence North 3° 38' 26" East, with the westerly line of said Section 8 and Lot 15 and the easterly line of said 79.004 acre tract, a distance of 1087.92 feet to an iron pin set at the true point of beginning for this description;

thence North 3° 38' 26" East, continuing with the above described line, a distance of 1425.19 feet to an iron pin set;

thence with a new division line across said New Albany Company Limited Partnership tract the following courses:

South 86° 30' 00" East, a distance of 997.52 feet to an iron pin set at a point of curvature;

With a curve to the right having a central angle of 41° 37' 22", a radius of 520.00 feet, whose chord bears South 65° 41' 19" East, a chord distance of 369.50 feet to an iron pin set at a point of tangency;

South 44° 52' 38" East, a distance of 235.30 feet to an iron pin set at a point of curvature;

With a curve to the right having a central angle of 88° 07' 54", a radius of 40.00 feet whose chord bears South 00° 48' 41" East, a chord distance of 55.64 feet to an iron pin set at a point of reverse curvature in the westerly right-of-way line of New Albany Road East as the same is shown on the plat entitled NEW ALBANY ROAD EAST CENTRAL COLLEGE ROAD AND DEW ALBANY-CONDIT ROAD DEDICATION AND EASEMENTS of record in Plat Book 86, Pages 78 and 79:

thence with said westerly right-of-way line, the following courses:

With a curve to the left having a central angle of 23° 17' 23", a radius of 1350.00 feet whose chord bears South 31° 36' 34" West, a chord distance of 544.98 feet to an iron pin set; 25777Acs.

North 83° 12' 23" West, a distance of 487.40 feet to an iron pin set;

South 54° 42' 35" West, a distance of 1004.73 feet to the true point of beginning and containing 30.966 acres of land, more or less.

Franklin County P. R. C. Engineer Date (Z) 1-7

Continued...

) () [

30.966 ACRES Page Two

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Bearings are based on The Ohio State Plane Coordinate System as per NAD83. Control for bearings was from coordinates of monuments Frank 80 and 180 established by the Franklin County Engineering Department, using Global Positioning System procedures and equipment.

EVANS, MECHWART, HAMBLETON & TILTON, INC.

Jestrey A. Miller, P.S.

DESCRIPTION VERIFIED DEAN C. RINGLE, P.E., P.S.

DATE 04-19-2010

222-004626

Legal Description

Situated in the State of Ohio, County of Franklin and City of New Albany:

Being Lot Number One (1) of the NACOT subdivision, as the same is numbered and delineated upon the recorded plat thereof, of record in Plat Book 116, Page 53, Recorder's Office, Franklin County, Ohio.

Parcel Number 222-004975

DESCRIPTION FROM TITLE COMMITMENT

PARCEL I

1.044 ACRES

Situate in the State of Ohio, County of Franklin, City of New Albany, lying in Section 8, Quarter Township 2, Township 2, Range 16, United States Military Lands, being part of the remainder of that 30.966 acre tract conveyed to The New Albany Company LLC by deed of record in Instrument Number 201007190090857, (all references refer to the records of the Recorder's Office, Franklin County, Ohio) being more particularly described as follows:

BEGINNING at a permanent marker set at the southerly terminus of the easterly right-of-way line of Nacot Place, as dedicated in Plat Book 116, Page 53, being an angle point in the westerly line of the remainder of said 30.966 acre tract;

Thence North 03° 30' 00" East, with said easterly right-of-way line, the westerly line of the remainder of said 30.966 acre tract, a distance of 361.28 feet to an iron pin set;

Thence across said 30.966 acre tract, the following courses and distances:

South 86° 35' 54" East, a distance of 150.85 feet to an iron pin set;

South 03° 24' 06" West, a distance of 241.00 feet to an iron pin set; and

South 54° 57' 00" West, a distance of 193.41 feet to the POINT OF BEGINNING, containing 1.044 acres, more or less.

Subject, however, to all legal rights-of-ways and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long, with a plastic plug placed in the top bearing the initials EMHT INC. Permanent markers set are solid iron pins, one-inch diameter, thirty (30) inches long, with aluminum cap stamped EMHT INC.

The bearings herein are based on the same meridian as the southerly right-of-way line of West Campus Road, as shown on Plat book 90, Page 66, having a bearing of South 86° 30' 00" East.

This description is based on an actual field survey performed by or under the direct supervision of Heather L. King, Professional Surveyor 8307, in July 2018.

Conditional Use Statement

CORNERSTONE ACADEMY

October 31, 2023

The applicant, Cornerstone Academy Community School ("Cornerstone"), is in contract to purchase three parcels of real property located in the City of New Albany: (a) 8.76+/- acres containing an existing commercial building with 68,463+/- square of gross floor area, located at 6005 NACOT Place and known as Franklin County Auditor Parcel Number 222-004626 (the "Existing Building Site"), (b) 13.19+/- acres of undeveloped real property known as Franklin County Auditor Parcel Number 222-002055, located to the west of and adjacent to the intersection of New Albany Road East and West Campus Road (the "Undeveloped Site"), and (c) 1.044+/- acres containing an existing paved parking area and known as Franklin County Auditor Parcel Number 222-004975 (the "Parking Lot Site", and collectively with the Existing Building Site and the Undeveloped Site, the "Properties"). The Properties are zoned in the OCD, Office Campus District classification. This request is for a conditional use to be approved for the Properties to allow for the operation of secondary schools and related uses.

In 2021, the City approved a rezoning of other real property that is now owned by Cornerstone and is located to the northwest of the intersection of New Albany-Condit Road and New Albany Road East in close proximity to the Properties. The rezoning was to facilitate the development and construction of a new school campus for Cornerstone Academy, which is a tuition-free public charter school. After that rezoning was approved, Cornerstone entered into a lease with the owner of an existing building located at the southwest corner of West Campus Road and Nacot Place, formerly known as NACOT I. The intent was to provide a temporary location for Cornerstone High School until such time as the new campus could be developed. However, the use of the building was a great fit for the school, and Cornerstone has now determined that it would like to remain on that site permanently. It also seeks to purchase the Properties to expand its campus and, upon receipt of this conditional use approval, would exchange its former campus site with The New Albany Company, who will convey the Undeveloped Site to Cornerstone. NACO is pursuing a rezoning of Cornerstone's former campus site to a Limited General Employment, L-GE zoning classification as part of a separate application.

The acquisition of the Existing Building Site will allow for Cornerstone High School to move into the existing building located thereon, and the building at the southwest corner of West Campus Road and Nacot Place will then become home to a middle school for grades six through eight. The conditional use for a secondary school on the Existing Building Site will accommodate the high school, while the existing approved conditional use will accommodate the middle school. Moreover, the conditional use being requested for the Unimproved Parcel and the Parking Lot Parcel is intended to provide space for uses which are accessory to and in support of the schools. Immediate plans call for athletic fields and concession stands to be located on that land near an existing small parking lot.

The number of employees for each building is a combined estimate of 75. Projected enrollment for the high school and middle school two buildings are as follows:

Enrollment Projections							
2024-2025 2025-2026 2026-2027							
6-8th grade	325	350	400				
9-12th grade	250	300	325				

Traffic flow would be handled through two north entrances to the campus. As seen on the attached map, each of these entrances/exits has a prescribed purpose. This traffic flow would be an extension of what is already in place and working efficiently at the existing building.

The athletic field rough sketch is shown on an accompanying drawing. It is illustrative in nature, and final locations for the fields will be subject to final programming and engineering. The drawing shows soccer fields and a small concession stand that would be mainly for catered concessions if water is not available to it.

Section 1115.03 of the Codified Ordinances provides that the Planning Commission is to approve a conditional use if it meets all of the following requirements:

(a) The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.

The fact that secondary schools are conditional uses in the OCD zoning district recognizes the direct and complementary relationship between employment-generating uses and educational uses. In addition, the Properties are adjacent to the existing high school on the NACOT I site and are a short distance from the original site for the Cornerstone school campus, which was rezoned by the City in 2021. The approved conditional use for secondary schools for the existing high school site and the approval of the rezoning of the original campus site recognize that secondary school uses are appropriate in the area.

(b) The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.

The proposed school use on the Improved Site will operate from an existing building that is unoccupied. The presence of athletic fields on the Undeveloped Site will constitute a minor change in the intensity of use there, changing it from an unused green space right now to a largely green area that will be intermittently used for school athletic activities. Ample parking exists on the Properties or adjacent and commonly controlled real property to serve the proposed use. Improvements already exist to accommodate traffic for office uses. An additional secondary school will bring similar impacts to morning peak traffic volume as office

uses, while mostly eliminating afternoon peak impacts. Many of the existing developments and currently operating uses in the area are commercial in nature, typified by large buildings with sizable parking lots. Multi-family residential is located nearby. School uses are very often located near to residential uses, so the proposed use is complementary to the residential communities to the west in the City of Columbus.

(c) The use will not be hazardous to existing or future neighboring uses.

Given that the existing building and related improvements on the property will remain, there will be no changes to the property which will negatively impact existing or neighboring uses. In fact, the impact on those uses will be positive in that it will serve to lessen P.M. peak traffic impacts when compared to other permitted uses that apply to the site. Any impacts from this use will not differ substantially from those which would arise from other permitted uses of the site.

(d) The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

The City has already made significant investments in the construction of a robust public street system which serves the area in which this property is located. Water and sanitary sewer infrastructure already serve the Properties. Police and fire protection will not be impacted any more significantly than other permitted uses.

(e) The proposed use will not be detrimental to the economic welfare of the community.

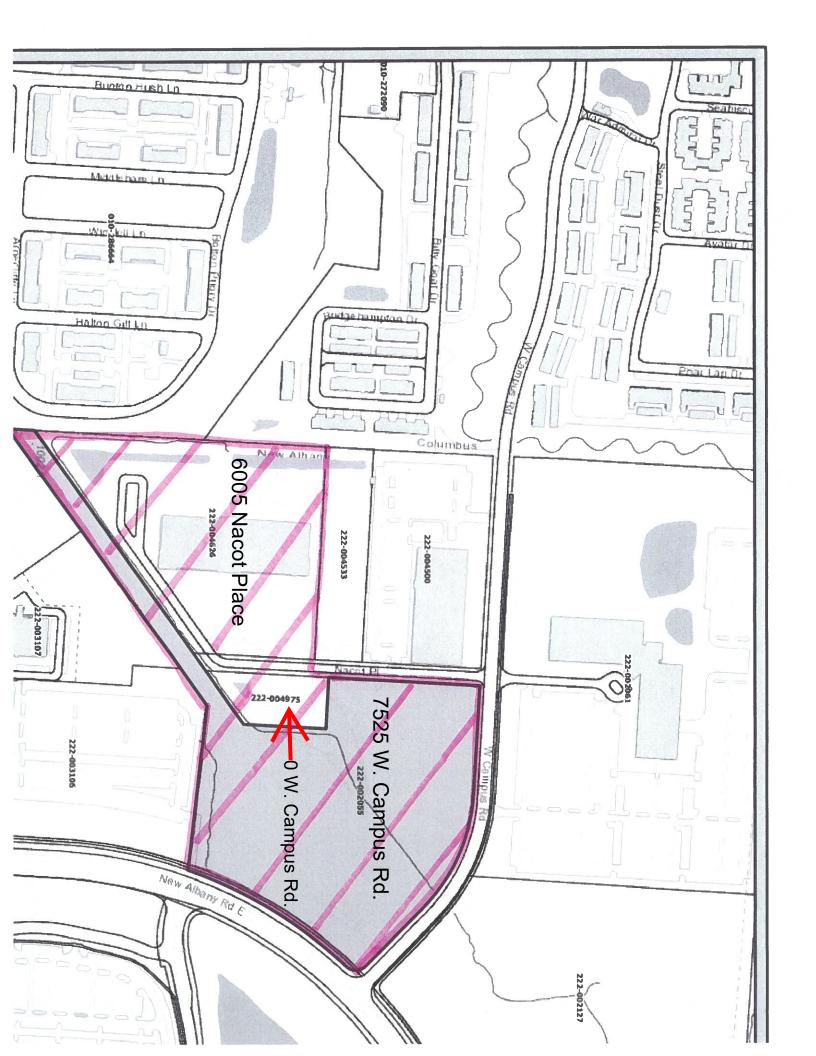
The proposed conditional use will bring economic benefit to the community by bringing new teaching, administrative, and other supporting jobs to a building that is vacant.

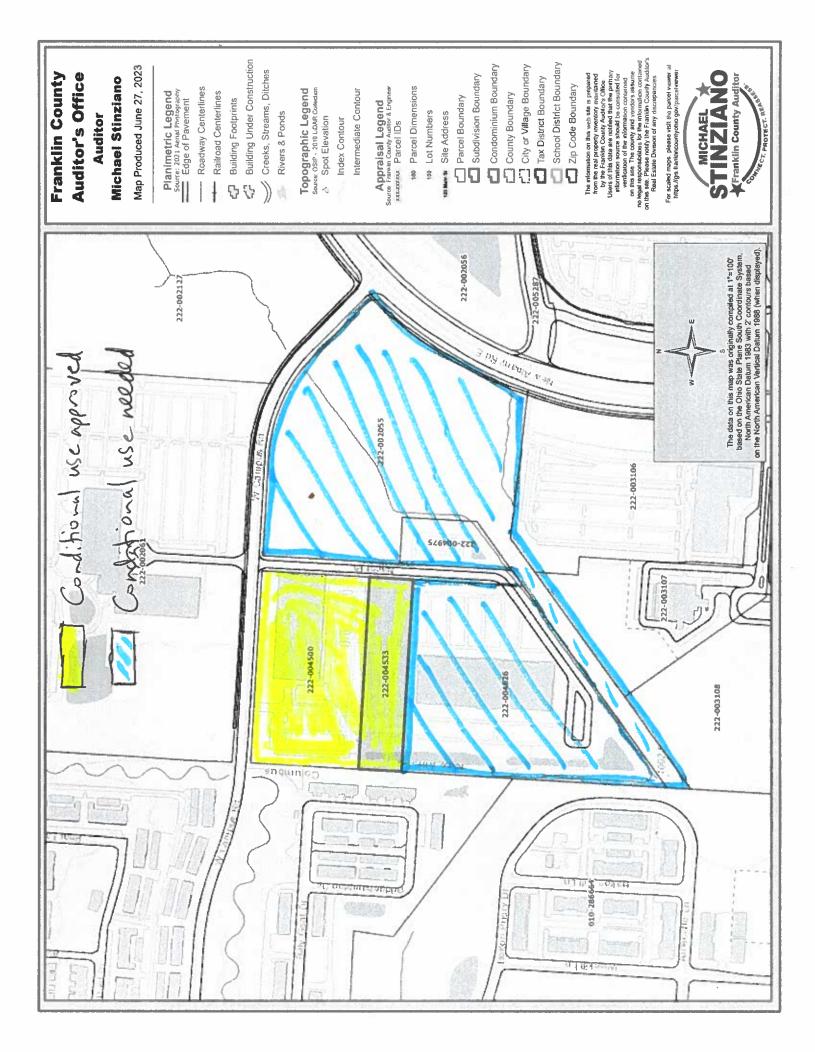
(f) The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The conditional use will not involve any such conditions. It will operate as a school in a customary fashion with typical impacts to the community.

(g) Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.

Vehicular approaches to the property are already in existence and will not be modified with this use.







AFFIDAVIT OF FACTS

I, Aaron L. Underhill, in my capacity as attorney for the applicant listed on the conditional use application pertaining to 22.994+/- acres known as Franklin County Parcel Numbers 222-004975, 222-004626 and 222-002055 being first duly sworn, do hereby state and depose the following:

That accompanying this affidavit is a list of all property owners located within two hundred (200) feet of the parcel(s) that are the subject of the application and their addresses as appearing on the Franklin County Auditor's current tax list; and

That said list is based solely on the records of the Office of the Auditor of Franklin County, Ohio, as provided on its website on or about the date of this affidavit.

Further Affiant sayeth not.

By:

Aaron L. Underhill

Attorney, Underhill & Hodge LLC

STATE OF OHIO COUNTY OF FRANKLIN SS.

The foregoing instrument was acknowledged before me on the day of 2023, by Aaron L. Underhill, who acknowledged the foregoing signature to be his voluntary act and deed.

RA STATE OF CHILLIPS

KIMBERLY R. GRAYSON Notary Public, State of Ohio My Commission Expires 01-11-2026

My Commission Expires:

APPLICANT:

Cornerstone Academy Community School 6015 Walnut Street Westerville, OH 43081

PROPERTY OWNER(S):

NACOT II LLC 1533 Lake Shore Drive Columbus, OH 43204 The New Albany Company LLC 8000 Walton Parkway, Suite 120 New Albany, OH 43054

ATTORNEY:

Aaron L. Underhill Underhill & Hodge LLC 8000 Walton Parkway, Suite 260 New Albany, Ohio 43054

SURROUNDING PROPERTY OWNERS:

LC Farms at New Albany Park LLC 230 West Street, Suite 200 Columbus, OH 43215 Grant Junge 5795 Bridgehampton Drive New Albany, OH 43054

Brian Stark 5797 Bridgehampton Drive New Albany, OH 43054 Courtney Cormican 5799 Bridgehampton Drive New Albany, OH 43054 Kevin David Burns 5801 Bridgehampton Drive New Albany, OH 43054

Brent Andrews 5803 Bridgehampton Drive New Albany, OH 43054 Victoria Allen 7291 Billy Goat Drive New Albany, OH 43054 Admassu Amare 7293 Billy Goat Drive New Albany, OH 43054

Amanda Spears 7295 Billy Goat Drive New Albany, OH 43054 Lukas Shininger 7297 Billy Goat Drive Unit 65-7297 New Albany, OH 43054

Gregory Cook 7299 Billy Goat Drive New Albany, OH 43054

Samuel Geoffrey Coulter 7301 Billy Goat Drive New Albany, OH 43054

Lisa Ohler 7303 Billy Goat Drive New Albany, OH 43054 Leslie Najjar 7280 Billy Goat Drive New Albany, OH 43054

AMD Realty Series LLC 5003 Keefer Lane Grove City, OH 43123 Stephen Zimmerman and Jean Jennifer Roach 7302 Billy Goat Drive New Albany, OH 43054

New Albany Portfolio II LLC 101 W. Big Beaver Road Troy, MI 48084

Discover Properties LLC 2500 Lake Cook Road Riverwoods, IL 60015 David Morris and Michael Bower 7306 Billy Goat Dr. New Albany, OH 43054 Bryan Cheuvront 5215 Owl Creek Drive Westerville, OH 43081

Brei Miller 7288 Billy Goat Dr. New Albany, OH 43054	NACOT I LLC 1533 Lake Shore Drive Columbus, OH 43204	New Albany Portfolio LLC 101 W. Big Beaver Road Troy, MI 48084
Allison Grossett 5844 Bunton Hush Lane New Albany, OH 43054	Michael Filkins 7314 Billy Goat Dr. New Albany, OH 43054	Momentum Realty LLC 6660 N. High Street, Suite 3K Worthington, OH 43085
ASC New Albany Surgical Properties LLC 6520 W. Campus Oval New Albany, OH 43054	New Albany Business Park LLC 2860 Fisher Road Columbus, OH 43204	



Planning Commission Staff Report November 20, 2023 Meeting

WOODHAVEN SUBDIVISION LOT 52 MODEL HOME CONDITIONAL USE

LOCATION: 7275 Steeple Chase Lane North (PID: 222-005343)

APPLICANT: Bobb Webb Group c/o Kirk Denyes

REQUEST: Conditional Use

ZONING: Woodhaven I-PUD Zoning District

STRATEGIC PLAN: Residential District APPLICATION: CU-108-2023

Review based on: Application materials received October 20, 2023 and November 1, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

The applicant requests conditional use approval for a residential model home to be located on lot 52 within the Woodhaven subdivision. The model is for the age-restricted home type which is permitted to be developed in the subdivision. The applicant requests the conditional use to be approved for a period of two years.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 7, 2021 (ZC-15-2021) and the zoning change was adopted by city council on July 7, 2021 (O-22-2021). The Planning Commission approved the final development plan for the subdivision on September 20, 2021 (FDP-83-201).

There is an additional conditional use application for a traditional single-family model home on the November 20th Planning Commission meeting agenda which is evaluated under a separate staff report CU-109-2023.

II. SITE DESCRIPTION & USE

The Woodhaven subdivision is located at the southwest corner of Bevelhymer Road and Walnut Street. The site is located immediately east of the Upper Clarenton subdivision, generally south the Rocky Fork Metro Park and Bevelhymer Park. All of the public streets have been installed in the subdivision and there are several homes actively under construction.

III. EVALUATION

General Standards for Conditional Uses (C.O. 1115.03)

The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location shall meet all of the following requirements:

- (a) The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.
- (b) The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.

- (c) The use will not be hazardous to existing or future neighboring uses.
- (d) The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.
- (e) The proposed use will not be detrimental to the economic welfare of the community.
- (f) The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- (g) Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.

<u>Residential model homes</u>. Per Code, these are newly constructed homes or temporary structures placed in a newly constructed subdivision and used by a homebuilder or developer to display home styles and lot availability in a subdivision to promote the sale of new housing units. The model home may be staffed and furnished. (C.O. 1165.11)

The criteria and the applicability of this application are detailed below (Section 1165.11(a)):

- 1. Appropriate location within the community. The proposed model home is located on lot 52 in the subdivision, addressed off of Steeple Chase Lane North. The model home is located close to the subdivision entrance when entering from Bevelhymer Road using Woodhaven Drive. The proposed location appears to be appropriate as it is easily accessible and identifiable when entering the subdivision. Additionally, the home is accessible by sidewalks and leisure trail adjacent to the site.
- 2. It is integrated in the existing community with customary exterior residential lighting. The home utilizes coach lighting fixtures consistent with the style and architectural features present on the other homes planned within the subdivision. The building permit for the home was approved by staff and constructed with a double wide garage door. Per Woodhaven zoning text section XI(A)(3), front loaded garages are required to use single bay doors with a minimum width of 9 feet and a maximum width of 10 feet. The applicant has been made aware of this requirement and its current condition. The city staff recommends a condition of approval that the model home is allowed to be operated within the building but the garage must be corrected to meet code requirements, or request and receive approval for a variance before it is converted and sold for private use (condition #3).
- 3. The use is approved with limited duration.

 The applicant states that they would like to utilize the model home until all lots within the community have been sold or for a period of time no less than 2 years. Historically, the Planning Commission has approved conditional uses for other model homes within the community for 1-3 years depending on the size of the subdivision. Since this model is utilized for 22 age restricted lots in the subdivision, staff recommends the model home approval be permitted for two (2) years and that any extension in time is subject to review and approval by the Planning Commission (condition #1).
- One sign is permitted.
 The applicant proposes to install one ground sign which is evaluated in the staff report below.
- 5. Shall not be used as a general real estate brokerage office.

 The applicant states that the model home will not be used as a general real estate brokerage office.

The Planning Commission is also to consider the following (1165.11 (b)):

1. Hours of operation

The model home will operate Thursday through Monday, from 12:00pm to 5:00pm which is generally consistent with other model homes that have been approved by the Planning Commission.

- 2. Number of employees and maximum number of employees at the site at one time. The applicant states that there will be one employee for both of the proposed model homes in the subdivision.
- 3. Provisions for parking for employees and customers

 The applicant states that staff and customers will park on the driveway and use on street parking which is permitted in the subdivision.
- 4. Size, lighting, content and location of signage C.O. 1169.10(e) of the city sign code permits one (1) sign not to exceed 6 square feet in size and no taller than 4 feet. Model home signs are not permitted to be illuminated and must be setback 10 feet from the adjacent street right-of-way. The applicant proposes to install a model home sign with the following dimensions. <u>Staff recommends a condition of approval that the sign be revised to meet all code requirements found in C.O.</u> 1169.10(e) (condition #2).
 - *a)* Size: 12 sq. ft. [does not meet code. City code allows a maximum area of 6 sq. ft].
 - b) Height: 4.5 feet [does not meet code. City code allows a maximum height of 4 feet].
 - c) Location: The location of the sign is not indicated on the site plan. The sign is required to be setback 10 feet from the street right-of-way per C.O. 1169.10(e).
 - d) Lighting: none proposed [meets code].
- 5. Landscaping and screening

The applicant installed landscaping in landscape beds in front of and behind the home. In addition, evergreen trees and a deciduous tree has been installed along the rear property line as well as screening around the mechanical units located on the side of the home. All of the landscaping is complimentary and generally consistent with other residential homes in New Albany. According to the approved building permit plans, 3 street trees are to be installed within the street yard in front of the home.

V. SUMMARY

Basis for Approval:

If the recommended conditions of approval are met, the proposed model home is consistent with code requirements. Additionally, the operational aspects of the proposed model home are consistent with other model homes that have been approved to operate in New Albany.

VI. MOTION

Should the Planning Commission find that the application meets sufficient basis for approval, the following motion would be appropriate:

Move to approve conditional use application CU-108-2023, subject to the following conditions:

- 1. The model home is permitted to operate for a period of two (2) years and any extension in time is subject to review and approval by the Planning Commission.
- 2. The model home sign must be revised to meet all code requirements found C.O. 1169.10(e).
- 3. The model home is allowed to be operated within the building but the garage must be corrected to meet code requirements, or request and receive approval for a variance before it is converted and sold for private use.

Approximate Site Location:



Source: NearMap

Permit #	
Board	
Mtg. Date	



Community Development Planning Application

	Site Address 7275 STEEPLE	CHASE I	-AME	NORTH/LE	OT 52 WOODHAVEN
	Parcel Numbers 222-005			,	
	Acres				
			Circle a	ll Details that Ap	ply
Project Information	□□Appeal □□Certificate of Appropriateness □□Conditional Use □□Development Plan □□Plat □□Lot Changes □□Minor Commercial Subdivision □□Vacation □□Variance □□Extension Request □□Zoning	Preliminary Preliminary Combination Easement Amendment (re		Comprehensive Adjustment Street Text Modificati	
	Description of Request: LOT 52 NOOTHIED WITH ASSOCIATED STREET	TONAL UST BOUT GAN PANKING	FOR CON	MODEL HOI	ME LOCATION 2 SALES OFFICE
Contacts	Property Owner's Name: Address: City, State, Zip: Phone number: Email: Port Operation City State, Zip: LEWIS CE Address: LEWIS CE Addres	NEBBY NEBBY NTER OF 12355 25 @ BOBY	PAL D 410,4°	AVEN, LL DR 3035 Fax: N/	C /A
Con	City, State, Zip: LEWS CR	OKTA CENTENT, OF	1 430	DRIVE 35 Fax: N)/A
Signature	Site visits to the property by City of Ne The Owner/Applicant, as signed below, employees and appointed and elected or described in this application. I certify the true, correct and complete.	, hereby authoriz fficials to visit, p	es Village o hotograph a	of New Albany rep and post a notice o	oresentatives, on the property
	Signature of Owner Signature of Applicant	ule	A		Date: 9/23/23

City of New Albany Planning Commission 99 West Main Street PO Box 188 New Albany, OH 43054

RE: Application for Conditional Use for a Model Home to be located on lot 52 and associated Street parking to be located on Woodhaven Community.

Below is the requested documentation for our conditional use application for the model home to be located at the Woodhaven Community

Legal Description: See Attached

Description of existing use: New Single-Family Residence

Present zoning district: I-PUD

Description of proposed conditional use:

The model home/sales center WITHOUT Garage Converted to Office

A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading area, traffic circulation, open spaces, landscaping, refuse, and service areas, utilities, signs, yards, and such other information as the Commission may require to determine if the proposed conditional meets the intent and requirements of this Ordinance:

Please see Attached House Plans, Plot Plan & Landscape Plan

A narrative statement evaluating the effects on adjoining property; the effect of such elements as noise, glare, odor, light, fumes, and vibration on adjoining property; a discussion of the general compatibility with adjacent and other properties in the district.

No **O**ccupied Homes Currently Exist in the Community. Homes would not cause any Noise, Glare, Fumes Vibrations, Etc.

- The names and addresses of all property owners within 200 feet, contiguous to, and directly across the street from the property, as appearing on the Franklin County's Auditor's current tax list. The applicant shall also provide the addresses of all property within the above reference boundaries:

Please see attached Ilustration indicating the 200' buffer to adjoining property . All property within this buffer area is owned by the Bob Webb Woodhaven LLC. 7662 North Central Drive Lewis Center, Ohio 43035

- Such other information regarding the property, proposed use, or surrounding area as may be pertinent to the deliberations of the Planning Commission.

The model home will be visible and easily accessible as you enter the community on Woodhaven Drive. The model home will integrate within the residential character of the neighborhood. The home will have coach lights.

It is our intention to staff the sales office with a sales representatives. The hours of operation will be from Noon to 5 PM Thursday thru Monday The sales center shall not be used as a general real estate brokerage office where the sale of properties not owned or previously owned wholly or in art by the applicant occurs.

Parking spaces for access to the sales model will be available on Street Additional Public Sidewalks Have Been installed to Serve Those Spots

Bob Webb Homes would like to request that the Planning Commission approve the use of this home as a sales model until which time that all lots within the community have been sold or for a period of time deemed appropriate by the Planning Commission not to be less than two years.

Respectfully Submitted,

<Kirk E. Denyes
Director of Design &
Development Bob Webb Homes

Chapter 1165.11 - MODEL HOME STANDARDS

- (a) When making its decision to approve, disapprove or approve with conditions an application for a residential model home, the Planning Commission shall consider that the model home:
 - (1) Is appropriately located within the community and sited so that it is easily accessible without creating a nuisance or hazard to nearby properties.

Lot 52 is immediately at the End of Woodhaven Dr., The Eastern access to the Development off of Bevelheymer. Lot 28 is immediately at the End of Haven Green Lane., The Northern access to the Development off of Walnut.

(2) Is integrated into the residential character of the neighborhood with external lighting in conformity with customary residential lighting.

The Models will Have Coach lights on the Garages, as will the Homes built in the Development. No additional lighting is Proposed for the Models.

(3) Is approved with a limited duration which shall be determined by the Planning Commission after consultation with the applicant. Extensions of time may be granted by the Planning Commission, but decisions must be based on the same criteria as outlined in this section.

Request for Model Permit is 24 Months Each.

(4) Is identified by no more than one sign which shall be in compliance with regulations governing signage.

One Sign is Proposed at Each Model. Drawing attached.

(5) Shall not be used as a general real estate brokerage office where the sale of properties not owned or previously owned wholly or in part by the applicant occurs.

Models Will be Used for Sales of Bob Webb Homes, Exclusively. No resale Activity will be performed at either Location.

- (b) The Planning Commission shall also consider and may set conditions on the following as part of its decision to allow a residential model home:
 - (1) Hours of operation.

12-5 PM Thursday Thru Monday

(2) Number and types of employees; and maximum number of employees to be on the site at any one time.

Model to be staffed with One (1) Bob webb Employee for the Purpose of Selling Homes in this Community.

(3) Provisions for parking for employees and customers.

Staff & Customers will park on the Driveways & on street Parking. Additional Sidewalks Have been installed to aid in On street Parking, As requested by Staff. Exhibits Submitted

(4) Size, lighting, content and location of signage (no internally lighted signage shall be permitted).

Model sign will be unlight. Sign Graphics & Locations Attached.

(5) Landscaping and screening.

Landscape Plans Attached.

(6) The use of temporary sales offices (i.e., manufactured homes, mobile homes or trailers) on the site of a newly constructed subdivision shall be discouraged.

Model requests Are for Single Family Home Structures. No Trailers, Mobile Homes are Proposed

- (c) In addition to the above-listed criteria for model homes, permission to occupy a temporary sales office for the purpose of home and lot sales within a newly constructed subdivision shall be granted only if the following conditions are met:
 - (1) Such facility is located on a main arterial roadway or highway.

Model Homes are Located with Direct Access to Bevelheymer Road & Walnut.

(2) Such facility is substantially screened by the use of landscaping and/or mounding.

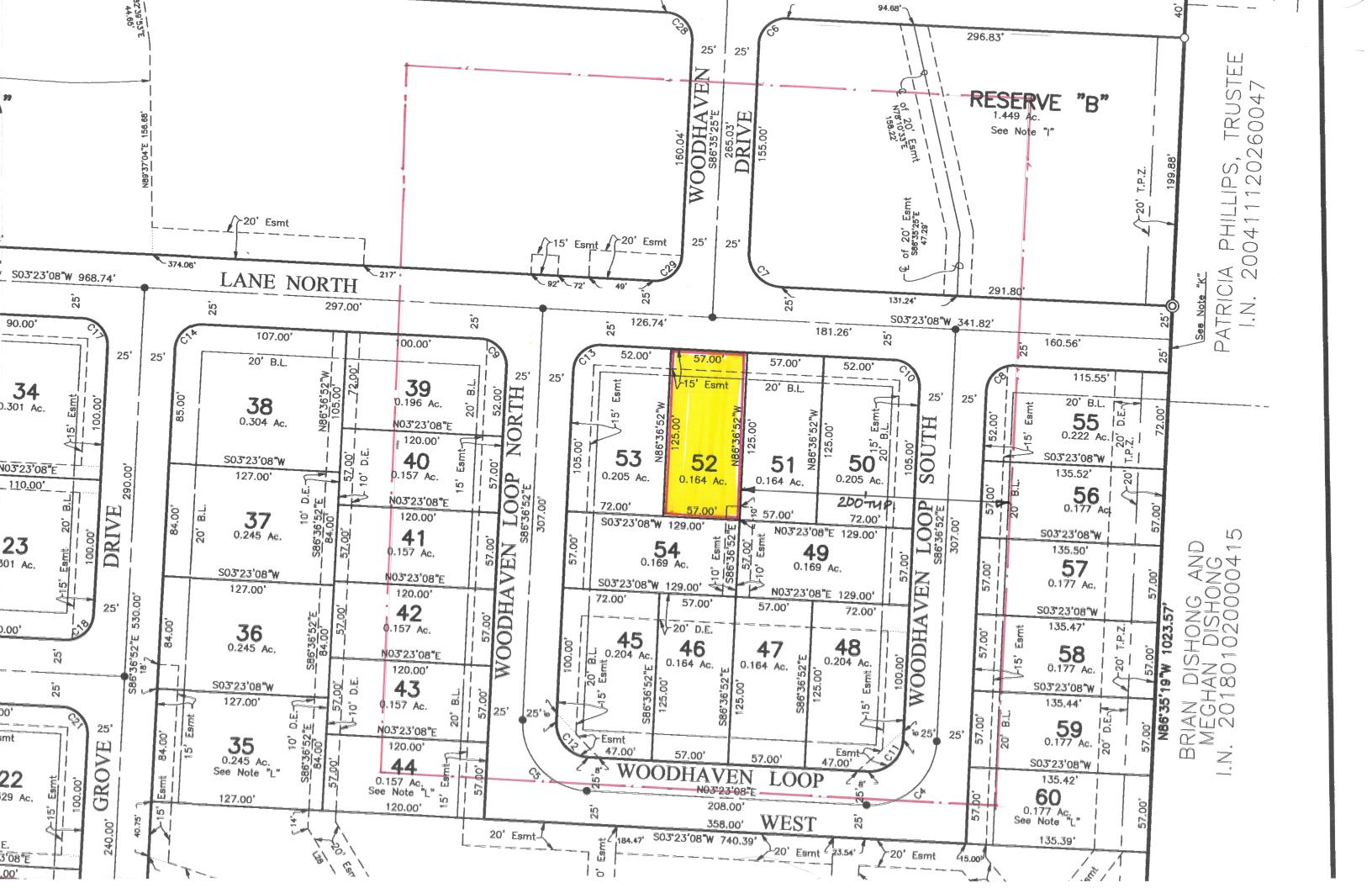
Each Home is Extensively Landscaped, Plans Attached. Also Screened from Main Arteries With Green Space & Additional Landscaping

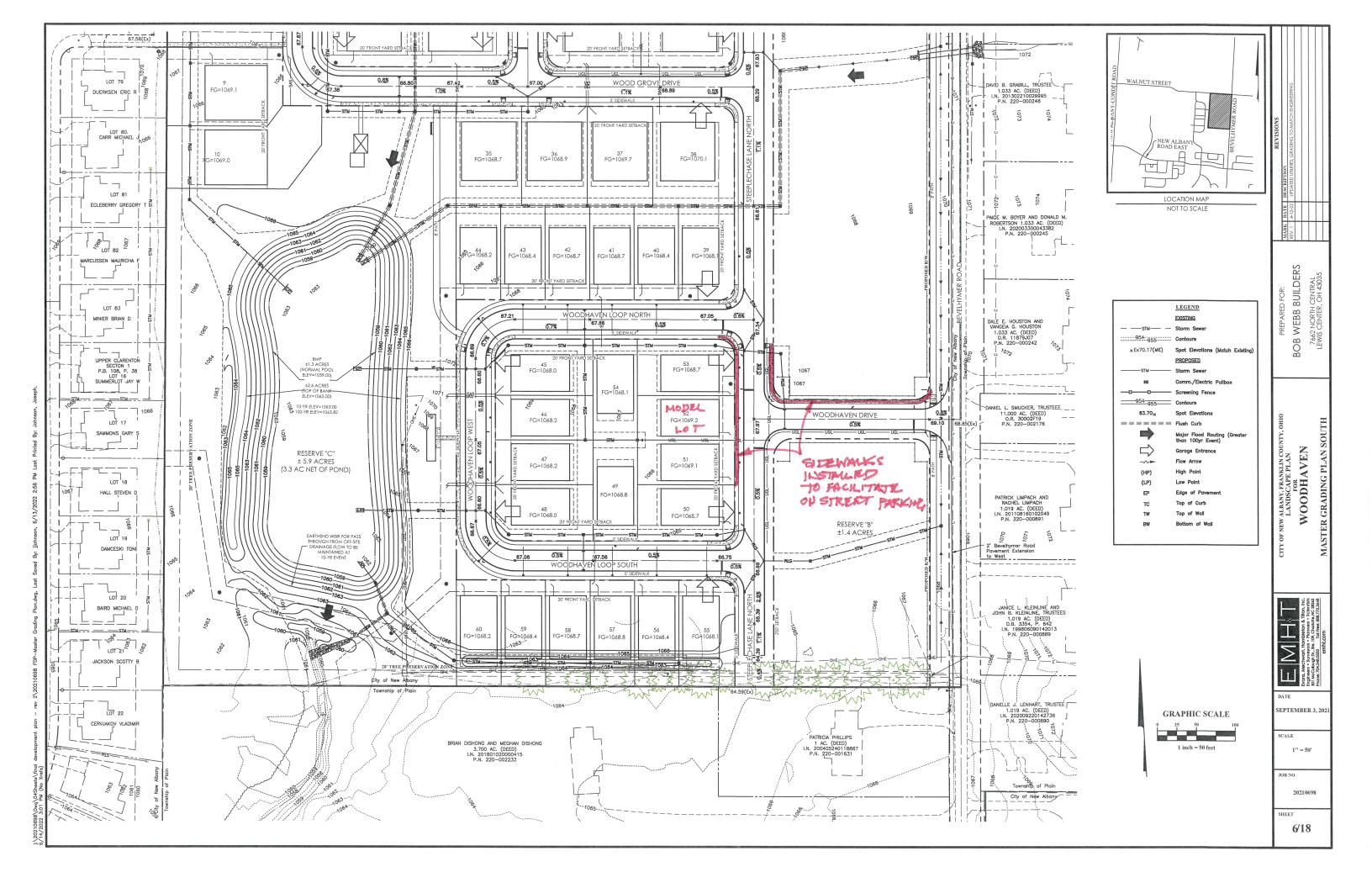
(3) Such facility shall not create a nuisance to surrounding properties.

Models are proposed with Limited Hours as to not Bring excessive traffic to the Neighborhood. Model will not produce excessive noise or Any noxious Fumes.

- (4) Such other conditions as the Planning Commission deems appropriate.
- (5) Sales offices in trailers or mobile homes are permitted for a duration of twelve (12) months. Users of such facilities may apply to the Planning Commission for an extension of an additional twelve (12) months.

Trailer or Mobile Office are NOT Proposed.







LANDMARK SURVEY GROUP, INCORPORATED

690 LAKEVIEW PLAZA BLVD, SUITE A, WORTHINGTON OH.43085 PHONE: (614) 485-9000 WWW.LANDMARKSURVEY.COM

EVISIONS	DESCRIPTION

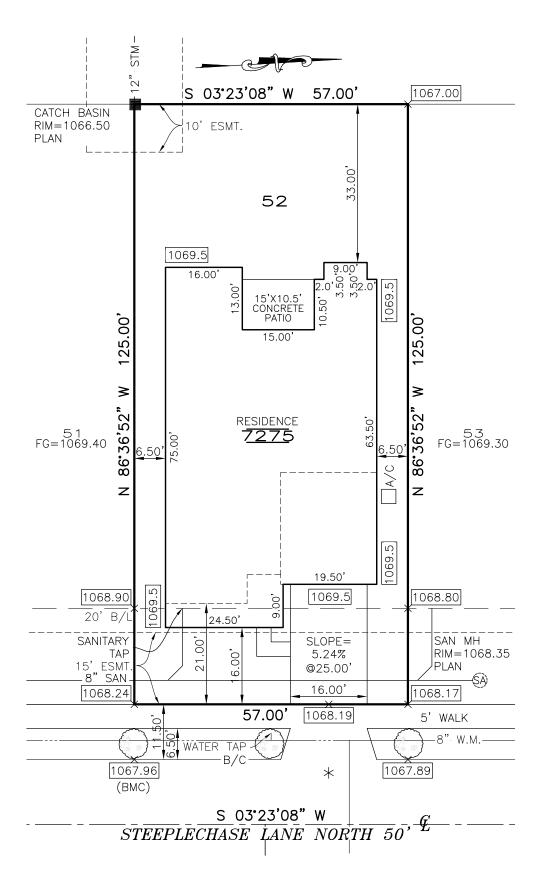
ORDER NO. WHVN1-28

DATE: 12/19/22

FOR_ BOB WEBB ____ HOUSE STYLE <u>CUSTOM</u> COUNTY OF <u>FRANKLIN</u> LOT/SUBDIVISION 52 WOODHAVEN _____ CITY/TWP OF <u>NEW ALBANY</u>

SCALE 1"= <u>20'</u> DRAWN BY: <u>AB</u> ADDRESS 7275 STEEPLECHASE LANE NORTH

MINIMUMS: R: <u>25'</u> S: <u>5'</u> BK: UNREC. PG:UNREC.



ENGINEERING PLANS AND SUBDIVISION PLAT INFORMATION UNSIGNED AND MAY NOT BE COMPLETE. UNDERSIGNED IS NOT RESPONSIBLE FOR ANY CHANGES THAT MAY OCCUR ONCE PLANS ARE FINALIZED AND SIGNED.

LOT CALCULATIONS ARE FOR ESTIMATING PURPOSES ONLY AND SHOULD BE VERIFIED BY THE BUILDER OR CONTRACTOR.

LOT CALC	ULATIONS
LOCATION	S.F.
LOT	7125
HOUSE	2928
DRIVE	400
APPROACH	197
SER WALK	30
WALK	205
SOD	3837
LOT COVER.	41.09%

THIS PROPERTY IS LOCATED IN FLOOD ZONE <u>X</u>.
MAP NO. <u>39049C 0206K</u>. EFF. DATE: <u>06/17/2008.</u>

* STABILIZE CONSTRUCTION ENTRANCE.

BOB WEBB SLAB FINISH FLOOR = 1070.17FINISH GRADE= 1069.50 GARAGE PAD= 1069.50 TOP OF FOOTER= 1069.17 DRIVE SLOPE DISTANCE= 25.00

BUILDER TO INSTALL AND MAINTAIN EROSION CONTROL THROUGHOUT ALL PHASES OF CONSTRUCTION. FIELD MODIFICATIONS MAY BE NECESSARY.

WE HER PLOT PL INFORMAT AND DAT, SUBDIVISION TO BE US SOLE PUR, PERMIT. TH ANY OTHER S-8047

SCOTT D. GRUNDFI REGISTERED WE HEREBY CERTIFY THAT THE FOREGOING PLOT PLAN WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND DATA OBTAINED FROM ENGINEERED SUBDIVISION PLANS. THIS PLOT PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. THE USE OF THE PLOT PLAN FOR ANY OTHER USE IS STRICTLY PROHIBITED.

DATE

Mrundei 12/19/22 SCOTT D. GRUNDEI, P.S. REGISTERED SURVEYOR NO. 8047

Floor Plan General Notes 1. All interior walls are 2x4's @ 16" o.c. u.n.o. 2. All exterior walls 1st/2nd floor 2x6's @ 16" o.c. u.n.o. 3. All interior walls are dimensioned to stud 4. All exterior walls are dimensioned to stud interior and outside of sheathing exterior 5. Provide firestopping to cut off all concealed draft openings (both vertical & horizontal) and to form an effective fire barrier between stories, and between a top story & roof space. Firestopping shall be provided in wood framed construction in the following locations: A. in concealed spaces of stud walls & partitions including furred spaces @ the clg. & floor level B. At all interconnections between concealed vertical & horizontal spaces such to occur at soffits, drop clgs. C. In concealed spaces between stair stringers at the top & bottom of the run. D. At openings around vents, pipes, ducts, chimneys, & fireplaces @ clg. and floor level, with non-combustible matl. 6. Wall bracing 7/16" exterior grade OSB sheathing- entire elevation skin. 7. All openings to have double 2x frames with jambs set vertical 8. Provide min. (3) solid 2x4 wood stud column under concentrated point loads from beam and lintel loads (4) 2x4 wood stud column over 6' lintel length u.n.o., provide complete bearing surface and continue down through walls to foundation 9. Provide double 2x top plates of all partitions 10. Provide solid wood blocking or 16 ga. galvanized cross bridging @ 8'-0" o.c. for all floor joists Provide solid wood blocking @ 8'-0" o.c. for roof rafters 11. All exterior door hts. are 8' 0" uno. Interior Door hts. are 8'0" uno finished trim of windows & doors should align 12. Provide flashing over all horizontal trim boards 13. Use Simpson 16 ga. joist hangers for all joist connections u.n.o. 14. First Floor design load..... 10#/s.f. dead load Second Floor design load......40#/s.f. live load 10#/s.f. dead load 15. Lumber Grades, Unless noted otherwise all wood framing shall have the minimum values: Fb=1509 (repetitive) up to 2 x 4 (#2 SPF) E = 1.4Fb=1308 (repetitive) 2 x 6 2 x 8 Fb=1208 (repetitive) 2 x 10 2 x 12 Fb=1107 (repetitive) Fb=1006 (repetitive) (#2 SYP) E = 1.6up to 2 x 4 Fb=1725 (repetitive) (#2 SYP) E = 1.62 x 6 Fb=1440 (repetitive) 2 x 8 Fb=1380 (repetitive) Fb=1208 (repetitive) Fb=1120 (repetitive) LAMINATED BEAM (LVL) as manuf. by Truss-Joist or eq. Fc=750 16. For all laminated beams (maunfactured) refer to supplier beam sheets & specs 17. Provide 22" x 30" attic access to spaces over 30" in ht. 18. interior clg. hts. as noted in plan 19. Foam plastic shall be seperated from interior by a min. of 1/2" gypsum bd. 20. wall bracing 7/16" ext. grade OSB sheathing continuous structural panel sheathing per RCO table 602.10

BOB WEBB HOMES LOT 52 Woodhaven

Front Elevation



Building Code Information

Applicable Codes:

Building Code: Re
Plumbing Code: Ch
Mechanical Code: Ch

Electrical Code:

Residential Code of Ohio (R.C.O.)- 2019
Chapter 44 Code of Ohio except as modified in section 2501.1
Chapters 12-14 Code of Ohio except as modified in section 2501.1
National Electric Code - 2017

Climate & Geographical Design Criteria												
ROOF SNOWLOAD (* PER S.F.)	WIND DESIGN (* PER S.F.)	SEISMIC CONDITIONS		PAMAGE FROM FROST DEPTH	TERMITE	DECAY	WINTER DESIGN-TEMP	ICE SHIELD DEPLOYMENT REQUIRED	AIR FREEZING INDEX	MEAN ANNUAL TEMP,	FLOOD HAZARDS	FLOOD HAZARDS
20	115MPH/20.7P6F	Д	SEVERE	36"	MODERATE TO HEAVY	SLIGHT TO MODERATE	-5 DEG. F.	YES	1000	50	Д 1/16/19	B 10/18/83

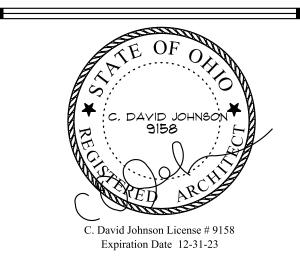
General Requirements

- 1. Builder shall be familiar w/provisions of all applicable codes & insure compliance of work to those codes
- 2. These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction compliance with state and federal regulations regarding safety, and compliance with requirements specified in the Owner/Builder contract is, and shall be, the Builder's responsibility.
- 3. Builder shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques and safety procedures and for coordinating all portions of the work.
- 4. In the event of conflict between local, state, & national codes, the more strringent shall govern.
 - 5. All construction is to be in compliance with the following code: Residential Code of Ohio- 2019
- 6. Square footage calculations as shown in the floor plans include all conditioned space on the first and second floors and measure to the exterior face of the wall. Stairs going to the basement and to the upper floors are included and are only counted once. Garage, basements, unfinished attics, fireplaces extending beyond the exterior walls, and the upper portion of vaulted & 2-story spaces are not included. Plans adhere to the National ANSI Standard Z765-2003, as recognized by the National Association of Home Builders.



Print Dates:

10/12/2022		
12/15/2022		
12/28/2022		
02/03/2023		
02/13/2023		



BOB WEBB HOMES
Lot 52 Woodhaven

permit submittal set

Cover Sheet

4

Project Information

OCOPYRIGHT 2023 all drawings are and shall remain the property of C. David Johnson, Architect, And may not be used, altered, or duplicated without the written consent of the architect.

c1.0

DDAWING SCHEDIII E

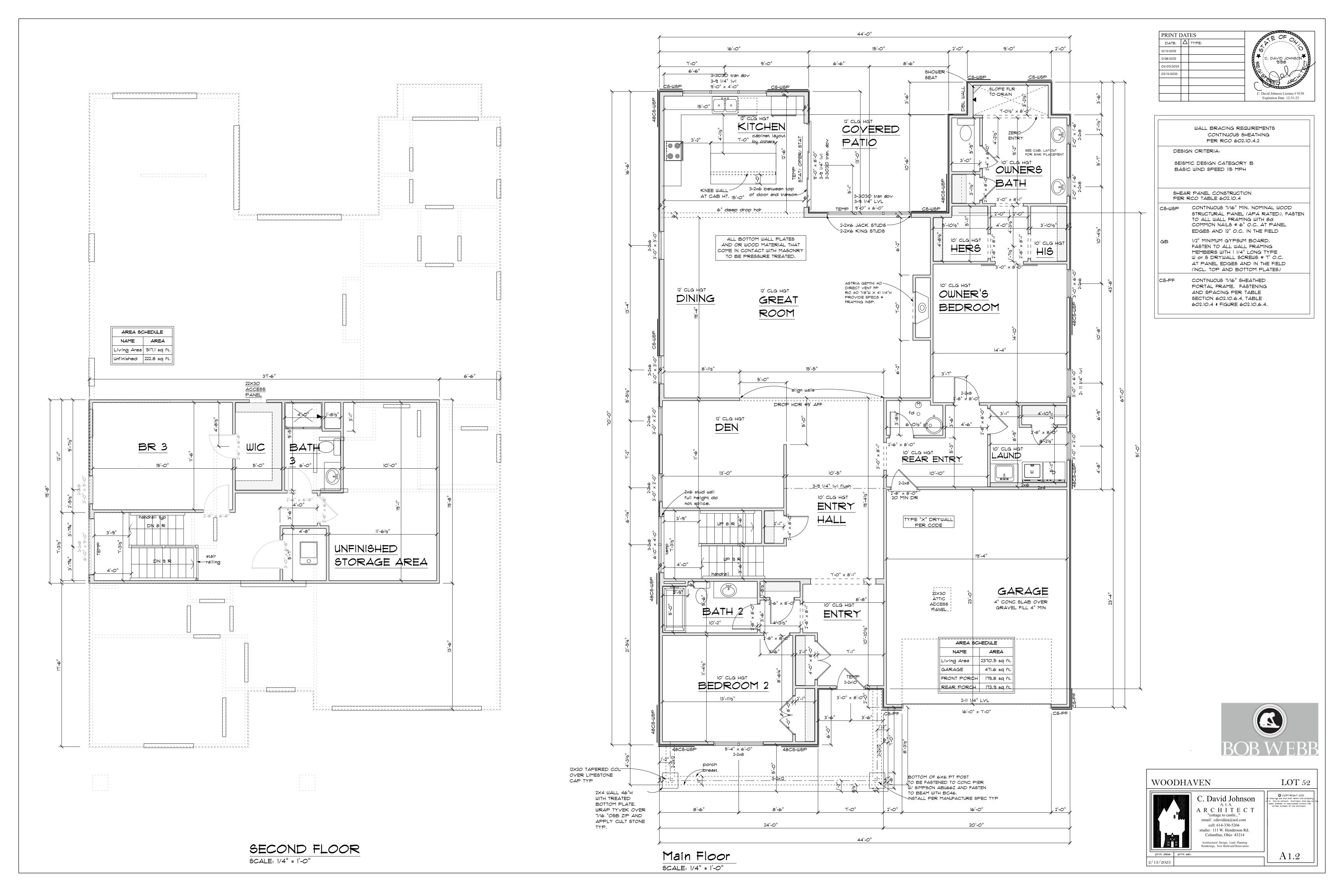
DRAWING	SCHEDU	JLE
Cover Page		•

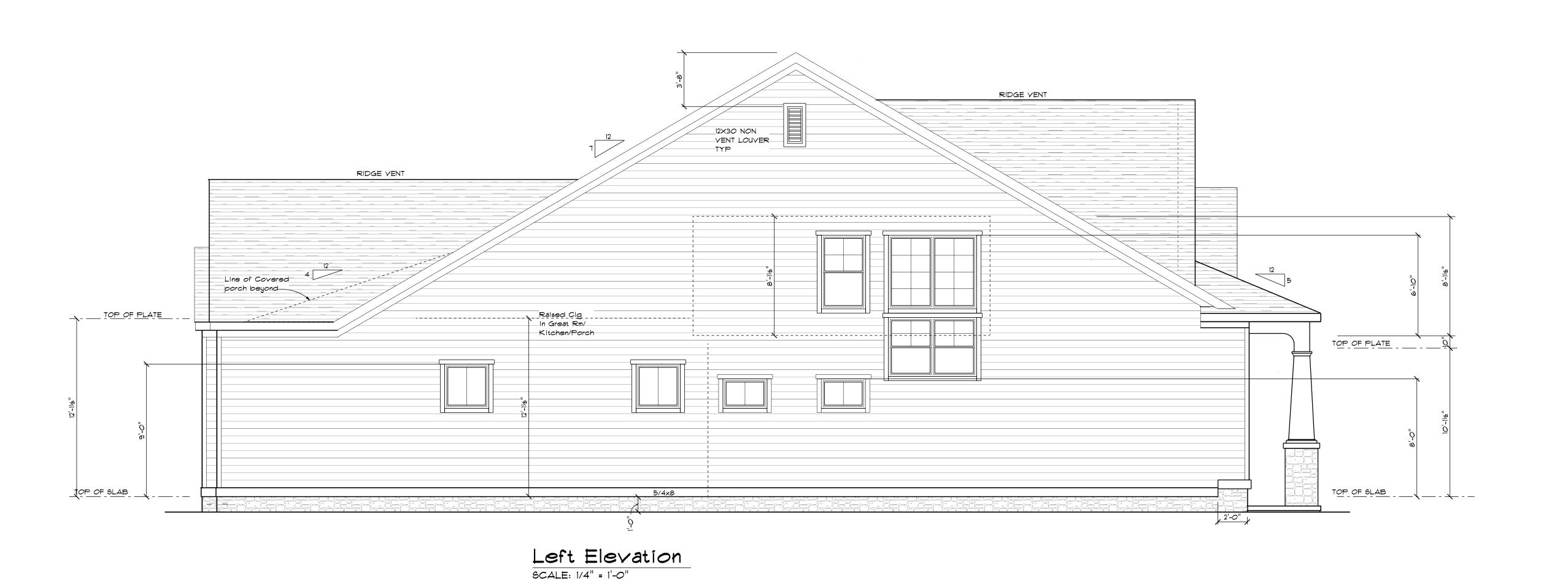
ARCHITECTURAL

Foundation & Roof Plan_ A1.1
Floor Plans_____ A1.2
Elevations - Front & Left_ A1.3
Elevations - Rear & Right_ A1.4
Sections & Schedules___ A1.5

ELECTRICAL

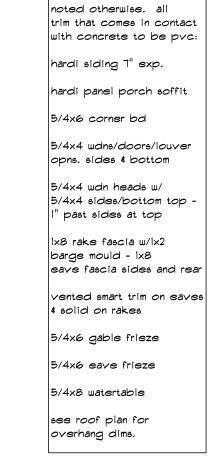
Electrical Plans_____





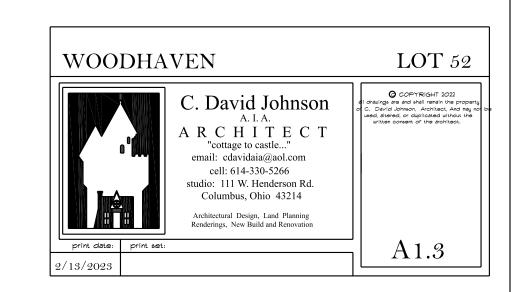


SCALE: 1/4" = 1'-0"



exterior trim unless





PRINT DATES



RIDGEVENT

EXTERIOR TRIM UNO:

SIDING - HARDI SIDING 5/4×4 CORNERS

5/4×4 EXTERIOR OPNS 1×8 FASCIA/2×6 SUBFASCIA

HARDI PANEL PORCH CLG

3030

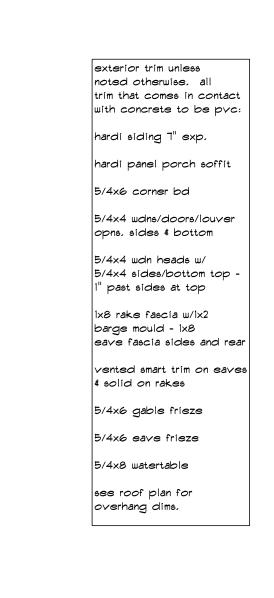
5/4x6

5/4×12

3060

SMART VENT SOFFIT

5/4×6 FRIEZE

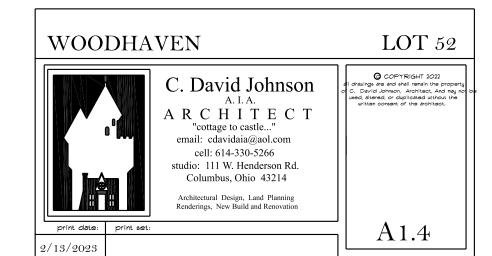


TOP OF SLAB

3030

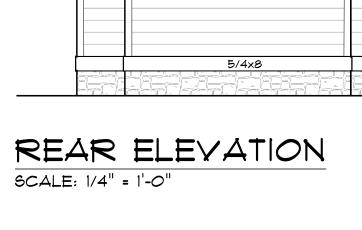
5/4×6 3040





PRINT DATES

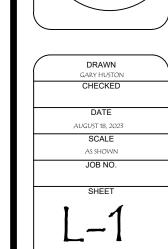
DATE: Δ TYPE:

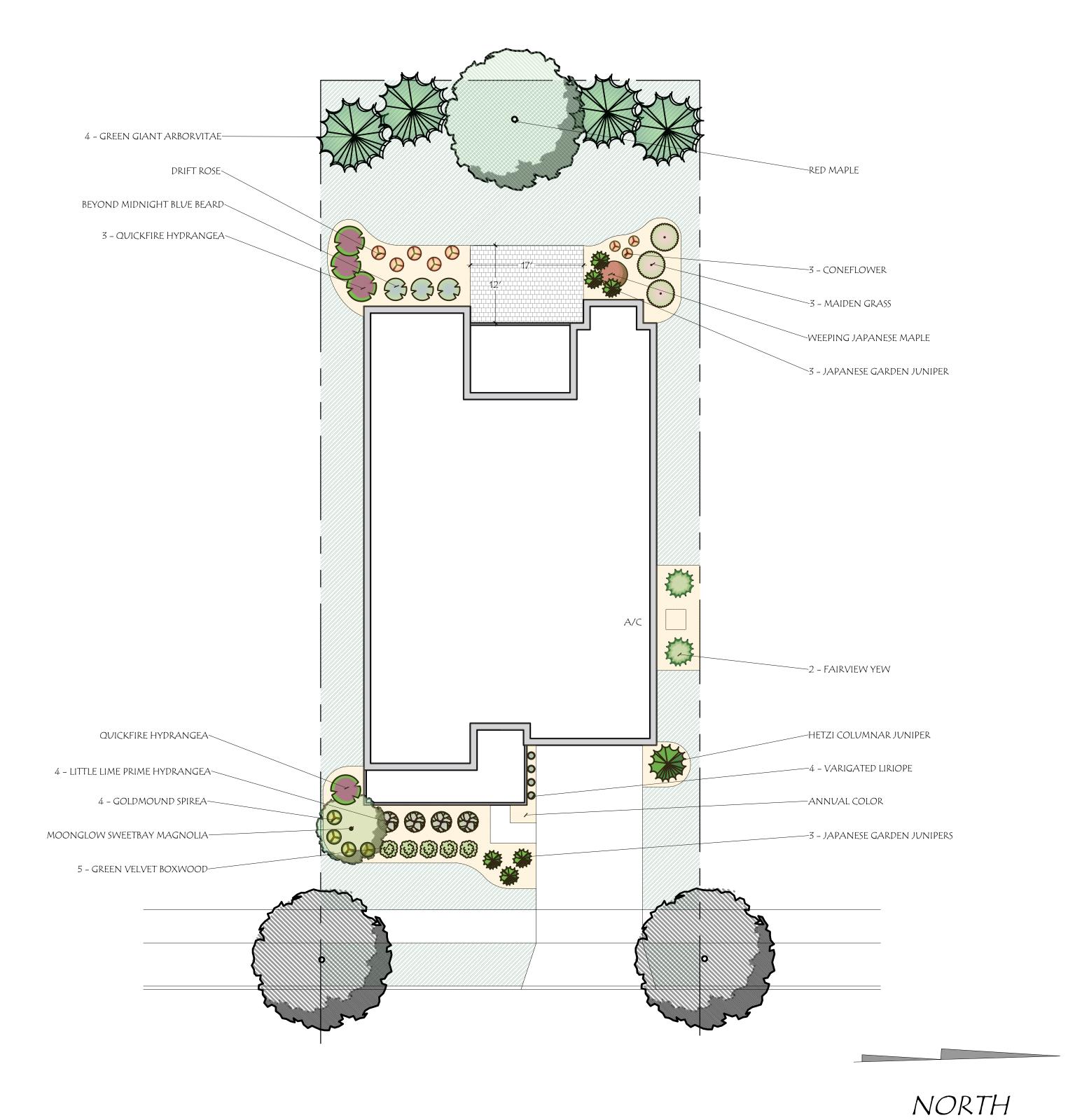


HEEL HEIGHT

Owner's Bath ______

TOP OF SLAB





PLANTING SCHEDULE							
COMMON NAME	BOTANICAL NAME	SIZE	QTY				
SHADE TREES							
RED MAPLE	ACER RUBRUM	2.5"	1				
ORNAMENTAL TREES							
MOON GLOW MAGNOLIA	MAGNOLIA VIRGINIANA	7-8'	1				
EVERGREEN TREES							
GREEN GIANT ARBORVITAE	THUJA OCC. 'GREEN GIANT'	6'	4				
HJETZI COLUMNER JUNIPRER	JUNIPEROUS HETZI 'COLUMNAUS'	4'	1				
SHRUBS							
QUICKFIRE HYDRANGEA	HYDRANGEA PAN 'QUICKFIRE'	#5 - 24"	4				
LITTLE LIME PRIME HYDRANGEA	HYDRANGEA PAN 'LITTLE LIME PRIME'	#5 - 24"	4				
WEEPING JAPANESE MAPLE	ACER PAMATUM DISTICHUM	3'	1				
GREEN GEM BOXWOOD	BUXUS X 'GREEN GEM'	#3 - 18"	5				
GOLDMOUND SPIREA	SPIREA JAPONICA 'GOLDMOUND'	#3 - 18"	4				
DRIFT ROSE	ROSA 'DRIFT'	#3 - 18"	5				
BEYOND MIDNIGHT BLUEBEARD	CARYOPTIRS 'BEYOND MIDNIGHT'	#3 - 18"	4				
JAPANESE GARDEN JUNIPER	JUNIPERUS PROCUMBENS	#3 - 18 "	6				
FAIRVIEW YEW	TAXUS X MEDIA 'FAIRVIEW'	#5 -24"	2				
PERINNEALS							
MAIDEN GRASS	MISCANTHIS SIN. GRAC.	#3	2				
VARIGATED LIRIOPE	LURIOPE MUSCARI VARIGATA	#1	8				
CONEFLOWER	ECHINACEA	#1	3				

FOUNDATION PLANTINGS TO BE RAISED 6" FROM GRADE.

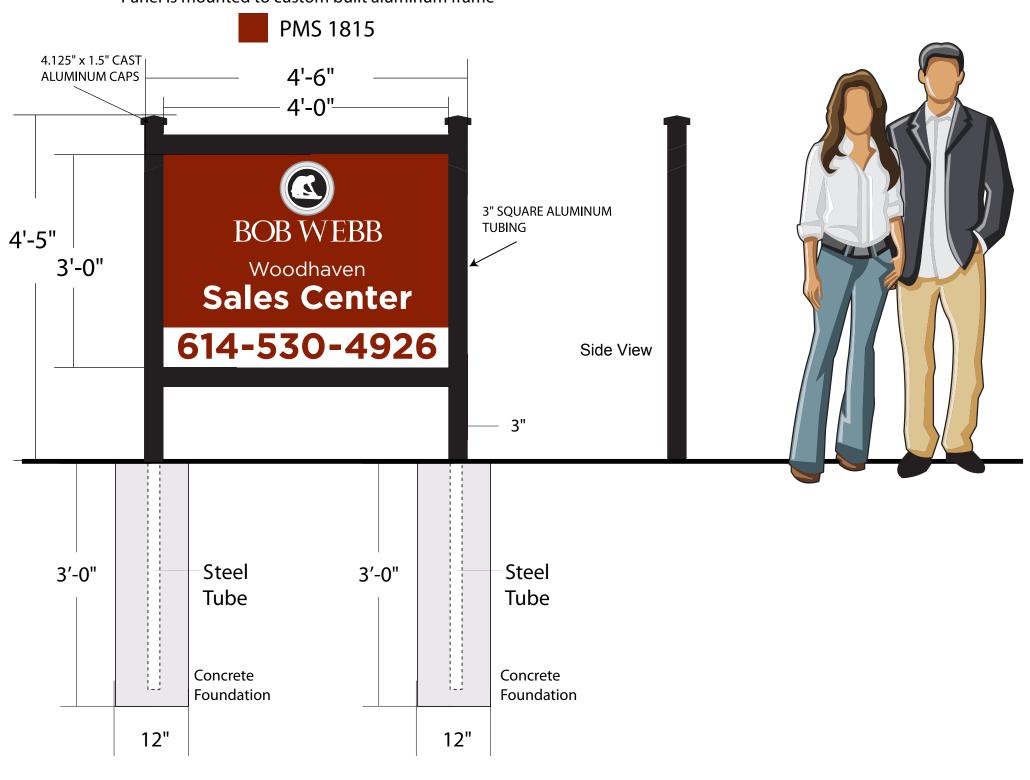
ALL UTILITIES TO BE SCREENED WITH EVERGREEN SHRUBS OR A MIX OF EVERGREEN AND DECIDUOUS SHRUBS

ALL LAWN AREAS TO BE SOD.

SCALE 1" = 10'

DOUBLE FACE

Vinyl graphics on a 3'x4' aluminum panel Panel is mounted to custom built aluminum frame



MORRISONSIGN 2757 Scioto Parkway, Columbus, OH 43221
2757 Scioto Parkway, Columbus, OH 43221 614.276.1181 • morrisonsigns.com

Client:	Bob Webb	Woodhaven	Drawing Date: 1 <u>0-17-23</u>	

Project Name: Sales Center Sign Drawing #: 23-603 SP: KR D: BW



This sign is intended to be installed in accordance of article 600 of the National Electric Code and or other applicable local includes proper grounding and

codes. This includes proper grounding and bonding of the sign.

Copy, colors, size, quantity

APPROVAL:

Client Signature: <u>Date:</u>



Planning Commission Staff Report November 20, 2023 Meeting

WOODHAVEN SUBDIVISION LOT 28 MODEL HOME CONDITIONAL USE

LOCATION: 7275 Steeple Chase Lane North (PID: 222-005343)

APPLICANT: Bobb Webb Group c/o Kirk Denyes

REQUEST: Conditional Use

ZONING: Woodhaven I-PUD Zoning District

STRATEGIC PLAN: Residential District APPLICATION: CU-108-2023

Review based on: Application materials received October 20 and November 1, 2023.

Staff report completed by Chelsea Nichols, Planner.

I. REQUEST AND BACKGROUND

The applicant requests conditional use approval for a residential model home to be located on lot 28 within the Woodhaven subdivision. The model is for the traditional single-family home type which is permitted to be developed in the subdivision. The applicant requests the conditional use to be approved for a period of two years.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 7, 2021 (ZC-15-2021) and the zoning change was adopted by city council on July 7, 2021 (O-22-2021). The Planning Commission approved the final development plan for the subdivision on September 20, 2021 (FDP-83-201).

There is an additional conditional use application for an age-restricted model home on the November 20th Planning Commission meeting agenda which is evaluated under a separate staff report CU-109-2023.

II. SITE DESCRIPTION & USE

The Woodhaven subdivision is located at the southwest corner of Bevelhymer Road and Walnut Street. The site is located immediately east of the Upper Clarenton subdivision, generally south the Rocky Fork Metro Park and Bevelhymer Park. All of the public streets have been installed in the subdivision and there are several homes actively under construction.

III. EVALUATION

General Standards for Conditional Uses (C.O. 1115.03)

The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location shall meet all of the following requirements:

- (a) The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.
- (b) The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.

- (c) The use will not be hazardous to existing or future neighboring uses.
- (d) The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.
- (e) The proposed use will not be detrimental to the economic welfare of the community.
- (f) The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- (g) Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.

<u>Residential model homes</u>. Per Code, these are newly constructed homes or temporary structures placed in a newly constructed subdivision and used by a homebuilder or developer to display home styles and lot availability in a subdivision to promote the sale of new housing units. The model home may be staffed and furnished. (C.O. 1165.11)

The criteria and the applicability of this application are detailed below (Section 1165.11(a)):

- Appropriate location within the community.
 The proposed model home is located on lot 28 in the subdivision, addressed of Haven Green. The model home is located close to the subdivision entrance when entering from Walnut Street. The proposed location appears to be appropriate as it is easily accessible and identifiable when entering the subdivision. Additionally, the home is accessible by sidewalks and leisure trail adjacent to the site.
- 2. It is integrated in the existing community with customary exterior residential lighting. The home utilizes coach lighting fixtures consistent with the style and architectural features present on the other homes planned within the subdivision.
- 3. The use is approved with limited duration.

 The applicant states that they would like to utilize the model home until all lots within the community have been sold or for a period of time no less than 2 years. Historically, the Planning Commission has approved conditional uses for other model homes within the community for 1-3 years depending on the size of the subdivision. Since this model is utilized for 38 traditional single family lots in the subdivision, staff recommends the model home approval be permitted for two (2) years and that any extension in time is subject to review and approval by the Planning Commission (condition #1).
- 4. One sign is permitted.

 The applicant proposes to install one ground sign which is evaluated in the staff report below.
- 5. Shall not be used as a general real estate brokerage office.

 The applicant states that the model home will not be used as a general real estate brokerage office.

The Planning Commission is also to consider the following (1165.11 (b)):

- 1. Hours of operation

 The model home will operate Thursday through Monday, from 12:00pm to 5:00pm which is generally consistent with other model homes that have been approved by the Planning Commission.
- 2. Number of employees and maximum number of employees at the site at one time.

The applicant states that there will be one employee for both of the proposed model homes in the subdivision.

3. Provisions for parking for employees and customers

The applicant states that staff and customers will park on the driveway and use on street parking which is permitted in the subdivision.

4. Size, lighting, content and location of signage

C.O. 1169.10(e) of the city sign code permits one (1) sign not to exceed 6 square feet in size and no taller than 4 feet. Model home signs are not permitted to be illuminated and must be setback 10 feet from the adjacent street right-of-way. The applicant proposes to install a model home sign with the following dimensions. <u>Staff recommends a condition of approval that the sign be revised to meet all code requirements found in C.O.</u> 1169.10(e) (condition #2).

- *a*) Size: 12 sq. ft. [does not meet code. City code allows a maximum area of 6 sq. ft].
- b) Height: 4.5 feet [does not meet code. City code allows a maximum height of 4 feet].
- c) Location: The location of the sign is not indicated on the site plan. The sign is required to be setback 10 feet from the street right-of-way per C.O. 1169.10(e).
- d) Lighting: none proposed [meets code].

5. Landscaping and screening

The applicant installed landscaping in landscape beds in front of and behind the home. In addition, evergreen trees and a deciduous tree has been installed along the rear property line as well as screening around the mechanical units located on the side of the home. All of the landscaping is complimentary and generally consistent with other residential homes in New Albany. According to the approved building permit plans, 7 street trees are to be installed within the street yards in front of the home.

V. SUMMARY

Basis for Approval:

If the recommended conditions of approval are met, the proposed model home is consistent with code requirements. Additionally, the operational aspects of the proposed model home are consistent with other model homes that have been approved to operate in New Albany.

VI. MOTION

Should the Planning Commission find that the application meets sufficient basis for approval, the following motion would be appropriate:

Move to approve conditional use application CU-108-2023, subject to the following conditions:

- 1. The model home is permitted to operate for a period of two (2) years and any extension in time is subject to review and approval by the Planning Commission.
- 2. The model home sign must be revised to meet all code requirements found C.O. 1169.10(e).

Approximate Site Location:



Source: NearMap

Permit #	
Board	
Mtg. Date	



Community Development Planning Application

Sec.	Site Address 7390 HAVE	JORFEN	LAM	E /LOT 19	WOOD HAVEL
	Parcel Numbers 222 - 005	319		1	
	Acres <u>274</u>	# of lots cre	eated	Î	
Project Information	Choose Application Type Appeal Certificate of Appropriateness Conditional Use Development Plan Development Plan Commercial Subdivision Vacation Variance Extension Request Zoning Description of Request: CONDITION OF PICE & ASSISTED	Preliminary Preliminary Combination Easement Amendment (re	Final Final Split zoning)	Comprehensive Adjustment Street Text Modification	Amendment
Contacts	Address: 7662 N City, State, Zip: LEWS CR	TH CENTER ON 1255 25 @ BOISME EX TE DE DICTA CENTER 2357	PAL D	Fax: N/A	-
Signature	Site visits to the property by City of Ne The Owner/Applicant, as signed below, employees and appointed and elected or described in this application. I certify the true, correct and complete. Signature of Owner Signature of Applicant	hereby authorize fficials to visit, ph	s Village of notograph and	f New Albany represend post a notice on the	sentatives, he property is application is te:

LEGAL DESCRIPTION:

Being Lot 28 of Woodhaven Subdivision, situated in the State of Ohio, County of Franklin, City of New Albany, Half Section 17, Section 9, Quarter Township 1, Township 2, Range 16. United States Military Lands. As Recorded in Official Record, 04/28/2023 at the Recorder's Office, Franklin County, Instrument # 202304280040996. PB 132/Page 315

City of New Albany Planning Commission 99 West Main Street PO Box 188 New Albany, OH 43054

RE: Application for Conditional Use for a Model Home to be located on lot 28 and associated Street parking to be located on Woodhaven Community.

Below is the requested documentation for our conditional use application for the model home to be located at the Woodhaven Community

Legal Description: See Attached

Description of existing use: New Single-Family Residence

Present zoning district: I-PUD

Description of proposed conditional use:

The model home/sales center WITHOUT Garage Converted to Office

A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading area, traffic circulation, open spaces, landscaping, refuse, and service areas, utilities, signs, yards, and such other information as the Commission may require to determine if the proposed conditional meets the intent and requirements of this Ordinance:

Please see Attached House Plans, Plot Plan & Landscape Plan

A narrative statement evaluating the effects on adjoining property; the effect of such elements as noise, glare, odor, light, fumes, and vibration on adjoining property; a discussion of the general compatibility with adjacent and other properties in the district.

No **O**ccupied Homes Currently Exist in the Community. Homes would not cause any Noise, Glare, Fumes Vibrations, Etc.

- The names and addresses of all property owners within 200 feet, contiguous to, and directly across the street from the property, as appearing on the Franklin County's Auditor's current tax list. The applicant shall also provide the addresses of all property within the above reference boundaries:

Please see attached Ilustration indicating the 200' buffer to adjoining property . All property within this buffer area is owned by the Bob Webb Woodhaven LLC. 7662 North Central Drive Lewis Center, Ohio 43035

- Such other information regarding the property, proposed use, or surrounding area as may be pertinent to the deliberations of the Planning Commission.

The model home will be visible and easily accessible as you enter the community on Haven Green Lane. The model home will integrate within the residential character of the neighborhood. The home will have coach lights.

It is our intention to staff the sales office with a sales representatives. The hours of operation will be from Noon to 5 PM Thursday thru Monday The sales center shall not be used as a general real estate brokerage office where the sale of properties not owned or previously owned wholly or in art by the applicant occurs.

Parking spaces for access to the sales model will be available on Street Additional Public Sidewalks Have Been installed to Serve Those Spots

Bob Webb Homes would like to request that the Planning Commission approve the use of this home as a sales model until which time that all lots within the community have been sold or for a period of time deemed appropriate by the Planning Commission not to be less than two years.

Respectfully Submitted,

<Kirk E. Denyes
Director of Design &
Development Bob Webb Homes

Chapter 1165.11 - MODEL HOME STANDARDS

- (a) When making its decision to approve, disapprove or approve with conditions an application for a residential model home, the Planning Commission shall consider that the model home:
 - (1) Is appropriately located within the community and sited so that it is easily accessible without creating a nuisance or hazard to nearby properties.

Lot 52 is immediately at the End of Woodhaven Dr., The Eastern access to the Development off of Bevelheymer. Lot 28 is immediately at the End of Haven Green Lane., The Northern access to the Development off of Walnut.

(2) Is integrated into the residential character of the neighborhood with external lighting in conformity with customary residential lighting.

The Models will Have Coach lights on the Garages, as will the Homes built in the Development. No additional lighting is Proposed for the Models.

(3) Is approved with a limited duration which shall be determined by the Planning Commission after consultation with the applicant. Extensions of time may be granted by the Planning Commission, but decisions must be based on the same criteria as outlined in this section.

Request for Model Permit is 24 Months Each.

(4) Is identified by no more than one sign which shall be in compliance with regulations governing signage.

One Sign is Proposed at Each Model. Drawing attached.

(5) Shall not be used as a general real estate brokerage office where the sale of properties not owned or previously owned wholly or in part by the applicant occurs.

Models Will be Used for Sales of Bob Webb Homes, Exclusively. No resale Activity will be performed at either Location.

- (b) The Planning Commission shall also consider and may set conditions on the following as part of its decision to allow a residential model home:
 - (1) Hours of operation.

12-5 PM Thursday Thru Monday

(2) Number and types of employees; and maximum number of employees to be on the site at any one time.

Model to be staffed with One (1) Bob webb Employee for the Purpose of Selling Homes in this Community.

(3) Provisions for parking for employees and customers.

Staff & Customers will park on the Driveways & on street Parking. Additional Sidewalks Have been installed to aid in On street Parking, As requested by Staff. Exhibits Submitted

(4) Size, lighting, content and location of signage (no internally lighted signage shall be permitted).

Model sign will be unlight. Sign Graphics & Locations Attached.

(5) Landscaping and screening.

Landscape Plans Attached.

(6) The use of temporary sales offices (i.e., manufactured homes, mobile homes or trailers) on the site of a newly constructed subdivision shall be discouraged.

Model requests Are for Single Family Home Structures. No Trailers, Mobile Homes are Proposed

- (c) In addition to the above-listed criteria for model homes, permission to occupy a temporary sales office for the purpose of home and lot sales within a newly constructed subdivision shall be granted only if the following conditions are met:
 - (1) Such facility is located on a main arterial roadway or highway.

Model Homes are Located with Direct Access to Bevelheymer Road & Walnut.

(2) Such facility is substantially screened by the use of landscaping and/or mounding.

Each Home is Extensively Landscaped, Plans Attached. Also Screened from Main Arteries With Green Space & Additional Landscaping

(3) Such facility shall not create a nuisance to surrounding properties.

Models are proposed with Limited Hours as to not Bring excessive traffic to the Neighborhood. Model will not produce excessive noise or Any noxious Fumes.

- (4) Such other conditions as the Planning Commission deems appropriate.
- (5) Sales offices in trailers or mobile homes are permitted for a duration of twelve (12) months. Users of such facilities may apply to the Planning Commission for an extension of an additional twelve (12) months.

Trailer or Mobile Office are NOT Proposed.

_			and the same of th			
	C21	90"00"00"	20.00'	31.42	S 48°23'08" W	28.28'
	C22	90,00,00	25.00'	39.27'	S 41°36'52" E	35.36
	C23	90'00'00"	25.00'	39.27	S 48'23'08" W	35.36'
	C24	90,00,00,	20.00'	31.42	N 41°36'52" W	28.28'
	C25	90"00'00"	20.00'	31.42'	S 41°36'52" E	28.28'
	C26	90,00,00	20.00	31.42'	S 48°23'08" W	28.28
	C27	90"01'27"	20.00	31.42'	N 41°36'08" W	28.29'
-	C28	90'00'00"	20.00	31.42'	N 48°24'35" E	28.28'
freezensemente	C29	89'58'33"	20.00'	31.41'	S 41°36'08" E	28.28

NOTE "A" - TREE PRESERVATION ZONE: Within the areas delineated Tree Preservation Zone (T.P.Z) shown hereon, only the construction of underground utility lines, underground storm water management infrastructure and pedestrian connections to adjacent developments shall be permitted and designed to be generally perpendicular to the preservation zone. Healthy mature trees shall be preserved within this area unless they conflict with the installation of the permitted utility, storm water management infrastructure and pedestrian connections. After completion of construction, dead plant material, noxious plant material, such as poison ivy and other invasive plants may be removed subject to staff approval. Special markers shall be placed at each lot corner marking the edge of the Tree Preservation Area.

NOTE "B": At the time of platting, the land being platted as Woodhaven is in Zone X (areas determined to be outside of the 0.2% annual chance floodplain), as said Zone is designated and delineated on the FEMA Flood insurance rate map for Franklin County Unincorporated areas map number 39049C0206K, with effective date of June 17, 2008.

NOTE "C" - AGRICULTURAL RECOUPMENT: Grantor, being the duly authorized representative of the developer dedicating the property described in this plat, hereby agrees to indemnify the City of New Albany for, and hold it harmless from, any agricultural recoupments assessed or levied in the future against the property dedicated herein, which result from grantor's conversion of the property from agricultural use.

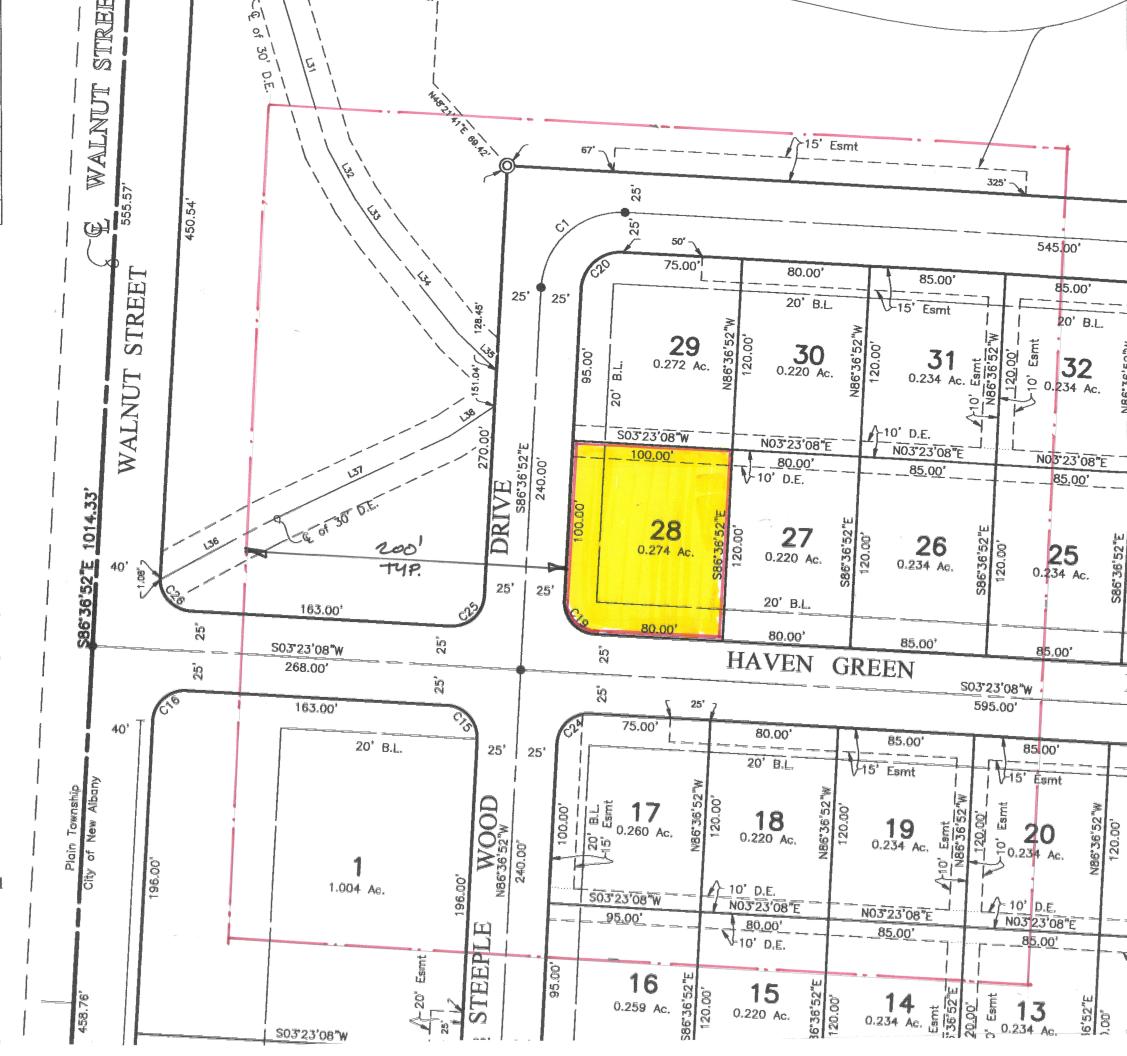
NOTE "D" - ACREAGE BREAKDOWN:

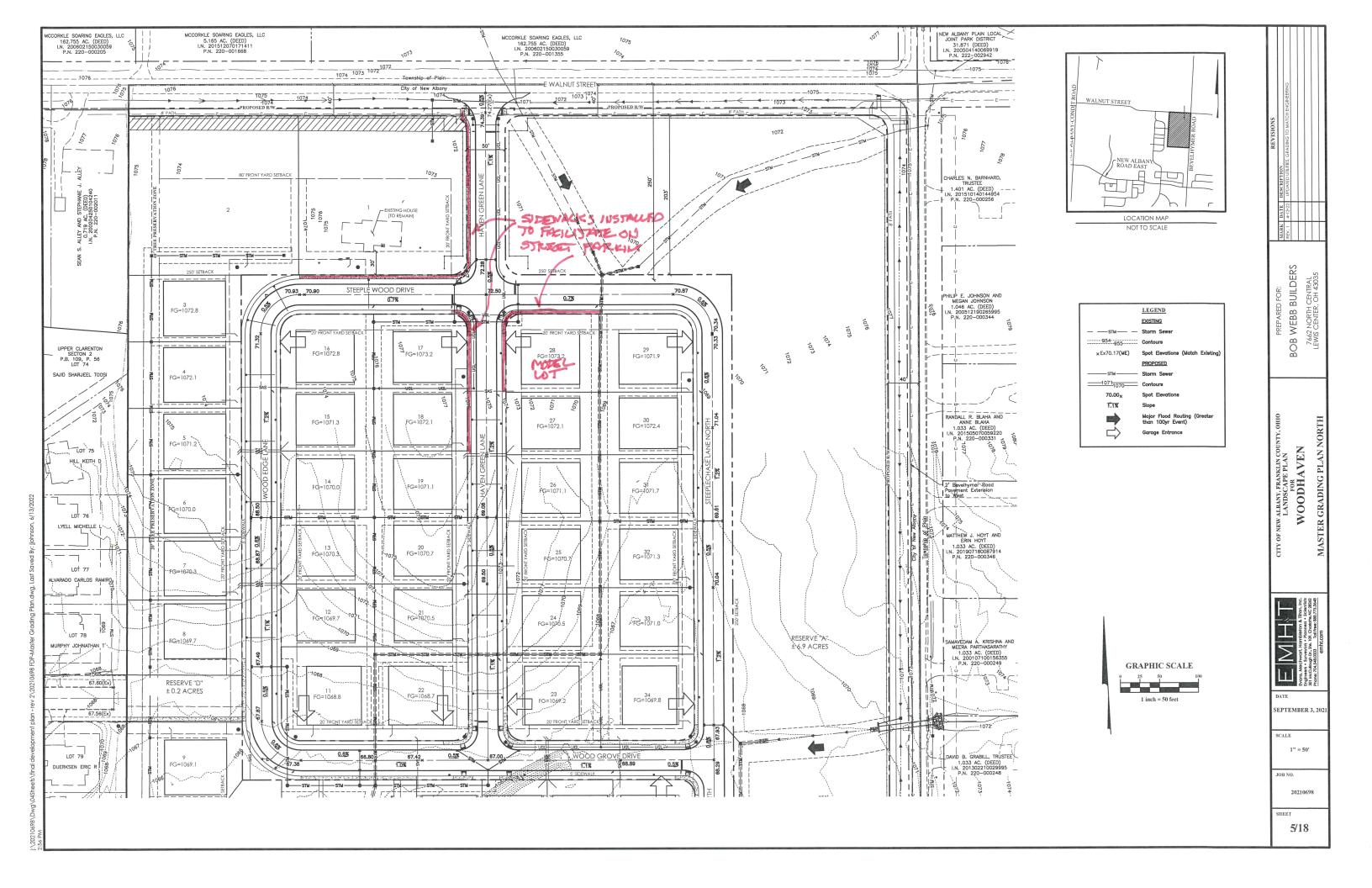
Total acreage:	38.093 Ac.
Acreage in rights-of-way:	8.196 Ac.
Acreage in Reserves	14.520 Ac.
Acreage in remaining lots:	15.377 Ac.

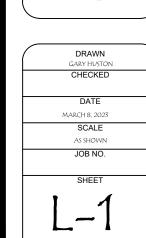
NOTE "E" - ACREAGE BREAKDOWN: Woodhaven is comprised of all of the following Franklin County Parcel Numbers:

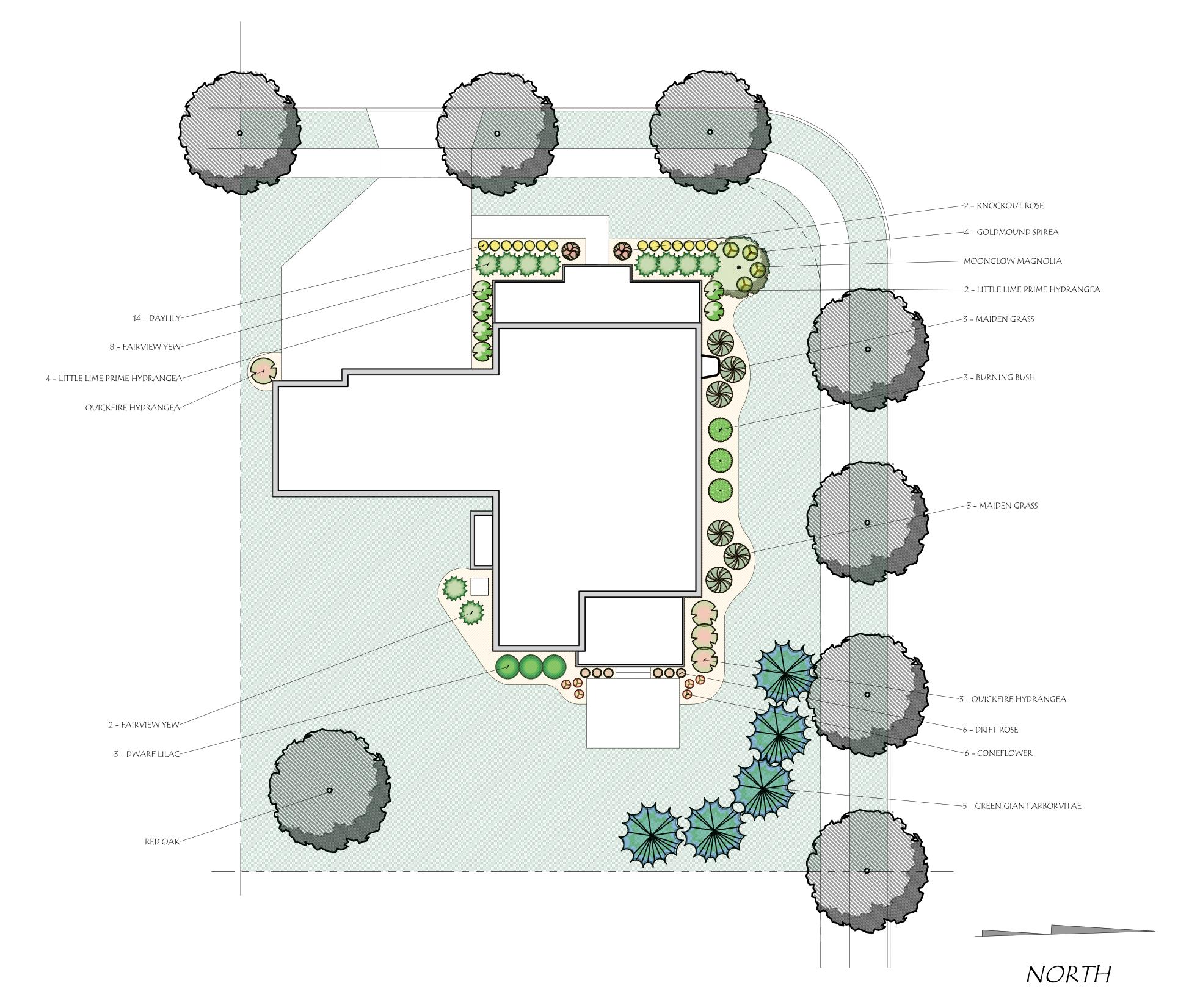
222-005167	16.537 Ac.
222-005168	16.058 Ac
222-005169	5,498 Ac.

NOTE "F" - DEPRESSED DRIVEWAYS: Depressed driveways are hereby prohibited on all lots in Woodhaven. Nothing herein, however, shall prohibit the construction and use









PLANTING SCHEDULE					
COMMON NAME	BOTANICAL NAME	SIZE	QTY		
SHADE TREES					
RED OAK	QUERCUS RUBRUM	2.5"	1		
NED OAK	QUENCUS NUBRUM	2.5	1		
ORNAMENTAL TREES					
MOON GLOW MAGNOLIA	MAGNOLIA VIRGINIANA	7-8'	1		
EVERGREEN TREES	-				
GREEN GIANT ARBORVITAE	THUJA OCC. 'GREEN GIANT'	6'	5		
SHRUBS					
QUICKFIRE HYDRANGEA	HYDRANGEA PAN 'QUICKFIRE'	#5 - 24"	4		
LITTLE LIME PRIME HYDRANGEA	HYDRANGEA PAN 'LITTLE LIME PRIME'	#5 - 24"	6		
DWARF KOREAN LILAC	SYRINGA MYERI	#3 - 18"	3		
GOLDMOUND SPIREA	SPIREA JAPONICA 'GOLDMOUND'	#3 - 18"	4		
KNOCK OUT ROSE	ROSA KNOCK OUT	#3 - 18"	2		
DWARF BURNING BUSH	EUONYMUS ALATA	#3 - 18"	3		
FAIRVIEW YEW	TAXUS X MEDIA 'FAIRVIEW'	#5 -24"	10		
PERINNEALS					
MAIDEN GRASS	MISCANTHIS SIN. GRAC.	#3	6		
HAPPY RETURNS DAYLILY	HEMEROCALIS	#1	14		
CONEFLOWER	ECHINACEA	#1	6		

FOUNDATION PLANTINGS TO BE RAISED 6" FROM GRADE.

ALL UTILITIES TO BE SCREENED WITH EVERGREEN SHRUBS OR A MIX OF EVERGREEN AND DECIDUOUS SHRUBS

ALL LAWN AREAS TO BE SOD.

SCALE 1" = 10'



LANDMARK SURVEY GROUP, INCORPORATED

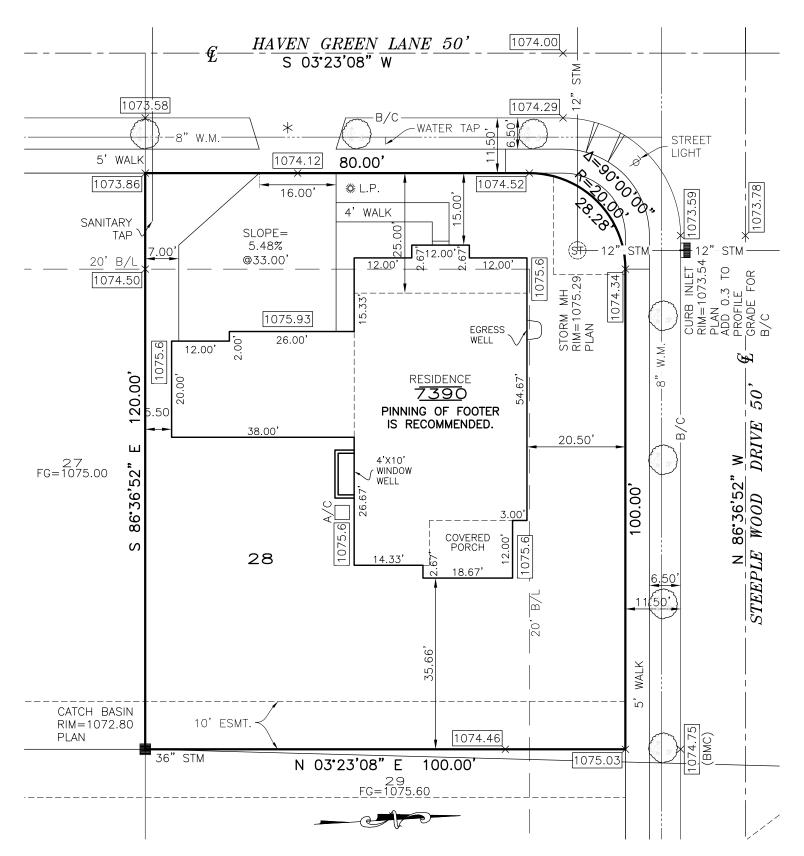
690 LAKEVIEW PLAZA BLVD, SUITE A, WORTHINGTON OH.43085 PHONE: (614) 485-9000 WWW.LANDMARKSURVEY.COM

REVISIONS	DESCRIPTION
12/29/22	REV. TO FRONT LOAD GARAGE(AB)
01/23/23	REVISE DRIVEWAY (AB)

ORDER NO. WHVN1-28 DATE: <u>12/13/22</u>

BOB WEBB __ HOUSE STYLE ___CUSTOM FOR___ COUNTY OF FRANKLIN LOT/SUBDIVISION 28 WOODHAVEN _ city/twp of <u>NEW albany</u> SCALE 1"= <u>20'</u> DRAWN BY: <u>AB</u> ADDRESS 7390 HAVEN GREEN LANE

MINIMUMS: R: <u>25'</u> S: <u>5'</u> BK: <u>UNREC.</u> PG:UNREC.



ENGINEERING PLANS AND SUBDIVISION PLAT INFORMATION UNSIGNED AND MAY NOT BE COMPLETE. UNDERSIGNED IS NOT RESPONSIBLE FOR ANY CHANGES THAT MAY OCCUR ONCE PLANS ARE FINALIZED AND SIGNED.

LOT CALCULATIONS ARE FOR ESTIMATING PURPOSES ONLY AND SHOULD BE VERIFIED BY THE BUILDER OR CONTRACTOR.

LOT CALC	ULATIONS
LOCATION	AREA S.F.
LOT	11914
HOUSE	3170
DRIVE	976
SER. WALK	111
APPROACH	197
WALK	774
SOD	8764
LOT COV	26.61%

THIS PROPERTY IS LOCATED IN FLOOD ZONE X. MAP NO. 39049C 0206K. EFF. DATE: <u>06/17/2008.</u>

* STABILIZE CONSTRUCTION ENTRANCE.

BOB WEBB
POURED WALL = 9'
FINISH FLOOR = 1077.80
TOP OF FOUNDATION= 1076.60
FINISH GRADE= 1075.60
GARAGE PAD= 1075.93
BASEMENT FLOOR= 1067.93
TOP OF FOOTER= 1067.60
DRIVE SLOPE DISTANCE= 33.00

BUILDER TO INSTALL AND MAINTAIN EROSION CONTROL THROUGHOUT ALL PHASES OF CONSTRUCTION. FIELD MODIFICATIONS MAY BE NECESSARY.

SCOTT
D.

GRUNDEI
S-8047

ONAL
SCOTT

ONAL
SCOTT

REPRESENTATION

SCOTT

ONAL
SCOTT

REPRESENTATION

SCOTT

SCOTT

REPRESENTATION

SCOTT

SCOTT WE HEREBY CERTIFY THAT THE FOREGOING PLOT PLAN WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND DATA OBTAINED FROM ENGINEERED SUBDIVISION PLANS. THIS PLOT PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. THE USE OF THE PLOT PLAN FOR ANY OTHER USE IS STRICTLY PROHIBITED.

cott ale 12/29/22 DATE SCOTT D. GRUNDEI, P.S. REGISTERED SURVEYOR NO. 8047

LIGHT & VENTILATION SCHEDULE							UPPER ROOF ATTIC VENTILATION			
ROOM	ROOM AREA	WINDOW TYPE	LIGHT AREA REQ.	VENT AREA REQ.	ACTUAL LIGHT AREA	ACTUAL VENT AREA	TEMPERED	BEDROOM EGRESS AREA	SQ.FT. ATTIC SPACE	1841.76 SQ.FT.
KITCHEN / CASUAL DINING	757.49 S.F.	(1)-3056+PATIO DR.	60.59 S.F.	30.29 S.F.	114.84 S.F.+PATIO DR.	55.44 S.F.+PATIO DR.			SQ.IN. YENTILATION REQ'D.	885.00 SQ.IN.
GREAT ROOM		+(13)-TR.+3056-2							SQ.IN. YENTILATION SUPPLIED	7 = 1018.00 SQ. IN.
MESSY KITCHEN	67.56 S.F.		5.40 S.F.	2.70 S.F.	ARTIFICAL	MECH.			36 LIN. FT. OF RIDGE VENT @ 18.00 SQ. IN./LIN. FT. = 648.00 SQ.	
STUDY	183.12 S.F.	3060-2	14.64 S.F.	7.32 S.F.	28.14 S.F.	13.64 S.F.			74 LIN. FT. OF SOFFIT VENT @	5.00 SQ. IN./LIN. FT. = 370.00 SQ.IN.
LAUNDRY / CRAFT ROOM	166.09 S.F.	3060-2	13.28 S.F.	6.64 S.F.	28.14 S.F.	13.64 S.F.				
LAY.	42.24 S.F.	2640	3.37 S.F.	1.68 S.F.	7.35 S.F.	3.47 S.F.			FRONT POR	CH ROOF ATTIC VENTILATIO
BEDROOM #1	286.16 S.F.	(3)-3050	22.89 S.F.	11.44 S.F.	23.00 S.F.	11.48 S.F.		5.74 S.F.		1
BATH #1	121.57 S.F.		9.72 S.F.	4.86 S.F.	ARTIFICAL	MECH.			SQ.FT. ATTIC SPACE	343.77 SQ.FT.
BEDROOM #2	172.83 S.F.	3050-2	13.82 S.F.	6.91 S.F.	23.00 S.F.	11.48 S.F.		5.74 S.F.	SQ.IN. YENTILATION REQ'D.	165.00 SQ.IN.
								9. I4 9.F.	SQ.IN. VENTILATION SUPPLIED	7 = 274.00 SQ. IN.
BATH #2	58.33 S.F.	3030	4.66 S.F.	2.33 S.F.	ARTIFICAL	MECH.			8 LIN FT OF RIDGE VENT @ 18	0.00 SQ. IN./LIN. FT. = 144.00 SQ.IN.
BEDROOM #3	152.50 S.F.	3050-2	12.20 S.F.	6.10 S.F.	23.00 S.F.	11.48 S.F.		5.74 S.F.		
BEDROOM #4	158.70 S.F.	3050-2	12.69 S.F.	6.34 S.F.	23.00 S.F.	11.48 S.F.		5.74 S.F.	26 LIN. FT. OF SOFFIT VENT @	5.00 SQ. IN./LIN. FT. = 130.00 SQ.IN.
BATH #3	47.25 S.F.		3.78 S.F.	1.89 S.F.	ARTIFICAL	MECH.				
BEDROOM #5	200.00 S.F.	3050	16.00 S.F.	8.00 S.F.	11.50 S.F.+ARTIFICAL	5.74 S.F.+MECH		5.74 S.F.		
BATH #4	59.97 S.F.		4.79 S.F.	2.39 S.F.	ARTIFICAL	MECH.				
RECREATION ROOM	691.25 S.F.		55.30 S.F.	27.65 S.F.	ARTIFICAL	MECH.				

ARTIFICAL LIGHT AND MECHANICAL VENTILATION TO COMPLY WITH 2019 RCO SECTION 303.



Lot #28 Moodhaven

				ОНВА ТА	BLE 1112.2.	1				
		<u>INSUL</u>	ATION AND FEI	NESTRATIO	N REQUIREI	MENTS BY	COMPONE	NT		
	FENESTRATION U- FACTOR	SKYLIGHT U- FACTOR	<u>GLAZED</u> <u>FENESTRATION</u> <u>SHGC</u>	CEILING R- VALUE	WOOD FRAME WALL R- VALUE	MASS WALL <u>R-VALUE</u>	FLOOR R- VALUE	BASEMENT WALL R-VALUE		CRAWL SPACE WALL R-VALUE
ompliance ath #1	<u>0.32</u>	<u>0.60</u>	<u>NR</u>	<u>49</u>	<u>15 or 13+3</u>	<u>13/17</u>	<u>30</u>	<u>10/13</u> (minimum <u>4' feet)</u>	<u>10, 2ft</u>	<u>10/13</u>
1112.2.4	.2.1 Testing									
	eakage is less th	nan 5 ACH w	hen tested wit	h a blower	door at a n	ressure of	50 nascals	(0 007psi) T	estina Sha	ll occur after
	and after install									
		•			mbustion a			•		<u>.</u>
1112.3	2.2 Sealing									
<u>-</u>		construction	dust tightnes	c chall be u	orified to m	oot the ve	luos prose	ribad in Tabla	111222	2(a) by tacting
	ction test: Post		-							
	eakage to Outdo ifferential of 0.1									
<u>a pressure ur</u>	inerentiai oi o. i		oots shall be ta			_		er s'air Hariute	enciosur	e. All register
		<u>r</u>	oots shall be to	ареи от от	iei wise seai	eu uuririg	ine test.			
			OHRA TARIF	1112 2 2 2)(a)					
		POST CO	<u>OHBA TABLE</u> NSTRUCTION D			IG				
		POST CO	<u>OHBA TABLE</u> <u>NSTRUCTION D</u> I			<u>IG</u>			1	
		<u>POST CO</u>	NSTRUCTION D	UCT TIGHT	NESS TESTIN		. ,]	
		POST CO	NSTRUCTION D Leakage to 0	UCT TIGHT Outdoors ()	NESS TESTIN	<u>Total Lea</u>		100 ft² (9.29		
			<u>Leakage to (</u> (9.29 m²) of c	UCT TIGHT Outdoors (j onditioned	NESS TESTIN per 100 ft ² floor area)	Total Lea m²) of co	onditioned	d floor area)		
<u>Co</u>	mpliance Path #		<u>Leakage to (</u> (9.29 m²) of c	UCT TIGHT Outdoors ()	NESS TESTIN per 100 ft ² floor area)	Total Lea m²) of co		d floor area)		
<u>Co</u>	empliance Path #		<u>Leakage to (</u> (9.29 m²) of c	UCT TIGHT Outdoors (j onditioned	NESS TESTIN per 100 ft ² floor area)	Total Lea m²) of co	onditioned	d floor area)		
<u>Co</u>	mpliance Path #		<u>Leakage to (</u> (9.29 m²) of c	UCT TIGHT Outdoors (j onditioned	NESS TESTIN per 100 ft ² floor area)	Total Lea m²) of co	onditioned	d floor area)		
		<u></u>	Leakage to 0 (9.29 m²) of co	UCT TIGHT Outdoors (ponditioned fm (2.83 L/	NESS TESTIN per 100 ft ² I floor area) (s)	Total Lea m²) of co ≤	onditioned 9 cfm (4.2	d floor area) 4 L/s)	by testing	the "Total
Rough-In	mpliance Path # test: Rough-in c accordance with	<u>11</u> duct tightne	Leakage to 0 (9.29 m²) of co	Outdoors (ponditioned fm (2.83 L/	NESS TESTIN per 100 ft ² I floor area) (s) et the values	Total Lea m²) of co <	onditioned 9 cfm (4.2 d in Table	<u>1 floor area)</u> <u>4 L/s)</u> 1112.3.2.2(b)		
<u>Rough-In</u> Leakage" in	test: Rough-in c	duct tightne	Leakage to (9.29 m²) of constant of the compliance particular of the compliance of the com	Outdoors (ponditioned fm (2.83 L/	per 100 ft ² f floor area) (s) et the values g shall be co	Total Lea m²) of co < contact of the contact of	onditioned 9 cfm (4.2 d in Table at a pressu	d floor area) 4 L/s) 1112.3.2.2(b) re differential	l of 0.1 incl	h w.g. (25 Pa)
<u>Rough-In</u> Leakage" in	test: Rough-in c accordance with	duct tightne	Leakage to (9.29 m²) of constant of the compliance particular of the compliance of the com	Outdoors (ponditioned fm (2.83 L/	per 100 ft ² floor area) fs t the values g shall be co	Total Lea m²) of co s prescribed anducted and sure, if ins	onditioned 9 cfm (4.2 d in Table t a pressu talled at t	d floor area) 4 L/s) 1112.3.2.2(b) re differential	l of 0.1 incl	h w.g. (25 Pa)
<u>Rough-In</u> Leakage" in	test: Rough-in c accordance with	duct tightne	Leakage to (9.29 m²) of compliance pathe manufactu	Outdoors (ponditioned fm (2.83 L/	per 100 ft ² floor area) fs t the values g shall be co	Total Lea m²) of co s prescribed anducted and sure, if ins	onditioned 9 cfm (4.2 d in Table t a pressu talled at t	d floor area) 4 L/s) 1112.3.2.2(b) re differential	l of 0.1 incl	h w.g. (25 Pa)
<u>Rough-In</u> Leakage" in	test: Rough-in c accordance with	duct tightne	Leakage to (9.29 m²) of compliance pathe manufactu	Outdoors (ponditioned fm (2.83 L/) fied to mee ath. Testinurer's air had or other the outgoing the outgoing of the outgoing outg	per 100 ft ² I floor area) S I the values g shall be co	Total Lea m²) of co s prescribed anducted and sure, if ins	onditioned 9 cfm (4.2 d in Table t a pressu talled at t	d floor area) 4 L/s) 1112.3.2.2(b) re differential	l of 0.1 incl	h w.g. (25 Pa)
<u>Rough-In</u> Leakage" in	test: Rough-in c accordance with	duct tightne the chosen n, including	Leakage to 0 (9.29 m²) of constant <6 constant ss shall be verificate pathe manufactures shall be tape	Outdoors (ponditioned fm (2.83 L/	per 100 ft ² I floor area) (s) It the values (g shall be conder enclowise sealed	Total Lea m²) of co seprescribed onducted a sure, if ins during the	onditioned 9 cfm (4.2 d in Table t a pressu talled at t test.	d floor area) 4 L/s) 1112.3.2.2(b) re differentia the time of the	l of 0.1 incl	h w.g. (25 Pa)
<u>Rough-In</u> Leakage" in	test: Rough-in c accordance with	duct tightne the chosen n, including	Leakage to C (9.29 m²) of compliance pathe manufacture shall be tape OHBA TABLE JGH-IN DUCT T	Outdoors (ponditioned fm (2.83 L/) fied to mee ath. Testingurer's air hard or others	per 100 ft ² I floor area) I floor area) I floor area I	Total Lea m²) of co s prescribed anducted a sure, if ins during the	onditioned 9 cfm (4.2 d in Table t a pressu talled at t test.	d floor area) 4 L/s) 1112.3.2.2(b) re differential the time of the	l of 0.1 incl	h w.g. (25 Pa)
<u>Rough-In</u> Leakage" in	test: Rough-in c accordance with	duct tightne the chosen n, including	Leakage to C (9.29 m²) of compliance pathe manufacture shall be tape OHBA TABLE JGH-IN DUCT T	Outdoors (ponditioned fm (2.83 L/) fied to mee ath. Testingurer's air had or others 11112.3.2.2 IGHTNESS ge - with a	per 100 ft ² I floor area) I floor area area area area area area area a	Total Lea m²) of co seprescribed anducted a sure, if ins during the	onditioned 9 cfm (4.2 d in Table at a pressu talled at t test.	1 floor area) 4 L/s) 1112.3.2.2(b) re differential the time of the without air (per 100 ft²	l of 0.1 incl	h w.g. (25 Pa)
<u>Rough-In</u> Leakage" in	test: Rough-in c accordance with	duct tightne the chosen n, including	Leakage to C (9.29 m²) of compliance pathe manufacture shall be tape OHBA TABLE JGH-IN DUCT T Total Leakarinstalled (per	Outdoors (ponditioned fm (2.83 L/) fied to mee ath. Testingurer's air had or otherward field fm (2.83 L/) GHTNESS ge - with a fer 100 ft² (9	per 100 ft² floor area) fs) et the values g shall be co andler enclo wise sealed f(b) TESTING ir handler f(29 m²) of	Total Lea m²) of co seprescribed anducted a sure, if ins during the	onditioned 9 cfm (4.2 d in Table t a pressu talled at t test. eakage - t installed 2) of condi	d floor area) 4 L/s) 1112.3.2.2(b) re differential the time of the	l of 0.1 incl	h w.g. (25 Pa)
Rough-In Leakage" in across the ro	test: Rough-in c accordance with	duct tightne n the chosen n, including ROI	Leakage to 0 (9.29 m²) of co (9.29 m²) of co <6 co ss shall be verificate pathe manufacture shall be tape OHBA TABLE JGH-IN DUCT T Total Leakange to 0 (19.29 m²) of co A condition	Outdoors (ponditioned fm (2.83 L/) fied to mee ath. Testingurer's air had or others 11112.3.2.2 IGHTNESS ge - with a	per 100 ft² I floor area) Is the values I shall be conder enclowise sealed It the values I shall be conder enclowise sealed I shall be condered.	Total Lea m²) of co s prescribed anducted a sure, if ins during the	onditioned 9 cfm (4.2 d in Table at a pressu talled at t test.	d floor area) 4 L/s) 1112.3.2.2(b) re differential the time of the without air (per 100 ft² tioned floor	l of 0.1 incl	h w.g. (25 Pa)

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (2019 RCO TABLE 301.2 (1)) MIND DESIGN SUBJECT TO DAMAGE FROM GROUND SNOW ICE SHIELD FREEZING DESIGN DESIGN UNDERLAYMENT ACTUAL HAZARDS TOPOGRAPHIC CATEGORY TEMP. REQUIRED INDEX WEATHERING FROST DEPTH TERMITE SPEED EFFECTS MODERATE TO 5 DEG. F 90 MPH NO SEVERE YES 1500 50.1 DEG. F HEAVY B. 4/22/97

CODE NOTES

THE GARAGE SHALL BE COMPLETELY SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY MEANS OF A (1) ONE HOUR FIRE-RATED WALLS AND CEILINGS.

SQ.FT. ATTIC SPACE

SQ.FT. ATTIC SPACE

SQ.IN. VENTILATION REQ'D.

SQ.IN. YENTILATION REQ'D.

SQ.IN. YENTILATION SUPPLIED = 956.00 SQ. IN.

SQ.IN. YENTILATION SUPPLIED = 264.00 SQ. IN.

GARAGE ROOF ATTIC VENTILATION

COVERED PORCH ROOF ATTIC VENTILATION

405.09 SQ.FT.

195.00 SQ.IN.

434.00 SQ.IN.

32 LIN. FT. OF RIDGE YENT @ 18.00 SQ. IN./LIN. FT. = 576.00 SQ.IN. 76 LIN. FT. OF SOFFIT VENT @ 5.00 SQ. IN./LIN. FT. = 380.00 SQ.IN.

8 LIN. FT. OF RIDGE VENT @ 18.00 SQ. IN./LIN. FT. = 144.00 SQ.IN. 24 LIN. FT. OF SOFFIT VENT @ 5.00 SQ. IN./LIN. FT. = 120.00 SQ.IN.

- WHEN THE BASEMENT STAIR IS ENCLOSED AND THE UNDERSIDE IS ACCESSIBLE FOR STORAGE, THEN THE BOTTOM OF THE STAIR STRINGER SHALL BE FIRESTOPPED AND THE UNDERSIDE MUST BE COMPLETELY DRYWALLED.
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS WITH 3 OR MORE RISERS. HANDRAILS WILL BE MEASURED BETWEEN 34 TO 38 INCHES VERTICALLY FROM THE NOSING OF THE TREADS. THE HANDGRIP PORTION SHALL NOT BE MORE THAN 20" IN CROSS SECTION DIMENSION OR AN APPROPIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP EDGES.
- PORCHES, BALCONIES OR RAISED FLOORS LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE SHALL HAVE GUARDRAILS NOT LESS THAN 36" HIGH. OPEN STAIRS WITH A RISE OF MORE THAN 30" SHALL HAVE GUARDRAILS NOT LESS THAN 34" HIGH. DISTANCE BETWEEN BALUSTERS TO BE LESS THAN 4".
- SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, AREA OUTSIDE AND ADJACENT WITHIN 15 FEET TO SLEEPING AREA ON EACH STORY INCLUDING BASEMENT AND CELLARS AND ALL DETECTORS SHALL BE INTERCONNECTED. REQUIRED SMOKE DETECTORS PRIMARY POWER SHALL BE FROM THE BUILDING WIRING AND WHEN THE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. ROOMS WITH SLOPED CEILINGS THAT MUST HAVE SMOKE DETECTORS INSTALLED, THE LOCATION OF THE SMOKE DETECTOR SHALL BE 3 FEET HORIZONTALLY FROM THE CEILING HIGHEST POINT.
- 6) THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MIN. 6" WITHIN THE FIRST 10'.
- CONCRETE SLABS IN BASEMENT SHALL BE 2500 PSI AND GARAGE SHALL BE 3500 PSI, AND BOTH SHALL BE AIR ENTRAINED CONCRETE WITH VAPORBARRIER OVER BASE COURSE IN ACCORDANCE WITH CABO TABLE 402.2. ALL CONCRETE SLABS ON GRADE WITH HABITABLE SPACES SHALL HAVE A VAPORBARRIER OVER THE BASE COURSE.
- ANCHOR BOLTS MUST BE IMBEDDED 15" INTO CONCRETE BLOCK AND IMBEDDED 1" INTO POURED CONCRETE, BOLTS SHALL BE SPACED 6' ON CENTER, 12" FROM CORNERS, ANCHOR STRAPS MUST BE INSTALLED PER MANUFACTURER'S SPECS.
- 9) 2x BLOCKING EQUAL TO THE JOIST DEPTH TO BE INSTALLED AT 24" O.C. BETWEEN THE BAND AND FIRST JOIST WHICH IS PARALLEL TO THE FOUNDATION WALL. BLOCKING SHALL BE ADEQUATELY FASTEN TO THE FLOOR SHEATHING.
- 10) UNDERFLOOR SPACES SHALL BE PROVIDED WITH 1 CFM OF AIR EXCHANGE PER EVERY 50 SQ. FT. OF CRAWLSPACE WHEN INSULATING THE CRAWLSPACE WALLS. EXTERIOR WALL VENTS MUST BE INSTALLED PER CABO AND ONLY WHEN INSULATING FLOOR JOISTS.
- 11) JOISTS UNDER PARALLEL BEARING PATTITIONS SHALL BE DOUBLED OR A BEAM OF ADEQUATE SIZE TO SUPPORT THE LOAD SHALL BE PROVIDED.
- 12) ENDS OF JOIST, BEAM OR GIRDER TO BEAR 10" OR GREATER ON MOOD OR METAL AND TO BEAR 3" OR GREATER ON MASONRY.
- 13) FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERT. AND HORIZ.) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND THE ROOF.
- 14) MAINTAIN A MIN. 2" AIR SPACE BETWEEN CHIMNEY AND THE INTERIOR AND MAINTAIN A MIN. OF 1" SPACE BETWEEN THE CHIMNEY AND THE
- 15) CHIMNEYS ARE TO EXTEND TO 2'-0" OR GREATER ABOVE HIGHEST PORTION OF THE BUILDING WITHIN 10'-0" AND SHALL BE 3'-0" OR GREATER ABOVE ITS ROOF PENETRATION.
- 16) FACTORY BUILT FIREPLACES SHALL COMPLY WITH LISTINGS AND SPECIFICATIONS OF MANUFACTURER AND/OR THE LATEST EDITION OF NFPA 211.
- 17) MASONRY AND FACTORY BUILT FIREPLACES SHALL BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY TO ASSURE PROPER FUEL COMBUSTION.
- 18) INSULATION AND FACINGS EXPOSED IN ATTIC, DWELLING UNIT OR CRAWL SPACES SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND SMOKE DEVELOPED FACTOR NOT TO EXCEED 450.
- 19) IN ALL FRAME WALLS AND FLOORS, AND CEILINGS, NOT VENTILATED TO ALLOW MOISTURE TO ESCAPE, AN APPROVED VAPOR RETARDER HAVING A MAXIMUM PERM RATING OF 1.0, SHALL BE INSTALLED ON THE MARM-IN-MINTER SIDE OF THE THERMAL INSULATION.
- 20) 18" CLEARANCE SHALL BE MAINTAINED BELOW FLOOR JOISTS OVER EXPOSED EARTH IN CRAWL SPACE. VAPOR BARRIER MUST BE APPLIED OVER THE SOIL.
- 21) PROVIDE ACCESS TO ALL SHUT OFFS, UNIONS AND CONNECTIONS.

GENERAL NOTES

- 1) EXTERIOR DIMENSIONS ARE FROM OUT TO OUT OF SHEATHING.
- 2) INTERIOR DIMENSIONS ARE FROM FACE TO FACE OF FRAMING.
- 3) ALL INTERIOR PARTITIONS ARE 2x4 (3 1/2")
- UNLESS OTHERWISE NOTED. LIYE/DEAD FOOTINGS FIRST FLOOR 50 PSF SECOND FLOOR 50 PSF ROOF WICEILING 30 PSF ROOF Wo CEILING 20 PSF
- 5) LUMBER GRADES UNLESS OTHERWISE SPECIFIED ALL MOOD FRAMING SHALL HAVE THE FOLLOWING

DECKS

50 PSF

MINIMUM VALUES:	
(#2 SPF)	E = 1.4
UP TO 2x4	Fb = 1509 (REPETITIV
(#2 SPF)	E = 1.4
2×6	Fb = 1308 (REPETITIV
2 x8	Fb = 1208 (REPETITIV
2×10	Fb = 1107 (REPETITIV
2×12	Fb = 1006 (REPETITIV

UP TO 2x4 Fb = 1725 (REPETITIVE) Fb = 1440 (REPETITIVE) Fb = 1380 (REPETITIVE)

Fb = 1208 (REPETITIVE) 2×12 Fb = 1120 (REPETITIVE) "LYL" LUMBER AS MANUFACTURED Fb = 2600BY TRUSS-JOIST Fc1 = **75**0

Fv = 285

- PROVIDE 1/16 " OSB. AT INSIDE AND OUTSIDE BUILDING CORNERS 4'-0" WIDE. TYPICAL FULL HEIGHT OF WALL w/8d @ 6" O.C. AT PANEL CORNERS & EDGES w/8d @ 12" O.C. AT INTERMEDIATE STUDS
- MINDOMS ARE VINYL SINGLE HUNG.

OR EQUAL

PROVIDE DOUBLE STUDS AT ALL LINTEL AND WOOD

BEAM BEARINGS UNLESS NOTED OTHERWISE.

- 9) ALL MULTIPLE STUDS AT BEAM BEARING MUST BE #2 SPF OR BETTER. NAIL TOGETHER WITH 10d **@** 12" O.C.
- 10) PROVIDE SOLID BLOCKING BELOW ALL MULTIPLE STUDS.
- 11) MULTIPLE MEMBER BEAMS NAIL TOGETHER WITH 2 ROWS 10d @ 12" O.C.
- 12) ALL FRAMING LUMBER #2 SPF OR BETTER EXCEPT ALL STUDS TO BE STUD GRADE LUMBER.
- 13) NAILING BASED ON COMMON NAIL SIZE, INCREASE 25%
- IF CEMENT COATED SINKERS OR NAIL GUNS ARE USED.
- 14) PROVIDE (2)-2x8 #2 SPF HEADERS AT EXTERIOR BEARING WALLS UNLESS NOTED OTHERWISE.
- 15) PROVIDE 1x2 "x" BRIDGING @ MIIDSPAN OF ALL FLOOR JOISTS.
- 16) PROVIDE ROOF SHEATHING AT TRUSS TOP CHORD AT ALL LOCATIONS FOR LATERAL SUPPORT OF TRUSS.
- 17) ALL LUMBER SHOULD BE GRADED AND MARKED WITH THE APPROPRIATE GRADE STAMP.

BUILDING AREAS

TOTAL BASEMENT 1850.20 SQ. FT. UNFINISHED BASEMENT 542.80 SQ. FT. FINISHED BASEMENT 1307.40 SQ. FT. FIRST FLOOR 1850.20 SQ. FT. SECOND FLOOR 1703.98 SQ. FT. GARAGE 812.00 SQ. FT. FRONT PORCH 296.00 SQ. FT. COVERED REAR PORCH 211.56 SQ. FT.

TOTAL LIVING AREA = 4861.58 SQ. FT.

FOUNDATION NOTES

- 1) ALL FOOTINGS ARE 16"x8" UNLESS OTHERWISE NOTED.
- ALL NON-BASEMENT FOOTINGS ARE 5'-0"
- ABOVE BASEMENT FOOTINGS. (TOP TO TOP) MASONRY FIREPLACE FOOTINGS SHALL BE
- ON ALL SIDES. TO TIE POURED FOUNDATIONS OF DIFFERENT LEVELS, HOLD HIGH FOOTINGS

THICKENED TO 12" WITH 6" PROJECTION

- BACK FROM LOWER EXCAVATIONS AND USE POURED LINTELS TO BRIDGE AND TIE.
- ELEVATIONS BEGIN AT TOP OF BASEMENT FOOTING. (F=0'-0")

SH. #

- ALL CROSSHATCHED POURED CONCRETE WALLS TOP OUT AT W=+9'-0" INCLUSIVE. ALL OTHER POURED CONCRETE WALLS TOP OUT AT ELEVATION SHOWN INCLUSIVE.
- ALL FOOTING DESIGNS BASED ON 1500 PSF SOIL BEARING.
- CRAML SPACE IS MECHANICALLY VENTILATED AT A RATE OF 1 CFM FOR EACH 50 SF OF

SECOND FLOOR PLAN

5A EXTERIOR ELEVATIONS - FRONT

5C EXTERIOR ELEVATIONS - REAR

6 STAIR AND WALL SECTIONS

F-4 ROOF FRAMING PLAN

E-2 BASEMENT ELECTRIC PLAN

E-3 FIRST FLOOR ELECTRIC PLAN

E-3 SECOND FLOOR ELECTRIC PLAN

SEALED TRUSS DRAWINGS

EMP BEAM CALCULATIONS

ENGINEERING DRAWINGS BY OTHERS

ENGINEERED ROOF TRUSS LAYOUT PLAN

ENGINEERED FLOOR JOIST LAYOUT PLANS

5B EXTERIOR ELEVATIONS - RIGHT SIDE

5D EXTERIOR ELEVATIONS - LEFT SIDE

F-2A FIRST FLOOR - FLOOR FRAMING PLAN

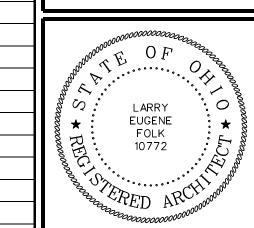
F-2B FIRST FLOOR - WALL BRACING PLAN

F-3A SECOND FLOOR - FLOOR FRAMING PLAN

F-3B SECOND FLOOR - WALL BRACING PLAN

- ALL METAL FASTENERS, CONNECTORS OR OTHER HARDWARE IN DIRECT CONTACT WITH ANY PRESERVATIVE TREATED LUMBER SHALL BE STAINLESS STEEL TYPE 304 OR TYPE 316 OR HAVE A GALVANIZED COATING THAT COMPLIES WITH THE ASTM A123 CONNECTORS OR A153 FASTENERS CLASS D
- 3131 Big Timber Loop Lewis Center, Ohio 43035 STANDARDS FOR FASTENERS AND HARDWARE. THE CONNECTORS AND FASTENERS MUST BE MADE OF THE SAME MATERIAL FOR COMPATIBILTY. 614.604.9859 lefarchitects.com

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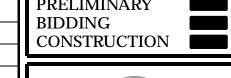
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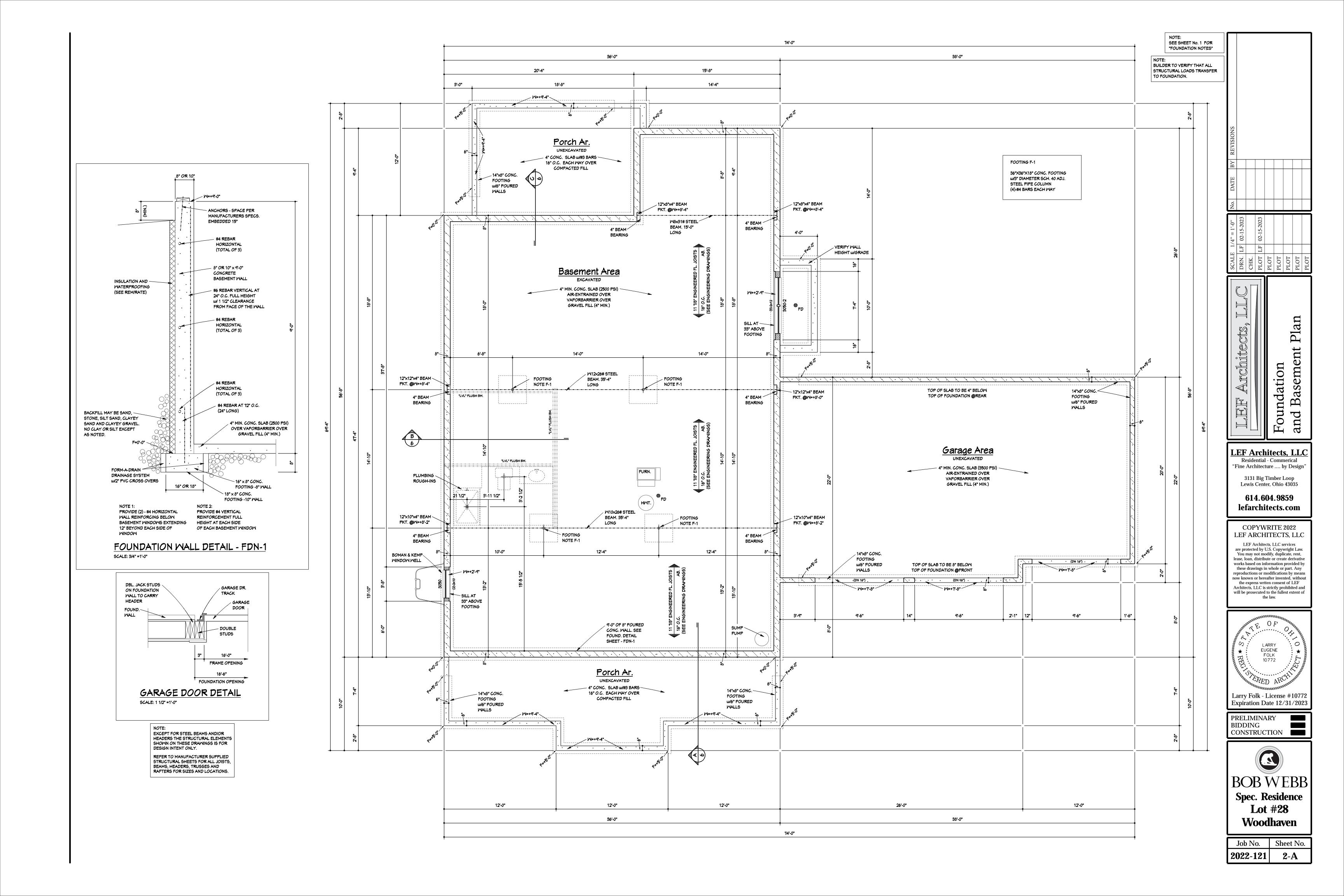


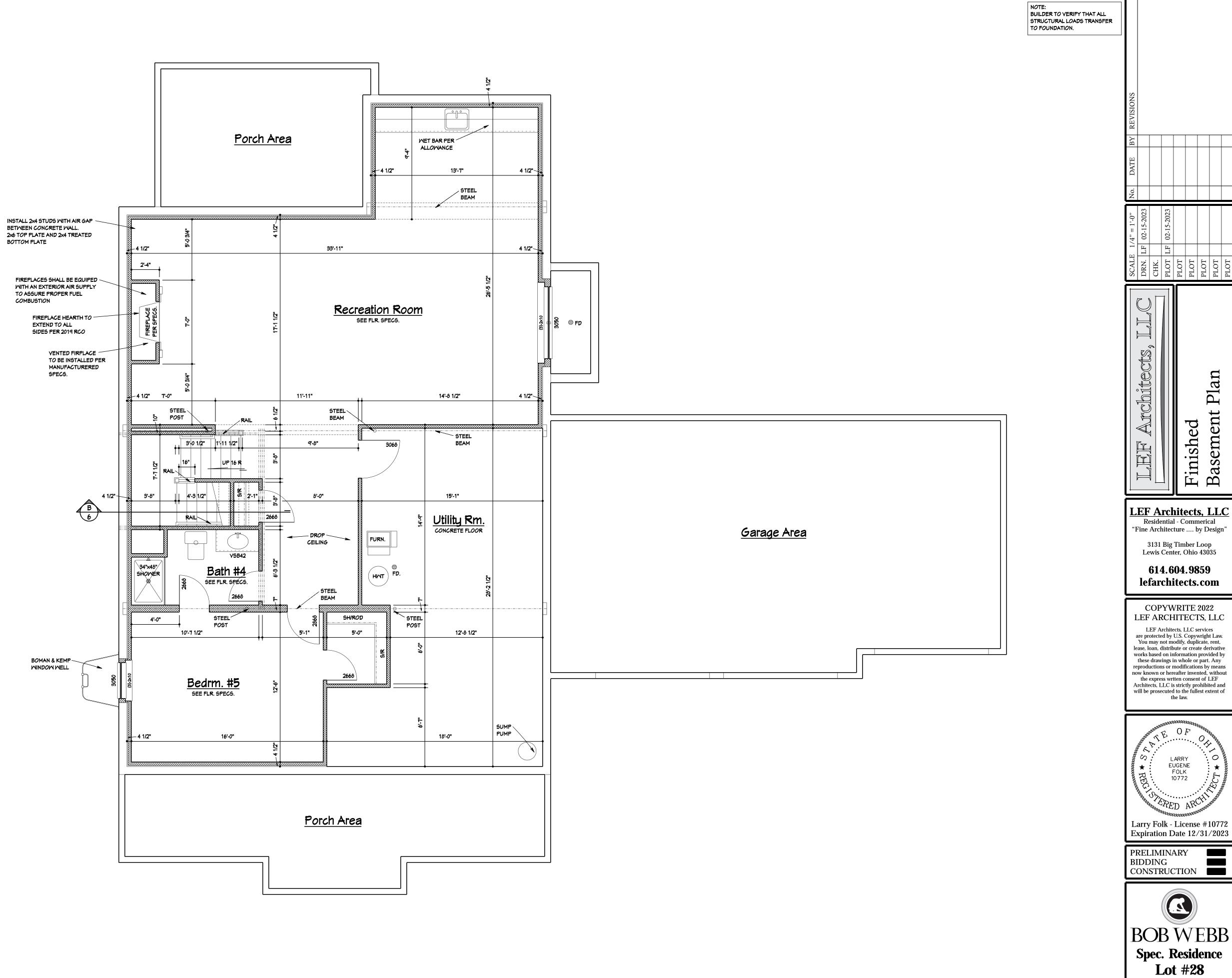


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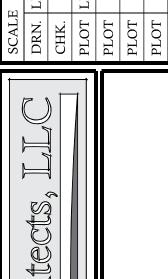
Woodhaven

2022-121





NOTE: SEE SHEET No. 1 FOR "GENERAL NOTES"



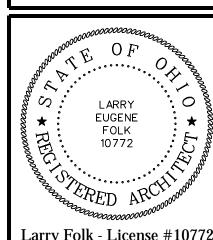
Finished Basement Plan

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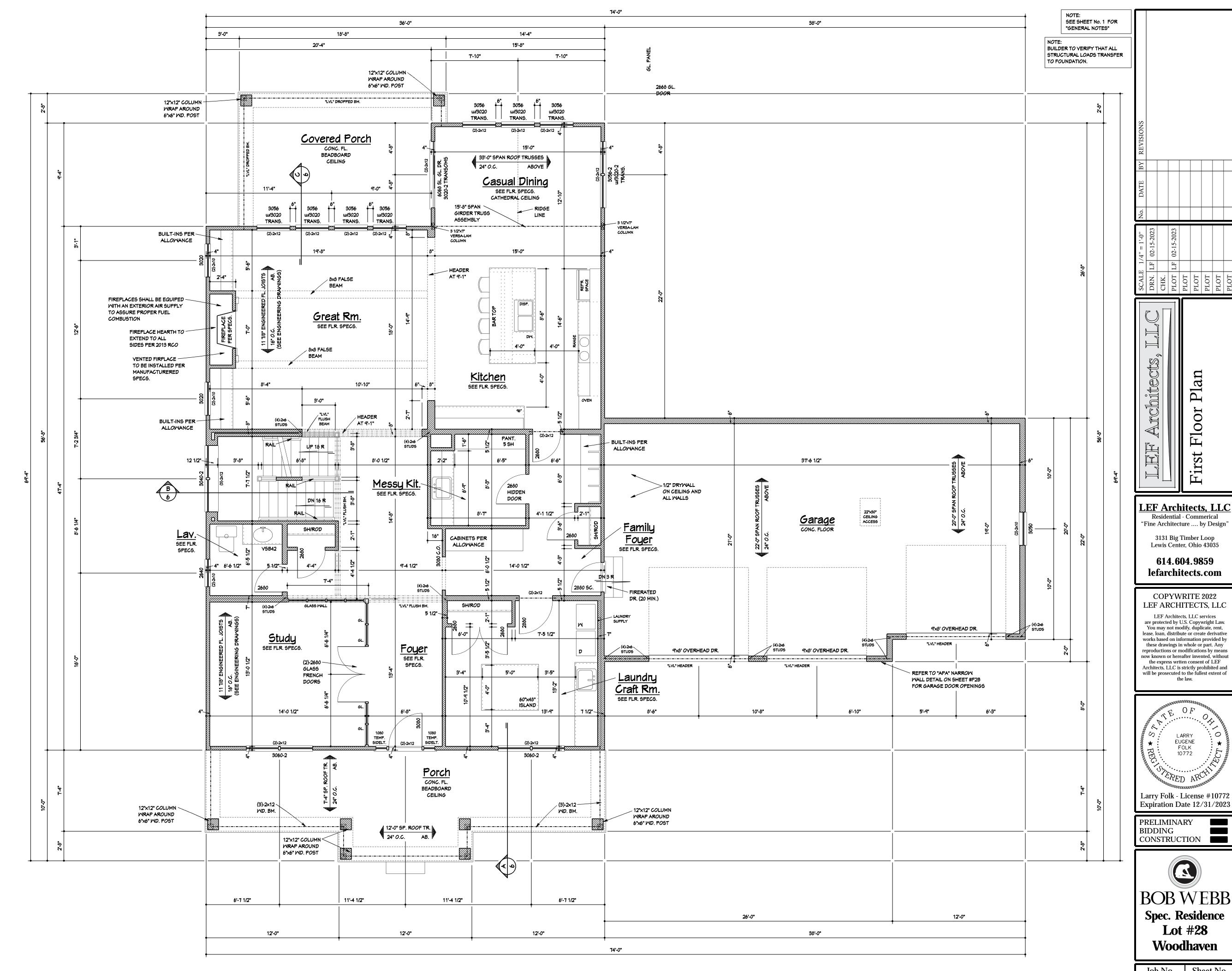
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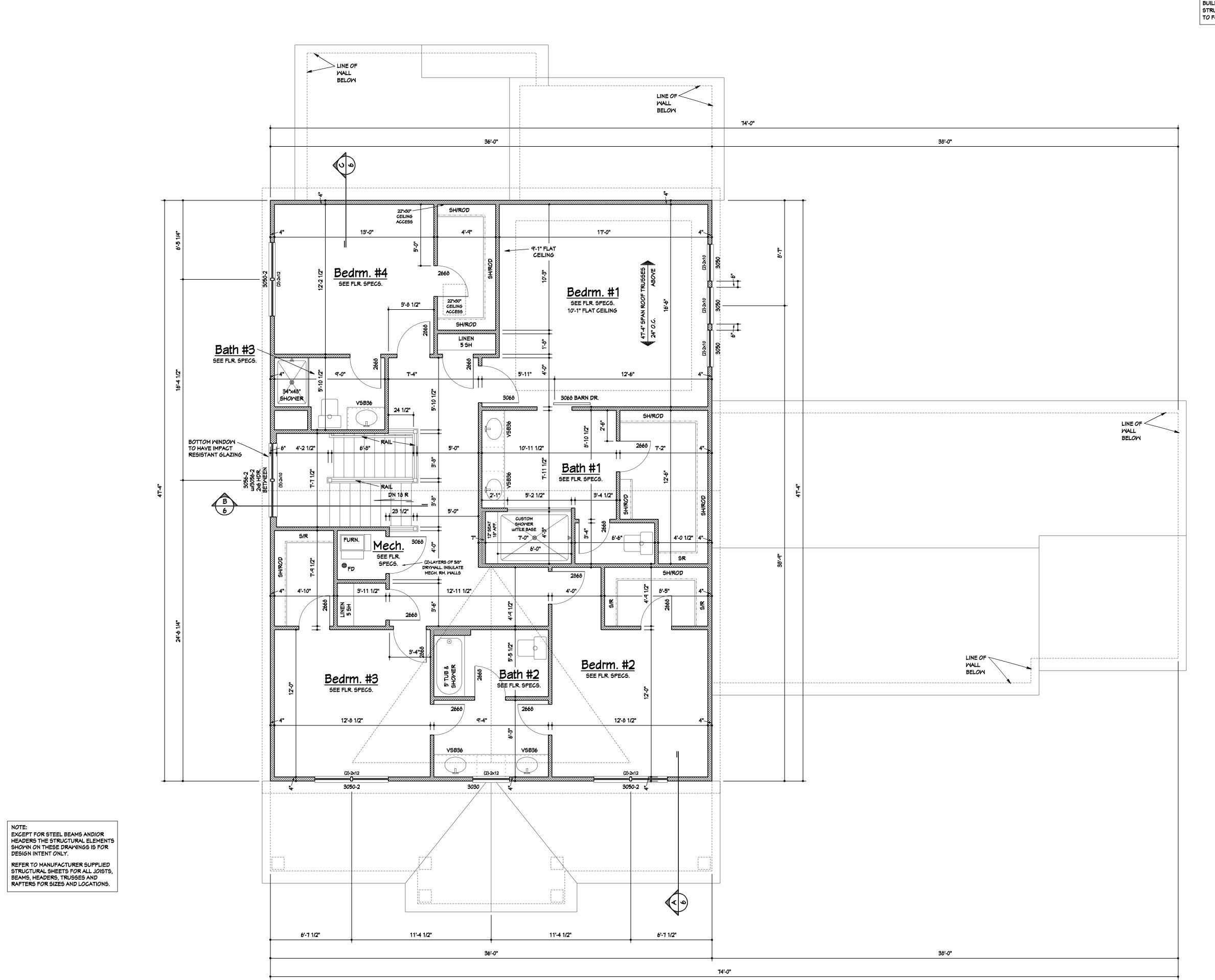
Woodhaven Job No. Sheet No. 2022-121 2-B



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> BOB WEBB Spec. Residence Lot #28

Job No. Sheet No. 2022-121

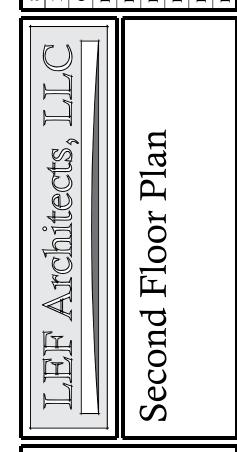


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NOTE: SEE SHEET No. 1 FOR "GENERAL NOTES"

NOTE: BUILDER TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION.



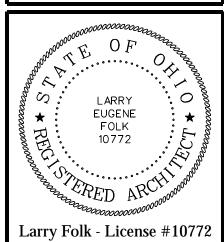
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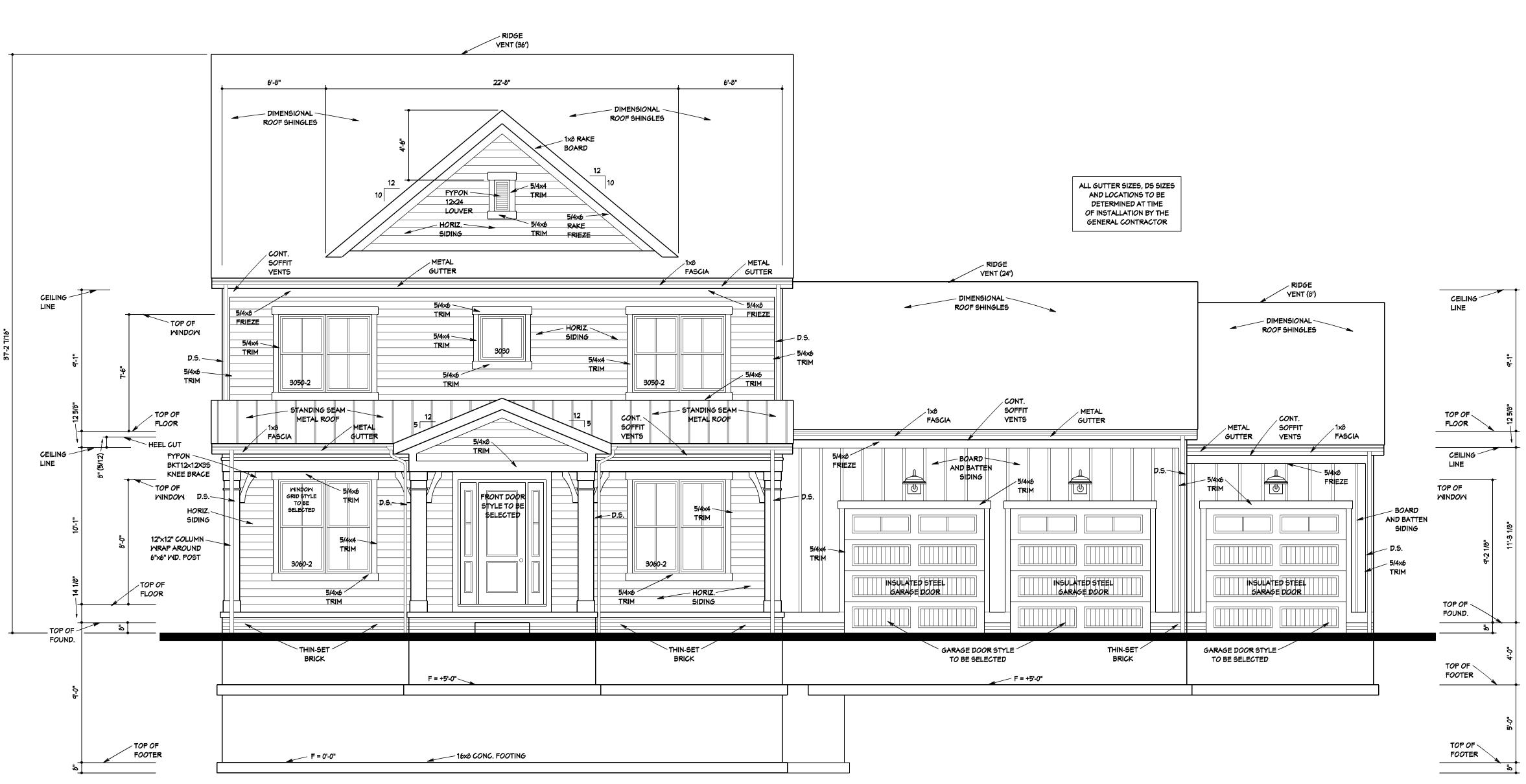
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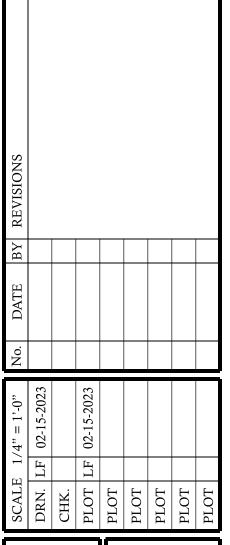
BOB WEBB Spec. Residence Lot #28 Woodhaven

Job No. Sheet No. 2022-121



FRONT ELEVATION

SCALE: 1/4" =1'-0"





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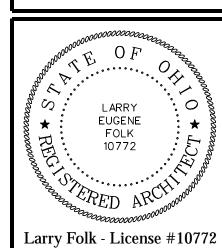
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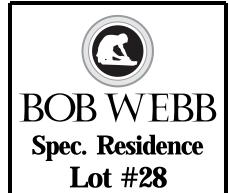
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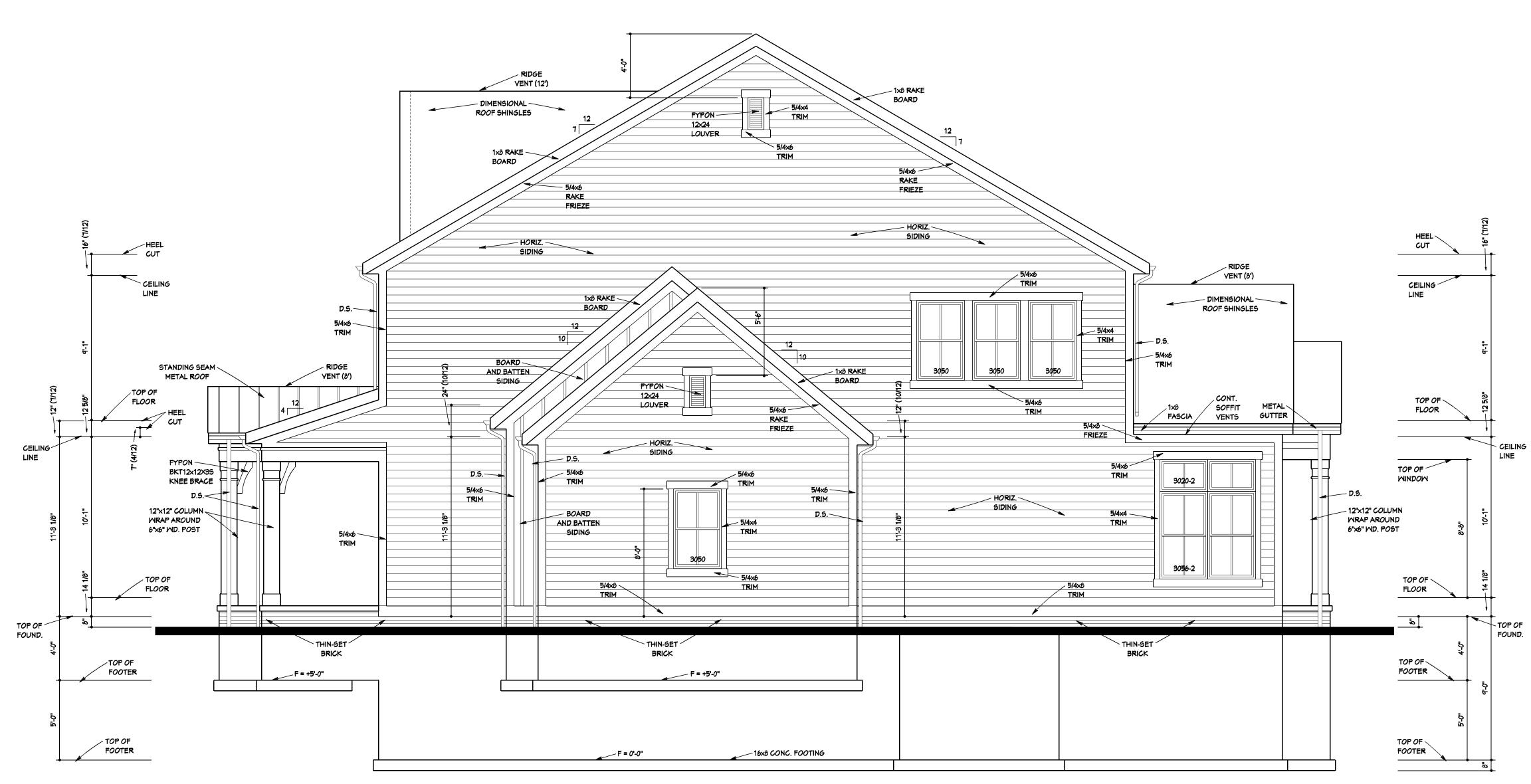
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BIDDING
CONSTRUCTION



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 Sheet No.

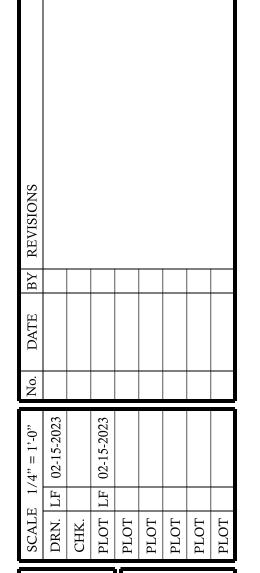
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 5-A

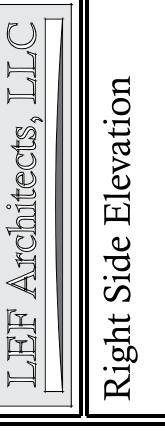
Woodhaven



RIGHT SIDE ELEVATION

SCALE: 1/4" =1'-0"





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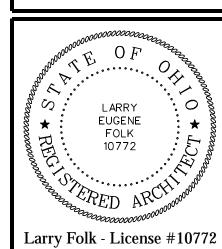
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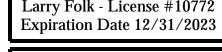
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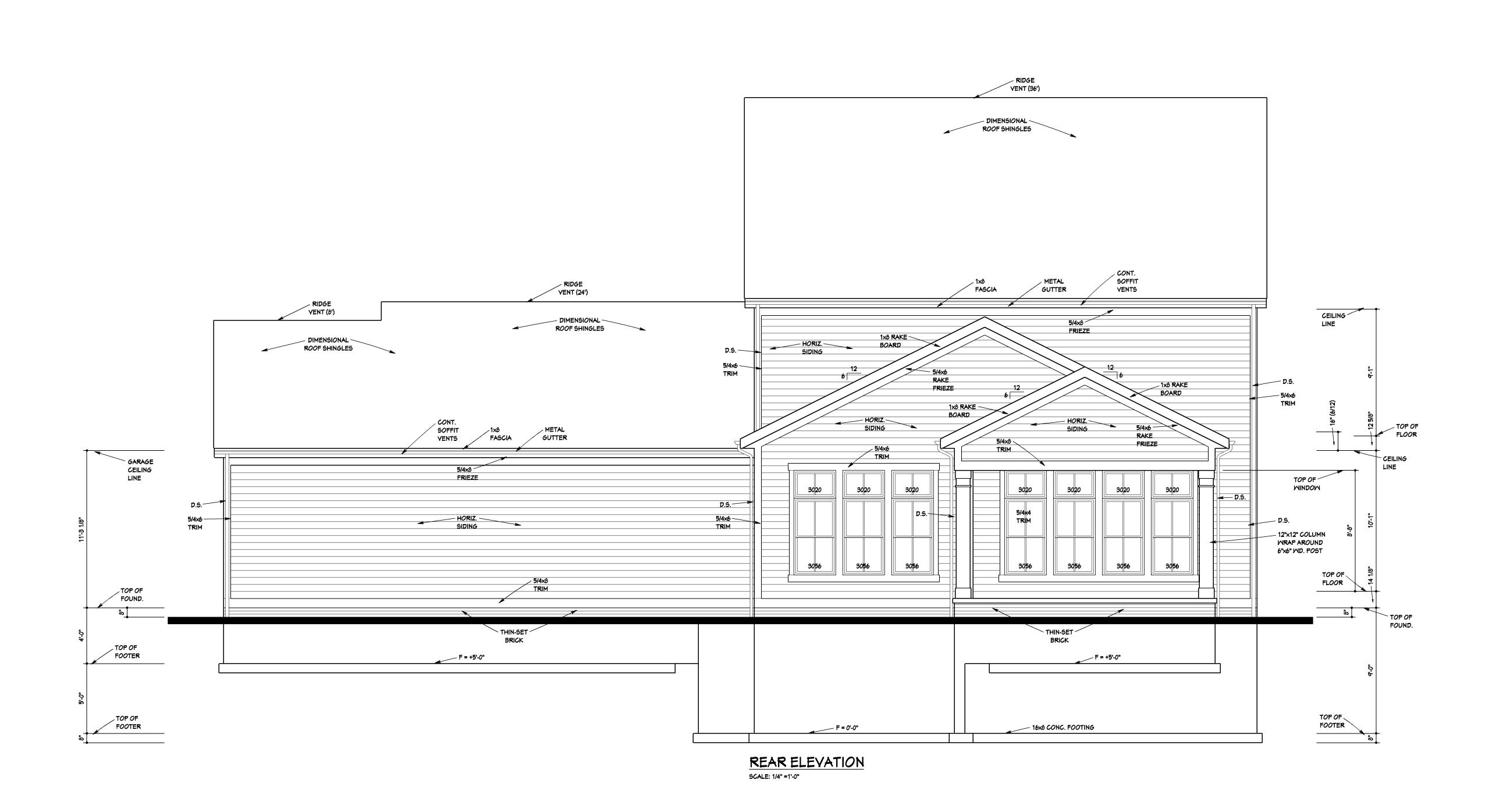


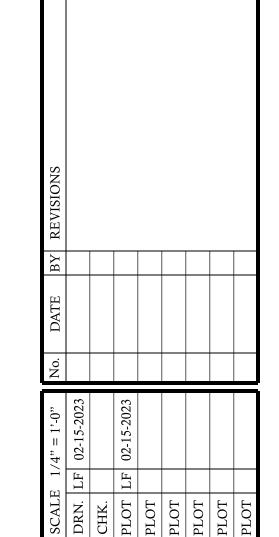




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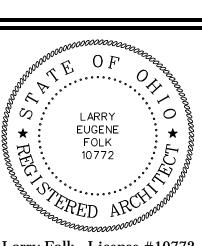
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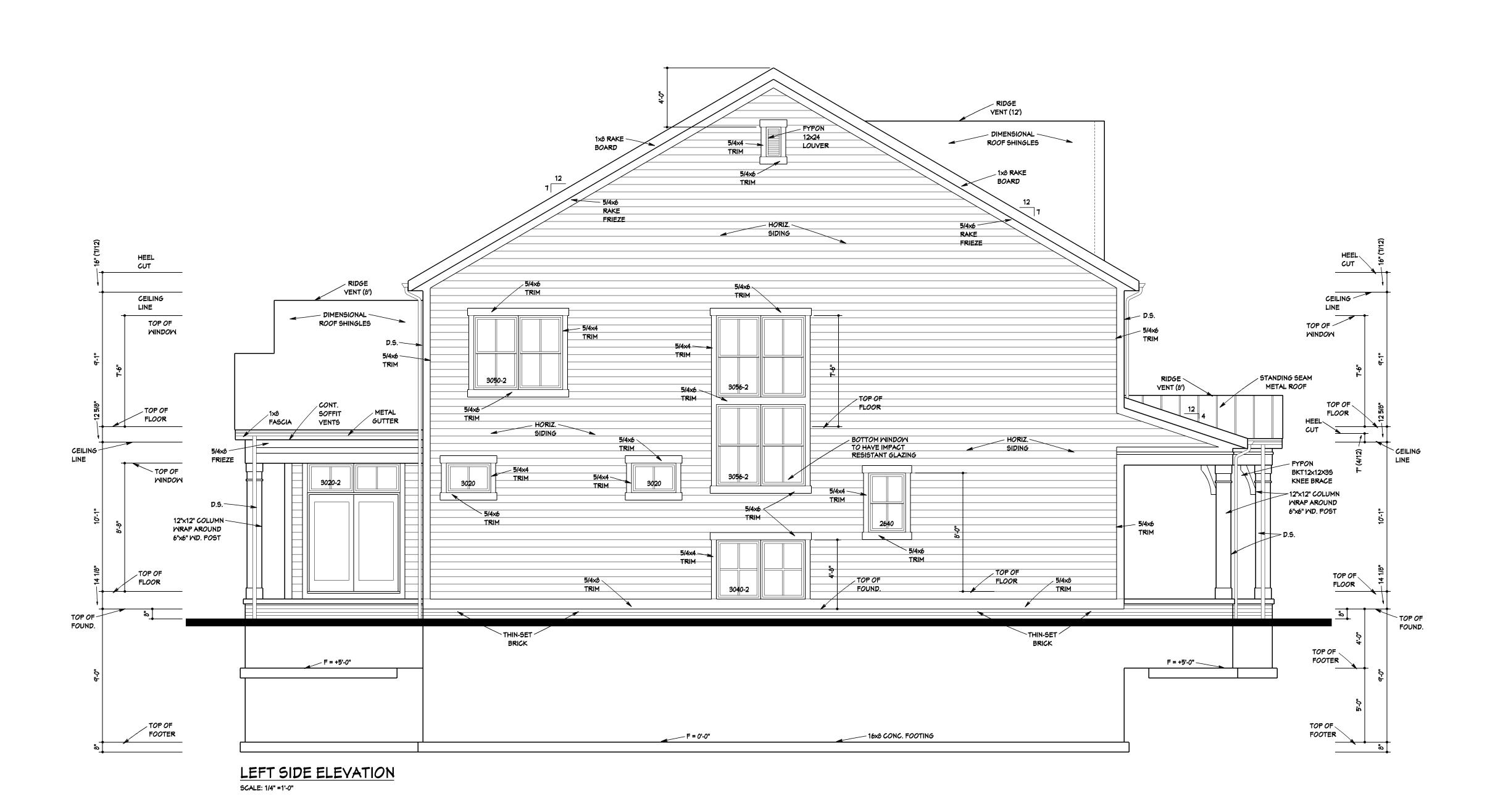
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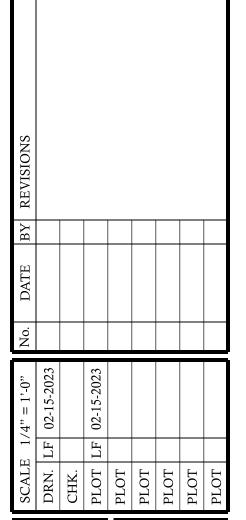


Spec. Residence Lot #28 Woodhaven

 Job No.
 Sheet No.

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 5-C







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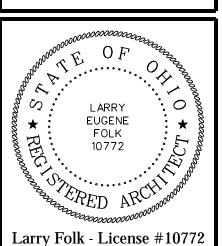
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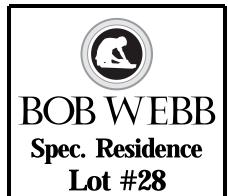
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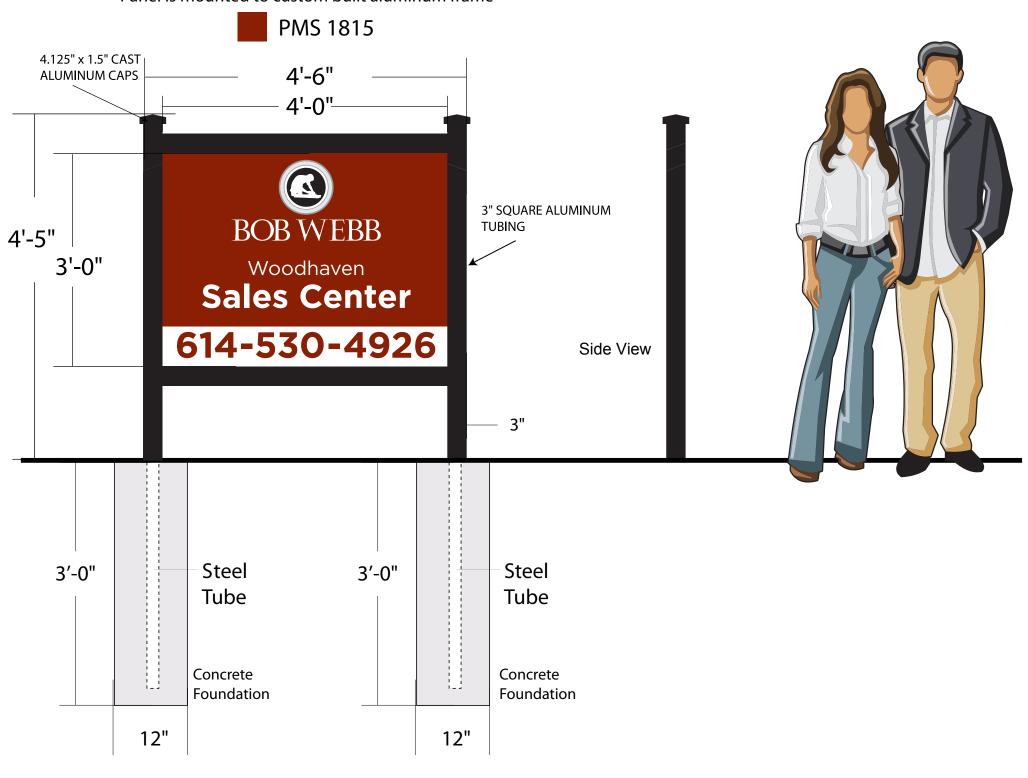
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 5-D

Woodhaven

DOUBLE FACE

Vinyl graphics on a 3'x4' aluminum panel Panel is mounted to custom built aluminum frame



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Client: Bob Webb | Woodhaven Drawing Date: 10-17-23

Project Name: Sales Center Sign Drawing #: 23-603 SP: KR D: BW



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Copy, colors, size, quantity

APPROVAL:

Client Signature: <u>Date:</u>