



**New Albany Architectural Review Board Meeting Agenda**  
Monday, February 12, 2024 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comment. The in-person meeting is held at New Albany Village Hall, 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

**I. Call to order**

**II. Roll call**

**III. Action on minutes:** December 11, 2023

**IV. Additions or corrections to agenda**

- Administer the oath to all witnesses/applicants/staff who plan to address the board, "Do you swear to tell the truth and nothing but the truth."

**V. Hearing of visitors for items not on tonight's agenda**

**VI. Cases:**

**ARB-001-2024 Certificate of Appropriateness with Waivers**

Certificate of Appropriateness to construct a new daycare to be located generally at the southwest corner of Main Street and Miller (PID: 222-000019, 222-000219, 222-000030). **Applicant: J. Carter Bean Architect LLC**

**VII. Other business**

**VIII. Poll members for comment**

**IX. Adjourn**

**New Albany Architectural Review Board**  
DRAFT Meeting Minutes, December 11, 2023

**I. Call to order**

The New Albany Architectural Review Board held a regular meeting on December 11, 2023 in the New Albany Village Hall. Chair Hinson called the meeting to order at 7:00 p.m. and asked to hear the roll.

**II. Roll call**

Those answering roll call:

Mr. Hinson	present
Mr. Iten	present
Mr. Brown	present
Mr. Davie	present
Mr. Maletz	present
Ms. Moore	present
Mr. Strahler	absent
President Pro Tem Brisk	present

Staff members present: Planning Manager Mayer and Deputy Clerk Madriguera.

**III. Action on minutes:** November 13, 2023

Chair Hinson asked if there were any corrections to the minutes from the November 13, 2023 meeting.

Board Member Iten moved for approval of the November 13, 2023 meeting minutes.  
Board Member Maletz seconded the motion.

Upon roll call: Mr. Iten yes; Mr. Maletz yes; Mr. Brown yes; Mr. Davie yes; Ms. Moore yes; Mr. Hinson yes. Having six yes votes, the motion passed and the November 13, 2023 meeting minutes were approved as submitted.

**IV. Additions or corrections to agenda**

Chair Hinson asked if there were any additions or corrections to the agenda.

Planning Manager Mayer answered no.

Chair Hinson administered the oath to all present who wished to address the board.

**V. Hearing of visitors for items not on tonight's agenda**

Chair Hinson asked if there were any visitors present who wished to address the board for items not on tonight's agenda.

Hearing none, he introduced the first and only case, ARB-106-2023.

Board Member Maletz stated that he was an applicant in this case and for that reason he would recuse himself from this matter. Board Member Maletz moved from the dais to the audience.

**VI. Cases:**

**ARB-106-2023 Certificate of Appropriateness**

Certificate of Appropriateness to construct six new townhomes along Richmond Square located generally north of Main Street, south of McDonald Lane, and west of Keswick Drive (PID: 222-000043).

**Applicant: Maletz Architects**

Planning Manager Mayer delivered the staff report.

Board Member Iten confirmed with Planning Manager Mayer that someone had done the math and there would be sufficient room to accommodate the elements that Planning Manager Mayer was describing – the porches, the bump-out, and the tree lawn.

Planning Manager Mayer responded that staff believed so. He continued that the applicant could speak to that but he believed there was room to accommodate those things.

Board Member Brown clarified that Planning Manager Mayer stated that the tree lawn should be 9-feet.

Planning Manager Mayer responded yes, as currently drafted it is 14-feet but staff recommended that it should be narrowed.

Board Member Iten and Board Member Brown clarified that condition 10 in the staff report stated that the tree lawn should be 8-feet, and asked whether 8-feet was the size that staff recommended.

Planning Manager Mayer agreed that staff intended that the tree lawn be 8-feet, as stated in condition 10 of the staff report. He further noted that it looked as if something was deleted in condition 10.

Board Member Brown further confirmed that condition 9 required a 6-foot sidewalk.

Planning Manager Mayer continued the staff presentation, and explained the waivers.

Chair Hinson thanked Planning Manager Mayer and stated that he had no questions for staff. He continued that he had some questions for the applicant, and asked if the applicant had anything to add.

Applicant Clare Knecht with Maletz Architects thanked Planning Manager Mayer and stated that she was available for questions.

Board Member Iten asked if she would like to respond to anything that staff had recommended and whether she thought the recommendations were appropriate.

Ms. Knecht stated that she thought the staff recommendations were appropriate and that anything that needed to be changed could be done, simply, on their end.

Chair Hinson asked how she would address item 12 with the garage doors.

Ms. Knecht responded that they would consider having three independent garage doors and if that did not work because of width, they would scale back down to two as they had originally planned.

Board Member Iten remarked that the single window coupled with the asymmetry of the garage doors bothered the Georgian part of him. He continued that he had surveyed the surrounding neighborhoods and did not see a similar 2 +1 asymmetry. It looked unbalanced. He would prefer to see two doors of the same width or three doors of the same width.

Board Member Brown agreed and remarked that the only good thing was that they would be well-hidden from view.

Board Member Iten remarked that was true, except for the unit that was all by itself.

Board Member Brown stated that he thought the applicant did a great job of incorporating elements from Richmond Square, but noted that one item that was different was that these units did not have dormers along the roofline. He asked whether that was an intentional decision.

Ms. Knecht responded yes, it was an intentional decision. She explained that they designed the buildings to be complementary but not identical.

Board Member Brown asked whether she had thought about brick yet.

Ms. Knecht responded yes, and stated that she had brought brick samples and notes based on existing conditions in Richmond Square and how they intended to replicate that. She showed and explained the samples

Board Member Iten offered his compliments. He stated that he was quite pleased, particularly with the treatment on Main Street with the wall. He continued that he had no issue with the existing three waiver requests, this is an unusual lot. However, he reiterated his recommendation that each unit should have 2 garage doors of the same width as appropriate to code.

Chair Hinson agreed with Board Member Iten's comments.

Board Member Brown also agreed, and remarked that Ms. Knecht did a beautiful job.

Board Member Davie referred to the three-dimensional image and asked for the distance separating the buildings.

Ms. Knecht responded that it was 14-feet.

Board Member Davies noted that it appeared the façade was repeated at the two locations and given the close proximity of the buildings, he encouraged the applicant to consider what that would feel like – walking in between the buildings and from the inside. He also encouraged the applicant to review the fire code to ensure that the buildings did not exceed the number of permissible openings. He also commented on the center and the steep drop off. He noted that there appeared to be a standard railing but remarked that it could be a bit of a hazard.

Board Member Iten asked whether something was needed to prevent someone from falling through.

Chair Hinson observed that it may be a place for ironwork.

Board Member Davie agreed. He continued that the front façade had five windows, the center appeared to be a bathroom window. He thought that the elevation felt a little crowded and wondered whether that window was completely necessary, or perhaps it should be a smaller window. He further observed that on the back elevation, that the window wells were deep and may require a guardrail.

Board Member Iten added that if guardrails are required they could be subject to staff approval.



Board Member Brown stated that a condition could be added that guardrails at the window wells or ironwork in the center Main St., if needed, would be subject to staff approval.

Board Member Davie reiterated the comments made about the garage doors. He further remarked about the three windows at the top and the one window below and wondered whether it could be two and two.

Board Member Iten followed Board Member Davie's observation and asked the board whether, on the single window on the ground, did the board want to require a change. If so, what was the board comfortable with. Alternatively, would the board be comfortable with suggesting a change, subject to staff approval.

Board Member Davie observed that it was very detached from the three windows beyond, so he did not see it needing any alignment. Perhaps the board could say it could go from one to two windows.

Ms. Knecht stated that in order to maintain the current floor plan, she would propose adding a false window evenly spaced on either side with a herringbone pattern in brick. This would still give the illusion of windows, but would maintain the infilled space.

Board Member Moore noted that there would still be one active window on that side.

Board Member Brown asked whether two faux windows and the real window would look too cluttered.

There was discussion of the configuration of furniture in the room and the possibility of one or two faux windows.

Ms. Knecht showed the board a sketch demonstrating their proposal for the windows and the garage doors.

The board liked the sketch.

Board Member Iten confirmed that the board agreed with handling the three waivers with a single motion.

Thereafter Board Member Iten moved for approval of the following waivers:

- Waiver to UCC Section 2.51(a) to allow the street yard setback to be 7+/- feet from Richmond Square where code requires a minimum 10-foot setback.
- Waiver to UCC Section 2.51(c) to allow the rear yard setback (McDonald Lane) to be 1.5+/- feet where code requires a minimum 15-foot setback.
- Waiver to UCC Section 2.51 to allow the building width to be less than 90% where code requires a minimum 90%
  - a. 73% (Main Street)
  - b. 75% (Richmond Square)
  - c. 59% (Keswick Drive).

Chair Hinson seconded the motion.

Upon roll call: Mr. Iten yes; Mr. Hinson yes; Mr. Davie yes; Ms. Moore yes; Mr. Brown yes. Having five yes votes, the motion passed, and the three waivers for ARB-106-2023 were approved.

Board Member Brown moved to approve ARB-106-2023 subject to the following conditions of approval, all of which are subject to staff approval:

1. If a composite material is to be used for trim and/or screening elements, the use and type of material is subject to staff approval.
2. Windows must comply with DGR requirements.
3. Above ground mechanical devices shall be located in the side or rear yard, behind all portions of the principal façade, and shall be fully screened from the street and neighboring properties.
4. A landscape plan must be submitted and meet all city landscape code requirements.
5. A lighting plan must be submitted.
6. Bicycle parking spaces must be provided and located outside of the right-of-way.
7. The trash containers shall be stored internal to the building, inside the garage.
8. The existing utility boxes along Main Street must either be vaulted or relocated to behind the existing sidewalk, subject to the city engineer's approval.
9. The sidewalk shall be 6-feet wide along Keswick Drive.
10. The plans shall be updated to provide an 8-foot wide tree lawn along Keswick Drive.
11. The front stoop depth and height are revised to meet code requirements.
12. The garage door shall be revised to meet code requirements.
13. Guardrails at the window wells, and iron work on the center Main Street retaining wall, if needed, shall be subject to staff approval.
14. Add two faux windows to the first-floor rear elevations, subject to staff approval.

Board Member Iten seconded the motion.

Upon roll call: Mr. Brown yes; Mr. Iten yes; Mr. Davie yes; Ms. Moore yes; Mr. Hinson yes. Having five votes, the motion passed and ARB-106-2023 was approved subject to the conditions stated above.

The board wished Mr. Maletz good luck.

## **VII. Other business**

Chair Hinson asked if there was any other business to come before the board.

Planning Manager Mayer answered that there was none from staff.

## **VIII. Poll members for comment**

Chair Hinson polled the members for comment.

The board members expressed thanks and inquired about future items for review.

Planning Manager Mayer responded that he was sure 2024 would bring interesting projects for review.

## **IX. Adjourn**

Having no further business, Board Member Iten moved to adjourn the December 11, 2023 meeting of the New Albany Architectural Review Board.

Chair Hinson seconded the motion.

Upon roll call: Mr. Iten yes; Mr. Hinson yes; Ms. Moore yes; Mr. Davie yes; Mr. Maletz yes; Mr. Brown yes. Having six yes votes, the motion passed and the December 11, 2023 meeting of the New Albany Architectural Review Board was adjourned at 7:45 p.m.

Submitted by Deputy Clerk Madriguera, Esq.

**Appendix**

**ARB-106-2023**

**Staff Report**

**Record of Action**



**Architectural Review Board Staff Report  
December 11, 2023 Meeting**

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**CERTIFICATE OF APPROPRIATENESS & WAIVERS  
RICHMOND SQUARE TOWNHOMES**

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LOCATION: Generally located north of Main Street, south of McDonald Lane, and west of Keswick Drive (PID: 222-000043-00)  
APPLICANT: Maletz Architects  
REQUEST: Certificate of Appropriateness & Waivers  
ZONING: Urban Center District within the Core Residential Sub-District  
STRATEGIC PLAN: Village Center  
APPLICATION: ARB-106-2023

Review based on: Application materials received on November 14, 2023.

*Staff report prepared by Chelsea Nichols, Planner.*

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**I. REQUEST AND BACKGROUND**

This certificate of appropriateness application is for new townhomes to be located generally north of Main Street, south of McDonald Lane, and west of Keswick Drive. The project includes 6 units within three buildings. The proposal includes keeping the lot as one while splitting the units into six separate condominium parcels so that each building is its own parcel.

The applicant requests the following waivers as part of the application:

- (A) Waiver to UCC Section 2.51(a) to allow the street yard setback to be 7+/- feet where code requires a minimum 10-foot setback.
- (B) Waiver to UCC Section 2.51(c) to allow the rear yard setback (McDonald Lane) to be 1.5+/- feet where code requires a minimum 15-foot setback.
- (C) Waiver to UCC Section 2.51 to allow the building width to be less than 90% where code requires a minimum 90%
  - a. 73% (Main Street)
  - b. 75% (Richmond Square)
  - c. 59% (Keswick Drive)

The site is located within the Urban Center Code Core Residential sub-district and the New Albany Country Club, Section 21: subarea 2 I-PUD zoning district. Per Codified Ordinance 1158.03(c), properties within the Architectural Review Overlay District that are zoned PUD before Chapter 1158 of the city code was adopted in 2011, are permitted to either develop under the requirements of the underlying PUD zoning or the Urban Center Code. The applicant has elected to develop under the Urban Center Code, therefore the requirements of the Urban Center Code, the New Albany Design Guidelines and Requirements and city code apply to this site.

## II. SITE DESCRIPTION & USE

In 2005, the ARB and Planning Commission approved a final development plan for Richmond Square (Section 21) of the New Albany Country Club. This development included traditional Georgian rowhouses to be developed fronting onto Richmond Square and Keswick Drive. Some of these rowhouses were developed on Richmond Square in phases. On January 24, 2022 the ARB approved a certificate of appropriateness and waivers to allow for the construction of a multi-unit building at this site. The applicant wishes to revise the plans for the site and requests a new certificate of appropriateness with waivers. The current request is to allow for the construction of new townhomes.

The site is surrounded by residentially zoned and used properties. The property is currently 0.75 acres in size.

## III. EVALUATION

The ARB's review is pursuant to C.O. Section 1157.06 (Architectural Review Overlay District). No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the building and site should be evaluated on these criteria:

### A. Certificate of Appropriateness

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
  - Section 2 of the New Albany Design Guidelines and Requirements provides the requirements for townhouses inside the Village Center. Section II (III.B.1) requires townhouse buildings to be based on an American architectural precedent described in section 1 of the DGRs. The city architect has identified the Georgian architectural style for the proposed building which meets this requirement.
  - This infill site is unique in the Village Center as it is located in between two different architectural form contexts. One is Richmond Square where traditional, Georgian rowhouse architecture is employed and the other being the existing Market and Main multi-unit buildings. The city architect has reviewed the proposal and is supportive of the buildings design and how they fit within the existing context of the Village Center.
  - The city architect also states that the submitted drawings appear to be conceptual at this point. The plans will require further review by the city architect at the time of permitting.
  - DGR Section II (III.F.1) states that the materials used for townhouse buildings shall be appropriate and typical of the architectural style in which the building is constructed. In general, the DGRs recommend wood siding and brick as preferred exterior materials but allows other materials to be used if approved by the ARB. Based on the provided application materials, it appears as though brick is the primary façade material. However, all other building elements are not identified on the plans. Staff recommends that the ARB confirm the proposed material for the roof shingles, trim, columns, and windows. If a composite material is used, staff recommends that it be subject to staff approval (condition #1).
  - DGR Section II (III.F.7) states historically, true divided-light wood window sash were the only ones available for multi-paned windows. Today most people prefer to simulate the divided-light look. The only acceptable form of this window is one in which the glass panes have vertical proportions (height greater than width) and correctly-profiled muntins with an internal spacer that gives the appearance of a muntin extending through the glass. IN addition, there must be an offset between the upper and lower sash to give the window a double-hung appearance. No snap-in or flat muntins will be approved. New windows must be made of wood and may have either vinyl or aluminum cladding on the exterior.

- No information has been provided about the windows. The city staff recommends a condition of approval that windows must comply with the DGR requirements (condition #2).
  - DGR Section II (III.C.3) states buildings shall be oriented towards the primary street on which the building is located.
    - This site is unique in that it has three frontages: Main Street, Richmond Square and Keswick Drive. While the main entrances to the buildings are along Richmond Square and Keswick Drive, the applicant has located secondary entrances that appear as though they are front entrances to the building along the Main Street elevations, which is appropriate as it is the primary road corridor.
  - DGR Section III (IV.B.3) states that garages shall be clearly secondary in nature, by means of a simplified design compatible with the primary structure and no garage doors are permitted to be visible from the primary streets. The applicant has accomplished this requirement as they propose to locate the garages in the rear of the homes and screen the garages with brick screen walls.
  - Urban Center Code section 2.54.1 states above ground mechanical devices shall be located in the side or rear yard, behind all portion of the principal façade, and shall be fully screened from the street and neighboring properties. Section 2.54.2 states above ground utility structures should be located in the alley or side or rear yard and fully screened from the street. The applicant has not identified screening for mechanical equipment and staff recommends a conditional of approval that all proposed mechanical meet these requirements (condition #3), subject to staff approval.
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*

### **Landscape**

- Urban Center Code Section 2.74.1 requires all street and side yards, where present, to be landscaped with trees, shrubs, grass, ground cover and other plant materials.
  - a. Urban Center Code Section 5.8 states the following for street trees: All street trees shall be of large deciduous species.
  - b. Street trees shall be of a single species on each block, except within parks and preservation and campus subdistricts. Street tree species and arrangements shall be subject to staff approval.
  - c. Street trees species shall match the adjacent block unless the adjacent street typology differ.
- Some landscaping is shown on the site plan that shows the general location of proposed landscape improvements for the site but does not include any size or species details. Since a detailed landscape plan was not submitted, staff recommends a condition of approval that it be subject to staff approval and that all landscape code requirements be met for the site (condition #4).

### **Lighting**

- A detailed lighting plan was not submitted for review and staff recommends a condition of approval that one be submitted and be subject to staff approval (condition #5).

### **Parking and Circulation**

- Urban Center Code Section 2.53.1 requires a minimum of one off-street parking space per unit. The applicant is exceeding this requirement by providing one two-car garage per unit. The required number of off-street parking for the units is 6 and the applicant is providing 12.

- In addition to the off-street parking provided, the building will front onto Richmond Square where there are a total of 8 existing on-street parking spaces (4 on each side of the street) immediately adjacent to the building. The applicant is providing 5 additional on-street parking spaces along Main Street in order to match the established streetscape in the immediate area.
- Urban Center Code Section 2.52.1 states where an alley is present, parking and services shall be accessed through the alley. The applicant meets this requirement as the access drive to the garages will be derived from a curb cut located on the rear yard alley, McDonald Lane.
- Per Urban Center Code Section 5.30.3, one bicycle parking space is required to be provided on site based on the number of off-street parking spaces. The plan does not currently show bike racks. Staff recommends a condition of approval that the plans be updated to include the required number of bike racks on private property, subject to staff approval (condition #6).

### **Signage**

- No signage was submitted for review. All new signage will be subject to ARB review and approval at a later date.
3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
    - The site is currently vacant and is located in the immediate vicinity of the Richmond Square development and the Market and Main multi-unit buildings. The city architect has reviewed and preliminarily approved the submittal.
  4. *All buildings, structures and sites shall be recognized as products of their own time.*
    - The proposed building is new construction and is appropriately designed using the Georgian architectural style.
  5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
    - The shape, proportion and breakdown of architectural elements are appropriate for the proposed architectural style and compliments existing buildings in the immediate area.
  6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
    - Not Applicable
  7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
    - Not applicable.

### **B. Urban Center Code Compliance**

This site is located in the Core Residential Sub-District. The building typology proposed is townhouse. Certain standards are evaluated on a lot-by-lot basis and others are evaluated on the lot as a whole. The lot will remain as one but the proposal is to separate each condominium so that they each have their own parcel number.

**2.51 Lot and Building Standards:**

<b>Standard</b>	<b>Minimum</b>	<b>Maximum</b>	<b>Proposed</b>
Lot Area	800 sq. ft	5,000 sq. ft	2, 498 sq. ft
Lot Width	25'	50'	31 feet
Lot Coverage	No min	80%	59% [meets code]
Street Yard	10'	25'	7 ft (Richmond Square) <b>[waiver requested]</b> 15 ft (Main St) 15 ft (Keswick Drive)
Side Yard	5'	No max	7.5 ft.
Rear Yard	10'	No max	1.5 ft (McDonald Lane) <b>[waiver requested]</b>
Building Width	90%	100%	73% (Main Street) <b>[waiver requested]</b> 75% (Richmond Square) <b>[waiver requested]</b> 59% (Keswick Drive) <b>[waiver requested]</b>
Stories	2	3	2.5 [meets code]
Height	No min	45	44 feet (from level 0 to ridge of roof) [meets code]

- Per 2.55.3, townhouses on corner lots shall be designed to include windows and at least one vertical plane break in elevation on the second side facing the street. The applicant meets this requirement.
- 2.55.4 The maximum allowed building length shall be 300 feet for the Core Residential Sub-District. The applicant meets this requirement as the largest building length is 80 feet.
- Per Urban Center Code Section 2.72.3, trash containers are required to be stored out of public view and screened from adjacent properties. Staff recommends a condition of approval that the trash containers be stored internal to the building, inside the garage (condition #7).

**2.55 Building Frontage Standards:**

Urban Center Code Section 2.55 requires the following:

- Per 2.55.1, at least one functioning entrance to the townhome shall be provided from the street or side yard. The applicant meets this standard as there is a functioning entrance along all street yards. Each entrance includes a covered stoop.
- Per 2.55.2, a building frontage in accordance with section 3.2 shall be incorporated at the street or side yard entrance. Each functioning entrance has its own size and setback requirements. In this case, the applicant proposes covered stoops, which is permitted. The covered stoops must adhere to the following standards:

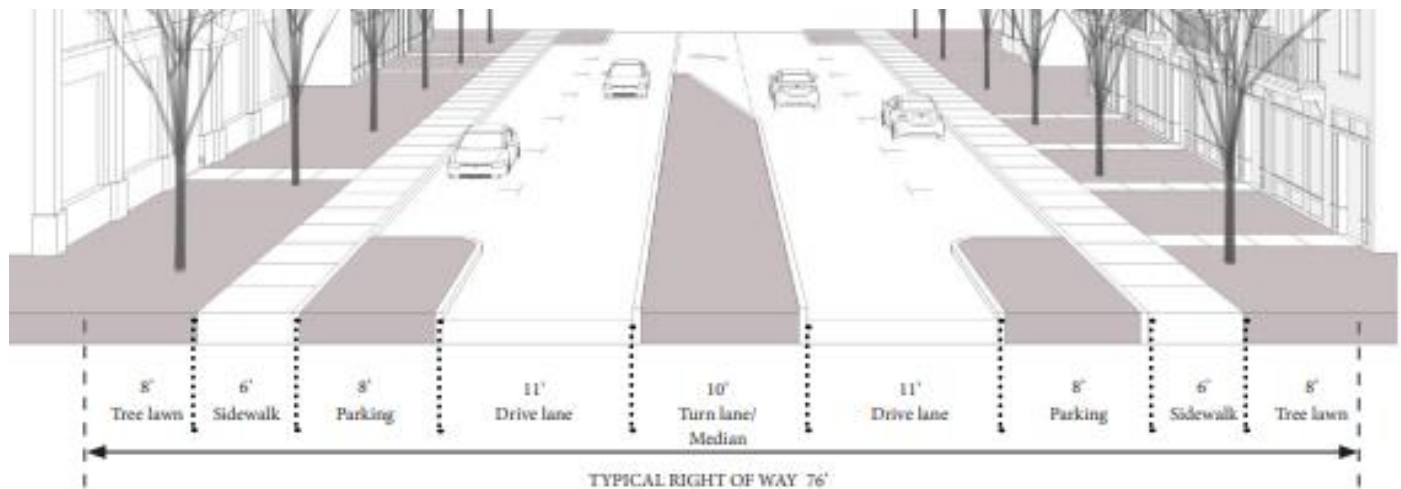


<p><b>3.10 Covered Stoop Standards</b></p> <p>3.10.1 The following standards shall be used for covered stoops:</p> <p style="padding-left: 40px;"><i>Minimum width (a): 5'</i></p> <p style="padding-left: 40px;"><i>Minimum depth (b): 4'</i></p> <p style="padding-left: 40px;"><i>Maximum landing height (c): 42"</i></p> <p style="padding-left: 40px;"><i>Minimum clearance (d): 8'</i></p> <p>3.10.2 Covered stoops and steps may encroach up to 2' within the right-of-way, subject to the approval of the City Manager or designee. A minimum pedestrian clear zone of 5' must be maintained.</p> <p>3.10.3 Stoop roof may be used as balcony space or enclosed to create habitable space.</p>	<p><b>Proposed</b></p> <p>Width: 6.5 feet width</p> <p>Depth: 1.5 depth</p> <p>Height: 28"</p> <p>Clearance: 9.5 feet</p> <p><u>Staff recommends a condition of approval that the front stoop depth and height are revised to meet code requirements (condition #11).</u></p>
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## 5.2 Street and Network Standards

### Main Street:

- This original streetscape was approved by the ARB and by staff in accordance with Urban Center Code Section 5.2.1 (ARB-31-2016). This includes the sidewalks, tree lawns, front yards, and on-street parking.
- Urban Center Code Section 5.1 identifies this section of Main Street at Village Street. The following standards apply:



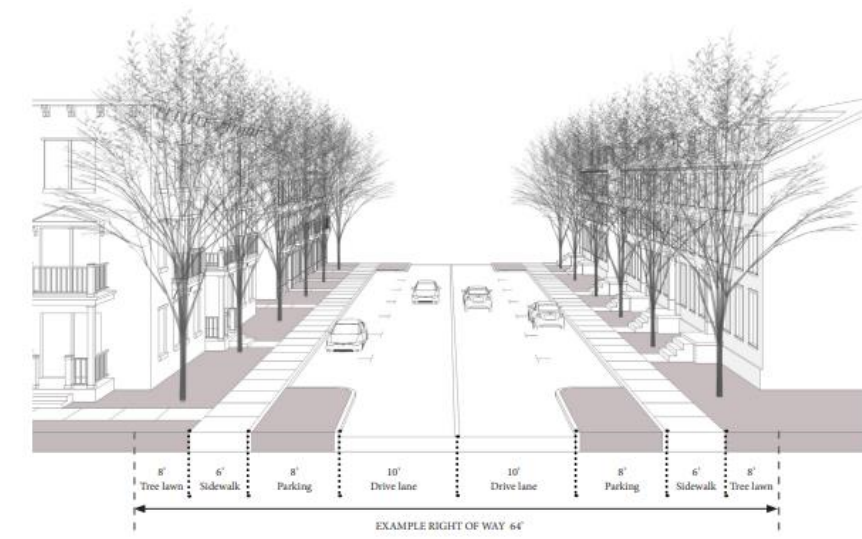
- The applicant proposes to meet all of the width and tree spacing requirements for the streetscape. The proposal flip-flops the location of the sidewalk and the tree lawn in order to match the existing residential design that the ARB approved in front of the apartment buildings on Main Street.

Standard	Minimum	Maximum	Proposed
Tree Spacing	30'	35'	35' [existing and meets code]
Tree Lawn	8'	10'	10' [proposed and meets code]
Sidewalk Width	6'	8'	6' [existing and meets code]
Parking Width	8'	8'	8' [proposed and meets code]
Drive Lane Width	10'	11'	N/A
Turn Lane Width	10'	10'	N/A
Total R.O.W	64'	84'	100' [existing]

- The city has always placed an importance of undergrounding utilities and their appurtenances whenever possible especially in the Village Center. There are 3 existing utility boxes that are installed within the Main Street streetscape. If these utilities are relocated or vaulted underground, it appears that there is sufficient space to add an additional on-street parking space. Staff recommends a condition of approval that these existing utility boxes are either installed underground or relocated to behind the existing sidewalk on Main Street, subject to the city's engineer's approval (condition #8).

#### Richmond Square and Keswick Drive:

- Urban Center Code Section 5.1 identifies Richmond Square and Keswick Drive as a Village Avenue. The following standards apply:



**Richmond Square:**

Standard	Minimum	Maximum	Proposed
Tree Spacing	25'	25'	25' [existing and meets code]
Tree Lawn	6'	8'	6' [proposed and meets code]
Sidewalk Width	6'	8'	6' [proposed and meets code]
Parking Width	8'	8'	8' [existing and meets code]
Drive Lane Width	9'	10'	9' [existing and meets code]
Turn Lane Width	-	-	-
Total R.O.W	58'	64'	35 feet [existing and previously approved with original Richmond Square subdivision]

**Keswick Drive:**

Standard	Minimum	Maximum	Proposed
Tree Spacing	25'	25'	25' [proposed and meets code]
Tree Lawn	6'	8'	14' [proposed, <u>Staff recommends a condition of approval that the plans be updated to meet this code requirement (condition #10) by shifting the sidewalk closer to the street so there is an 8-foot-wide tree lawn.</u>
Sidewalk Width	6'	8'	5' [proposed] <u>Staff recommends a condition of approval the side is a minimum of 6 feet wide.</u>
Parking Width	8'	8'	No on-street parking is proposed in order to match the existing street typology established by the apartments and Keswick subdivision. Staff is supportive and recommends the tree lawn be 8 feet to accommodate the possibility of future on-street parking.
Drive Lane Width	9'	10'	13' [existing and approved by ARB via Keswick application]
Turn Lane Width	-	-	-
Total R.O.W	58'	64'	50 feet

**C. Waiver Requests**

The ARB's review is pursuant to C.O. Section **1113.11 Action by the Architectural Review Board for Waivers**, within thirty (30) days after the public meeting, the ARB shall either approve, approve with supplementary conditions, or disapprove the request for a waiver. The ARB shall only approve a waiver or approve a waiver with supplementary conditions if the ARB finds that the waiver, if granted, would:

1. *Provide an appropriate design or pattern of development considering the context in which the development is proposed and the purpose of the particular standard. In evaluating the context as it is used in the criteria, the ARB may consider the relationship of the proposed development with adjacent structures, the immediate neighborhood setting, or a broader vicinity to determine if the waiver is warranted;*

2. *Substantially meet the intent of the standard that the applicant is attempting to seek a waiver from, and fit within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirements;*
3. *Be necessary for reasons of fairness due to unusual building, structure, or site-specific constraints; and*
4. *Not detrimentally affect the public health, safety or general welfare.*

The applicant requests the following waivers as part of the application.

- (A) Waiver to UCC Section 2.51(a) to allow the street yard setback to be 7+/- feet from Richmond Square where code requires a minimum 10-foot setback.**
- (B) Waiver to UCC Section 2.51(c) to allow the rear yard setback (McDonald Lane) to be 1.5+/- feet where code requires a minimum 15-foot setback.**
- (C) Waiver to UCC Section 2.51 to allow the building width to be less than 90% where code requires a minimum 90%**
  - a. 73% (Main Street)**
  - b. 75% (Richmond Square)**
  - c. 59% (Keswick Drive)**

- (A) Waiver to UCC Section 2.51(a) to allow the street yard setback to be 7+/- feet from Richmond Square where code requires a minimum 10-foot setback.**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.51(a) states that the required minimum street yard setback for a townhome building is 10 feet. The applicant proposes a 6.5+/- foot setback along the closest street yard property line (Richmond Square), therefore a waiver is required.
2. The application provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. The existing Richmond Square buildings have a street yard setback of approximately 12 feet. The existing apartments have a street yard setback from Main Street that varies between 5-15 feet. This development proposes setbacks close to those of the apartments, thereby serving as a transitional area from townhomes to apartments.
3. The application substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. The overall development substantially meets the intent of this standard since it provides a traditional urban form as desired in the UCC where a smaller setback is desirable. Even with the reduced setback, the application is providing all of the required streetscape improvements. The request is necessary for reasons of fairness due to unusual building, structure, or site-specific constraints since this is an existing lot with three street yards. This waiver request is just for the portion of the development that fronts onto Richmond Square. The buildings that fronts onto Keswick Drive and Main Street meet the required setbacks. Therefore, the development still provides an appropriate pattern of development as Main Street is the primary street yard and Richmond Square and Keswick are secondary streets.
4. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

- (B) Waiver to UCC Section 2.51(c) to allow the rear yard setback (McDonald Lane) to be 1.5+/- feet where code requires a minimum 15-foot setback.**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.51(c) states that the required rear yard setback for a townhome building is 10 feet. The applicant proposes a 1.5+/- foot setback along the rear property line (McDonald Lane), therefore a waiver is required.
2. The application provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. Due to the unique shape of the lot and curvature of McDonald Lane, the setback line varies along the rear yard lot line and only a portion of the building encroaches into this setback.
3. The plan substantially meets the intent of the standard that the applicant is attempting to seek a waiver from. The design hides the garages but still utilizes a public alley from McDonald Lane. With the garages being below living space within the building, instead of merely behind it, it accomplishes the form desired by the DGRs and UCC and matches the development pattern in the area.
4. The request could be considered to be necessary for reasons of fairness due to unusual building, structure, or site-specific constraint. The UCC contemplates all townhomes having a backyard to have space to provide a detached garage as is typically in traditional urban environments. Due to the grade changes, the garages are being incorporated into the house massing. The existing parcel is setup to accommodate this development pattern and doesn't leave space for a large traditional, grassed backyard.
5. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

**(C) Waiver to UCC Section 2.51 to allow the building width to be less than 90% where code requires a minimum 90%**

- a. 73% (Main Street)**
- b. 75% (Richmond Square)**
- c. 59% (Keswick Drive)**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.51 states that the minimum building width is 90%. The proposed building widths are 73% (Main Street), 75% (Richmond Square), and 59% (Keswick Drive). Therefore, a waiver is required.
2. The application provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. The proposed setback along Main Street is 15 feet. The existing apartments have a setback from Main Street that varies between 5-15 feet. The result of having consistent setbacks is that it pushes the buildings back and creates more green space.
3. The application substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. This requirement intends to create more density within the village center. Along Main Street, there is no building but there is a wall to provide a street presence and continuity of the built environment. Along Kewsick Drive, the decreased building widths are meant to mimic the single-family homes to the west.
4. In addition, while the building width is less than 90%, the applicant has incorporated urban design elements, such as stoops that project towards Richmond Square that connect to private sidewalks that connect to the public sidewalks that runs along Richmond Square.
5. The request could be considered to be necessary for reasons of fairness due to unusual building, structure, or site-specific constraints. There are site constraints due to utilities that the applicant had to consider when designing the buildings. This is a corner lot with three street yards each with utilities. There are existing utility easements along the front yards. The utility areas cannot be built upon and thereby decreases the buildable space.

6. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

#### **IV. SUMMARY**

The Architectural Review Board should evaluate the overall proposal based on the requirements in the Design Guidelines and Requirements, Urban Center Code, and city codified ordinances. This site is unique in the Village Center as it is located in between two different architectural forms. One is Richmond Square where traditional, Georgian rowhouse architecture is employed and the other being the existing Market and Main multi-unit buildings. The applicant has successfully pulled cues from the existing Richmond Square architecture while building a townhouse structures that also relates to the existing Market and Main multi-unit buildings. This is accomplished by the use of similar high-quality building materials and the building's shape and proportion. Further, the applicant appears to match the existing Main Street typology which ensures that a consistent, welcoming pedestrian environment will continue to be achieved along this road. Relocating or burring the utility boxes will ensure a consistent design. All of these elements contribute to providing an appropriate gateway into the Village Center on Main Street.

#### **V. ACTION**

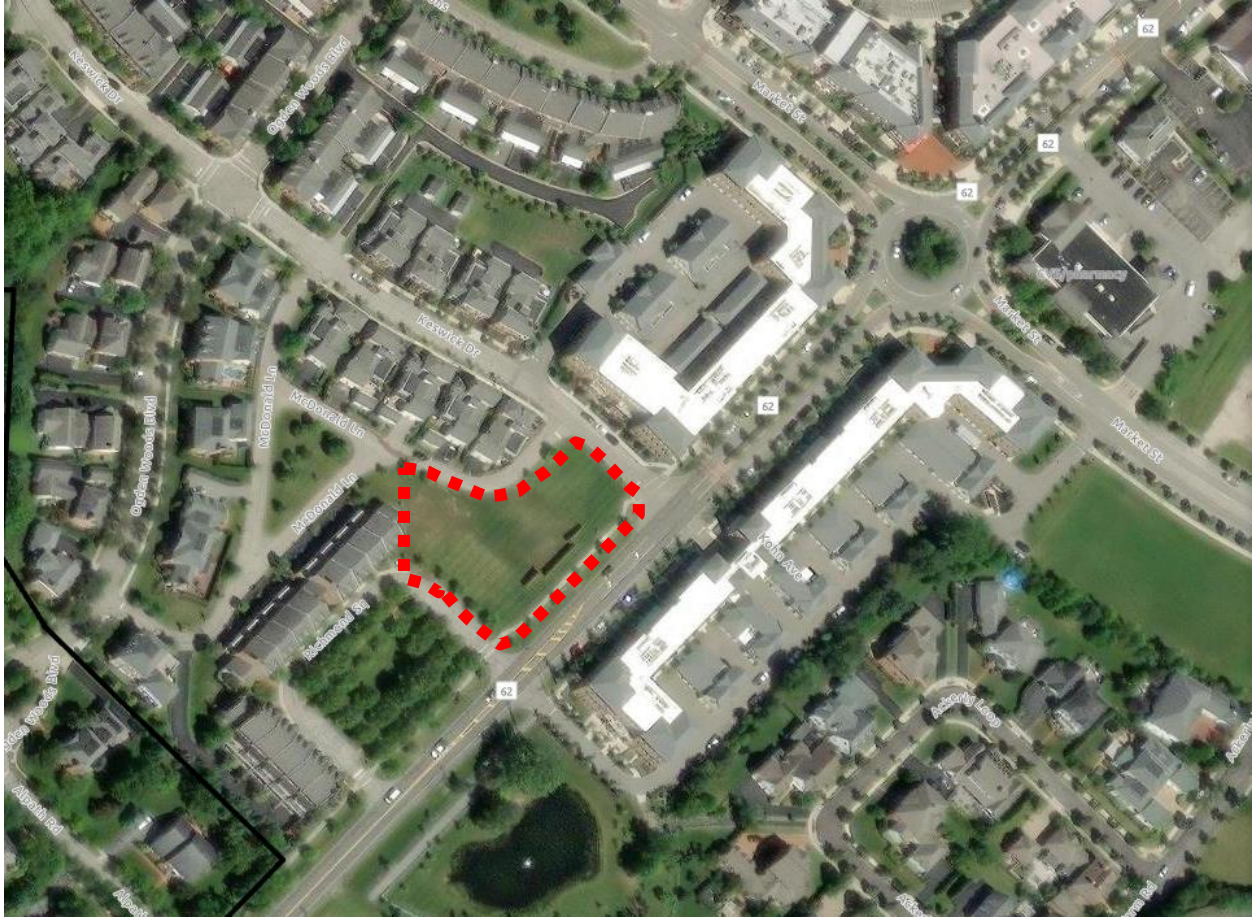
Should the ARB find that the application has sufficient basis for approval, the following motion would be appropriate:

**Move to approve application ARB-106-2023 subject to the following conditions of approval, all subject to staff approval:**

1. If a composite material is to be used for trim and/or screening elements, the use and type of material is subject to staff approval.
2. Windows must comply with the DGR requirements.
3. Above ground mechanical devices shall be located in the side or rear yard, behind all portions of the principal façade, and shall be fully screened from the street and neighboring properties, subject to staff approval.
4. A landscape plan must be submitted and meet all city landscape code requirements, subject to staff approval.
5. A lighting plan must be submitted and is subject to staff approval.
6. Bicycle parking spaces must be provided and located outside of the right-of-way, subject to staff approval.
7. The trash containers shall be stored internal to the building, inside the garage.
8. The existing utility boxes along Main Street must either be vaulted or relocated to behind the existing sidewalk, subject to the city engineer's approval.
9. The plans shall be revised to clearly indicate the proposed sidewalk is 6-foot wide along Richmond Square and Keswick Drive, connecting into the existing sidewalk sections along both Richmond Square and Main Street, subject to staff approval.
10. The plans shall be updated to provide a 6'8-foot-wide tree lawn along Keswick Drive.
11. The plans shall be updated to clarify whether the covered stoops meet code.



**Approximate Site Location:**



Source: ArcGIS



## **Community Development Department**

RE: City of New Albany Board and Commission Record of Action

Dear Maletz Architects,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.





## Community Development Department

### Decision and Record of Action

Tuesday, December 12, 2023

The New Albany Architectural Review Board took the following action on 12/11/2023 .

#### Certificate of Appropriateness

**Location:** Richmond Square, Main Street, Keswick Drive

**Applicant:** Maletz Architects

**Application:** PLARB20230106

**Request:** Certificate of Appropriateness with Waivers

**Motion:** To approve with conditions

**Commission Vote:** Motion Approved

**Result:** Certificate of Appropriateness, PLARB20230106, was approved with conditions, by a vote of 5-0.

#### Waivers:

- Waiver to UCC Section 2.51(a) to allow the street yard setback to be 7+/- feet from Richmond Square where code requires a minimum 10-foot setback.
- Waiver to UCC Section 2.51(c) to allow the rear yard setback (McDonald Lane) to be 1.5+/- feet where code requires a minimum 15-foot setback.
- Waiver to UCC Section 2.51 to allow the building width to be less than 90% where code requires a minimum 90%
  - a. 73% (Main Street)
  - b. 75% (Richmond Square)
  - c. 59% (Keswick Drive).

Recorded in the Official Journal this December 12, 2023.

#### Condition(s) of Approval:

See page 3

Staff Certification:

*Chelsea Nichols*

Chelsea Nichols  
Planner

1. If a composite material is to be used for trim and/or screening elements, the use and type of material is subject to staff approval.
2. Windows must comply with the DGR requirements.
3. Above ground mechanical devices shall be located in the side or rear yard, behind all portions of the principal façade, and shall be fully screened from the street and neighboring properties, subject to staff approval.
4. A landscape plan must be submitted and meet all city landscape code requirements, subject to staff approval.
5. A lighting plan must be submitted and is subject to staff approval.
6. Bicycle parking spaces must be provided and located outside of the right-of-way, subject to staff approval.
7. The trash containers shall be stored internal to the building, inside the garage.
8. The existing utility boxes along Main Street must either be vaulted or relocated to behind the existing sidewalk, subject to the city engineer's approval.
9. The sidewalk shall be 6-foot wide along Keswick Drive.
10. The plans shall be updated to provide an 8-foot-wide tree lawn along Keswick Drive.
11. The front stoop depth and height shall be revised to meet code requirements.
12. The garage doors shall be revised to meet code requirements.
13. Guardrails at the window wells and iron work on the center Main Street retaining wall shall be subject to staff approval if required.
14. Two full windows shall be added to the all rear elevations on the first floor, subject to staff approval.



**Architectural Review Board Staff Report  
February 12, 2024 Meeting**

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**CERTIFICATE OF APPROPRIATENESS & WAIVERS  
BALANCED FAMILY ACADEMY**

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LOCATION: Generally located at the southwest corner of Main Street and Miller Avenue  
(PIDs: 222-000019, 222-000219, 222-000030)  
APPLICANT: J. Carter Bean Architect LLC  
REQUEST: Certificate of Appropriateness & Waivers  
ZONING: Urban Center District within the Village Core Sub-District  
STRATEGIC PLAN: Village Center  
APPLICATION: ARB-01-2024

Review based on: Application materials received on January 12, 2024.

*Staff report prepared by Chelsea Nichols, Planner.*

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**I. REQUEST AND BACKGROUND**

This certificate of appropriateness application is for a new daycare to be located generally at the southwest corner of Main Street and Miller Avenue. The proposal includes one building, a play area, the creation of off-street parking, and combining the three existing parcels.

The applicant requests the following waivers as part of the application:

- (A) Waiver to UCC Section 2.87 to allow the lot width to be approximately 215.28' where code requires a maximum lot width of 200'.
- (B) Waiver to UCC Section 2.87 to allow the southern side yard setback to be 130+/- feet where code requires a maximum 20-foot setback.
- (C) Waiver to UCC Section 2.87 to allow the building width to be 71.3% and 29% of the lot where code requires a minimum 80%.
- (D) Waiver to UCC Section 2.89.2 to allow 55 off-street parking spaces where code requires a maximum of 37 spaces.
- (E) Waiver to City of New Albany Codified Ordinance Chapter 1171.06 to allow peninsulas or islands within the parking lot to be constructed at less than 350 square feet when code requires landscape areas to be no smaller than 350 square feet.
- (F) Waiver to UCC Section 2.89.5 to allow parking spaces to be located closer than 10' behind the street yard when code requires surface parking to be a minimum of 10' behind the street yard.
- (G) Waiver to UCC Section 2.91.2 to omit the requirement that each front and side yard entrance to the building incorporate a permitted building frontage such as a stoop, covered stoop, side stoop, balcony, storefront, awning, gallery or arcade.

The majority of the site is located in the Village Core area within the Urban Center District (UCD). A small portion of the site is located in the NACO 1998 PUD Subarea 4C: Village Commercial zoning district. Per Codified Ordinance 1158.03(c), properties within the Architectural Review Overlay

District that are zoned PUD before Chapter 1158 of the city code was adopted in 2011, are permitted to either develop under the requirements of the underlying PUD zoning or the Urban Center Code. The applicant has elected to develop under the Urban Center Code, therefore the requirements of the Urban Center Code, the New Albany Design Guidelines and Requirements and city code apply to this site. Urban Center Code section 4.1 allows day care centers as a permitted use within the Village Core subarea.

## **II. SITE DESCRIPTION & USE**

The site is surrounded by Urban Center and PUD properties. The property is currently 0.969 acres in size.

## **III. EVALUATION**

The ARB's review is pursuant to C.O. Section 1157.06 (Architectural Review Overlay District). No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the building and site should be evaluated on these criteria:

### **A. Certificate of Appropriateness**

#### *1. The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*

- Architectural standards for this site are regulated by New Albany Design Guidelines and Requirements (DGRs), Section 3 (Village Center Commercial).
- DGR Section 3 (II.E.1) states wood and brick are the most appropriate exterior materials. The DGRs state materials of which new building are constructed shall be appropriate for and typical of materials traditionally used in the commercial architecture which inspired the design of the new building. In general, wood and brick are the most appropriate exterior materials in the older areas of the Village Center District.
  - The architecture meets this standard as the majority of the building is brick.
- The exterior material of the building also includes sections of hardi-plank siding. DGR Section 3 (II.E.1 and II.E.2) states the uses of façade materials other than wood or brick must be approved by the Architectural Review Board. The use of alternate materials such as hardi-plank may be appropriate when they are used in the same way as traditional materials would have been used.
  - The Architectural Review Board should review and evaluate the appropriateness of the proposed hardi-plank material to ensure it is used in the same way as traditional materials (wood).
- DGR section 3(II)(A)(1) & (2) requires new buildings to follow the stylistic practice of traditional American commercial architecture as described in the DGRs and the "American Architectural Precedent" section. Building designs shall not mix elements from different styles. The number, location, spacing, and shapes of window and door openings shall be the same as those used in traditional commercial building design. All visible elevations of a building shall receive similar treatment in style, materials, and design so that no visible side is of a lesser visual character than any other.
  - The architecture meets these standards.
- The Design Guidelines and Requirements require new windows to be true divided light or simulated divided light. The DGRs require the simulated divided light window to be one in which the glass panes have vertical proportions (height greater than width) and correctly profiled muntin's with an internal spacer that gives the appearance of a muntin extending through the glass. New windows must be made of wood and may be either vinyl or aluminum cladding on the exterior.
  - The proposed aluminum clad windows with internal spacers meet these standards.

- DGR section 3(II)(B)(2) requires orientation of the main building facades, those with the primary entrances, shall be toward the primary street on which the building is located.
    - The proposed building does include a primary entrance along the primary street, which is Main Street.
  - Buildings shall also have operable and active front doors along all public and private roads.
    - In addition to a primary entrance along Main Street, the building also includes an active and operable door along Miller Avenue.
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*

Urban Center Code section 2.4 states that unless otherwise stated in the Urban Center Code, the development standards of Part Eleven of the Codified Ordinances of New Albany shall apply. This typically includes parking, landscaping and lighting requirements.

### **Landscape**

- Urban Center Code Section 2.92.1 states all street and side yards, where present, shall be landscaped with trees, shrubs, grass, ground covers, or other plant materials or a combination of these materials.
- Per Codified Ordinance section 1171.05(e) the following minimums are required, based upon total ground coverage of structures and vehicular use areas for this site:
  - Between 20,000 and 50,000 square feet: A minimum of one tree for every 5,000 square feet of ground coverage and a total tree planting equal to ten inches plus one-half inch in tree trunk size for every 2,000 square feet over 20,000 feet in ground coverage.
  - The applicant is required to provide 7 trees and a total of 14" in tree trunk size. The landscape plan meets this standard.
- The following parking lot island standards apply per Codified Ordinance section 1171.06:
  - Large, unbroken expanses of parking lot shall be avoided. Large lots should be separated into a series of smaller interconnected lots separated by peninsulas or islands.
    - The plan meets this standard.
  - No individual landscape area shall be smaller than 350 square feet. The applicant proposes to retain a couple of existing islands that are less than 350 square feet. The existing islands were approved as part of the former Noah's building, which is the now Infinite church building. The applicant also proposes to construct two new islands and two new peninsulas.
    - One of the two new peninsulas is proposed to be 235 square feet, which is less than the require 350 square feet. The applicant has requested a waiver for the proposed, small peninsula.
  - For each 100 square feet, or fraction thereof, of parking area, a minimum total of five square feet of landscaped area shall be provided.
    - The applicant meets this standard.
  - Parking areas should contain a minimum of one deciduous canopy tree for every ten parking spaces. The landscape plan states they are adding an additional 40 spaces to the existing spaces, therefore requiring 4 trees. However, the requirement is based on the total 55 spaces provided on site.
    - Therefore, 6 trees are required and provided.

- Trees used in parking lot islands shall have a clear trunk of at least five feet above the ground, and the remaining areas shall be landscaped with shrubs, or ground cover, not to exceed two feet in height.
    - The landscape plan meets this standard.
- Buffering: Parking lots shall be screened from primary streets, residential areas, and open space by a 3.5-foot minimum height evergreen hedge or masonry wall, or combination of wall and plantings.
  - The landscape plan meets this standard.
- The city landscape code requires street trees to be installed. Street trees are typically installed 30 feet on center, shall be a minimum of three (3) inches caliper, and must be of the same genus and species planted continuously along the length of each street.
  - The applicant is proving 7 street trees along Main Street, which meets this standard. The street trees for Miller Avenue are existing.

### **Lighting**

- External light pole locations and style are shown on the lighting plan provided by the applicant. Additionally, the photometric plan with foot candle units was provided. It appears as though light from the proposed fixtures will not bleed offsite.
- The parking lot lighting will match existing poles and fixtures as what is adjacent/next door at the Infinite Church lot.
- The city standard street light for the Village Center shall be installed along Main Street. The city staff has provided the design and construction specifications to the applicant and they commit to revising the plans and using the appropriate fixture. The city staff will continue to work with the applicant to ensure the Acorn style street light is installed along Main Street in order to achieve consistency between sites within the Village Center.

### **Parking and Circulation**

- Urban Center Code Section 2.88.3 states coordinated driveway access and cross access to multiple sites should be provided where practice. The site meets this requirement with the coordinated driveway and cross access to the neighboring site to the southwest (Infinite Church).
- UCC Section 2.89.2 states sites containing a building typology of traditional commercial are required to have a minimum of 2 off-street parking spaces and a maximum of 1 space per 400 square feet of building area. The applicant proposes a 14,490 square foot building, which permits a maximum of 37 off-street parking spaces. The applicant proposes 55 off-street parking spaces; therefore, a waiver has been requested.
- Per UCC 2.89.3, available on-street parking within 100 feet of the property lines shall provide a ½ space credit towards the total off-street parking requirements. In addition to the off-street parking provided, the building will front onto Main Street. The applicant is proposing to provide 6 on-street parking spaces along Main Street in order to match the established streetscape in the immediate area.
- Per 2.89.5, surface parking shall be a minimum of 5' from any street right-of-way or side lot line and 10' behind the street yard. The applicant currently proposes four parking spaces along Miller Avenue that do not meet this requirement. A waiver has been requested.
- Per 2.89.7, 2 bicycle parking hitches are required and shall follow standards consistent with UCC Section 5.30. The applicant meets this requirement.
- Codified Ordinance Chapter 1167.06(a)(2) requires one loading space for commercial uses between 2,500 and 10,000 square feet. The applicant originally proposed zero loading spaces; therefore, requesting a waiver as part of their application materials. However, after further review, staff has identified a space on the plan that can

accommodate the loading space. City staff recommends a condition of approval that the plan be updated to meet this code requirement by showing the loading space onto the plan (condition #3).

### **Signage**

- The applicant requests review and approval of new wall signage with the dimensions outlined below.

### **Wall Signs**

- City sign code chapter 1169.16(d) permits a maximum area of one s.f. per linear s.f. of building frontage, not to exceed 40 s.f. and allows one wall sign per business entrance. External, neon and internal illumination is allowed.
- The proposal includes three wall signs; two on the front elevation and one on the rear elevation; which have the following dimensions:

#### Front Entrance along Main Street:

- a. Lettering Height: 11 ¾" inches tall [meets code].
- b. Area: 44 sq ft [~~Does not meets code and a waiver was not requested. The city staff recommends a condition of approval that the signage be revised to meet code (condition #2).~~]
- c. Location: on the front elevation, centered over the entrance along Main Street [meets code].
- d. Lighting: external, gooseneck lighting [meets code].
- e. Relief: 1 inch [meets code].
- f. Colors: jasper green and gold (total of 2) [meets code].
- g. Material: high density urethane and aluminum [meets code]

The sign reads "Balanced Family Academy"

#### Front Entrance along Main Street:

- h. Lettering Height: N/A
- i. Area: 38.50 sq ft [meets code]
- j. Location: on the front elevation along Main Street, centered on the same building feature as the entrance [meets code].
- k. Lighting: no lighting [meets code].
- l. Relief: 1.5 inches [meets code].
- m. Colors: jasper green (total of 1) [meets code].
- n. Material: high density urethane [meets code]

The sign features the company logo.

#### Rear Entrance along parking lot:

- o. Lettering Height: 8 ½" inches tall [meets code].
- p. Area: 10.56 sq ft [meets code]
- q. Location: on the rear elevation, centered over the primary entrance, which is situated along the parking lot [meets code].
- r. Lighting: internal halo-illuminated lighting [meets code].
- s. Relief: 1 inch [meets code].
- t. Colors: gold (total of 1) [meets code].
- u. Material: aluminum [meets code]

The sign reads "Balanced Family Academy"

### **Service & Utility Standards**

- Urban Center Code Section 2.90.1 states that above ground mechanical devices shall be located in the side or rear yard, behind all portions of the principal façade, and shall be fully screened from the street and neighboring properties. The applicant proposes a new transformer to be installed on the property that will serve the site. The proposed transformer aligns with the main façade of the building, therefore meeting this standard.
  - Per 2.90.2, above ground utility structures shall be located in the alley, side and rear yard and fully screened from the street. The city staff recommends a condition of approval that if the existing utility structures along Main Street cannot be relocated, they must be buried/vaulted in order to meet this standard (condition #1).
  - The city Codified Ordinances section 11.71.05(b) requires all trash and garbage container systems shall be screened or enclosed by walls, fences, or natural vegetation to screen them from view. Container systems shall not be located in front yards, and shall conform to the side and rear yard pavement setbacks in the applicable zoning district. The height of such screening shall be at least six (6) feet in height. Natural vegetation shall have a maximum opaqueness of seventy-five percent (75%) at full foliage. The use of year-round vegetation, such as pines and evergreens are encouraged.
    - The plan meets these standards.
  - Per 2.90.3, trash containers shall be stored out of public view and be screened from adjacent properties. The plan meets this standard.
3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
- The site is currently vacant. This site is across the street from the existing New Albany Exchange development and is adjacent to the Granger Senior Living center. This proposed structure appears to consider the distinguishing qualities of the overall Village Center architecture by adding roof elements that match other developments. Similar exterior materials are proposed for this building that currently exists on other sites.
    - The city architect has reviewed and approved the submittal.
4. *All buildings, structures and sites shall be recognized as products of their own time.*
- The proposed building is new construction and appears to be a product of its own time. It is appropriately designed using the Georgian architectural style.
5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
- The shape, proportion and breakdown of architectural elements are appropriate for the proposed architectural style and compliments existing buildings in the immediate area.
6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
- Not Applicable
7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
- Not applicable.



## B. Urban Center Code Compliance

Sixteen building typologies are identified for Village Center development. Building typologies are permitted in corresponding sub-districts. The Village Core subdistrict permits 8 building typologies. The proposed building typology is Traditional Commercial.

### Lot and Building Standards

#### Traditional Commercial (UCC Section 2.87)

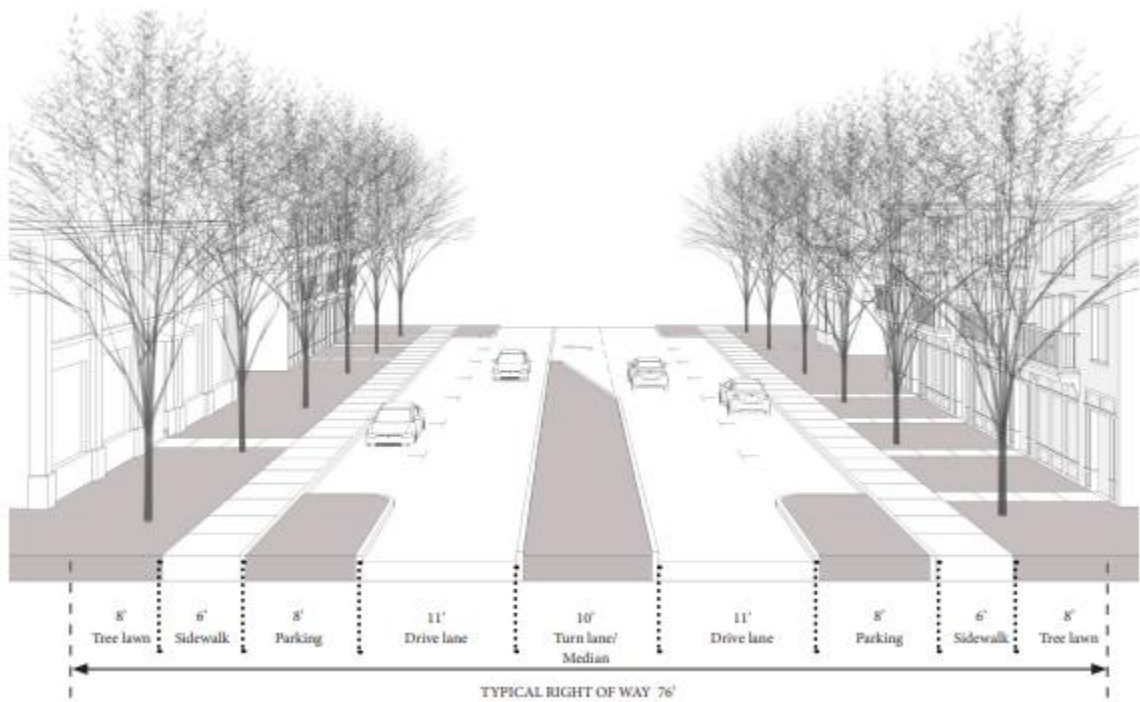
Standard	Minimum	Maximum	Proposed
Lot Area	No min	No max	0.969 acres
Lot Width	No min	200'	Main Street: 213+/- feet [does not meet code, waiver requested]
Lot Coverage	No min	100%	83% [meets code]
Street Yard	0'	20'	Main Street: 16 feet [meets code] Miller Ave: 5 feet [meets code]
Side Yard	0'	20'	Southeastern: 130 feet [does not meet code, waiver requested]
Rear Yard	15'	No max	Southwestern: 55 feet [meets code]
Bldg. Width	80%	100%	Miller Avenue: 71.3% [does not meet code, waiver requested] Main Street: 75% [does not meet code, waiver requested]
Stories	2	3	2.5 [meets code]
Height	No min	55'	43' 4" [meets code]

### Building Frontage Standards:

- Urban Center Code Section 2.91.1 states at least one entrance to each ground floor unit must be from a street yard. The plan meets this requirement.
- Section 2.91.2 states each front and side yard entrance to the building shall incorporate a permitted building frontage in accordance with Section 3.2. Permitted building frontages in the Village Core include stoop, covered stoop, side stoop, balcony, storefront, awning, gallery, and arcade. As proposed, the two front entrances along Main Street and Miller Avenue do not meet this standard. A waiver has been requested.

### Street and Network Standards:

The Urban Center Code contains a section regarding the Streets Standards Plan. This plan can be found in section 5 of the Urban Center code and it assigns typologies for existing streets, a street network layout, and typologies for new streets. This section of Main Street is designated as a Village Street. Standards for this typology can be found in section 5.13. The developer will need to install on-street parking, sidewalk, and street trees on **Main Street** in conformance with the standards listed below.



Standard	Min	Max	Proposed
Tree Spacing:	30'	35'	35' [meets code]
Tree Lawn:	8'	10'	8' [meets code]
Sidewalk Width:	6'	8'	6' [meets code]
Parking Lane Width:	8'	8'	8' [meets code]

### C. Waiver Requests

The ARB's review is pursuant to C.O. Section **1113.11 Action by the Architectural Review Board for Waivers**, within thirty (30) days after the public meeting, the ARB shall either approve, approve with supplementary conditions, or disapprove the request for a waiver. The ARB shall only approve a waiver or approve a waiver with supplementary conditions if the ARB finds that the waiver, if granted, would:

1. *Provide an appropriate design or pattern of development considering the context in which the development is proposed and the purpose of the particular standard. In evaluating the context as it is used in the criteria, the ARB may consider the relationship of the proposed development with adjacent structures, the immediate neighborhood setting, or a broader vicinity to determine if the waiver is warranted;*
2. *Substantially meet the intent of the standard that the applicant is attempting to seek a waiver from, and fit within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirements;*
3. *Be necessary for reasons of fairness due to unusual building, structure, or site-specific conditions; and*
4. *Not detrimentally affect the public health, safety or general welfare.*

The applicant requests the following waivers as part of the application.

- (A) Waiver to UCC Section 2.87 to allow the lot width to be approximately 215.28' where code requires a maximum lot width of 200'.
- (B) Waiver to UCC Section 2.87 to allow the southeastern side yard setback to be 130+/- feet where code requires a maximum 20-foot setback.
- (C) Waiver to UCC Section 2.87 to allow the building width to be 71.3% and 29% where code requires a minimum 80%.
- (D) Waiver to UCC Section 2.89.2 to allow 55 off-street parking spaces where code requires a maximum of 37 spaces.
- (E) Waiver to City of New Albany Codified Ordinance Chapter 1171.06 to allow peninsulas or islands within the parking lot to be constructed at less than 350 square feet when code requires landscape areas to be no smaller than 350 square feet.
- (F) Waiver to UCC Section 2.89.5 to allow parking spaces to be located closer than 10' behind the street yard when code requires surface parking to be a minimum of 10' behind the street yard.
- (G) Waiver to UCC Section 2.91.2 to omit the requirement that each front and side yard entrance to the building incorporate a permitted building frontage such as a stoop, covered stoop, side stoop, balcony, storefront, awning, gallery or arcade.

**(A) Waiver to UCC Section 2.87 to allow the lot width to be approximately 215.28' where code requires a maximum building width of 200'.**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.87 states that the maximum lot width shall be 200'. The applicant proposes a maximum lot width of 215.28', therefore a waiver is required.
2. The site consists of three irregularly shaped parcels, but the development pad has already been setup and is situated between two curb cuts; one for Miller Avenue and one for the drive aisle to the neighboring site that contains shared parking and access drives.
3. The proposal provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. The Urban Center Code envisions an urban environment with rear loaded alleys. This existing parcel is wider than what code permits, but it shares a curb cut to minimize the number of curb cuts on Main Street.
4. The application substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. This requirement intends to create more density within the village center. Both the front yards will be landscaped, creating an attractive site that promotes an active, urban space.
5. The request could be considered to be necessary for reasons of fairness due to unusual building, structure, or site-specific constraints. This is an existing corner lot with two street yards. Each street yard contains curb cuts that were already approved with the adjacent building. The existing curb cuts have locked this site into the dimension it is today.
6. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

**(B) Waiver to UCC Section 2.87 to allow the southern side yard setback to be 130+/- feet where code requires a maximum 20-foot setback.**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.87 states that the maximum side yard setback shall be 20'. The applicant proposes a 130+/- foot setback along the southeastern side yard property line, therefore a waiver is required.

2. While the southern property line/southeastern property line looks and feels like a rear yard, code defines it as a side yard. Where a corner lots exists, the city code defines the rear yard as the property line opposite to the front yard of least dimension. In this case the rear yard is the property line adjacent to the Infinite Church.
3. The application provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. The plan positions the building so that it meets the required setbacks along three of the four property lines. While it does not meet the side yard setback, the position of the building is one that is consistent with the existing adjacent building that it shares curb cuts, drive aisles, and parking spaces. Both the existing neighboring building and the proposed building meet this smaller front yard setbacks and contain parking behind.
4. The application substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. The spirit and intent is to prevent large gaps between buildings. In this case, there is an existing driveway with parking that makes it impossible for the setback to ever be met.
5. The request is necessary for reasons of fairness due to unusual building, structure, or site-specific constraints since this is an existing lot with two street yards. This waiver request is just for the portion of the development that serves as the back portion of the parking lot. The portion of the building that fronts onto Main Street and Miller Avenue meet the required setbacks. Therefore, the development still provides an appropriate pattern of development
6. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

**(C) Waiver to UCC Section 2.87 to allow the building width to be 71.3% along Main Street and 29% along Miller Avenue where code requires a minimum 80%.**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.87 states that the minimum building width shall be 80% of the lot width. The applicant proposes a building width of 71.3% along Main Street and 29% along Miller Avenue, therefore a waiver is required.
2. The application provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. While the building width is smaller than what the code requires, the development on the lot still substantially fills the frontage along Main Street with the help of a fenced-in playground. In addition, it appears as though the neighboring Granger building and existing Infinite church building are also not meeting this code requirement, therefore the proposed building is consistent with the general development pattern in the area.
3. The application substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. This requirement intends to create more density within the village center, to create an urban feel, and discourage large gaps between buildings. While the building width is less than 80%, the applicant has incorporated an outdoor, fenced-in playground. While this does not count as building, it is still development that fills in the gaps between buildings.
4. The request could be considered to be necessary for reasons of fairness due to unusual building, structure, or site-specific constraints. Miller Avenue is not a primary street and considered a secondary street with an existing curb cut to facilitate the parking drive aisle and parking lot. Due to the existing driveway, the required frontage can never be achieved.

5. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

**(D) Waiver to UCC Section 2.89.2 to allow 55 off-street parking spaces where code requires a maximum of 37 spaces.**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.89.2 states sites containing a building typology of traditional commercial are required to have a minimum of 2 off-street parking spaces and a maximum of 1 space per 400 square feet of building area. The applicant proposes a 14,490 square foot building, which permits a maximum of 37 off-street parking spaces. The applicant proposes 55 off-street parking spaces; therefore, a waiver is required.
1. The application provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. All of the parking spaces, except for four located immediately adjacent to Miller Avenue, are meeting code requirements for setbacks. Besides these four spaces, the parking lot is appropriately located on the site, behind the building. Those four spaces are evaluated under Waiver F below.
2. The request substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. While the plan exceeds the number of parking spaces permitted by code, the applicant has indicated that there are cross access easements in place between the Balanced Family Academy and the adjacent neighboring church. This will allow for shared parking between the two uses.
3. The request could be considered to be necessary for reasons of fairness due to unusual building, structure, or site-specific constraints. While the number of parking spaces exceeds code requirements, this site and the adjacent site will have shared parking which is a positive aspect of the plan and necessary to achieve this goal.
4. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

**(E) Waiver to City of New Albany Codified Ordinance Chapter 1171.06 to allow peninsulas or islands within the parking lot to be constructed at less than 350 square feet when code requires landscape areas to be no smaller than 350 square feet.**

The following should be considered in the board's decision:

1. Chapter 1171.06 states large, unbroken expanses of parking lot shall be avoided. Large lots should be separated into a series of smaller interconnected lots separated by peninsulas or islands. No individual landscape area shall be smaller than 350 square feet. The applicant proposes to retain a couple of existing islands that are less than 350 square feet. A waiver is not required for these two islands as they were approved as part of the plan for the adjacent building. However, the applicant also proposes to construct two new islands and two new peninsulas. Just one of the two new peninsulas is proposed to be 235 square feet; therefore, a waiver is required.
2. The application provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. The plan is still separating the parking lot into a series of smaller interconnected lots separated by peninsulas or islands.
3. The application substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. While the peninsula is smaller than what code allows, the city landscape architect has no concerns with the size. The required landscaping can still be planted and successfully grow in these peninsulas.

4. The request could be considered to be necessary for reasons of fairness due to unusual building, structure, or site-specific constraints. The majority of the improvements meet code requirements. The plan proposes two new islands and two new peninsulas. Both of the new islands meet code and only one of the two new peninsulas do not meet code. Additionally, it matches the development pattern and size of the existing parking lot islands already constructed in the connected parking lot.
5. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

**(F) Waiver to UCC Section 2.89.5 to allow parking spaces to be located closer than 10' behind the street yard when code requires surface parking to be a minimum of 10' behind the street yard.**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.89.5 states surface parking shall be a minimum of 5' from any street right-of-way or side lot line and 10' behind the street yard. The Urban Center Code defines street yard as the area between the front façade of the structure and the public right-of-way. Therefore, parking spaces shall be at least 10' behind the front façade of the building along Miller Avenue and Main Street.
2. The applicant proposes four parking spaces along Miller Avenue that are closer than 10 feet behind the street yard; therefore, a waiver is required.
3. The development proposes the building and parking spaces to be 5'6" from the property line along Miller Avenue. Therefore, the parking lot is required to be setback 15'6" from Miller Avenue. The proposal is requesting a zero-foot setback where the UCC requires the 10-foot setback from the front façade of the building (street yard).
4. The application provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard. All of the parking spaces, except for these four located immediately adjacent to Miller Avenue, meet code requirements for setbacks. Besides these four spaces, the majority of the parking lot is located behind the building. The applicant has demonstrated that the reduced setback still allows for the installation of appropriate landscaping for screening the spaces from the public road.
5. The application substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. This requirement ensures buildings front the street in order to create a traditional town form. Installing parking behind buildings helps to hide it and reinforce the urban form.
6. The request could be considered to be necessary for reasons of fairness due to unusual building, structure, or site-specific constraints. The UCC encourages shared access and shared parking between sites when possible. This site and the adjacent site will have shared access and parking, which is a positive aspect of the plan. As such, the sites share a drive aisle that takes up a portion of space on the lot where additional parking spaces could be located. The shared parking and shared access between sites outweigh any potential, minimal impact the setback variance would have on the secondary road.
7. It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

**(G) Waiver to UCC Section 2.91.2 to omit the requirement that each front and side yard entrance to the building incorporate a permitted building frontage such as a stoop, covered stoop, side stoop, balcony, storefront, awning, gallery or arcade.**

The following should be considered in the board's decision:

1. Urban Center Code Section 2.91.2 states each front and side yard entrance to the building shall incorporate a permitted building frontage in accordance with Section 3.2. Permitted building

frontages in the Village Core include stoop, covered stoop, side stoop, balcony, storefront, awning, gallery, and arcade. As proposed, the two front entrances along Main Street and Miller Avenue do not meet this standard; therefore, a waiver has been requested.

- The following table lists the permitted building frontages for the Village Core:

**Permitted Building Frontages**

	HC	VC	CR	VR	RR
Stoop (3.7)					
Covered Stoop (3.9)					
Porch (3.11)					
Side Stoop (3.13)					
Balcony (3.15)					
Storefront (3.17)					
Awning (3.19)					
Gallery (3.21)					
Arcade (3.23)					

- The applicant states it provides an appropriate design and pattern of development considering the context in which the development is proposed and the purpose of the particular standard because while entry features along Main Street and Miller Avenue do not conform to the required building frontages, they are articulated with detailed, dimension, ornamental surrounds that they feel respects the intent of the requirement to provide visual interest.
- The applicant also states the request could be considered to be necessary for reasons of fairness due to unusual building, structure, or site-specific constraints because the location of utility easements and setbacks that are immediately adjacent to these faces of the building, constructing projections make construction not feasible.
- The Urban Center Code recognizes the need for flexible setbacks in the Village Core when requiring these features. Each feature is permitted to encroach into the setback to some extent. For example, a stoop may encroach up to 2' into the right-of-way, subject to the approval of the City Manager or designee. Porches may encroach up to 50% of their depth into the street or side yard.
- The application substantially meets the intent of the standard that the applicant is attempting to seek a waiver from, and fits within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirement. This requirement intends to create active and vibrant architecture to create a pedestrian-rich environment.
- It does not appear that the waiver would detrimentally affect the public health, safety or general welfare.

#### IV. SUMMARY

The ARB should evaluate the overall proposal based on the requirements in the Engage New Albany Strategic Plan, the Urban Center Code, and Design Guidelines and Requirements. The proposed development meets many of the Engage New Albany Strategic Plan goals; including implementing retail infill to create continuous and activated street frontage throughout the Village

Center, and increasing the number of people working in the Village Center through this commercial development.

The city architect has reviewed the proposal and is supportive. Overall, it appears that the building enhances the appearance of this corridor within the city by proving an appropriately styled building located in the Village Center. The building's proposed architecture matches the standards found within the Urban Center Code and New Albany's Design Guidelines and Requirements. While the required building features at the entrances are not provided, the city architect comments that building is still well designed. In addition, due to easements, the building would have to be pushed back from the public streets to accommodate those elements. Pushing the building back is not desirable from a site layout standpoint. Locating the building close to the public sidewalk as proposed along Main Street results in consistency and unity between all the sites in the immediate area and achieves the desired urban form.

The site is well laid out. The building is appropriately positioned on the site to address the primary street and the proximity of the building to the road creates an urban streetscape that promotes walkability for pedestrians. The site meets the city's vehicular management goals of providing shared parking and doesn't add any new curb cuts to the public streets.

The Architectural Review Board should evaluate the appropriateness of the four parking spaces that do not meet the setback requirements along Miller Avenue. The need for additional parking in the Village Center is identified in the Engage New Albany Strategic Plan. However, these parking spaces may not be an appropriate design and pattern of development considering the urban context of the Village Center since it is the same distance to the sidewalk and street as the building.

## **V. ACTION**

Should the ARB find that the application has sufficient basis for approval, the following motion would be appropriate:

**Move to approve application ARB-01-2024 subject to the following conditions, all subject to staff approval:**

1. Above ground utility structures shall be located in the alley, side and rear yard and fully screened from the street. If the existing utility structures along Main Street cannot be relocated, they must be buried/vaulted.
2. That the proposed signage be revised to meet code, specifically with regard to the size of the wall sign situated over the entrance along Main Street.
3. That the plan be updated to include one required loading space.



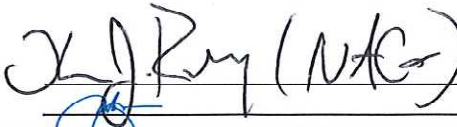
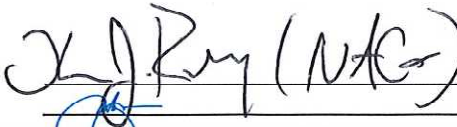
**Approximate Site Location:**



Permit # \_\_\_\_\_  
Board \_\_\_\_\_  
Mtg. Date \_\_\_\_\_



## Community Development Planning Application

Project Information	Site Address <u>185 East Main Street (new address may be assigned during engineering)</u>				
	Parcel Numbers <u>222-000019, 222-000219, 222-000030</u>				
	Acres <u>0.969</u> # of lots created <u>1 lot to be created by combining 3 parcels</u>				
Choose Application Type	Circle all Details that Apply				
	<input type="checkbox"/> Appeal				
<input checked="" type="checkbox"/> Certificate of Appropriateness					
<input type="checkbox"/> Conditional Use					
<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment	
<input type="checkbox"/> Plat	Preliminary	Final			
<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment		
<input type="checkbox"/> Minor Commercial Subdivision					
<input type="checkbox"/> Vacation	Easement		Street		
<input type="checkbox"/> Variance					
<input type="checkbox"/> Extension Request					
<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification		
Description of Request:	<u>Proposal to construct a 14,490 square foot, two-story daycare building.</u>				
	<u>Site modifications include additional, on-site vehicular access and parking, outdoor playground, and</u>				
	<u>hardscape / landscape improvements throughout. Additionally, this application includes the request for nine (9)</u>				
<u>waivers, which are described in the documentation herein.</u>					
Property Owner's Name:	<u>New Albany Company LLC</u>				
	<u>Address: 8000 Walton Parkway, Suite 120</u>				
	<u>City, State, Zip: New Albany, Ohio 43054</u>				
Phone number:	<u>614-939-8000</u>	Fax:			
Email:	<u>jmcnally@newalbanycompany.com</u>				
Applicant's Name:	<u>Carter Bean / J. Carter Bean Architect LLC</u>				
	<u>Address: 4400 N. High St., Ste. 401</u>				
	<u>City, State, Zip: Columbus, Ohio 43214</u>				
Phone number:	<u>614-595-2285</u>	Fax:			
Email:	<u>carter@beanarchitects.com</u>				
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.				
	Signature of Owner				Date: <u>1/12/2024</u>
	Signature of Applicant				Date: <u>01/12/2024</u>

January 25, 2024

Mr. Stephen Mayer  
**Community Development Department**  
99 West Main Street  
P.O. Box 188  
New Albany, Ohio 43054

**Re:      Balanced Family Academy**  
185 East Main Street  
New Albany, Ohio 43054

Dear Mr. Mayer:

This development has been designed per the City of New Albany Codified Ordinance and Urban Center Code, utilizing the Traditional Commercial designation outlined in section 2.87. However, some requirements of the Codified Ordinance and targets outlined by the Urban Center Code, Traditional Commercial designation were unable to be achieved. Therefore, we respectfully request waivers for the following items:

- 1. Urban Center Code, Traditional Commercial Section 2.87, Lot and Building Standards Table: Maximum Lot Width = 200'**
  - a. While the maximum allowable lot width is 200', the actual width of the acquired lot is approximately 215.28'. Therefore, we request a waiver of approximately 15.28', due to the existing dimension of the site.
- 2. Urban Center Code, Traditional Commercial Section 2.87, Lot and Building Standards Table: Maximum Side Yard Building Setback = 20'**
  - a. While the maximum side yard setback to the southeast of our building is 20', this is the location of the existing, and expanded, parking field. As proposed, the building setback is approximately 130'. Therefore, we request a waiver of 110' to accommodate our parking lot.
- 3. Urban Center Code, Traditional Commercial Section 2.87, Lot and Building Standards Table: Minimum Building Width = 80% of frontage**
  - a. Since the proposed lot is 215.28', the minimum required building frontage, per table, should be 172.22'. As stated in the waiver above, our outdoor playground facilities occupy a portion of this frontage. Therefore, the proposed building width of 152.66' occupies only 70% of the frontage. To provide a visual continuation of structure along the Main Street frontage, we are proposing a brick and fiber cement screen fence as an extension to the building, which will also obscure visibility to the playground. Therefore, we request a waiver of 20', or 10%.
- 4. Urban Center Code, Traditional Commercial Section 2.89.2, Non-Residential: Minimum 2 spaces. Maximum one off-street space per 400 s.f.**
  - a. Per the straight calculation of 1 space per 400 s.f., the maximum number of allowable spaces would be 37. Based upon known, operational requirements for Balanced Family Academy, we would like to increase the maximum number of spaces by 18. Total number of spaces proposed is 55. We request this increase to not cause traffic and parking issues off-site. Furthermore, please note, we have agreed to share parking with the adjacent, contiguous church, so that they may overflow into our parking field during times that the daycare is not in operation and, conversely, the daycare may overflow into their parking field when the church is not in operation. The total number of parking spaces between these contiguous properties shall work, harmoniously, together.

5. **City of New Albany Codified Ordinance Chapter 1167.06(a)(2) requires one loading space for commercial uses between 2,500 and 10,000 square feet.**
  - a. The proposed daycare is service operation that does not sell goods. Furthermore, food preparation is handled at a commissary location off-site, which eliminates frequent deliveries. While prepared foods will be delivered to this facility daily, they shall be done so by way of van, which may utilize a standard parking space.
6. **City of New Albany Codified Ordinance Chapter 1171.06 requires that peninsulas, which break large expanses of parking lot, shall be no smaller than 350 square feet.**
  - a. The two peninsulas in question are existing, previously approved islands, which we are proposing to leave in-place. Therefore, we respectfully ask that this existing, previously approved condition remain by way of Waiver. Please note: The newly proposed islands are all well more than 350 square feet and, even without the inclusion of the existing peninsulas in the calculation, exceed the required minimum of 8% internal greenspace.
7. **City of New Albany Codified Ordinance Chapter 1171.06 requires that peninsulas, which break large expanses of parking lot, shall be no smaller than 350 square feet.**
  - a. The two peninsulas in question are existing, previously approved islands, which we are proposing to leave in-place. Therefore, we respectfully ask that this existing, previously approved condition remain by way of Waiver.
8. **Urban Center Code, Traditional Commercial Section 2.89.5, Non-Residential: Surface parking shall be a minimum of 5' from any street right-of-way or side lot line and 10' behind the street yard.**
  - a. As proposed, the four (4) parking spaces near Miller Avenue are set back 5'-6" from the right-of-way and 6" back from the street yard setback. Based upon the known operational requirements for Balanced Family Academy, we will need all parking spaces proposed. Therefore, respectfully requesting a waiver in the amount of 9'-6" to reduce the required, additional 10' setback from the street yard to 6".
9. **Urban Center Code, Traditional Commercial Section 2.91.2, Non-Residential: Each front and side yard entrance to the building shall incorporate a permitted building frontage in accordance with Section 3.2. Permitted building frontages in the Village Core include stoop, covered stoop, side stoop, balcony, storefront, awning, gallery, and arcade.**
  - a. As proposed, the entrance features along Main Street and Miller Avenue do not perfectly conform to any of the described features. They are, however, articulated with detailed, dimensional, ornamental surrounds, which we feel respects the intent of these requirements to provide visual interest. Due to the location of utility easements and setbacks that are immediately adjacent to these faces of the building, constructed projections are not feasible. Therefore, we respectfully request a waiver from the requirement to provide a stoop, covered stoop, side stoop, balcony, storefront, awning, gallery, or arcade.

Sincerely,



J. Carter Bean



# ALTA/NSPS LAND TITLE SURVEY

## LOT 39, QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 16

### UNITED STATES MILITARY DISTRICT

### CITY OF NEW ALBANY, COUNTY OF FRANKLIN, STATE OF OHIO

DESCRIPTION FROM TITLE COMMITMENT: 7710

Parcel I (222-000019-00; 222-000219-00; 222-000030-00):

0.969 ACRE

Situated in the State of Ohio, County of Franklin, City of New Albany, lying in Lot 39, Quarter Township 4, Township 2, Range 16, United States Military District, being all of the remainder of that 0.809 acre tract conveyed to The New Albany Company LLC by deeds of record in Official Records 15198117 and 21256E01, all of the remainder of that 1.072 acre tract conveyed as Parcel III to The New Albany Company LLC by deed of record in Instrument Number 200012270260434, and part of the remainder of that 4.390 acre tract conveyed as Parcel IV Tract I to The New Albany Company LLC by deed of record in Instrument Number 200705310094771, (all references are to the records of the Recorder's Office, Franklin County, Ohio) being more particularly described as follows:

Beginning, for reference, at an iron pin set at the common corner of Lots 25, 26, 39 and 40 of said Quarter Township 4, Township 2, Range 16, being the northwesterly corner of that 0.194 acre tract conveyed to the State of Ohio by deed of record in Official Record 25087A19;

Thence South 03° 31' 06" West, with the line common to said Lots 39 and 26, the westerly line of said 0.194 acre tract, a distance of 88.99 feet to the centerline of Main Street (Johnstown Road - U.S. 62), as defined by Ohio Department of Transportation Plan I.C.H. No. 23 Section New Albany;

Thence South 42° 04' 01" West, with said centerline, a distance of 508.31 to the westerly common corner of that 0.5198 acre tract conveyed to the City of New Albany by deed of record in Instrument Number 201308010129621 and that 14.455 acre tract conveyed to F&M New Albany RE, LLC by deed of record in Instrument Number 201412020159420;

Thence South 77° 35' 52" East, with the line common to said 0.5198 and 14.455 acre tracts, partially across Main Street and partially with the southeasterly right-of-way line of said Main Street, a distance of 46.03 feet to a 1/2 inch iron pin capped "EP FERRIS 6027" found at an angle point in said southeasterly right-of-way line, being the northeasterly corner of said 0.5198 acre tract;

Thence South 42° 04' 01" West, continuing with said southeasterly right-of-way line, said common line, a distance of 15.60 feet to an iron pin set at the northerly common corner of the remainder of said 0.809 acre tract and said 14.455 acre tract, being the TRUE POINT OF BEGINNING;

Thence with the line common to the remainder of said The New Albany Company LLC tracts and said 14.455 acre tract, the following courses and distances:

With the arc of a curve to the right, having a central angle of 18° 16' 36", a radius of 20.00 feet, an arc length of 6.38 feet, a chord bearing of South 56° 32' 57" East and chord distance of 6.35 feet to an iron pin set at a point of tangency;

South 47° 24' 40" East, a distance of 133.24 feet to an iron pin set;

South 51° 01' 30" East, a distance of 59.04 feet to an iron pin set; and

South 42° 06' 50" West, a distance of 215.28 feet to an iron pin set at the common corner of the remainder of said 4.390 acre tract and that 1.391 acre tract conveyed to AT&T Investments and Holdings, Inc. (7.05% interest) by deed of record in Instrument Number 201603310038246, The Witzel Living Trust (8.89%) by deed of record in Instrument Number 201603310038247, Chris Savard & Reyann Bensonson (8.89%) by deed of record in Instrument Number 201603310038248, The Margaret G. Hansen Trust (1.78%) by deed of record in Instrument Number 201603310038249, Terry L. Schrum & Kathleen H. Schrum (3.56%) by deed of record in Instrument Number 201603310038350, The Jennifer C. Deitchman Trust (2.67%) by deed of record in Instrument Number 20160310038251, Merny Schwartz & Isabel Schwartz (14.22%) by deed of record in Instrument Number 201603310038252, AT&T Investments & Holdings, Inc. (1.55%) by deed of record in Instrument Number 201610140140280, Horizon Management, LLC (4.18%) by deed of record in Instrument Number 201610140140281, Sunwest Trust, Inc. FBO Phillip S. Cherry IRA (5.33%) by deed of record in Instrument Number 201610140140282, R&H Paul, Inc. (3.022%) by deed of record in Instrument Number 201610140140283, Blohan, LLC (3.91%) by deed of record in Instrument Number 201610140140284, David P. Every (3.31%) by deed of record in Instrument Number 201610140140285 and Franklin W. Krause (4.44%) by deed of record in Instrument Number 201610140140286;

Thence North 47° 49' 03" West, with the southwesterly line of the remainder of said 4.390 and 1.072 acre tracts, the northeasterly line of said 1.391 acre tract, a distance of 198.29 feet to an iron pin set in the southeasterly right-of-way line of said Main Street, the southeasterly line of said 0.5198 acre tract;

Thence North 42° 04' 01" East, with said southeasterly right-of-way line, the southeasterly line of said 0.5198 acre tract, the northwesterly line of the remainder of said 1.072 and 0.809 acre tracts, a distance of 211.96 feet to the TRUE POINT OF BEGINNING, containing 0.969 acre, more or less, of which 0.235 acre is all of the remainder of said 0.809 acre tract (Parcel Number 222-000019), 0.557 acre is all of the remainder of said 1.072 acre tract (Parcel Number 222-000219), and 0.177 acre is part of said 4.390 acre tract (Parcel Number 222-000030).

Parcel II:

A non-exclusive easement contained in the Cross Access Easement Agreement by and among F&M New Albany RE, LLC, The New Albany Company LLC and Whitehorn Organics, LLC recorded in Instrument 201412020159422.

Parcel III:

A non-exclusive easement contained in the Stream Preservation Easement Agreement by and between The New Albany Company LLC and F&M New Albany RE, LLC recorded in Instrument 201412020159423.

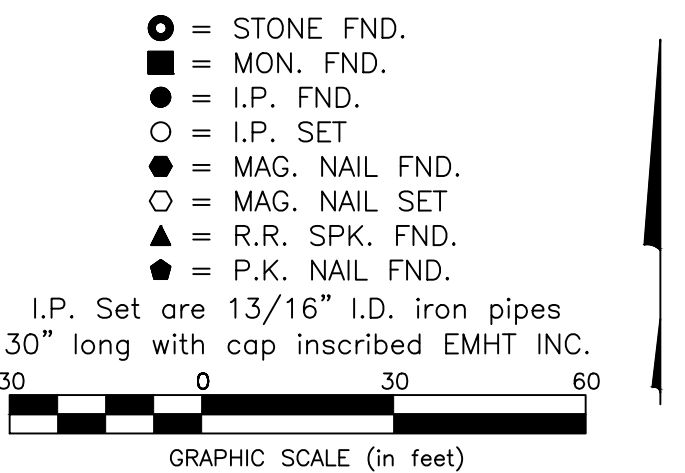
Parcel IV:

A non-exclusive easement contained in the Storm Water Drainage Easement Agreement by and among F&M New Albany RE, LLC, The New Albany Company LLC and The Wexner Foundation recorded in Instrument 201412020159425.

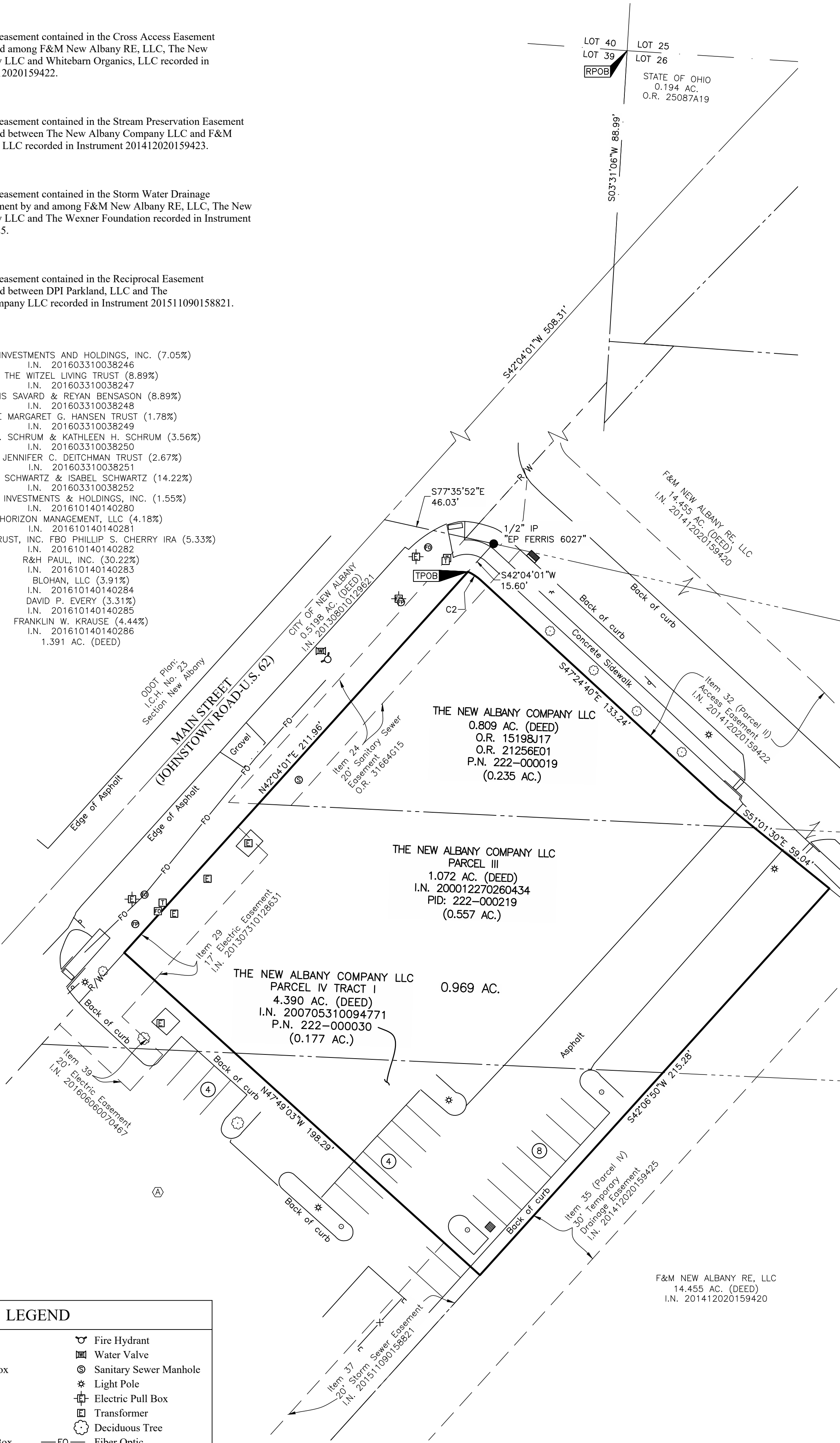
Parcel V:

A non-exclusive easement contained in the Reciprocal Easement Agreement by and between DPI Parkland, LLC and The New Albany Company LLC recorded in Instrument 201511090158821.

AT&T INVESTMENTS AND HOLDINGS, INC. (7.05%)  
I.N. 201603310038246  
THE WITZEL LIVING TRUST (8.89%)  
I.N. 201603310038247  
CHRIS SAVARD & REYANN BENSONSON (8.89%)  
I.N. 201603310038248  
THE MARGARET G. HANSEN TRUST (1.78%)  
I.N. 201603310038249  
TERRY L. SCHRUM & KATHLEEN H. SCHRUM (3.56%)  
I.N. 201603310038250  
THE JENNIFER C. DEITCHMAN TRUST (2.67%)  
I.N. 201603310038251  
MERNY SCHWARTZ & ISABEL SCHWARTZ (14.22%)  
I.N. 201603310038252  
AT&T INVESTMENTS & HOLDINGS, INC. (1.55%)  
I.N. 201610140140280  
HORIZON MANAGEMENT, LLC (4.18%)  
I.N. 201610140140281  
SUNWEST TRUST, INC. FBO PHILLIP S. CHERRY IRA (5.33%)  
I.N. 201610140140282  
R&H PAUL, INC. (3.022%)  
I.N. 201610140140283  
BLOHAN, LLC (3.91%)  
I.N. 201610140140284  
DAVID P. EVERY (3.31%)  
I.N. 201610140140285  
FRANKLIN W. KRAUSE (4.44%)  
I.N. 201610140140286  
1.391 AC. (DEED)

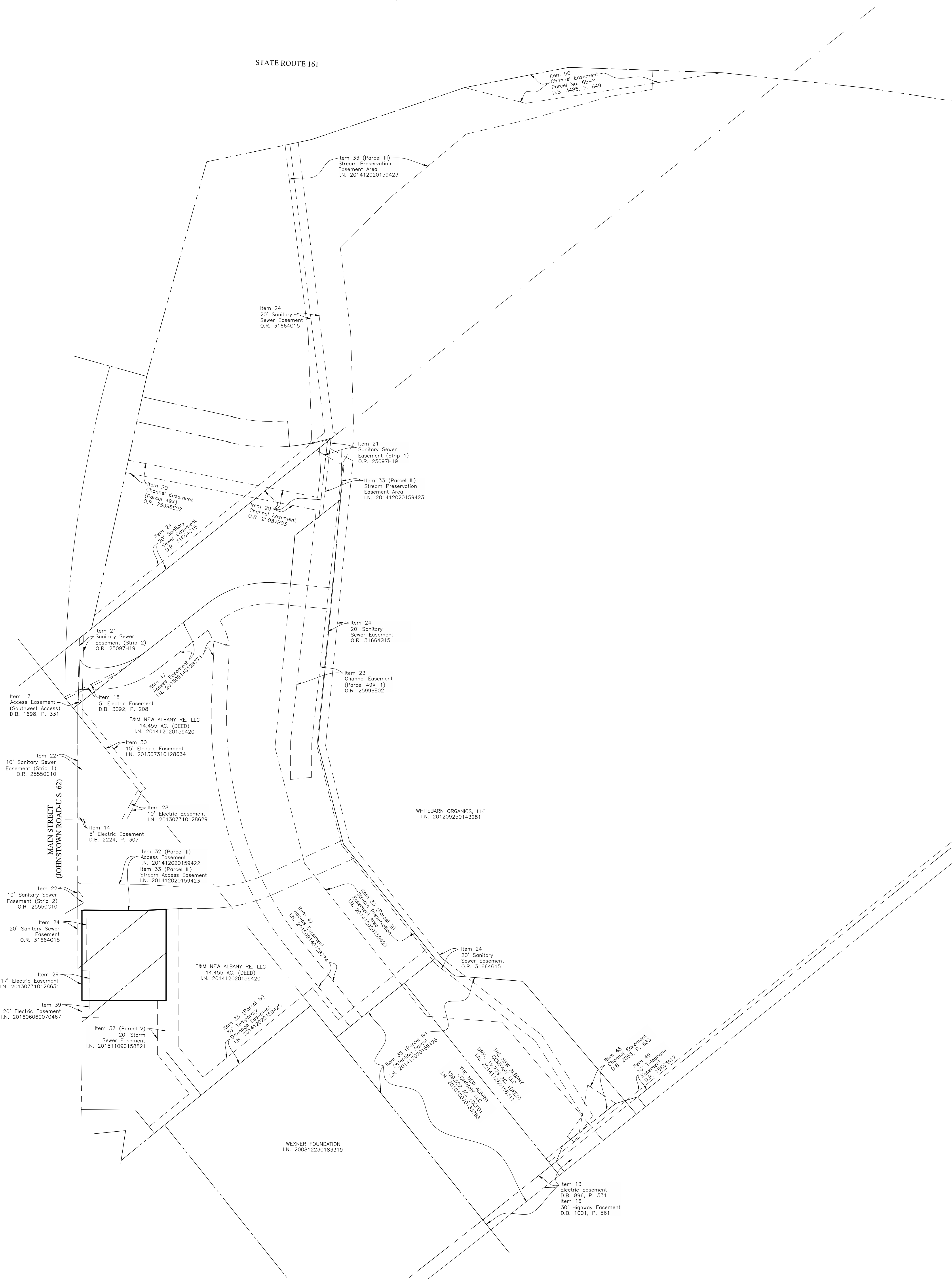


LEGEND	
○ Bollard	⚡ Fire Hydrant
— Sign	⚙ Water Valve
▢ Telephone Pedestal Box	⚙ Sanitary Sewer Manhole
▢ Catch Basin	⚙ Light Pole
⚡ Curb & Gutter Inlet	⚡ Electric Pull Box
⚡ Fiber Optic Pull Box	⚡ Transformer
⚡ Fiber Optic Manhole	⚡ Deciduous Tree
⚡ Fiber Optic Pedestal Box	—FO— Fiber Optic
⚡ Fiber Optic Marker Post	—X— Fence Line



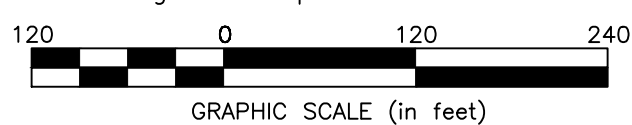
# ALTA/NSPS LAND TITLE SURVEY

LOT 39, QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 16  
UNITED STATES MILITARY DISTRICT  
CITY OF NEW ALBANY, COUNTY OF FRANKLIN, STATE OF OHIO



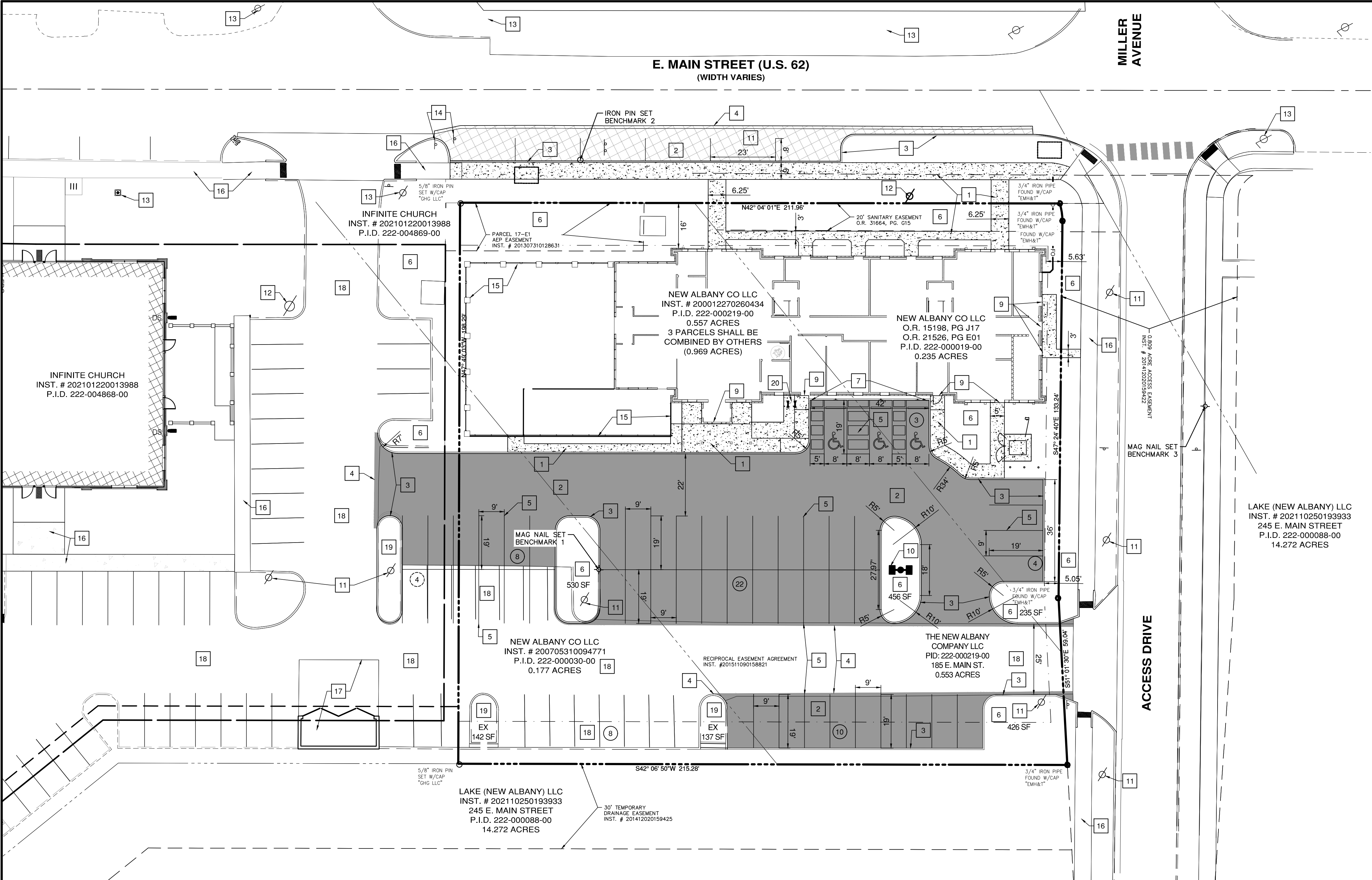
- = STONE FND.  
 ■ = MON. FND.  
 ● = I.P. FND.  
 ○ = I.P. SET  
 ● = MAG. NAIL FND.  
 ○ = MAG. NAIL SET  
 ▲ = R.R. SPK. FND.  
 ★ = P.K. NAIL FND.

I.P. Set are 13/16" I.D. iron pipes  
30" long with cap inscribed EMHT INC.

[illegible]



C:\Users\ghaydinger\Gandee Heydinger Group\GKG Team - Documents\General\Projects\23-179-01-UC-Balanced Family Academy\Production Drawings\06 SITE PLAN.dwg Jan 23, 2024 - 2:34:24pm ghaydinger

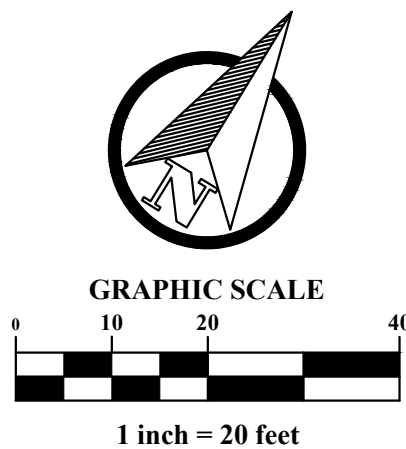


SITE ZONING TABLE

ZONING: UC (URBAN CENTER DISTRICT)

SITE DATA TABLE

PARCEL:	0.969 AC.
BUILDING SIZE:	14,490 SF
LOT COVERAGE	0.804 AC. (83%)
TOTAL PARKING PROVIDED	55 SPACES
HANDICAP PARKING REQUIRED	3 SPACES
HANDICAP PARKING PROVIDED	3 SPACES
GREENSPACE AREA	0.165 AC.
PARKING LOT LANDSCAPE REQUIRED	5%
TOTAL PARKING AREA	0.465 AC.
REQUIRED PARKING LANDSCAPE AREA	0.023 AC.
PROVIDED PARKING LANDSCAPE AREA	0.044 AC.
* ASSUMES NO VEHICLES MAINTAINED ON PREMISES	



KEYED NOTES

- 1 CONCRETE SIDEWALK.
- 2 ASPHALT PAVING.
- 3 FORMED CONCRETE CURB.
- 4 PROPOSED EDGE OF PAVEMENT (TIE INTO EXISTING PAVED ACCESS / PARKING).
- 5 PAVEMENT STRIPING PER OHIO DOT SPECIFICATIONS.
- 6 LANDSCAPING OR LAWN AREA. SEE LANDSCAPING PLAN BY G2 PLANNING AND DESIGN
- 7 AREA TO MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- 8 INSTALL (3) POSTS AND HANDICAP PARKING SIGNS.
- 9 CONTRACTOR TO PROVIDE EXPANSION JOINT AT DOORS AND ALL LOCATIONS WHERE CONCRETE IS SHOWN ADJACENT TO THE BUILDING. SEE ARCHITECTURAL PLANS FOR JOINT DETAIL.
- 10 SITE LIGHTING FIXTURES - SEE PHOTOMETRIC PLAN FOR DETAILS.
- 11 EXISTING SITE LIGHTING FIXTURES.
- 12 STREET LIGHTING FIXTURE - SEE PHOTOMETRIC PLAN FOR DETAILS.
- 13 EXISTING STREET LIGHTING FIXTURE.
- 14 EXISTING SPEED LIMIT SIGN TO BE RELOCATED.
- 15 PROPOSED FENCE, SEE ARCHITECTURAL PLAN FOR DETAILS
- 16 EXISTING SIDEWALK
- 17 EXISTING DUMPSTER PAD AND DUMPSTER ENCLOSURE (SHARED USE)
- 18 EXISTING ASPHALT PARKING AND DRIVE AISLES
- 19 EXISTING ISLAND TO REMAIN
- 20 PROPOSED BIKE RACK LOCATION (TWO HITCHES), SWERVE RACK BY DERO

LEGEND

- PROPOSED SIDEWALK
- PROPOSED MAIN STREET WIDENING. PAVEMENT SECTION PER MAIN STREET PUBLIC STREET SECTION.
- PROPOSED ASPHALT PARKING AND ACCESS DRIVE AISLES

PLAN PREPARED FOR:

PLAN PREPARED BY:



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO  
BALANCED FAMILY ACADEMY  
PARCEL ID: 222-000030-00,  
222-000219-00, & 222-000019-00  
EAST MAIN STREET (US 62), NEW ALBANY, OHIO

SITE PLAN

REVISION DESCRIPTION

DATE

NO.

DATE: 1 / 23 / 2024  
SCALE: AS SHOWN

DRAWN BY: RC  
CHECKED BY: AH

PROJECT NUMBER  
23-179-01

DRAWING NUMBER  
SITE

SHEET NUMBER  
1 / 1



G:\G2 Projects\Yeager Companies\23103 Balanced Family Academy\NA\CAD\23103\_Balanced Family Academy\NA\_Ldwg\Jan 25, 2024 - 3:52pm-PMoorehead

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH DRAWINGS FOR ALL DIVISIONS OF WORK.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PROJECT SITE PRIOR TO BIDDING THE WORK.
- THE BASE MAPPING/SURVEY WAS PROVIDED BY "ADVANCED CIVIL DESIGN" CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH WORK.
- CONTACT OHIO UTILITY PROTECTION SERVICE (OUPS) 1-800-362-2764 AND ALL LOCAL UTILITY SERVICES FOR UTILITY LOCATIONS PRIOR TO COMMENCING WITH WORK.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCING WITH WORK.
- THE CONTRACTOR SHALL COORDINATE ALL WORK AND BE RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCE AND PROCEDURES OF WORK.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
- CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THE DRAWINGS AS WELL AS ANY DISCOVERED DURING THE CONSTRUCTION PROCESS.
- CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE.
- THE LIMIT OF CONSTRUCTION LINE SHOWN DEFINES THE LIMITS OF WORK IN THIS CONTRACT. THERE MAY BE INSTANCES WHERE EROSION PROTECTION DEVICES AND UTILITY SYSTEMS EXTEND BEYOND THE PROJECT LIMITS LINE IN ORDER TO SUCCESSFULLY COMPLETE OPERATIONS AND/OR TIE INTO ADJACENT SYSTEMS.
- THE CONTRACTOR SHALL KEEP ALL DRAINAGE FACILITIES AFFECTED BY HIS CONSTRUCTION OPERATIONS CLEAN AND FULLY OPERATIONAL AT ALL TIMES.
- MAINTAIN ALL EXISTING EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) DURING CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS TO THE ADJACENT WATER BODIES, SURFACES AND STORM SEWERS ACCORDING TO ALL APPLICABLE FEDERAL/STATE LAWS AND REGULATIONS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WITH WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS. NO WORK SHALL BE DONE IN AREAS WHERE SUCH DISCREPANCIES EXIST. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- REPORT ALL EXISTING DAMAGE OF EXISTING SITE IMPROVEMENTS TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT DAMAGE.
- CONTRACTOR SHALL PROTECT, BY WHATEVER MEANS NECESSARY, THE EXISTING SITE IMPROVEMENTS TO REMAIN. ALL DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF ANY DAMAGE OCCURS.
- ALL AREAS WITHIN THE DRIPLINES OF EXISTING TREES SHALL REMAIN FREE OF CONSTRUCTION MATERIALS, DEBRIS, VEHICLES AND FOOT TRAFFIC AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING IN ACCORDANCE WITH DETAIL G, SHEET L3.00, AND AS LOCATED ON SHEET L1.00, PRIOR TO COMMENCEMENT OF GRADING OPERATIONS IN ORDER TO PROTECT EXISTING TREES TO REMAIN. NO WORK SHALL BE PERFORMED WITHIN THE DRIPLINE OF EXISTING TREES UNLESS INDICATED. ALL WORK INDICATED TO BE PERFORMED WITHIN THE DRIPLINE OF TREES SHALL BE DONE BY HAND AND CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCE TO THE TREE ROOTS.
- CONTRACTORS SHALL COORDINATE ALL WORK WITH RELATED TRADES AND THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTORS OWN WORK.
- EACH CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF ALL WORK PERFORMED BY OTHERS IN RELATION TO HIS/HER PROJECT WORK RESPONSIBILITIES INCLUDING THE CHECKING OF EXISTING ELEVATIONS OR STRUCTURES PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF ANY SITE CONDITIONS ARE INCOMPLETE, MISSING OR DAMAGED.
- ALL CONSTRUCTION DEBRIS AND REMOVED ITEMS SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- NOTIFY OWNER'S REPRESENTATIVE 72 HOURS IN ADVANCE OF ANY PLANNED UTILITY INTERRUPTION.
- CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. ALL MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION.
- THE PLANS ASSUME THAT THE LAYOUT AND STAKING WILL BE ACCOMPLISHED USING TOTAL STATIONING / DIGITAL METHODS. ANY INFORMATION PROVIDED IS INTENDED TO SUPPORT INFORMATION ALREADY CONTAINED IN CAD FILES USED FOR DOCUMENTING LAYOUT AND STAKING. CAD FILES DELINEATING ALL GRADING AND HARDSCAPE ELEMENTS SHOWN IN THESE PLANS CAN BE PROVIDED TO THE CONTRACTOR UPON REQUEST.
- CONTRACTOR SHALL EMPLOY SKILLED PERSONNEL AND USE EQUIPMENT NECESSARY TO ENSURE THAT ALL WORK IS PROFESSIONALLY AND PROPERLY INSTALLED AND IN FULL COMPLIANCE WITH THE PLANS AND DETAILS.
- CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL LAWS AND REGULATIONS REGARDING NOTIFICATION OF EXISTING GAS AND OIL PIPELINE COMPANY OWNERS. EVIDENCE OF SUCH NOTICE SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH WORK.

LANDSCAPE NOTES

- STAKE ALL BED LINES AND TREE LOCATIONS FOR THE LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. ALL PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.
- SECURE PLANT MATERIAL AS SPECIFIED ON PLANS. IN THE EVENT THAT PLANT MATERIALS SPECIFIED ARE NOT AVAILABLE, CONTACT LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS. NO SUBSTITUTIONS FOR PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
- VERIFY THAT ALL PLANTING PRODUCTS, PLANT MATERIAL, AND PLANT QUANTITIES DELIVERED TO THE SITE MATCH WHAT IS INDICATED ON THE PLANS AND SPECIFICATIONS.
- PROTECT ALL PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND THE DESICCATION OF LEAVES. PROTECT ALL PLANT MATERIAL DURING SHIPPING WITH SHADE CLOTH OR SHIP WITH ENCLOSED TRANSPORT. MAINTAIN PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. HANDLE ALL TREES WITH NYLON STRAPS. NO CHAINS OR CABLES WILL BE ALLOWED. REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL FORMED, TRUE TO SPECIES, HARDENED OFF WITH VIGOROUS ROOT SYSTEMS, FULL CROWN AND CANOPIES, AND FREE FROM DISEASE, PESTS AND INSECTS, AND DEFECTS SUCH AS KNOTS, SUN SCALD, WINDBURN, LEAF DIS-COLORATION, IRREGULAR BRANCHING OR INJURIES.
- ALL ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK".
- ALL PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.
- PROVIDE PLANT SAMPLES OR PHOTOGRAPHS OF EACH PLANT SPECIFIED TO THE LANDSCAPE ARCHITECT FOR COMPLIANCE REVIEW PRIOR TO INSTALLATION.
- TEST FILL ALL TREE AND PLANTING PITS WITH WATER, PRIOR TO PLANTING, TO ASSURE PROPER SOIL PERCOLATION. PITS WHICH DO NOT ADEQUATELY DRAIN SHALL BE FURTHER EXCAVATED TO A DEPTH SUFFICIENT FOR DRAINAGE TO OCCUR AND/OR BACKFILLED WITH SUITABLE DRAINAGE GRAVEL. NO ALLOWANCES SHALL BE MADE FOR PLANT MATERIAL LOSS DUE TO IMPROPER DRAINAGE. CONTRACTOR SHALL REPLACE LOST PLANT MATERIAL WITH SAME SIZE AND SPECIES AT NO ADDITIONAL COST TO OWNER.
- ALL PLANT MATERIALS, INCLUDING RELOCATED PLANT MATERIAL, SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE SURVIVABILITY OF ALL INSTALLED PLANT MATERIALS AS WELL AS TO PROVIDE AN AESTHETICALLY APPROVED PROJECT. CONTRACTOR SHALL REFER TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, GUYING AND STAKING, MULCHING, AND OTHER PLANTING REQUIREMENTS.
- ALL PLANTING AREAS SHALL BE WEED FREE PRIOR TO PLANTING INSTALLATION.
- REMOVE ALL PLANTING AND LANDSCAPE DEBRIS FROM THE PROJECT SITE AND SWEEP AND WASH CLEAN ALL PAVED AND FINISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.
- REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

LAYOUT NOTES

- ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF WALL, OR FACE OF CURB UNLESS OTHERWISE NOTED.
- WALKWAYS AND HARDSCAPE ELEMENTS INDICATED AS CURVILINEAR SHALL HAVE SMOOTH CONTINUOUS CURVES.
- UNLESS INDICATED OTHERWISE, ALL WALKWAYS ABUT AT 90 DEGREE ANGLES.
- ALL CONCRETE SCORING SHALL BE PARALLEL, PERPENDICULAR OR TANGENT TO ADJACENT IMPROVEMENTS UNLESS OTHERWISE NOTED.
- LAYOUT ALL CONSTRUCTION LINES AND VERIFY LAYOUT WITH THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
- RADI OF CURBS ARE ESTIMATED FROM SURVEY OR BASE DATA. THE CONTRACTOR SHALL MAKE ALL MODIFICATIONS NECESSARY TO ASSURE EXISTING AND NEW CURBS MEET FLUSH, EVEN AND SMOOTHLY.
- PROVIDE ISOLATION JOINTS WHERE CONCRETE PAVING OR PAVING BASE MEETS A FIXED STRUCTURE (EXISTING AND PROPOSED).
- PROVIDE FLUSH CONDITIONS AT JUNCTURE OF ALL WALKWAYS AND DOOR THRESHOLDS.
- REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

GRADING NOTES

- BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY WAS PREPARED BY:  
  
GANDEE HEYDINGER GROUP  
5676 STATE ROUTE 521, UNIT B  
DELAWARE, OH 43015  
P 614.942.6042
- BENCHMARKS - SEE ENGINEERS PLANS FOR BENCHMARKS.
- CONTRACTOR SHALL VERIFY GRADES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPENCIES.
- MAXIMUM SLOPE SHALL BE 4:1.
- THE CONTRACTOR SHALL USE THE LAYOUT AND MATERIALS PLAN FOR ADDITIONAL SITE DIMENSIONS AND INFORMATION.
- WHERE PROPOSED GRADING MEETS EXISTING, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
- ALL GRADES SHOWN ARE FINISHED TOPSOIL GRADES, AND HAVE BEEN ADJUSTED TO ACCOUNT FOR SOD AND MULCH PROFILES
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN SHALL BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- SEE REPORT OF SUBSURFACE EXPLORATION AND FOUNDATION RECOMMENDATIONS IF AVAILABLE FOR ADDITIONAL REQUIREMENTS OF GRADING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING INLET PROTECTION FOR ALL DRAIN INLETS WITHIN THE LIMITS OF GRADING. SEE GRADING SHEET FOR MORE INFORMATION.
- ALL AREAS DISTURBED BY GRADING OPERATIONS OUTSIDE BUILDING AND PAVEMENT AREAS ARE TO BE FINE GRADED AND SEEDED OR SODDED BY LANDSCAPE CONTRACTOR. SEE LANDSCAPE PLANS FOR MORE INFORMATION.



VICINITY MAP

ISSUED FOR

ARCHITECTURAL REVIEW BOARD  
A.R.B. COMMENT RESPONSE

DATE

01.12.2024  
01.29.2024

SHEET INDEX - LANDSCAPE PLANS

- L0.00 - TITLE SHEET
- L0.01 - EXISTING LANDSCAPE INVENTORY
- L1.00 - SITE LANDSCAPE PLAN
- L2.00 - BUILDING ENLARGEMENT LANDSCAPE PLAN
- L3.00 - LANDSCAPE DETAILS

PROJECT FOR:

BALANCED FAMILY  
ACADEMY



SEAL

CHECK SET  
Not For Construction

DESIGN TEAM

Civil Engineer

Gandee Heydinger Group  
5676 State Route 521, Unit B  
Delaware, OH 43015  
p 614.942.6042

Architect

J Carter Bean Architect  
4400 N. High Street  
Columbus, Ohio 43214  
p 614.262.2326

Landscape Architect  
G2 Planning and Design  
720 E. Broad St, Suite 200  
Columbus, Ohio 43215  
p 614.583.9230

BALANCED FAMILY ACADEMY

Miller Ave, New Albany, Ohio

Prepared for:  
Yeager Companies

REVISIONS

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drawn by: SW  
issue date 01.29.2024  
checked by: PEM  
PROJECT NO. 23103

TITLE SHEET

L0.00



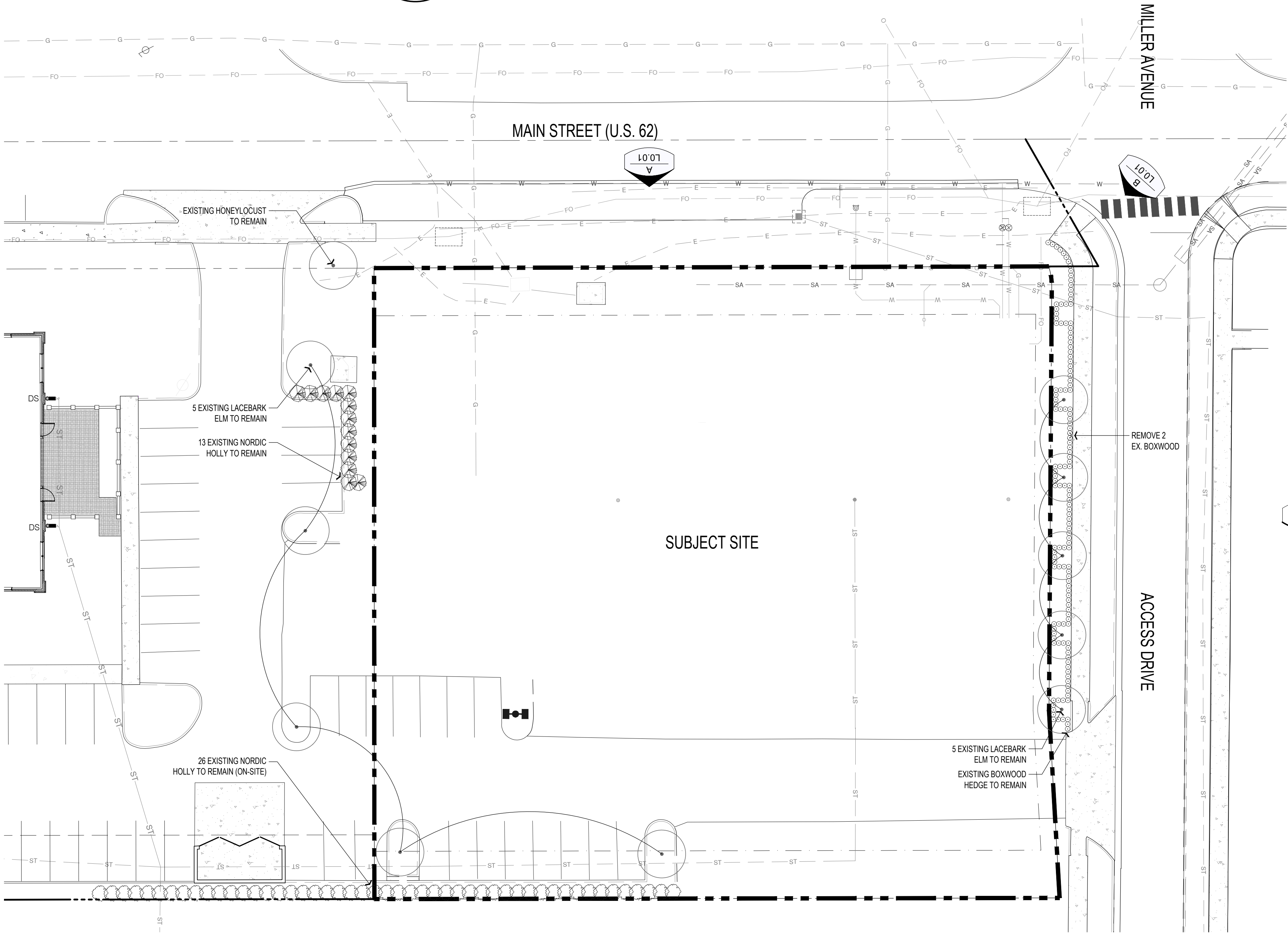
G:\G2 Projects\Yeager Companies\23103 Balanced Family Academy\NA\CAD\23103\_Balanced Family Academy\_NA.dwg, Jan 25, 2024 - 3:53pm P\Morehead

PLANT INVENTORY KEY

- EXISTING TREE
- EXISTING SHRUB
- EXISTING SHRUB TO BE REMOVED



A MAIN STREET FRONTAGE



EXISTING LANDSCAPE INVENTORY PLAN



B MILLER AVENUE AND MAIN STREET LOOKING SOUTHEAST

BALANCED FAMILY ACADEMY



SEAL

CHECK SET  
Not For Construction

DESIGN TEAM

Civil Engineer

Gandee Heydinger Group  
5676 State Route 522, Unit B  
Delaware, OH 43015  
p 614.942.6042

Architect

J Carter Bean Architect  
4400 N. High Street  
Columbus, Ohio 43214  
p 614.262.2326

Landscape Architect

G2 Planning and Design  
720 E. Broad St. Suite 200  
Columbus, Ohio 43215  
p 614.583.9230

BALANCED FAMILY ACADEMY

Miller Ave, New Albany, Ohio

Prepared for:  
Yeager Companies

REVISIONS

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drawn by: SW checked by: PEM  
issue date 01.29.2024 PROJECT NO. 23103

EXISTING LANDSCAPE INVENTORY

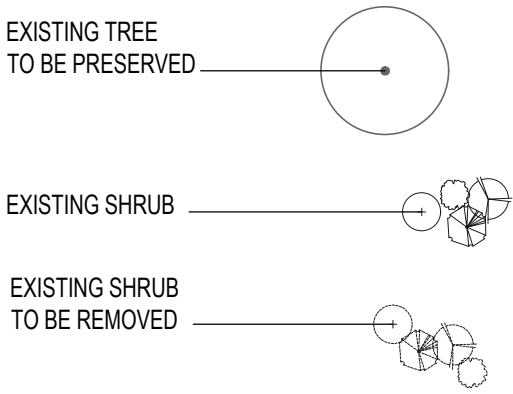
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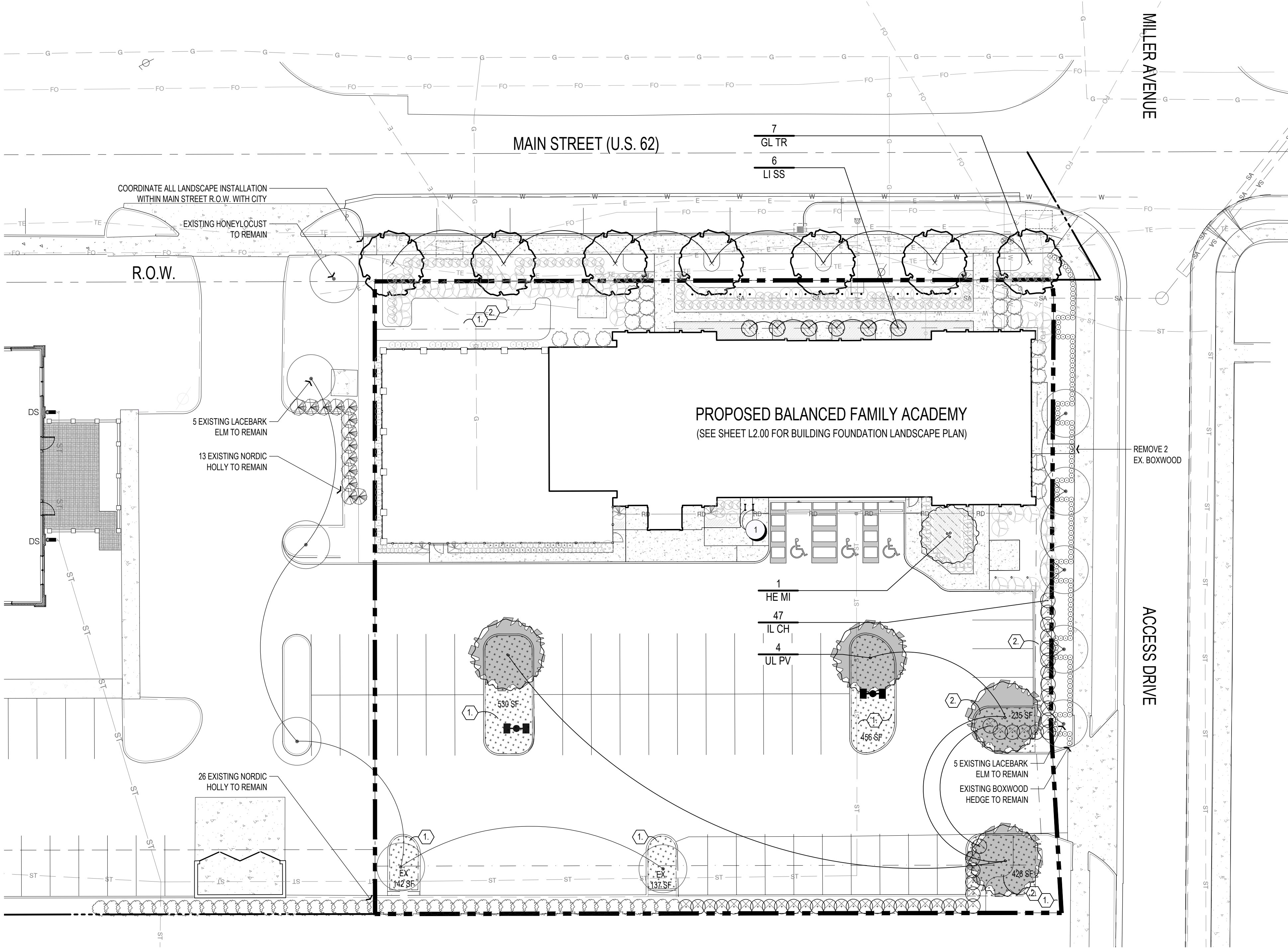
P L A N T   L I S T (Contractor is responsible to provide all plant quantities shown on plan)						
QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS SHADE TREES / STREET TREES						
7	GL TR	Gleditsia tricanthos var. inermis 'Skycole' Skyline Honeylocust	3' CAL.	B&B	AS SHOWN	Street Tree
6	LI SS	Liquidambar styraciflua 'Slender Silhouette' Slender Silhouette Sweetgum	2' HT.	B&B	AS SHOWN	Match Form
4	UL PV	Ulmus parvifolia 'Emer II' Allee Lacebark Elm	2' HT.	B&B	AS SHOWN	Match Form
ORNAMENTAL TREES						
1	HE MI	Heptacodium miconioides Seven Sons Flower	2" CAL.	B&B	AS SHOWN	Match Form
EVERGREEN SHRUBS						
47	IL CH	Ilex glabra 'Chamzin' Nordic Inkberry	24" HT.	B&B	45' O.C.	

P L A N T   P R E S E R V A T I O N   K E Y



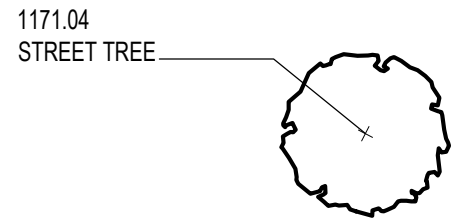
P L A N T   L A B E L   K E Y

$\frac{1}{XX \ XX} \left( \begin{matrix} \text{QUANTITY} \\ \text{CODE} \end{matrix} \right)$



SITE LANDSCAPE PLAN

CHAPTER 1171 - LANDSCAPING REQ.S



**1171.04 STREET TREE REQUIREMENTS**

THE PLANTING OF TREES ALONG ROADWAYS FOR ALL NEW DEVELOPMENTS SHALL BE ACCORDING TO THE FOLLOWING STREET TREE REQUIREMENTS

(a) DECIDUOUS CANOPY TREES (STREET TREES) SHALL BE PLANTED NO LESS THAN TWENTY-FOUR (24) FEET AND NO MORE THAN THIRTY-SIX (36) FEET ON CENTER UNLESS OTHERWISE APPROVED BY THE VILLAGE LANDSCAPE ARCHITECT

(b) STREET TREES MUST BE PLANTED IN THE TREE LAWN, BETWEEN THE SIDEWALK OR LEISURE TRAIL AND THE ROAD PAVEMENT. TREE LAWNS SHALL BE A MINIMUM WIDTH OF SIX (6) FEET.

(c) STREET TREES SHALL BE A MINIMUM OF THREE (3) INCHES CALIPER DBH (TRUNK DIAMETER AT FOUR AND ONE-HALF (4.5) FEET ABOVE THE GROUND).

(d) ANY TREE ON THE LIST OF UNDESIRABLE SPECIES IN SECTION 1171.09 SHALL NOT BE PLANTED AS STREET TREES.

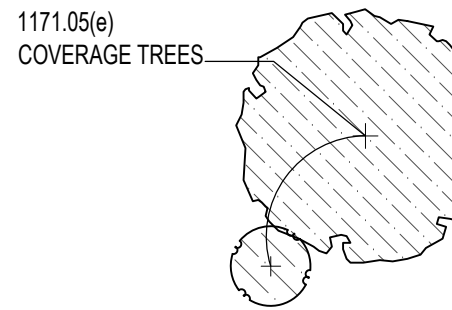
(e) STREET TREES SHALL BE LOCATED SO THAT A TWENTY-FIVE (25) FOOT SIGHT TRIANGLE IS MAINTAINED AT STREET INTERSECTIONS.

(f) STREET TREES SHALL BE LOCATED NOT LESS THAN FIFTEEN (15) FEET FROM FIRE HYDRANTS AND/OR UTILITY POLES.

(g) THE DEVELOPER SHALL BE REQUIRED TO MAINTAIN ALL STREET TREES FOR A PERIOD OF ONE YEAR AFTER THE TREE IS PLANTED AND TO REPLACE ANY TREE WHICH DIES WITHIN SUCH ONE YEAR PERIOD.

(h) STREET TREES SHOULD BE OF THE SAME GENUS AND SPECIES PLANTED CONTINUOUSLY ALONG THE LENGTH OF EACH STREET.

REQUIRED	PROVIDED
ONE 3" CAL. TREE PER: 30 L.F. MIN./35 L.F. MAX. FOR MAIN STREET PER "VILLAGE STREET" URBAN CENTER CODE STANDARDS	MAIN STREET- 7 PROPOSED STREET TREES SPACED BIT 30' AND 35' O.C.
25 L.F. MAX FOR FUTURE MILLER AVE PER "VILLAGE AVENUE" URBAN CENTER CODE STANDARDS	FUTURE MILLER AVE - REQ. MET WITH EXISTING TREES TO BE PRESERVED

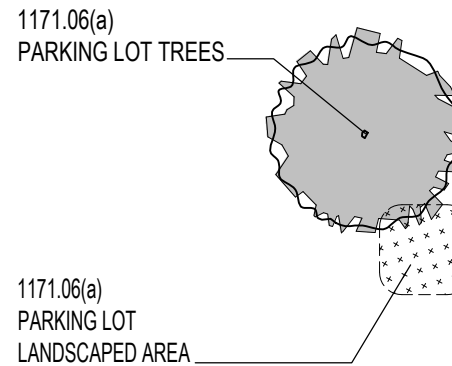


**1171.05 LANDSCAPE SCREENING REQUIREMENTS**

THE FOLLOWING MINIMUMS ARE REQUIRED, BASED UPON TOTAL GROUND COVERAGE OF STRUCTURES AND VEHICULAR USE AREAS:

(2) BETWEEN TWENTY THOUSAND (20,000) AND FIFTY THOUSAND (50,000) SQUARE FEET: A MINIMUM OF ONE TREE FOR EVERY FIVE THOUSAND (5,000) SQUARE FEET OF GROUND COVERAGE AND A TOTAL TREE PLANTING EQUAL TO TEN (10) INCHES PLUS ONE-HALF INCH IN TREE TRUNK SIZE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OVER TWENTY THOUSAND (20,000) IN GROUND COVERAGE

MINIMUM 1 TREE/ EVERY 5,000 S.F. GROUND COVERAGE & TOTAL OF 10" + .5" 2,000 S.F. OVER 20,000 S.F. IN TREE TRUNK SIZE	7 TREES FOR +/-35,000 S.F. OF GROUND COVERAGE, AND A TOTAL OF 14" IN TREE TRUNK SIZE ACHIEVED WITH 7 TREES AT 2" CAL.
--	---



**1171.06(a) PARKING LOT ISLANDS**

FOR EACH 100 S.F., OR FRACTION THEREOF, OF PARKING AREA, A MINIMUM TOTAL OF 5 S.F. OF LANDSCAPED AREA SHALL BE PROVIDED (NO INDIVIDUAL LANDSCAPE AREA SHALL BE SMALLER THAN 350 S.F.). PARKING AREAS SHALL CONTAIN A MIN. ONE DECIDUOUS TREE FOR EVERY 10 PARKING SPACES, REMAINING AREA WITHIN ISLANDS TO BE LANDSCAPED WITH SHRUBS OR GROUND COVER NOT TO EXCEED 2' HT.

5% LANDSCAPE AREA INTERIOR TO PARKING LOT, 1 DECIDUOUS TREE/10 SPACES, 2' MAX. HT. SHRUB OR GROUND COVER W/1 ISLANDS	+/-1,926 S.F. (9.5%) LANDSCAPE AREA FOR +/-20,255 S.F. PARKING LOT AREA, 4 TREES FOR 40 ADDITIONAL PARKING SPACES, AND 2' MAX. HT. SHRUB OR GROUND COVER W/1 ISLANDS
--	--



**1171.06(b) PARKING LOT BUFFERING**

PARKING LOTS SHALL BE SCREENED FROM PRIMARY STREETS, RESIDENTIAL AREAS, AND OPEN SPACE BY A THREE AND ONE-HALF (3.5)-FOOT MINIMUM HEIGHT EVERGREEN HEDGE OR MASONRY WALL, OR COMBINATION OF WALL AND PLANTINGS

3.5' HT. EVERGREEN HEDGE (2' MIN. AT INSTALL, 3.5' MIN. WITHIN 4 YEARS)	3.5' HT. EVERGREEN HEDGE (2' MIN. AT INSTALL, 3.5' MIN. WITHIN 4 YEARS)
---	---

GENERAL PLANTING NOTES

REFER TO CIVIL PLANS FOR MORE INFORMATION ON PUBLIC STREETS AND UTILITIES

FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND EXCAVATE ALL PLANTING PITS.

ALL GROUNDCOVERS AND PERENNIALS TO BE PLANTED DURING THE SPRING PLANTING WINDOW. FALL GROUNDCOVER AND PERENNIAL PLANTINGS WILL NOT BE ACCEPTED.

COORDINATE PLANTING TIMES WITH OWNERS REPRESENTATIVE TO INCREASE SUCCESS OF GROUNDCOVER AND PERENNIAL PLANTINGS.

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	BIKE RACK	E L3.00	SWERVE BIKE RACK BY DERO. BLACK POWDER COAT SEE DETAIL E, SHEET L3.00.

CODED LANDSCAPE NOTES

- 1) SOD
- 2) LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

PROJECT FOR:

BALANCED FAMILY ACADEMY



SEAL

CHECK SET  
Not For Construction

DESIGN TEAM

Civil Engineer

Gandee Heydinger Group  
5676 State Route 922, Unit B  
Delaware, OH 43015  
p 614.942.6042

Architect

J Carter Bean Architect  
4400 N. High Street  
Columbus, Ohio 43214  
p 614.262.2326

Landscape Architect

G2 Planning and Design  
720 E. Broad St. Suite 200  
Columbus, Ohio 43215  
p 614.583.9230

BALANCED FAMILY ACADEMY

Miller Ave, New Albany, Ohio

Prepared for:  
Yeager Companies

REVISIONS

date issued for

1	XX.XX.XXXX	NOTES
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drawn by: SW issue date 01.29.2024 checked by: PEM PROJECT NO. 23103

SITE  
LANDSCAPE PLAN

L1.00





# CHECK SET

Not For Construction

Civil Engineer

**J Carter Bean Architects**  
4400 N. High Street  
Columbus, Ohio 43214  
p 614.262.2326

Landscape Architect

**G2 Planning and Design**  
720 E. Broad St. Suite 200  
Columbus, Ohio 43215  
p 614.583.9230

# BALANCED FAMILY ACADEMY

Miller Ave, New Albany, Ohio

Prepared for:  
**Yeager Companies**

## REVISIONS

date issued for

XX.XX.XXXX NOTES

drawn by: SW checked by: PEM  
issue date 01.29.2024 PROJECT NO. 23103

BUILDING  
ENLARGEMENT  
LANDSCAPE PLAN

**L2.00**

## PLANT LABEL KEY

$$\frac{1}{XX XX} \left( \frac{\text{QUANTITY}}{\text{CODE}} \right)$$

## GENERAL PLANTING NOTES

REFER TO CIVIL PLANS FOR MORE INFORMATION ON PUBLIC STREETS AND UTILITIES

FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND EXCAVATE ALL PLANTING PITS

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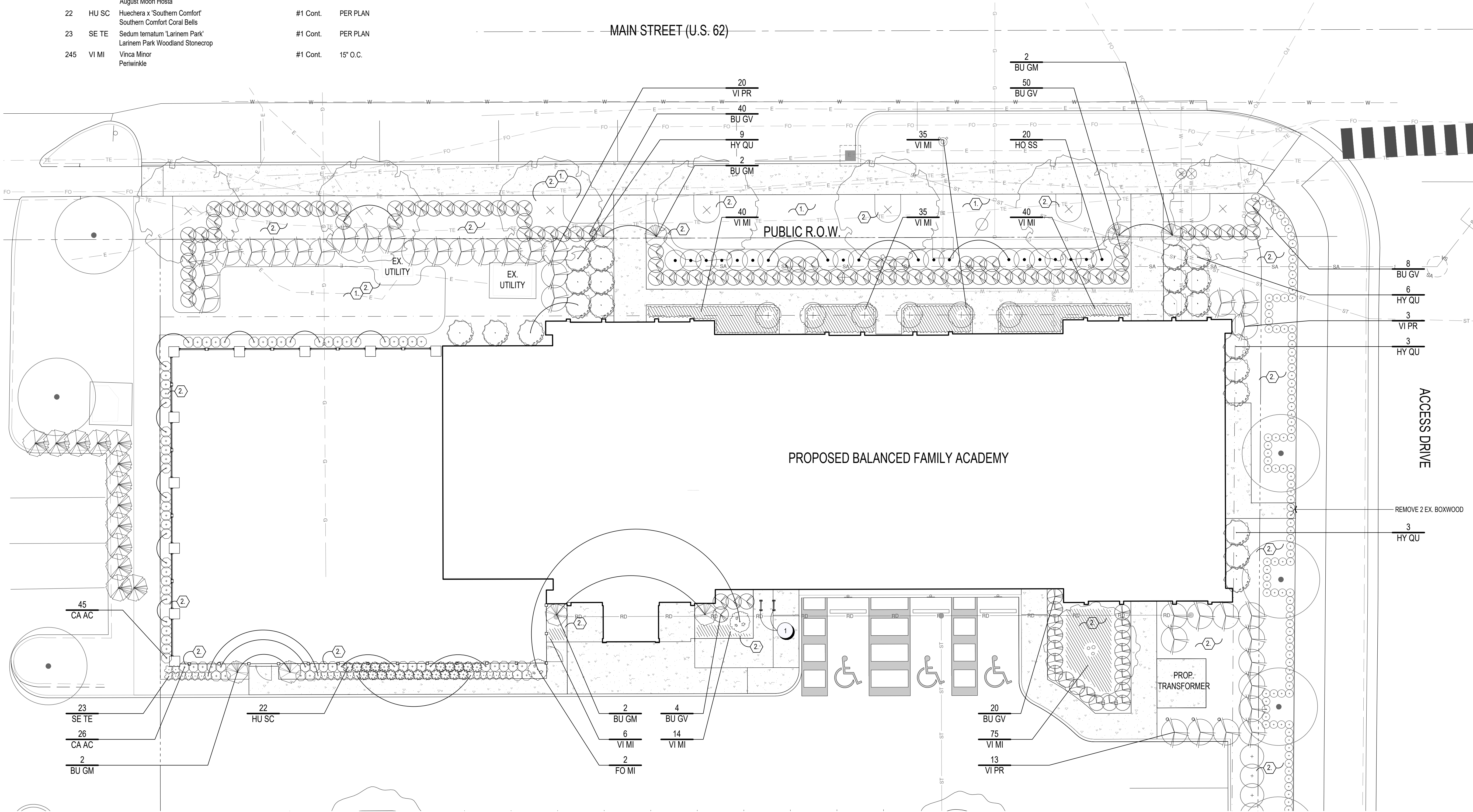
CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
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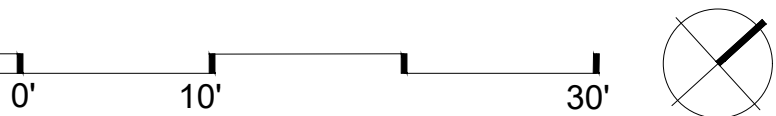
C O D E D   L A N D S C A P E   N O T E S

1. SOD
2. LANDSCAPE BED - PROVIDE 3" DEPTH TRIPLE-PROCESSED SHREDDED HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

NOTE: FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND EXCAVATE ALL PLANTING PITS.

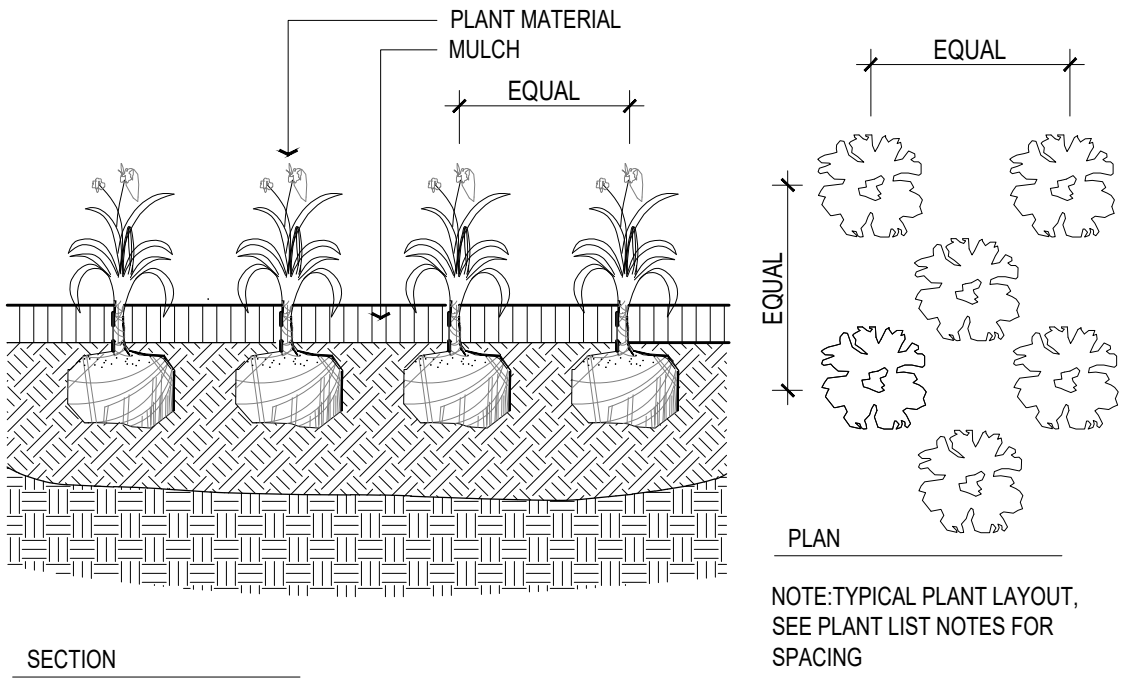
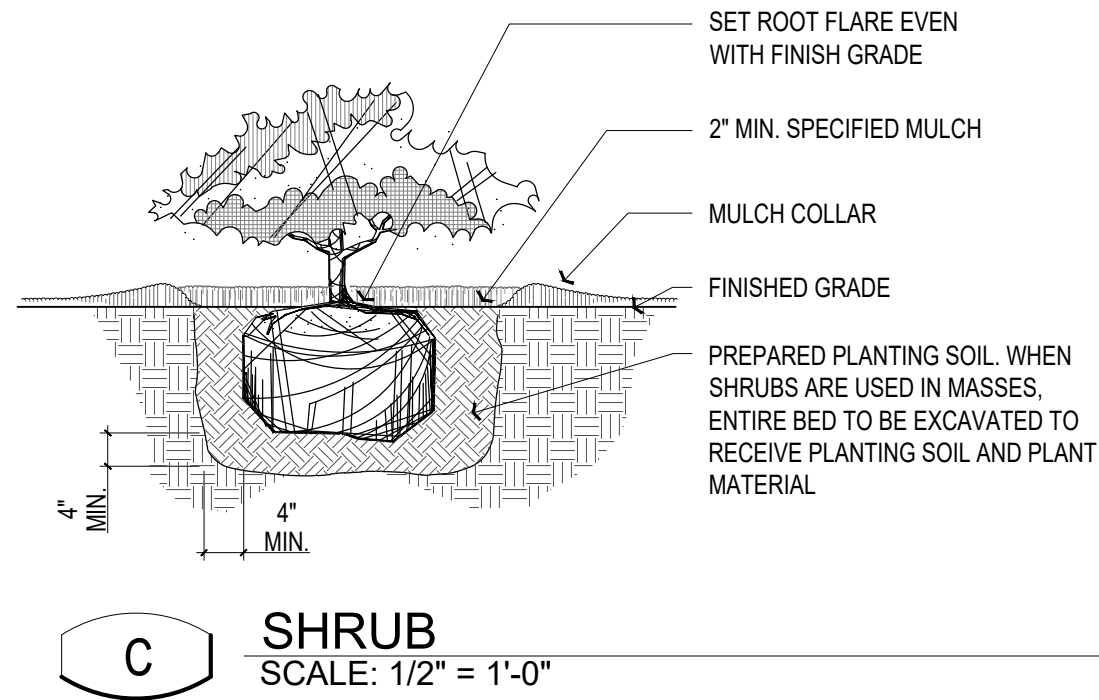


BUILDING ENLARGEMENT LANDSCAPE PLAN

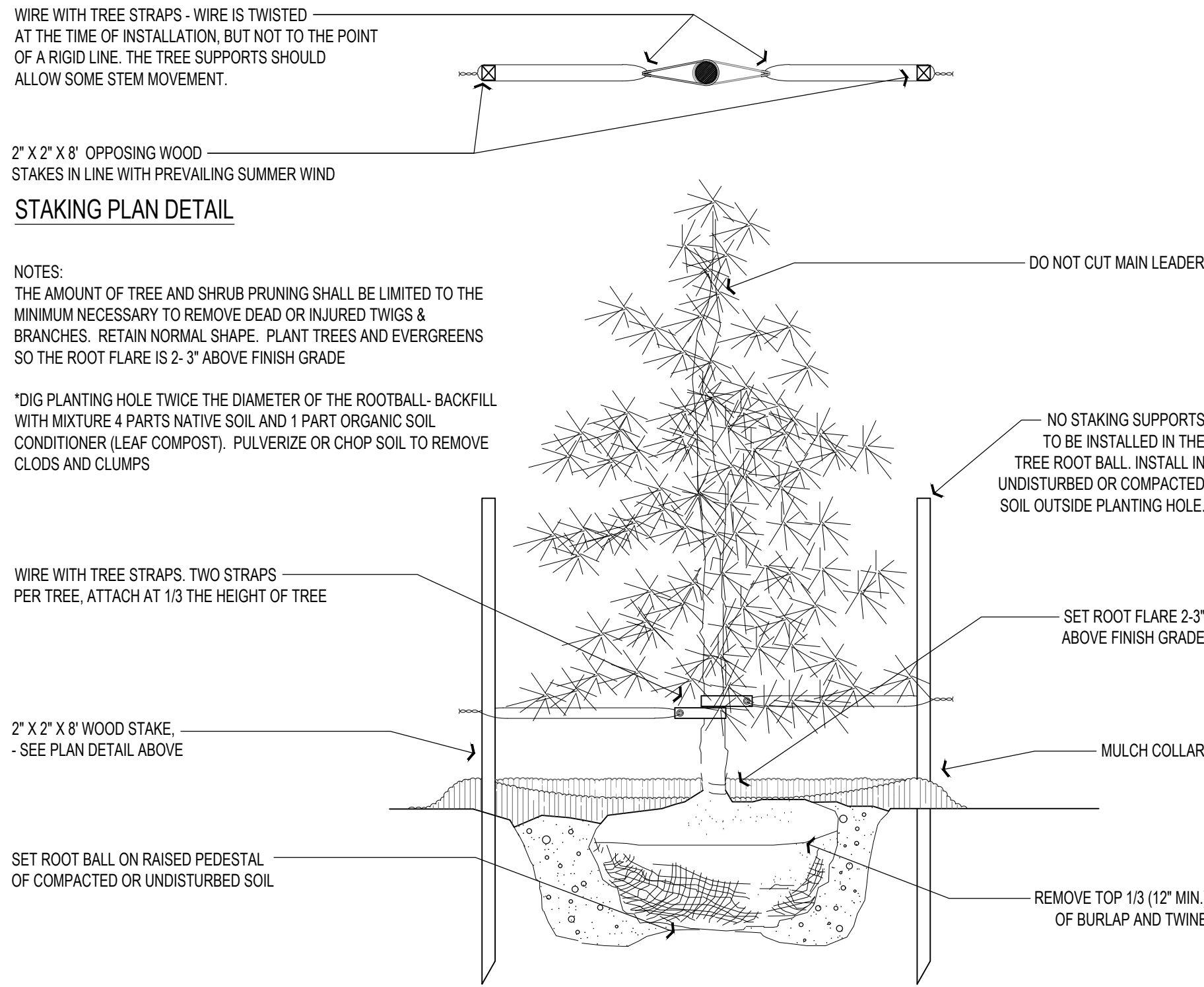




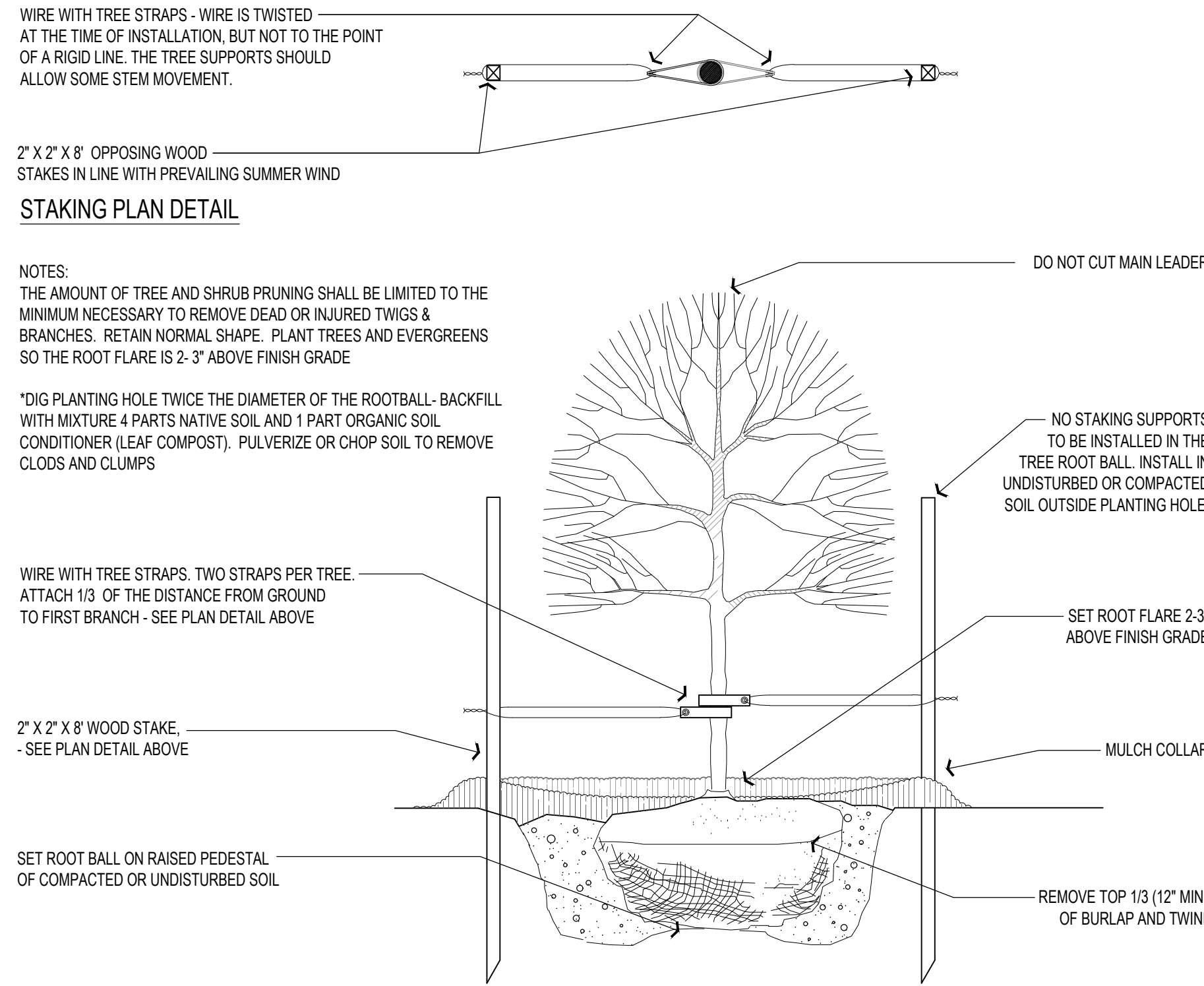
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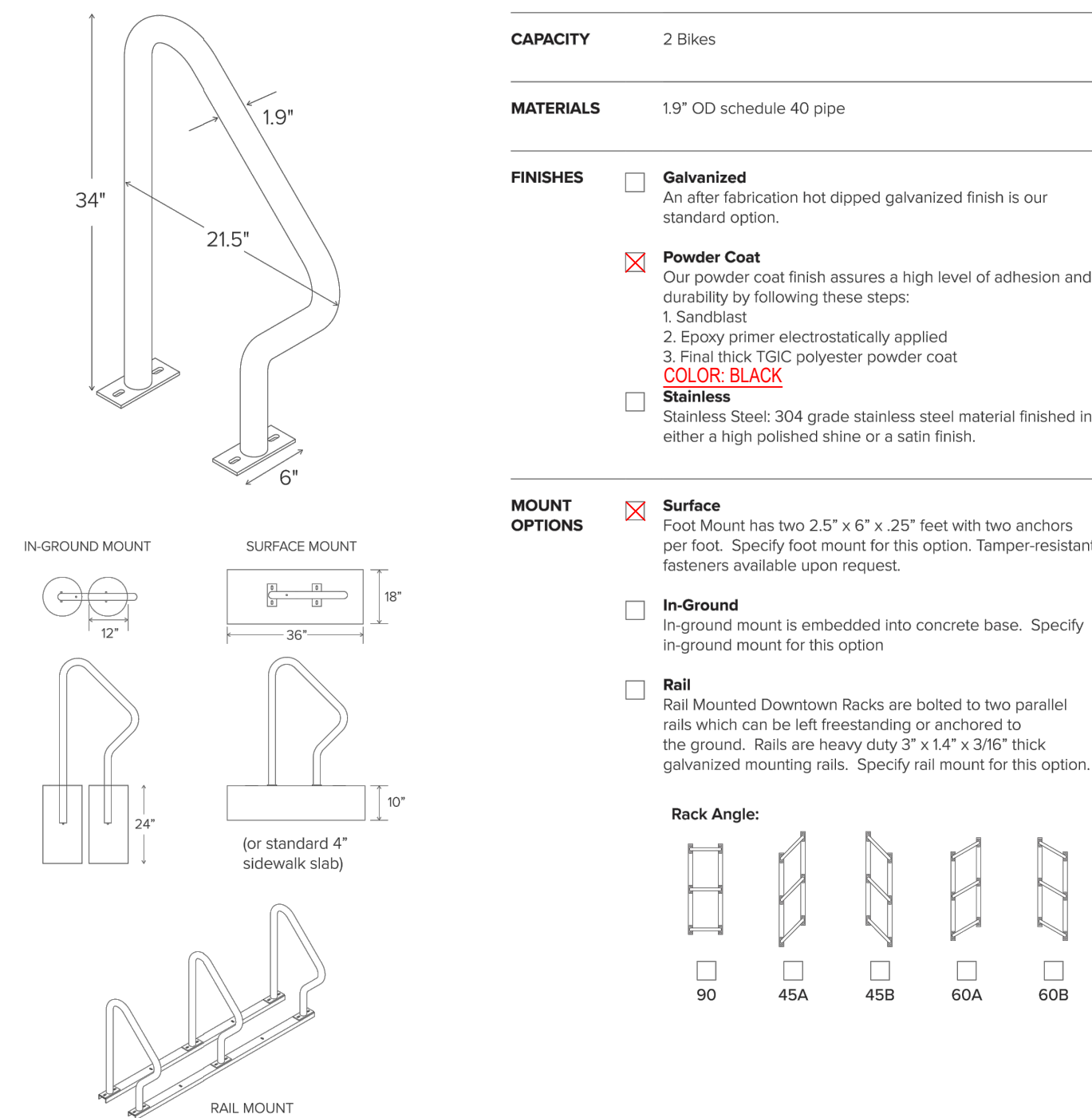
**D** PERENNIALS & GROUNDCOVER  
SCALE: 1" = 1'-0"



**B** EVERGREEN TREE  
SCALE: 1" = 1'-0"



**A** DECIDUOUS TREE  
SCALE: 1" = 1'-0"



**E** SWERVE BIKE RACK BY DERO  
SCALE: N.T.S.

PROJECT FOR:

BALANCED FAMILY  
ACADEMY

**G2** PLANNING  
+ DESIGN  
720 E. BROAD STREET, SUITE 200  
COLUMBUS, OH 43215

SEAL

**CHECK SET**  
Not For Construction

DESIGN TEAM

Civil Engineer

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5676 State Route 922, Unit B  
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p 614.942.6042

Architect

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p 614.262.2326

Landscape Architect

G2 Planning and Design  
720 E. Broad St. Suite 200  
Columbus, Ohio 43215  
p 614.583.9230

BALANCED FAMILY ACADEMY

Miller Ave, New Albany, Ohio

Prepared for:  
Yeager Companies

REVISIONS

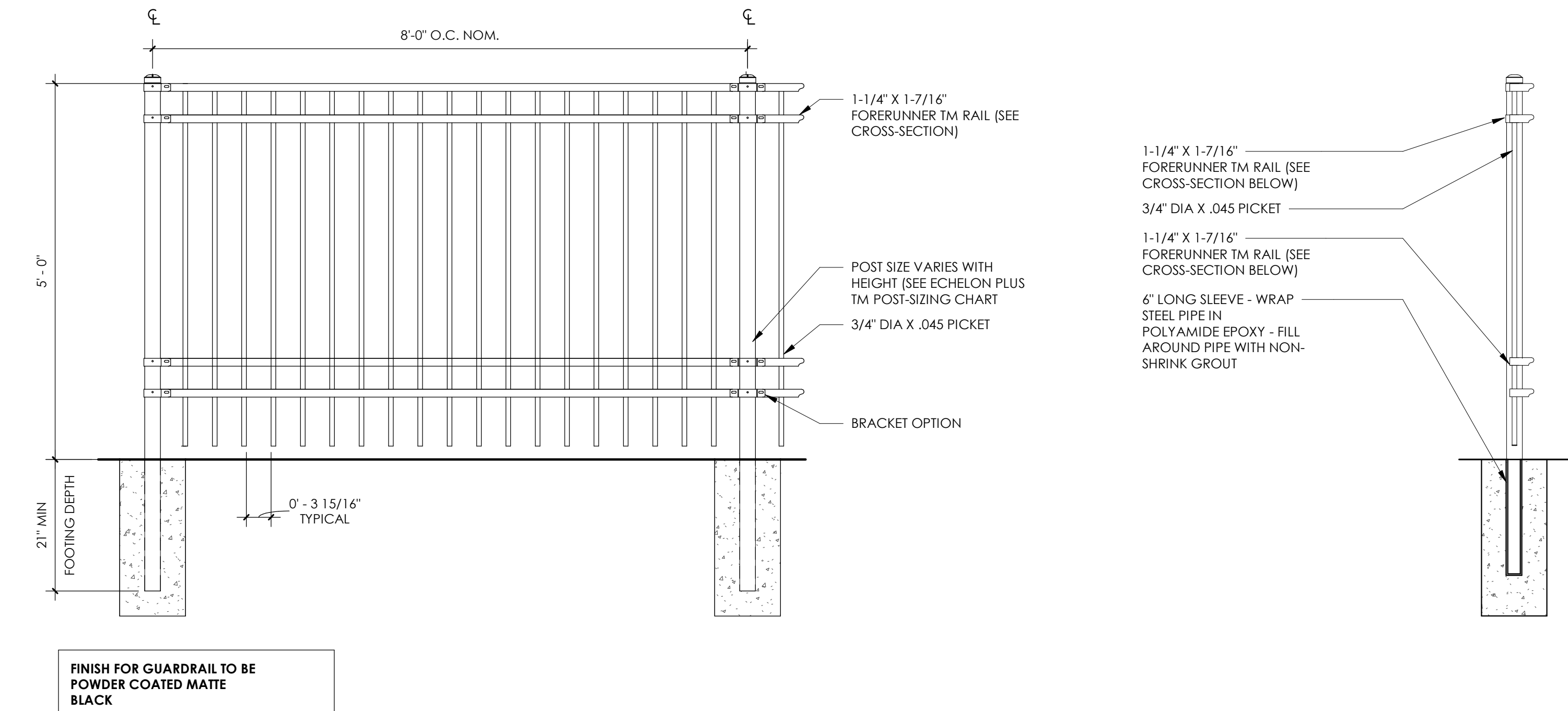
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drawn by: SW checked by: PEM  
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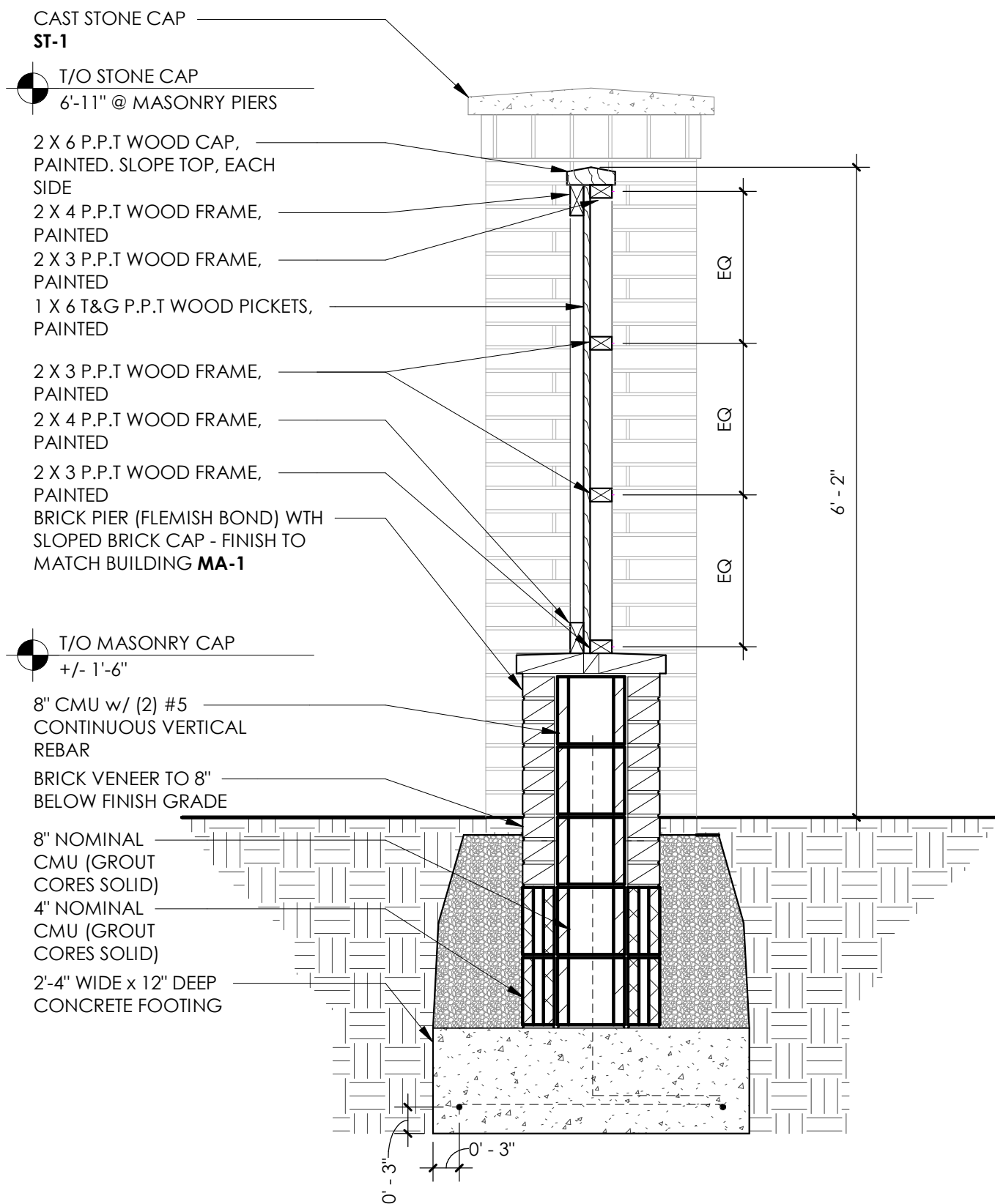
LANDSCAPE  
DETAILS

**L3.00**

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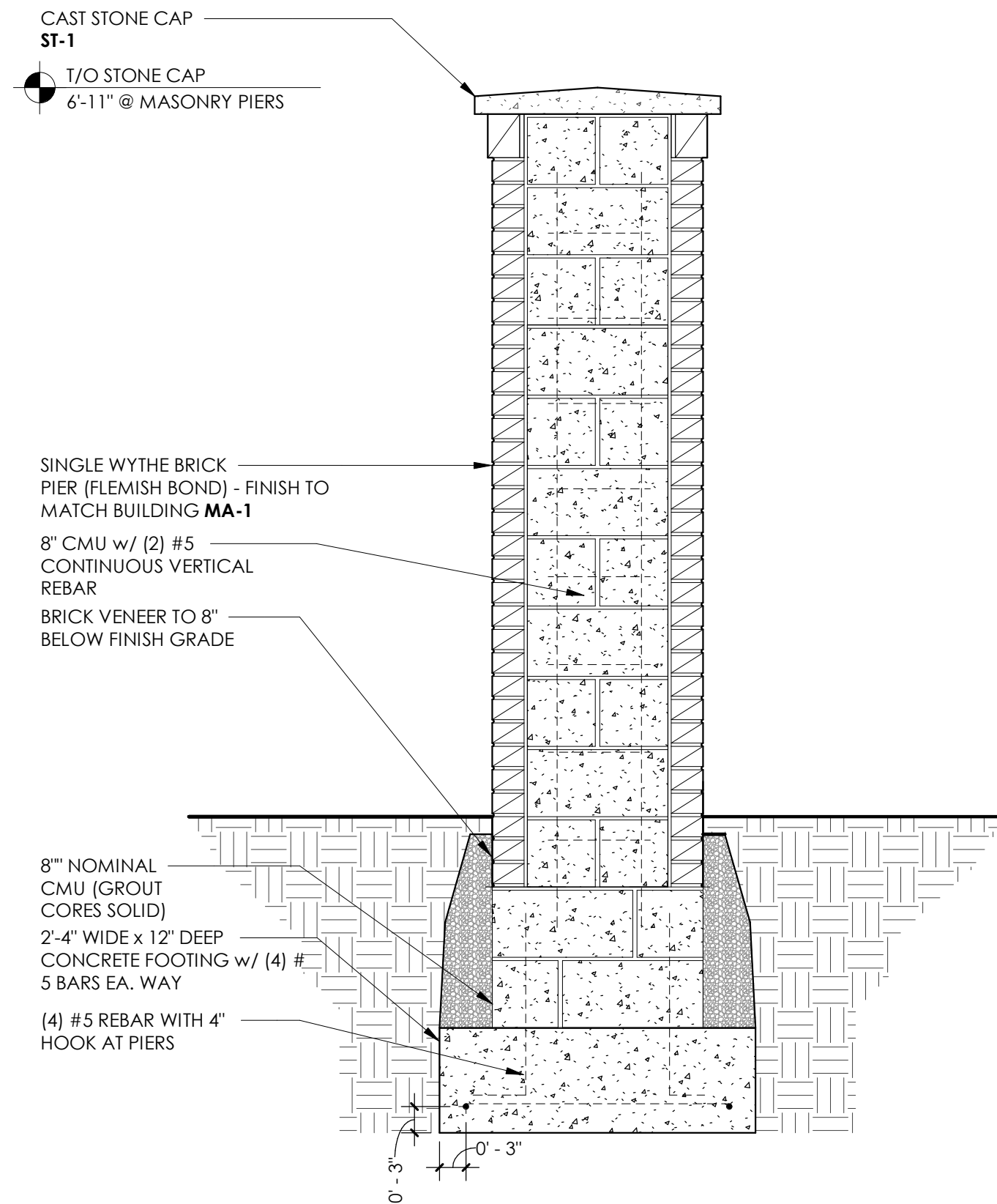


3 PLAYGROUND RAILING SECTION AND ELEVATION  
3/4" = 1'-0"



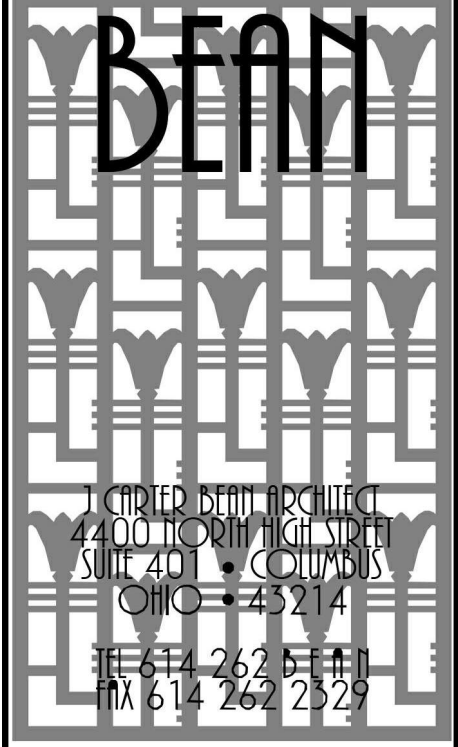
2 PLAYGROUND FENCING PIER SECTION 'B'  
3/4" = 1'-0"

NOTE: FOUNDATION DESIGN TO BE REVIEWED AND PROVIDED BY LICENSED STRUCTURAL ENGINEER



1 PLAYGROUND FENCING PIER SECTION 'A'  
3/4" = 1'-0"

NOTE: FOUNDATION DESIGN TO BE REVIEWED AND PROVIDED BY LICENSED STRUCTURAL ENGINEER



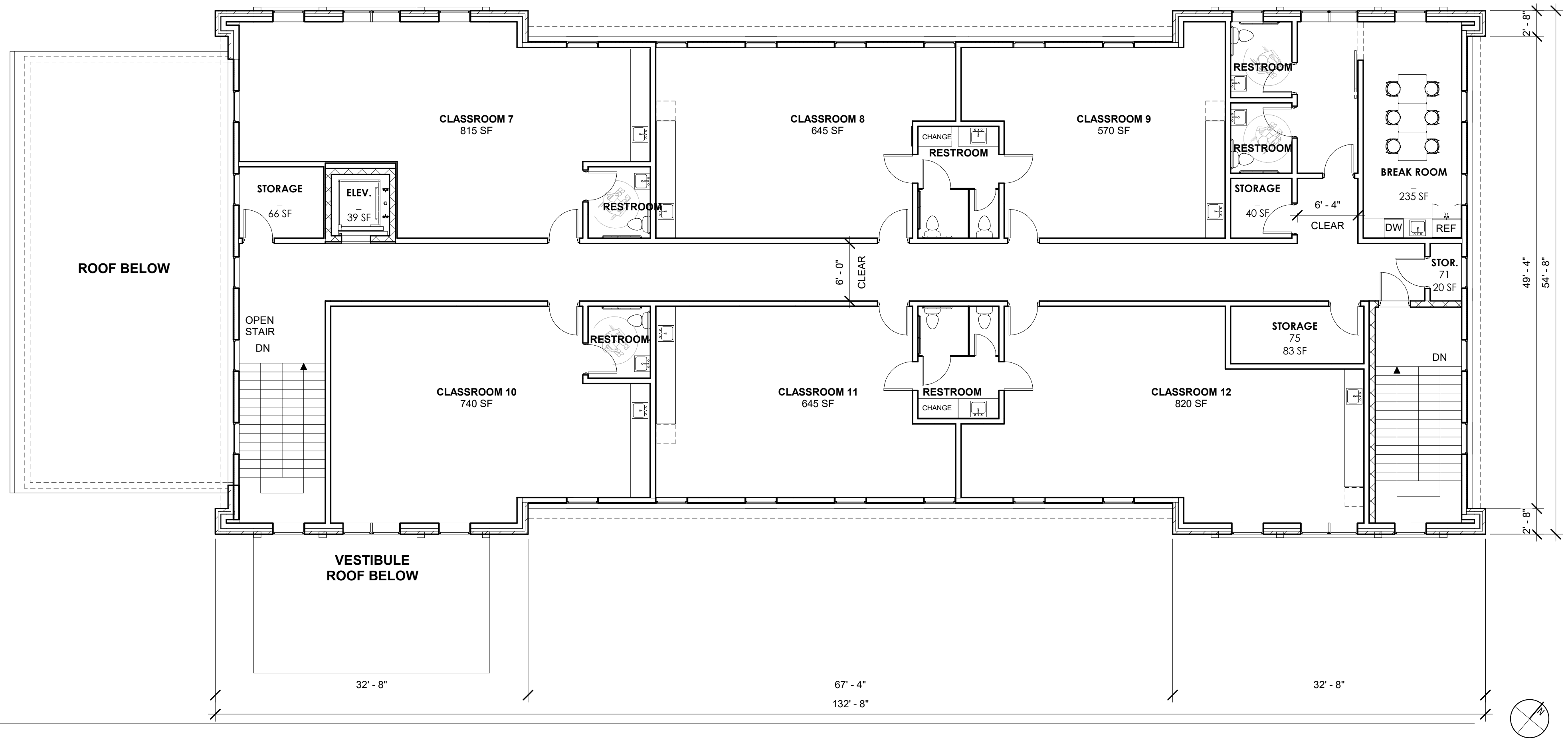
BALANCED FAMILY ACADEMY  
NEW ALBANY - MAIN STREET & MILLER AVENUE  
FOR  
YEAGER COMPANIES  
1433 GRANDVIEW AVENUE, COLUMBUS, OHIO 43212

No.	Date	Description
01.23.24	ZONING	
DRAWING TITLE		
PLAYGROUND FENCING DETAILS		
DRAWING NUMBER		
SD-1.1		
BEA-Project Number		

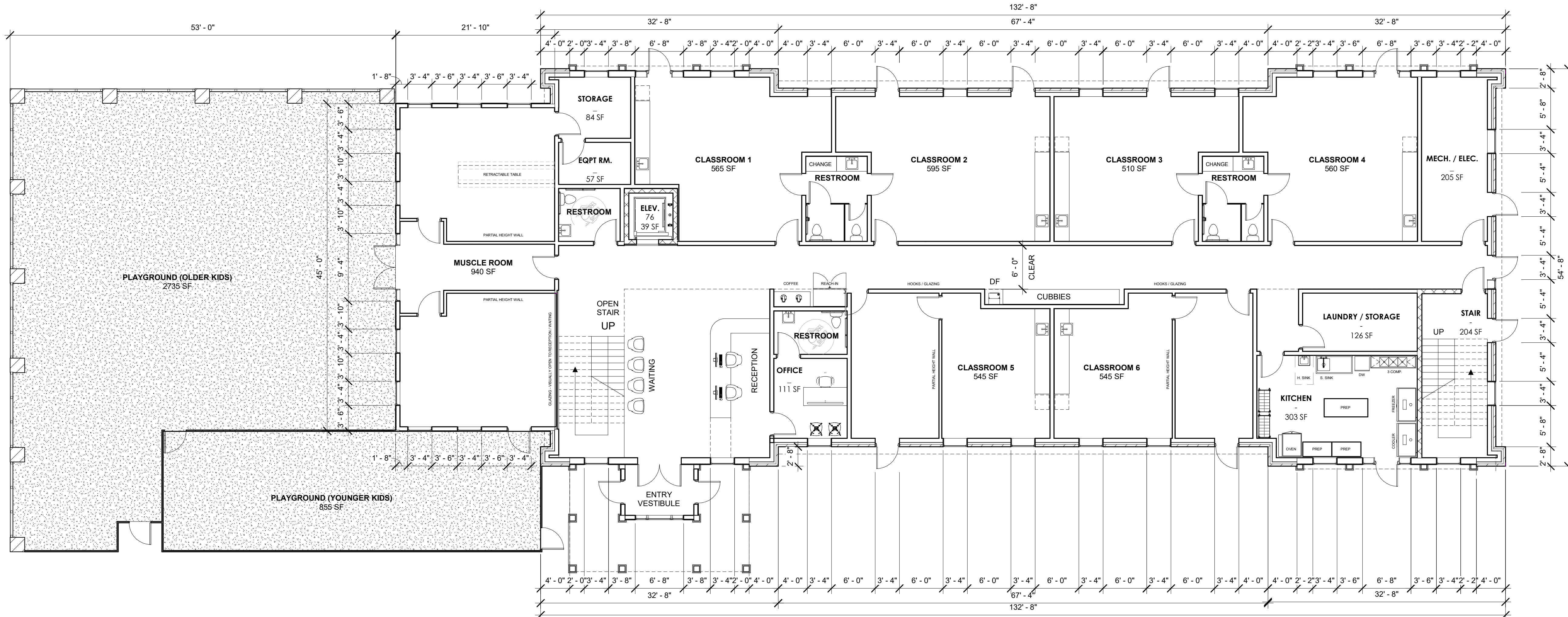


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2 SECOND FLOOR PLAN  
1/8" = 1'-0"  
LEVEL 2 GROSS - 6,745 SF



1 FIRST FLOOR PLAN  
1/8" = 1'-0"  
LEVEL 1 GROSS - 7,745 SF



BEA

CREDIT: STAFF ARCHITECT  
4200 LEXINGTON AVENUE  
SUITE 200 COLUMBUS  
OHIO 43214  
TEL 614 262 5111  
FAX 614 262 2525

BALANCED FAMILY ACADEMY

NEW ALBANY - MAIN STREET & MILLER AVENUE

FOR  
YEAGER COMPANIES

1433 GRANDVIEW AVENUE, COLUMBUS, OHIO 43212

NO. Date Description  
01.23.24 ZONING

DRAWING TITLE  
FLOOR PLANS

DRAWING NUMBER

A-1.1

BEA-Project Number



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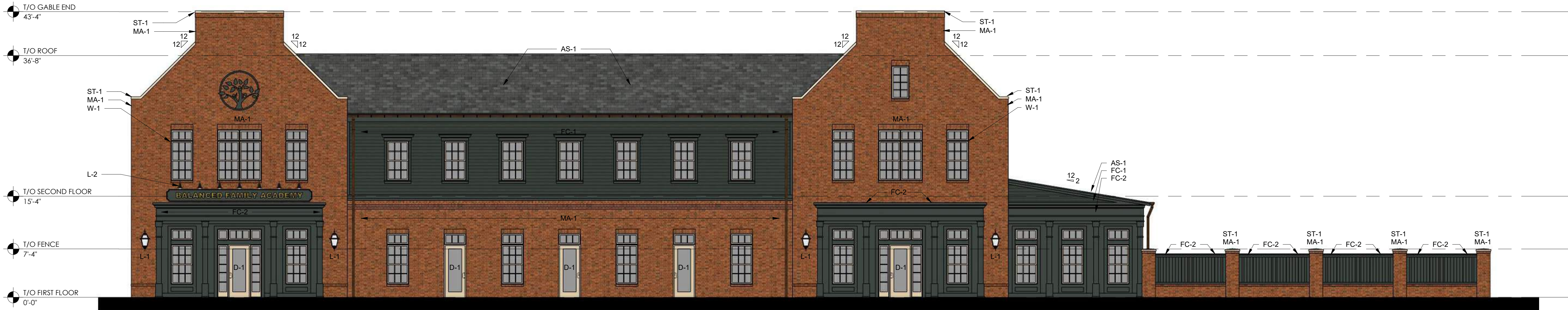
4 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION  
1/8" = 1'-0"



1 WEST EXTERIOR ELEVATION  
1/8" = 1'-0"

#### EXTERIOR FINISH KEY

MARK	TYPE	NOTES
AL-1	PLAYGROUND FENCING (PARKING LOT SIDE)	MANUFACTURER: TBD 5'-0" TALL PREFINISHED ALUMINUM FENCING COLOR: BLACK
AS-1	ASPHALT SHINGLE ROOFING	GAF SLATELINE SHINGLES COLOR: ANTIQUE SLATE
FC-1	FIBER CEMENT - LAP SIDING	JAMES HARDIE LAP SIDING (SMOOTH) 6" EXPOSURE SHERWIN WILLIAMS - SW6216 'JASPER GREEN'
FC-2	FIBER CEMENT - PANEL AND TRIM	JAMES HARDIE PANEL SIZE AND TRIM WIDTH VARIES (SMOOTH) SHERWIN WILLIAMS - SW6216 'JASPER GREEN'
MA-1	MASONRY	GLEN GERY COLOR: CRAFTSMAN HANDMADE SERIES - BRANDYWINE MORTAR COLOR: ARGOS MAGNOLIA BUFF
D-1	EXTERIOR DOORS	MANUFACTURER: MARVIN SIGNATURE ALUMINUM CLAD WOOD DOOR (OR ACCEPTABLE ALTERNATE) COLOR: SIERRA WHITE
ST-1	CAST STONE	ROCKCAST ARCHITECTURAL CAST STONE COLOR: CHARLOTTE TAN
W-1	WINDOWS	MANUFACTURER: MARVIN SIGNATURE ALUMINUM CLAD WOOD WINDOW W. MUNTINS COLOR: SIERRA WHITE

#### GENERAL NOTES

1. THE COLORS AND MATERIALS, AS SHOWN IN THIS FINAL DEVELOPMENT PLAN, MAY BE ADJUSTED SLIGHTLY, BASED ON SUPPLY SHORTAGES OR DELAYS. HOWEVER, FINAL SELECTIONS WILL BE SUBSTANTIALLY SIMILAR TO THE DESIGN. INTENT SHOWN IN THIS FINAL DEVELOPMENT PLAN SUBMISSION. IF MODIFICATIONS ARE NECESSARY, DEVELOPMENT TEAM WILL WORK WITH DEVELOPMENT DEPARTMENT STAFF TO GAIN ADMINISTRATIVE APPROVAL FOR ANY SUCH MODIFICATIONS.
2. TENANT SIGNAGE SHALL BE SUBMITTED FOR REVIEW, APPROVAL, AND PERMIT ON A TENANT-BY-TENANT BASIS. THE DESIGN OF ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE APPROVED DEVELOPMENT TEXT AND CITY OF NEW ALBANY ZONING CODE. THESE ELEVATIONS SHOW THE GENERALLY INTENDED LOCATIONS FOR WALL-MOUNTED SIGNAGE TO COMPLIMENT BUILDING ARCHITECTURE. HOWEVER, THE LOCATIONS DEPICTED HEREIN SHALL NOT LIMIT THE ABILITY OF LANDLORD OR TENANTS TO INSTALL ADDITIONAL SIGNAGE, TO THE EXTENT ALLOWED BY CODE.
3. MECHANICAL ROOF WELLS HAVE BEEN DESIGNED WITH SUFFICIENT DEPTH TO FULLY SCREEN VIEW OF EQUIPMENT, FROM GRADE, IN ALL DIRECTIONS.

## BALANCED FAMILY ACADEMY

NEW ALBANY - MAIN STREET & MILLER AVENUE

FOR  
YEAGER COMPANIES

1433 GRANDVIEW AVENUE, COLUMBUS, OHIO 43212

01.23.24 ZONING

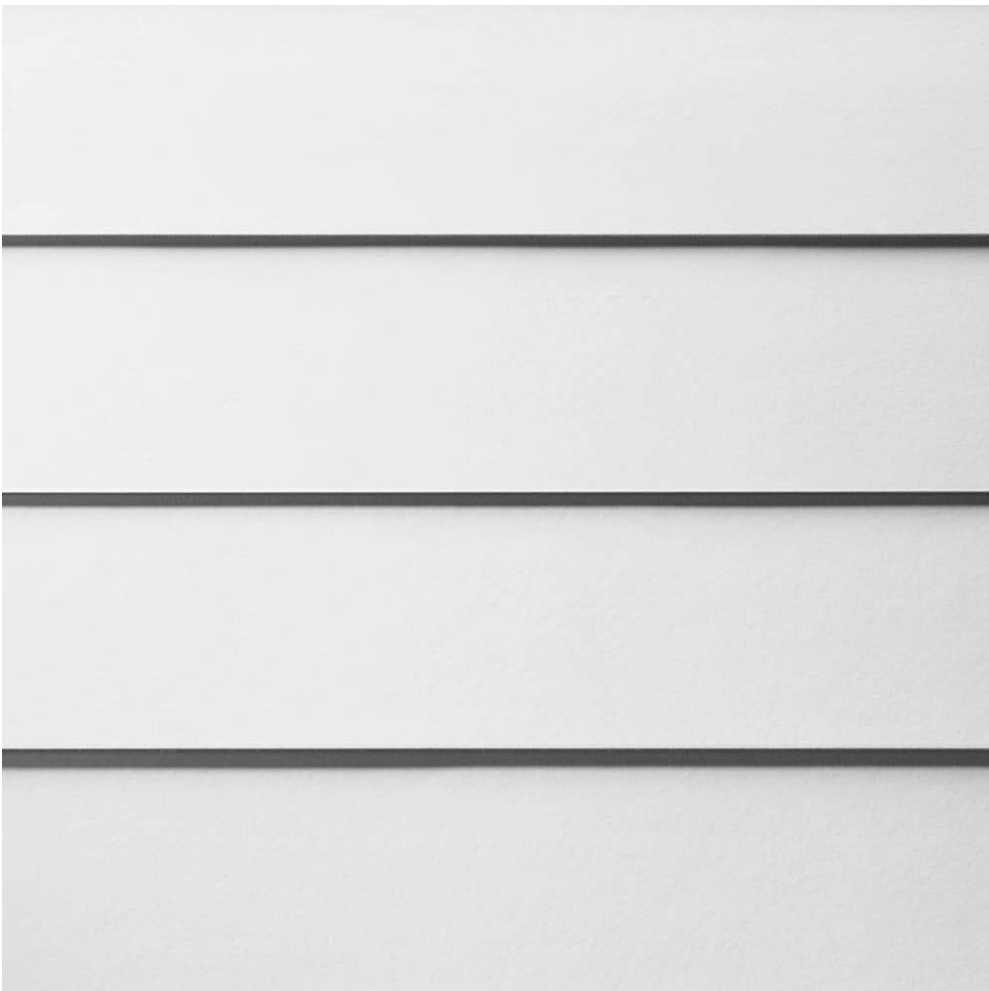
EXTERIOR ELEVATIONS

A-2.1



EXTERIOR MATERIALS

EXTERIOR SIDING: FC-1

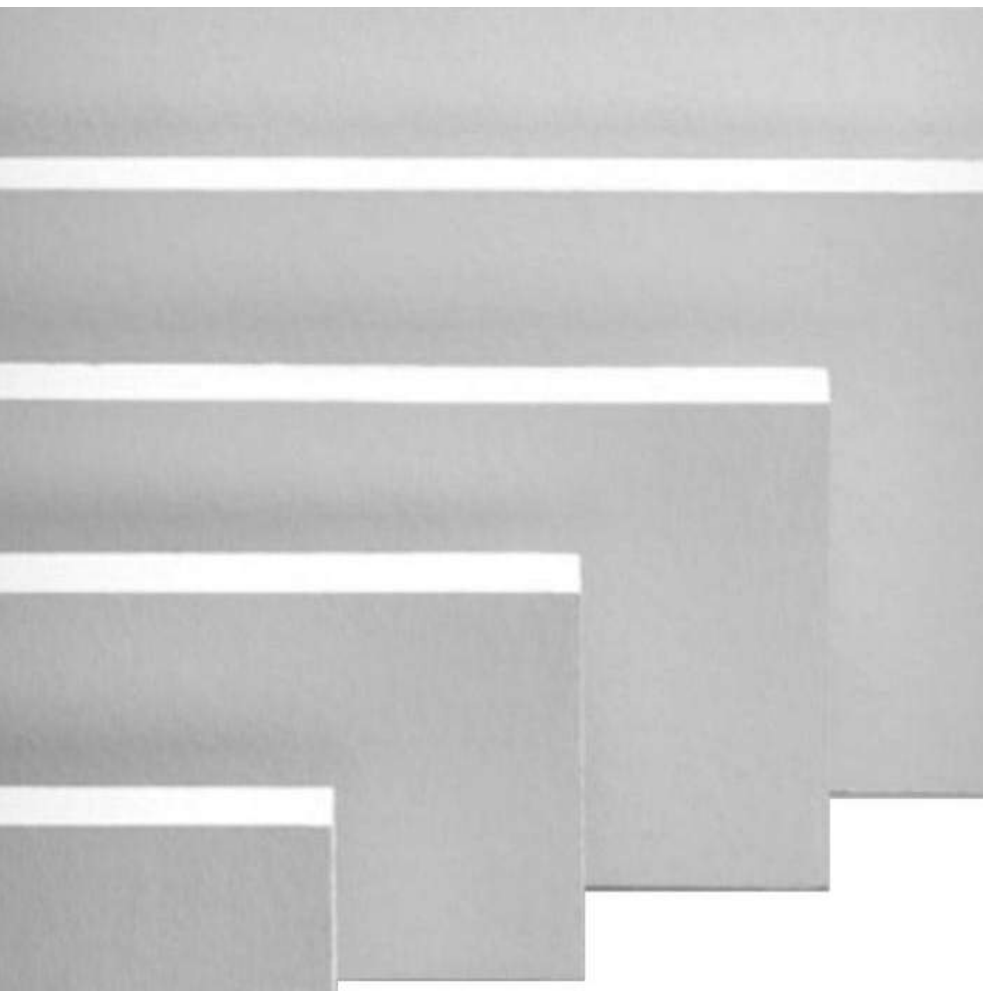


MANUFACTURER: JAMES HARDIE  
LAP SIDING (SMOOTH)  
6" EXPOSURE

FC-2



SHERWIN WILLIAMS  
SW6216 'JASPER GREEN'

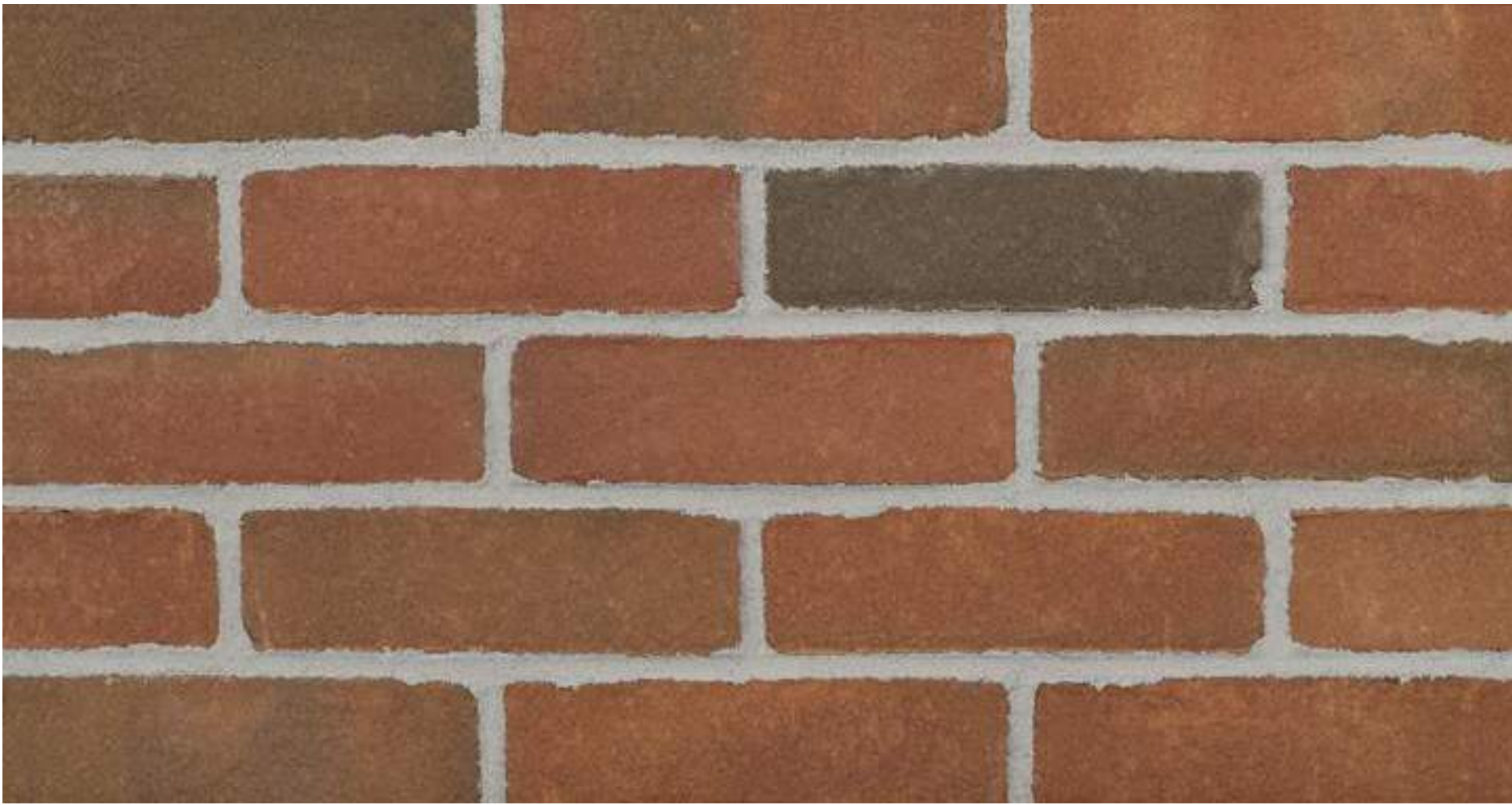


MANUFACTURER: JAMES HARDIE  
PANEL AND TRIM (SMOOTH)



SHERWIN WILLIAMS  
SW6216 'JASPER GREEN'

MASONRY: MA-1



GLEN GERY  
COLOR: CRAFTSMAN HOMETOWN SERIES - ALBANY  
MORTAR COLOR: ARGOS 'MAGNOLIA BUFF'  
BOND: FLEMISH BOND

CAST STONE CAP: ST-1



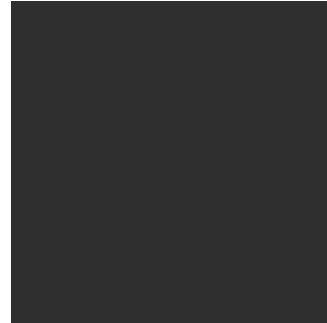
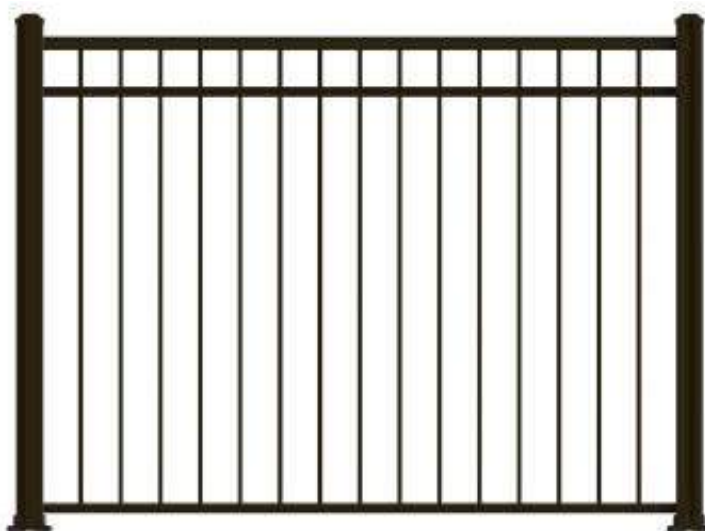
ROCKCAST ARCHITECTURAL CAST STONE  
COLOR: CHARLOTTE TAN

ASPHALT SHINGLE ROOF: AS-1



MANUFACTURER: GAF  
GRAND SLATLINE SHINGLES  
COLOR: ANTIQUE SLATE

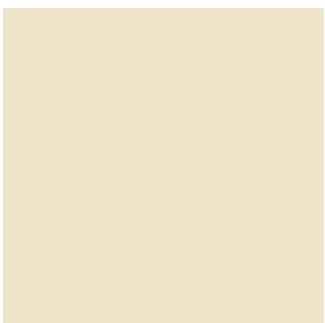
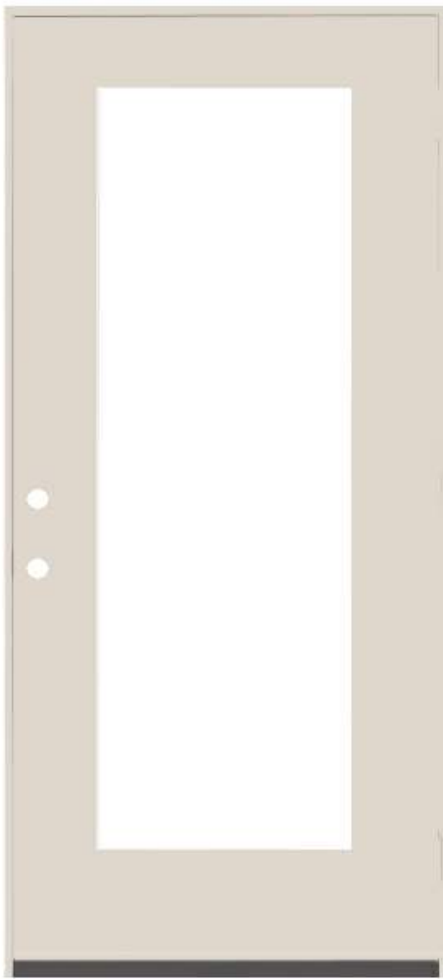
ALUMINUM RAILING PARKING LOT SIDE) : AL-1



'BLACK'

MANUFACTURER: TBD  
5'-0" TALL PREFINISHED ALUMINUM FENCING

EXTERIOR DOORS: D-1



SIERRA WHITE

MANUFACTURER: MARVIN  
SIGNATURE ALUMINUM CLAD WOOD DOOR  
(OR ACCEPTABLE ALTERNATE)

WINDOW TREATMENT



SIERRA WHITE

MANUFACTURER: MARVIN  
SIGNATURE SDL MUNTINS FOR ALUMINUM CLAD WOOD WINDOW  
AND DOORS  
(OR ACCEPTABLE ALTERNATE)

WINDOWS: W-1



SIERRA WHITE

MANUFACTURER: MARVIN  
SIGNATURE ULTIMATE DOUBLE HUNG G2 WITH SDL MUNTINS  
ALUMINUM CLAD WOOD WINDOW  
(OR ACCEPTABLE ALTERNATE)

GUTTERS & DOWNSPOUTS



MANUFACTURER: TBD  
COLOR: DARK BRONZE

LIGHTING: L-1



MANUFACTURER: PRIMO LANTERNS  
BREAUX BRIDGE 10" WIDE 2 LIGHT  
COLOR: COPPER

LIGHTING: L-2



MANUFACTURER: NEIHART  
RLM OUTDOOR LIGHT  
COLOR: HIGH RUSTIC BRONZE

GENERAL NOTES

1. THE COLORS AND MATERIALS, AS SHOWN IN THIS FINAL DEVELOPMENT PLAN, MAY BE ADJUSTED SLIGHTLY, BASED ON SUPPLY SHORTAGES OR DELAYS. HOWEVER, FINAL SELECTIONS WILL BE SUBSTANTIALLY SIMILAR TO THE DESIGN. INTENT SHOWN IN THIS FINAL DEVELOPMENT PLAN SUBMISSION. IF MODIFICATIONS ARE NECESSARY, DEVELOPMENT TEAM WILL WORK WITH DEVELOPMENT DEPARTMENT STAFF TO GAIN ADMINISTRATIVE APPROVAL FOR ANY SUCH MODIFICATIONS.
2. TENANT SIGNAGE SHALL BE SUBMITTED FOR REVIEW, APPROVAL, AND PERMIT ON A TENANT-BY-TENANT BASIS. THE DESIGN OF ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE APPROVED DEVELOPMENT TEXT AND CITY OF NEW ALBANY ZONING CODE. THESE ELEVATIONS SHOW THE GENERALLY INTENDED LOCATIONS FOR WALL-MOUNTED SIGNAGE TO COMPLIMENT BUILDING ARCHITECTURE. HOWEVER, THE LOCATIONS DEPICTED HEREIN SHALL NOT LIMIT THE ABILITY OF LANDLORD OR TENANTS TO INSTALL ADDITIONAL SIGNAGE, TO THE EXTENT ALLOWED BY CODE.
3. MECHANICAL ROOF WELLS HAVE BEEN DESIGNED WITH SUFFICIENT DEPTH TO FULLY SCREEN VIEW OF EQUIPMENT, FROM GRADE, IN ALL DIRECTIONS.

BALANCED FAMILY ACADEMY

NEW ALBANY - MAIN STREET & MILLER AVENUE

FOR  
YEAGER COMPANIES

1433 GRANDVIEW AVENUE, COLUMBUS, OHIO 43212

BEAN  
BLIN

CRISTO SMITH ARCHITECT  
4200 LICKINGPOND RD  
SUITE 200 COLUMBUS  
OHIO 43214  
TEL 614 262 5511  
FAX 614 262 2529

No. Date Description  
01.23.24 ZONING

DRAWING TITLE  
MATERIAL INDEX

DRAWING NUMBER

A-2.2

BEAN-Project Number





3D AERIAL VIEW LOOKING NORTHEAST - N.T.S.



3D VIEW LOOKING SOUTHEAST - N.T.S.





3D VIEW LOOKING SOUTHWEST - N.T.S.



3D VIEW LOOKING NORTHWEST- N.T.S.

BEAN

COLUMBUS, OHIO  
 614.262.5111  
 614.262.2525

BALANCED FAMILY ACADEMY

NEW ALBANY - MAIN STREET & MILLER AVENUE  
 FOR  
 YEAGER COMPANIES  
 1433 GRANDVIEW AVENUE, COLUMBUS, OHIO 43212

No.	Date	Description
01.23.24	ZONING	
DRAWING TITLE		
RENDERINGS		
DRAWING NUMBER		
A-3.2		
BEAN-Project Number		

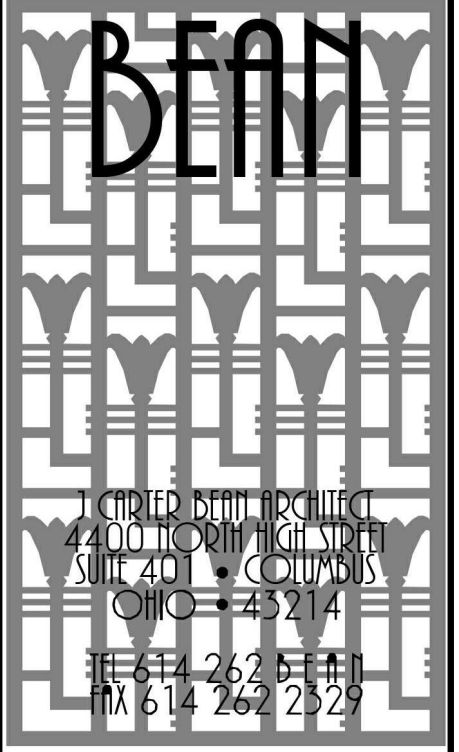




3D VIEW LOOKING NORTHWEST - N.T.S.



3D VIEW LOOKING NORTHEAST--N.T.S..



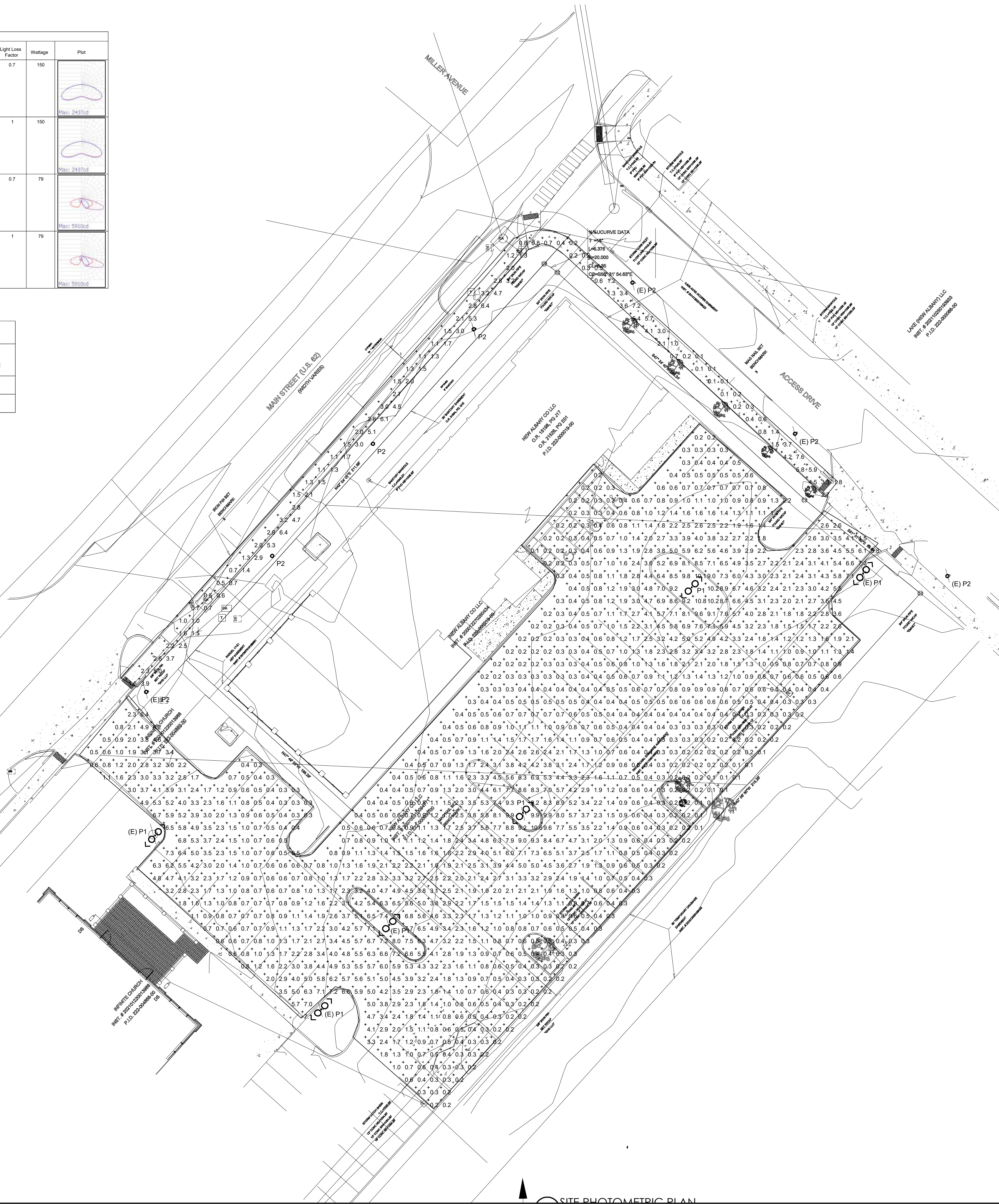
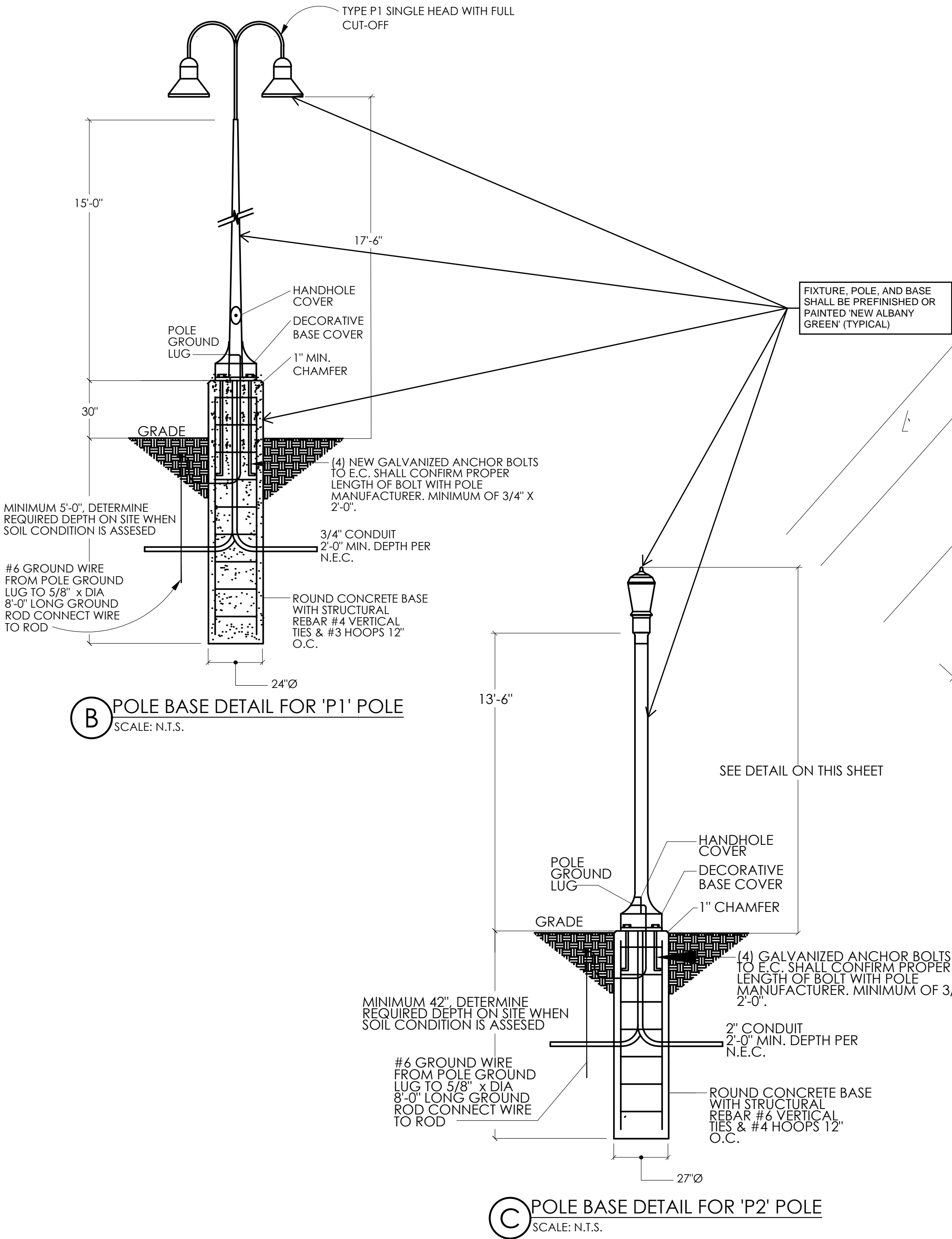
**BALANCED FAMILY ACADEMY**  
 NEW ALBANY - MAIN STREET & MILLER AVENUE  
 FOR  
**YEAGER COMPANIES**  
 1433 GRANDVIEW AVENUE, COLUMBUS, OHIO 43212

No.	Date	Description
01.23.24		ZONING
DRAWING TITLE		
RENDERINGS		
DRAWING NUMBER		
<b>A-3.3</b>		
BEAN-Project Number		



Schedule											
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	(E) P1		4	Holophane	GELF3 P40 40K XXXXX SYM	GlasWerks Luminescent LED Hallbrook Extended, P40 Performance Package, 4000K CCT, Symmetric distribution	1	9981	0.7	150	
	P1		2	Holophane	GELF3 P40 40K XXXXX SYM	GlasWerks Luminescent LED Hallbrook Extended, P40 Performance Package, 4000K CCT, Symmetric distribution	1	9981	1	150	
	(E) P2		4	SIGNIFY CANADA LTD	MPTC-80W48LED4K-G3-LE2	UrbanScape LED Post-Top (MPTC), 48 LED's, 4000K CCT, TYPE LE2 OPTIC, No Shield	1	8984	0.7	79	
	P2		3	SIGNIFY CANADA LTD	MPTC-80W48LED4K-G3-LE2	UrbanScape LED Post-Top (MPTC), 48 LED's, 4000K CCT, TYPE LE2 OPTIC, No Shield	1	8984	1	79	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	2.1 fc	10.9 fc	0.1 fc	109.0:1	21.0:1
Walkway	+	2.2 fc	7.6 fc	0.1 fc	76.0:1	22.0:1



BEAN

CHIEF ARCHITECT  
2200 JOURNAL CITY CENTER  
SUITE 400 COLUMBUS  
OHIO 43214  
TEL 614 262 5111  
FAX 614 262 2529

BALANCED FAMILY ACADEMY

NEW ALBANY - MAIN STREET & MILLER AVENUE

FOR

YEAGER COMPANIES

1433 GRANDVIEW AVENUE, COLUMBUS, OHIO 43212

No.	Date	Description
12.15.23		ZONING
DRAWING TITLE		
SITE		
PHOTOMETRIC PLAN		
DRAWING NUMBER		
SE-1.0		
BEAN Project Number		

02/12/2023 10:26:47 C:\Users\karn\Desktop\BEAN\NEW ALBANY\BEAN\BFA NEW ALBANY\CONCEPT 2023.11.21.dwg



Catalog Number	
Notes	Type

## GELF3

GlasWerks® Luminescent  
LED Hallbrook® Extended



### General Description

The architectural luminaire consists of a flat LED optical assembly shielded by a decorative formed housing and a top mounted cast aluminum electrical assembly. The optical assembly is seamlessly integrated into the form factor for beautiful daytime appearance and exceptionally uniform lighting at night.

### Optical Assembly

The optical assembly consists of an edgelit waveguide light engine for unmatched visual comfort. Light from the LED module is distributed by proprietary wave guide technology to maximize uniformity and minimize glare. Configurable with CCT options of 2700K, 3000K, and 4000K. CRI is 70 minimum. Available with asymmetric, symmetric, or pathway distributions.

### Mounting Style

Optional mounting styles include Quick Lock Stem, NPT threads, and horizontal arm.

Quick Lock Stem Mounting style is compatible with the following leveling fitters:

- Boston Harbor Decorative Arm Fitter (BHDF)
- GlasWerks Decorative Arm Fitter (GWDF)
- West Liberty Decorative Arm Fitter (WLDF)
- Ball Style Decorative Fitter (BADF)

### Electrical Assembly

The cast aluminum electrical housing has a smooth domed contour. A (3) station terminal block is provided to accept #14 through #2 size wire. The electrical housing is hinged with a tool-less latch to provide easy access to the gear assembly. The unitized electrical assembly, containing the electronic driver and other electrical components, plugs into the quick disconnect receptacle. The pendant mount version has a welded stem (Quick Lock Stem Mounting), which aides in installation speed. The arm mount version is provided with two U-bolts with washers and nuts and two leveling set screws that lock the housing to a 2 inch nominal (2-3/8" O.D.) horizontal arm and allow a  $\pm 5^\circ$  degree adjustment from horizontal to the cover.

### Electrical System

Programmable LED driver with 0-10V dimming. Optional DALI dimming. Driver life is rated to at least 100,000 hours. Luminaire surge protection rating of 20kV/10kA per ANSI/IEEE C62.41.2.

### Finish

The luminaire is finished with corrosion resistance super durable powder coat paint to ensure maximum durability. Finish is rated to 5,000 hours salt spray per ASTM B117.

### Listing

The luminaire is CSA certified to US and Canadian standards. IP55 rated electrical chamber, IP66 rated LED optic chamber. 20kV/10kA extreme surge protection per ANSI/IEEE C136.2. Suitable for operation in ambient temperatures from  $-40^\circ\text{C}$  to  $40^\circ\text{C}$ . DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/](http://www.designlights.org/) QPL to confirm which versions are qualified.

### Buy American Act

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

### Warranty

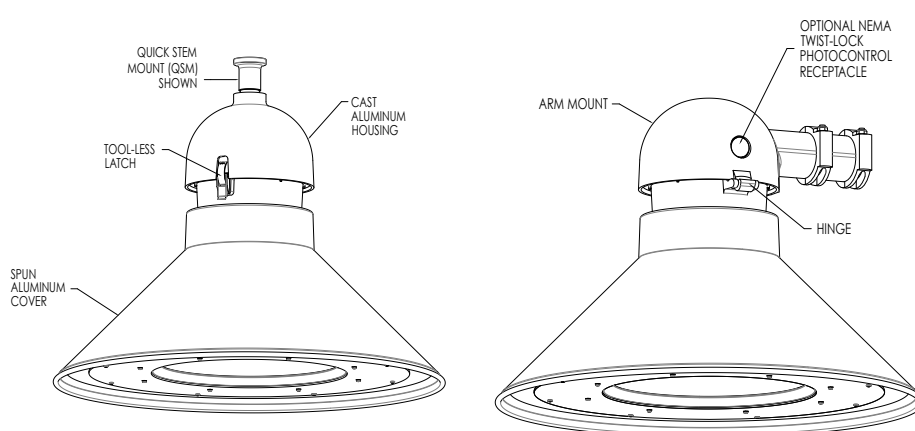
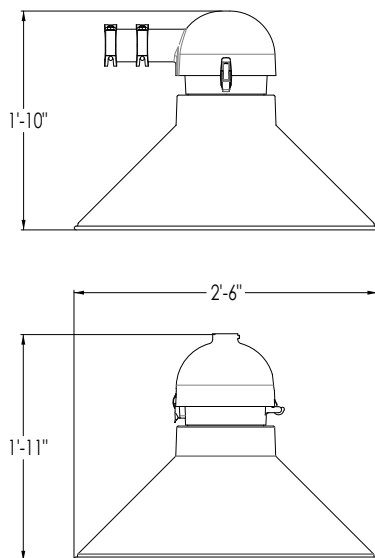
This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Limited warranty located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at  $25^\circ\text{C}$ .

Specifications subject to change without notice.

## DIMENSIONAL DATA



**ALL FIXTURES SHALL BE PREFINISHED  
IN 'NEW ALBANY GREEN'**

Maximum Weight - 51 lbs

Maximum Effective Projected Area - 1.2 ft<sup>2</sup>

# GELF3

GlasWerks® Luminescent LED Hallbrook® Extended

## ORDERING INFORMATION

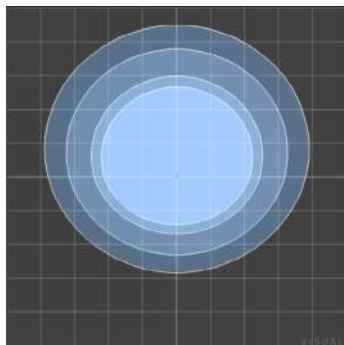
**Example:** GELF3 P30 40K MVOLT ASY QSM BK

Cover Type	LED Lumen Package	Color Temperature	Voltage	Optics	Mounting Style	Finish Color
GELF3 Hallbrook® Extended	P10 P10 Performance Package P20 P20 Performance Package P30 P30 Performance Package P40 P40 Performance Package P50 P50 Performance Package P60 P60 Performance Package P70 P70 Performance Package P80 P80 Performance Package	27K 2700K, 70 CRI 30K 3000K, 70 CRI 40K 4000K, 70 CRI	MVOLT 120-277V HVOLT 347-480V	ASY Asymmetric SYM Symmetric PTH Pathway	ARM Horizontal Arm Mount NPT 1.5" NPT Thread QSM Quick Stem Mount	BK Black BZ Bronze GH Graphite GN Green GR Gray WH White

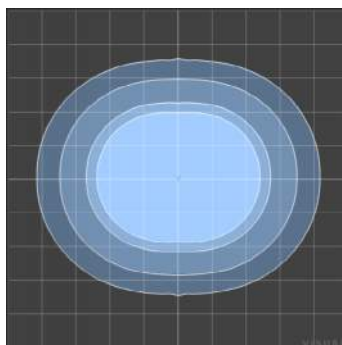
Options	
<b>Control Options:</b> PR7 7 pin NEMA photocontrol receptacle PR7E 7 pin NEMA photocontrol external P34 Solid state long life photocontrol (347V) P48 Solid state long life photocontrol (480V) PCLL DLL photocontrol SH Shorting cap A0 Adjustable Output Module DALI DALI dimming WG Wire guard (ships separately) HSS House side shield (ships separately)	<b>Prewire Lead Options:</b> L03 3ft prewire leads L10 10ft prewire leads L20 20ft prewire leads L25 25ft prewire leads L30 30ft prewire leads  <b>NEMA Label Options:</b> NL1X1 1" x 1" NEMA label NL3X3 3" x 3" NEMA label

Accessories: Order as separate catalog number.	
GBLF3HSS	House side shield
GBLF3WG	Wire guard

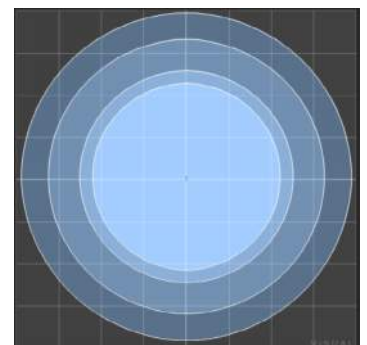
## OPTICAL DISTRIBUTIONS



ASY



PTH



SYM

**PERFORMANCE DATA**

## Lumen and Wattage Data

Lumen Package	System Wattage	Distribution	2700K, 70 CRI		3000K, 70 CRI		4000K, 70 CRI	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
P10	30	ASY	3,738	126	3,870	130	4,122	139
		SYM	3,860	130	3,995	134	4,256	143
		PTH	3,681	124	3,811	128	4,059	137
P20	51	ASY	6,143	121	6,359	125	6,774	134
		SYM	6,343	125	6,565	129	6,994	138
		PTH	6,049	119	6,262	123	6,671	132
P30	62	ASY	7,377	118	7,636	122	8,135	130
		SYM	7,617	122	7,884	126	8,399	135
		PTH	7,264	116	7,520	120	8,011	128
P40	75	ASY	8,767	116	9,075	121	9,668	128
		SYM	9,052	120	9,370	124	9,982	133
		PTH	8,633	115	8,937	119	9,520	126
P50	95	ASY	10,810	114	11,190	118	11,920	125
		SYM	11,161	117	11,553	121	12,308	129
		PTH	10,645	112	11,019	116	11,738	123
P60	118	ASY	12,781	108	13,230	112	14,094	119
		SYM	13,196	111	13,660	115	14,551	123
		PTH	12,586	106	13,028	110	13,878	117
P70	151	ASY	15,726	104	16,278	108	17,341	115
		SYM	16,236	108	16,807	111	17,904	119
		PTH	15,485	103	16,029	106	17,076	113
P80	173	ASY	17,544	101	18,161	105	19,346	112
		SYM	18,114	105	18,750	108	19,974	115
		PTH	17,276	100	17,883	103	19,050	110

**OPTIONS MATRIX**

		Lumen Package								Voltage		Receptacle		Photocontrol				Dimming Options	
		P10	P20	P30	P40	P50	P60	P70	P80	MVOLT	HVOLT	PR7	PR7E	PCLL	PCL3	PCL4	SH	AO	DALI
Lumen Package	P10		N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P20	N		N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P30	N	N		N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P40	N	N	N		N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P50	N	N	N	N		N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P60	N	N	N	N	N		N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P70	N	N	N	N	N	N		N	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P80	N	N	N	N	N	N	N		Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
Voltage	MVOLT	Y	Y	Y	Y	Y	Y	Y	Y		N	Y	Y	Y	N	N	Y	Y	RFD
	HVOLT	Y	Y	Y	Y	Y	Y	Y	Y	N		Y	Y	N	Y	Y	Y	Y	N
Receptacle	PR7	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	Y	Y	Y	Y	Y	RFD
	PR7E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N		Y	Y	Y	Y	Y	RFD
Photocontrol	PCLL	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y		N	N	N	Y	RFD
	PCL3	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	N		N	N	Y	RFD
	PCL4	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	N	N		N	Y	RFD
	SH	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N	N		Y	RFD
Dimming Options	AO	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		N
	DALI	RFD*	RFD*	RFD*	RFD*	RFD	RFD	RFD	RFD	RFD	N	RFD	RFD	RFD	RFD	RFD	RFD	N	

Y = combination is available

N = combination is not available

RFD = consult factory, additional information required

RFD\* = consult factory, additional information required, not CSA certified

## GELF3

GlasWerks® Luminescent LED Hallbrook® Extended

LED Lumen Maintenance					
25,000 hours	36,000 hours	50,000 hours	60,000 hours	75,000 hours	100,000 hours
98%	96%	94%	93%	91%	88%

Lumen maintenance calculated according to TM-21 at 25°C ambient. Italicized values are extrapolated beyond the standard.

Adjustable Output (AO) Response		
AO Setting	% Lumen Output	% Wattage
8	100%	100%
7	94%	94%
6	82%	81%
5	70%	68%
4	58%	56%
3	46%	43%
2	33%	31%
1	21%	19%

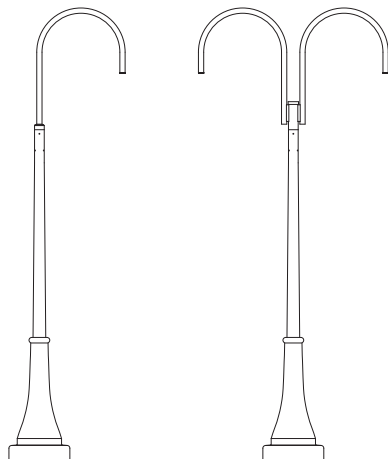
Luminaire Ambient Temperature Factor	
Ambient Temperature	Relative Lumen Output
0°C	1.03
15°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
35°C	0.99
40°C	0.98



Catalog Number	
Notes	Type

## HLBK

### Hallbrook Series Aluminum Pole Assembly



**ALL POLES SHALL BE  
PREFINISHED IN 'NEW ALBANY  
GREEN'**

## SPECIFICATIONS

### General Description

This contemporary European style lighting post shall be aluminum construction, with a one piece spun shaft, and a single bishops crook mounting bracket, and a slender sweeping decorative clamshell base.

### Materials

- The Post shaft shall be 6063 aluminum alloy, .188 wall thickness, heat treated to a T6 condition after welding.
- The anchor base shall be A356 cast aluminum alloy, heat treated to a T6 condition after welding.
- The base plate telescopes the shaft and is circumferentially welded top and bottom.
- The anchor bolts are hot dipped galvanized.
- The clamshell base is sand cast of A356 copper free aluminum alloy.

### Dimensions

- The pole shall be X'-XX" in height with a 9.25" square base plate.
- The decorative clamshell base is 22" in diameter and 45" tall.
- The shaft shall have a top diameter of 3.5".
- The bishops crook bracket arm shall rise 44" above the pole top and form a 30" diameter arc from the center of the vertical portion of the arm to the luminaire mount centerline.
- The luminaire mounting end of the bracket arm shall be approximately 21" above the top of the post.

### Mounting Style

The bracket arms are 1-1/2" schedule 80 pipe with optional Quick Lock Stem or 1.5NPT integrated into the end of the arm.

### Wiring Access

- The post is provided with a 3" by 5" nominal hand hole and cover. A 3/8-16UNC tapped hole inside the shaft at the hand hole is provided for grounding.

### Finish

- Rigorous multi-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 5,000 hours exposure to salt

fog chamber (operated per ASTM B117) on standard and RAL finish options.

- RAL (RALxxxxSDCR) paint colors are Super Durable Corrosion Resistant, 80% gloss.

### Installation

- The post shall be provided with four 3/4" diameter by 15" long L-type anchor bolts to be installed on a 7.5 to 9.5" diameter bolt circle.

### Warranty

1-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

### IMPORTANT INSTALLATION NOTES:

- Do not** erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Acuity Brands Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Acuity Brands Lighting is not responsible for the foundation design.

**Note:** Actual performance may differ as a result of end-user environment and application.

Specifications subject to change without notice.

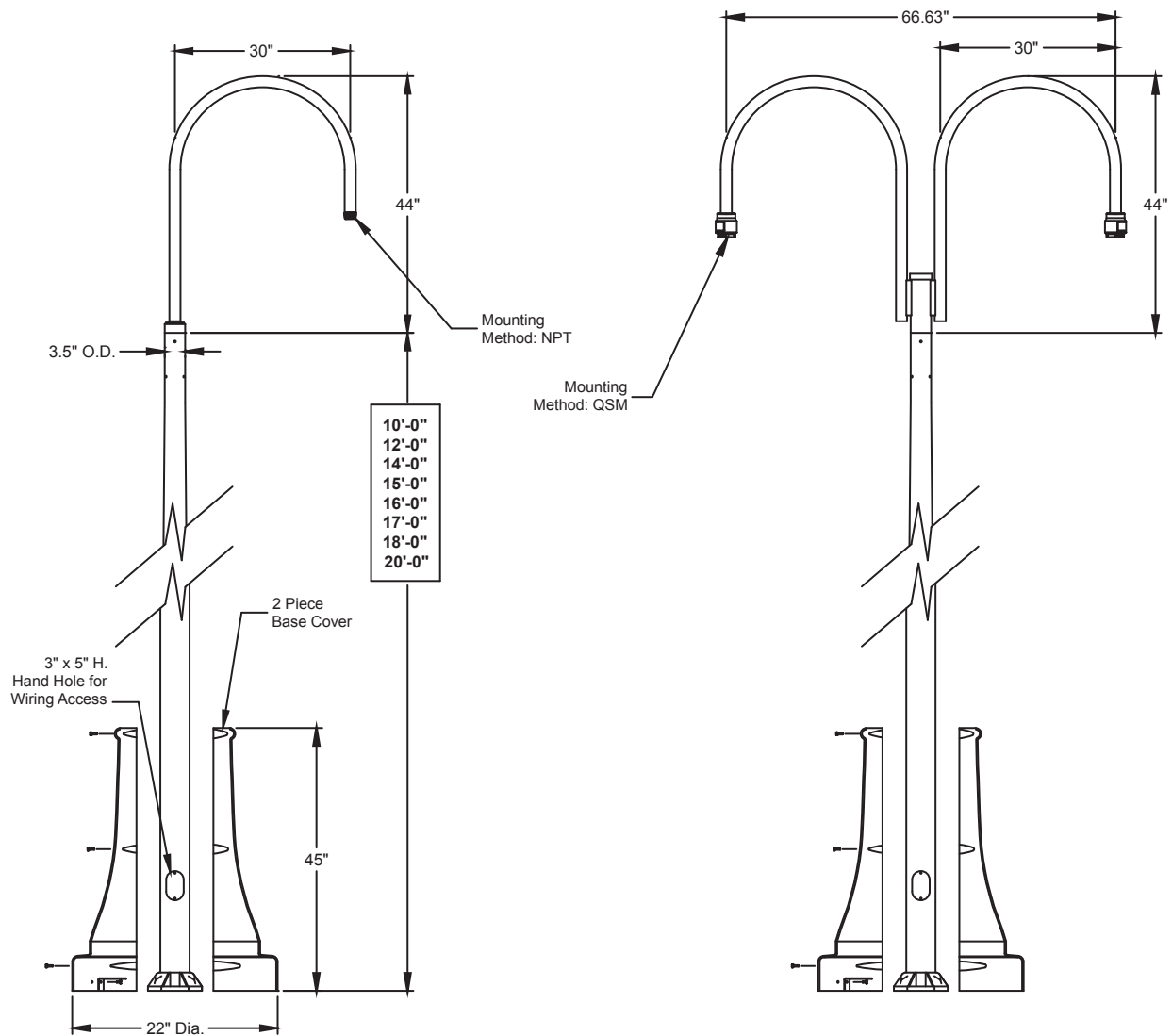
## ORDERING INFORMATION

**Example:** HL BK 12 ALN 1A QSM BK GWBA512BK

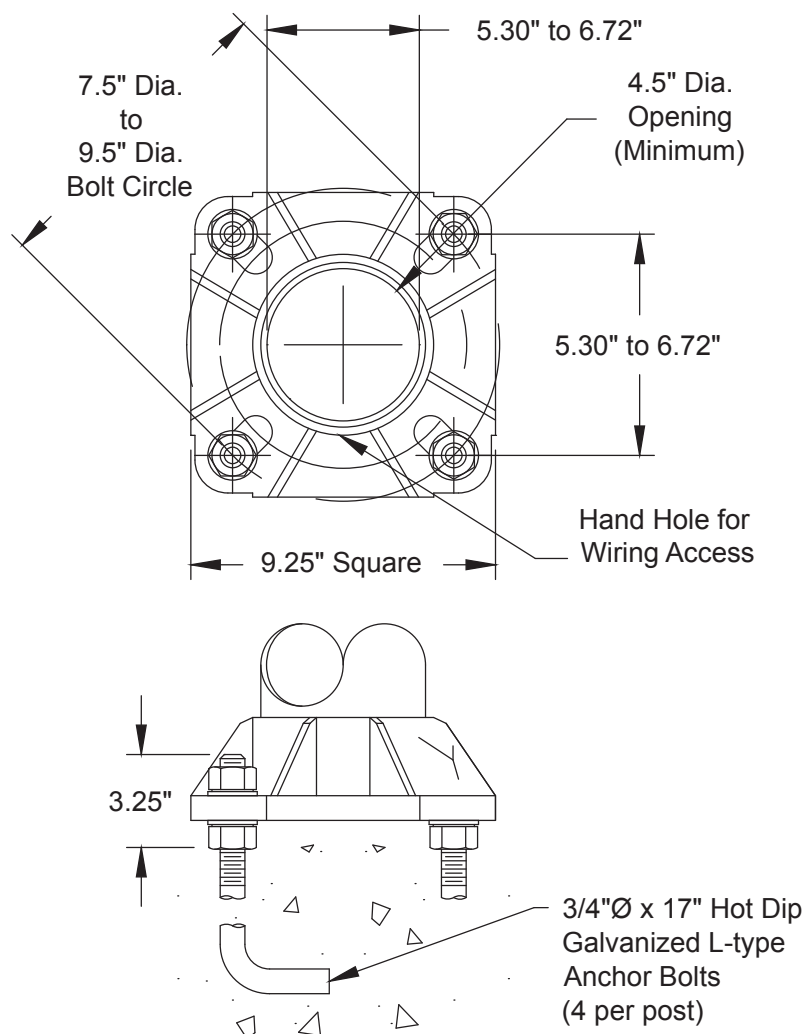
Series	Height	Material	Arm	Mounting Method	Finish
HLBK Hallbrook Pole Series	10 10'-0"	ALN Aluminum	1A Single Arm Assembly	NPT 1.5 NPT threaded pipe	BK Black
	12 12'-0"		2A Twim Arm Assembly	QSM Quick stem mount	BZ Bronze
	14 14'-0"				DB Dark Blue
	15 15'-0"				GH Graphite
	16 16'-0"				GN Green
	17 17'-0"				GR Gray
	18 18'-0"				PP Prime Painted
	20 20'-0"				SL Silver
					WH White
					CMC Customer matching color
					CTBS Standard color to be selected
					RALxxxxSDCR RAL Super Durable Corrosion Resistant, 80% Gloss Paint, replace xxxx with RAL number.

Accessories	
GWBA512 XX	Cast Alum Clamshell Decorative Base

## DIMENSIONAL DATA



**ALL POLES SHALL BE  
PREFINISHED IN 'NEW ALBANY  
GREEN'**

**ANCHORAGE GUIDE**

**ALL POLES SHALL BE  
PREFINISHED IN 'NEW ALBANY  
GREEN'**

# LUMEC

by  Signify

## Urban

### Contemporary Lantern

#### L80/L81 Post Top



L80



L81



Lumec LED **contemporary lantern** luminaires bring the lantern style of design into the 21st century. It offers unique lighting that is at once timeless and intimate. Whether in public places or pedestrian spaces, the LED **contemporary lantern** luminaires are able to accentuate traditional as well as modern architectural environments

Project: \_\_\_\_\_

Location: \_\_\_\_\_

Cat.No: \_\_\_\_\_

Type: \_\_\_\_\_

Lamps: \_\_\_\_\_ Qty: \_\_\_\_\_

Notes: \_\_\_\_\_

**ALL FIXTURES SHALL BE PREFINISHED  
IN 'NEW ALBANY GREEN'**

#### Luminaire ordering guide

Example: L80-35W32LED4K-G3-PC-CS-LE5-120-DMG-SFO-BKTX

Series	LED module	Generation	Globe material	Globe finish	Optical system	Ballast	Driver Options	Fitter	Luminaire option	Finish
<input type="text"/>	<input type="text"/>	<input type="text" value="G3"/>	<input type="text" value="PC"/>	<input type="text" value="CS"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
L80 L81	<b>3000K</b> 30W16LED3K <sup>2</sup> 35W32LED3K <sup>2</sup> 48W16LED3K <sup>2</sup> 55W32LED3K <sup>2</sup> 70W64LED3K <sup>2</sup> 72W32LED3K <sup>2</sup> 80W48LED3K <sup>2</sup>  <b>4000K</b> 30W16LED4K <sup>2</sup> 35W32LED4K <sup>2</sup> 48W16LED4K <sup>2</sup> 55W32LED4K <sup>2</sup> 70W64LED4K <sup>2</sup> 72W32LED4K <sup>2</sup> 80W48LED4K <sup>2</sup>	G3	PC	CS	LE2 LE3 LE4 LE5	120 208 240 277 347 480	AST <sup>2</sup> CDMG <sup>2</sup> CLO <sup>2</sup> DMG OTL <sup>2</sup> DALI <sup>2</sup> SRD <sup>2</sup> Sensor ready driver, standard configuration SRD1 <sup>2</sup> Sensor ready driver, alternate configuration	SF2 SF3 SF70 SF71 SF72 SF73 SF80 SFS	BO <sup>1</sup> FN1 FN2 FN3 FN5 FN6 FN7 FN8 FN9 FN10 HS <sup>3</sup> OVR <sup>4</sup> PH7 SP2 RCD7 <sup>4</sup> Receptacle 7-pin	BE2TX BE6TX BE8TX BG2TX BKTX BRTX GN4TX GN6TX GN8TX GNTX GR GY3TX NP RD2TX RD4TX TG TS WHTX

- BO is only available with L80.
- 347-480V not available.
- HS not available with LE5.
- CDMG Driver Options is required for OVR.
- The RCD7 is located on top of the fitter, inside the globe.

#### Motion Response\* (must be ordered as a separate line item) Example: ACC-120-MR4PGI-BKTX

Accessory	Voltage	Motion Response module	Finish
<input type="text" value="ACC"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
	120 120 volt 277 120 volt	MR4PG1 Single grey MR4PG2 Double grey MR4PW1 Single white MR4PW2 Double white	Consult Lumec's Color Chart for complete specifications.

\*OVR option is required for Motion Response Accessory

# L80-L81 Contemporary Lantern LED

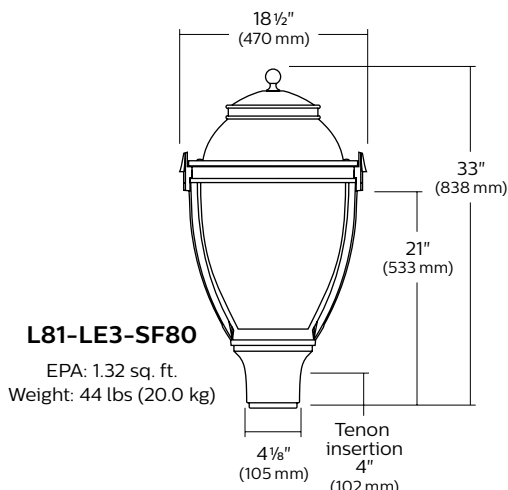
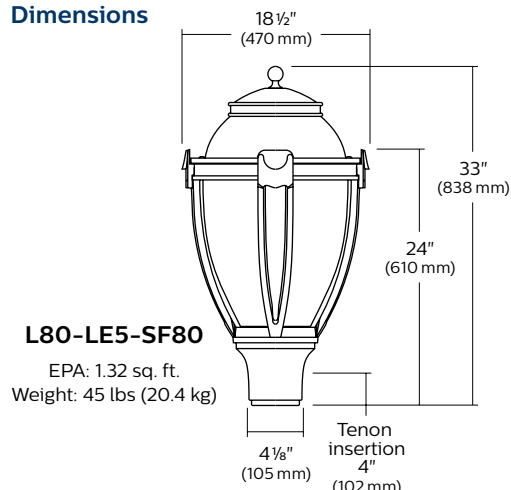
## Urban Luminaire

**ALL FIXTURES SHALL BE PREFINISHED  
IN 'NEW ALBANY GREEN'**

### Features

1. Constructed from top-quality materials, the Contemporary Lantern LED maintains excellent performance in even the most demanding environments.
2. Type LE2, LE3, LE4 and LE5 optic distributions are available to meet a range of lighting applications.
3. Polycarbonate globe has satin-finish to gently obscure the source without compromising photometry.
4. Tool free access to lamp and electrical components for ease of maintenance.
5. Unique styling merges traditional and contemporary design.

### Dimensions



### LED Wattage and Lumen Values: for L80

Ordering Code:	Total LEDs	LED current (mA)	Average System Wattage (W)	2			3			4			5		
				Lumen Output	Efficacy (LPW)	BUG Rating	Lumen Output	Efficacy (LPW)	BUG Rating	Lumen Output	Efficacy (LPW)	BUG Rating	Lumen Output	Efficacy (LPW)	BUG Rating
3000K															
L80-30W16LED3K-G3-x	16	700	37	3053	83	B1-U3-G1	3044	82	B1-U3-G1	3032	82	B1-U3-G1	3018	82	B2-U3-G1
L80-35W32LED3K-G3-x	32	350	36	3437	95	B1-U3-G1	3423	95	B1-U3-G1	3414	95	B1-U3-G1	3399	94	B2-U3-G1
L80-48W16LED3K-G3-x	16	1050	54	4206	78	B1-U3-G1	4192	78	B1-U3-G1	4177	77	B1-U3-G2	4158	77	B3-U3-G1
L80-55W32LED3K-G3-x	32	530	53	4997	94	B1-U3-G1	4980	94	B1-U3-G1	4963	94	B1-U3-G2	4940	93	B3-U3-G1
L80-70W64LED3K-G3-x	64	350	68	6753	99	B1-U3-G2	6734	99	B1-U3-G2	6709	99	B1-U3-G2	6677	98	B3-U3-G2
L80-72W32LED3K-G3-x	32	700	72	6248	87	B1-U3-G1	6228	87	B1-U3-G2	6207	86	B1-U3-G2	6178	86	B3-U3-G2
L80-80W48LED3K-G3-x	48	530	80	7280	91	B1-U3-G2	7268	91	B1-U3-G2	7233	90	B1-U3-G2	7199	90	B3-U3-G2
4000K															
L80-30W16LED4K-G3-x	16	700	37	3206	87	B1-U3-G1	3196	86	B1-U3-G1	3184	86	B1-U3-G1	3169	86	B2-U3-G1
L80-35W32LED4K-G3-x	32	350	36	3609	100	B1-U3-G1	3594	100	B1-U3-G1	3585	100	B1-U3-G1	3569	99	B3-U3-G1
L80-48W16LED4K-G3-x	16	1050	54	4416	82	B1-U3-G1	4402	82	B1-U3-G1	4386	81	B1-U3-G2	4366	81	B3-U3-G1
L80-55W32LED4K-G3-x	32	530	53	5247	99	B1-U3-G1	5229	99	B1-U3-G2	5211	98	B1-U3-G2	5187	98	B3-U3-G2
L80-70W64LED4K-G3-x	64	350	68	7091	104	B1-U3-G2	7071	104	B1-U3-G2	7044	104	B1-U3-G2	7011	103	B3-U3-G2
L80-72W32LED4K-G3-x	32	700	72	6560	91	B1-U3-G2	6539	91	B1-U3-G2	6517	91	B1-U3-G2	6487	90	B3-U3-G2
L80-80W48LED4K-G3-x	48	530	80	7644	96	B2-U3-G2	7631	95	B1-U3-G2	7595	95	B1-U3-G2	7559	94	B3-U3-G2

Actual performance may vary due to installation variables including optics, mounting/ceiling height, dirt depreciation, light loss factor, etc.; highly recommended to confirm performance with a layout - contact Applications at [outdoorlighting.applications@signify.com](mailto:outdoorlighting.applications@signify.com).

**Note:** Some data may be scaled based on tests on similar but not identical luminaires.

# L80-L81 Contemporary Lantern LED

## Urban Luminaire

ALL FIXTURES SHALL BE PREFINISHED  
IN 'NEW ALBANY GREEN'

### Specifications

#### Hood

A die cast A360.1 aluminum dome, mechanically assembled on the luminaire.

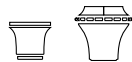
#### Globe (PC)

Made of one-piece seamless injected-molded satin clear polycarbonate. The globe is assembled on the access-mechanism.

**CS:** Satin clear polycarbonate.

#### Fitter

Made of cast aluminum 356 c/w 4 set screws 3/8-16 UNC. Fits on a 4" (102mm) outside diameter by 4" (102mm) long tenon.



SF80

SFS



SF70

SF72

SF73

#### Light engine

Light engine composed of 3 main components: LED / Optical System / Driver Electrical components are RoHS compliant.

#### Heat sink

Made of cast aluminum optimizing the LED's efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device).

#### LED module

Composed of high-performance white LEDs. Color temperature as per ANSI/NEMA bin Neutral White, 4000 Kelvin nominal (3985K +/- 275K or 3710K to 4260K) or Warm white, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical.

#### Optical system

**LE2** (type II asymmetrical), **LE3** (type III asymmetrical), **LE4** (type IV asymmetrical) or **LE5** (type V symmetrical) light distributions. Composed of high-performance optical grade PMMA acrylic refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Optical system is rated IP66. Performance shall be tested per LM-63, LM-79 and TM-15 (IESNA) certifying its photometric performance. Street side indicated.

#### Driver

Driver comes with dimming compatible 0-10 volts. High power factor of 95%. Electronic driver, operating range 50/60 Hz.

**120 to 277 or 347 to 480:** Auto-adjusting universal voltage input from 120 to 277 or 347 to 480 VAC rated for both application line to line or line to neutral, Class I, THD of 20% max. Maximum ambient operating temperature from -40° F (-40° C) to 130° F (55° C) degrees. Certified in compliance

to UL1310 cULus requirement. Dry and damp location. Assembled on a unitized removable tray with Tyco quick disconnect plug resisting to 221F(105C) degrees. The current supplying the LEDs will be reduced by the driver if the driver experiences internal overheating as a protection to the LEDs and the electrical components. Output is protected from short circuits, voltage overload and current overload. Automatic recovery after correction. Standard built-in driver surge protection of 2.5kV (min).

#### Surge protector

Surge protector tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/10kA waveforms for Line Ground, Line Neutral and Neutral Ground, and in accordance with U.S. DOE (Department of Energy) MSSLC (Municipal Solid State Street Lighting Consortium) model specification for LED Urban luminaires electrical immunity requirements for High Test Level 10kV / 10kA.

#### Driver options

**AST:** Pre-set driver for progressive start-up of the LED module(s) to optimize energy management and enhance visual comfort at start-up.

**CLO:** Pre-set driver to manage the lumen depreciation by adjusting the power given to the LEDs offering the same lighting intensity during the entire lifespan of the LED module.

**DMG:** Dimmable driver 0-10V.

**OTL:** Pre-set driver to signal end of life of the LED module(s) for better fixture management.

**CDMG:** Dynadimmer standard dimming functionalities including pre-programmed scenarios to suit many applications and needs from safety to maximum energy savings.

**DALI:** Pre-set driver compatible with DALI control system.

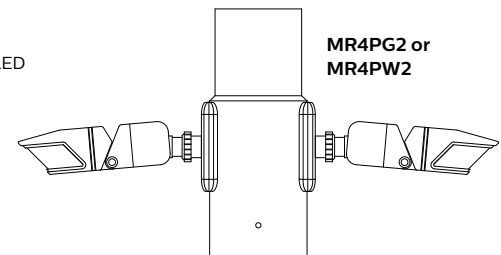
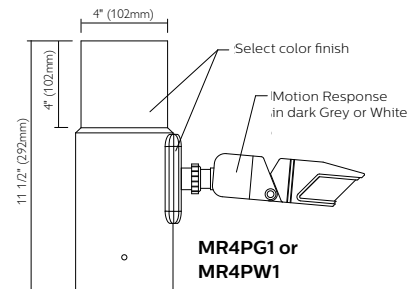
**SRD:** Sensor Ready Driver including SR communication (used for dimming and other functionalities), 24V auxiliary supply and a logical signal input (LSI) connected to the top NEMA twist lock receptacle.

**SRD1:** Sensor Ready Driver including SR communication (used for dimming and other functionalities) but with 24V auxiliary supply and a logical signal input (LSI) not connected to the top NEMA twist lock.

Order Code	Scenario	Dim. Time	Dim. Level
CDMGS25	Safety	4 hours	25% power
CDMGS50	Safety	4 hours	50% power
CDMGS75	Safety	4 hours	75% power
CDMGM25	Median	6 hours	25% power
CDMGM50	Median	6 hours	50% power
CDMGM75	Median	6 hours	75% power
CDMGE25	Economy	8 hours	25% power
CDMGE50	Economy	8 hours	50% power
CDMGE75	Economy	8 hours	75% power

### Luminaire accessories

**Motion Response:** Tenon mount motion response provides 270° coverage on an adjustable knuckle. The coverage equals to up to 6 times the sensor height. It is an option offered jointly with the Dynadimmer OVR option, that can bring the light up to 100% when the motion response is triggered. It is available in a single or double mounting option. Finish options for the motion response device are white or dark gray. Finish options for the tenon must be specified to match the luminaire and pole. The tenon mount is fully rotatable 360°. This option is available for a 4" OD x 4" long tenon. See instruction sheet for time setting functionality (12 second to 16 minute turn off options) and for mounting instructions.



### Luminaire options

**HS:** House side shield

**OVR:** Dynadimmer override function

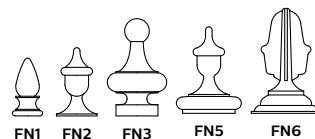
**PH7:** Photoelectric cell

**BO:** Bridge and overpass

**FN:** Decorative finial (see below)



RCD7  
Receptacle  
7-pins.



FN1

FN2

FN3

FN4

FN5

FN6



FN7

FN8

FN9

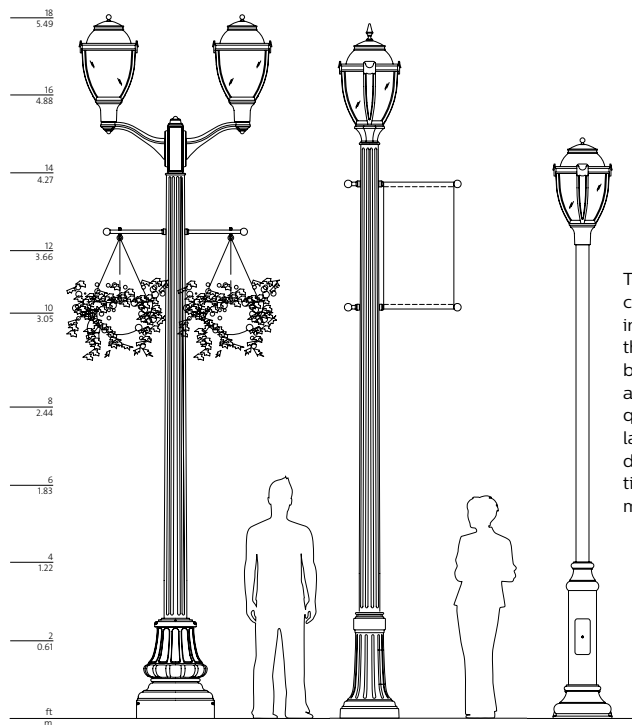
FN10

# L80-L81 Contemporary Lantern LED

## Urban Luminaire

### Specifications

ALL FIXTURES AND POLES SHALL BE  
PREFINISHED IN 'NEW ALBANY GREEN'



The ornamental crown projects confidence and drops down into pure sleek lines around the cage, providing a perfect balance of modern architecture and old world charm. Without question, the contemporary lantern luminaires offer a discerning quality that adds a timeless finishing touch to the most beautiful installations.

**L81-SF80**  
Pole: RTA607-PS  
Mounting: CRF-2

**L80-SF70-FN10**  
Pole: RTA906-BA  
Mounting: CRA-2

**L80-SF80**  
Pole: RA61

Consult [signify.com/outdoorluminaires](http://signify.com/outdoorluminaires) for details and the complete line of Signify poles and brackets.

### LED Performance

Predicted lumen depreciation data <sup>1</sup>				
Ambient Temperature (°C)	Driver mA	Calculated L <sub>70</sub> hours <sup>1,2</sup>	L <sub>70</sub> per TM-21 <sup>2,3</sup>	Lumen Maintenance % @ 60,000 hours
25°C	700 mA	>100,000	>60,000	85%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L<sub>70</sub> is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM21-11. Published L<sub>70</sub> hours limited to 6 times actual LED test hours.



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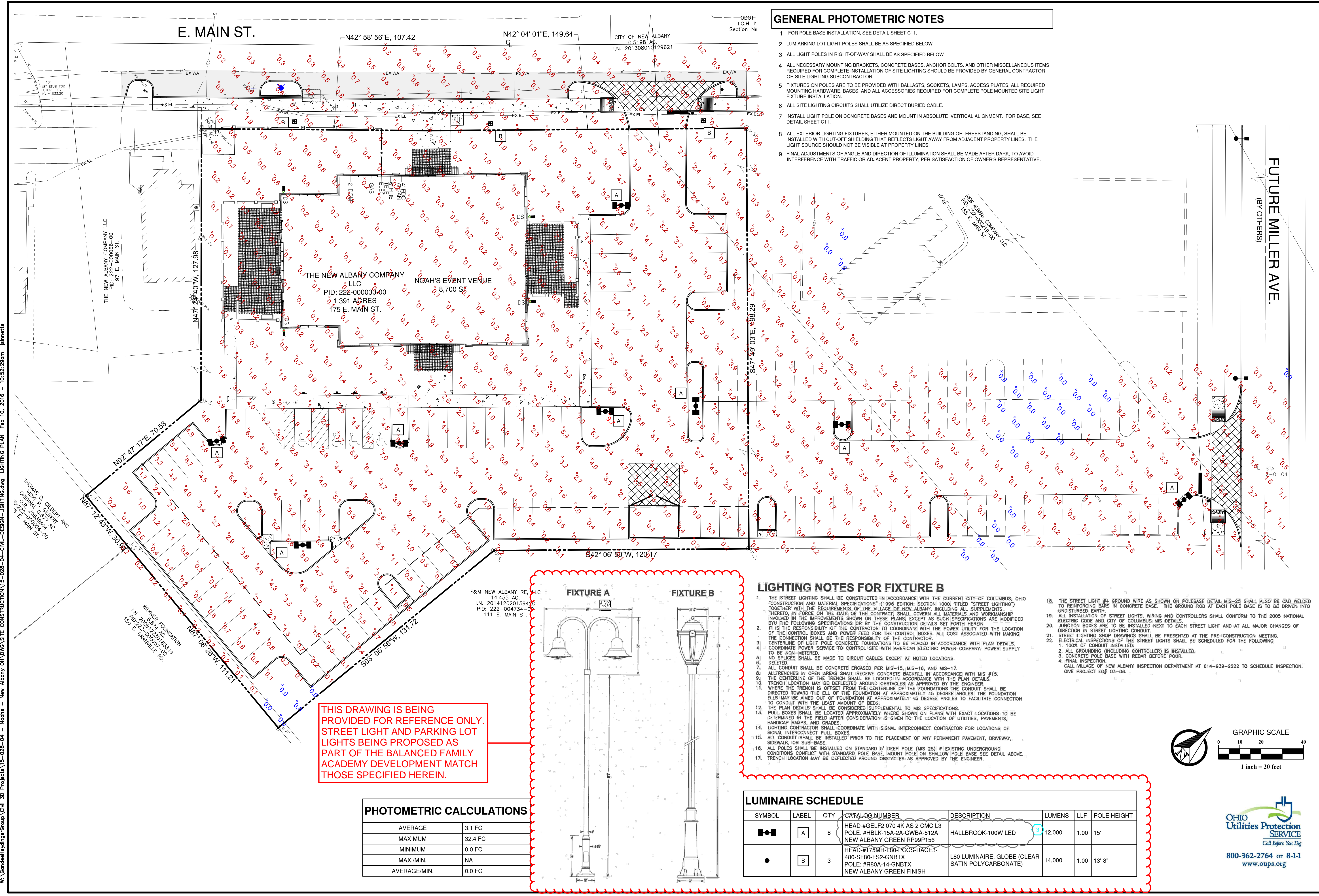
Signify North America Corporation  
200 Franklin Square Drive,  
Somerset, NJ 08873  
Telephone 855-486-2216

Signify Canada Ltd.  
281 Hillmount Road,  
Markham, ON, Canada L6C 2S3  
Telephone 800-668-9008

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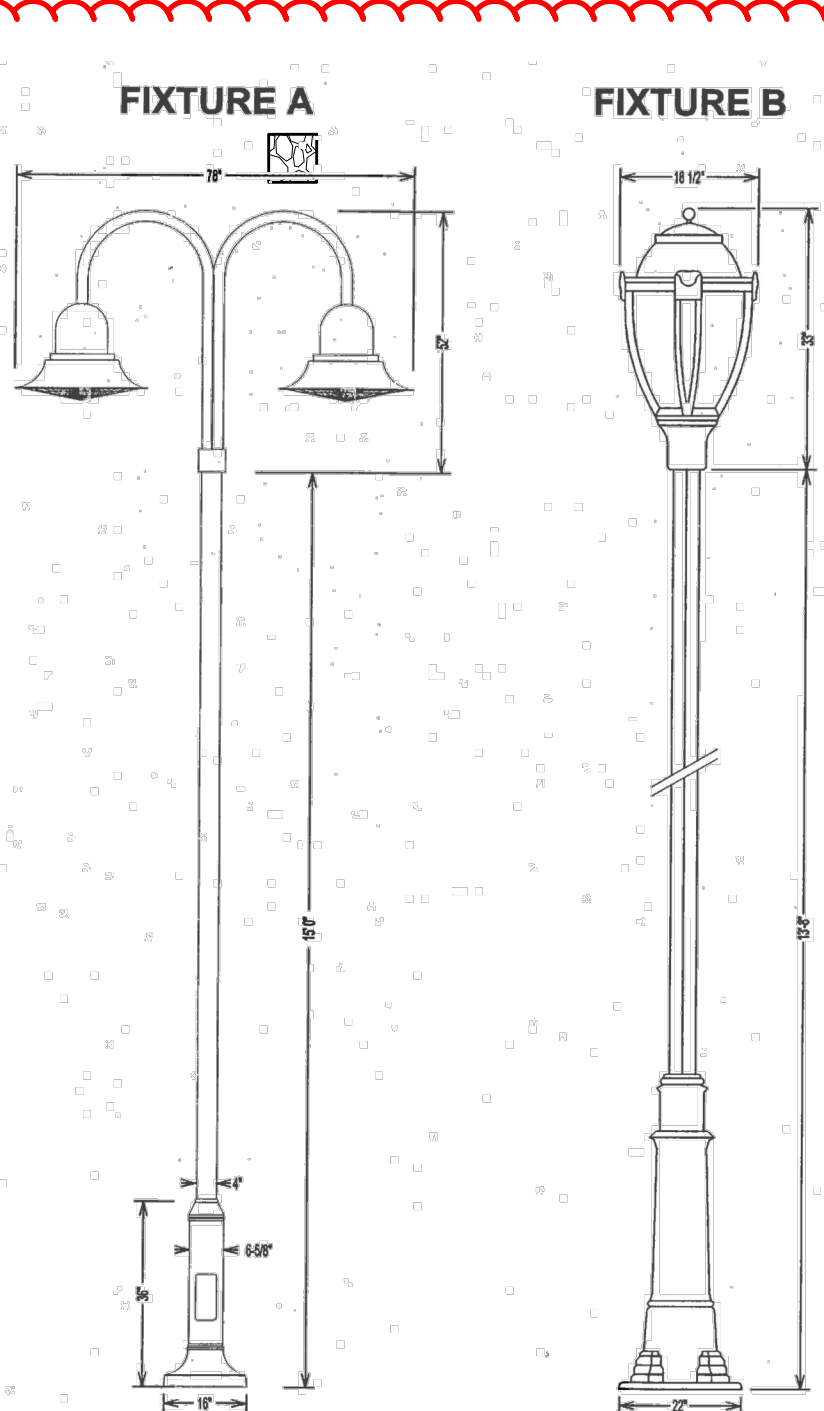


W:\GandeeHeydingerGroup\Civil 3D Projects\15-028-04 - Noahs - New Albany OH\DWG\SITE CONSTRUCTION\15-028-04-CIVIL-DESIGN-LIGHTING.dwg LIGHTING PLAN Feb 10, 2016 - 10:52:29am jmmette



THIS DRAWING IS BEING PROVIDED FOR REFERENCE ONLY. STREET LIGHT AND PARKING LOT LIGHTS BEING PROPOSED AS PART OF THE BALANCED FAMILY ACADEMY DEVELOPMENT MATCH THOSE SPECIFIED HEREIN.

PHOTOMETRIC CALCULATIONS	
AVERAGE	3.1 FC
MAXIMUM	32.4 FC
MINIMUM	0.0 FC
MAX./MIN.	NA
AVERAGE/MIN.	0.0 FC



GENERAL PHOTOMETRIC NOTES

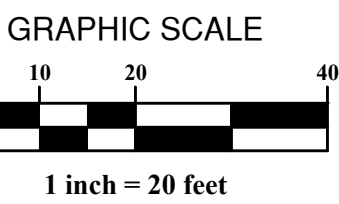
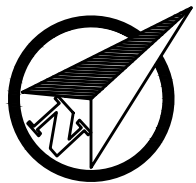
1. FOR POLE BASE INSTALLATION, SEE DETAIL SHEET C11.
2. LUMINAIRING LOT LIGHT POLES SHALL BE AS SPECIFIED BELOW
3. ALL LIGHT POLES IN RIGHT-OF-WAY SHALL BE AS SPECIFIED BELOW
4. ALL NECESSARY MOUNTING BRACKETS, CONCRETE BASES, ANCHOR BOLTS, AND OTHER MISCELLANEOUS ITEMS REQUIRED FOR COMPLETE INSTALLATION OF SITE LIGHTING SHOULD BE PROVIDED BY GENERAL CONTRACTOR OR SITE LIGHTING SUBCONTRACTOR.
5. FIXTURES ON POLES ARE TO BE PROVIDED WITH BALLASTS, SOCKETS, LAMPS, ACCESS PLATES, ALL REQUIRED MOUNTING HARDWARE, BASES, AND ALL ACCESSORIES REQUIRED FOR COMPLETE POLE MOUNTED SITE LIGHT FIXTURE INSTALLATION.
6. ALL SITE LIGHTING CIRCUITS SHALL UTILIZE DIRECT BURIED CABLE.
7. INSTALL LIGHT POLE ON CONCRETE BASES AND MOUNT IN ABSOLUTE VERTICAL ALIGNMENT. FOR BASE, SEE DETAIL SHEET C11.
8. ALL EXTERIOR LIGHTING FIXTURES, EITHER MOUNTED ON THE BUILDING OR FREESTANDING, SHALL BE INSTALLED WITH CUT-OFF SHIELDING THAT REFLECTS LIGHT AWAY FROM ADJACENT PROPERTY LINES. THE LIGHT SOURCE SHOULD NOT BE VISIBLE AT PROPERTY LINES.
9. FINAL ADJUSTMENTS OF ANGLE AND DIRECTION OF ILLUMINATION SHALL BE MADE AFTER DARK, TO AVOID INTERFERENCE WITH TRAFFIC OR ADJACENT PROPERTY, PER SATISFACTION OF OWNER'S REPRESENTATIVE.

LIGHTING NOTES FOR FIXTURE B

1. THE STREET LIGHTING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF COLUMBUS, OHIO "CONSTRUCTION AND MATERIAL SPECIFICATIONS" (1998 EDITION, SECTION 100, TITLED "STREET LIGHTING") TOGETHER WITH THE REQUIREMENTS OF THE VILLAGE OF NEW ALBANY, INCLUDING ALL SUPPLEMENTS THERETO, IN FORCE ON THE DATE OF THE CONTRACT, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT AS SUCH SPECIFICATIONS ARE MODIFIED BY THE FOLLOWING SPECIFICATIONS OR BY THE CONSTRUCTION DETAILS SET FORTH HEREIN.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE POWER UTILITY FOR THE LOCATION OF THE CONTROL BOXES AND POWER FEED FOR THE CONTROL BOXES. ALL COST ASSOCIATED WITH MAKING THE CONNECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. CENTERLINE OF LIGHT POLE CONCRETE FOUNDATIONS TO BE PLACED IN ACCORDANCE WITH PLAN DETAILS.
4. COORDINATE POWER SERVICE TO CONTROL SITE WITH AMERICAN ELECTRIC POWER COMPANY. POWER SUPPLY TO BE NON-METERED.
5. NO SPLICES SHALL BE MADE TO CIRCUIT CABLES EXCEPT AT NOTED LOCATIONS.
6. DELETED.
7. ALL CONDUIT SHALL BE CONCRETE ENCASED PER MIS-15, MIS-16, AND MIS-17.
8. ALL TRENCHES IN OPEN AREAS SHALL RECEIVE CONCRETE BACKFILL IN ACCORDANCE WITH MIS #15.
9. THE CENTERLINE OF THE TRENCH SHALL BE LOCATED IN ACCORDANCE WITH THE PLAN DETAILS.
10. TRENCH LOCATION MAY BE DEFLECTED AROUND OBSTACLES AS APPROVED BY THE ENGINEER.
11. WHERE THE TRENCH IS OFFSET FROM THE CENTERLINE OF THE FOUNDATIONS THE CONDUIT SHALL BE DIRECTED TOWARD THE ELL OF THE FOUNDATION AT APPROXIMATELY 45 DEGREE ANGLES. THE FOUNDATION ELLS MAY BE AIMED OUT OF FOUNDATION AT APPROXIMATELY 45 DEGREE ANGLES TO FACILITATE CONNECTION TO CONDUIT WITH THE LEAST AMOUNT OF BENDS.
12. THE PLAN DETAILS SHALL BE CONSIDERED SUPPLEMENTAL TO MIS SPECIFICATIONS.
13. PULL BOXES SHALL BE LOCATED APPROXIMATELY WHERE SHOWN ON PLANS WITH EXACT LOCATIONS TO BE DETERMINED IN THE FIELD AFTER CONSIDERATION IS GIVEN TO THE LOCATION OF UTILITIES, PAVEMENTS, HANDICAP RAMPS, AND GRADES.
14. LIGHTING CONTRACTOR SHALL COORDINATE WITH SIGNAL INTERCONNECT CONTRACTOR FOR LOCATIONS OF SIGNAL INTERCONNECT PULL BOXES.
15. ALL CONDUIT SHALL BE INSTALLED PRIOR TO THE PLACEMENT OF ANY PERMANENT PAVEMENT, DRIVEWAY, SIDEWALK, OR SUB-BASE.
16. ALL POLES SHALL BE INSTALLED ON STANDARD 5' DEEP POLE (MIS 25) IF EXISTING UNDERGROUND CONDITIONS CONFLICT WITH STANDARD POLE BASE, MOUNT POLE ON SHALLOW POLE BASE SEE DETAIL ABOVE.
17. TRENCH LOCATION MAY BE DEFLECTED AROUND OBSTACLES AS APPROVED BY THE ENGINEER.
18. THE STREET LIGHT #4 GROUND WIRE AS SHOWN ON POLEBASE DETAIL MIS-25 SHALL ALSO BE CAD WELDED TO REINFORCING BARS IN CONCRETE BASE. THE GROUND ROD AT EACH POLE BASE IS TO BE DRIVEN INTO UNDISTURBED EARTH.
19. ALL INSTALLATION OF STREET LIGHTS, WIRING AND CONTROLLERS SHALL CONFORM TO THE 2005 NATIONAL ELECTRIC CODE AND CITY OF COLUMBUS MIS DETAILS.
20. JUNCTION BOXES ARE TO BE INSTALLED NEXT TO EACH STREET LIGHT AND AT ALL MAJOR CHANGES OF DIRECTION IN STREET LIGHTING CONDUIT.
21. STREET LIGHTING SHOP DRAWINGS SHALL BE PRESENTED AT THE PRE-CONSTRUCTION MEETING. ELECTRICAL INSPECTIONS OF THE STREET LIGHTS SHALL BE SCHEDULED FOR THE FOLLOWING:
  1. 100% OF CONDUIT INSTALLED.
  2. ALL GROUNDING (INCLUDING CONTROLLER) IS INSTALLED.
  3. CONCRETE POLE BASE WITH REBAR BEFORE FOUR.
  4. FINAL INSPECTION.
22. CALL VILLAGE OF NEW ALBANY INSPECTION DEPARTMENT AT 614-939-2222 TO SCHEDULE INSPECTION. GIVE PROJECT EG# 03-06.

LUMINAIRE SCHEDULE

SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	LUMENS	LLF	POLE HEIGHT
	A	8	HEAD-#GELF2 070 4K AS 2 CMC L3 POLE: #HBLK-15A-2A-GWBA-512A NEW ALBANY GREEN RP99P156	HALLBROOK-100W LED	12,000	1.00	15'
	B	3	HEAD-#175MH-L80-PCCS-RACE3- 480-SF80-FS2-GNBTX POLE: #R80A-14-GNBTX NEW ALBANY GREEN FINISH	L80 LUMINAIRE, GLOBE (CLEAR SATIN POLYCARBONATE)	14,000	1.00	13'-8"



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800-362-2764 or 8-1-1  
www.oups.org

PLAN PREPARED FOR:

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO  
CIVIL DESIGN PLANS  
FOR  
NOAH'S EVENT VENUE  
LIGHTING PLAN



PLAN PREPARED BY:

GHG  
Gandee Heydinger Group  
CIVIL ENGINEERING AND ENERGY SERVICES

642 Brookside Blvd  
Westerville, OH 43081  
P: 614.942.6042  
F: 614.942.6041

NO.	DATE	DESCRIPTION
#3	2-10-2016	REVISED MAIN ST PARKING / STORM

Date: 10/29/15  
Scale: 1" = 20'

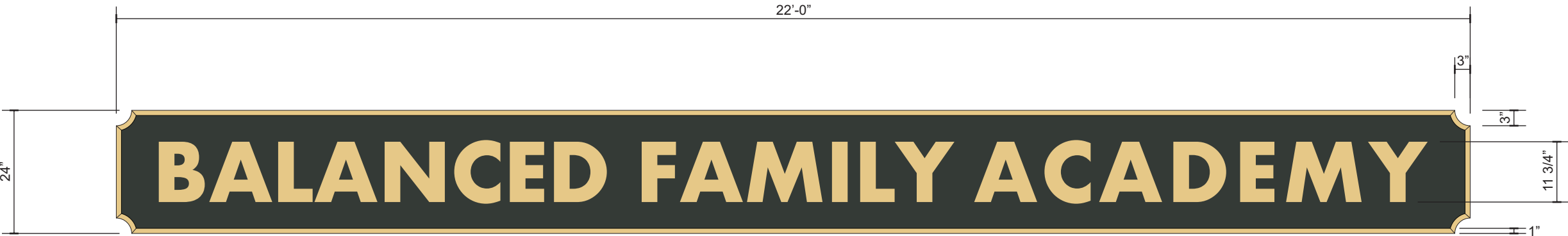
Drawn By: RLC  
Checked By: JES

Project Number:  
15-028-04

Drawing Number:  
C10





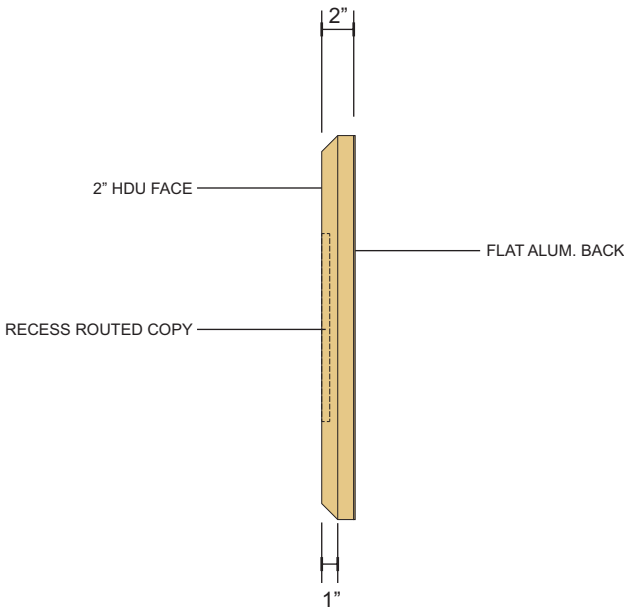


SCALE 1/2" = 1' - 44.00 SQ FT

SIGN A - SF Non-Illuminated Wall Mounted Sign

(1) REQUIRED  
PANEL IS CUT TO SHAPE 2" THICK HDU (HIGH DENSITY URETHANE) MOUNTED TO FLAT MATCHING SHAPE ALUMINUM BACK - ROUTED BORDER EDGE - COPY AS SHOWN IS RECESS ROUTED 3/8" - 1/2" DEEP  
PRIMED AND PAINTED - RECESSED COPY PAINT FILLED  
1/4" DIAMETER X 3.5"+/- LONG CORROSION-RESISTANT THREADED STUDS ARE TAPPED INTO BACK OF PANEL  
PANEL MOUNTED TO BRICK FASCIA - STUDS ARE SET INTO SILICONE ADHESIVE FILLED BORES IN WALL  
**NOTE: SIGN IS EXTERNALLY ILLUMINATED USING GOOSENECK FIXTURES BY OTHERS**

**COLORS**  
FACE - MATCH SHERWIN WILLIAMS SW 6216 JASPER  
BORDER/EDGES/COPY - MATTHEWS MP 46400SP BRILLIANT GOLD



SCALE 1" = 1' - END VIEW

CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION

14'-11" +/-

8 1/2"

# BALANCED FAMILY ACADEMY

SCALE 3/4" = 1' - 10.56 SQ FT

## SIGN B - Halo-Illuminated Channel Letters

(1) SET REQUIRED

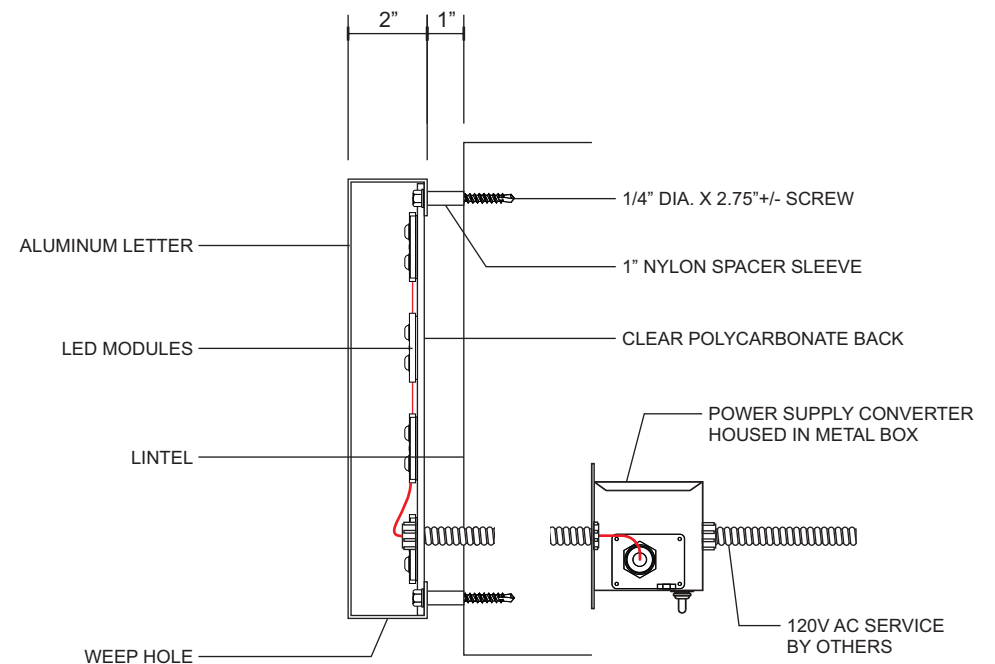
INDIVIDUAL LETTERS ARE FORMED ALUMINUM - FACES WITH 2" DEEP RETURNS  
PRIMED AND PAINTED

LETTERS ARE HALO-ILLUMINATED USING HIGH OUTPUT WHITE LED MODULES  
MOUNTED TO .187 CLEAR POLYCARBONATE BACKS WIRED TO REMOTE UL LISTED  
#E153594 POWER SUPPLY CONVERTERS HOUSED IN METAL BOXES WITH  
DISCONNECT SWITCH PLACED IN ACCESSIBLE AREA BEHIND WALL CONNECTED TO  
120V AC SERVICE RUN TO LOCATION BY OTHERS

LETTERS ARE MOUNTED TO LINTEL ABOVE DOORS USING 1/4" DIAMETER X 2.75" +/-  
LONG CORROSION-RESISTANT SCREWS WITH 1" NYLON STANDOFF SLEEVES SET  
INTO SILICONE ADHESIVE FILLED BORES

### COLOR

LETTERS - MATTHEWS MP 46400SP BRILLIANT GOLD



NOT TO SCALE - SECTION THRU DETAIL

CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION

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CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

☐ PRODUCTION  
ART REQUIRED  
Colors on Printed Documents  
May Vary

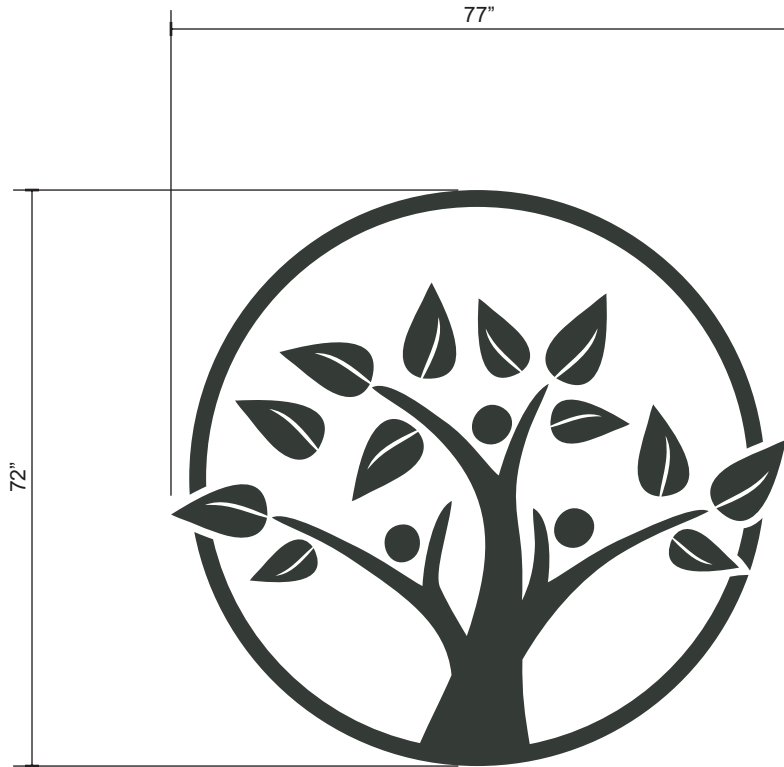
PROJECT NAME BALANCED FAMILY ACADEMY  
LOCATION MAIN ST & MILLER AVE  
CITY NEW ALBANY STATE OHIO

REVISION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SALES BMS  
DESIGN DAW  
SIZE 14

DATE 1-23-24  
SCALE Noted  
PROJECT# 24125





SCALE 1/2" = 1' - 38.50 SQ FT



END VIEW

**SIGN C - Non-Illuminated Dimensional Wall Mounted Logo**

(1) REQUIRED  
LOGO AS SHOWN IS SECTIONS OF CUT OUT 1.5" THICK HDU (HIGH DENSITY URETHANE) PRIMED AND PAINTED  
1/4" DIAMETER X 3"+/- LONG CORROSION-RESISTANT THREADED STUDS ARE TAPPED INTO BACKS OF ALL SECTIONS  
ALL SECTIONS ARE MOUNTED TO BRICK FASCIA - STUDS ARE SET INTO SILICONE ADHESIVE FILLED BORES IN WALL

**COLOR**  
MATCH SHERWIN WILLIAMS SW 6216 JASPER

CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION

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CLIENT APPROVAL	DATE
_____	_____
_____	_____

☐ PRODUCTION ART REQUIRED  
Colors on Printed Documents May Vary

PROJECT NAME	BALANCED FAMILY ACADEMY
LOCATION	MAIN ST & MILLER AVE
CITY	NEW ALBANY
STATE	OHIO

REVISION
_____

SALES	BMS
DESIGN	DAW
SIZE	14

DATE	1-23-24
SCALE	Noted
PROJECT#	24125



SCALE 1/16" = 1' - EAST ELEVATION



SCALE 1/16" = 1' - WEST ELEVATION

CONSTRUCTION AND INSTALLATION OF SIGN ELEMENTS TO COMPLY WITH NEC ARTICLE 600 - VERIFY ALL MEASUREMENTS PRIOR TO PRODUCTION

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CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

☐ PRODUCTION  
ART REQUIRED  
Colors on Printed Documents  
May Vary

PROJECT NAME BALANCED FAMILY ACADEMY  
LOCATION MAIN ST & MILLER AVE  
CITY NEW ALBANY STATE OHIO

REVISION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SALES BMS  
DESIGN DAW  
SIZE 14

DATE 1-23-24  
SCALE Noted  
PROJECT# 24125