



New Albany Planning Commission Agenda
Monday, July 15, 2024 at 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comments at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes: June 17, 2024

IV. Additions or corrections to the agenda

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

V. Hearing of visitors for items not on tonight's agenda

VI. Cases:

FDM-08-2024 Final Development Plan Modification

Modification to the approved final development plan for the New Albany Links subdivision driving range (PID: 222-002263).

Applicant: New Albany Driving Range c/o Christopher Ingram, VORYS Law Firm.

Motion of acceptance of staff reports and related documents into the record for FDM-08-2024.

*Motion to **table** application FDM-08-2024 until the next regularly scheduled meeting based on the request of the applicant.*

FDP-20-2024 Reconsideration of a Final Development Plan

Reconsideration of final development plan to allow for the construction of a single residential home on 1.654 acres located at 4093 Reynoldsburg-New Albany Road (PID:222-000630).

Applicant: Todd Parker, F5 Design

Motion of acceptance of staff reports and related documents into the record for the reconsideration of FDP-20-2024.

Motion of approval for the reconsideration of FDP-20-2024 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

ZC-28-2024 Zoning Change

Rezoning of 11.44 acres located at 7800 Walton Parkway from Limited Office Campus District (L-OCD) to Limited General Employment (L-GE). The purpose of the rezoning is to add clean manufacturing and production as a permitted use in the existing 7800 Walton Parkway L-OCD zoning text (PID: 222-000307).

Applicant: City of New Albany

Motion of acceptance of staff reports and related documents into the record for ZC-28-2024.

Motion of approval for application ZC-28-2024 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

ZC-48-2024 Zoning Change

Rezoning of approximately 108.1+/- acres generally located south and southwest of State Route 161, north of East Dublin-Granville Road, east of Johnstown Road/U.S. Route 62, and west of Kitzmiller Road from Comprehensive Planned Unit Development (C-PUD) to Comprehensive Planned Unit Development (C-PUD) (PIDs: 222-000238 and 222-004730).

Applicant: The New Albany Company LLC, c/o Aaron Underhill, Esq.

Motion of acceptance of staff reports and related documents into the record for ZC-48-2024.

Motion of approval for application ZC-48-2024 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FDP-50-2024 Final Development Plan

Final development plan to allow for the construction of a 3,694 square foot McDonald's with drive-through on 1.805 acres located generally near the southwest corner of Beech Road and Beech Crossing (PID: 093-106512-00.000).

Applicant: Permit Solutions c/o Cathy Stephens

Motion of acceptance of staff reports and related documents into the record for FDP-50-2024.

Motion of approval for application FDP-50-2024 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VAR-51-2024 Variance

Variance to the number of active and operable doors associated with a final development plan application for a McDonald's development located generally near the southwest corner of Beech Road and Beech Crossing (PID: 093-106512-00.000).

Applicant: Permit Solutions c/o Cathy Stephens

Motion of acceptance of staff reports and related documents into the record for VAR-51-2024.

Motion of approval for application VAR-51-2024 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VII. Other business

- **Informal Review of the Hamlet Final Development Plan Application**

VIII. Poll members for comment

IX. Adjournment



New Albany Planning Commission Meeting
Minutes - June 17, 2024 - DRAFT

I. Call to order

The New Albany Planning Commission held a regular meeting on Monday, June 17, 2024 in the New Albany Village Hall. Chair Kirby called the meeting to order at 7:03 p.m. and asked to hear the roll.

II. Roll call

Those answering roll call:

Mr. Kirby	present
Mr. Wallace	present
Mr. Schell	present
Ms. Briggs	present
Mr. Larsen	absent
Council Member Wiltout	present

Having four voting members present, the commission had a quorum to transact business.

Staff members present: Development Engineer Albright, Planner Saumenig, Law Director Albrecht, Planner II Christian, Planning Manager Mayer, Deputy Clerk Madriguera

III. Action on minutes: June 3, 2024

Chair Kirby asked if there were any corrections to the June 3, 2024 meeting minutes.

Hearing none Commissioner Schell moved for approval of the June 3, 2024 meeting minutes. Chair Kirby seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, Chair Kirby asked to hear the roll.

Upon roll call: Mr. Schell yes, Mr. Kirby yes, Mr. Wallace yes, Ms. Briggs abstained from the vote. Having three yes votes, the June 3, 2024 meeting minutes were approved as submitted.

IV. Additions or corrections to the agenda

Chair Kirby noted that it would be of particular interest to many present at the hearing that the applicant in case FDM-08-2024 had requested to table the application. He asked staff whether there were any other changes to the agenda.

Planning Manager Mayer responded none from staff.

Chair Kirby administered the oath to all present who planned to address the commission. He further noted that now would be a good time to silence all cell phones.

V. Hearing of visitors for items not on tonight's agenda

Chair Kirby asked whether there was anyone present who wished to address the commission for an item not on the agenda.

Seeing none, he introduced the first case.

VI. Cases:

FDM-08-2024 Final Development Plan Modification

Modification to the approved final development plan for the New Albany Links subdivision driving range (PID: 222-002263).

Applicant: New Albany Driving Range c/o Christopher Ingram, VORYS Law Firm.

Chair Kirby stated that the applicant had requested that the application be tabled for one month.

Planning Manager Mayer confirmed this.

Chair Kirby moved to table FDM-08-2024 until the regular meeting in July, 2024. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Mr. Schell yes, Ms. Briggs yes. Having four yes votes, the motion passed and FDM-08-2024 was laid upon the table until the July 2024 regular meeting.

Chair Kirby let the people in the chamber know that if they had come to hear deliberations on FDM-08-2024, now would be a good time to make a clean exit. He then introduced the next case and asked to hear from staff.

FDP-36-2024 Final Development Plan

Final development plan to allow for construction of a 6,929 square foot Donatos multi-tenant building with drive-through on 1.22 acres located generally near the northeast corner of Smith's Mill Road and Beech Road (PID: 093-106512-00).

Applicant: J. Carter Bean Architect LLC c/o Carter Bean

Planner Saumenig delivered the staff report.

Development Engineer Albright delivered the engineering report.

Chair Kirby asked to hear from the applicant.

Applicant and Architect for the project Carter Bean spoke in support of the application. He thanked staff and stated that Planner Saumenig's presentation was thorough. He further stated that he was in agreement with all five conditions and would like to add a sixth. He was willing to stipulate that the pedestal sides be six inches rather than 36 inches.

Planning Manager Mayer stated that staff was supportive of the condition.

Chair Kirby asked whether there were questions from the commission.

Hearing none, Chair Kirby stated that application review was particularly easy when all the boxes were checked.

Chair Kirby asked whether there was anyone from the public who wished to speak on the application.

Hearing none, Chair Kirby moved to accept the staff reports and related documents into the record for FDP-36-2024. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Mr. Schell yes, Ms. Briggs yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted into the record for FDP-36-2024.

Commissioner Wallace moved for approval of FDP-36-2024 based on the findings in the staff report with the conditions in the staff report, subject to staff approval and the additional condition as follows:

6. Exterior light poles' pedestal sides will be six inches rather than 36 inches.

Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Wallace yes, Ms. Briggs yes, Mr. Kirby yes, Mr. Schell yes. Having four yes votes, the motion passed and FDP-36-2024 was approved subject to the conditions in the staff report and the additional condition as stated above.

The commission wished the applicant good luck. Chair Kirby introduced the next case and asked to hear from staff.

FDP-37-2024 Final Development Plan

Final development plan to allow for construction of a 2,806 square foot Wright Patt bank with three drive-throughs on 2.6 acres located generally near the southeast corner of US-62 and Smiths Mill Road (PID: 222-004736).

Applicant: Shremshock Architects and Engineers c/o Brandon Anderson

Planner Saumenig delivered the staff report.

Development Engineer Albright delivered the engineering report.

Chair Kirby asked to hear from the applicant.

Applicant David Blair stated that the conditions and comments from engineering are acceptable. Their only remaining concern was the flipping of the building. They were still working with staff on that issue and would be comfortable with it as a conditions of approval.

Chair Kirby and Commissioner Schell confirmed that Mr. Blain was comfortable with flipping the building, subject to staff approval, as a condition of approval.

Chair Kirby asked staff whether the conditional use, should be conditioned on the final development plan.

Planning Manager Mayer answered yes.

Chair Kirby made a motion to accept the staff reports and related documents into the record for FDP-37-2024. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Ms. Briggs yes, Mr. Wallace yes, Mr. Schell yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted into the record for FDP-37-2024.

Commissioner Wallace then asked staff questions about various changes in the staff report and the commentary in the staff report because he had noticed some inconsistencies and missing references. He further noted that #5 was missing in the MKSK report.

Planner Saumenig explained that #5 was removed from the MKSK report because it had been addressed by the applicant and she opted not to renumber the report in order to minimize confusion.

Commissioner Wallace thanked Planner Saumenig and explained that his remark was more of a comment than a complaint. He further noted that there was not an onsite dumpster and asked the applicant how they planned to dispose of waste.

Mr. Blair answered that they did not anticipate having much waste and most of it would be shredded, as such they had concluded that city refuse collection would be sufficient.

Chair Kirby asked if there was anyone from the public who wished to speak on the application.

Hearing none, Commissioner Wallace moved for approval of FDP-37-2024 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval. Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Wallace yes, Ms. Briggs yes, Mr. Kirby yes, Mr. Schell yes. Having four yes votes, the motion passed and FDP-37-2024 was approved subject to the conditions in the staff report.

Chair Kirby then asked to hear the staff report for CU-34-2024.

CU-43-2024 Conditional Use

Request for a conditional use permit to operate a drive-through use associated with a Wright Patt bank located generally near the southeast corner of US-62 and Smiths Mill Road (PID: 222-005377).

Applicant: Shremshock Architects and Engineers c/o Brandon Anderson

Planner Saumenig explained that the staff reports for the final development plan and the conditional use were given with the same presentation.

Commissioner Schell asked whether three automatic teller machine stations were common, noting that three seem excessive.

Planner Saumenig responded she was not quite sure.

Commissioner Wallace noted that they were all self-service.

Chair Kirby asked if there were any further questions. Hearing none, he made a motion to accept the staff reports and related documents into the record for CU-43-2024. Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Ms. Briggs yes, Mr. Wallace yes, Mr. Schell yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted into the record for CU-43-2024.

Chair Kirby asked whether anyone from the public was present to comment on the application.

Hearing none, Commissioner Wallace made a motion to approve CU-43-2024 based on the findings in the staff report with the conditions in the staff report, subject to staff approval, with the additional condition as follows:

That the conditional use is conditioned on the approval of the final development plan.

Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Wallace yes, Mr. Schell yes, Ms. Briggs yes, Mr. Kirby yes. Having four yes votes, the motion passed and CU-43-2024 was approved subject to the condition as stated above.

The commission wished the applicant good luck.

Chair Kirby introduced the next case and asked to hear from staff.

VAR-41-2024 Variances

Variances related to existing digital, directional and monument signs for Moo Moo Car Wash located at 10000 Johnstown Road (PID: 222-05375).

Applicant: Moo Moo New Albany Forest Drive LLC

Planner II Christian delivered the staff report.

Chair Kirby clarified that there were two variance requests, VAR-41-2024A, which involved sign B (the directional sign). And VAR-41-2024B which involved sign A, (the monument sign).

Commissioner Schell asked whether there have been complaints from the neighbors.

Planner II Christian responded yes, the city has received complaints.

Chair Kirby asked to hear from the applicant.

Applicant Joe Bertucci on behalf of Moo Moo Carwash, 13375 National Road SW, Suite D, Reynoldsburg, thanked the commission. Speaking on behalf of Moo Moo, he apologized for not addressing these concerns from day one. He explained that it was not their intent to skirt the ordinance, or to ignore it. He acknowledged that it was their mistake, and that their standard signs were not permissible under current code.

Chair Kirby asked whether the conditions on sign B (variance A) were acceptable. And further confirmed that a reasonable condition is that exactly two colors are allowed and only one at a time.

Mr. Bertucci answered yes. They can adjust the signs so they don't flash, so that they only have one color and so they are off when the business is closed.

Commissioner Wallace asked Planner II Christian whether in other cases involving similar signs, whether there was more screening.

Planner II Christian answered that the landscaping plan was examined. He acknowledged that currently the screening did not appear sufficient, however it was staff's view that eventually there would be adequate natural screening here, but as of now, the foliage is young.

Commissioner Wallace confirmed that it was Planner II Christian's sense is that appropriate screening would develop over time.

Planner II Christian agreed and pointed out the potential for additional screening pursuant to future development.

Commissioner Wallace asked whether the applicant would agree to a condition requiring additional screening at staff's discretion.

Mr. Bertucci answered yes, they will agree to such a condition and commit to screening subject to staff approval.

Commissioner Briggs asked whether these signs are typical at other locations.

Mr. Bertucci responded yes, all locations have directional signs. He further clarified that sign A has changed over time.

Commissioner Wallace noted that in general the other signs for this business are not typical New Albany signs and there was further discussion of the timing of the installation of the signs, and the awning.

Commissioner Briggs added that she was not overly thrilled with these applications, however she appreciated that the applicant addressed the issue head-on and apologized. She further noted that these code violations went further than others had over the years.

Chair Kirby asked whether there was anyone from the public present who wished to comment on the signs.

Hearing none, Chair Kirby made a motion to accept the staff reports and related documents into the record for VAR-41-2024. Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Ms. Briggs yes, Mr. Schell yes, Mr. Wallace yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted into the record for VAR-41-2024.

The commission determined that they would vote on part A and part B of the variances separately. They further clarified with Law Director Albrecht that separate votes were appropriate.

Chair Kirby moved for approval of VAR-41-2024A based on the findings in the staff report with the conditions in the staff report with the clarification that exactly 2 colors, red and green, are in the color palette and that they are only visible one at a time, and that the brightness is adjusted at night if possible. And the additional condition as follows:

- Additional screening may be required, subject to staff approval.

Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any further discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Schell yes, Ms. Briggs yes, Mr. Wallace yes. Having four yes votes, the motion passed and VAR-41-2024A was approved subject to the conditions as stated above.

Chair Kirby moved for approval of VAR-41-2024B based on the findings in the staff report, based on the conditions in the staff report and with the additional condition as follows:

- Additional screening may be required, subject to staff approval.

Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was further discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby no, Mr. Wallace no, Mr. Schell no, Ms. Briggs no. Having 0 yes votes and four no votes, the motion failed unanimously.

Chair Kirby explained that variance B went against the zoning code, and that it did not meet the *Duncan* criteria.

Commissioner Wallace concurred and further found that approval would set an unfavorable precedent.

Commissioner Schell concurred and further noted that if this had been presented at final development, it would have been rejected.

Commissioner Briggs concurred with all of the previous statements.

The commission wished the applicant good luck.

TM-47-2024 Zoning Text Modification

Amendment to the All Saints Episcopal Church Limited Community Facilities (L-CF) zoning text to state that the screening requirements for rooftop and mechanical equipment do not apply to solar panels (PID: 222-001515).

Applicant: All Saints Episcopal Church c/o Hank Fresch

Planner II Christian delivered the staff report.

Chair Kirby asked to hear from the applicant.

Applicant Henry Fresch on behalf of All Saints Episcopal Church stated that the church was requesting approval to install solar panels on the roof.

Chair Kirby asked whether the applicant would agree to a condition that the panels be installed at the same angle as the roof.

Mr. Fresch agreed.

There was further discussion regarding the placement of the panels.

Chair Kirby asked whether there was anyone from the public present to speak about the panels. Hearing none, he moved to admit the staff reports and related documents into the record for TM-47-2024. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any further discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Ms. Briggs yes, Mr. Schell yes. Having four votes, the motion passed and the staff reports and related documents were accepted into the record for TM-47-2024.

Chair Kirby moved for approval of TM-47-2024 based on the findings in the staff report, subject to the conditions in the staff report and the following additional condition:

- That the panels be roughly conforming to the angle of the roof with minimal standoff.

Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any further discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Ms. Briggs yes, Mr. Schell yes. Having four yes votes, the motion passed and TM-47-2024 was approved subject to the condition as stated above.

The commission wished the applicant good luck.

Council Member Wiltout thanked Mr. Fresch and All Saints Episcopal Church for promoting sustainability which is one of the pillars of New Albany.

VII. Other business

- **Appointment of CRAHC representative**
Planning Manager Mayer stated that it was time for the Planning Commission to make an appointment to the Community Reinvestment Area Housing Council (CRAHC).

Commissioner Wallace stated that he would be pleased to be reappointed.

Chair Kirby nominated Commissioner Wallace to represent the Planning Commission on the Community Reinvestment Area Housing Council. Commissioner Schell seconded the nomination.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Schell yes, Mr. Wallace yes, Ms. Briggs yes. Having four yes votes, the motion passed and Commissioner Wallace was reappointed as the commission's representative to the CRAHC.

- **ZC-48-2024 Ganton C-PUD Rezoning Informal Review**

Rezoning consists of 108.1+/- acres of property located to the south and southwest of and adjacent to State Route 161, to the north of and adjacent to East Dublin-Granville Road, generally to the east of Johnstown Road/U.S. Route 62, and to the west of and partially adjacent to Kitzmiller Road.

Aaron Underhill and Tom Rubey provided an informal review of the Ganton C-PUD Rezoning Comprehensive Plan. They explained that this project went back years. The entire parcel is just over 100 acres in size and has been farmed for many years, most recently by Whitebarn Organics. They explained the existing conditions and indicated the locations of the utility and conservation easements. They indicated the location of the headwaters of Rose Run Creek and stressed that the headwaters of the creek need to be protected and enhanced. They also indicated the location of a stand of trees and a historical structure. They explained that these, and other factors need to be taken into consideration when determining the alignment of the road. The proposed rezoning will have three subareas. Subarea one is about 25 acres and they anticipate a medical use for that area. Subarea two is just shy of 16 acres and will be office campus district uses. Subarea three is about 65 acres and it will include civic, institutional uses, city park areas. This area is within the Urban Center and development will not require dipping into the bank to meet the parkland requirements. There may be some single family homes in this area, residential development will not be like Windsor. They plan to maintain a healthy setback along Dublin Granvill Road and Planning Manager Mayer has already asked for installation of a leisure trail there. They stated that they will keep the schools updated and that there will be substantial review along the way. They concluded that they are thrilled to be presenting this informal review and will return with more details.

The commission thanked Mr. Underhill and Mr. Rubey and stated that they looked forward to further discussions.

Having no further business, Chair Kirby polled the commission members for comment.

VIII. Poll members for comment

Commissioner Wallace thanked the commission for his appointment to the CRAHC board and stated that he will try to remember to update the commission after the next CRAHC meeting.

IX. Adjournment

Thereafter, Chair Kirby adjourned the June 17, 2024 meeting of the New Albany Planning Commission at 8:29 p.m.

Submitted by Deputy Clerk Madriguera, Esq.

Appendix

FDM-08-2024

Staff Report

Record of Action

FDP-36-2024

Staff Report

Record of Action

FDP-37-2024

Staff Report

Record of Action

CU-43-2024

Staff Report

Record of Action

VAR-41-2024

Staff Report

Record of Action

TM-47-2024

Staff Report

Record of Action



**Planning Commission Staff Report
June 17, 2024 Meeting**

**NEW ALBANY LINKS DRIVING RANGE
FINAL DEVELOPMENT PLAN MODIFICATION**

LOCATION: 7100 New Albany Links Drive (PID: 222-002263)
REQUEST: Final Development Plan Modification
ZONING: Comprehensive Planned Unit Development (C-PUD)
STRATEGIC PLAN: Parks & Green Space
APPLICATION: FDM-08-2024
APPLICANT: New Albany Links Golf Club c/o Lucas Bowersock

Review based on: Application materials received April 19, 2024.

Staff report completed by Sierra Cratic-Smith, Planner

I. REQUEST AND BACKGROUND

The applicant has not submitted additional information to city staff before the publishing of this staff report. The applicant has communicated to the city staff they need additional time to receive new data. Therefore the city staff has directed the applicant to bring any new material to the June 17, 2024 Planning Commission hearing. The city staff has included the same evaluation in this report and material from the May 20th Planning Commission in the meeting packets.

The applicant requests a review and approval for the alterations made to the New Albany Links Driving Range final development plan. The owner has changed the site landscaping approved in 2009 by removing trees from the north and south property lines. Since the existing conditions do not match the approved 2009 final development plan, and the property requests changes to the landscaping, a final development plan modification is required.

Previously the Planning Commission first heard the final development plan modification on February 21, 2024. The application was tabled on February 21 and April 15, 2024 to allow the applicant to meet with their neighbor to the south, address their concerns and try to come to a compromise. The applicant updated the final development plan with additional information after discussions with neighboring property owners and presented it to the Planning Commission on May 20, 2024. The Planning Commission tabled the application for one month on May 20, 2024 until the regular June meeting date to allow the applicant to gather additional facts and work with their neighbors on an acceptable barrier between the properties.

LAW DIRECTOR'S COMMENTS

An issue has been identified regarding the factors that the Planning Commission must consider during their review of the Final Development Plan Modification application for New Albany Links. It is the law director's opinion that the correct procedure to follow relates to the specific provisions set forth in Codified Ordinance Section 1159.09, entitled "Procedure for Approval of Comprehensive Planned Unit Development (C-PUD)", and that the Planning Commission should consider and evaluate the application upon the criteria

found in Codified Ordinance Section 1159.08, entitled “Basis of Plan Approval,” when coming to a final decision.

This opinion is based on the fact that Codified Ordinance 1150.08 states that it is to be used for the basis for approval of a Comprehensive Plan in a C-PUD and the Preliminary Development Plan in an I-PUD. Previously included Codified Ordinance 1111.06 deals with the initiation of zoning amendments, and is not applicable to the situation at hand.

II. SITE DESCRIPTION & USE

The final development plan area includes just the portion of the existing golf course site that contains the driving range. It is located within the New Albany Links subdivision. The property has been developed with a driving range and is located east of the golf club on about 10 acres.

The site is located west along US State Route 62 (Johnstown Road). There is a church on the south side and a residential home on the north side of the driving range.

III. PLAN REVIEW

The Planning Commission’s review authority of the zoning amendment application is found under C.O. Chapters 1107.02. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to city council. The staff’s review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1159.08 the basis for approval of a final development plan in an C-PUD shall be:

- (a) That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;
- (b) That the proposed development is in general conformity with the Strategic Plan or portion thereof as it may apply;
- (c) That the proposed development advances the general welfare of the Municipality;
- (d) That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;
- (e) Various types of land or building proposed in the project;
- (f) Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density of dwelling units may not violate any contractual agreement contained in any utility contract then in effect;
- (g) Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- (h) Building heights of all structures with regard to their visual impact on adjacent facilities;
- (i) Front, side and rear yard definitions and uses where they occur at the development periphery;
- (j) Gross commercial building area;
- (k) Area ratios and designation of the land surfaces to which they apply;
- (l) Spaces between buildings and open areas;
- (m) Width of streets in the project;
- (n) Setbacks from streets;
- (o) Off-street parking and loading standards;
- (p) The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- (q) The potential impact of the proposed plan on the student population of the local school district(s);
- (r) The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- (s) The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

A. Engage New Albany Strategic Plan

The 2020 Engage New Albany strategic plan designates the area as the Parks & Green Space future land use category. The strategic plan lists the following development standards for the Parks & Green Space land use category:

1. Protect and improve the existing network of parks, natural open spaces, and stream corridors.
2. Provide for a high quality and diversified park system to meet the recreational needs and enhance the quality of life for all residents.
3. Engage with partners to create a regional park, open space, and trail system that benefits New Albany residents and businesses.
4. Create a continuous network of linear parks, paths, walks, and trails, and thereby enabling the public to travel by non-motorized modes throughout the New Albany community.
5. Create year-round recreational opportunities.

B. Use, Site and Layout

1. The site is located within the Engage New Albany strategic plan's park and green space future land use district.
2. The driving range currently has an existing cart parking area with 5 range targets. The site also has two fences, one along the east that is parallel to US State Route 62 (Johnstown Road). The second is a taller section of net at the southwest corner of the property. There is also a 30-foot no-mow area along the southern border of the property.
3. The New Albany Links C-PUD zoning texts states that the driving range's design shall be based on the National Golf Foundation standards.
 - a) The city staff researched the National Golf Foundation website but could not find any development standards. The National Golf Foundation is a membership organization and marketing services provider in golf. Its website states it does track any information on golf courses that are part of an HOA.

C. Access, Loading, Parking

1. There are no changes to the access, loading or parking of the site.

D. Architectural Standards

1. There are no changes to the architecture or buildings on the site.

E. Parkland, Buffering, Landscaping, Open Space, Screening

1. In early November, a neighbor reported to the city staff that golf balls were appearing in the side and rear of their property. During a code enforcement inspection, city staff found that the landscape on the property had been removed. Because there were significant changes to the approved final development plans from 2009, it needs to be re-evaluated by the Planning Commission.
2. In July 2009, the planning commission tabled the original final development plan for the golf course and driving range due to concerns of golf ball control. Neighbors spoke of concerns for golf ball retention in the gaps of the landscape along the north, south, and east property lines.
3. In August 2009, the applicant returned to meet the above concerns by adding additional landscape along the north and south property line. In addition, a net does span the east property line along Johnstown Road (US-62). The applicant and city staff noted there was significant buffering because of the existing landscape and trees along both the north and south property line. It was approved during the meeting because the commission found the amount of landscape buffer would be sufficient for golf ball control.
4. There are significant changes to the site and landscape (See Figures 1 & 2) from 2009. Most of the landscape along the southern and eastern property lines was removed. To prevent golf balls from leaving the property, the applicant is proposing the following:

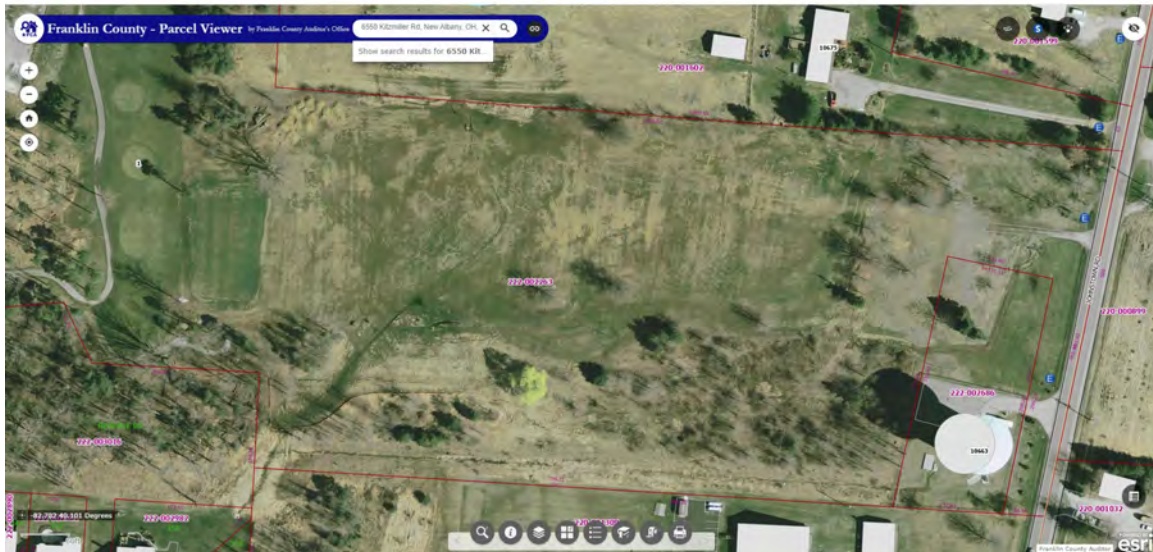
- a. Continue to limit golf ball use on the driving range to limited flight range balls. The city staff recommends this be a condition of approval (condition #1).
- b. A 200-foot-long, 50-foot-high net is installed along the 800 +/-foot-long southern property line. The city staff approved the net in January 2023. The applicant proposed mounding and landscaping along the southern property line (see table below for a comparison of past and current site improvements).
 - i. The applicant states in their narrative that they will plant fifty (50) 10' and 12' trees of Red Maple, London Plane Tree, and Eastern White Pines species on six ft (6') mounding. These species were intentionally selected for their ability to provide buffering from errant shots.
 - ii. The city staff recommends a condition of approval requiring the owner must maintain and replace the landscaping if found dead or dying (condition #4).
- c. Centering the range targets so they are equally spaced between the north and south property lines. The city staff recommends this be a condition of approval (condition #2).
- d. A defined fairway to landing green for better targeting.
- e. The addition of a large main target colored green at approximately 150 yards to deter the golfers from aiming at the net.
- f. The addition of aiming blocks to position golfers to hit the middle of the range(s).
- g. The addition of liability signs to warn golfers that errant shots shall be penalized.
- h. Establish a communication protocol from Church to Club concerning the Church's schedule of upcoming events so that the Club can manage the range as may be appropriate.

Property line	2009 Approval Requirements	February 2024 Proposal	May 2024 Proposal
Northern Property line (860 feet in length)	<ul style="list-style-type: none"> Utilize existing trees and landscaping as a barrier. Add staggered deciduous trees within two gaps along tree line. Add black netting to existing horse rail fence (approx. 860 feet in length). 	<ul style="list-style-type: none"> Utilize existing trees and landscaping as a barrier. 	<ul style="list-style-type: none"> Utilize existing trees and landscaping as a barrier.
Southern Property line (800 feet in length to water tower)	<ul style="list-style-type: none"> Utilize existing trees and landscaping as a barrier. Add staggered deciduous trees within one gap of the tree line. 30-foot-wide no-mow zone along property line. 	<ul style="list-style-type: none"> 30-foot-wide no-mow zone along property line. 200 ft long, 50 ft tall black net. 2 mounds (one on each side of the netting). One being 72 feet in length with a max height of 5 feet. The second is 95 feet in length with a max height of 6 feet. Both have evergreen trees on top. 	<ul style="list-style-type: none"> 30-foot-wide no-mow zone along property line. 200 ft long, 50 ft tall black net. The addition of 50 trees. 3 mounds (one immediately on each side of the netting, with a third further east). <ul style="list-style-type: none"> First mound west of the net being 72 feet in length with a max height of 5 feet. Second mound east of the net being 95 feet in length with a max height of 6 feet. Both have evergreen trees on top. Third mound on the southern property line being 273 feet in length with a max height of 6 feet and evergreen trees on top. Define a new fairway to landing green for better targeting. Utilize aiming blocks to position golfers to hit down the middle of the range.
Eastern Property line (465 feet in length)	<ul style="list-style-type: none"> Utilize existing trees and landscaping as a barrier. Add black four rail fence with black netting. <u>(The city staff recommends this be a condition of approval (Condition #3))</u> 	<ul style="list-style-type: none"> No landscaping or trees along the fence line. Fence (plans don't indicate if there is netting) 	<ul style="list-style-type: none"> No landscaping or trees along the fence line. Fence (<u>plans don't indicate if there is netting</u>)

The images below show the existing conditions when the final development plan was approved in 2009 (Figure 2) and current 2023/2024 conditions (Figure 1).



August 2023 (Figure 1)



2009 (Figure 2)

F. Lighting & Signage

1. The application proposes to add liability signs to warn golfers that errant shots shall be penalized. The size is not indicated on the narrative.

IV. ENGINEER'S COMMENTS

There are no comments from engineering.

IV. SUMMARY

The final development plan modification is required because there is a change in the landscaping and the site conditions that the Planning Commission reviewed and approved in 2009. The Planning Commission originally approved this development because they found there was enough existing vegetation when supplemented with additional trees to provide an acceptable buffer to keep golf balls from leaving the property. To ensure golf balls didn't hit vehicles on the US 62, they required a fence with netting. Since then there have been significant changes to the landscaping which necessitates the Planning Commission's review of the new site plan that includes landscaping and buffers.

Since the landscaping buffer has substantially been removed, the applicant proposes alternate means of keeping golf balls on the range through a combination of changes. These modifications include ways to encourage golfers to focus on the centered targets through different colored targets, aim assistant blocks, and the centralization of the targets. In addition, new landscaping and mounding have been provided to prevent errant shots from encroaching on neighboring properties. Also, according to the applicant, the use of limited flight golf balls will reduce the number of golf balls leaving the property. Furthermore, the applicant commits to establishing a communication protocol so the golf course is made aware of church special events and can manage the range as may be appropriate.

V. ACTION

Suggested Motion for FDM-08-2024:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added).

Move to approve application FDM-008-2024 based on the findings in the staff report subject to the following conditions:

1. The owner uses limited-flight golf balls.
2. The range targets are located so they are generally centered between the north and south property lines.
3. The owner must add black four rail fence with black netting to the entire eastern property line to ensure golf balls don't land on city property or public streets.
4. The owner must maintain and replace the landscaping if found dead or dying.

Approximate Site Location:



Source: Near Map



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Luke Bowersock, Kemper Sports,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday June 18, 2024

The New Albany Planning Commission took the following action on 6/17/2024 .

Final Development Plan Modification

Location: 7100 NEW ALBANY LINKS DR

Applicant: Luke Bowersock, Kemper Sports,

Application: PLFDM20240008

Request: To table until the next scheduled Planning Commission Meeting on July 15, 2024.

Motion: To table

Commission Vote: Motion Tabled, 4-0

Result: Final Development Plan Modification, PLFDM20240008 was Tabled, by a vote of 4-0.

Recorded in the Official Journal this June 18, 2024

Condition(s) of Approval: N/A

Staff Certification:

Sierra Cratic-Smith

Sierra Cratic-Smith
Planner



**Planning Commission Staff Report
June 17, 2024 Meeting**

**DONATOS MULTI-TENANT BUILDING
FINAL DEVELOPMENT PLAN**

LOCATION: Generally located at the intersection of Beech Road and Smith’s Mill Road (PID: 093-016512)
APPLICANT: J. Carter Bean Architect, LLC c/o Carter Bean
REQUEST: Final Development Plan
ZONING: Beech Crossing I-PUD
STRATEGIC PLAN: Retail
APPLICATION: FDP-36-2024

Review based on: Application materials received May 17, 2024

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

The application is for a final development plan for a proposed three tenant commercial building located at the southwest corner of Smith’s Mill Road and Beech Crossing. The development includes a proposed Donatos with a drive-through in one of the spaces. The other two spaces do not have users at this time however, they can be developed with any permitted use specified in the development text.

The property in question is zoned I-PUD and is located within the Beech Crossing Zoning District. The proposed use (Donatos multi-tenant building with drive-through) is permitted as a carry-out food and beverage establishment with a drive-through facility.

This site is located within the Beech Crossing zoning district which was reviewed and approved by the Planning Commission on January 22, 2020 (ZC-102-2019).

II. SITE DESCRIPTION & USE

The site is generally located north of State Route 161, south of Smith’s Mill Road and west of Beech Road. The site is 1.22 acres and is currently undeveloped. This is the fifth proposed development for this zoning district. The Planning Commission approved a final development plan application for Duke and Duchess on October 20, 2020, an application for Holiday Inn Express on February 19, 2020, and a Taco Bell on August 21, 2023.

III. EVALUATION

Staff’s review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission’s review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*

- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

Engage New Albany Strategic Plan Recommendations

The Engage New Albany strategic plan recommends the following development standards for the Retail future land use category:

1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
2. Combined curb cuts and cross access easements are encouraged.
3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
4. Combined curb cuts and cross-access easements between parking areas are preferred between individual buildings.
5. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
6. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

1. The applicant proposes to develop a 6,929 sq. ft. multi-tenant building with a Donatos restaurant and drive-through. The proposed Donatos utilizes 2,087 sq. ft. of the building and the drive-through would be on the eastern elevation of the proposed building.
2. The proposed building also includes patio space in the front for outdoor eating. Staff recommends a condition that allows staff to review changes or modifications to the patio space that would not include changing the size or location that future tenants may request (condition 2).
3. The existing total site size is 1.22-acres. The proposed development is in an appropriate location given its proximity to the New Albany Business Park and State Route 161.
4. The Beech Crossing, I-PUD zoning text places a limitation on total acreage that can be utilized for retail uses in the Beech Road / Smith's Mill Road area. The intent is to limit retail development to a maximum of 92 acres in this general area. Once 92 acres have been developed with retail uses found in the C-3 and GE zoning districts, the remainder of the land from all of these subareas can only allow non-retail General Employment (GE) zoning district uses listed in their respective zoning texts. This 1.22-acre development is subject to this overall 92-acre retail limitation.
5. The development site is accessed by a private road which was reviewed and approved by the Planning Commission on October 21, 2019 (FDP-72-2019). This private road, Beech Crossing, was constructed by another private developer and each property is to include street trees and a sidewalk along the road. The applicant has proposed a 5' sidewalk and street trees.
6. According to zoning text section C(1), the applicant is required to install leisure trail along Smith's Mill Road. The site plan meets this standard by providing an 8' wide leisure trail within the front yard of the lot along Smith's Mill Road.
 - o The City Landscape Architect has reviewed the plans and recommends that the applicant modify the trail alignment along Smith's Mill Road to align with the adjacent site. Staff recommends this as a condition of approval (condition 1a).
7. Per zoning text section C(4,) the applicant is required to connect the building into the existing pedestrian circulation system. The applicant is meeting this requirement by providing a direct connection into the proposed leisure trail along Smith's Mill Road and the proposed sidewalk along the outparcel access road, Beech Crossing.
8. The zoning text requires that the total lot coverage, which includes all areas of pavement and building, to not exceed 80% of the total area. The proposed development is at 67% lot coverage thereby meeting this requirement.
9. The PUD zoning text requires the following setbacks from these perimeter boundaries:
 - a. Smith's Mill Road:
 - i. Required minimum: 75-foot building and 55-foot pavement
 - ii. Proposed: 55+/- foot pavement and 116+/- foot building setback
[requirement met]
 - b. Internal Parcel Boundaries (eastern property line):

- i. Required minimum: 10-foot building and pavement setback
- ii. Proposed (eastern property line): 10-foot pavement and 68.52-foot building setback [requirement met]
- c. Outparcel Access Road (western and southern properties lines) (Beech Crossing):
 - i. Required minimum: 15-foot building and pavement setback
 - ii. Proposed southern property line: 15+/- foot pavement and 46.42+/- foot building setback [requirement met]
 - iii. Proposed western property line: 15+/- foot pavement and 65.20+/- foot building setback [requirement met]

B. Access, Loading, Parking

1. The site is proposed to be accessed from two curb cuts along Beech Crossing.
 - a. The applicant proposes one right-in right-out access point on the west side of the property and one full access point on the south side of the property.
 - o The City Engineer has evaluated the proposed right-in right-out access and has no concerns.
 - b. Per Beech Crossing zoning text requirement II.B.1(c) states that as part of a final development plan approval, two vehicular access points along the Outparcel Access Road/Beech Crossing may be permitted for any outparcel with side and rear boundary lines that are contiguous to the Outparcel Access Road, subject to approval of the City Engineer and if supported by a traffic analysis provided by the applicant. The City Engineer may waive the obligation for this traffic analysis. The city's traffic engineer has reviewed the request for a second access point. They are supportive of allowing the second full access point and have waived the obligation of the traffic analysis.
2. Codified Ordinance 1167.05(d)(11) requires a minimum of one parking space for every 200 square feet of gross floor area for retail shopping centers. The building is 6,929 square feet in size therefore 35 parking spaces are required. The applicant is providing 35 parking spaces.
3. Additionally, the city parking code requires a minimum number of stacking spaces in the drive-through lane must be provided. The required number of drive-through stacking spaces must equal 25% of the total required parking spaces for the drive-through tenant space. Based on this calculation, 7 stacking spaces must be provided and the applicant is meeting this requirement by providing 9.
4. Per C.O. 1167.03(a), the minimum parking space dimensions required are 9 feet wide and 19 feet long. The applicant is meeting this requirement.
5. Per C.O. 1167.03(a), the minimum maneuvering lane width size is 22 feet for this development type. The applicant is meeting this requirement.

C. Architectural Standards

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design. The zoning text contains architectural standards and the site also falls under the Section 6 of the Design Guidelines and Requirements: Commercial Outside Village Center.
2. The zoning text states that buildings with this use shall be a minimum of one story and a maximum of two stories in height and this requirement is being met as the multi-tenant building is a one-story building.
3. The primary building material for the restaurant is brick, which is a permitted building material in the zoning text.
4. Zoning text section E.4(b) states that all rooftop mechanical units must be screened to limit off site visibility and sound. The applicant meets this requirement through the use of a parapet wall on all four sides of the building.

5. DGR Section 6(I)(A)(4) states that the number, location, spacing and shapes of window openings shall be carefully considered, particularly for buildings in retail use and shall impart a sense of human scale. The applicant meets this requirement.
6. DGR Section 6(I)(A)(6) states that all visible elevations of a building must receive similar treatments in style, materials and design so that no visible side is of a lesser character than any other. The applicant is meeting this requirement by using the same materials on all building elevations.
7. DGR Section 6(I)(A)(12) states that buildings shall have active and operable front doors along all public and private streets. The restaurant fronts onto Smith's Mill Road and to the north and Beech Crossing to the east. The building is designed with active and operable front doors along Smith's Mill Road and one door along Beech Crossing on the east façade of the proposed building. On the south façade of the building facing Beech Crossing, the Donatos space lacks an active and operable door but the other two spaces have active and operable doors on this side.
8. C.O. 1171.05(b) states that all trash and garbage container systems must be screened, not be located in front yards, and meet the minimum required pavement setbacks. All of these requirements are met as the applicant proposes to install a dumpster enclosure in the rear of the lot. It meets the minimum pavement setback and is completely screened with a dumpster enclosure and landscaping.

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. Per Beech Crossing zoning text requirements G(a) and G(3)(a), a four-board horse fence is required to be installed along Smith's Mill Road. This requirement is met.
2. Per zoning text requirement (G)(3)(b)(i), a minimum of 6 trees per 100 lineal feet must be installed within the required setback area along Smith's Mill. The applicant is meeting this requirement by providing 13 trees along their 218+/- feet of frontage along Smith's Mill Road.
3. Per zoning text requirement G(3)(c), a minimum 3.5-foot-tall landscape buffer must be provided to screen parking areas along all public rights of way. The proposed landscape plan shows that a 3.5-foot-tall landscape buffer installed along the parking areas that are along public rights of way, therefore this requirement is being met.
 - o The City Landscape Architect has reviewed the plans and has recommends that the applicant add evergreen shrubs (36" in height) to screen utilities near the proposed dumpsters. Staff recommends this as a condition of approval (condition 1b).
4. Per zoning text requirement G(3)(d), a landscape buffer is required to be installed within the required setback of any interior side parcel line and shall consist of a ten-foot landscape buffer with grass and landscaping and deciduous trees planted at a rate of 4 trees for every 100 feet of side property line and deciduous shrubs must be planted under the trees. The applicant is required and proposes to install these 12 trees and shrubs along the eastside within the 10-foot setback. Therefore, this requirement is being met.
5. Per zoning text requirement G(7), a minimum of one tree for every 10 parking space is required and at least 5 percent of the vehicular use area shall be landscaped. The applicant is providing 35 parking spaces, and exceeding this requirement by providing 5 trees. 8% of the total parking area is landscaped. This requirement is being met.
6. Per zoning text requirement G(8), a master landscape plan was completed as part of the first final development plan. The applicant is providing trees along Smith's Mill road in a landscape buffer however, the types are trees and location are not consistent with the master landscape plan. Staff recommends a condition of approval that the proposed trees should be consistent with what is shown on the master landscape plan (condition 3).
7. General Site Landscaping Requirement:
 - o Codified Ordinance 1171(5)(e) requires parking lots over 20,000 square feet to have a minimum of one tree per 5,000 square feet of ground coverage and a total tree planting equal to 10.5 in tree trunk size for every 2,000 square feet of ground coverage. The applicant states that the internal ground coverage is 35,789 sq. ft. requiring 7 trees at 14" total caliber (CAL). The

applicant proposes to provide 7 trees at 30” total CAL, meeting the requirement.

E. Lighting & Signage

1. Section II(H)(1) of the zoning text requires all parking lot light poles to be downcast and use cut-off type fixtures in order to minimize light spilling beyond the boundaries of the site. Site lighting proposed of the site matches the existing Duke and Duchess site with the development and meets the requirements. In addition, a detailed photometric plan was submitted showing that there will be no light spillage from this site.
2. Section II(H)(3) states that all parking lot poles within the entire zoning district shall be black or New Albany Green, be constructed of metal and not exceed 30 feet in height. The applicant is proposing to use the same black metal poles that are installed at the existing Duke and Duchess site within the development and they do not exceed 18 feet in height.
3. As part of this final development plan application, the applicant has submitted a sign plan for the site.
4. The applicant proposes to install six wall signs which is one for each tenant space, three are on the front elevation (Smith’s Mill Road) and three are on the rear elevation (Beech Crossing).
5. The applicant proposes to install one monument sign at the northwest corner of the site along Smith’s Mill Road to be consistent with the existing Taco Bell monument sign on the northeast corner of Smith’s Mill Road.
6. The city staff recommends a condition of approval that the final copy of these proposed signs and future signage is subject to staff approval (condition 4).

Wall Signs

Zoning text section I(1) permits one wall mounted sign per retail tenant on each elevation of the building that fronts or sides on a public or private road. The proposed building faces two public streets or private drives. Therefore, two wall signs are permitted for each tenant. Additionally, C.O. 1169.15(d) permits a wall sign on each building frontage either on a public or private road, with 1 square foot in area per linear square foot of building frontage, not to exceed 50 square feet.

Smith’s Mill and Beech Crossing Elevation Wall Signs (six identical sign designs and sizes):

- a. Lettering Height: 24 inches [meets code]
- b. Area: 46.67 square feet [meets code]
- c. Location: northern elevation facing Smith’s Mill Road and southern elevation facing Beech Crossing
- d. Lighting: external lighting [meets code]
- e. Relief: 2.5 inch [meets code]
- f. Colors: white, black, red (total of 3 colors) [meets code]
 - i. The two unoccupied spaces would have the same requirement and are limited to the usage of 4 colors.
- g. Material: aluminum [meets code]

The proposed wall sign reads “Donatos Pizza.”

- DGR Section 6(II)(A)(8) states that signage for this building type shall be as simple and unobtrusive as possible and shall avoid overly bright or jarring colors. The applicant is proposing six wall signs that are appropriately scaled for the building and are appropriate for this area given the desired development type.

Ground Mounted Signs

The applicant proposes to install one monument sign at the northwest corner of the site along Smith's Mill Road. Monument signage along Smith's Mill Road is intended to match the existing sign plan for the retail within the neighbor Canini Trust Corp development along US-62. The proposed sign meets those standards as proposed. The signs feature three tenant spaces.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition 5).

1. Remove the "Preliminary Not for Construction" note block from all sheets when resubmitting the plans.
2. Revise the Site Data Table by adding a line indicating "Parking Required".
3. Expand the view port on the cover sheet to show the existing regional basin that will be utilized for stormwater management.
4. Show the recorded instrument number on the plans for all existing easements shown on the FDP.
5. Show the location of the stop bar/signs on the landscape plan at both curb cuts and show the site distance triangle. Adjust proposed landscaping if motorist view is impeded in any way.
6. Provide a fire truck turning analysis using the template for the 48' Plain Township fire truck.
7. Engineering staff will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available.

V. SUMMARY

The proposal meets many of the goals of the Engage New Albany Strategic Plan such as providing pedestrian access along roadways and into the site, as well as utilizing high quality building materials that are consistent with other buildings in the immediate area. The proposed development is in an appropriate location given the context of the surrounding area and serves as an amenity for the New Albany Business Park. Additionally, the applicant proposes a multi-tenant building that generally meets the requirements set forth in the zoning ordinance, development text, and landscape master plan and as a result, no variances are required.

V. ACTION

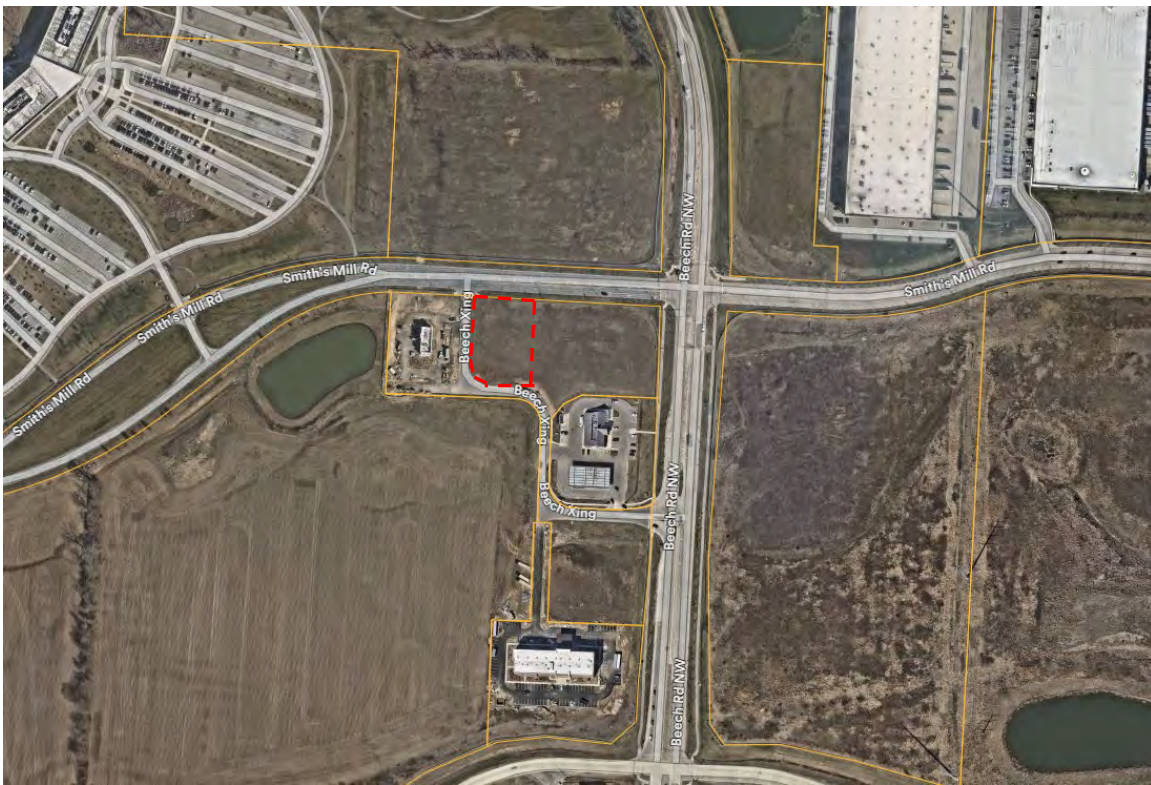
Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application FDP-36-2024, subject to the following conditions:

1. The city's landscape architect comment shall be addressed as part of permitted, subject to staff approval:
 - a. That the applicant modifies the proposed leisure trail along Smith's Mill Road to align with the adjacent site.
 - b. Provide evergreen shrubs that are 36" in height to screen utilities.
2. That staff can review changes or modifications to the proposed patio that would not include changing the size or location.
3. That the applicant revises the landscape plans to be consistent with the approved master landscape plan.
4. The final copy of the proposed signs and future signage is subject to staff approval.
5. The city engineer comments must be addressed, subject to staff approval.
 - o Remove the "Preliminary Not for Construction" note block from all sheets when resubmitting the plans.

- Revise the Site Data Table by adding a line indicating “Parking Required”.
- Expand the view port on the cover sheet to show the existing regional basin that will be utilized for stormwater management.
- Show the recorded instrument number on the plans for all existing easements shown on the FDP.
- Show the location of the stop bar/signs on the landscape plan at both curb cuts and show the site distance triangle. Adjust proposed landscaping if motorist view is impeded in any way.
- Provide a fire truck turning analysis using the template for the 48’ Plain Township fire truck.
- Engineering staff will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available.

Approximate Site Location



Source: NearMap

Development Review

project name Donatos Center
prepared for City of New Albany
date June 05, 2024
date received May 24, 2024

COMMENTS

Site Plan

1. Reevaluate leisure trail alignment along Smith's Mill Road. Proposed condition to align with adjacent site. See diagram.

Planting Plan

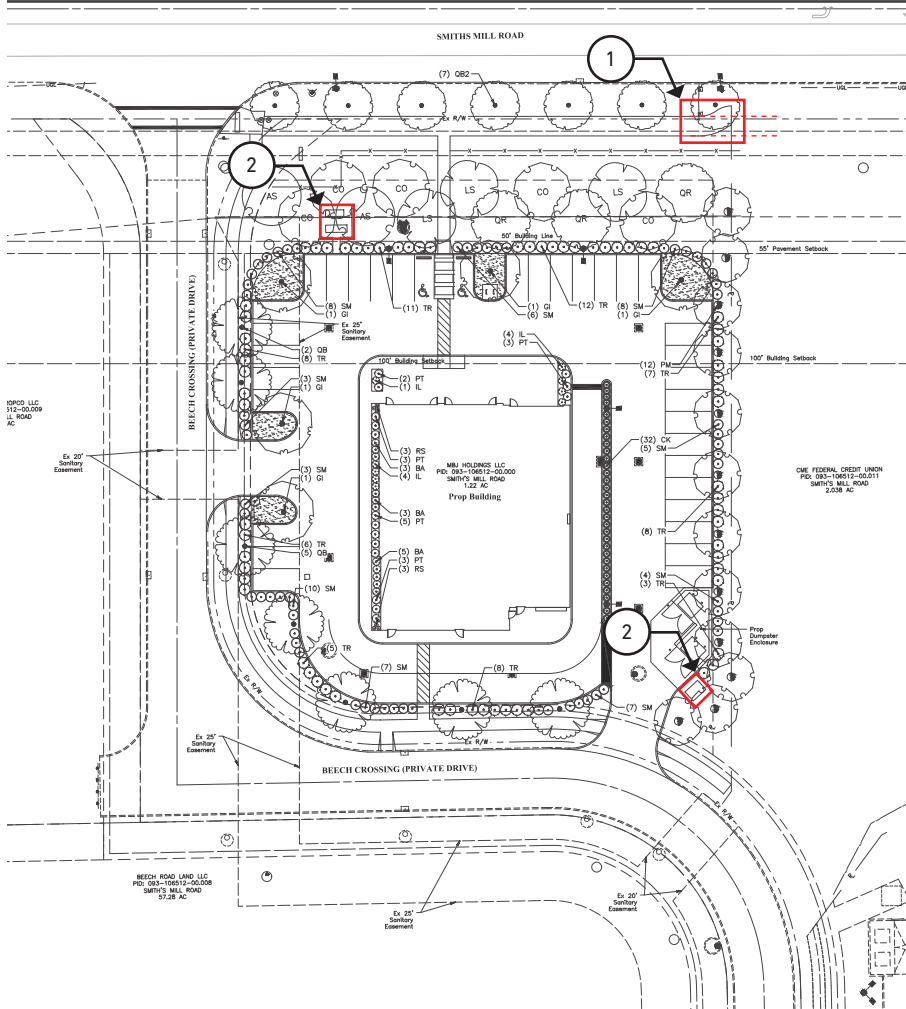
2. Provide evergreen shrubs (36" in ht.) to screen utilities, as marked. See diagram.

*NOTES:

The provided diagram is for clarification and design intent purposes only. The diagram should be used to help illustrate the above comments. It is the responsibility of the design consultants to incorporate the above comments as it relates to the site and to adhere to all City requirements and subsequent code. The diagram may not be to scale.

Development Review

project name Donatos Center
 prepared for City of New Albany
 date June 05, 2024
 date received May 24, 2024



SITE AND PARKING PLANTINGS PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
TREES						
	PM	12	Platanus x acerifolia 'Morton Circle'	Exclamation London Plane Tree	2" Cal.	B&B
PARKING LOT TREES						
	GI	5	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5" Cal.	B&B
COVERAGE TREES						
	OB	7	Quercus bicolor	Swamp White Oak	3" Cal.	B&B
SHRUBS						
	SM	61	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	36" HL*	Cont.
	TR	68	Tous x media 'Runyan'	Runyan Yew	36" HL*	Cont.
GRASSES						
	CK	32	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2	Cont.
PERENNIALS						
	BA	11	Baptisia australis	Blue False Indigo	#2	Cont.
	RS	6	Rubbeckia fulgida 'Goldsturm'	Goldsturm Coneflower	#2	Cont.
SHRUBS-SUN						
	IL	9	Itea virginica 'Little Henry'	Little Henry Dwarf Sweetgale	18" HL	Cont., 36" o.
	PT	16	Physocarpus opulifolius 'SMPTW'	Tiny Wine Ninebark	24" HL	Cont.
SMITH'S MILL ROAD FRONTAGE PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
SETBACK TREES						
	AS	2	Acer saccharum	Sugar Maple	3" Cal.	B&B
	CO	5	Celtis occidentalis	Common Hackberry	2" Cal.	B&B
	LS	3	Liquidambar styraciflua	American Sweet Gum	2" Cal.	B&B
	OR	3	Quercus rubrum	Red Oak	3" Cal.	B&B
STREET TREES PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
STREET TREES						
	OB2	7	Quercus bicolor	Swamp White Oak	3" Cal.	B&B
LANDSCAPE CALCULATIONS						
Treatment Along Smith Mill Road			1171.06 - Parking Lot Landscaping:			
6 Trees per 100 LF of Frontage			1171.06(a)(2): 8% of the parking area shall be landscaped:			
218 LF. of frontage /100 x 6 tree =			16,138 S.F. parking area x .08 =			
13 Trees Required			1491 S.F. landscape area required			
13 Trees Provided			1,240 S.F. landscape area provided			
Treatment Along East Property Line			1171.06(a)(3): 1 deciduous canopy tree for every 10 parking spaces:			
4 Trees per 100 LF of Frontage			35 Total Parking Spaces / 10 =			
283 LF. of frontage /100 x 4 tree =			4 Trees Required			
12 Trees Required			5 Trees Provided			
12 Trees Provided						
1171.05(e) - Landscape Screening-Minimum Trees:						
(2) Between twenty thousand (20,000) and fifty thousand (50,000) square feet: A minimum of one tree for every five thousand (5,000) square feet of ground coverage and a total tree planting equal to ten (10) inches plus one-half inch in tree trunk size for every ten thousand (2,000) square feet over twenty thousand (20,000) feet in ground coverage.			Street trees are provided along Smith's Mill Road at a rate of 1 tree per 30' of frontage.			
±35,789 S.F. Total Ground Coverage						
±35,789 / 5000 = 7 Trees						
±35,789 - 20,000 = ±15,789						
±15,789 / 2000 x .5" = 3.95"±10" = 13.95"						
7 Trees and 14" Required						
7 Trees and 30" Provided						
APPROVALS:						
Planning Commission Chair						
Vice Chair or Designee						
Professional Engineer						
Professional Surveyor						
GRAPHIC SCALE			PRELIMINARY			
			NOT TO BE USED FOR CONSTRUCTION			
1 inch = 30 feet			PLAN SET DATE			
			May 17, 2024			

Proposed Landscape Plan

404.685-01
June 5, 2024
(Revised)

To: Sierra Saumenig
City Planner

From: Matt Ferris, P.E., P.S.
By: Jay M. Herskowitz, P.E., BCEE

Re: Donato's Multi Tenant Bld. FDP

We reviewed the referenced submittal in accordance with Code Sections 1159.07 (b)(3) FDP.
Our review comments are as follows:

1. Please remove the "Preliminary Not for Construction" note block from all sheets when resubmitting the plans.
2. Revise the Site Data Table by adding a line indicating "Parking Required".
3. Expand the view port on the cover sheet to show the existing regional basin that will be utilized for stormwater management.
4. Please show the recorded instrument number on the plans for all existing easements shown on the FDP.
5. Show the location of the stop bar/signs on the landscape plan at both curb cuts and show the site distance triangle. Adjust proposed landscaping if motorist view is impeded in any way.
6. Provide a fire truck turning analysis using the template for the 48' Plain Township fire truck.
7. We will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available.

MEF/JMH

cc: Josh Albright, Development Engineer



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear J. Carter Bean Architect,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, June 18, 2024

The New Albany Planning Commission took the following action on 06/17/2024 .

Final Development Plan

Location: 093-016512-00.000 southwest corner of Beech Road and Smith's Mill Road

Applicant: J. Carter Bean Architect,

Application: PLFDP20240036

Request: Final Development Plan for a multi-tenant building

Motion: To approve with conditions

Commission Vote: Motion Approved with Conditions, 4-0

Result: Final Development Plan, PLFDP20240036 was Approved with Conditions, by a vote of 4-0

Recorded in the Official Journal this June 18, 2024

Condition(s) of Approval:

1. The city's landscape architect comment shall be addressed as part of permitted, subject to staff approval:
 - a. That the applicant modifies the proposed leisure trail along Smith's Mill Road to align with the adjacent site.
 - b. Provide evergreen shrubs that are 36" in height to screen utilities.
2. That staff can review changes or modifications to the proposed patio that would not include changing the size or location.
3. That the applicant revises the landscape plans to be consistent with the approved master landscape plan.
4. The final copy of the proposed signs and future signage is subject to staff approval.
5. The city engineer comments must be addressed, subject to staff approval.
 - o Remove the "Preliminary Not for Construction" note block from all sheets when resubmitting the plans.
 - o Revise the Site Data Table by adding a line indicating "Parking Required".
 - o Expand the view port on the cover sheet to show the existing regional basin that will be utilized for stormwater management.
 - o Show the recorded instrument number on the plans for all existing easements shown on the FDP.
 - o Show the location of the stop bar/signs on the landscape plan at both curb cuts and show the site distance triangle. Adjust proposed landscaping if motorist view is impeded in any way.

- o Provide a fire truck turning analysis using the template for the 48' Plain Township fire truck.
 - o Engineering staff will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available.
6. That the exterior light poles' pedestal heights will be six inches rather than 36 inches.

Staff Certification:

Sierra Saumenig

Sierra Saumenig
Planner



**Planning Commission Staff Report
June 17, 2024 Meeting**

**WRIGHT PATT
FINAL DEVELOPMENT PLAN**

LOCATION: Located generally at the southeast corner of Smith’s Mill Road and Johnstown Road (US-62) (PID: 222-005377)
APPLICANT: Shremshock Architects and Engineers c/o Brandon Anderson
REQUEST: Final Development Plan
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8a
STRATEGIC PLAN: Retail
APPLICATION: FDP-37-2024

Review based on: Application materials received May 17, 2024

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

The application is for a final development plan for a proposed Wright Patt Bank located at the southeast corner of Smith’s Mill Road and Johnstown Road, within the Canini Trust Corp. The development includes a bank with three drive-through lanes on a 1.11-acre site.

The zoning text allows office buildings and the permitted uses contained in the Codified Ordinances of the Village of New Albany, OCD Office Campus District, Section 1144.02 and C-2, Commercial District, Section 1147.02, and the conditional uses contained in Section 1147.02, which includes restaurants and banks with drive-through facilities. The applicant has applied for a conditional use to be heard by the Planning Commission at tonight’s meeting under case CU-43-2024 for the drive-through.

II. SITE DESCRIPTION & USE

The 1.11-acre site is generally located at the southeast corner of Smith’s Mill Road and Johnstown Road, within the Canini Trust Corp. Some of the existing surrounding uses include a proposed Panda Express, Home2Suites, Turkey Hill gas station, as well as Dunkin’ Donuts which also has a drive-through facility.

III. EVALUATION

Staff’s review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission’s review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*

- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan recommends the following development standards for the Neighborhood Retail future land use category:

1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
2. Combined curb cuts and cross access easements are encouraged.
3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
4. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
5. Integrate outdoor spaces for food related businesses.

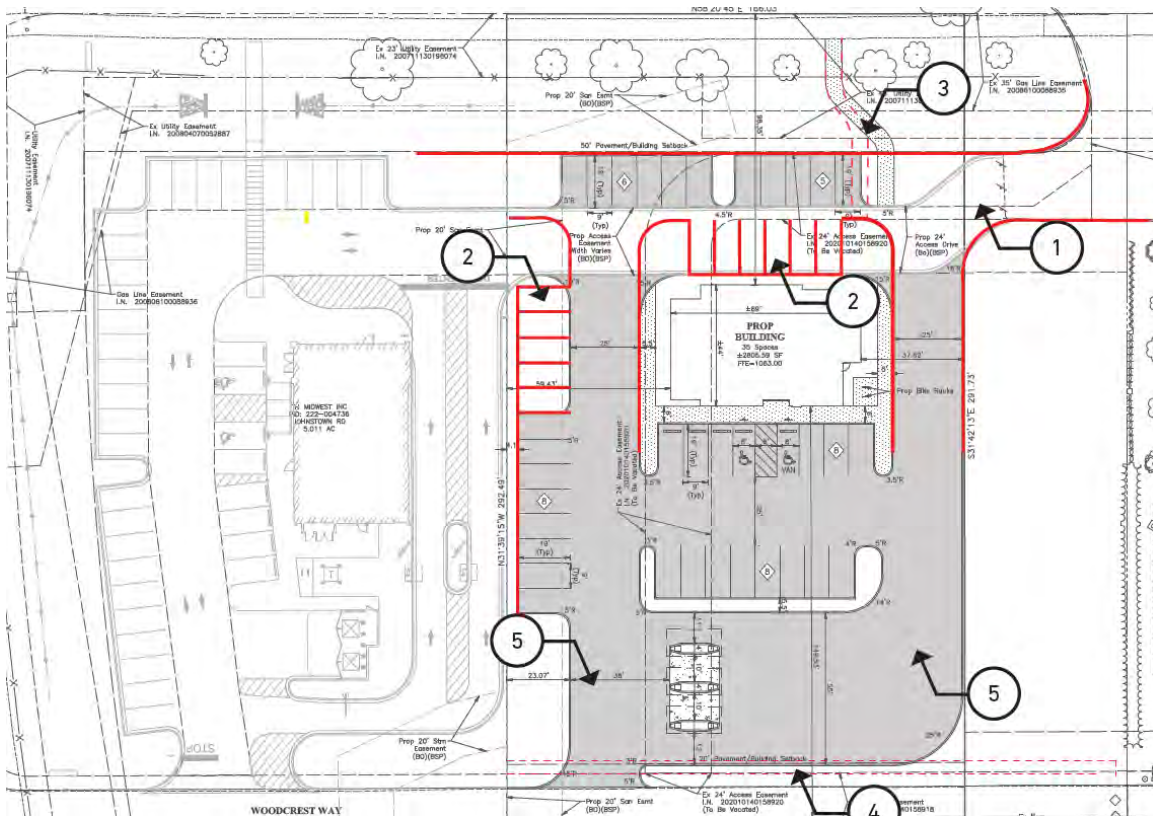
A. Use, Site and Layout

1. The applicant proposes to develop a 2,806 sq. ft. Wright Patt bank with three drive-through lanes. The existing total site size is 1.11-acres.
2. Drive-throughs associated with bank facilities are a conditional use within this zoning district and the applicant has applied for this conditional use to be heard by the Planning Commission at tonight’s meeting under case CU-43-2024.
3. The proposed use is appropriate given the proximity of this site to State Route 161 and the surrounding commercial development surrounding this site. Some of the existing surrounding uses include a proposed Panda Express, Home2Suites, Turkey Hill gas station, as well as Dunkin’ Donuts which also has a drive-through facility.
4. The City Landscape Architect evaluated the proposed drive-through lanes and vehicular circulation at access drives and recommends the applicant provide a pavement marking plan to review vehicular circulation at access drives and drive through lanes. Staff recommends this as a condition of approval (condition 1d).
5. Zoning text section 8a.01(7) requires that the total lot coverage, which includes areas of pavement and building, to not exceed 80%. The plan meets this requirement with a proposed 73% lot coverage amount.
6. The zoning text section 8a.01 requires the following setbacks:

Road	Requirement	Proposed
Woodcrest Way	20-foot building pavement setback	20+/- foot pavement [meets code]
Johnstown Road	50-foot building and pavement	50+/- foot pavement [meets code] 100.86+/- foot building [meets code]
Rear Yard	0-foot building and pavement setback	20-foot pavement [meets code] 149+/- foot building [meets code]

B. Access, Loading, Parking

1. The site is accessed from two proposed curb cuts:
 - a. One full access along Woodcrest Way;
 - b. One existing full access, shared curb cut on Johnstown Road;
 - o The shared drive alignment is skewed. The City Landscape Architect has reviewed the proposed alignment of the shared drive to the north and recommends that the developer realign the access drive adjacent to Johnstown Road to remove the bend/skew to create a consistent transition from the existing drive at the neighboring parcel as depicted below by the “1” circle. Staff recommends this is a condition of approval (condition 1a).



2. The zoning text encourages shared access drives between sites by allowing for zero pavement setbacks and by including a provision stating that where appropriate shared access and joint parking agreements between adjacent parcels may be required by the Village Development Director. Historically, the city staff and Planning Commission have encouraged shared curb cuts and connecting drive aisles between sites. The proposed site does establish a drive aisle for shared access with the property to the east of the site.
 - o The City Landscape Architect, in addition to realigning the shared drive, also recommends that the proposed parking be realigned to follow the building and pavement setback with the shifted access drive, and accommodate minimum parking requirements. Staff recommends this is a condition of approval (condition 1b)
3. The building is surrounded by the parking lot and internal drive aisles. The three drive-through lanes are in the rear of the property and appear to be appropriately positioned on the site where it does not interfere with traffic on the rest of the site and will not cause traffic to back up onto public roads.
4. Codified Ordinance 1167.05(d)(5) requires a minimum of one parking space for each 200 square feet of gross floor area. The building is 2,806 square feet in size therefore 15 parking spaces are required and the applicant meets this requirement with 35 proposed spaces.
5. Additionally, the city parking code requires a minimum number of stacking spaces in the drive thru lane must be provided. The required number of drive-through stacking spaces must equal 25% of the total required parking spaces for the drive-through tenant space. Based on this calculation, 12 stacking spaces total must be provided and the applicant exceeds this requirement by providing 15.
6. Per C.O. 1167.03(a), the minimum parking space dimensions required are 9 feet wide and 19 feet long and this requirement is met.
7. Per C.O. 1167.03(a) the minimum maneuvering lane width size is 22 feet for this development type and this requirement is met.
8. A 5-foot-wide concrete sidewalk is not required to be installed along the Woodcrest Way site frontage per the Woodcrest Way Extension plans. However, the proposed pedestrian connection from Johnstown Road should be realigned to safely connect across the

recommended access drive as depicted above by the “3” circle. Staff recommends this is a condition of approval (condition 1c).

C. Architectural Standards

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design.
2. The zoning text contains architectural standards and is regulated by Section 6 of the Design Guidelines and Requirements (Commercial outside the Village Center).
3. The zoning text states that the maximum building height within this zoning district shall not exceed 45 feet. The proposed building height is 21.8 feet; therefore, this requirement is being met.
4. The applicant proposes to use brick for the majority of the building. The proposal also includes smooth limestone. The zoning text permits the use of these materials such as brick, pre-cast stone, wood, glass and other synthetic materials are permitted as long as they are used appropriately. The design of the building and use of materials is appropriate and consistent with other buildings in the immediate area.
5. Zoning text section 8a.03(1) states that all visible elevations of a building shall receive similar treatment in style, materials and design so that no visible side is of a lesser visual character than any other. The applicant is accomplishing this requirement by utilizing four-sided architecture.
6. DGR Section 6(I)(A)(12) states that buildings shall have operable and active front doors along all public and private roads. The applicant is not providing an active and operable door along the Johnstown Road frontage.
 - o Staff has reviewed the street frontage elevations and recommends reorienting the Woodcrest Way elevation to face Johnstown Road. The current layout appears to have the front of the building along Woodcrest Way and not Johnstown Road. The Johnstown Road elevation includes an inoperable door that is locked at all times as it leads to a staff breakroom. The Woodcrest Way elevation includes architectural features such as an overhead canopy, lighting, and active and operative double doors that would be more appropriate to face the public street. The applicant also should provide a second active and operable door so there is one on both street frontages. Staff recommends this as a condition of approval (condition 2).
7. Zoning text section 8a.05(3) requires that trash receptacles and exterior storage areas be fully screened from public roads. The applicant is not proposing trash receptacles or exterior storage on site.
8. C.O. 1171.05(b) also states that all trash and garbage container systems must be screened. The applicant is not proposing a trash and garbage container system on site.
9. A roof plan was submitted and demonstrates that all rooftop mechanical equipment will be fully screened from all public roads.
10. Zoning text section 8a.03(3)(b) states that if a flat roof is used, strong cornice lines must be integrated and the applicant is meeting this.

D. Parkland, Buffering, Landscaping, Open Space, Screening

2. Parking Lot Landscaping Requirement:
 - o Codified Ordinance 1171.06(a)(3) requires one tree per 10 parking spaces. The applicant is providing 35 parking spaces thereby requiring four trees. The plan meets this requirement by providing 8 trees.
 - o Per zoning text 8a.04(4)(a), parking lots shall be screened from rights-of-way with a minimum 36-inch-high evergreen landscape hedge or wall. The landscape plan meets this requirement with the proposed 36-inch-high evergreen landscape hedge.
3. General Site Landscaping Requirement:
 - o Codified Ordinance 1171(5)(e) requires parking lots over 20,000 square feet to have a minimum of one tree per 5,000 square feet of ground coverage and a total tree planting equal to 10.5 in tree trunk size for every 2,000 square feet of ground

coverage. The applicant states that the internal ground coverage is 35,245 sq. ft. requiring 8 trees at 11.5" total caliber (CAL).

- The applicant proposes to provide 8 trees at 20" total CAL. However, this calculation includes the required parking lot trees. Since the applicant is providing 4 more trees than what is required for parking lot trees, 4 additional trees need to be added in order to meet this ordinance requirement. Staff recommends this as a condition of approval (condition 3).

4. Street Tree Landscaping Requirement:

- The zoning text section 8a.04(2) requires street trees to be planted along Johnstown Road at a rate of one tree for every 30 feet. There are existing street trees along this roadway and the applicant proposes to install additional trees to meet this requirement.
- The applicant is required to install street trees along Woodcrest Way per the approved Woodcrest Way final development plan (FDP-69-2014). The Woodcrest Way final development plan requires the street trees along private drives to be red sunset maple. This requirement is met.
- The Woodcrest Way final development plan requires the site plan and landscape plan to include a 5' wide tree lawn along Woodcrest Way. The plan meets this requirement.

5. US 62/Johnstown Road Buffer Landscaping Requirement:

- Zoning text section 8a.04(5) requires that there be a minimum of eight (8) deciduous or ornamental trees per 100 lineal feet planted throughout the setback areas along Johnstown Road. The proposed landscape plan shows 14 trees required for Johnstown Road and the plan is showing 8 proposed trees.
 - The City Landscape Architect has reviewed the plans and the applicant needs to provide 6 additional trees to meet this requirement. Staff recommends this as a condition of approval (condition 1e).

6. The zoning text requires a minimum of 8% interior parking lot landscaping on the site. The landscape plan meets this requirement.

7. The applicant proposes to use ornamental trees for buffer trees that are required per code. The plan also proposes that the buffer ornamental trees be planted at 2.5" CAL. This requirement is met.

8. Staff recommends a condition of approval that all City Landscape Architect's comments are met at the time of engineering permits, subject to staff approval.

E. Lighting & Signage

1. A lighting plan was not submitted with this application therefore, staff recommends a condition of approval that the applicant must meet Zoning text section 8a.05(e) and (f) requiring all parking lot and private driveway light poles to be cut-off and downcast, not exceed 20 feet in height, painted New Albany Green and use the same fixture that has been used at Dairy Queen and throughout the Canini Trust Corp (condition 4).

2. Wall Signs

Zoning text section 8a.06(3)(i) permits one wall mounted sign per retail tenant on each elevation of the building that fronts or sides on a public or private road. The proposed building faces two public streets or private drives, therefore permitting a maximum of two wall signs on the building. One square foot of sign face is permitted per each lineal foot of the building, not to exceed 80 square feet in size. The applicant proposes the following wall signs.

Johnstown Road Elevation Wall Sign

- a. Area: 38.26 sq. ft. per sign [meets code]
- b. Lettering Height: 24" tall [meet code, 24-inch maximum required]
- c. Location: on the Johnstown Road building elevation [meets code]
- d. Lighting: halo [meets code]
- e. Relief: 3" [meets code, code minimum of 1-inch relief required]

- f. Color: 1 color [meets code]
- g. Materials: metal [meets code]

The City Architect evaluated the sign along Johnstown Road and recommends that the applicant reduce the limestone backing and add brick panels as shown below. Staff recommends this has a condition of approval (condition 5).



Woodcrest Way Elevation Wall Sign

- a. Area: 38.26 sq. ft. per sign [meets code]
- b. Lettering Height: 24" tall [meet code, 24-inch maximum required]
- c. Location: on the Johnstown Road building elevation [meets code]
- d. Lighting: halo [meets code]
- e. Relief: 3" [meets code, code minimum of 1-inch relief required]
- f. Color: 1 color [meets code]
- g. Materials: metal [meets code]

3. The applicant proposes to install three drive-through ATM machines which is permitted per C.O. 1169.11(a). Signage per code, is required to be limited to one square foot of sign areas and utilize no more than three colors. Additionally, signage must have an opaque background. The applicant is showing one sign that is 0.96 square feet meeting code. However, other signs are proposed but those were not included in the plans. Based on this requirement, city staff recommends a condition of approval that these additional signs be eliminated to avoid over-signing the site (condition 6).

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition 7).

1. Remove the "Preliminary Not for Construction" note block from all sheets when resubmitting plans.
2. Revise the Site Data Table by adding a line indicating "Parking Required."

3. Expand the view port on the cover sheet to show the existing regional basin that will be utilized for stormwater management.
4. A 6-inch sanitary sewer is shown as “By Others” on sheet 2. Note that mainline sanitary sewers must be a minimum of 8 inches per the COC/DOSD Design Manual.
5. Provide more information regarding lighting and photometrics.
6. Add one-way directional arrows to the drive through lanes.
7. Show the location of the stop bar/sign on the landscape plan at the Woodcrest Way curb cut and show the site distance triangle. Adjust proposed landscaping if motorist view is impeded in any way.
8. Provide a fire truck turning analysis using the template for the 48’ Plain Township fire truck.
9. Engineering staff will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available.

V. SUMMARY

The proposal meets many of the goals of the Engage New Albany Strategic Plan such as providing pedestrian access along roadways and into the site, as well as utilizing high quality building materials that are consistent with other buildings in the immediate area. The proposed development is in an appropriate location given the context of the surrounding area and will serve as an amenity for the New Albany Business Park. The proposed building elevations however should be reoriented so the Woodcrest Way building elevation with the canopy and active and operable doors is facing Johnstown Road as this is designed to be the front of the proposed development.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

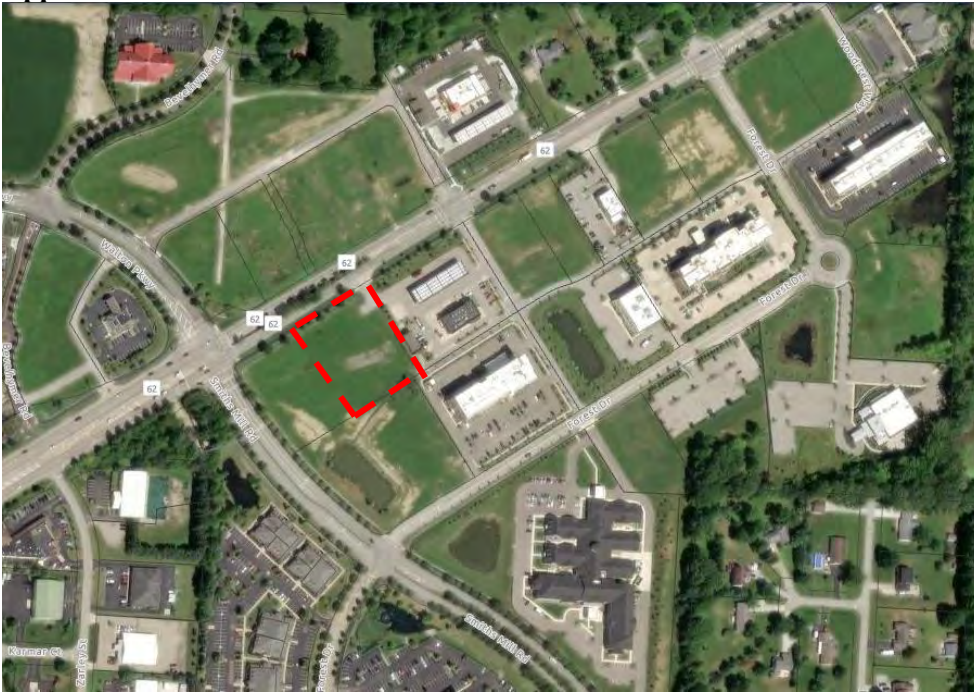
Move to approve final development plan application **FDP-37-2024**, subject to the following conditions:

1. The City Landscape Architect’s comments must be addressed, subject to staff approval;
 - a. Realign the access drive adjacent Johnstown Road to create a consistent transition from the existing drive at the neighboring parcel.
 - b. Realign the proposed parking to follow the building and pavement setback with the shifted access drive, and accommodate parking requirements.
 - c. Realign proposed pedestrian connection from Johnstown Road to safely connect across the recommended access drive.
 - d. Provide a pavement marking plan for review of vehicular circulation at access drives and drive through lanes. Resubmit plans. sidewalk connection from the Smith’s Mill road leisure trail to the site’s proposed curb cut is installed.
 - e. That the applicant installs 6 additional trees on the Johnstown Road frontage to meet the required 14 trees for 165 linear feet of site frontage.
2. That the applicant reorients the street frontage elevations so that the front of the building faces Johnstown Road as well as add an active and operative door so that both street frontages have one.
3. That the applicant proposes 4 additional trees to meet the codified ordinance 1175(5)(e)
4. That the applicant provides a lighting plans meeting Zoning text section 8a.05(e) and (f) requiring all parking lot and private driveway light poles to be cut-off and downcast, not exceed 20 feet in height, painted New Albany Green and the use the same fixture that has been used at Dairy Queen and throughout the Canini Trust Corp.
5. That the applicant re-design the wall sign along Johnstown Road to decrease the limestone backing and add brick panels.
6. The additional signage on the ATM be eliminated to avoid over-signage.
7. The City Engineer’s comments must be addressed, subject to staff approval;
 - o Remove the “Preliminary Not for Construction” note block from all sheets when resubmitting plans.

- Revise the Site Data Table by adding a line indicating “Parking Required.”
- Expand the view port on the cover sheet to show the existing regional basin that will be utilized for stormwater management.
- A 6-inch sanitary sewer is shown as “By Others” on sheet 2. Note that mainline sanitary sewers must be a minimum of 8 inches per the COC/DOSD Design Manual.
- Provide more information regarding lighting and photometrics.
- Add one-way directional arrows to the drive through lanes.
- Show the location of the stop bar/sign on the landscape plan at the Woodcrest Way curb cut and show the site distance triangle. Adjust proposed landscaping if motorist view is impeded in any way.
- Provide a fire truck turning analysis using the template for the 48’ Plain Township fire truck.
- Engineering staff will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available

8. That the proposal is contingent upon approval of CU-37-2024.

Approximate Site Location:



Source: Nearmap

Development Review

project name Wright Pratt
prepared for City of New Albany
date May 24, 2024
date received May 17, 2024

COMMENTS

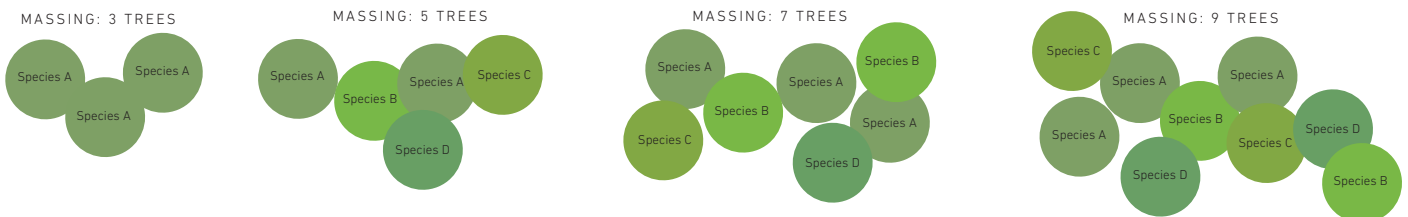
Site Plan

1. Realign the access drive adjacent Johnstown Road to create a consistent transition from the existing drive at the neighboring parcel. See diagram.
2. Realign the proposed parking to follow the building and pavement setback with the shifted access drive, and accommodate parking requirements. See diagram.
3. Realign proposed pedestrian connection from Johnstown Road to safely connect across the recommended access drive. See diagram.
4. Provide a pavement marking plan for review of vehicular circulation at access drives and drive through lanes. Resubmit plans. See diagram.

Planting Plan

6. Utilize evergreen shrubs, 36" in height, to screen edge of parking lot. See diagram.
7. Per zoning text section 8a.04(5), Throughout the setback areas along Johnstown Road (U.S. Route 62) and Smith's Mill Road, there shall be a minimum of eight trees per 100 lineal feet of site frontage. These trees shall be either 2 ½ inch caliper deciduous shade trees, 1 1/2 inch caliper ornamental trees, or a combination of both. Please revise and resubmit. Resubmit revised planting plan. Tree placement should adhere to tree grouping standards seen below. See diagram.
8. You are required to install trees along Woodcrest Way (private, rear drive) per the approved Woodcrest Way final development plan (FDP-69-2014). The Woodcrest Way final development plan requires the trees along private drives to be red sunset maple. The trees must be installed at a rate of 1 tree for every 30 feet of site frontage along the private road. Resubmit revised planting plan. See diagram.

Tree Grouping Standards

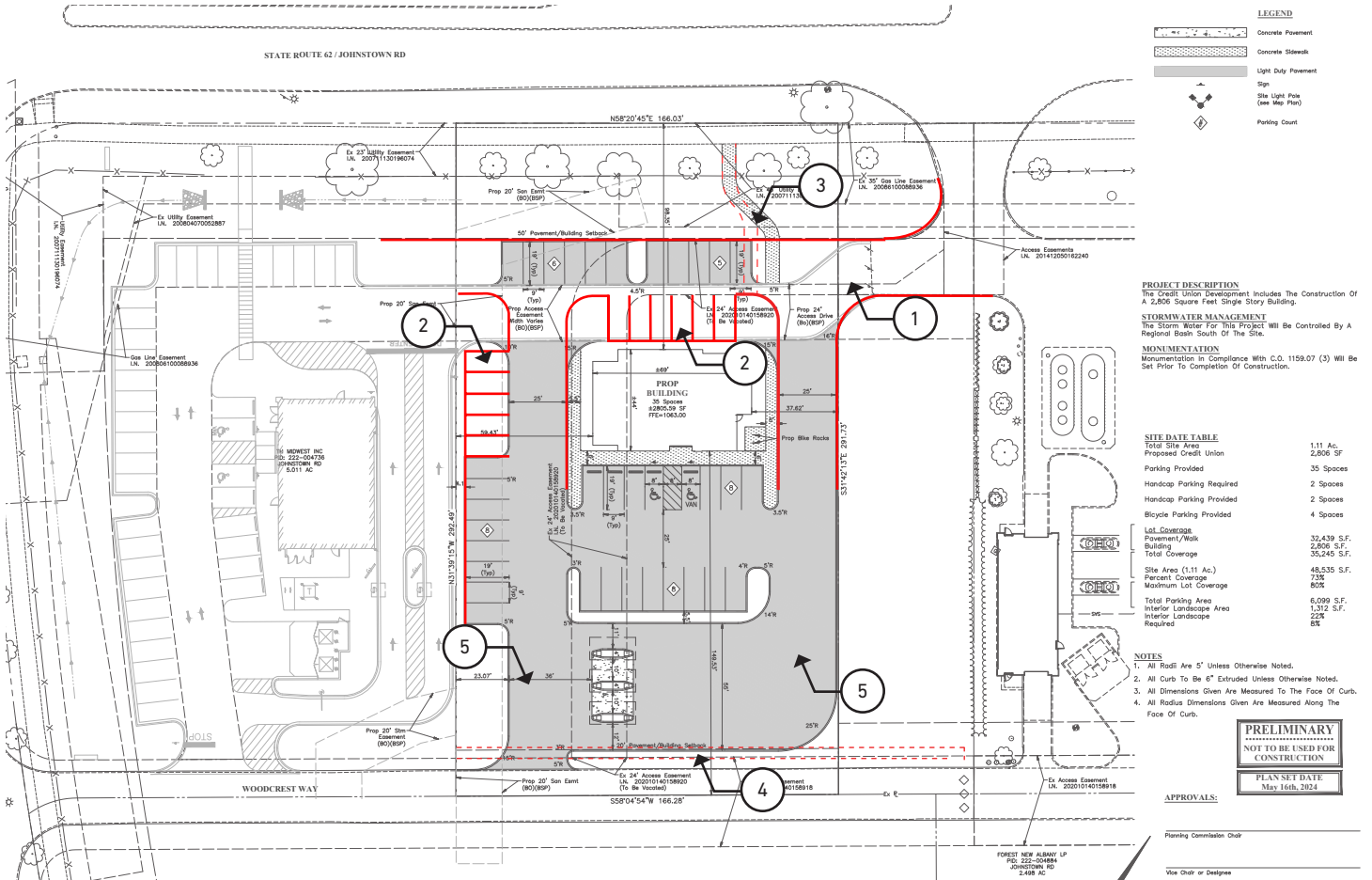


*NOTES:

The provided diagram is for clarification and design intent purposes only. The diagram should be used to help illustrate the above comments. It is the responsibility of the design consultants to incorporate the above comments as it relates to the site and to adhere to all City requirements and subsequent code. The diagram may not be to scale.

Development Review

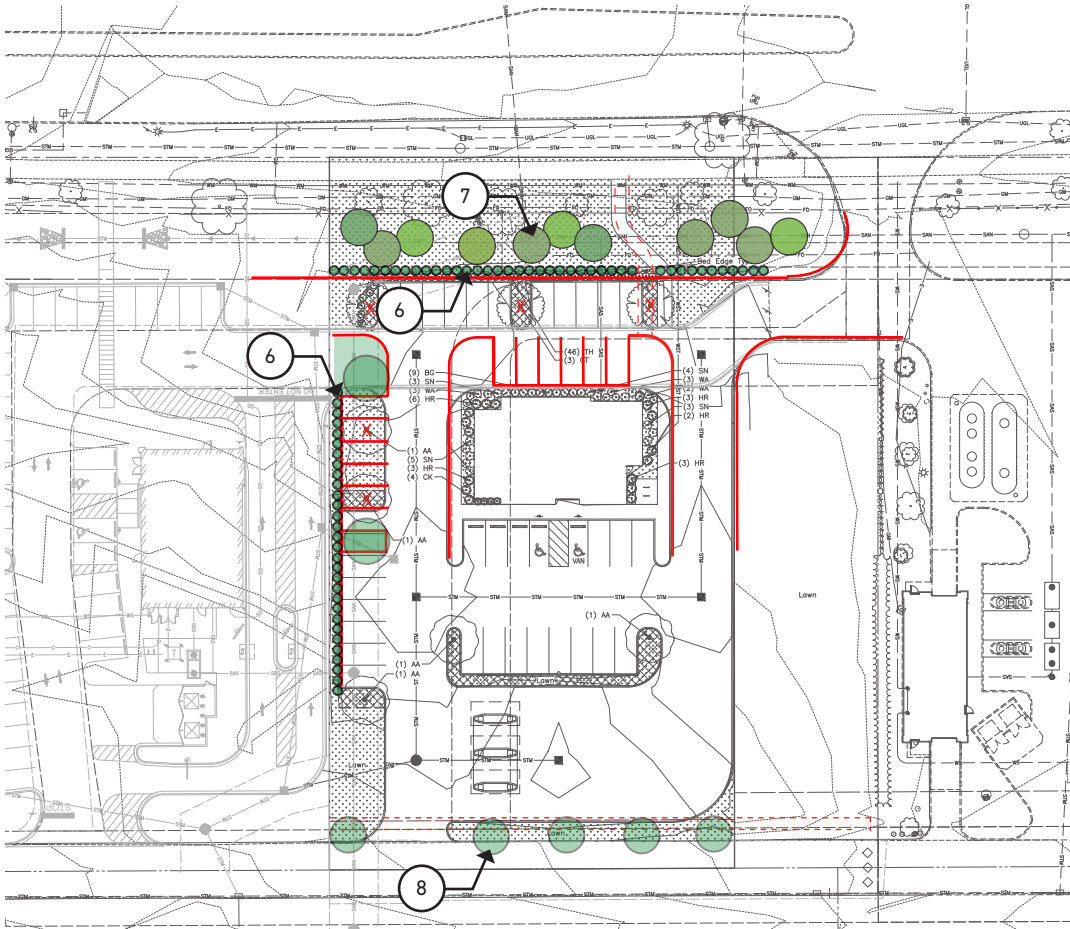
project name Wright Pratt
 prepared for City of New Albany
 date May 24, 2024
 date received May 17, 2024



Proposed Site Plan

Development Review

project name Wright Pratt
 prepared for City of New Albany
 date May 24, 2024
 date received May 17, 2024



Notes and Calculations
 Please refer to the New Albany planning and zoning code and development text.

1171.05 Minimum Trees
 The following minimum is required, based upon total ground coverage of structures and vehicular use areas:
 Between 20,000 and 50,000 Square Feet: A minimum of one tree for every five thousand (5000) square feet of ground coverage and a total tree planting equal to ten (10) inches plus one half inch in tree trunk size for every two thousand (2000) square feet over twenty thousand (20,000) feet in ground coverage.
 Total Internal ground coverage = ±35,245 Sq. Ft.
 Total Square feet Above 20,000 = ±15,245 Sq. Ft.
 $35,245 / 5,000 = 7,049 = 8$
 $15,245 / 2,000 = 7,66 \times .5 = 3,83 + 10" = 13.83 = 14"$
 8 Trees and 14" Required
 8 Trees and 20" Provided

1171.06 Parking Lot Landscaping
 Parking Lot Islands - For each one hundred (100) square feet, or fraction thereof, of parking area, a minimum total of eight (8) square feet of landscaped area shall be provided (8%).
 Total Parking Area = 6,099 Sq. Ft.
 Interior Landscape Area Required = 488 Sq. Ft.
 Interior Landscape Area Provided = ±1,312 Sq. Ft. (22%)
 Landscaped Area Parking Landscaped Area

3. Parking areas should contain a minimum of one deciduous canopy tree for every ten (10) parking spaces.
 Parking Spaces: 35 Spaces
 Trees Required: 4 Trees
 Trees Provided: 8 Trees

(b) Buffering - Parking lots shall be screened from primary streets, residential areas, and open space by a three and one-half (3.5)-foot minimum height evergreen hedge.
 Screening Hedge Provided along Johnstown Road Parking

PLANT SCHEDULE OVERALL

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION
TREES					
	AA	5	Acer saccharum 'Autumn Splendor' Autumn Splendor Sugar Maple	2.5" Cal.	B&B
	GT	3	Gleditsia triacanthos f. inermis Thornless Honey Locust	2.5" Cal.	B&B
SHRUBS					
	BG	9	Buxus 'Green Gem' Green Gem Boxwood	24" HL.	Cont.
	CK	4	Colonnada 'x. ovaliflora' 'Carl Forster' Karl Forster Feather Reed Grass	#3	Cont.
	HR	17	Hydrangea quercifolia 'Ruby Slippers' Ruby Slippers Oakleaf Hydrangea	24" HL.	Cont.
	SN	15	Spiraea japonica 'SMNS-MFR' Double Play Red Spirea	24" HL.	Cont.
	TH	46	Taxus x media 'Hicksi' Hicks Anglo-Japanese Yew	24" HL.	Cont.
	WA	8	Wedges 'Harris' 'Newmans' Wine & Roses Weigela	24" HL.	Cont.

Proposed Landscape Plan

404.684-01
June 5, 2024

To: Sierra Saumenig
City Planner

From: Matt Ferris, P.E., P.S.
By: Jay M. Herskowitz, P.E., BCEE

Re: Wright Patt Credit Union FDP

We reviewed the referenced submittal in accordance with Code Sections 1159.07 (b)(3) FDP.
Our review comments are as follows:

1. Please remove the "Preliminary Not for Construction" note block from all sheets when resubmitting the plans.
2. Revise the Site Data Table by adding a line indicating "Parking Required".
3. Expand the view port on the cover sheet to show the existing regional basin that will be utilized for stormwater management.
4. A 6 inch sanitary sewer is shown as "By Others" on sheet 2. Note that mainline sanitary sewers must be a minimum of 8 inches per the COC/DOSD Design Manual.
5. Provide more information regarding lighting and photometrics.
6. Add one way directional arrows to the drive through lanes.
7. Show the location of the stop bar/sign on the landscape plan at the Woodcrest Way curb cut and show the site distance triangle. Adjust proposed landscaping if motorist view is impeded in any way.
8. Provide a fire truck turning analysis using the template for the 48' Plain Township fire truck.
9. We will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available

MEF/JMH

cc: Josh Albright, Development Engineer



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Brandon Anderson,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, June 18, 2024

The New Albany Planning Commission took the following action on 06/17/2024 .

Final Development Plan

Location: 9880 Johnstown Rd.

Applicant: Brandon Anderson,

Application: PLFDP20240037

Request: Final development plan to allow for construction of a 2,806 square foot Wright Patt bank with three drive-throughs on 2.6 acres located generally near the southeast corner of US-62 and Smiths Mill Road (PID: 222-004736).

Motion: To approve with conditions

Commission Vote: Motion Approved with Conditions, 4-0

Result: Final Development Plan, PLFDP20240037 was Approved with Conditions, by a vote of 4-0.

Recorded in the Official Journal this June 18, 2024

Condition(s) of Approval:

1. The City Landscape Architect's comments must be addressed, subject to staff approval;
 - a. Realign the access drive adjacent Johnstown Road to create a consistent transition from the existing drive at the neighboring parcel.
 - b. Realign the proposed parking to follow the building and pavement setback with the shifted access drive, and accommodate parking requirements.
 - c. Realign proposed pedestrian connection from Johnstown Road to safely connect across the recommended access drive.
 - d. Provide a pavement marking plan for review of vehicular circulation at access drives and drive through lanes. Resubmit plans. Sidewalk connection from the Smith's Mill road leisure trail to the site's proposed curb cut is installed.
 - e. That the applicant installs 6 additional trees on the Johnstown Road frontage to meet the required 14 trees for 165 linear feet of site frontage.
2. That the applicant reorients the street frontage elevations so that the front of the building faces Johnstown Road as well as add an active and operative door so that both street frontages have one.
3. That the applicant proposes 4 additional trees to meet the codified ordinance 1175(5)(e)
4. That the applicant provides a lighting plans meeting Zoning text section 8a.05(e) and (f) requiring all parking lot and private driveway light poles to be cut-off and downcast, not exceed 20 feet in height, painted New Albany Green and the use the same fixture that has been used at Dairy Queen and throughout the Canini Trust Corp.
5. That the applicant re-design the wall sign along Johnstown Road to decrease the limestone backing

and add brick panels.

6. The additional signage on the ATM be eliminated to avoid over-signage.
7. The City Engineer's comments must be addressed, subject to staff approval;
 - o Remove the "Preliminary Not for Construction" note block from all sheets when resubmitting plans.
 - o Revise the Site Data Table by adding a line indicating "Parking Required."
 - o Expand the view port on the cover sheet to show the existing regional basin that will be utilized for stormwater management.
 - o A 6-inch sanitary sewer is shown as "By Others" on sheet 2. Note that mainline sanitary sewers must be a minimum of 8 inches per the COC/DOSD Design Manual.
 - o Provide more information regarding lighting and photometrics.
 - o Add one-way directional arrows to the drive through lanes.
 - o Show the location of the stop bar/sign on the landscape plan at the Woodcrest Way curb cut and show the site distance triangle. Adjust proposed landscaping if motorist view is impeded in any way.
 - o Provide a fire truck turning analysis using the template for the 48' Plain Township fire truck.
 - o Engineering staff will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available
8. That the proposal is contingent upon approval of CU-37-2024

Staff Certification:

Sierra Saumenig

Sierra Saumenig
Planner



**Planning Commission Staff Report
June 17, 2024 Meeting**

**WRIGHT PATT DRIVE-THROUGH
CONDITIONAL USE**

LOCATION: Located generally at the southeast corner of Smith’s Mill Road and Johnstown Road (US-62) (PID: 222-005377)
APPLICANT: Shremshock Architects and Engineers c/o Brandon Anderson
REQUEST: Conditional Use
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8a
STRATEGIC PLAN: Retail
APPLICATION: CU-43-2024

Review based on: Application materials received April 19, 2024 and May 10, 2024

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

The applicant requests approval of a conditional use to allow three drive-through ATMs to be developed as part of a Wright Patt bank use. The Canini Trust Corp (I-PUD) zoning text allows the C-2 General Business (Commercial) District which permits banks uses. Drive-through facilities associated with a permitted use are conditional uses.

This request is in conjunction with a final development plan (FDP-37-2024).

II. SITE DESCRIPTION & USE

The 1.11-acre site is generally located at the southeast corner of Smith’s Mill Road and Johnstown Road, within the Canini Trust Corp. Some of the existing surrounding uses include a proposed Panda Express, Home2Suites, Turkey Hill gas station, as well as Dunkin’ Donuts which also has a drive-through facility.

III. EVALUATION

The general standards for conditional uses are contained in Codified Ordinance Section 1115.03. The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location meets all of the following requirements:

- (a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*

Uses:

- The applicant proposes to develop a 2,806 sq. ft. Wright Patt bank with three drive-through lanes. The existing total site size is 1.11-acres. All three drive-throughs are for standalone ATMs where bank patrons would drive up to. They are not connected to the proposed bank. Banks with drive-through facilities are a conditional use within this zoning district.

- The Engage New Albany Strategic Plan identifies this area as the retail future land use area. The proposed use is appropriate based on its proximity to State Route 161, the New Albany Business Park and the surrounding uses. The site is located within the Canini Trust Corp which envisions this type of use.
- The building is surrounded by the parking lot, three drive-through lanes and internal drive aisles. The drive-throughs appear to be appropriately positioned in the side yard of the site where it does not interfere with traffic on the rest of the site.
- It does not appear that the proposed drive-through use will alter the character of the surrounding area. This area is zoned to allow retail and personal services uses such as restaurants and banks which typically have drive-through facilities. Additionally, the Planning Commission recently approved multiple drive throughs in the area for Panda Express, Popeyes, Wendy's, Dairy Queen, Sheets, and Dunkin Donuts developments which all included a drive-through facility and are located near this proposed development. This subarea of the Canini Trust Corp also contains other car-oriented businesses such as a Turkey Hill gas station and Valvoline oil change service

Architecture:

- The design of the commercial building and use of materials is appropriate and consistent with other buildings in the immediate area. The building is well designed architecturally and meets the majority of code requirements and DGR requirements.
- The drive-through ATMs are appropriately sized, designed, and located so they don't front the primary street: Johnstown Road. The drive-through lanes are in the rear of the site facing Woodcrest Way which is a private street.
- They are appropriately designed by using similar building materials that are used on the elevations of the building. The ATM drive-through canopies are proposed to be constructed with a flat seam metal roof with brick and stone columns that match the building's proposed material colors.
- The overall height of the building is 21.8 feet which meets the 45-foot maximum height allowed by the zoning text.
- All of the mechanical equipment is located on the roof of the building and will be fully screened from the public rights-of-way as well as private roads.

Parking & Circulation:

- Per Codified Ordinance 1167.05(d)(5) requires a minimum of one parking space for each 200 square feet of gross floor area. The building is 2,806 square feet in size therefore 15 parking spaces are required and the applicant meets this requirement with 35 proposed spaces.
- Additionally, the city parking code requires a minimum number of stacking spaces in the drive through lane must be provided. The required number of drive-through stacking spaces must equal 25% of the total required parking spaces for the drive-through tenant space. Based on this calculation, 12 stacking spaces total must be provided and the applicant is exceeding this requirement by providing 15.
- The building is surrounded by the parking lot, three drive-through lanes and internal drive aisles. The drive-through appears to be appropriately positioned on the site where it does not interfere with traffic on the rest of the site and will not cause traffic to back up onto public roads.
- The Trust Corp site has a strong internal roadway network that supports car-oriented developments. The lot is surrounded by public roads on two sides that allows traffic to and from the site to be dispersed. Additionally, the site fronts a private road to the south of the site. The public roads and private road network provide multiple connections to public streets.

Landscaping:

- A landscape plan has been submitted with the final development plan application for this site. The City Landscape Architect's comments can be found in the final development plan staff report.

- (b) *The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.*
 - The proposed use is harmonious with the existing and intended character of the general vicinity and will not change the essential character of the area.
 - The proposed use is appropriate due to its proximity to the State Route 161 interchange and the New Albany Business Park.
 - This site is located within the Canini Trust Corp which envisions this type of use. There are existing restaurants with drive-through facilities that are developed in this zoning district which would be compatible with bank drive-throughs.

- (c) *The use will not be hazardous to existing or future neighboring uses.*
 - The use does not appear to be hazardous to the existing or future neighboring uses. It appears that this is an appropriate location for a drive-through facility.

- (d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*
 - Sewer and water service are available in this location.
 - Woodcrest Way was recently extended the length of the southern property line of this proposed development.
 - The proposed commercial development will produce no new students for the school district.

- (e) *The proposed use will not be detrimental to the economic welfare of the community.*
 - The proposed use does not appear to be detrimental to the economic welfare in the city due to the creation of jobs that generate income taxes and provide amenities for the business park.

- (f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*
 - It does not appear the site will involve operations that will be detrimental to adjacent uses. This area of the city is auto-oriented and is in close proximity to State Route 161. US-62 is currently heavily traveled therefore it is reasonable to assume that this development will be frequently visited and serve as an important asset to those in the surrounding area.

- (g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*
 - The site is proposed to be accessed via two new curb cuts; one along Woodcrest Way and one proposed shared curb cut with the adjacent property.
 - The building is surrounded by the parking lot and internal drive aisles. The proposed drive-through lanes appear to be properly designed on the site so that the drive through traffic does not interfere with the traffic circulation on the rest of the site.

III. SUMMARY

The overall proposal is consistent with the code requirements for conditional uses. The proposed use is appropriate for the site based on the current zoning and the Engage New Albany Strategic Plan land use recommendations. Retail has historically been approached in a thoughtful and prescribed way that promotes a planned amount of land being dedicated to this use. Due to the 24 0617 Wright Patt Conditional Use CU-43-2024

close proximity of this site to State Route 161 and this portion of the business park, the drive-through is appropriate in this location.

The proposed use will not change the character of the US-62 corridor as there are existing restaurants with drive-through facilities within the Canini Trust Corp site and the other drive-through developments located along the street.

The drive-through lanes are in appropriate locations given their orientation and the travel pattern appears to be appropriately designed so it will not interfere with traffic circulation on the rest of the site.

Overall, the proposed development meets many of the Engage New Albany Strategic Plan development standards; the drive-through still allows the site to include walkways and landscaping to enhance visual aspects of the development and building entrances that connect with a pedestrian network and promote connectivity.

ACTION

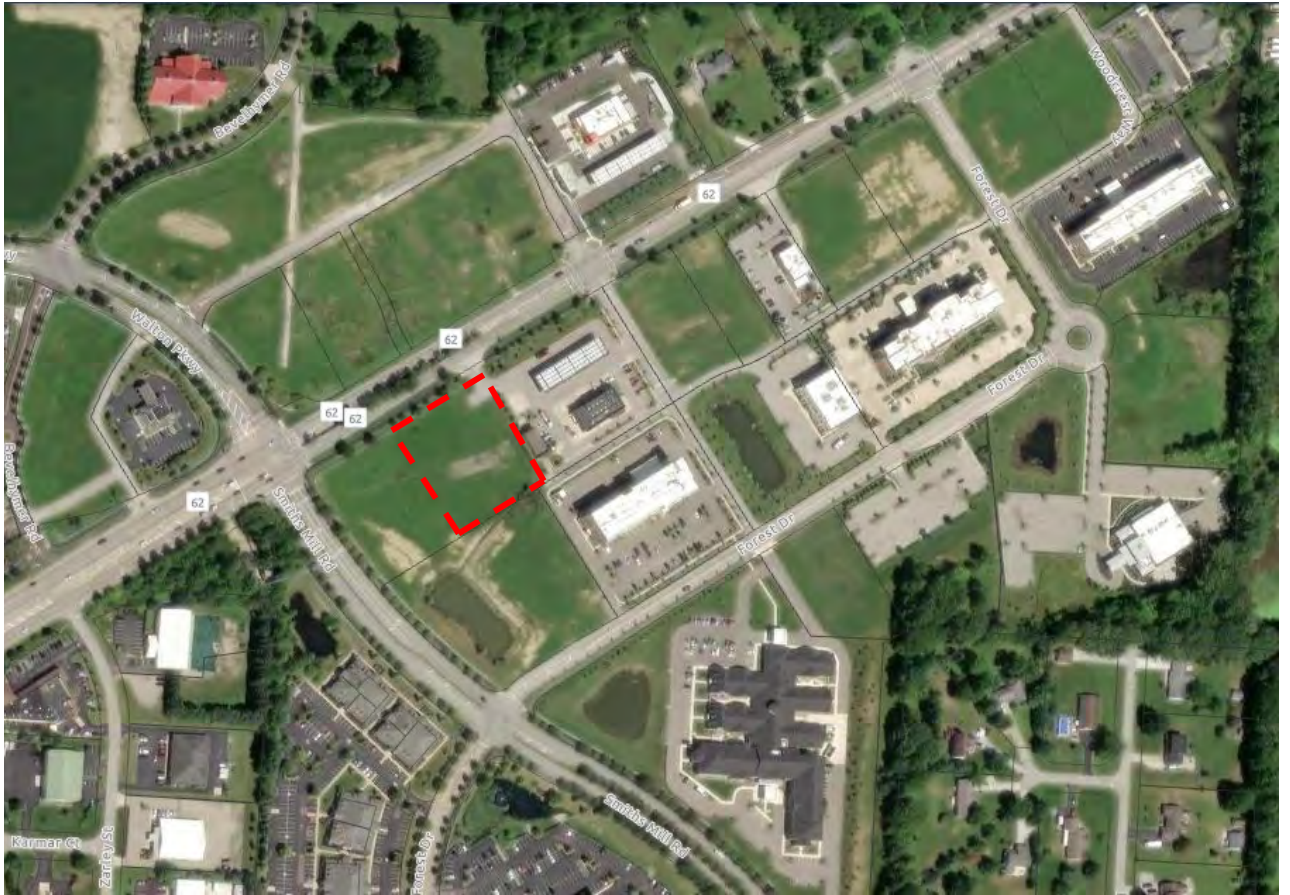
The Commission shall approve, approve with supplementary conditions, or disapprove the application as presented. If the application is approved with supplementary conditions, the Planning Commission shall direct staff to issue a zoning permit listing the specific conditions listed by the Planning Commission for approval.

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application CU-43-2024 with the following conditions:

1. The conditional use permit will become void if a different kind of business, other than a bank, occupies this tenant space.

Approximate Site Location:



Source: Nearmap



SHREMSHOCK

Architects & Engineers
7775 Walton Parkway
Suite 250
New Albany, OH 43054

t 614 545 4550
888 373 4130
f 614 545 4555
www.shremshock.com

05/17/2024

City of New Albany, Ohio
99 W Main St, New Albany, OH 43054

Attn: Chris Christian

Application for Conditional Use.

1. Applicant:
Brandon Anderson
Shremshock Architects
775 Walton Parkway Suite 250
New Albany, OH 43054
2. Legal Description of Property:
JOHNSTOWN RD
R16 T2 1/4T1
5.011 acres
3. Description of existing use:
Vacant Lot
4. Present Zoning District:
IPUD "Infill Planned Unity Development"
5. Description of Proposed conditional use:
ATM and Drive-Thru Canopy is proposed.
6. Plan of proposed site:
See attached site plan of proposed conditional use showing locations of buildings, parking, etc.
7. Narrative statement evaluating effects of adjoining property:
It is anticipated that the proposed ATM drive-thru canopy design will elicit no impact on any adjoining properties. The lighting of the ATM canopy will be primarily downlit and will not cause any light pollution. The proposed ATM drive-thru canopy design will be compatible with neighboring properties, see attached elevations.

8. Names and addresses of all property owners within 200 feet, contiguous to, and directly across the street from the project.

Parcel ID	Owner	Address
222-005174-00	GOC REALCO LLC	9855 JOHNSTOWN RD
222-005176-00	JNBG LAND HOLDINGS LLC	9875 JOHNSTOWN RD
222-005177-00	ALDI INC (OHIO)	9895 JOHNSTOWN RD
222-000347-00	SMITH MILL VENTURES LLC	10000 JOHNSTOWN RD
222-004884-00	FOREST NEW ALBANY LP	5095 FOREST DR
222-000617-00	NEW ALBANY COMPANY LLC	9887 JOHNSTOWN RD
222-005377-00	ECC JOHNSTOWN LLC	No address
222-005378-00	ECC JOHNSTOWN LLC	No address



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Brandon Anderson,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, June 18, 2024

The New Albany Planning Commission took the following action on 06/17/2024 .

Conditional Use

Location: 9880 Johnstown Rd.

Applicant: Brandon Anderson

Application: PLCU20240043

Request: Request for a conditional use permit to operate a drive-through use associated with a Wright Patt bank located generally near the southeast corner of US-62 and Smiths Mill Road (PID: 222-005377).

Motion: To approve with conditions

Commission Vote: Motion Approved with Conditions, 4-0

Result: Conditional Use, PLCU20240043 was Approved with Conditions, by a vote of 4-0.

Recorded in the Official Journal this June 18, 2024

Condition(s) of Approval:

1. The conditional use permit will become void if a different kind of business, other than a bank, occupies this tenant space.
2. That the conditional use is contingent upon approval of the final development plan (FDP-37-2024).

Staff Certification:

Sierra Saumenig

Sierra Saumenig
Planner

NEW ALBANY
COMMUNITY CONNECTS US
Planning Commission Staff Report
June 17, 2024 Meeting

MOO MOO CAR WASH
SIGN VARIANCES

LOCATION: 10000 Johnstown Road (PID: 222-05375)
APPLICANT: Moo Moo New Albany Forest Drive LLC
REQUEST: (A) Variance to C.O. 1169.04 to allow an existing directional sign to be electronic where city code prohibits electronic signs.
(B) Variance to zoning text section III(I)(2) to allow an existing monument sign design to deviate from the 2013 Trust Corp Signage Recommendations Plan where the zoning text requires compliance with the plan. And variances to allow a monument sign to be digital and to exceed the maximum number of four colors on the sign.

ZONING: Canini Trust Corp I-PUD: Subarea 8D
STRATEGIC PLAN: Retail
APPLICATION: VAR-41-2024

Review based on: Application materials received on May 17, 2024.

Staff report completed by Chris Christian, Planner II.

I. REQUEST AND BACKGROUND

The applicant requests variances related to existing, directional and monument signs for Moo Moo car wash. On June 20, 2022, the Planning Commission reviewed and approved a final development plan and variance application for Moo Moo car wash. During construction, the property owner installed three signs that were not presented for review at the time of the final development plan application. The signs were installed without a sign permit issued by city staff. Two of the signs do not meet zoning regulations therefore, variances are necessary to allow them to remain on the property. The three signs, and related variance requests, are described below.

Sign A:



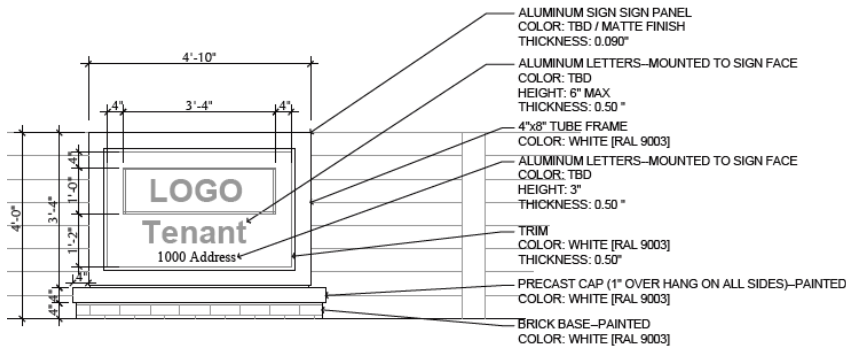
EXAMPLE



This is a monument sign that is installed at the site entrance along Woodcrest Way. Zoning text section III(I)(2) states that the permitted sizes, designs, colors, shapes, and other specifications for ground signs shall be consistent with the 2013 Trust Corp Signage Recommendations Plan. The existing sign does not meet the design standards for monument signs therefore, a variance is necessary in order to allow the sign to remain on the property. The city code prohibits electronic signs and the sign exceeds the maximum number of colors allowed per city code (4). Therefore, three variances are necessary to allow the sign as installed:

1. Variance to allow a monument sign to deviate from the Trust Corps Sign Standards Plan
2. Variance to allow a monument sign to be digital, and
3. Variance to allow the sign to exceed the maximum number of four colors on the sign.

The 2013 Trust Corp Signage Recommendations Plan provides the following standards for monument signs that are interior to the Canini Trust Corp site.



Sign B:

QTY (3) LED Arrow Signs - 13"W X 13"H
LED Arrow signs installed on 3 different existing canopies as shown.



The applicant installed additional directional signage on the clearance bars which are above lanes leading to the car wash. These signs were not submitted for review as part of the final development plan application and are considered unregulated. One component of these directional signs are three electronic arrows as shown in the image above. C.O. 1169.04 states that electronic signs are a prohibited sign type therefore, a variance is necessary in order to allow the signs to remain on the site.

Sign C:



EXAMPLE

The applicant installed an additional electronic drive-thru menu board sign on the site which was not included in the original final development plan application. This sign meets all code requirements for drive-thru menu board signs and there are no variances needed.

II. SITE DESCRIPTION & USE

The site is located on the southwest corner of US-62 and Forest Drive within the Canini Trust Corp zoning district. The site is 1.10+/- acres and currently contains an automatic car wash and self-serve vacuums.

III. EVALUATION

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the “practical difficulties” standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (*Section 1113.06*):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

Considerations and Basis for Decision

(A) Variance to C.O. 1169.04 to allow “Sign B” to be electronic where city code prohibits electronic signs.

The following should be considered in the Commission’s decision:

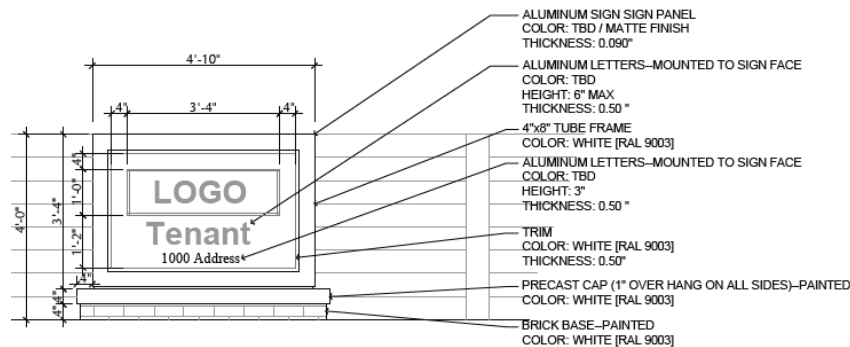
1. C.O. 1169.04 states that digital/electronic signs are a prohibited sign type. The applicant installed three electronic, directional arrow signs above the three pay stations for the car wash therefore, a variance is required. These signs are identified as “Sign B” in the request and background section of this staff report.
2. The Planning Commission has approved variances to allow electronic/digital menu board signs for this site and others in the immediate area, following some general principles. In 2023, these design principles were adopted in city code and apply to all new electronic/digital menu board signs that are installed in the city. It appears that some of these design principles may be applicable to the proposed electronic, directional signs as described below. With the proposed conditions, the signs appear to meet the spirit and intent of the city sign code and are not substantial.
3. The city’s codified ordinances state the purpose of the sign regulations are to are intended to provide design regulations for sign types so that they may fit harmoniously with structures and their surroundings. It is the intent of these regulations to prevent signs from becoming a distraction or obstruction to the safe flow of pedestrian and vehicular traffic, to prevent signs from becoming a nuisance factor to adjacent properties or uses, to protect and encourage a healthful economic and business environment in the community, and thereby protect the general health, safety, and welfare of the community
4. Accordingly, the city’s sign code codified ordinance chapter 1169.04 lists flashing, animated, and electronic signs as prohibited sign types. Staff recommends a condition of approval requiring the signs to remain static and not employ any animated or flashing features (condition 1).
5. To prevent the signs from becoming a nuisance factor to adjacent properties or uses at night, staff recommends a condition of approval that the signs must be turned off outside of normal business hours (condition 1).
6. There is landscaping installed in between the location of the signs and US-62. This additional landscaping will provide buffering in order to limit the view of them from off-site.
7. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the

proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

(B) Variance to zoning text section III(I)(2) to allow “Sign A” to deviate from the 2013 Trust Corp Signage Recommendations Plan where the zoning text requires compliance with the plan. And variances to allow a monument sign to be digital and to exceed the maximum number of four colors on the sign.

The following should be considered in the Commission’s decision:

1. Canini Trust Corp Subarea 8D zoning text section III(I)(2) states that the permitted sizes, designs, colors, shapes, and other specifications for ground signs shall be consistent with the 2013 Trust Corp Signage Recommendations Plan. The applicant installed a monument sign near the site entrance on Woodcrest Way that does not meet the standards of the sign plan therefore, a variance is required. This sign is identified as “Sign A” in the request and background section of this staff report.
2. The proposal does not meet the spirit and intent of the zoning text requirement. In 2013, the city adopted the Trust Corp Signage Recommendations plan to ensure that the design of monument signs is consistent throughout the entire development. Since then, many monument signs have been installed within this area, meeting the requirements of the sign plan. The plan includes requirements for size, color and location. An illustration of the required design for this site is included below.



3. Approving the variance may substantially alter the essential character of the neighborhood since this is a different monument sign design than the other sits at the Trust Corps.
4. The variance appears to be substantial. No variances to the sign plan have been applied for or granted by the Planning Commission. All other sites along Woodcrest Way and US-62, within the Canini Trust Corp development, comply with the sign plan requirements for monument signs. The sign also features an electronic component which indicates if the car wash is open or closed. Per C.O. 1169.04, electronic signs are a prohibited sign type.
5. In addition, C.O. 1169.12(f) states that signs shall be limited to a maximum of four colors. The sign exceeds this limitation with a total of 6 colors (yellow, white, black, red, green, and blue).
6. It does not appear that there are any special conditions and circumstances related to the property, that do not result from the action of the applicant.
7. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

IV. SUMMARY

The variance request to allow “Sign B” to be electronic appears to be appropriate, with the condition that they are to remain static, turned off outside of business hours, and not employ any flashing or animated features. These same standards have been successfully applied to digital menu board signs in the surrounding area.

The variance request to allow “Sign A” to deviate from the standards of the 2013 Trust Corp Signage Recommendations Plan does not appear to meet the spirit and intent of the zoning requirement. Adherence to the sign plan results with consistent signage throughout the Canini Trust Corp and a variance to these standards has never been granted by the Planning Commission. The deviation also results in additional variances being necessary to allow the monument sign to have an electronic component and contain 6 colors. While there are digital menu board signs used at drive-throughs, digital signs have not been used at business entrances along public or private streets.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate (The Planning Commission can make one motion for all variances or separate motions for each variance request):

Move to approve application VAR-41-2024, subject to the following conditions (additional conditions of approval may be added):

1. “Sign B” is required to remain static, must be turned off outside of business hours, and may not employ any flashing or animated features.

Approximate site Location:



Source: NearMap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear MooMoo New Albany Forest Drive LLC,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Monday, July 01, 2024

The New Albany Planning Commission took the following action on 06/17/2024 .

Variance

Location: 10000 Johnstown Road

Applicant: MooMoo New Albany Forest Drive LLC,

Application: PLVARI20240041

Request: (A) Variance to C.O. 1169.04 to allow "Sign B" to be electronic where city code prohibits electronic signs.

(B) Variance to zoning text section III(I)(2) to allow "Sign A" to deviate from the 2013 Trust Corp Signage Recommendations Plan where the zoning text requires compliance with the plan. And variances to allow a monument sign to be digital and to exceed the maximum number of four colors on the sign.

Motion: Move to approve with conditions

Commission Vote: See the results below

Result: See the results below

Recorded in the Official Journal this July 7, 2024

Results and Conditions of Approval

- The variance related to "Sign B" was approved by a vote of 4-0 with the following conditions:
 1. "Sign B" is required to remain static, must be turned off outside of business hours, and may not employ any flashing or animated features.
 2. "Sign B" is permitted to use a maximum of two colors, only one being visible at a time.
 3. "Sign B" brightness must be adjusted at night, if possible.
 4. Additional landscaping is required to be installed along US-62 frontage, to screen "Sign B" signs, subject to staff approval.
- The variances related to "Sign A" were denied by a vote of 0-4.

Per Codified Ordinance section 159.06(c), if the circumstances affecting the subject property or item

under consideration have substantially changed or new information is available that could not with reasonable diligence have been presented at this hearing, a request can be made that the Planning Commission reconsider the variance request no later than the next second regularly scheduled meeting on August 19, 2024.

Per Codified Ordinance section 1113.08, if no reconsideration request is made, any appeal to the decision made by the Planning Commission would have to be made through the Franklin County Court of Common Pleas.

Staff Certification:

Chris Christian

Chris Christian
Planner II



**Planning Commission Staff Report
June 17, 2024 Meeting**

**ALL SAINTS EPISCOPAL CHURCH
ZONING TEXT AMENDMENT**

LOCATION: 5101 Johnstown Road
APPLICANT: All Saints Episcopal Church c/o Hank Fresch
REQUEST: Limited Community Facilities (L-CF) Zoning Text Amendment
ZONING: All Saints Episcopal Church L-CF Zoning District
STRATEGIC PLAN: Residential
APPLICATION: TM-47-2024

Review based on: Application materials received May 31, 2024

Staff report completed by Chris Christian, Planner II.

I. REQUEST AND BACKGROUND

The applicant requests a modification to the All Saints Episcopal Church limitation zoning text. This modification intends to clarify that the zoning text requirements for roof and ground mounted mechanical equipment screening do not apply to solar panels. There are no other proposed changes to the zoning text.

All Saints Episcopal Church zoning text section VII(1) states:

“Any external mechanical equipment shall be totally screened from all public roads and/or adjacent properties at ground level with materials that are similar to or the same as used on the majority of the building or, if screened by landscaping, providing that the same shall provide 100% opacity. This shall include any roof top equipment, satellite dishes (excluding communication devices), as well as ground mounted mechanical equipment. The screening of the mechanical equipment shall be coordinated with the rest of the architecture so as to avoid being seen as an “add-on”.”

The property owner submitted a permit to install solar panels on their building. Due to the zoning text requirements, the permit was denied. If this application is approved, the permit can be issued and the solar panels may be installed.

II. SITE DESCRIPTION & USE

According to the Franklin County Auditor’s website, the property contains a religious building that was constructed in 2005. The building is approximately 20,000 square feet in size.

III. ENGAGE NEW ALBANY STRATEGIC PLAN

The site is located in the Residential future land use district of the Engage New Albany Strategic Plan, however, the site contains an institutional use.

IV. ASSESSMENT

Review is based on the city's Strategic Plan, existing zoning text, and city zoning regulations, including the design standards. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) *Adjacent land use.*
- (b) *The relationship of topography to the use intended or to its implications.*
- (c) *Access, traffic flow.*
- (d) *Adjacent zoning.*
- (e) *The correctness of the application for the type of change requested.*
- (f) *The relationship of the use requested to the public health, safety, or general welfare.*
- (g) *The relationship of the area requested to the area to be used.*
- (h) *The impact of the proposed use on the local school district(s).*

V. EVALUATION

1. The applicant requests a modification to All Saints Episcopal Church Limited-Community Facilities zoning text. The applicant submitted a building permit to install solar panels on the roof of their building. The All Saints Episcopal Church zoning text states that all rooftop and ground mounted equipment must be screened from all public roads and/or adjacent properties with 100% opacity.
 - a. The applicant proposes to modify the zoning text to state that the screening requirements do not apply to solar panels.
 - b. There are no other proposed changes to the zoning text.
 - c. If the zoning text modification is approved, it will allow the applicant to install solar panels on the property.
2. The proposed text modification appears to be appropriate and consistent with existing regulations for solar panels in the city. Currently, there are no regulations for solar panels in the city code.
 - a. There are several zoning texts throughout the city which state that similar mechanical screening requirements do not apply to solar panels.
 - b. Additionally, the site is zoned Limited-Community Facilities (L-CF) and is therefore more restrictive than the base development standards for the Community Facilities (CF) zoning district as described in city code. The property owner desires to remove the more restrictive language in order to install solar panels, similar to other sites in New Albany.
 - c. The New Albany Public Service Department property is zoned CF and solar panels have been installed on the roof of that structure since there are no regulations in city code for solar panels.
3. The city staff does not believe that the intent of the existing zoning text regulation was to limit the applicant's ability to install solar panels on the property since the intent of this type of requirement is typically to provide visual and auidial screening for more traditional pieces of equipment such as generators and HVAC systems. The Planning Commission and city council meeting minutes from the rezoning hearings do not include any mention of solar panels or the intent of this regulation.
4. The zoning text was adopted in the early 2000s and since then the installation solar energy systems have become more common. The city code has not been updated to distinguish solar panels from all other rooftop and ground mounted mechanical equipment.
5. Approving the zoning text modification accomplishes one of the recommendations of the Engage New Albany Strategic Plan. The plan states that the city should promote the use of solar panels in the city and adjust regulations to appropriately permit them. Approving the application will allow solar panels to be installed on the property.
6. If approved, this new regulation will not negatively affect public health, safety, or general welfare.

VI. SUMMARY

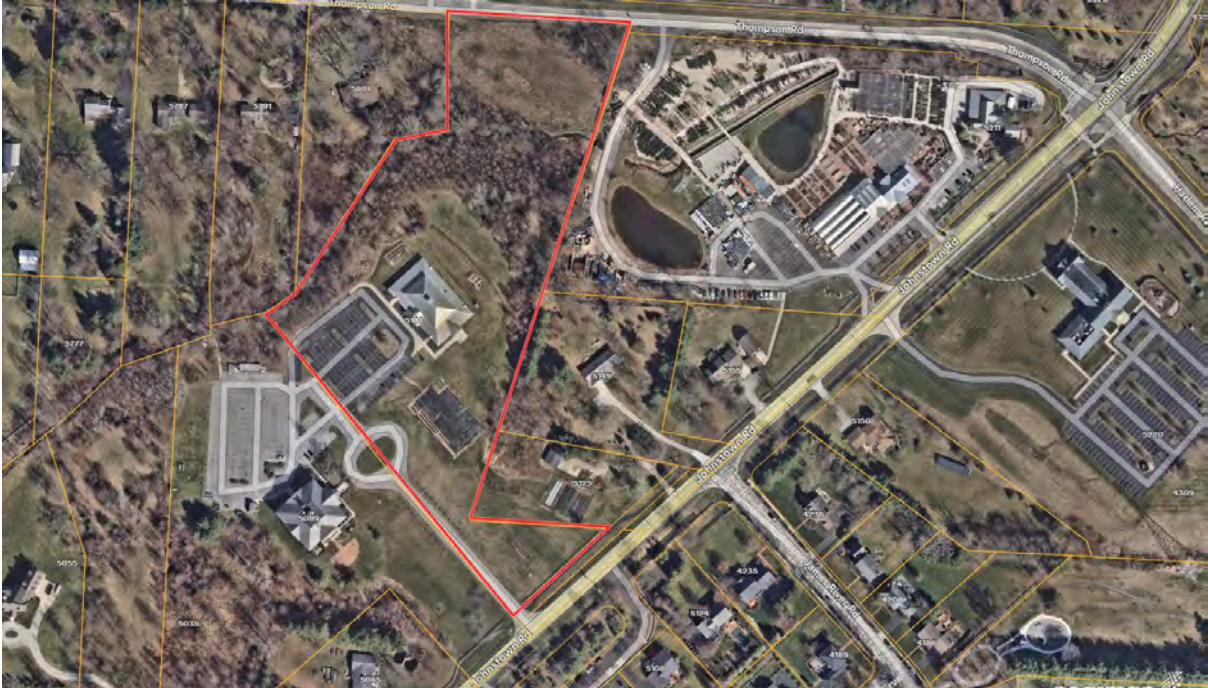
Sustainability is one of the Four Pillars of the New Albany community and a long-standing planning principle that guides decision making. The Engage New Albany Strategic Plan highlights the importance of sustainability in the community and includes a recommendation that the city adjust regulations to allow solar panels and other energy efficient systems to be installed. Approving the proposed zoning text modification will accomplish that recommendation for this property, consistent with other properties in New Albany.

VII. ACTION

Suggested Motion for TM-47-2024:

Move to approve zoning text modification application TM-47-2024 (conditions of approval may be added):

Approximate site location:



Source: NearMap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear All Saints Episcopal Church,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Friday, June 21, 2024

The New Albany Planning Commission took the following action on 06/17/2024 .

PUD Zoning Text Modification

Location: 5101 Johnstown Rd

Applicant: All Saints Episcopal Church,

Application: PLTM20240047

Request: Amendment to the All Saints Episcopal Church Limited Community Facilities (L-CF) zoning text to state that the screening requirements for rooftop and mechanical equipment do not apply to solar panels (PID: 222-001515).

Motion: Move to approve with conditions

Commission Vote: Motion Approved with Conditions, 4-0

Result: PUD Zoning Text Modification, PLTM20240047 was Approved with Conditions, by a vote of 4-0.

Recorded in the Official Journal this June 19, 2024

Condition(s) of Approval:

1. Solar panels must roughly conform to the angle of the roof, with minimal standoff from the roof, subject to the approval of city staff.

Staff Certification:

Chris Christian

Chris Christian
Planner II

**Planning Commission Staff Report
July 15, 2024 Meeting**

**NEW ALBANY LINKS DRIVING RANGE
FINAL DEVELOPMENT PLAN MODIFICATION**

LOCATION: 7100 New Albany Links Drive (PID: 222-002263)
REQUEST: Final Development Plan Modification
ZONING: Infilled Planned Unit Development (I-PUD)
STRATEGIC PLAN: Parks & Green Space
APPLICATION: FDM-008-2024
APPLICANT: Christopher Ingram c/o The New Albany Links Driving Range

Staff report completed by Sierra Cratic-Smith, Planner.

I. REQUEST

The applicant requests that the New Albany Links Driving Range final development plan modification application be tabled to the August 19, 2024 Planning Commission meeting. The applicant requests the tabling in order to provide the parties with additional time to meet and confer on a solution.

II. ACTION

Move to table final development plan application FDM-008-2024 to the August 19, 2024, regular Planning Commission meeting.

Approximate Site Location:



Source: NearMap

Sierra Cratic-Smith

From: Ingram, Christopher L. <clingram@vorys.com>
Sent: Monday, July 1, 2024 4:28 PM
To: Christopher Christian; btpauley@bmdllc.com
Cc: Stephen Mayer; Sierra Cratic-Smith; Christina Madriguera; Ben Albrecht; lbowersock@kempersports.com
Subject: RE: New Albany Links Range

Follow Up Flag: Follow up
Flag Status: Completed

Chris,

The applicant requests to table the Commission's consideration of the application until the Commission's August meeting. We need a couple of more weeks to work through what should be an amicable resolution for the parties involved. Thank you.

-Chris



Christopher L. Ingram

Partner
direct: 614.464.5480
clingram@vorys.com
vorys.com



**Planning Commission Staff Report
July 15, 2024 Meeting**

**4093 REYNOLDSBURG NEW ALBANY ROAD
FINAL DEVELOPMENT PLAN RECONSIDERATION**

LOCATION: 4093 Reynoldsburg New Albany Road (PID: 222-000630)
APPLICANT: F5 Design
REQUEST: Final Development Plan Reconsideration
ZONING: Hawksmoor North I-PUD
STRATEGIC PLAN: Residential District
APPLICATION: FDP-20-2024

Review based on: Application materials received June 21, 2024

Staff report completed by Sierra Cratic-Smith, Planner.

I. REQUEST AND BACKGROUND

The applicant requests a reconsideration of a final development plan application the Planning Commission reviewed and denied on May 20, 2024. This final development plan proposed to allow for the construction of a single residential home on 1.654 acres. The residential home was designed in a rural barn style with a 10-car garage.

The applicant states that the final development plan has been updated to reflect the comments made during the meeting in May. These updates include a full architectural redesign of the home to match the existing Hawksmoor community and the relocation of all garage doors to the rear and side yard. This new site design has eliminated all variances that were required during the prior meeting.

Per Codified Ordinance 159.06(c) (Reconsideration of Commission/Board Action) the Planning Commission may reconsider any action it has taken upon its own motion for good cause shown. Any action denying or disapproving an application, other than one involving an incomplete application, may be reconsidered no later than the second regular meeting after the original action from which reconsideration is being requested was taken, only if the applicant or its designee clearly demonstrates one of the following:

1. Circumstances affecting the subject property or item under consideration have substantially changed; **or**
2. New information is available that could not with reasonable diligence have been presented at a previous hearing.

Should the Planning Commission find that the reconsideration request has sufficient basis for approval, the following motion would be appropriate:

1. Move to reconsider variance application FDP-20-2024 pursuant to Codified Ordinance 159.

If the motion passes, staff recommends that the board immediately table the application until the next regularly scheduled meeting date so that the surrounding neighbors can be notified of the hearing and staff can prepare staff report containing a full evaluation of the FDP proposal.

II. SITE DESCRIPTION & USE

The property is 1.654 acres and is located along the west side of Reynoldsburg-New Albany Road. It is north of the Hawksmoor subdivision and south of Belmont Place. The lot is currently undeveloped. However, there are single family residential homes located to the south of this lot in the Hawksmoor subdivision and north within the New Albany Country Club.

III. PLAN REVIEW

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;

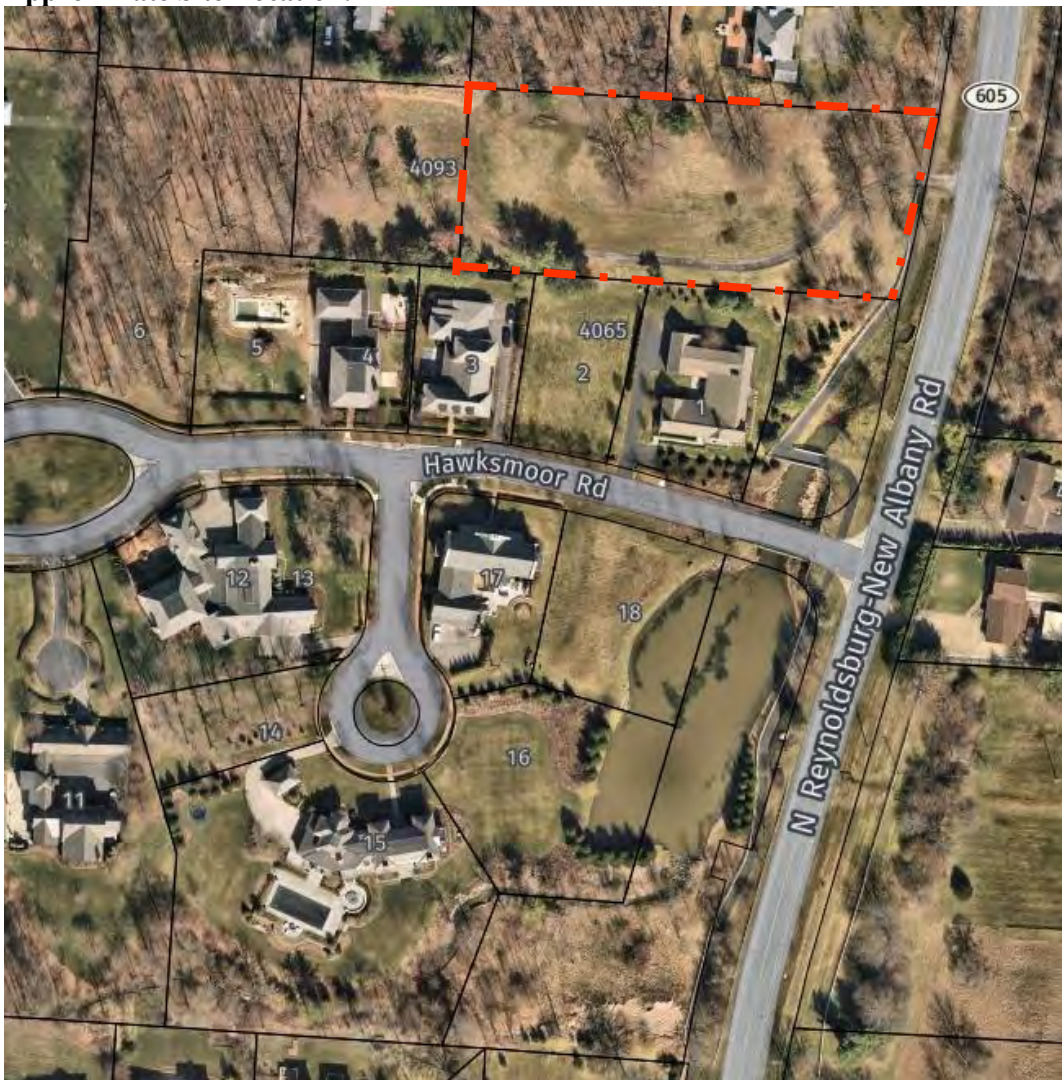
- (a) That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- (b) That the proposed development advances the general welfare of the Municipality;*
- (c) That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- (d) Various types of land or building proposed in the project;*
- (e) Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- (f) Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- (g) Building heights of all structures with regard to their visual impact on adjacent facilities;*
- (h) Front, side and rear yard definitions and uses where they occur at the development periphery;*
- (i) Gross commercial building area;*
- (j) Area ratios and designation of the land surfaces to which they apply;*
- (k) Spaces between buildings and open areas;*
- (l) Width of streets in the project;*
- (m) Setbacks from streets;*
- (n) Off-street parking and loading standards;*
- (o) The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- (p) The potential impact of the proposed plan on the student population of the local school district(s);*
- (q) The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- (r) The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*

- e. Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;
- f. Foster the safe, efficient and economic use of land, transportation, public facilities and services;
- g. Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;
- h. Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;
- i. Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- j. Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;
- k. Provide an environment of stable character compatible with surrounding areas; and
- l. Provide for innovations in land development, especially for affordable housing and infill development.

Approximate Site Location:



Source: Nearmap



Community Development Planning Application

Project Information	Site Address <u>4093 Reynoldsburg New Albany Road</u> Parcel Numbers <u>222-000630-00</u> Acres <u>1.654</u> # of lots created _____																																																											
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Contacts	Description of Request: <u>DESIGN REVEIW AND APPROVAL FROM PLANNING COMMISSION PER THE</u> <u>HAWKSMOOR NORTH I-PUD TEXT FOR NEW SINGLE FAMILY HOME.</u>																																																											
	Property Owner's Name: <u>D&H HAWKSMOOR PROPERTIES LLC</u> Address: <u>230 West Street, suite 200</u> City, State, Zip: <u>COLUMBUS, OH 43215</u> Phone number: <u>614.314.0118</u> Fax: _____ Email: <u>TARNOLD@LIFESTYLECOMMUNITIES.COM</u>																																																											
Signature	Applicant's Name: <u>Todd Parker, F5 Design/Architecture Inc.</u> Address: <u>PO BOX 86</u> City, State, Zip: <u>NEW ALBANY, OH 43054</u> Phone number: <u>614.937.4894</u> Fax: _____ Email: <u>tparker@f5design.com</u>																																																											
	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner <u></u> Date: _____ Signature of Applicant <u></u> Date: <u>4/14/2024</u></p>																																																											



DESIGN/ARCHITECTURE INC.

PO BOX 86
NEW ALBANY, OHIO 43054
WWW.F5DESIGN.COM
TEL (614) 224-4946

June 21, 2024

Sierra Cratic-Smith
Planner
City of New Albany
99 W. Main Street
New Albany, Ohio 43054

RE: Reconsideration of Application FDP-20-2024

Sierra:

This letter is being provided on behalf of the applicant and owner of the property that is the subject of the above-referenced application, which sought approval of a final development plan for the construction of a single-family residence on 1.654+/- acres located at 4093 Reynoldsburg-New Albany Road. It serves as a request for the City of New Albany Planning Commission to reconsider the application, as it was disapproved at the Commission’s meeting on May 20, 2024, along with companion requests for variances. Codified Ordinances Section 159.06 concerns such requests, and provides as follows:

“(c) Reconsideration of Commission/Board Action. The commission/board may reconsider any action it has taken upon its own motion for good cause shown. Any action denying or disapproving an application, other than one involving an incomplete application, may be reconsidered no later than the second regular meeting after the original action from which reconsideration is being requested was taken, only if the applicant or its designee clearly demonstrates one of the following:

- (1) Circumstances affecting the subject property or item under consideration have substantially changed;**
- or**
- (2) New information is available that could not with reasonable diligence have been presented at a previous hearing.”**

Accompanying this letter are materials illustrating a redesign of the proposed structure. The redesign eliminates the need for variances, with the only action now necessary being Planning Commission’s approval of a final



development plan. This request is for reconsideration of the application at the Planning Commission's regular meeting on July 15, 2024, which is the second regular meeting following the date of the Planning Commission's original decision. This makes this request a timely one per Codified Ordinances Section 159.06.

The redesign of the project as detailed in the accompanying documentation constitutes new information not available at the previous public hearing, and therefore meets the second criterion for a reconsideration as set forth in that same provision. The design has resulted in the following:

- 1) The architecture of the main house has been modified to be more consistent with the existing Hawksmoor community to address a concern raised at the previous hearing.
- 2) The residence part of the project now has the "barn" portion attached to the west side. The front door of the residence faces Reynoldsburg New Albany Road.
- 3) The exterior of the façade now consists of painted brick and painted siding, eliminating the use of stone.
- 4) Garage doors now face the rear or sides of the lot and do not face Reynoldsburg-New Albany Road. Garage doors are now 9 feet wide, which is compliant with zoning.

Thank you for the opportunity to present a new version of the project for Planning Commission's consideration. Please let me know if there is any more information that is needed.

Sincerely,

A handwritten signature in black ink, appearing to read 'Todd Parker', with a long horizontal line extending to the right.

Todd Parker

tparker@f5design.com



**Planning Commission Staff Report
July 15, 2024 Meeting**

**7800 WALTON PARKWAY L-GE
ZONING AMENDMENT**

LOCATION: 7800 Walton Parkway (PID: 222-000307)
APPLICANT: City of New Albany
REQUEST: Zoning Amendment
ZONING: Limited Overlay Office Campus District (L-OCD) to Limited General Employment (L-GE)
STRATEGIC PLAN: Employment Center
APPLICATION: ZC-28-2024

Review based on: Application materials received April 22, 2024.

Staff report completed by Sierra Saumenig, Planner.

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation to rezone approximately 11.44 acres.

In 2006, the property was zoned to its Limited Overlay Office Campus District (L-OCD) zoning classification (ZC-9-016). The Commercial Vehicle Group (CVG) Office Campus District limitation zoning text applies to the property. The city, on behalf of the property owner, requests this rezoning to allow clean and non-hazardous manufacturing and production uses for the entire site. The city research and information district, a section of the New Albany International Business Park, allows for the same uses along State Route 605 to the north of the site. The site is already developed and there are no other proposed changes to the existing zoning text.

This case was heard at the May 16, 2024 Rock Fork-Blacklick Accord Panel and was recommended for approval by a 5-0 vote.

The proposed zoning districts allows for the existing uses found in the City of New Albany's General Employment zoning district (GE). Unless otherwise specified in the zoning text, the standards and requirements of Chapter 1153, GE General Employment Districts shall apply to this proposed zoning district. Therefore, it is consistent with surrounding zoning requirements.

II. SITE DESCRIPTION & USE

The overall site consists of one parcel and it is located within Licking County. The site is located at the northwest corner of Walton Parkway and New Albany Condit Road, adjacent to the current business park, and the city of Columbus corporate line. The immediate neighboring zoning districts include the Hamlet at Sugar Run I-PUD to the north, The Enclave at New Albany I-PUD and Sorensen Office Development I-PUD to the east, 1998 NACO PUD Subarea 7B: Sugar Run to the south, and the city of Columbus to the west. The property contains an occupied 50,000+/- gross square foot office building and partially occupied 39,000+/- gross square foot research and development building.

III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1111. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to City Council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

A. New Albany Strategic Plan

The Engage New Albany strategic plan lists the following development standards for the Employment Center future land use district:

1. No freeway / pole signs are allowed.
2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
4. Sites with multiple buildings should be well organized and clustered if possible.
5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
6. All office developments should plan for regional stormwater management.
7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
9. Combined curb cuts and cross-access easements are encouraged.
10. The use of materials, colors, and texture to break up large-scale facades is required.

B. Use, Site and Layout

1. The site is located within the Engage New Albany Strategic Plan's Employment Center future land use district. Manufacturing and production uses are not listed as a permitted or conditional use in the Office Campus District. Therefore, to allow these uses the property must be rezoned to the GE General Employment District classification.
2. Manufacturing and production uses falls within the Employment Center land use category and are an appropriate use for this site given its location in the New Albany Business Park.
3. The current OCD zoning (chapter 1142.02) permits the following uses:
 - (a) Administrative business and professional offices & General administrative and executive offices
 - (b) Research and Production
 - (c) Religious exercise facilities and related uses
 - (d) A park-and-ride facility
 - (e) Data Centers
4. The proposed limited General Employment zoning text permits the following uses below. All these uses are already permitted on this site with the current zoning classification with the exception of clean and non-hazardous manufacturing and production.
 - (a) General Office Activities (existing permitted use)

- (b) Research and Production (existing permitted use)
 - (c) Religious exercise facilities and related uses (existing permitted use)
 - (d) A park-and-ride facility (existing permitted use)
 - (e) Data Centers (existing permitted use)
 - (f) Clean and non-hazardous Manufacturing and Production (new use)
5. Limited educational institutions (secondary and higher educational uses) is currently and continues to be a conditional use for the site.
 6. The following uses would be prohibited under the proposed zoning:
 - a. Industrial product sales
 - b. Industrial service Industrial Manufacturing and Assembly
 - c. Warehouse and distribution
 - d. Personal service and retail product sales and service except that such uses shall be allowed as accessory uses to a permitted use in this subarea
 - e. Vehicle services
 - f. Radio/television broadcast facility
 - g. Off-Premises Signs
 - h. Sexually-oriented businesses
 - i. Car fleet and truck fleet parking

C. Access, Loading, Parking

1. The rezoning proposal is solely for adding uses to the site and does not modify any exterior development standards.

D. Architectural Standards

1. The rezoning proposal is solely for adding uses to the site and does not modify any exterior development standards.

E. Parkland, Buffering, Landscaping, Open Space, Screening

1. The rezoning proposal is solely for rezoning the site adding uses to the site and does not modify any exterior development standards.

F. Lighting & Signage

1. No signage is proposed at this time. All signage shall conform to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany.
2. The rezoning proposal is solely for adding uses to the site and does not modify any exterior development standards.

G. Other Considerations

1. The city, on behalf of the property owner, requests this rezoning to allow clean and non-hazardous manufacturing uses for the entire site. The city research and information district, a section of the New Albany International Business Park, allows for the same uses along State Route 605 to the north of the site. The site is already developed and there are no other proposed changes to the existing zoning text.
2. Permitting clean and non-hazardous manufacturing and production uses within an existing building provides a positive benefit to the city's economic and development goals and fiscal strength as quick market access is an important factor when a company is undertaking site selection and further diversifies the business park.
3. The proposed clean and non-hazardous manufacturing and production use will produce no new students for the school district.

IV. ENGINEER'S COMMENTS

The City Engineer has no comments on this submittal.

V. SUMMARY

It appears that the proposed zoning text meets the use recommendations found in the Engage New Albany Strategic Plan. The application is solely for rezoning the site. No exterior site development standard modifications result from the proposed rezoning. The additional uses on the property advance and benefit the general welfare of the community by allowing for additional flexibility and diversification of businesses. Furthermore, it aligns with the city's economic development goals and fiscal strength by offering a pre-development site for a company to occupy.

VI. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to recommend approval to City Council of zoning change application ZC-28-2024.

Approximate Site Location:



Source: NearMap

7800 WALTON PARKWAY
GENERAL EMPLOYMENT DISTRICT
LIMITATION TEXT

February 29, 2024

INTRODUCTION: This site consists of 11.4± acres and is located northwest of and adjacent to the intersection of Walton Parkway and State Route 605/New Albany-Condit Road. The design intent for this development is to balance the developer's desire to create a high-tech corporate headquarters campus with the community's goal of preserving the natural and rural characteristics of the area. The limitations in this text seek to ensure this result by meeting and exceeding the high development standards of the Village.

I. PERMITTED AND CONDITIONAL USES

1. The permitted and conditional uses contained and described in the Codified Ordinances of the City of New Albany, GE General Employment District, Sections 1153.02 and 1153.03, provided that conditional uses are approved in accordance with Chapter 1115, Conditional Uses.
2. The following uses from these code sections shall be **prohibited**:
 - a. Industrial product sales (See Section 1153.03(a)(1))
 - b. Industrial service (See Section 1153.03(a)(2))
 - c. Industrial Manufacturing and Assembly (See Section 1153.03(a)(3))
 - d. Warehouse and distribution (See Section 1153.03(a)(5))
 - e. Personal service (See Section 1153.03(b)(2)) and retail product sales and service (See Section 1153.03(b)(3)), except that such uses shall be allowed as accessory uses to a permitted use in this subarea
 - f. Vehicle services (See Section 1153.03(b)(4))
 - g. Radio/television broadcast facility (See Section 1153.03(c)(1))
 - h. Off-Premises Signs (See Section 1153.03(c)(2))
 - i. Sexually-oriented businesses (See Section 1153.03(c)(3))
 - j. Car fleet and truck fleet parking (See Section 1153.03(c)(5))
3. Manufacturing and production as set forth in Section 1153.02 and described in Section 1153.03 of the Codified Ordinances shall be permitted, provided that such uses are clean and non-hazardous.

II. DEVELOPMENT STANDARDS

A. Setback, Height, and Lot Coverage

1. Building and pavement setbacks shall be as follows:
 - a. Along State Route 605/New Albany-Condit Road, the minimum pavement setback shall be fifty-five (55) feet from the

right-of-way and the minimum building setback shall be seventy-five (75) feet from the right-of-way.

b. The minimum building and pavement setback shall be fifty-five (55) feet from the centerline along Walton Parkway.

c. A Preservation zone shall be established for a distance of eighty (80) feet from the northern boundary of the development as shown on the submitted development plan (Exhibit A). Utilities, pedestrian paths, accessory structures associated with landscaping may be placed within this zone if necessary.

2. The maximum height for any principal building or structure shall be forty-five (45) feet plus mechanical equipment and/or architectural features, as measured and permitted per the Zoning Ordinance.

3. The maximum allowable lot coverage shall be seventy percent (70%).

B. Access, Loading, Parking and Traffic Related Commitments

1. There shall be one (1) curbcut on State Route 605/New Albany-Condit Road and two (2) curbcuts on Walton Parkway as indicated on the development plan. The curbcuts shall be located subject to staff approval.

2. The developer shall dedicate sufficient right-of-way to the Village along the west side of State Route 605/New Albany-Condit Road to ensure that there is forty (40) feet of right-of-way as measured from the centerline of that roadway.

3. Sidewalks shall be constructed in a manner that provides interconnectivity between parking areas and buildings and between parking areas themselves. When open space is found between buildings, pedestrian connections shall be provided. Paths shall be located and constructed so as to promote the use of non-automotive transportation within the development. Covered areas for bicycle parking shall be provided within a reasonable distance of all buildings.

4. No left turn lane into the development site from State Route 605/New Albany-Condit Road shall be required to be paid for or installed by the owner of the subject site at the time of the initial development of the property in accordance with plans approved by the Village. The owner agrees, upon the request of the Village, to perform and pay for a left turn warrant analysis based on the standards contained in the then-current ODOT manual should any one of the following three conditions occur:

- a. The parking lot located behind the easternmost building on the site is connected to another parking lot found elsewhere on the site so as to allow for vehicular access between such areas; or
- b. The number of parking spaces located to the rear of the easternmost building on the site exceeds the number of parking spaces provided on the limited overlay development plan that is approved by Village Council in the rezoning of the property; or
- c. The primary use of the easternmost building changes from the research and development uses currently contemplated therein by this limitation text.

In the event that the left turn warrant analysis indicates the need for a left turn lane to be provided along State Route 605/New Albany-Condit Road following the occurrence of one of the above events, the owner shall be required to fund and (if necessary) construct that improvement or agree to a mutually acceptable alternative solution with the Village (for example, restricted turn movements) within a mutually acceptable time after such determination is made.

C. Architectural

1. Building additions shall be complementary in materials and design to existing structures.
2. Primary building materials may be brick, stone, glass, metal panels, and/or architectural pre-cast concrete. Flat roofs shall be permitted. Prefabricated metal buildings are prohibited.

D. Preservation, Buffering, Landscaping, Open Space and/or Screening

1. A Preservation zone shall extend for a minimum of eighty (80) feet from the northern boundary of the development in the no build/no disturb zone as shown on the submitted development plan. This area shall be maintained in a natural state with minimal disturbance. Tree removal shall occur only if trees are dead or diseased. Clearing of understory should occur only as a method of removing noxious plant material such as poison ivy, or other aggressive growing plant material in keeping with good forestry management practices.
2. Paths shall be permitted within the eighty (80) foot preservation zone.

3. Landscaping that is rural in nature shall be provided within the required setbacks along State Route 605/New Albany Condit Road and shall strive to preserve or enhance the natural aesthetic character along this roadway.
4. Existing street trees along Walton Parkway shall be preserved unless removal is warranted for the purpose of constructing entry drives into the site. Street trees shall be provided along State Route 605/New Albany-Condit Road and shall be spaced (or clustered at the same rate) a minimum of thirty (30) feet on center.
5. The required amount of interior landscaping within parking areas shall be a minimum of eight percent (8%) of the total area of the parking lot pavement. The landscaped areas shall be arranged in such a manner so as to visually break up the large expanses of pavement and to provide landscaped walking paths between parking lots and buildings and is subject to staff approval.
6. An eight (8) foot wide asphalt leisure trail shall be constructed along State Route 605/New Albany-Condit Road and maintained along Walton Parkway (already exists).
7. Walks and paths shall be constructed elsewhere on the site in accordance with the specifications of the Zoning Ordinance and shall be a minimum of five (5) feet wide.
8. Interior site plantings: At installation, the minimum size of deciduous shade and ornamental trees shall be two (2) inches in caliper. Evergreen trees shall be a minimum of six (6) feet in height at installation.
9. The design and planting layout of all landscaping must be reviewed and approved by the Village Landscape Architect.

E. Mechanical Equipment, Service Areas, and Lighting

1. Mechanical equipment, whether located on the ground or a rooftop, shall be totally screened from all public roads and /or adjacent properties at ground level with landscaping or materials that are consistent with the building. If screened by landscaping, one hundred percent (100%) opacity must be achieved.
2. All service areas including loading docks, exterior storage of materials, supplies, equipment or products shall be screened at ground level from all public roads and/or adjacent properties with earth mounding, walls or landscaping. Trash dumpsters shall be completely enclosed and screened from all public roads and/or adjacent properties and shall be equipped with a gate to provide total opacity.

3. All wiring for lighting within the development shall be located underground. Any security lighting that is provided shall be of a motion sensor type.

F. Parking

Per Code, parking shall be provided at the rate of one (1) space per two hundred fifty (250) square feet of office uses. Required parking for research and development uses is not addressed by Code, but Section 1167.05(f) gives the Planning Commission discretion to determine the appropriate number of parking spaces in such an instance. The required number of parking spaces shall be one (1) space per four thousand (4,000) square feet for research and development uses. Planning Commission's recommendation of approval of this text shall also constitute approval of the required parking ratio for research and development uses.

G. Plan Review

1. The site shall be developed in accordance with the submitted site plan. The site plan may be adjusted moderately to reflect engineering, topographical, or other site data available at the time that development and engineering plans are completed. Any adjustment to the plan shall be reviewed and may be approved by the Village of New Albany Development Staff or appropriate designee upon submission of the appropriate data.
2. Future expansions of the buildings on this site are anticipated and are permitted as of right, provided that prior to undertaking any expansion the applicant shall appear before the Planning Commission for a review of the expansion plans to determine adherence to applicable regulations.



**Planning Commission Staff Report
July 15, 2024 Meeting**

GANTON C-PUD REZONING

LOCATION: Generally located south and southwest of State Route 161, north of East Dublin-Granville Road, east of Johnstown Road/U.S. Route 62, and west of Kitzmiller Road (PIDs: 222-000238 and 222-004730).

APPLICANT: The New Albany Company LLC, c/o Aaron Underhill, Esq.

REQUEST: Zoning Amendment

ZONING: Comprehensive Planned Unit Development (C-PUD) to Comprehensive Planned Unit Development (C-PUD)

STRATEGIC PLAN: Village Center and Employment Center

APPLICATION: ZC-48-2024

Review based on: Application materials received on June 26, 2024.

Staff report prepared by Chris Christian, Planner II

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation to city council to rezone approximately 108.1+/- acres generally located south and southwest of State Route 161, north of East Dublin-Granville Road, east of Johnstown Road/U.S. Route 62, and west of Kitzmiller Road. The site is currently zoned under the 1998 NACO Comprehensive Planned-Unit Development (C-PUD) zoning district. The applicant proposes to rezone the property under the C-PUD zoning classification, thereby establishing a new zoning text.

The zoning district is made up of 3 subareas, each with different permitted uses and development standards. A summary of the different subareas, permitted uses, and development standards are included in this staff report.

Per C.O. 1157.08(b)(2), C-PUD rezoning applications, within the Village Center, require a Certificate of Appropriateness to be issued by the Architectural Review Board (ARB) who reviews the proposal and makes a recommendation to the Planning Commission (PC). The PC then reviews the rezoning application, including the recommendation of the ARB. The ARB and PC recommendations are forwarded to City Council who takes final action on all rezoning applications. The rezoning application is scheduled to be reviewed by the ARB during their July 8th meeting.

Due to the C-PUD zoning classification and the requirements of C.O. 1157.08(b)(2), the applicant is required to submit preliminary and final development plan applications for review and approval by the ARB and PC in the future, prior to any construction on the property. The PC and City Council review and approve plat applications in this zoning district.

II. SITE DESCRIPTION & USE

The 108.1+/- acre property is located within the Village Center and is currently vacant. The site is commonly referred to as the “Ganton Property”.

III. EVALUATION

A. Rezoning Process and Review Criteria

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.09. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to City Council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

New Albany Strategic Plan

The rezoning area is made up of 3 subareas. Subareas 1 and 2 are located in the Employment Center future land use district of the Engage New Albany Strategic Plan and subarea 3 is in the Village Center (Ganton Focus Area) future land use district. The strategic plan lists the following development standards and recommendations for each future land use district.

Employment Center District

1. No freeway / pole signs are allowed.
2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
4. Sites with multiple buildings should be well organized and clustered if possible.
5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
6. All office developments should plan for regional stormwater management.
7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
9. Combined curb cuts and cross-access easements are encouraged.
10. The use of materials, colors, and texture to break up large-scale facades is required.

Village Center District (Ganton Focus Area)

1. Create a compelling, high quality office development along the frontage of State Route 161.
2. Create a new public road, Ganton Parkway, to create new development sites in this area.
3. Ensure that the office site development contributes to the proposed mobility zone, including transit-friendly placement of buildings along Ganton Parkway.
4. Preserve and create linear greenway along the Rose Run stream corridor through the site, complete with leisure trail connections.
5. Continue to pursue the creation of the Velo Loop along the southern border of this focus area.
6. Create strong connections to the Village Center for pedestrians and cyclists.

A. Use, Site and Layout

1. The proposed zoning is Comprehensive-Planned Unit Development (C-PUD) and the zoning district consists of 3 subareas. Within each subarea, multiple uses are permitted each with their own set of development standards. The table below provides a high-level overview of the uses permitted in each subarea. A more detailed list of permitted uses and building typologies, within Subarea 3, is attached as an appendix to this staff report.

Subarea	Acreage	Permitted Uses	Conditional Uses	Notes
1	27.2+/- acres	<ul style="list-style-type: none"> • Hospitals, with or without emergency departments and overnight patient beds • Several accessory uses within a hospital including but not limited to cafeterias, fitness clubs and pharmacies • In-patient surgery centers • Ambulatory care uses • Office uses • Above and below ground parking garages 	None	
2	15.9+/- acres	The permitted uses found in the Office Campus District (OCD) of the Codified Ordinances Section 1143.02 including but not limited to administrative and business offices.	None	Data centers are a prohibited use
3	65+/- acres	<p>The permitted uses and building typologies of the following Urban Center Code sub-districts are permitted within this subarea:</p> <ul style="list-style-type: none"> • Village Residential • Core Residential • Parkland and Preservation <p>In addition, the text allows private and public community facilities and recreation areas, civic uses, post offices and other government facilities to be developed in this subarea.</p>	Up to two model homes	A maximum of 294 residential units are permitted to be developed in this subarea. This is the same number of units permitted within the existing 1998 NACO C-PUD zoning text that applies to the property.

2. The existing C-PUD zoning text allows 294 single family, detached housing units to be developed on the site. The proposed zoning text retains these development rights, within subarea 3, but adheres to the Urban Center Code standards for residential development. The Urban Center Code permits a variety of housing types to be developed.
3. The applicant submitted a school impact statement with the rezoning application. According to the applicant, they intend to donate a generous amount of land to the school district for the purposes of athletic fields in subarea 3. Smaller residential lots

are more likely to be developed on the property due to the adherence to Urban Center Code building typologies compared to the larger lots and units that are permitted under the current text. When considering these factors, the rezoning provides a positive impact to the school district from a financial and facilities standpoint.

4. The zoning text establishes the following setbacks, for all major roads, listed in the table below. Interior setbacks within subarea 3 will be determined at the time of a preliminary development plan application, based on the proposed building typology as regulated by the Urban Center Code. There is a 0-foot building and pavement setback between properties located within subareas 1 and 2.

MAJOR ROADWAY SETBACKS	
State Route 161	100-foot building and pavement setback from the edge of the right-of-way. Service and loading areas may be located within 25 feet of the right-of-way as long as the screening requirements of the text are met.
Future Ganton Parkway	25-foot building and pavement setback from the edge of the right-of-way
East Dublin-Granville Road	140-foot building and pavement setback from the edge of the right-of-way

5. The Engage New Albany Strategic Plan identifies the future Ganton Parkway as a “Business Park Transitional” roadway with a recommended 50-foot setback. East Dublin-Granville Road is identified as a “Village Traditional Roadway” with a recommended 185-foot setback. The proposed, reduced setbacks are appropriate due to the site’s location in the Village Center and are generally consistent with other setbacks in the surrounding area.
6. The zoning text states that primary front building facades shall not back onto public open space, parks or reserve areas within the entire zoning district.

B. Access, Loading, Parking

1. The zoning text commits to the extension of Ganton Parkway, as identified in the Engage New Albany Strategic Plan. The roadway will connect into the existing Theisen Drive, off of US-62, and connect into a realigned intersection at Kitzmiller Road and East Dublin-Granville Road. A general illustration of this new roadway is included as part of the submittal material for this application. The text states that a minimum of 100 feet of right-of-way shall be provided for this new roadway which meets the strategic plan recommendations.
2. The zoning text states that primary roadway access, within this zoning district, shall be provided from Ganton Parkway. Direct vehicular access from Kitzmiller Road is prohibited.
3. Section 5 (Street and Network Standards) of the Urban Center Code applies to new roads created within subarea 3 which will be evaluated with future development applications.
4. The off-street parking requirements of C.O. 1167 do not apply to subareas 1 and 2. The text states that the ARB and PC shall review the number of parking spaces as part of future final development plan applications, taking into consideration the unique relationship between uses in these subareas. Shared parking agreements are permitted in these subareas and shall be reviewed, if proposed, as part of a final development plan application. These standards are consistent with other zoning districts where there is a unique relationship between uses.
5. Off-street parking requirements within subarea 3 will be determined as part of future final development plan applications as they are determined based on a proposed building typology in the Urban Center Code.

C. Architectural Standards

1. The New Albany Design Guidelines and Requirements (DGRs) ensure neighborhoods and other development sustains their quality and vibrancy over time. These guidelines have been developed by New Albany to ensure that the community enjoys the highest possible quality of architectural design that has made the community successful thus far.
2. The text states that subareas 1 and 2 are subject to the regulations of New Albany Design Guidelines and Requirements Section 6: Commercial Outside the Village Center due to the permitted uses in this subarea. Subarea 3 is subject to various sections of the DGRs, based on future uses that are developed. Compliance with the DGRs will be evaluated with future development proposals.
3. The zoning text permits the brick, brick veneer, architectural precast concrete, metal, and non-reflective or mirrored glass as primary building materials within subareas 1 and 2. Brick and true wood siding are permitted primary building materials within subarea 3.
4. The text allows a maximum building height of 75 feet in subarea 1 and 45 feet in subarea 2. Building height regulations in subarea 3 are governed by the Urban Center Code based on a proposed building typology which will be evaluated with future development applications.
5. The zoning texts requires full screening of rooftop and ground mounted mechanical equipment to buffer sound and visibility. These standards are consistent with other commercial zoning districts in the surrounding area and do not apply to solar panels.

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. The zoning text commits to providing 38 acres of parkland and open space throughout the zoning district, consistent with the recommendations of the Urban Center Code Regulating Plan. The text states that this acreage will include dedicated parkland, the dedication of 100 feet along the entire Rose Run Corridor in subarea 3, undeveloped setback areas, and privately-owned open spaces. Compliance with these requirements will be evaluated with future development applications.
2. The dedication along the Rose Run Corridor in subarea 3 will allow future extensions of Rose Run Park that exists today in the Village Center.
3. The parkland and open space dedication requirements of C.O. 1165.10(a) do not apply within this zoning district as it is located in the Village Center and the text commits to meeting the parkland and open space requirements of the Urban Center Code.
4. The strategic plan states that homes shall not back onto open spaces or public roads. The applicant is meeting these recommendations by prohibiting homes from backing onto open space and/or parkland.
5. The zoning text does not provide any exemptions from all other buffering, landscaping and screening requirements of city code or the Urban Center Code. The landscaping requirements of C.O. 1171 and the Urban Center Code apply within this zoning district. With the exception of alleys, city code and the Urban Center Code require street trees, leisure trail or sidewalk to be installed along both sides of all streets. Compliance with these requirements will be evaluated with future development applications.

E. Lighting, Signage and Utilities

1. The zoning text states that a master sign plan shall be submitted for subareas 1 and 2 as part of a final development plan application. Once a master sign plan is approved, all future sign applications shall be reviewed and approved by the ARB via a certificate of appropriateness application and do not require Planning Commission review.
2. The zoning texts describes the unique needs of hospital, medical office and general office users and provides more flexibility by including signs regulations for those users in the text. These regulations are consistent with other zoning districts where hospitals and associated medical and general office uses are permitted.
3. Future signage in subarea 3 is subject to the regulations of C.O. 1169, based on the proposed use. Future sign applications in this subarea require ARB review via a

certificate of appropriateness application and do not require Planning Commission review.

4. There are no lighting regulations in subarea 1. The text states that light poles are to be a maximum of 30 feet tall in subarea 2 and 18 feet tall in subarea 3. The text does not prohibit building up lighting.

F. Engineering Comments

The City Engineer reviewed the proposed rezoning and provided no comments.

IV. SUMMARY

The existing Ganton C-PUD permits 294 units of residential uses and Communities Facilities (CF) uses. This rezoning retains those uses and adds hospital and office uses just to a portion of the Ganton property immediately south of State Route 161. The hospital and office uses meet the land use recommendations of the Engage New Albany strategic plan. Since the adoption of the existing C-PUD zoning text 26 years ago, the city has undergone numerous strategic plan and codified ordinance updates such as the Urban Center form-based zoning code. This C-PUD is unique because it blends site-specific C-PUD standards for the hospital and office uses and adheres to the city Urban Center form-based code standards for residential.

The proposed rezoning meets the Engage New Albany Strategic Plan recommendations for the Ganton Property including:

- Creation of a compelling, high quality office development along the frontage of State Route 161.
- Creation a new public road, Ganton Parkway, to create new development sites in this area.
- Preserving and creating a linear greenway along the Rose Run stream corridor through the site, complete with leisure trail connections.
- Creation of strong connections to the Village Center for pedestrians and cyclists.

This site is uniquely positioned in the Village Center, where more compact town-center development is encouraged and along State Route 161 where large-scale commercial uses are appropriate in the community. The proposed C-PUD zoning text meets both of these goals as the Village Center Urban Center Code applies to development in subarea 3 and the text provides standards in subareas 1 and 2, along State Route 161, for the creation of high-quality commercial development. The extension of Ganton Parkway through the zoning district provides additional vehicular and pedestrian connectivity in the community and access to future development sites, while preserving the character of the immediate area.

The public dedication of 100 feet adjacent to the Rose Run corridor in subarea 3 will allow future phases of Rose Run Park to be extended through this zoning district. Rose Run Park is a critical component of the Village Center experience and provides a high-quality amenity for the entire community.

The applicant is required to submit preliminary and final development plan applications prior to any construction within the zoning district. These applications will be reviewed by the Architectural Review Board and Planning Commission in the future.

V. ACTION

Should Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

Move to recommend approval of zoning change application ZC-48-2024 to New Albany City Council.

Approximate Site Location:



Source: NearMap

EXHIBIT A

SUBAREA 3 PERMITTED BUILDING TYPOLOGIES AND USES

BUILDING TYPOLOGIES WITH URBAN CENTER CODE REFERENCES	USES
COTTAGE (UCC 2.5)	HOME OCCUPATION
BUNGALOW (UCC 2.14)	LIVE-WORK/JOINT LIVING-WORKING QUARTERS
HOUSE (UCC 2.23)	SINGLE-FAMILY DETACHED
ATTACHED HOUSE (UCC 2.32)	MULTI-FAMILY WITH TWO OR MORE DWELLING UNITS
TWO-FAMILY BUILDING (UCC 2.41)	COACH HOUSE/ACCESSORY DWELLING
TOWNHOME (UCC 2.50)	BED AND BREAKFAST
MULTI-UNIT HOUSE (UCC 2.59)	DAY CARE CENTER
	GOVERNMENT FACILITY
	EDUCATIONAL FACILITY
	RELIGIOUS EXERCISE FACILITY
	PARKS, PLAYGROUNDS AND OPEN SPACE
	RECREATIONAL FACILITY
	PRIVATE COMMUNITY FACILITIES
	POST OFFICES

Permit # _____
 Board _____
 Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>9582 Johnstown Road</u> Parcel Numbers <u>Franklin County 222-000238 and a portion of 222-004730</u> Acres <u>108.1+/-</u> # of lots created _____																																																											
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Choose Application Type</th> <th colspan="4" style="text-align: left;">Circle all Details that Apply</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Certificate of Appropriateness</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Conditional Use</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Plan</td> <td>Preliminary</td> <td>Final</td> <td><input checked="" type="checkbox"/> Comprehensive</td> <td>Amendment</td> </tr> <tr> <td><input type="checkbox"/> Plat</td> <td>Preliminary</td> <td>Final</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Lot Changes</td> <td>Combination</td> <td>Split</td> <td><input type="checkbox"/> Adjustment</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Vacation</td> <td>Easement</td> <td></td> <td><input type="checkbox"/> Street</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Variance</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Extension Request</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Zoning</td> <td><input checked="" type="checkbox"/> Amendment (rezoning)</td> <td></td> <td><input type="checkbox"/> Text Modification</td> <td></td> </tr> </tbody> </table>	Choose Application Type	Circle all Details that Apply				<input type="checkbox"/> Appeal					<input type="checkbox"/> Certificate of Appropriateness					<input type="checkbox"/> Conditional Use					<input checked="" type="checkbox"/> Development Plan	Preliminary	Final	<input checked="" type="checkbox"/> Comprehensive	Amendment	<input type="checkbox"/> Plat	Preliminary	Final			<input type="checkbox"/> Lot Changes	Combination	Split	<input type="checkbox"/> Adjustment		<input type="checkbox"/> Minor Commercial Subdivision					<input type="checkbox"/> Vacation	Easement		<input type="checkbox"/> Street		<input type="checkbox"/> Variance					<input type="checkbox"/> Extension Request					<input checked="" type="checkbox"/> Zoning	<input checked="" type="checkbox"/> Amendment (rezoning)		<input type="checkbox"/> Text Modification
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Description of Request: <u>Rezoning to a new C-PUD, Comprehensive Planned Unit Development District to provide use and development standards for future medical, office, residential, and parkland uses.</u>																																																												
Contacts	Property Owner's Name: <u>Whitebarn Organics LLC and The New Albany Company LLC</u> Address: <u>c/o Aaron L. Underhill, Esq., Underhill & Hodge LLC, 8000 Walton Pkwy, Suite 260</u> City, State, Zip: <u>New Albany, Ohio 43054</u> Phone number: <u>(614) 335-9329</u> Fax: <u>(614) 335-9329</u> Email: <u>aaron@uhlfirm.com</u>																																																											
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Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																																																											
	<table style="width: 100%;"> <tr> <td style="width: 30%;">Signature of Owner</td> <td style="width: 30%;">By: </td> <td style="width: 40%;">Date: <u>5/24/24</u></td> </tr> <tr> <td>Signature of Applicant</td> <td>By: </td> <td>Date: <u>5/24/24</u></td> </tr> </table>	Signature of Owner	By:	Date: <u>5/24/24</u>	Signature of Applicant	By:	Date: <u>5/24/24</u>																																																					
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GANTON C-PUD

Information concerning specific Code requirements for rezoning submittal by The New Albany Company LLC

Per C.O. 1111.03(c) and (d), a written statement of the existing use and zoning district and a written statement of the proposed use and zoning district.

Response: The property is undeveloped but subject to a C-PUD, Comprehensive Planned Unit Development (C-PUD) zoning classification known as the 1998 NACO PUD. That zoning allows for the development of up to 294 housing units on lots which are required to have a minimum width of 80 feet, as well as CF, Communities Facilities uses as provided in Chapter 1151 of the Codified Ordinances. The subject property also is subject to the Urban Center Code Overlay District. The Urban Center Code provides an applicant with the option of developing the subject property in accordance with the 1998 NACO PUD or in accordance with the Urban Center Code.

The proposed rezoning is to a new C-PUD District designation to allow for the development of hospital and other medical uses (Subarea 1), medical and professional offices (Subarea 2), and residential development and parkland applying the Urban Center Code's development standards (Subarea 3). A rezoning is needed for several reasons. The Urban Center Overlay District has assigned the Village Residential subdistrict to the property, which does not allow medical or office uses but does permit the development of residential uses on smaller, urban-style lots. Being a form-based code, the Urban Center Code does not prescribe densities but instead yields a number of units based on conformance with the development standards which apply to the particular type of development being proposed. On the other hand, the existing C-PUD zoning allows for the development of up to 294 single-family detached units having minimum lot widths of 80 feet, as well as uses that are permitted in the City's CF, Community Facilities District. It does not allow office uses. As a result, a rezoning is needed to facilitate the mix of proposed uses and to provide modernized standards for the non-residential components of the new C-PUD.

Per C.O. 1111.03(g), a statement as to how the proposed zoning amendment will impact adjacent and proximate properties.

Response: The site consists of 108.0+/- acres located to the south of the U.S. Route 62 interchange on State Route 161. To the west of the site are a gas station, the Plain Township Fire Station, and a senior congregate care living facility. To the west are school and church uses. The proposed subareas provide for residential and parkland uses in the areas adjacent to the latter two uses, while providing non-residential uses adjacent to the freeway and to the non-residential uses to the west. This rezoning will help to facilitate the extension of Ganton Parkway from U.S Route 62 and Thiessen Drive on the west southeasterly though the property. This will provide an important vehicular thoroughfare for the community, providing connectivity between U.S. Route 62 and East Dublin-Granville Road.

Per C.O. 1111.03(i), any deed restrictions, easements, covenants and encumbrances to be imposed to control the use, development and maintenance of the area to be rezoned.

Response: The non-residential portions of the property will be subject to The New Albany Business Park CCRs and will be part of The New Albany Business Park Association. Residential areas are likely to become subject to a homeowners' association in the future. Areas dedicated as parkland may be subjected to restrictions limiting the use of those areas for public purposes.

Per C.O. 1159.07(b)(2)(F) The schedule of site development, construction of structures and associated facilities. Such schedule shall include the proposed use or reuse of existing features such as topography, streets, easements and natural areas.

Response: Development of the site will occur based on market demand after final zoning approval is received.

Per C.O. 1159.07(b)(2)(J) Verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain a Water Quality Certification Permit from the Ohio Environmental Protection Agency. In the case of an isolated wetland either a general state or individual state isolated wetland permit must be obtained from the Ohio Environmental Protection Agency (Sections 6111.021. - 6111.024 of House Bill 231).

Response: See separate response prepared by EMH&T.

Per C.O. 1159.07(b)(2)(K) Verification that an application, if required, has been submitted to the U.S. Army Corps of Engineers, in compliance with Section 404 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain either a nationwide or individual permit from the U.S. Army Corps of Engineers.

Response: See separate response prepared by EMH&T.

AFFIDAVIT OF FACTS

I, Aaron L. Underhill, in my capacity as attorney for the applicant listed on the zoning application pertaining to 108.1+/- acres that are to be included in the proposed Ganton C-PUD, do hereby state and depose the following:

That accompanying this affidavit is a list of all property owners located within two hundred (200) feet of the parcel(s) that are the subject of the application and their addresses as appearing on the Franklin County Auditor's current tax list; and

That said list is based solely on the records of the Office of the Auditor of Franklin County, Ohio, as provided on its website on or about the date of this affidavit.

Further Affiant sayeth not.

By: 
Aaron L. Underhill
Attorney, Underhill & Hodge LLC

STATE OF OHIO
COUNTY OF FRANKLIN SS.

The foregoing instrument was acknowledged before me on the 24th day of May, 2024, by Aaron L. Underhill, who acknowledged the foregoing signature to be his voluntary act and deed.



Justin M. Fox
Attorney At Law
Notary Public, State of Ohio
My Commission Does Not Expire
Sec. 147.03 R.C.


Notary Public

My Commission Expires: _____

APPLICANT:

The New Albany Company LLC
8000 Walton Parkway, Suite 120
New Albany, OH 43054

**PROPERTY
OWNER(S)/APPLICANT:**

The New Albany Company LLC
8000 Walton Parkway, Suite 120
New Albany, OH 43054

Whitebarn Organics LLC
8000 Walton Parkway, Suite 120
New Albany, OH 43054

ATTORNEY:

Aaron L. Underhill
Underhill & Hodge LLC
8000 Walton Parkway, Suite 260
New Albany, OH 43054

**SURROUNDING PROPERTY
OWNERS:**

Route 62 & Walton Road LLC
1935 James Pkwy
Heath, OH 43056

Plain Township Trustees
9500 Johnstown Road
New Albany, OH 43054

Lake (New Albany) LLC
6688 North Central, Suite 1400
Dallas, TX 75206

JW & CPK & Co., Tr.
(no address on Cunty Auditor website)



Aaron L. Underhill
8000 Walton Parkway, Suite 260
New Albany, Ohio 43054

P: 614.335.9321
F: 614.335.9329
aaron@uhlfirm.com

May 24, 2024

Mr. Stephen Mayer
Development Services Director
City of New Albany
99 W. Main Street
New Albany, Ohio 43054

RE: School Impact of Rezoning of 108.1+/- acres located to south of the U.S. Route 62/State Route 161 Interchange (Ganton C-PUD)

Dear Steve:

This letter addresses the potential impact of a proposed rezoning of the above-referenced property on the New Albany-Plain Local School District (NAPLSD). The New Albany Company (“NACO”) (which is the applicant for this application) and Whitebarn Organics LLC together own 108.1+/- acres of real property located to the south of and adjacent to the U.S. Route 62 interchange on State Route 161. The rezoning application that has been filed seeks to apply to apply a C-PUD, Comprehensive Planned Unit Development designation for the property to facilitate the development of a hospital, other medical uses, and a medical or professional office building in an area bounded by State Route 161 on the north and an anticipated extension of Ganton Parkway through the property on the south. Portions of the C-PUD located to the south of the Ganton parkway extension are proposed for residential development as well as a significant amount of open space.

The property is presently zoned C-PUD, Comprehensive Planned Unit Development as part of the 1998 NACO PUD, but is also subject to the Urban Center Code Overlay District. The City’s Urban Center Code provides the property owners with the option of developing the subject property in accordance with the 1998 NACO PUD or in accordance with the Urban Center Code. The Urban Center Overlay District has assigned the Village Residential subdistrict to the property, which does not allow medical or office uses allows but does permit the development of residential uses on smaller, urban-style lots. Being a form-based code, the Urban Center Code does not prescribe densities but instead yields densities based on conformance with the development standards which apply to the particular type of development being proposed. On the other hand, the existing C-PUD zoning allows for the development of up to 294 single-family detached units having minimum lot widths of 80 feet, as well as uses that are permitted in the City’s CF, Community Facilities District. It does not allow office uses.

In order to accommodate the mix of uses types that are being sought, the applicant is rezoning the property. This also provides the opportunity to update and modernize standards

from the 1998 NACO PUD to incorporate best practices learned in the context of non-residential development over the past 25+ years.

Subarea 1 of this rezoning will permit a hospital and other medical uses. While a hospital is likely to be exempt from real estate taxes, it will not produce any schoolchildren and will be revenue neutral to the school district. Subarea 2 will allow for 15.9+/- acres to be developed with medical or professional office uses. This will result in conversion of this acreage from residential uses to school-tax generating offices. Subarea 3 will retain the right to develop the 294 residential units that are permitted on the total area of the property under the existing C-PUD. However, it will apply the Urban Center Code's residential design standards and requirement, resulting in smaller lots and therefore smaller residential units. The applicant desires to provide a generous amount of parkland that may be donated to the school district for use as athletic fields, filling a need for the district. Taken together, the new development standards for Subarea 3 and the land donation are likely to mean that Subarea 3 will not include all 294 permitted units, and a number of these units will be deposited into NACO's housing bank.

The end result of this rezoning will be to turn residential land into medical and office ground, while providing development standards for residential development that will yield units with less square footage than would be found on lots with a minimum of 80 feet of width as required in the C-PUD that presently applies to the property. Importantly, this rezoning provides the opportunity to create a significant amount of land for the school district to use to serve its growing needs for athletics facilities. Therefore, this rezoning provides a positive impact not only from a financial standpoint, but from a facilities standpoint as well.

We look forward to more dialogue on this application and its benefits as we move through the City's review process.

Sincerely,



Aaron L. Underhill
Attorney for The New Albany Company



Engineers, Surveyors, Planners, Scientists

May 13, 2024

Mr. Steve Mayer
City of New Albany
Development Department
99 West Main Street
New Albany, OH 43054

Subject: Ganton C-PUD – Environmental Compliance

Dear Mr. Mayer,

This letter serves to inform the City of New Albany of environmental conditions associated with the Ganton C-PUD project, located south of Johnstown Road, west of State Route 161, and north of Dublin Granville Road, in the City of New Albany, Franklin County, Ohio. This letter specifically addresses Subareas 1, 2, and 3 as shown on the May 10, 2024 Rezoning Comprehensive Plan.

Subarea 1 was recently delineated for Waters of the U.S. by the Environmental Department of EMH&T. This subarea contains the Rose Run mainstem, an intermittent tributary to Rose Run, and four (4) wetlands. This report is currently under review at the U.S. Army Corps of Engineers (USACE). Subareas 2 and 3 will be delineated in July 2024, and a second report will be sent to the USACE for review. It is anticipated that development of the various Subareas will require impacts to several streams and wetlands. Permits from the USACE and Ohio EPA will be required.

If you have any questions regarding this information or require additional documentation, please do not hesitate to contact me at (614) 775-4515.

Sincerely,

EVANS, MECHWART, HAMBLETON & TILTON, INC.

A handwritten signature in blue ink that reads "Robert F. Milligan".

Robert F. Milligan
Director of Environmental Services
Principal

Cc: Todd Cunningham, EMH&T

SUBAREA 2
15.9 ACRES

Situated in the State of Ohio, County of Franklin, City of New Albany, located in Lot 26, Quarter Township 4, Township 2, Range 16, United States Military District, being out of those tracts conveyed to Whitebarn Organics, LLC by deed of record in Instrument number 201209250143281 (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and being described as follows:

Beginning, for reference, at the easterly terminus of the northerly right-of-way line of Theisen Drive (formerly Ganton Road) of record in Plat Book 86, Page 32, and renamed by Ordinance Number 0-15-2000, in the southwesterly line of that 3.092 acre tract conveyed to Route 62 & Walton Road LLC by deed of record in Instrument Number 201912270173755, being an angle point in the westerly line of said 19.729 acre tract;

with the arc of a curve to the left, having a central angle of $13^{\circ} 14' 40''$, a radius of 420.00 feet, an arch length of 97.09 feet, a chord bearing of South $58^{\circ} 45' 36''$ East and a chord distance of 98.67 feet to the northwesterly line of that 19.729 acre tract conveyed to The New Albany Company, LLC by deed of record in Instrument Number 201411260158311;

Thence North $34^{\circ} 21' 50''$ East, a distance of 641.24 feet to a point in the southerly limited access right-of-way line of State Route 161;

Thence with the southerly limited access right-of-way of said State Route 161, the following courses and distances:

South $59^{\circ} 54' 58''$ East, a distance of 48.83 feet to a point;

South $66^{\circ} 40' 43''$ East, a distance of 380.30 feet to a point;

South $58^{\circ} 56' 24''$ East, a distance of 250.42 feet to a point;

South $45^{\circ} 55' 12''$ East, a distance of 361.29 feet to a point;

South $41^{\circ} 53' 42''$ East, a distance of 350.57 feet to a point; and

South $39^{\circ} 11' 51''$ East, a distance of 51.60 feet to the TRUE POINT OF BEGINNING;

Thence with said southerly limited access right-of-way line, the northerly line of said Whitebarn Organics, LLC tract, the following courses and distances:

South $39^{\circ} 11' 51''$ East, a distance of 448.42 feet to a point;

South $35^{\circ} 46' 42''$ East, a distance of 300.33 feet to a point;

South $37^{\circ} 07' 21''$ East, a distance of 507.78 feet to a point;

South $44^{\circ} 34' 24''$ East, a distance of 313.88 feet to a point; and

South $55^{\circ} 24' 30''$ East, a distance of 417.65 feet to a point in the northerly right-of-way line of Dublin-Granville Road;

Thence South $38^{\circ} 05' 50''$ West, with said northerly right-of-way line, a southeasterly line of said Whitebarn Organics, LLC tract, a distance of 72.06 feet to a point;

Thence North $88^{\circ} 30' 40''$ West, with said northerly right-of-way line, a southerly line of said Whitebarn Organics, LLC tract, a distance of 343.24 feet to a point on the arc of a curve;

Thence across said Whitebarn Organics, LLC tract, the following courses and distances:

with the arc of a curve to the right, having a central angle of $19^{\circ} 51' 13''$, a radius of 619.00 feet, an arc length of 214.49 feet, a chord bearing of North $48^{\circ} 48' 15''$ West and chord distance of 213.42 feet to a point of tangency;

North $38^{\circ} 52' 38''$ West, a distance of 378.01 feet to a point of curvature;

SUBAREA 2
15.9 ACRES

-2-

with the arc of a curve to the left, having a central angle of $22^{\circ} 47' 53''$, a radius of 1000.00 feet, an arc length of 397.90 feet, a chord bearing of North $50^{\circ} 16' 35''$ West and chord distance of 395.28 feet to a point of tangency;

North $61^{\circ} 40' 32''$ West, a distance of 34.87 feet to a point of curvature;

with the arc of a curve to the left, having a central angle of $29^{\circ} 34' 35''$, a radius of 700.00 feet, an arc length of 361.34 feet, a chord bearing of North $76^{\circ} 27' 49''$ West and chord distance of 357.34 feet to a point of reverse curvature;

with the arc of a curve to the right, having a central angle of $25^{\circ} 43' 16''$, a radius of 892.00 feet, an arc length of 400.43 feet, a chord bearing of North $78^{\circ} 23' 28''$ West and chord distance of 397.08 feet to a point;

North $39^{\circ} 36' 07''$ East, a distance of 826.71 feet to the TRUE POINT OF BEGINNING, containing 15.9 acres, more or less.

EVANS, MECHWART, HAMBLELTON & TILTON, INC.

SUBAREA 1
27.2 ACRES

Situated in the State of Ohio, County of Franklin, City of New Albany, located in Lots 25 and 26, Quarter Township 4, Township 2, Range 16, United States Military District, being out of those tracts conveyed to Whitebarn Organics, LLC by deed of record in Instrument number 201209250143281 and the remainder of that 19.729 acre tract conveyed to The New Albany Company by deed of record in Instrument Number 201411260158311 (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and being described as follows:

BEGINNING at the easterly terminus of the northerly right-of-way line of Theisen Drive (formerly Ganton Road) of record in Plat Book 86, Page 32, and renamed by Ordinance Number 0-15-2000, in the southwesterly line of that 3.092 acre tract conveyed to Route 62 & Walton Road LLC by deed of record in Instrument Number 201912270173755, being an angle point in the westerly line of said 19.729 acre tract;

Thence with the line common to said 19.729 acre and 3.092 acre tracts, with the arc of a curve to the left, having a central angle of $13^{\circ} 14' 40''$, a radius of 420.00 feet, an arc length of 97.09 feet, a chord bearing of South $58^{\circ} 45' 36''$ East and chord distance of 96.87 feet to a point;

Thence North $34^{\circ} 21' 50''$ East, partially with said common line and partially across said 19.729 acre tract, a distance of 641.24 feet to a point in the southerly limited access right-of-way line of State Route 161;

Thence with said southerly limited access right-of-way line, the northerly line of said Whitebarn Organics, LLC tract, the following courses and distances:

South $59^{\circ} 54' 58''$ East, a distance of 48.83 feet to a point;

South $66^{\circ} 40' 43''$ East, a distance of 380.30 feet to a point;

South $58^{\circ} 56' 24''$ East, a distance of 250.42 feet to a point;

South $45^{\circ} 55' 12''$ East, a distance of 361.29 feet to a point;

South $41^{\circ} 53' 42''$ East, a distance of 350.57 feet to a point; and

South $39^{\circ} 11' 51''$ East, a distance of 51.60 feet to a point;

Thence across said Whitebarn Organics, LLC tract and the remainder of said 19.729 acre tract, the following courses and distances:

South $39^{\circ} 36' 07''$ West, a distance of 826.71 feet to a point of curvature;

with the arc of a curve to the right, having a central angle of $28^{\circ} 30' 29''$, a radius of 892.00 feet, an arc length of 443.82 feet, a chord bearing of North $51^{\circ} 16' 36''$ West and chord distance of 439.26 feet to a point of reverse curvature;

with the arc of a curve to the left, having a central angle of $13^{\circ} 47' 28''$, a radius of 1761.00 feet, an arc length of 423.87 feet, a chord bearing of North $43^{\circ} 55' 05''$ West and chord distance of 422.85 feet to a point of tangency;

North $50^{\circ} 48' 49''$ West, a distance of 257.30 feet to a point of curvature; and

with the arc of a curve to the right, having a central angle of $07^{\circ} 31' 27''$, a radius of 1805.00 feet, an arc length of 237.04 feet, a chord bearing of North $47^{\circ} 03' 05''$ West and chord distance of 236.87 feet to a point of tangency;

Thence North $43^{\circ} 13' 18''$ West, a distance of 4.27 feet to a point in the line common to said 19.729 acre tract and that 2.3 acre tract conveyed to Board of Trustees of Plain Township, Franklin County, Ohio by deed of record in Instrument Number 200706080100446;

Thence North $48^{\circ} 22' 06''$ East, with a line common to said 19.729 acre and 2.3 acre tracts, a distance of 13.35 feet to a point;

SUBAREA 1
27.2 ACRES

-2-

Thence North $86^{\circ} 20' 46''$ West, with a line common to said 19.729 acre and 2.3 acre tracts, a distance of 2.81 feet to a point of curvature, being the easterly corner of that 2.414 acre tract conveyed to Township Trustees of Plain Township, Ohio by deed of record in Official Record 32141C14;

Thence with the line common to said 19.729 acre and 2.414 acre tracts, with the arc of a curve to the right, having a central angle of $11^{\circ} 36' 41''$, a radius of 479.99 feet, an arc length of 97.27 feet, a chord bearing of North $57^{\circ} 56' 36''$ West and chord distance of 97.11 feet to a point at the easterly terminus of the southerly right-of-way line of said Theisen Drive;

Thence North $37^{\circ} 51' 43''$ East, with the easterly terminus of said Theisen Drive, a westerly line of said 19.729 acre tract, a distance of 60.00 feet to the POINT OF BEGINNING, containing 27.2 acres, more or less.

EVANS, MECHWART, HAMBLETON & TILTON, INC.

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SUBAREA 3
65.0 ACRES

Situated in the State of Ohio, County of Franklin, City of New Albany, located in Lots 25 and 26, Quarter Township 4, Township 2, Range 16, United States Military District, being out of those tracts conveyed to Whitebarn Organics, LLC by deed of record in Instrument number 201209250143281 and the remainder of that 19.729 acre tract conveyed to The New Albany Company by deed of record in Instrument Number 201411260158311 (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and being described as follows:

Beginning, for reference, at the easterly terminus of the northerly right-of-way line of Theisen Drive (formerly Ganton Road) of record in Plat Book 86, Page 32, and renamed by Ordinance Number 0-15-2000, in the southwesterly line of that 3.092 acre tract conveyed to Route 62 & Walton Road LLC by deed of record in Instrument Number 201912270173755, being an angle point in the westerly line of said 19.729 acre tract;

Thence South $37^{\circ} 51' 43''$ West, with the easterly terminus of said Theisen Drive, a westerly line of said 19.729 acre tract, a distance of 60.00 feet to a point in the northeasterly line of that 2.414 acre tract conveyed to Township Trustees of Plain Township, Ohio by deed of record in Official Record 32141C14;

Thence with the line common to said 19.729 acre and 2.414 acre tracts, with the arc of a curve to the right, having a central angle of $11^{\circ} 36' 41''$, a radius of 479.99 feet, an arc length of 97.27 feet, a chord bearing of South $57^{\circ} 56' 36''$ East and chord distance of 97.11 feet to a point in the northerly line of that 2.3 acre tract conveyed to Board of Trustees of Plain Township, Franklin County, Ohio by deed of record in Instrument Number 200706080100446;

Thence South $86^{\circ} 20' 46''$ East, with a line common to said 19.729 acre and 2.3 acre tracts, a distance of 2.81 feet to a point;

Thence South $48^{\circ} 22' 06''$ West, with a line common to said 19.729 acre and 2.3 acre tracts, a distance of 13.35 feet to the TRUE POINT OF BEGINNING;

Thence across said 19.729 acre tract and said Whitebarn Organics, LLC tract, the following courses and distances:

South $43^{\circ} 13' 18''$ East, a distance of 4.27 feet to a point of curvature;

with the arc of a curve to the left, having a central angle of $07^{\circ} 31' 27''$, a radius of 1805.00 feet, an arc length of 237.04 feet, a chord bearing of South $47^{\circ} 03' 05''$ East and chord distance of 236.87 feet to a point of tangency;

South $50^{\circ} 48' 49''$ East, a distance of 257.30 feet to a point of curvature;

with the arc of a curve to the right, having a central angle of $13^{\circ} 47' 28''$, a radius of 1761.00 feet, an arc length of 423.87 feet, a chord bearing of South $43^{\circ} 55' 05''$ East and chord distance of 422.85 feet to a point of reverse curvature;

with the arc of a curve to the left, having a central angle of $54^{\circ} 13' 45''$, a radius of 892.00 feet, an arc length of 844.26 feet, a chord bearing of South $64^{\circ} 08' 14''$ East and chord distance of 813.10 feet to a point of reverse curvature;

with the arc of a curve to the right, having a central angle of $29^{\circ} 34' 35''$, a radius of 700.00 feet, an arc length of 361.34 feet, a chord bearing of South $76^{\circ} 27' 49''$ East and chord distance of 357.34 feet to a point of tangency;

South $61^{\circ} 40' 32''$ East, a distance of 34.87 feet to a point of curvature;

with the arc of a curve to the right, having a central angle of $22^{\circ} 47' 53''$, a radius of 1000.00 feet, an arc length of 397.90 feet, a chord bearing of South $50^{\circ} 16' 35''$ East and chord distance of 395.28 feet to a point of tangency;

South $38^{\circ} 52' 38''$ East, a distance of 378.01 feet to a point of curvature; and

SUBAREA 3
65.0 ACRES

-2-

with the arc of a curve to the left, having a central angle of 19° 51' 14", a radius of 619.00 feet, an arc length of 214.49 feet, a chord bearing of South 48° 48' 15" East and chord distance of 213.42 feet to a point on the northerly right-of-way line of Dublin-Granville Road;

Thence with said northerly right-of-way line, across said Whitebarn Organics, LLC tract, the following courses and distances:

North 88° 30' 40" West, a distance of 257.13 feet to a point;

South 89° 22' 31" West, a distance of 250.65 feet to a point;

South 77° 09' 30" West, a distance of 52.34 feet to a point;

North 86° 17' 59" West, a distance of 189.98 feet to a point;

North 86° 20' 52" West, a distance of 2229.55 feet to a point; and

North 64° 35' 31" West, a distance of 31.56 feet to a point in an easterly line of said 19.729 acre tract;

Thence with the line common to said Whitebarn Organics, LLC tract and said 19.729 acre tract, the following courses and distances:

North 01° 33' 18" East, a distance of 370.60 feet to a point;

North 43° 25' 25" West, a distance of 160.35 feet to a point;

North 10° 36' 42" West, a distance of 7.40 feet to a point; and

North 06° 36' 46" West, a distance of 55.12 feet to a point at the southeasterly corner of that 14.455 acre tract conveyed to Lake (New Albany) LLC by deed of record in Instrument Number 202110250193933;

Thence with the line common to said Whitebarn Organics, LLC tract and said 14.455 acre tract, the following courses and distances:

North 03° 25' 34" East, a distance of 345.68 feet to a point;

North 27° 46' 36" East, a distance of 243.10 feet to a point;

North 47° 29' 20" East, a distance of 398.63 feet to a point; and

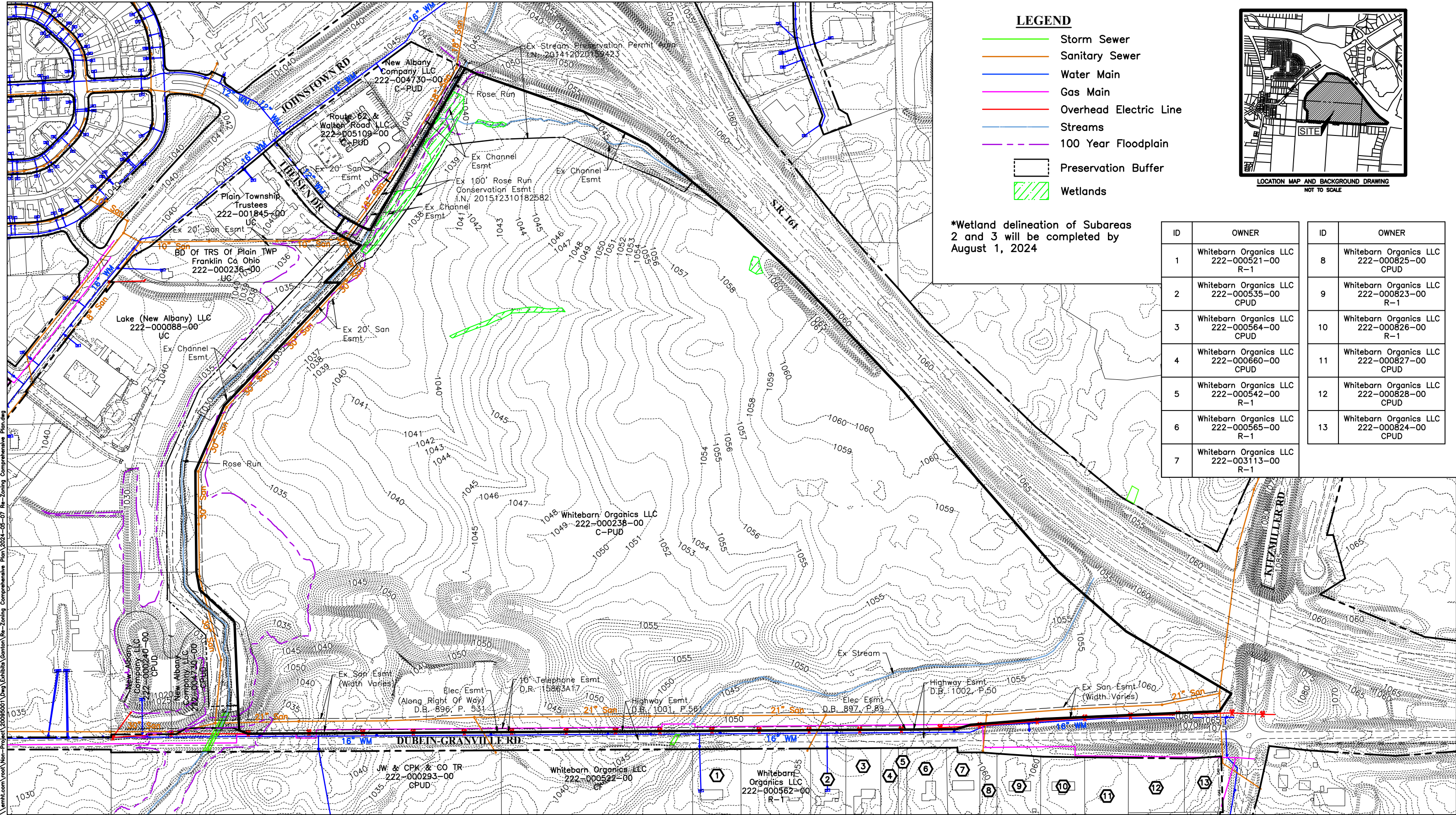
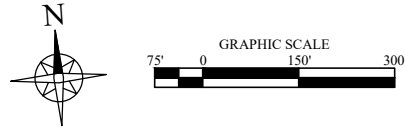
North 46° 46' 55" East, a distance of 178.50 feet to a point at the common corner of the remainder of said 19.729 acre tract and said 14.455 acre tract;

Thence North 85° 51' 54" West, with the line common to said remainder of said 19.729 acre tract and said 14.455 acre tract, a distance of 52.09 feet to a point at the southeasterly corner of said 2.3 acre tract;

Thence North 48° 22' 06" East, with the line common to said 19.729 acre and 2.3 acre tracts, a distance of 164.68 feet to the TRUE POINT OF BEGINNING, containing 65.0 acres, more or less.

EVANS, MECHWART, HAMBLETON & TILTON, INC.

GANTON C-PUD REZONING COMPREHENSIVE PLAN - EXISTING CONDITIONS



LEGEND

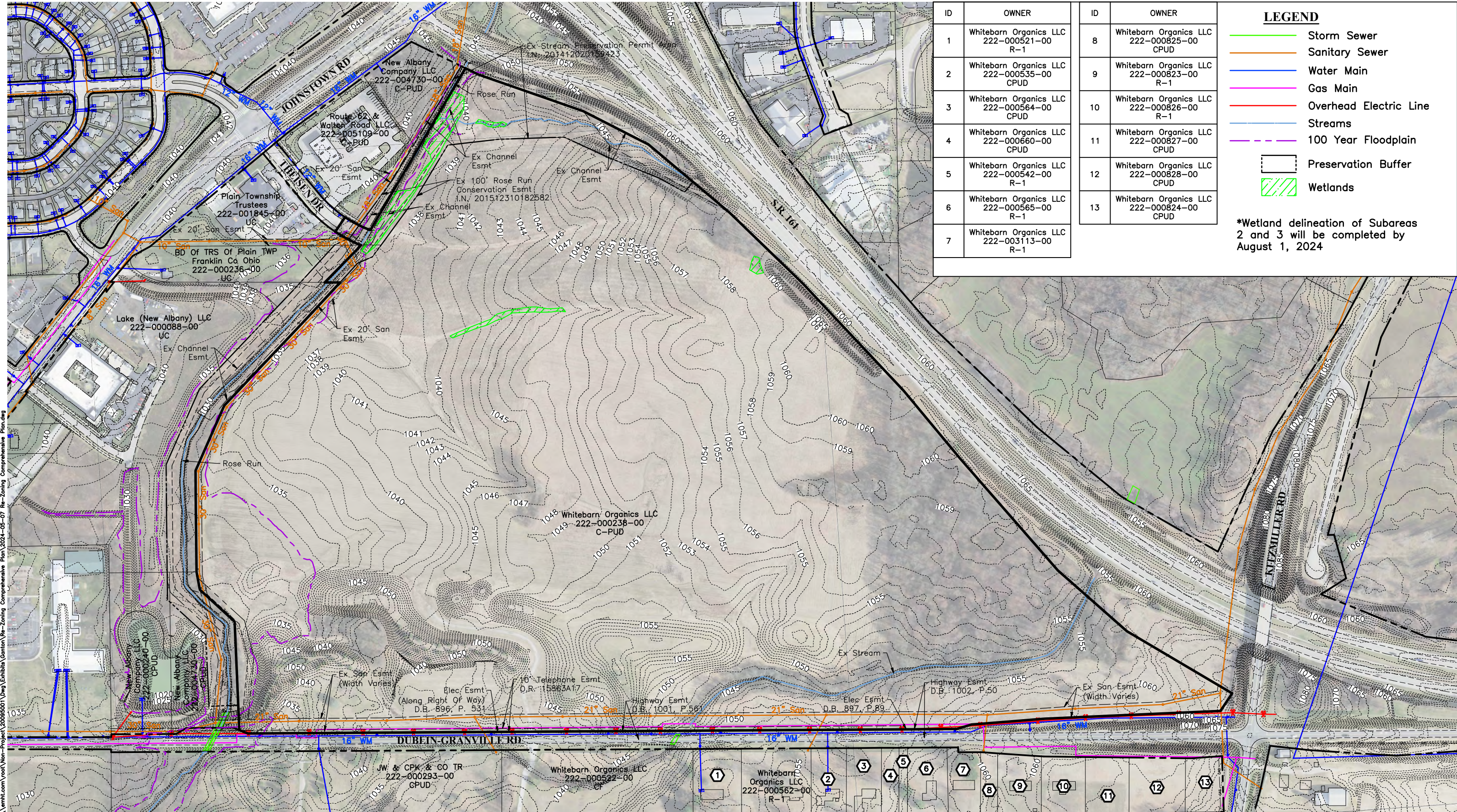
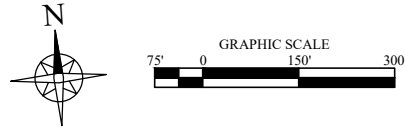
- Storm Sewer
- Sanitary Sewer
- Water Main
- Gas Main
- Overhead Electric Line
- Streams
- - - 100 Year Floodplain
- Preservation Buffer
- Wetlands

*Wetland delineation of Subareas 2 and 3 will be completed by August 1, 2024

ID	OWNER	ID	OWNER
1	Whitebarn Organics LLC 222-000521-00 R-1	8	Whitebarn Organics LLC 222-000825-00 CPUD
2	Whitebarn Organics LLC 222-000535-00 CPUD	9	Whitebarn Organics LLC 222-000823-00 R-1
3	Whitebarn Organics LLC 222-000564-00 CPUD	10	Whitebarn Organics LLC 222-000826-00 R-1
4	Whitebarn Organics LLC 222-000660-00 CPUD	11	Whitebarn Organics LLC 222-000827-00 CPUD
5	Whitebarn Organics LLC 222-000542-00 R-1	12	Whitebarn Organics LLC 222-000828-00 CPUD
6	Whitebarn Organics LLC 222-000565-00 R-1	13	Whitebarn Organics LLC 222-000824-00 CPUD
7	Whitebarn Organics LLC 222-003113-00 R-1		

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GANTON C-PUD REZONING COMPREHENSIVE PLAN - EXISTING CONDITIONS



ID	OWNER	ID	OWNER
1	Whitebarn Organics LLC 222-000521-00 R-1	8	Whitebarn Organics LLC 222-000825-00 CPUD
2	Whitebarn Organics LLC 222-000535-00 CPUD	9	Whitebarn Organics LLC 222-000823-00 R-1
3	Whitebarn Organics LLC 222-000564-00 CPUD	10	Whitebarn Organics LLC 222-000826-00 R-1
4	Whitebarn Organics LLC 222-000660-00 CPUD	11	Whitebarn Organics LLC 222-000827-00 CPUD
5	Whitebarn Organics LLC 222-000542-00 R-1	12	Whitebarn Organics LLC 222-000828-00 CPUD
6	Whitebarn Organics LLC 222-000565-00 R-1	13	Whitebarn Organics LLC 222-000824-00 CPUD
7	Whitebarn Organics LLC 222-003113-00 R-1		

LEGEND

- Storm Sewer
- Sanitary Sewer
- Water Main
- Gas Main
- Overhead Electric Line
- Streams
- - - 100 Year Floodplain
- Preservation Buffer
- Wetlands

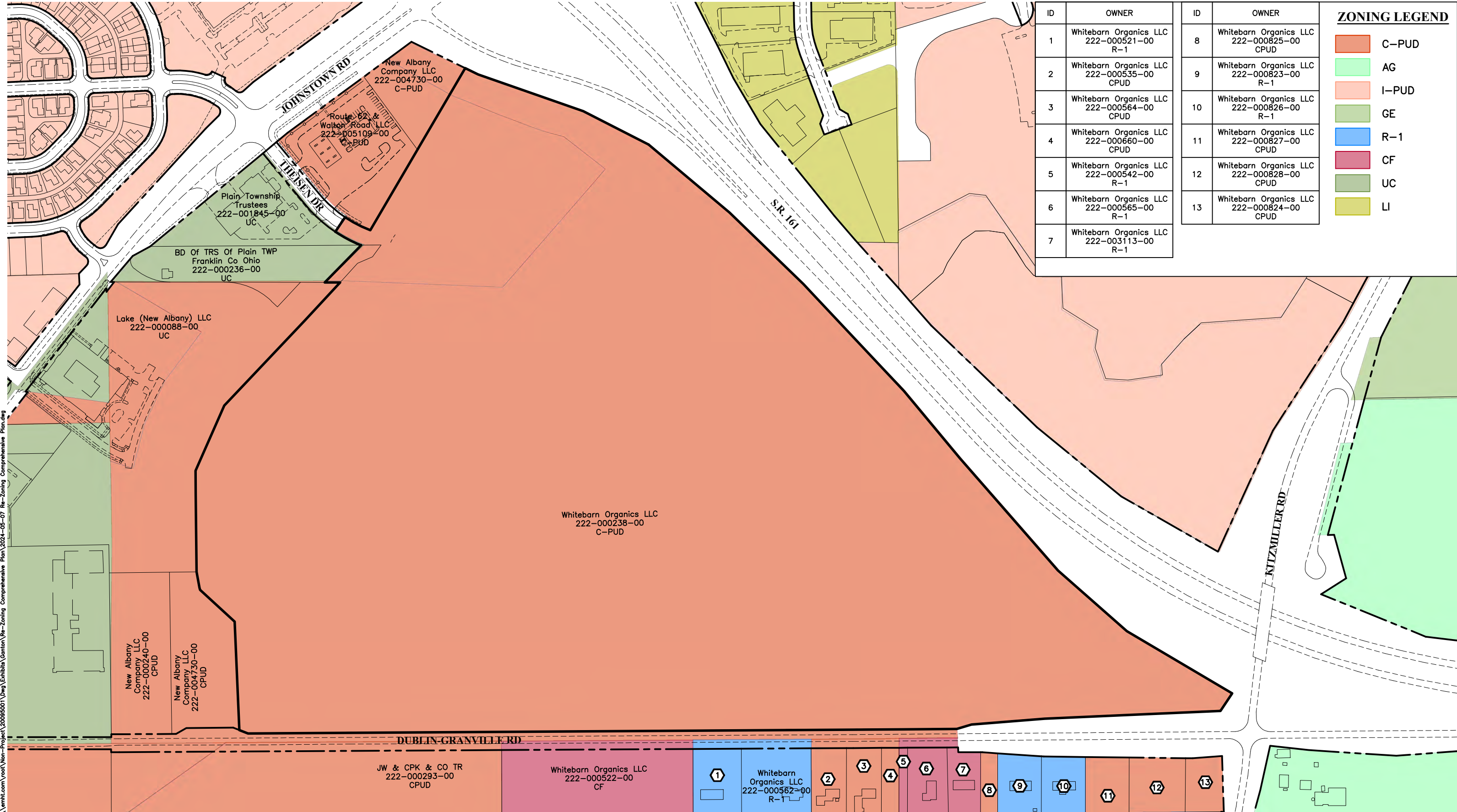
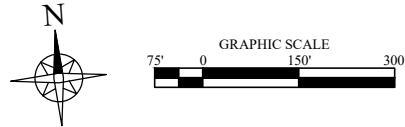
***Wetland delineation of Subareas 2 and 3 will be completed by August 1, 2024**

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GANTON C-PUD REZONING COMPREHENSIVE PLAN - EXISTING ZONING

New Albany, Ohio

Date: May 23, 2024



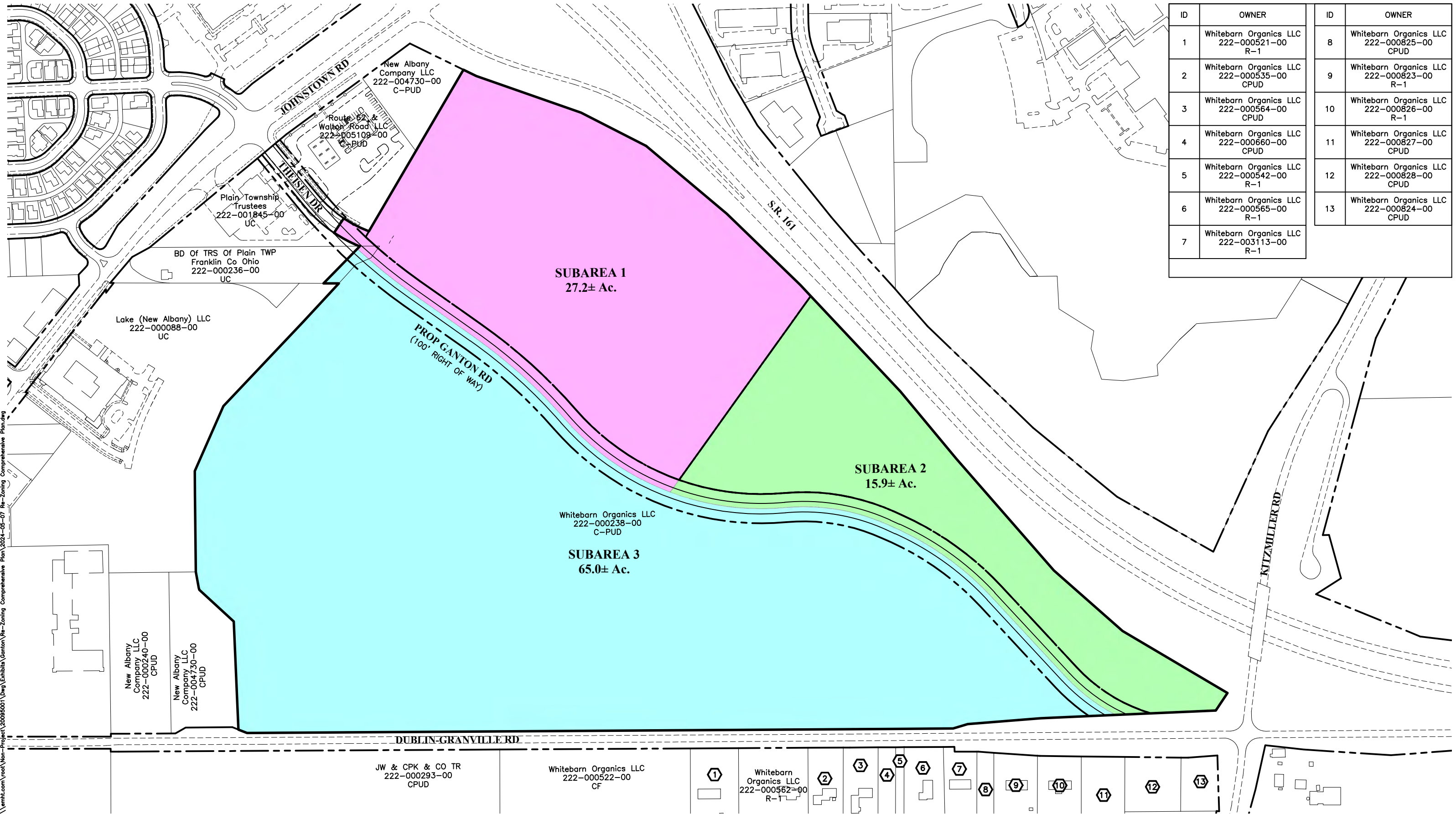
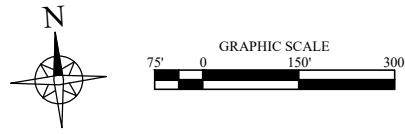
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1	Whitebarn Organics LLC 222-000521-00 R-1	8	Whitebarn Organics LLC 222-000825-00 CPUD
2	Whitebarn Organics LLC 222-000535-00 CPUD	9	Whitebarn Organics LLC 222-000823-00 R-1
3	Whitebarn Organics LLC 222-000564-00 CPUD	10	Whitebarn Organics LLC 222-000826-00 R-1
4	Whitebarn Organics LLC 222-000660-00 CPUD	11	Whitebarn Organics LLC 222-000827-00 CPUD
5	Whitebarn Organics LLC 222-000542-00 R-1	12	Whitebarn Organics LLC 222-000828-00 CPUD
6	Whitebarn Organics LLC 222-000565-00 R-1	13	Whitebarn Organics LLC 222-000824-00 CPUD
7	Whitebarn Organics LLC 222-0003113-00 R-1		

ZONING LEGEND

- C-PUD
- AG
- I-PUD
- GE
- R-1
- CF
- UC
- LI

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GANTON C-PUD REZONING COMPREHENSIVE PLAN - PROPOSED C-PUD SUB-AREA PLAN



ID	OWNER	ID	OWNER
1	Whitebarn Organics LLC 222-000521-00 R-1	8	Whitebarn Organics LLC 222-000825-00 CPUD
2	Whitebarn Organics LLC 222-000535-00 CPUD	9	Whitebarn Organics LLC 222-000823-00 R-1
3	Whitebarn Organics LLC 222-000564-00 CPUD	10	Whitebarn Organics LLC 222-000826-00 R-1
4	Whitebarn Organics LLC 222-000660-00 CPUD	11	Whitebarn Organics LLC 222-000827-00 CPUD
5	Whitebarn Organics LLC 222-000542-00 R-1	12	Whitebarn Organics LLC 222-000828-00 CPUD
6	Whitebarn Organics LLC 222-000565-00 R-1	13	Whitebarn Organics LLC 222-000824-00 CPUD
7	Whitebarn Organics LLC 222-003113-00 R-1		

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GANTON C-PUD ZONING DISTRICT

COMPREHENSIVE PLANNED UNIT DEVELOPMENT (C-PUD) TEXT

June 26, 2024

I. INTRODUCTION: The Ganton C-PUD Zoning District (hereinafter, the “Zoning District”) consists of 108.1+/- acres of real property located to the south and southwest of and adjacent to State Route 161, to the north of and adjacent to East Dublin-Granville Road, generally to the east of Johnstown Road/U.S. Route 62, and to the west of and partially adjacent to Kitzmiller Road. For over two and one-half decades, the subject property has been zoned in the 1998 NACO PUD, containing all of Subarea 3D and a portion of Subarea 3E of that planned district. Both of those subareas allow for CF, Community Facilities District uses under the Codified Ordinances. Subarea 3D also allows for the development of up to 294 detached single-family homes on lots with a minimum of 80 feet in width, and Subarea 3E allows for uses which are permitted in the C-2, General Business (Commercial) District under the Codified Ordinances, such as (but not limited to) retail stores, banks, and restaurants.

This rezoning serves several purposes:

A. First and foremost, it limits the scope of permitted Communities Facilities uses to those relating to hospitals and health care, and provides specific development standards for those uses.

B. Second, it allows for the development and operation of medical and professional office uses.

C. Third, it provides the opportunity to cluster homes in a limited portion of this Zoning District and allows for both detached and attached units.

D. Fourth, it facilitates the provision of meaningful and active green spaces, with a commitment of providing minimum of 15 acres of parkland which may include athletic fields serving the New Albany Plain Local School District and/or the public park system.

E. And finally, it facilitates the extension of Ganton Parkway through this Zoning District from its current terminus to the east and southeast so that it will connect to Thiessen Drive and U.S. Route 62. For purposes of this text, the term “Ganton Parkway” shall mean “an extension of the existing public street known as Ganton Parkway through this Zoning District so that it connects to Thiessen Drive and therefore provides a connection to U.S. Route 62, with a final location to be approved as part of a final plat.” It is anticipated that the existing intersection of Kitzmiller Road and East Dublin-Granville Road will be realigned in conjunction with the

construction of Ganton Parkway as generally illustrated in plans that accompany this text and as will be more particularly set forth in an approved final plat.

The amount of acreage contained within this Zoning District, when combined with the spectrum of anticipated uses, makes the C-PUD zoning classification appropriate for this site. Rather than utilizing the Urban Center Code Overlay District under the Codified Ordinances, which would provide for the review and approval of development plans only by the City's Architectural Review Board ("ARB"), this rezoning will provide for a multi-step review process under Codified Ordinances Chapter 1159 that includes not only the ARB, but also the Planning Commission and City Council. This is appropriate given the location of the property and the mix of uses and development that are proposed..

II. GENERAL DEVELOPMENT STANDARDS, ORGANIZATION OF THE DISTRICT, AND REVIEW PROCEDURES:

A. Regulatory Framework: Unless otherwise specified in this written text, the development standards of Part Eleven of the Codified Ordinances of the City of New Albany shall apply to this subarea. Where there is a conflict between the provisions in this text and the Codified Ordinances, the provisions in this text shall govern. Basic development standards are compiled regarding permitted uses, proposed densities, site configurations, traffic, circulation, landscaping, and architecture. These component standards ensure consistency and quality throughout the development.

B. Subareas: This Zoning District shall consist of three subareas, specifically:

i. Subarea 1, which shall consist of 27.2+/- acres having frontage on State Route 161 to the north/northeast and on Ganton Parkway on the south/southeast.

ii. Subarea 2, which shall consist of 15.9+/- acres located to the east/southeast of and adjacent to Subarea 1 and also having frontage on both State Route 161 to the north/northeast and on Ganton Parkway to the south.

iii. Subarea 3, which shall consist of 65.0+/- acres located to the south of and adjacent to Ganton Parkway and to the north of an adjacent to East-Dublin-Granville Road.

Notwithstanding the foregoing, the design, specifications, and final location of Ganton Parkway are subject to a platting process which may not be completed prior to the time when the approval of the Comprehensive Plan becomes legally effective. The acreages and boundaries of each of the subareas shall be deemed to be modified automatically based on the final design, specifications, and location of Ganton Parkway as set forth in a final plat for Ganton Parkway which is recorded with the Office of the Recorder of Franklin County. The automatic

modifications shall result in the southern boundaries of each of Subarea 1 and Subarea 2 and the northern boundary line of Subarea 3 being the centerline of Ganton Parkway. No final development plan application shall be approved in this Zoning District until such time as the final plat for Ganton Parkway has been approved by City Council.

C. Plan Review Procedures: This text and any plans filed along with it at the rezoning stage shall be considered to be the “Comprehensive Plan” that is required to be reviewed and approved in a C-PUD as provided in Chapter 1159 of the Codified Ordinances. Subsequent preliminary development plans and final development plans shall be submitted for review and approval by relevant boards, commissions, and City Council in accordance with Chapter 1159.

III. SUBAREA 1 DEVELOPMENT STANDARDS: The following standards and requirements shall apply to development within Subarea 1.

A. Permitted Uses: Permitted uses within Subarea 1 shall include the following:

i. Hospitals, with or without emergency departments and with or without overnight patient beds.

ii. In-patient surgery centers.

iii. Ambulatory care uses. The term “ambulatory care uses” is intended to encompass a wide range of medical care and medical services and includes (but is not limited to) some combination of physician services, wellness services, treatment programs, outpatient procedures and surgeries, clinics, counseling centers, medical laboratories, rehabilitation services, diagnostic services, and related or similar services and/or uses.

iv. Office uses including, but not necessarily limited to, medical offices, administrative offices, professional offices, and office research centers.

v. Parking structures, above or below ground.

vi. In addition to any other uses deemed to be accessory to a primary permitted use in this subarea, the following accessory uses shall be permitted within a building whose primary use or primary combination of uses includes one or more of the uses described in Section III.A.i. through iv. above, provided that these accessory uses are mainly intended to serve employees, patients, and visitors of the primary use(s). One or more uses of a building shall be deemed to be “primary” if, alone or in combination, they occupy at least 70% of the total square footage of the building.

aa. Cafeterias, cafes, restaurants, and food courts.

- bb. Fitness centers and health clubs
- cc. Gift shops and flower shops.
- dd. Sundry or convenience stores and other commercial uses which are customarily found in a hospital or medical treatment facility to support the primary use.
- ee. Conference facilities with no hotel or residential components.
- ff. Pharmacies.
- gg. Day care.
- hh. Other uses which are customary along with, supportive of, and/or complimentary to a primary use

B. Setbacks; Lot Coverage:

- i. State Route 161: There shall be a minimum pavement and building setback of 100 feet from the right-of-way of State Route 161, provided, however, that service and loading areas may be located within 25 feet of the right-of-way if they meet the screening requirements of this text.
- ii. Ganton Parkway: There shall be a minimum building and pavement setback of 25 feet from the right-of-way of Ganton Parkway.
- iii. Other Public Streets: There shall be a minimum pavement and building setback of 25 feet from all public street rights-of-way other than State Route 161 or Ganton Parkway.
- iv. Other Perimeter Boundaries: There shall be a minimum pavement and building setback of 0 feet from any perimeter boundary line of Subarea 1 which does not abut a public street right-of-way.
- v. Private Access Drives: There shall be a minimum building and pavement setback of 0 feet from the edges of any private roads within Subarea 1.
- vi. Rose Run Creek: The minimum pavement and building setback from the centerline of Rose Run Creek shall be coterminous with a conservation easement which applies to the creek and areas around it, as it exists and as it may be modified in the future. A “Stream Corridor Protection Zone” shall apply within this setback. Within the Stream Corridor Protection Zone, no improvements shall be permitted other than

landscaping and/or an asphalt leisure path that connects to the City's regional path system.

vii. Internal Parcel Lines: There shall be no minimum pavement setback and a minimum building setback of 0 feet from any parcel line which is interior to Subarea 1.

viii. Elimination of Setbacks: In the event that a parcel located within this Zoning District and an adjacent parcel located within or outside of this subarea (a) come under common ownership or control, (b) are zoned to allow compatible uses, and (c) are combined into a single parcel, then any minimum building or pavement setbacks set forth in this text shall no longer apply with respect to these parcels.

ix. Lot Coverage: There shall be a maximum lot coverage of 90% in Subarea 1.

C. Vehicular Access: Vehicular access to and from Subarea 1 shall occur using Theisen Drive and Ganton Parkway, once constructed. Ganton Parkway shall have a right-of-way width of 100 feet with a design and specifications as approved in a final plat to be prepared, reviewed, and approved by the City in accordance with its Codified Ordinances. Each property owner shall grant easements to the City which are adjacent to the aforementioned right-of-way to the extent necessary to provide for the installation and maintenance of streetscape improvements and/or utilities., if the minimum right-of-way is not enough to accommodate such improvements.

D. Architectural Standards: The following architectural requirements shall apply to Subarea 1.

i. Building Designs - Intent and Character: The primary permitted uses that are permitted in this subarea are typically developed and operated by users that have an established presence in the industry and a particular branding image. Oftentimes, the design vision for buildings with these types of uses will require similarities for the end user from facility-to-facility in order for patients and other visitors to identify the branding of the use and the user. Moreover, the services and operations within these facilities drive the buildings' footprints, and cause the need for an "inside-out" design process. In addition, it is commonplace for the buildings which are associated with these uses will be constructed in phases.

Buildings shall be designed to meet the City's standards in terms of quality of materials and design. However, when reviewing building architecture that is proposed as part of a final development plan, the Planning Commission shall take into account the unique branding needs of the user and the impact that the interior functioning of the uses within the building will have on its exterior appearance.

ii. Design Requirements:

aa. DGRs: Section 6 of the City's Design Guidelines and Requirements, applicable to commercial development outside of the Village Center, shall apply to this subarea.

bb. Building Height: There shall be a maximum building height of 75 feet. Architectural elements such as parapets, cupolas, mechanical equipment, screening, and similar features may exceed the maximum building height.

cc. Level of Façade Finish: Buildings shall be required to employ a comparable use of materials on all elevations. All elevations of a building shall receive similar treatment in terms of style, materials, and design so that no elevation is of a lesser visual character than any other.

dd. Quality: Architectural design for all portions of a building or structure that are visible from a public street right-of-way located along the perimeter of this subarea or adjacent property shall meet the community standard in terms of quality while taking into account the unique nature of the use(s) that will be found therein.

ee. Long Façade Requirements: Uninterrupted blank wall facades shall be prohibited to the extent that they are visible from a public right-of-way located along the perimeter of this subarea or adjacent property. Design variations on long exterior walls shall be employed in order to create visual interest. Examples of such design variations include, but are not limited to, the use of offsets, recesses and/or projections, banding, windows, and/or reveals; scoring of building facades; color changes; texture or material changes; and variety in building height.

ff. Use of Design Elements: The use of one or more architectural or design elements may be used to soften the aesthetics of the building, such as but not limited to canopies, porticos, overhangs, arches, outdoor patios, community spaces, or similar devices.

gg. Primary Building Entrances: Primary entrances to buildings shall be made sufficiently prominent that they can be easily identified from a distance.

hh. Screening of Building Elements: Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, and trash containers and dumpsters shall be designed, located, or screened so as to minimize their visibility and visual impact from off-site.

ii. Roofs: All roof types shall be permitted (including, without limitation, flat roofs), provided that each roof design shall be compatible with the

style and design of the building.

iii. Materials:

aa. Exterior wall finishes: Permitted primary building materials shall include brick, brick veneer, architectural precast concrete, metal, and/or glass (except that reflective or mirrored glass shall be prohibited). Cementitious products such as Hardi Plank or its equivalent, brick, stone, metal, EIFS and composite material (except vinyl) may be used as secondary, exterior wall finish materials where appropriate. Exterior wall finish materials must be used to complete massing elements. The application of brick veneer to a single building façade shall be prohibited. Alternative building materials may be used subject to Architectural Review District approval (Chapter 1157).

bb. Prohibited Materials: Prefabricated metal buildings and untreated masonry block structures are prohibited.

cc. Loading Docks: Loading docks are not required to have the same degree of finish as a main entry.

iv. Service, Loading, and Mechanical Screening:

aa. Service and Loading Areas: Service and loading areas shall be screened in accordance with the Codified Ordinances.

bb. Mechanical Equipment: The following standards shall be required and shall be scaled according to the size of the individual tenant. These features may be scaled to a group of smaller side-by-side tenants when architecturally appropriate:

I. Complete screening of all roof-mounted equipment shall be required on all four sides of buildings with materials that are consistent and harmonious with the building's façade and character, but is not required to be the same material as the building's facade. Such screening shall be provided in order to screen the equipment from off-site view and sound generated by such equipment. These requirements do not apply to solar panels.

II. Complete screening shall be required of all ground-mounted mechanical and other equipment at ground level by walls, fencing, or landscaping that is consistent and harmonious with the materials on and character of the nearest primary building. These requirements do not apply to solar panels.

E. Parking and Loading:

i. Parking: The off-street parking requirements of Codified ordinances Chapter 1167 do not apply within this subarea. The amount of parking to be provided to serve uses and developments in this subarea shall be reviewed by the Architectural Review Board and the Planning Commission as part of each final development plan. When determining the appropriate amount of parking to be provided, reviewing bodies shall take into account the anticipated parking needs of the particular applicant and uses, the number of anticipated employees and visitors for such uses, and the projected timing of employment shifts and visits by patients (if applicable) and others. Shared parking arrangements may be utilized where appropriate to provide for adequate parking within the Zoning District, provided that where such arrangements are approved they shall be subject to a recorded private parking agreement between owners of affected parcels that shall be reasonably reviewed and approved by City staff before it is recorded with the Office of the Recorder of Franklin County, Ohio. The required number of parking spaces in this subarea shall be in accordance with the shared parking plan which is approved in a final development plan.

ii. Loading: Loading spaces shall be provided in accordance with the Codified Ordinances unless otherwise approved as part of a final development plan.

F. Buffering, Landscaping and Open Space: The following landscaping requirements shall apply to Subarea 1:

i. Tree Preservation During Construction: Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.

ii. Tree Preservation Zones: Existing trees and vegetation located within the required minimum pavement setback from State Route 161 or within other areas which are generally designated on a preliminary development plan as being within a "Preservation Zone" shall be preserved except as provided in this subsection. Final boundaries of Preservation Zones shall be reviewed and approved as part of a final development plan. At the Comprehensive Plan review stage, one such Preservation Zone has been identified and includes the treed area in the northernmost portion of Subarea 1 between the right-of-way of U.S. Route 62 on the west and the Rose Run Creek on the east. Understory weeds, brush, and plants may be removed from these areas in order to provide a cleaner appearance. Trees which are dead or diseased, pose a potential danger to persons or property, or which are an invasive species may be removed from these areas. No trees shall be removed from wetlands areas (as more particularly specified in

an approved final development plan) unless they are a danger to persons or property and are permitted to be removed in accordance with relevant state and federal permits.

iii. Fencing: A four-board white horse fence exists and shall remain generally running parallel to State Route 161 and parallel to U.S. Route 62 along the perimeters of this subarea.

iv. Ganton Parkway: The landscaping treatment along Ganton Parkway shall be consistent across the Zoning District, and shall be designed through cooperative efforts between the property owner(s) and the City as the design of Ganton Parkway is finalized as part of a final plat.

v. Landscaping Plans: A landscaping plan shall be provided for review and approval of each development site within this subarea as part of a final development plan.

vi. Stormwater Basins: Wet and dry stormwater basins shall conform to the standards set forth in Section 1171.08 of the Codified Ordinances of the City of New Albany unless other design solutions are found to be appropriate. Other design solutions may be appropriate if the City Landscape Architect finds that an alternative design, shape, and appearance is appropriate in particular relationship to streetscape and other site design considerations. One or more stormwater basins may be shared to serve some or all development within this Zoning District, so as to eliminate the need for each parcel to have its own on-site basin. Where shared stormwater basins are proposed, they shall be reviewed and approved by City staff without the requirement to be reviewed as part of a final development plan. Installation of stormwater basins shall include simultaneous installation of screening, buffering, and other aesthetic enhancements near the basins. The foregoing requirement is not intended to require such simultaneous installation of screening, buffering, and other aesthetic enhancements throughout the entirety of the Zoning District, but is to be limited only to such improvements in the general vicinity thereof.

vii. Parking Areas: Within this subarea there shall be no less than one (1) tree planted for every ten (10) parking spaces located in a surface parking lot. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or tree areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles. Parking areas shall be designed to foster pedestrian connectivity by accommodating the required pedestrian connections/walkways and provide landscaping to enhance visual aspects of the development. Particular attention shall be given to quantity or plan material and size of parking lot landscape islands closest to buildings. The requirements of this paragraph shall not apply to parking structures.

viii. Minimum On-Site Tree Sizes: Unless otherwise approved by the city landscape architect, minimum tree size at installation shall be no less than two and one half (2 ½) inches in caliper for deciduous trees, six (6) feet in height for evergreen trees, two (2) inches in caliper for ornamental trees, and thirty (30) inches in height for shrubs. Caliper shall be measured six (6) inches above grade.

G. Lighting:

i. All parking lot and private driveway lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.

ii. All parking lot lighting shall be of the same light source type and style. Building, pedestrian, and landscape lighting may be incandescent or metal halide.

iii. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed thirty (30) feet in height.

iv. Landscape uplighting from a concealed source shall not be permitted.

v. No permanent colored lights or neon lights shall be used on the exterior of any building.

vi. All other lighting on the site shall be in accordance with the Codified Ordinances

vii. Street lighting must meet the City Standards and Specifications.

H. Signage:

i. Intent. Signage needs for the types of uses which are permitted in Subarea 1 are unique and require flexibility, not in an effort to deviate from the community standard but instead to properly and adequately identify uses, users and tenants, and to promote efficient wayfinding. A master signage plan for Subarea 1 shall be filed for review and approval as part of the first final development plan for proposed development in this subarea. In the event of a conflict between this text and/or an approved master signage plan and the relevant provision of the Codified Ordinances, this text and/or the approved master signage plan shall govern. Where any signage standard is not addressed in this text and/or an approved master signage plan, the relevant provisions of the Codified Ordinances shall govern. All signs described in this section shall be designed so that they are appropriate in the context of the building on which they are located in terms of scale and design. Signs shall not block portions of architectural detailing, windows,

entries or doorways. Regulations for signs in this subarea will be determined as part of the master sign plan, not the Village Center sub-district regulations found in C.O. 1169. After a master sign plan is adopted by the ARB and PC as part of a final development plan, permits for individual signs are subject to the review and approval of city staff if the proposed signs are in conformance with the approved master plan. All other new signage must be reviewed and approved only by the ARB via a certificate of appropriateness application.

ii. Types. The following types of signs shall be permitted in Subarea 1:

aa. Building Identification Signs. One “Building Identification Sign” shall be permitted on each façade of a building that is oriented toward State Route 161 or Ganton Parkway. The maximum permitted dimensions and heights for these signs shall be determined as part of an approved final development plan but shall be appropriately sized in relating to the architectural design of the building and shall be adequate to identify the building from off-site.

bb. Ancillary Wall Signs. Ancillary wall signs (“Ancillary Wall Signs”) shall be permitted in addition to Building Identification Signs in order to identify particular uses within the building, to provide addresses for such uses, and to promote efficient wayfinding into buildings. The permissible maximum dimensions of this type of sign shall be established in a final development plan along with general requirements for locations. It is the intent that once they are established, the applicant may relocate, remove, or replace these signs in accordance with the approved dimensions and requirements without the need to obtain approval of an amended final development plan application, but the applicant shall be required to obtain any necessary sign permits.

cc. Window Signs. Window signs shall be permitted only as allowed under relevant provisions of the Codified Ordinances.

dd. Primary Entry Monument Signs. “Primary Entry Monument Signs” shall be permitted to be located at each entry point into this Zoning District from Ganton Parkway. These signs may be so-called “off-premise” signs, provided that they identify uses or users within Subarea 1. The final locations and dimensions of these signs shall be provided by the applicant in a final development plan.

ee. Secondary Entry Monument Signs. “Secondary Monument Signs” shall be permitted to be located within Subarea 1. These signs are intended to provide a means to identify uses and users to employees and visitors. Each Secondary Monument Sign shall be located on the parcel that the use or user

which it identifies is located. The final locations and dimensions of these signs shall be provided by the applicant in a final development plan.

ff. Directional Signs. “Directional Signs” shall be permitted internally within Subarea 1 for purposes of directing vehicular and pedestrian traffic within the property to uses and users contained therein. The permissible maximum dimensions of this type of sign shall be established in a final development plan along with general requirements for locations, and it is the intent that once they are established the applicant may relocate, remove, or replace these signs in accordance with the approved dimensions and requirements without the need to obtain approval of an amended final development plan application, but the applicant shall be required to obtain any necessary sign permits.

gg. Regulated Signage. In addition to the signage permitted above, certain permitted or accessory uses such as hospitals may be required to install and maintain certain types of signage with mandated specifications pursuant to federal and/or state laws and regulations. Such signage shall be permitted in accordance with such laws and regulations. They shall be reviewed and approved as part of a final development plan but relevant authorities’ review shall be limited in scope in that they may not impose conditions of approval which are contrary to federal and/or state laws and regulations.

iii. Colors. Signs may include graphics with an unlimited number of colors, if consistent with the logos or branding of the user(s) which they identify.

H. Utilities: All new utilities shall be installed underground.

IV. SUBAREA 2 DEVELOPMENT STANDARDS: The following standards and requirements shall apply to development within Subarea 2.

A. Permitted and Conditional Uses: Permitted uses within Subarea 2 shall include those uses which are permitted in the Office Campus District (OCD) of the Codified Ordinances, Section 1143.02, as they exist on the date when this text becomes legally effective, but excluding data centers. Conditional uses within Subarea 2 shall include those uses which are conditional in the Office Campus District (OCD) of the Codified Ordinances, Section 1143.02, as they exist on the date when this text becomes legally effective, but excluding drive-through facilities and motels, and provided that conditional uses must be reviewed and approved in accordance with Codified Ordinances Chapter 1115.

B. Setbacks; Lot Coverage:

i. State Route 161: There shall be a minimum pavement and building setback of 100 feet from the right-of-way of State Route 161, provided, however, that service and loading areas may be located within 25 feet of the right-of-way if they meet the screening requirements of this text.

ii. Ganton Parkway: There shall be a minimum building and pavement setback of 25 feet from the right-of-way of Ganton Parkway.

iii. Other Public Streets: There shall be a minimum pavement and building setback of 25 feet from all public street rights-of-way other than State Route 161, Ganton Parkway, or U.S. Route 62.

iv. Other Perimeter Boundaries: There shall be a minimum pavement and building setback of 0 feet from any perimeter boundary line of Subarea 2 which does not abut a public street right-of-way.

v. Private Access Drives: There shall be no minimum building and pavement setback from the edges of any private drives within Subarea 2.

vi. Internal Parcel Lines: There shall be no minimum building pavement setback from any parcel line which is interior to Subarea 2.

vii. Elimination of Setbacks: In the event that a parcel located within this Zoning District and an adjacent parcel located within or outside of this subarea (a) come under common ownership or control, (b) are zoned to allow compatible uses, and (c) are combined into a single parcel, then any minimum building or pavement setbacks set forth in this text shall no longer apply with respect to these parcels.

viii. Lot Coverage: There shall be a maximum lot coverage of 90% in Subarea 2.

C. Vehicular Access: Vehicular access to and from Subarea 2 shall occur using Ganton Parkway, once constructed. Ganton Parkway shall have a right-of-way width of 100 feet and a design and specifications as approved in a final plat to be prepared, reviewed, and approved by the City in accordance with its Codified Ordinances. Vehicular access directly to and from Kitzmiller Road shall be prohibited.

D. Architectural Standards: Unless otherwise provided, the architectural requirements of the City's Design Guidelines and requirements and the City's Codified Ordinances shall apply to buildings in Subarea 2.

i. DGRs: Section 6 of the City's Design Guidelines and Requirements, applicable to commercial development outside of the Village Center, shall apply to this subarea.

ii. Building Height: There shall be a maximum building height of 45 feet in this subarea. Architectural elements such as parapets, cupolas, mechanical equipment, screening, and similar features may exceed the maximum building height.

iii. Building Orientation: Primary front building facades shall not back onto public open space, parks or reserve areas.

iv. Loading Docks: Loading docks are not required to have the same degree of finish as a main entry.

v. Service, Loading, and Mechanical Screening:

aa. Service and Loading Areas: Service and loading areas shall be screened in accordance with the Codified Ordinances.

bb. Mechanical Equipment: Complete screening of all roof-mounted equipment shall be required on all four sides of buildings with materials that are consistent and harmonious with the building's façade and character, but is not required to be the same material as the building's façade. Such screening shall be provided in order to screen the equipment from off-site view and sound generated by such equipment. Complete screening shall be required of all ground-mounted mechanical and other equipment at ground level by walls, fencing, or landscaping that is consistent and harmonious with the materials on and character of the nearest primary building. These requirements do not apply to solar panels.

E. Parking and Loading: The off-street parking requirements of Codified Ordinances Chapter 1167 do not apply within this subarea. The amount of parking to be provided to serve uses and developments in this subarea shall be reviewed by the Architectural Review Board and the Planning Commission as part of each final development plan. When determining the appropriate amount of parking to be provided, reviewing bodies shall take into account the anticipated parking needs of the particular applicant and uses, the number of anticipated employees and visitors for such uses, and the projected timing of employment shifts and visits by patients (if applicable) and others. Shared parking arrangements may be utilized where appropriate to provide for adequate parking within the Zoning District, provided that where such arrangements are approved they shall be subject to a recorded private parking agreement between owners of affected parcels that shall be reasonably reviewed and approved by City staff before it is recorded with the Office of the Recorder of Franklin County, Ohio. The required number of

parking spaces in this subarea shall be in accordance with the shared parking plan which is approved in a final development plan.

F. Buffering, Landscaping and Open Space: The following landscaping requirements shall apply to Subarea 2:

i. Tree Preservation During Construction: Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.

ii. Tree Preservation Zones: Existing trees and vegetation located within the required minimum pavement setback from State Route 161 or within other areas which are generally designated on a preliminary development plan as being within a “Preservation Zone” shall be preserved except as provided in this subsection. Final boundaries of Preservation Zones shall be reviewed and approved as part of a final development plan. At the Comprehensive Plan review stage, one such Preservation Zone has been identified and includes the treed area in the easternmost portion of Subarea 2 between the right-of-way of Kitzmiller Road on the east, the right-of-way of State Route 161 on the north, and the right-of-way of Ganton Parkway on the south (as the latter right-of-way is approved as part of a final development plan). Understory weeds, brush, and plants may be removed from these areas in order to provide a cleaner appearance. Trees which are dead or diseased, pose a potential danger to persons or property, or which are an invasive species may be removed from these areas. No trees shall be removed from wetlands areas (as more particularly specified in an approved final development plan) unless they are a danger to persons or property and are permitted to be removed in accordance with relevant state and federal permits. Trees may be removed from the Preservation Zone in the easternmost portion of this subarea may be removed as necessary to install utilities or to provide for the construction of Ganton Parkway.

iii. Fencing: A four-board white horse fence exists and shall remain generally running parallel to State Route 161 and parallel to Kitzmiller Road along the perimeters of this subarea.

iv. Ganton Parkway: The landscaping treatment along Ganton Parkway shall be consistent across the Zoning District, and shall be designed through cooperative efforts between the property owner(s) and the City as the design of Ganton Parkway is finalized as part of a final plat.

v. Landscaping Plans: A landscaping plan shall be provided for review and approval of each development site within this subarea as part of a final development plan.

vi. Stormwater Basins: Wet and dry stormwater basins shall conform to the standards set forth in Section 1171.08 of the Codified Ordinances of the City of New Albany unless other design solutions are found to be appropriate. Other design solutions may be appropriate if the City Landscape Architect finds that an alternative design, shape, and appearance is appropriate in particular relationship to streetscape and other site design considerations. One or more stormwater basins may be shared to serve some or all development within this Zoning District, so as to eliminate the need for each parcel to have its own on-site basin. Where shared stormwater basins are proposed, they shall be reviewed and approved by City staff without the requirement to be reviewed as part of a final development plan. Installation of stormwater basins shall include simultaneous installation of screening, buffering, and other aesthetic enhancements near the basins. The foregoing requirement is not intended to require such simultaneous installation of screening, buffering, and other aesthetic enhancements throughout the entirety of the Zoning District, but is to be limited only to such improvements in the general vicinity thereof.

vii. Parking Areas: Within this subarea there shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or tree areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles. Parking areas should be designed to foster pedestrian connectivity by accommodating the required pedestrian connections/walkways and provide landscaping to enhance visual aspects of the development. Particular attention shall be given to quantity or plan material and size of parking lot landscape islands closest to buildings.

viii. Minimum On-Site Tree Sizes: Unless otherwise approved by the city landscape architect, minimum tree size at installation shall be no less than two and one half (2 ½) inches in caliper for deciduous trees, six (6) feet in height for evergreen trees, two (2) inches in caliper for ornamental trees, and thirty (30) inches in height for shrubs. Caliper shall be measured six (6) inches above grade.

G. Lighting:

i. All parking lot and private driveway lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.

ii. All parking lot lighting shall be of the same light source type and style. Building, pedestrian, and landscape lighting may be incandescent or metal halide.

iii. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed thirty (30) feet in height.

- iv. Landscape uplighting from a concealed source shall not be permitted.
- v. No permanent colored lights or neon lights shall be used on the exterior of any building.
- vii. All other lighting on the site shall be in accordance with the Codified Ordinances
- viii. Street lighting must meet the City Standards and Specifications.

H. Signage:

i. Intent. Given the likelihood that the uses in Subarea 2 will be related and/or integrated to serve those which will operate in Subarea 1, the signage needs for uses in Subarea 2 may be unique and require flexibility, not in an effort to deviate from the community standard but instead to properly and adequately identify uses, users and tenants, and to promote efficient wayfinding. A master signage plan for Subarea 2 shall be filed for review and approval as part of the first final development plan for proposed development in this subarea. In the event of a conflict between this text and/or an approved master signage plan and the relevant provision of the Codified Ordinances, this text and/or the approved master signage plan shall govern. Where any signage standard is not addressed in this text and/or an approved master signage plan, the relevant provisions of the Codified Ordinances shall govern. All signs described in this section shall be designed so that they are appropriate in the context of the building on which they are located in terms of scale and design. Signs shall not block portions of architectural detailing, windows, entries or doorways. Regulations for signs in this subarea will be determined as part of the master sign plan, not the Village Center sub-district regulations found in C.O. 1169. After a master sign plan is adopted by the ARB and PC as part of a final development, permits for individual signs are subject to the review and approval of city staff if the proposed signs are in conformance with the approved master plan. All other new signage must be reviewed and approved only by the ARB via a certificate of appropriateness application.

ii. Types. The following types of signs shall be permitted in Subarea 1:

aa. Building Identification Signs. One “Building Identification Sign” shall be permitted on each façade of a building that is oriented toward State Route 161 or Ganton Parkway. The maximum permitted dimensions and heights for these signs shall be determined as part of an approved final development plan but shall be appropriately sized in relating to the architectural design of the building and shall be adequate to identify the building from off-site.

bb. Ancillary Wall Signs. Ancillary wall signs (“Ancillary Wall Signs”) shall be permitted in addition to Building Identification Signs in order to identify particular uses within the building, to provide addresses for such uses, and to promote efficient wayfinding into buildings. The permissible maximum dimensions of this type of sign shall be established in a final development plan along with general requirements for locations. It is the intent that once they are established, the applicant may relocate, remove, or replace these signs in accordance with the approved dimensions and requirements without the need to obtain approval of an amended final development plan application, but the applicant shall be required to obtain any necessary sign permits.

cc. Window Signs. Window signs shall be permitted only as allowed under relevant provisions of the Codified Ordinances.

dd. Primary Entry Monument Signs. “Primary Entry Monument Signs” shall be permitted to be located at each entry point into this Zoning District from Ganton Parkway. These signs may be so-called “off-premise” signs, provided that they identify uses or users within Subarea 1. The final locations and dimensions of these signs shall be provided by the applicant in a final development plan.

ee. Secondary Entry Monument Signs. “Secondary Monument Signs” shall be permitted to be located within Subarea 1. These signs are intended to provide a means to identify uses and users to employees and visitors. Each Secondary Monument Sign shall be located on the parcel that the use or user which it identifies is located. The final locations and dimensions of these signs shall be provided by the applicant in a final development plan.

ff. Directional Signs. “Directional Signs” shall be permitted internally within Subarea 1 for purposes of directing vehicular and pedestrian traffic within the property to uses and users contained therein. The permissible maximum dimensions of this type of sign shall be established in a final development plan along with general requirements for locations, and it is the intent that once they are established the applicant may relocate, remove, or replace these signs in accordance with the approved dimensions and requirements without the need to obtain approval of an amended final development plan application, but the applicant shall be required to obtain any necessary sign permits.

gg. Regulated Signage. In addition to the signage permitted above, certain permitted or accessory uses such as hospitals may be required to install

and maintain certain types of signage with mandated specifications pursuant to federal and/or state laws and regulations. Such signage shall be permitted in accordance with such laws and regulations. They shall be reviewed and approved as part of a final development plan but relevant authorities' review shall be limited in scope in that they may not impose conditions of approval which are contrary to federal and/or state laws and regulations.

iii. Colors. Signs may include graphics with an unlimited number of colors, if consistent with the logos or branding of the user(s) which they identify.

I. Utilities: All new utilities shall be installed underground.

V. **SUBAREA 3 DEVELOPMENT STANDARDS:** The following standards and requirements shall apply to development within Subarea 3.

A. Permitted Uses: The following shall be permitted uses in Subarea 3:

i. Those uses which are permitted in the Village Residential (VR) subdistrict of the Urban Center Code.

ii. Those uses which are permitted in the Core Residential (CR) subdistrict of the Urban Center Code.

iii. Those uses which are permitted in the Parkland and Preservation (PK) subdistrict of the Urban Center Code.

iv. Private community facilities serving residents within Subarea 3, which may include uses such as (but not limited to) fitness rooms, indoor and outdoor gathering spaces, swimming pools, and other recreational or social amenities.

v. Publicly or privately owned recreational areas, parkland, and open space (including, without limitation, athletic fields) and associated parking areas.

vi. Civic uses.

vii. Post offices and other government facilities.

B. Conditional Uses: Up to two (2) residential model homes are permitted to be located in Subarea 3, and shall be reviewed in accordance with Codified Ordinances Chapter 1115, provided that each such home also shall be reviewed and evaluated based on the criteria set forth in Codified Ordinances Section 1133.04(d).

C. Development Standards and Requirements – Generally: Section II (Building Form), Section III (Urban Design Standards), and Section V (Street & Network Standards) of the

City's Urban Center Code shall serve as the baseline set of development and architectural standards and requirements for Subarea 3. To the extent that that a standard or requirement of those sections conflicts with one that is set forth in this text, then the standard or requirement in this text shall govern.

D. Density and Setback Requirements:

i. Number of Units: A maximum of 294 residential units shall be permitted in Subarea 3, which is the same number of units which are permitted in Subarea 3D of the 1998 NACO PUD prior to the approval of this zoning text. Any permitted but undeveloped units in Subarea 3 may be deposited into the so-called NACO "housing bank" that originally was created under the 1998 NACO PUD for transfer and development in other locations within the City. The deposit of units into the housing bank shall be requested and approved as part of one or more final development plan applications.

ii. Setbacks. The following setback requirements shall apply to this subarea:

aa. East Dublin-Granville Road There shall be a minimum pavement and building setback of 140 feet from the right-of-way of East Dublin-Granville Road.

bb. Ganton Parkway. There shall be a minimum building and pavement setback of 25 feet from the right-of-way of Ganton Parkway for improvements relating to non-residential uses. Homes shall not have direct vehicular access from a driveway connecting to that street.

cc. Building Orientation. Primary building facades shall not back onto public open space, parks or reserve areas.

E. Rose Run Creek: Land shall be dedicated to the City extending for a distance of 100 feet as measured from the western boundary line of Subarea 3 between Ganton Parkway on the north and East Dublin-Granville Road on the south. There shall be a minimum pavement and building setback of 10 feet from the edge of this dedicated land area.

F. Vehicular Access: Vehicular access to and from Subarea 3 shall occur using Ganton Parkway, once constructed. Access to this subarea shall be permitted via public street connections between Ganton Parkway and East-Dublin-Granville Road. Ganton Parkway shall have a right-of-way width of 100 feet and a design and specifications as approved in one or more final plats to be prepared, reviewed, and approved by the City in accordance with its Codified Ordinances, provided, however, that Ganton Parkway shall not be subject to the standards and requirements of Section V of the Urban Center Code.

G. Buffering, Landscaping and Open Space: The following landscaping requirements shall apply to Subarea 3:

i. Tree Preservation During Construction: Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.

ii. Fencing: A four-board white horse fence exists and shall remain generally running parallel to East Dublin-Granville Road along the perimeter of this subarea.

iii. Ganton Parkway: The landscaping treatment along Ganton Parkway shall be consistent across the Zoning District, and shall be designed through cooperative efforts between the property owner(s) and the City as the design of Ganton Parkway is finalized as part of a final plat.

iv. Landscaping Plans: A landscaping plan shall be provided for review and approval of each development site within this subarea as part of a final development plan.

v. Stormwater Basins: Wet and dry stormwater basins shall conform to the standards set forth in Section 1171.08 of the Codified Ordinances of the City of New Albany unless other design solutions are found to be appropriate. Other design solutions may be appropriate if the City Landscape Architect finds that an alternative design, shape, and appearance is appropriate in particular relationship to streetscape and other site design considerations. One or more stormwater basins may be shared to serve some or all development within this Zoning District, so as to eliminate the need for each parcel to have its own on-site basin. Where shared stormwater basins are proposed, they shall be reviewed and approved by City staff without the requirement to be reviewed as part of a final development plan. Installation of stormwater basins shall include simultaneous installation of screening, buffering, and other aesthetic enhancements near the basins. The foregoing requirement is not intended to require such simultaneous installation of screening, buffering, and other aesthetic enhancements throughout the entirety of the Zoning District, but is to be limited only to such improvements in the general vicinity thereof.

vi. Parking Areas: Parking areas should be designed to foster pedestrian connectivity by accommodating the required pedestrian connections/walkways and provide landscaping to enhance visual aspects of the development. Particular attention shall be given to quantity of plant material and size of parking lot landscape islands closest to buildings.

vii. Minimum On-Site Tree Sizes: Unless otherwise approved by the city landscape architect, minimum tree size at installation shall be no less than two and one

half (2 ½) inches in caliper for deciduous trees, six (6) feet in height for evergreen trees, two (2) inches in caliper for ornamental trees, and thirty (30) inches in height for shrubs. Caliper shall be measured six (6) inches above grade.

viii. Landscape Screening: The landscape screening requirements of C.O. 1171.05(c) do not apply within this subarea.

G. Lighting:

i. Each home shall have a light mounted near the front entry door. A light post may also be provided in the front yard of each residential lot.

ii. All parking lot and private driveway lighting for non-residential uses shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.

ii. All parking lot lighting shall be of the same light source type and style. Building, pedestrian, and landscape lighting may be incandescent or metal halide.

iii. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed eighteen (18) feet in height.

iv. Landscape uplighting from a concealed source shall not be permitted.

v. No permanent colored lights or neon lights shall be used on the exterior of any building.

vii. All other lighting on the site shall be in accordance with the Codified Ordinances

viii. Street lighting must meet the City Standards and Specifications.

H. Signage: Permitted sign types and regulations within Subarea 3 shall be based on the land use category for each site, not the Village Center sign code sub-districts. All other new signage must be reviewed and approved only by the ARB via a certificate of appropriateness application.

I. Utilities: All new utilities shall be installed underground.

J. Mailboxes: Currently applicable postal regulations do not permit individual mailboxes to be located on or to the front of a home, and instead require centralized banks of grouped mailboxes to serve new developments. Details of grouped mailbox locations and

designs shall be provided for review and approval as part of a final development plan for each residential development.

VI. PARKLAND AND OPEN SPACE: The intent of this Zoning District is to provide an equivalent amount of green space within the subject property as is contemplated in the Urban Center Code's Regulating Plan while providing flexibility in terms of locations for these features. To this end, the total amount of green space within dedicated parkland, the dedicated green space along the western boundary of Subarea 3, undeveloped setback areas, and within privately owned open spaces shall be a combined minimum of 38.0 acres. Those green spaces which are to be parkland and those which are to be open space will be determined as approved in one or more final development plan applications. Parks and open space dedication shall be reviewed and a recommendation made by the Architectural Review Board and shall reviewed and approved by Planning Commission as part of a final development plan application. The parkland and open space design and evaluation standards of the Urban Center Code shall apply within this zoning district.

VII. GENERAL MATTERS:

A. Appeals:

i. Taking of Appeals: Appeals to the Board of Zoning Appeals concerning interpretation or administration of the text or the underlying zoning ordinance by the Zoning Officer or any other administrative official may be taken by any person aggrieved, including a tenant, or by a governmental officer, department, board, or bureau. Such appeal shall be taken within twenty days after the date of the decision by filing a notice of appeal specifying the grounds thereof with the officer from whom the appeal is taken and the Board of Zoning Appeals.

ii. Imminent Peril: An appeal shall stay all proceedings in furtherance of the action appealed from, unless the Zoning Officer certifies to the Board of Zoning Appeals, after notice of appeal shall have been filed with him, that by reason of facts stated in the application a stay would, in his opinion, cause imminent peril to life or property. In such case, the proceeding shall not be stayed other than by a restraining order which may, on due cause shown, be granted by the Board of Zoning Appeals, after notice to the Zoning Officer or by judicial proceedings.

B. Waivers:

i. Deviations from development standards in this text or in the Codified Ordinances, as part of a final development plan application, are subject to the waiver process as described in city code. The consideration of a waiver request shall be deemed to constitute an administrative proceeding, The Planning Commission shall be the decision-making body as to the approval, approval with conditions, or disapproval of each waiver application in accordance with the requirements of this text that are

associated with a final development plan. In considering a request for a waiver, the Planning Commission shall conduct a public meeting in conjunction with the application.

ii. Deviations from development standards in this text or in the Codified Ordinances, as part of a certificate of appropriateness application, are subject to the waiver process as described in city code. The consideration of a waiver request shall be deemed to constitute an administrative proceeding, The Architectural Review Board shall be the decision-making body as to the approval, approval with conditions, or disapproval of each waiver application in accordance with the requirements of this text that are associated with a certificate of appropriateness application. In considering a request for a waiver, the Architectural Review Board shall conduct a public meeting in conjunction with the application.



**Planning Commission Staff Report
July 15, 2024 Meeting**

**MCDONALD'S
FINAL DEVELOPMENT PLAN**

LOCATION: Located generally at the southwest corner of Beech Road and Beech Crossing (PID: 093-106512-00.000)
APPLICANT: Permit Solutions, c/o Cathy Stephens
REQUEST: Final Development Plan
ZONING: Beech Crossing I-PUD
STRATEGIC PLAN: Retail
APPLICATION: FDP-50-2024

Review based on: Application materials received June 14, 2024 and June 28, 2024

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

The application is for a final development plan for a proposed McDonald's located at the southwest corner of Beech Road and Beech Crossing. The development includes a fast food restaurant with two drive-through lanes on a 1.805-acre site.

The property in question is zoned I-PUD and is located within the Beech Crossing Zoning District. The proposed use (McDonald's with drive-through) is permitted as a carry-out food and beverage establishment with a drive-through facility.

This site is located within the Beech Crossing zoning district which was reviewed and approved by the Planning Commission on January 22, 2020 (ZC-102-2019).

The applicant is also applying for one variance related to this final development plan under application VAR-51-2024. Information and evaluation of the variance requests are under a separate staff report.

II. SITE DESCRIPTION & USE

The 1.805-acre site is located at the southwest corner of Beech Road and Beech Crossing. This is the sixth proposed development for this zoning district. The Planning Commission approved a final development plan application for Duke and Duchess on October 20, 2020, an application for Holiday Inn Express on February 19, 2020, a Taco Bell on August 21, 2023, and a Donatos multi-tenant building on June 17, 2024.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*

- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*

1. Provide for innovations in land development, especially for affordable housing and infill development.

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan recommends the following development standards for the Neighborhood Retail future land use category:

1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
2. Combined curb cuts and cross access easements are encouraged.
3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
4. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
5. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

1. The applicant proposes to develop a 3,694 sq. ft. McDonald’s restaurant with two drive-through lanes. The existing total site size is 1.805-acres. The proposed development is in an appropriate location given its proximity to the New Albany Business Park and State Route 161.
2. The Beech Crossing, I-PUD zoning text places a limitation on total acreage that can be utilized for retail uses in the Beech Road / Smith’s Mill Road area. The intent is to limit retail development to a maximum of 92 acres in this general area. Once 92 acres have been developed with retail uses found in the C-3 and GE zoning districts, the remainder of the land from all of these subareas can only allow non-retail General Employment (GE) zoning district uses listed in their respective zoning texts. This 1.805-acre development is subject to this overall 92-acre retail limitation.
3. The development site is accessed by a private road which was reviewed and approved by the Planning Commission on October 21, 2019 (FDP-72-2019). This private road, Beech Crossing, was constructed by another private developer and each property is to include street trees and a sidewalk along the road. The approved development to the south (Holiday Inn Express) is required to provide a 5’ sidewalk along the property line of the proposed McDonald’s therefore, the applicant is not required to install the sidewalk. However, street trees are required to be installed by the applicant.
4. According to zoning text section C(1), the applicant is required to install a leisure trail along Beech Road. The site plan meets this standard as an 8’ wide leisure trail is already developed along Beech Road.
5. The City Landscape Architect evaluated the proposed drive-through and recommends that the applicant reduce the pavement of the proposed bypass lane from 18’-22’ to 11’-12’. Staff recommends this is a conditional of approval (condition 1b).
6. Zoning text section 8a.01(7) requires that the total lot coverage, which includes areas of pavement and building, to not exceed 80%. The plan meets this requirement with a proposed 68% lot coverage amount.
7. The zoning text section 8a.01 requires the following setbacks:

Road	Requirement	Proposed
Beech Road	75-foot building setback 40-foot pavement setback	40+/- foot pavement [meets code] 95+/- building [meets code]
Beech Crossing	15-foot building pavement setback	15+/- foot pavement [meets code]
Internal Parcel Lines	10-foot building and pavement	Southern property line 30+/- foot pavement [meets code] 60+/- foot building [meets code]

B. Access, Loading, Parking

1. The site is accessed from two proposed curb cuts:
 - a. One full access along Beech Crossing;
 - b. One right out only along Beech Crossing
 - Per Beech Crossing zoning text requirement II.B.1(c) states that as part of a final development plan approval, two vehicular access points along the Outparcel Access Road/Beech Crossing may be permitted for any outparcel with side and rear boundary lines that are contiguous to the Outparcel Access Road, subject to approval of the City Engineer and if supported by a traffic analysis provided by the applicant. The City Engineer may waive the obligation for this traffic analysis. The city's traffic engineer has reviewed the request for a second access point. They are supportive of allowing the second full access point and have waived the obligation of the traffic analysis.
 - The City Landscape Architect has reviewed the second access and recommends further evaluation of the proposed curb cut to ensure proper function and vehicular circulation. Staff recommends this as a condition of approval (condition 1a).
2. Codified Ordinance 1167.05(d)(4) requires a minimum of one parking space for every 75 square feet of restaurant floor area space. The building is 3,694 square feet in size therefore 50 parking spaces are required and the applicant meets this requirement with 52 proposed spaces.
3. Additionally, the city parking code requires a minimum number of stacking spaces in the drive-through lane that must be provided. The required number of drive-through stacking spaces must equal 25% of the total required parking spaces for the drive-through tenant space. Based on this calculation, 13 stacking spaces must be provided and the applicant exceeds this requirement by providing 14.
4. Per C.O. 1167.03(a), the minimum parking space dimensions required are 9 feet wide and 19 feet long and this requirement is met.
5. Per C.O. 1167.03(a) the minimum maneuvering lane width size is 22 feet for this development type and this requirement is met.
6. Per C.O. 1165.06(a)(1), a 5-foot-wide concrete sidewalk is required to be installed along the Beech Crossing site frontage and this requirement is met on both the northern and western sides of the property. In regards to the western property line, the proposed Holiday Inn to the south is required to install the 5-foot sidewalk as part of their approved final development plan.

C. Architectural Standards

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design. The zoning text contains architectural standards and the site also falls under the Section 6 of the Design Guidelines and Requirements: Commercial Outside Village Center.
2. The zoning text states that buildings with this use shall be a minimum of one story and a maximum of two stories in height and this requirement is being met as the building is a one-story building.
3. The primary building material for the restaurant is brick, which is a permitted building material in the zoning text.
4. Zoning text section E.4(b) states that all rooftop mechanical units must be screened to limit off site visibility and sound. The applicant meets this requirement through the use of a parapet wall on all four sides of the building.
5. DGR Section 6(I)(A)(4) states that the number, location, spacing and shapes of window openings shall be carefully considered, particularly for buildings in retail use and shall impart a sense of human scale. The applicant meets this requirement.

6. DGR Section 6(I)(A)(6) states that all visible elevations of a building must receive similar treatments in style, materials and design so that no visible side is of a lesser character than any other. The applicant is meeting this requirement by using the same materials on all building elevations.
7. DGR Section 6(I)(A)(12) states that buildings shall have active and operable front doors along all public and private streets. The restaurant fronts onto Beech Road and Beech Crossing. The building is designed with active and operable front doors along Beech Road and along Beech Crossing on the north façade of the proposed building. However, the building lacks an active and operative door along Beech Crossing on the west elevation. A variance has been requested related to this under application VAR-51-2024. Information and evaluation of the variance request is under a separate staff report.
8. C.O. 1171.05(b) states that all trash and garbage container systems must be screened, not be located in front yards, and meet the minimum required pavement setbacks. All of these requirements are met as the applicant proposes to install a dumpster enclosure on the west side of the lot. It meets the minimum pavement setback and is completely screened with a dumpster enclosure and landscaping.

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. Parking Lot Landscaping Requirement:
 - Codified Ordinance 1171.06(a)(3) requires one tree per 10 parking spaces. The applicant is providing 52 parking spaces thereby requiring six trees. The plan meets this requirement.
 - Per zoning text 8a.04(4)(a), parking lots shall be screened from rights-of-way with a minimum 36-inch-high evergreen landscape hedge or wall. The landscape plan meets this requirement with the proposed 36-inch-high evergreen landscape hedge.
2. General Site Landscaping Requirement:
 - Codified Ordinance 1171(5)(e) requires parking lots over 20,000 square feet to have a minimum of one tree per 5,000 square feet of ground coverage and a total tree planting equal to 10.5 in tree trunk size for every 2,000 square feet of ground coverage. The applicant states that the parking lot and building is approximately 39,210 sq. ft requiring 8 trees at 15" total caliber (CAL). The applicant proposes to provide 8 trees at 15" total CAL, meeting the requirement.
3. Per zoning text requirement G(3)(d), a landscape buffer is required to be installed within the required setback of any interior side parcel line and shall consist of a ten-foot landscape buffer with grass and landscaping and deciduous trees planted at a rate of 4 trees for every 100 feet of side property line and deciduous shrubs must be planted under the trees. The applicant is required to provide 11 trees and proposes to install 11 trees and shrubs along the southside within the 10-foot setback. Therefore, this requirement is being met.
4. Per zoning text requirement G(5), all public and private roads shall contain one (1) tree for every (30) feet of street frontage and should be three caliper inches at installation. The site plan is meeting the required number of trees along the western property line facing Beech Road. The street tree requirement is not met on the northern property line facing Beech Crossing however, there are site distance constraints due to the curb cuts. The Beech Road frontage is required to have 9 trees and the applicant is providing 8.
 - Staff recommends a condition of approval that the applicant add one additional street tree to the Beech Road frontage and add two additional trees on-site to meet the Beech Crossing street tree requirement (condition 2).
 - Staff recommends a condition of approval that the applicant ensure all proposed street trees are three caliper inches at installation (condition 3).
5. Per zoning text requirement G(7), a minimum of one tree for every 10 parking space is required and at least 5 percent of the vehicular use area shall be landscaped. The applicant is providing 52 parking spaces, and meeting this requirement by providing six trees. 13.42% of the total parking area is landscaped. This requirement is being met.
6. Per zoning text requirement G(8), a master landscape plan was completed as part of the first final development plan. The applicant is providing trees along Beech Road in a

landscape buffer however, the types are trees and location are not consistent with the master landscape plan. Staff recommends a condition of approval that the proposed trees should be consistent with what is shown on the master landscape plan (condition 4).

7. Staff recommends a condition of approval that all City Landscape Architect's comments are met at the time of engineering permits, subject to staff approval.

E. Lighting & Signage

1. Section II(H)(1) of the zoning text requires all parking lot light poles to be downcast and use cut-off type fixtures in order to minimize light spilling beyond the boundaries of the site. A detailed photometric plan was submitted showing no light spillage from this site onto Beech Road and other properties within this zoning district.
2. Section II(H)(3) states that all parking lot poles within the entire zoning district shall be black or New Albany Green, be constructed of metal and not exceed 30 feet in height. The applicant is proposing to use the same black metal poles within the development that are 21 feet in height.
3. As part of this final development plan application, the applicant has submitted a sign plan for the site.

Wall Signs

Zoning text section 8a.06(3)(i) permits one wall mounted sign per retail tenant on each elevation of the building that fronts or sides on a public or private road. The proposed building faces three public streets or private drives, therefore permitting a maximum of three wall signs on the building. One square foot of sign face is permitted per each lineal foot of the building, not to exceed 80 square feet in size. The applicant proposes the following wall signs.

Beech Road Elevation Wall Sign

- a. Area: 14 sq. ft. [meets code]
- b. Lettering Height: N/A
- c. Location: one on the Beech Road elevation [meets code]
- d. Lighting: non-illuminated [meets code]
- e. Relief: 4" [meets code, code minimum of 1-inch relief required]
- f. Color: one color [meets code]
- g. Materials: aluminum [meets code]

Beech Crossing Elevation Wall Sign

- a. Area: 14 sq. ft. per sign [meets code]
- b. Lettering Height: N/A [meet code, 24-inch maximum required]
- c. Location: on the Beech Crossing building elevation [meets code]
- d. Lighting: non-illumination [meets code]
- e. Relief: 4" [meets code, code minimum of 1-inch relief required]
- f. Color: one color [meets code]
- g. Materials: aluminum [meets code]

The wall signs feature the company logo.

- DGR Section 6(II)(A)(8) states that signage for this building type shall be as simple and unobtrusive as possible and shall avoid overly bright or jarring colors. The applicant is proposing two wall signs that are appropriately scaled for the building and are appropriate for this area given the desired development type.
4. The applicant proposes to install four drive-through menu board signs which is permitted per C.O. 1169.11(c). Two of the signs are 18 sq. ft while other two ordering board signs are 9 sq. ft. The maximum size permitted is 32 sq. ft. All four signs meet this requirement.

5. The applicant proposes to install two 11' tall "clearance" bars in the drive-through lanes. The clearance bar does not contain any signage or a company logo.

Ground Mounted Signs

The applicant proposes to install one monument sign along Beech Crossing. Monument signage along Beech Crossing is intended to match the existing sign plan for the retail within the neighbor Canini Trust Corp development along US-62. The proposed sign meets those standards as proposed. The signs feature the company logo and address.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval.

1. Add the signature block shown on this exhibit and accompanying monumentation notes to the cover sheet of the referenced FDP.
2. Add stop signs/stop bars at the curb cuts
3. Note that the city requires detectable domes to be red clay brick.
4. Add notes requiring that the water service beneath Beech Road be constructed using Horizontal Directional Drilling. Open cut of pavement is not permitted.
5. Add a legend that includes a major flood routing arrow and show major flood routing in plan view.
6. Revise note 2 at the bottom of this sheet by deleting 21 days and adding back 14 days.
7. The city recently updated the seed application rate to be 14 lbs. per 1000 SF, City of Columbus Type 1 Lawn Mix
8. Add site distance triangles at the cuts and remove landscaping that impedes motorist view.
9. Have a licensed Ohio professional surveyor sign the ALTA survey.
10. Provide a fire truck turning analysis using the template for the applicable Fire Department ladder truck.
11. The engineering team will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available

V. SUMMARY

The proposal meets many of the goals of the Engage New Albany Strategic Plan such as providing pedestrian access along roadways and into the site, as well as utilizing high quality building materials that are consistent with other buildings in the immediate area. The proposed development is in an appropriate location given the context of the surrounding area and will serve as an amenity for the New Albany Business Park.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application **FDP-50-2024**, subject to the following conditions:

1. The City Landscape Architect's comments must be addressed, subject to staff approval;
 - a. Further evaluation of the proposed curb cut at the access drive closest to Beech Road NW is necessary to ensure proper function and vehicular circulation.
 - b. Reduce asphalt pavement width at drive-through bypass lane to be 11'-12' instead of the proposed 18'-22'.
 - c. Extend curbed planting beds into proposed striped pavement at end of the drive-through lane. Provide planting equal to adjacent landscaped beds.
 - d. Provide approved deciduous shade trees in proposed lawn.
 - e. Provide approved deciduous shade trees along Beech Road NW.

- f. Adjust the proposed planting plan to align with the updated edge of pavement at the drive through bypass lane.
2. That the applicant adds an additional street tree on the Beech Road frontage and two additional trees on-site to meet the Beech Crossing street tree requirement.
3. That the applicant ensures all proposed street trees are three caliper inches at installation.
4. That the applicant revises the landscape plans to be consistent with the approved master landscape plan.
5. The City Engineer's comments must be addressed, subject to staff approval;
 - o Add the signature block shown on this exhibit and accompanying monumentation notes to the cover sheet of the referenced FDP.
 - o Add stop signs/stop bars at the curb cuts
 - o Note that the city requires detectable domes to be red clay brick.
 - o Add notes requiring that the water service beneath Beech Road be constructed using Horizontal Directional Drilling. Open cut of pavement is not permitted.
 - o Add a legend that includes a major flood routing arrow and show major flood routing in plan view.
 - o Revise note 2 at the bottom of this sheet by deleting 21 days and adding back 14 days.
 - o The city recently updated the seed application rate to be 14 lbs. per 1000 SF, City of Columbus Type 1 Lawn Mix
 - o Add site distance triangles at the cuts and remove landscaping that impedes motorist view.
 - o Have a licensed Ohio professional surveyor sign the ALTA survey.
 - o Provide a fire truck turning analysis using the template for the applicable Fire Department ladder truck.
 - o The engineering team will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available

Approximate Site Location:



Source: Nearmap



**Planning Commission Staff Report
July 15, 2024 Meeting**

**MCDONALD'S
VARIANCE**

LOCATION: Located generally at the southwest corner of Beech Road and Beach Crossing (PID: 093-106512-00.000)
APPLICANT: Permit Solutions, c/o Cathy Stephens
REQUEST: Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that there be active and operable doors on the Beech Crossing private road building elevation.
ZONING: Beech Crossing I-PUD
STRATEGIC PLAN: Retail
APPLICATION: VAR-51-2024

Review based on: Application materials received on June 28, 2024

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

This application is for a variance related to a final development plan for a proposed McDonald's located at the southwest corner of Beech Road and Beech Crossing within the Beech Crossing development. The development includes a dine-in restaurant with a drive-through.

The applicant requests the following variance:

Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that there be active and operable doors on the Beech Crossing private road building elevation.

II. SITE DESCRIPTION & USE

The 1.805-acre site is located at the southwest corner of Beech Road and Beech Crossing. This is the sixth proposed development for this zoning district. The Planning Commission approved a final development plan application for Duke and Duchess on October 20, 2020, an application for Holiday Inn Express on February 19, 2020, a Taco Bell on August 21, 2023, and a Donatos multi-tenant building on June 17, 2024.

III. EVALUATION

The application complies with the submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is

whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (*Section 1113.06*):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

III. RECOMMENDATION

Considerations and Basis for Decision

Variance to DGR Section 6(I)(A)(12) to eliminate the requirement that buildings have operable and active front doors along all public and private roads.

The following should be considered in the Commission’s decision:

1. The applicant is requesting a variance to eliminate the requirement that buildings have operable and active front doors along all public and private roads.
 - a. The building has three frontages, two along Beech Crossing and one along Beech Road. As proposed, the commercial building has an entrance along the Beech Road elevation and along the north facing side elevation facing Beech Crossing.
 - b. The elevation with no operable and active door is along the west side of the building (rear side) and is adjacent to Beech Crossing, which is a private drive and referred to as the Outparcel Access Drive in the zoning text.
2. As required by the zoning text, the building is designed with the same caliber of finish on all sides of the building using the same building materials.
3. The variance appears to preserve the “spirit and intent” of the zoning requirement. The intent of this requirement is to ensure that buildings maintain a presence on the street and not contain blank or “empty” building elevations so there is architectural vibrancy and interest on all sides of a building which is crucial in pedestrian oriented development.

This site and the overall Beech Crossing developments are auto-oriented by design, therefore it does not appear that maintaining an entrance on every elevation facing a public or private road is as important in this development scenario. Additionally, the site faces Beech Crossing on two elevations and the elevation with no operable and active door is the rear of the building. All sides of the building are designed with the same caliber of finish using the same building materials so none of the elevations appear as a “lesser” side of the building.

4. While there isn’t an active and operable door along the private road on one of the elevations, the applicant is providing one on the north elevation facing Beech Crossing and using strong architectural features and materials so the building adequately addresses the primary street (Beech Road) architecturally. The building is designed so the front door architectural elements such as the awning and retail storefront windows front Beech Road.
5. It does not appear that the essential character of the neighborhood will be altered if the variance request is granted for the Beech Crossing frontage. Similar variances were granted for Turkey Hill, Panda Express, Sheetz, and the New Albany Duke and Duchess location on Johnstown Road.
6. It does not appear that the variance would adversely affect the delivery of government services, affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.

II. SUMMARY

Due to the auto-oriented nature of this zoning district, providing active and operable front doors on every elevation does not appear to be necessary since there is a hierarchy of streets. The applicant is still providing a high-quality designed building. Therefore, the design and non-active doors along the rear elevation facing Beech Crossing appear to be appropriate.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application VAR-51-2024 (conditions may be added)

Approximate Site Location:

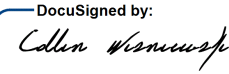
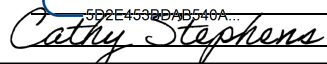
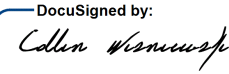
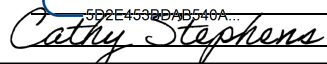
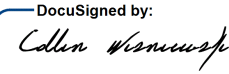
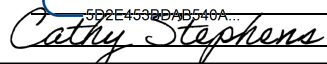


Source: NearMap

Permit # _____
 Board _____
 Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>1955 Beech Rd NW New Albany OH 43031</u> Parcel Numbers _____ Acres _____ # of lots created _____																																																											
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Contacts	Description of Request: <u>Variance requested for From DGR Section 6(I)(A)(12) as there is not an active and operable door along the west elevation facing Beech Crossing</u> _____ _____																																																											
Property Owner's Name:	_____ Address: _____ City, State, Zip: _____ Phone number: _____ Fax: _____ Email: _____																																																											
Applicant's Name:	<u>Cathy Stephens</u> Address: <u>100 North Ave Suite 103-164</u> City, State, Zip: <u>Tallmadge OH 44278</u> Phone number: <u>330-329-4416</u> Fax: _____ Email: <u>cstephens@permitsolutionsus.com</u>																																																											
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100 North Avenue, Suite 103-164
Tallmadge, OH 44278

VARIANCE APPLICATION NARRATIVE STATEMENT

TO: Planning Commission Members & City Planning Staff

DATE: June 28, 2024

SUBJECT: Proposed McDonald's Restaurant Variance Request

McDonald's Corporation is proposing a new 3,964 square foot restaurant to be located at 1955 Beech Road. The site is unique in the fact that three of the four frontages face a private or public right of way.

The front of the building will face west along Beech Road and will provide pedestrian access from the existing sidewalk to the front door. An additional public entrance will be located on the north elevation of the building and will face Beech Crossing. The east elevation will face the private access drive located along the rear property line, however, a public entrance is not provided along this side of the building. The building design provides an employee only access to the back of house which includes the kitchen, storage area, office, and employee breakroom.

Per DGR Section 6(l)(A)(12), buildings shall have operable and active front doors along all public and private roads. McDonald's is seeking relief from this requirement as this area cannot be accessible to customers for the safety of the employees and to allow for adequate space for operational purposes.

Development Review

project name McDonald's - 1955 Beech Road NW
prepared for City of New Albany
date June 27, 2024
date received June 13, 2024

COMMENTS

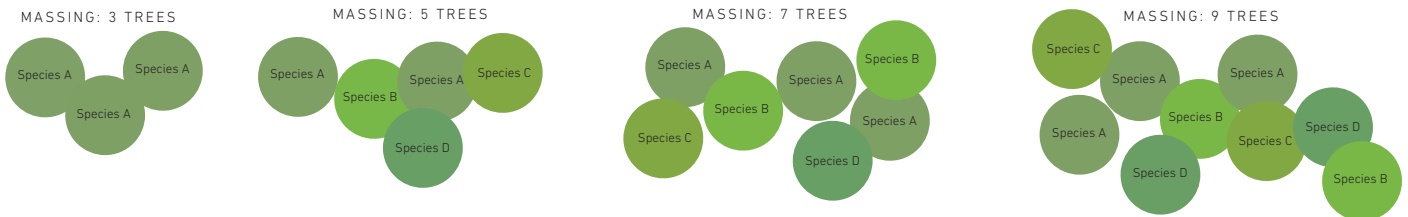
Site Plan

1. Further evaluation of the proposed curb cut at the access drive closest to Beech Road NW is necessary to ensure proper function and vehicular circulation. See diagram.
2. Reduce asphalt pavement width at drive through. Bypass lane to be 11'-12', reduce from the proposed 18' to 22'. See diagram.

Planting Plan

3. Extend curbed planting beds into proposed striped pavement at end of drive through lane. Provide planting equal to adjacent landscape beds. See diagram.
4. Provide approved deciduous shade trees in proposed lawn. See diagram.
5. Provide approved deciduous shade trees along Beech Road NW. Refer to the Northwest Beech Interchange Zoning District landscape plan and tree grouping standards below. See diagram.
6. Adjust the proposed planting plan to align with the updated edge of pavement at the drive through bypass lane. See diagram.

Tree Grouping Standards

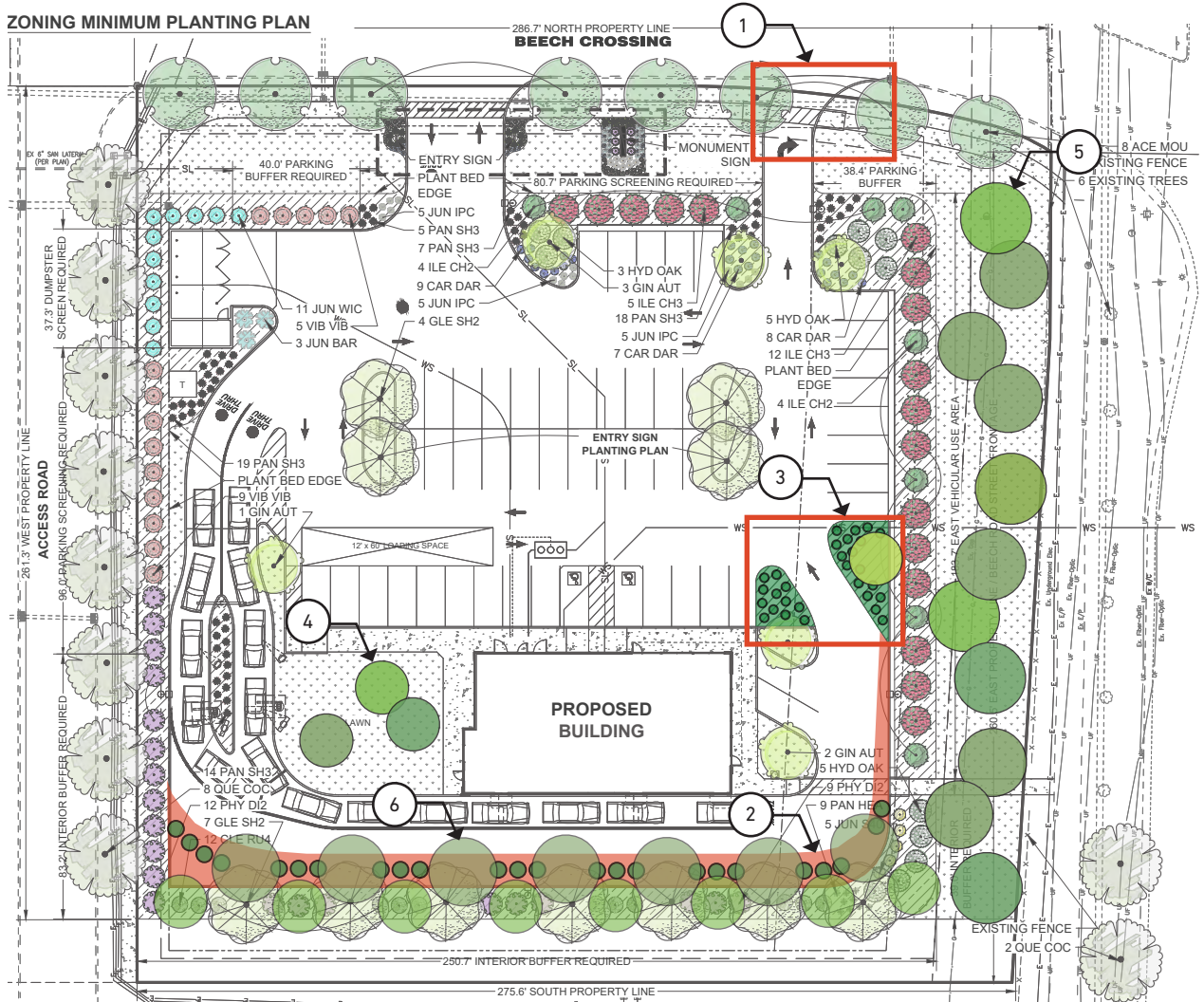


*NOTES:

The provided diagram is for clarification and design intent purposes only. The diagram should be used to help illustrate the above comments. It is the responsibility of the design consultants to incorporate the above comments as it relates to the site and to adhere to all City requirements and subsequent code. The diagram may not be to scale.

Development Review

project name McDonald's - 1955 Beech Road NW
 prepared for City of New Albany
 date June 27, 2024
 date received June 13, 2024



CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
DECIDUOUS TREES					
SHR100	1	Acer saccharum 'Green Mountain' TM	Green Mountain Sugar Maple	B & B	12" Cal
SHR101	5	Quercus bicolor 'Autumn Gold' TM	Mockernut Tree	B & B	2.5" Cal
OLE SH3	11	Quercus laevis 'Shademaster' TM	Shademaster Locust	B & B	2.5" Cal
OLE COC	1	Quercus coccinea	Scarlet Oak	B & B	1.5" Cal
EVERGREEN TREES					
JUN WIC	11	Juniperus scopulorum 'Winko Blue'	Winko Blue Juniper	B & B	6" Ht.
SHRUBS					
SHR102	12	Thuja occidentalis 'Green Ball'	Green Ball Sweet William	2 gal	Clump
ANNUALS AND PERENNIALS					
ALL UNID	24	Alchemilla x Millenium	Millenium Ornamental Onion	16cm bulb	Clump
ALL UNID	25	Allium x Mori Bello	Mori Bello Ornamental Onion	16cm bulb	Clump
ECH RET	14	Echinops ritro	Globe Thistle	2 gal	Clump
DECIDUOUS SHRUBS					
CLE SH3	18	Cornus x glauca 'Dark Knight'	Blue Mist Sycamore	3 gal	30" Ht.
CLE SH4	12	Cedra arborea 'Ruby Spice'	Ruby Spice Cedra	3 gal	42" Ht.
HYD SH3	18	Hydrangea opulenta 'Snow Storm'	White Storm Opulenta Hydrangea	3 gal	30" Ht.
PHY SH3	18	Physocarpus opulifolius 'Burgundy Candy'	Burgundy Candy Ninebark	3 gal	24" Ht.
PHY SH4	21	Physocarpus opulifolius 'Duolet'	Duolet Ninebark	3 gal	42" Ht.
VIB SH3	14	Viburnum x burkwoodii 'Molokai'	Molokai Viburnum	3 gal	42" Ht.
EVERGREEN SHRUBS					
ILE CH2	6	Ilex x mesasiatica 'China Boy' TM	China Boy Holly	3 gal	42" Ht.
ILE CH3	17	Ilex x mesasiatica 'China Girl' TM	China Girl Holly	3 gal	42" Ht.
JUN SH3	5	Juniperus chinensis 'Spartan Gold'	Spartan Juniper	3 gal	18" Ht.
JUN SH4	11	Juniperus horizontalis 'Star Horizon'	Star Horizon Creeping Juniper	3 gal	Clump
JUN SH5	15	Juniperus horizontalis 'Pancake'	Pancake Creeping Juniper	3 gal	Clump
ORNAMENTAL GRASSES					
PAN SH3	6	Calamagrostis x acutiflora 'Karl Foerster'	Foerster Reed Grass	2 gal	Clump
PAN SH4	6	Panicum virgatum 'Heavy Metal'	Blue Swept Grass	2 gal	Clump
PAN SH5	63	Panicum virgatum 'Shenandoah'	Shenandoah Grass	3 gal	Clump
SPICE RET	17	Scoparius heterostachya	Wheat Kinggrass	2 gal	Clump

404.689-01
June 25, 2024

To: Sierra Saumenig
City Planner

From: Matt Ferris, P.E., P.S.
By: Jay M. Herskowitz, P.E., BCEE

Re: McDonald's FDP

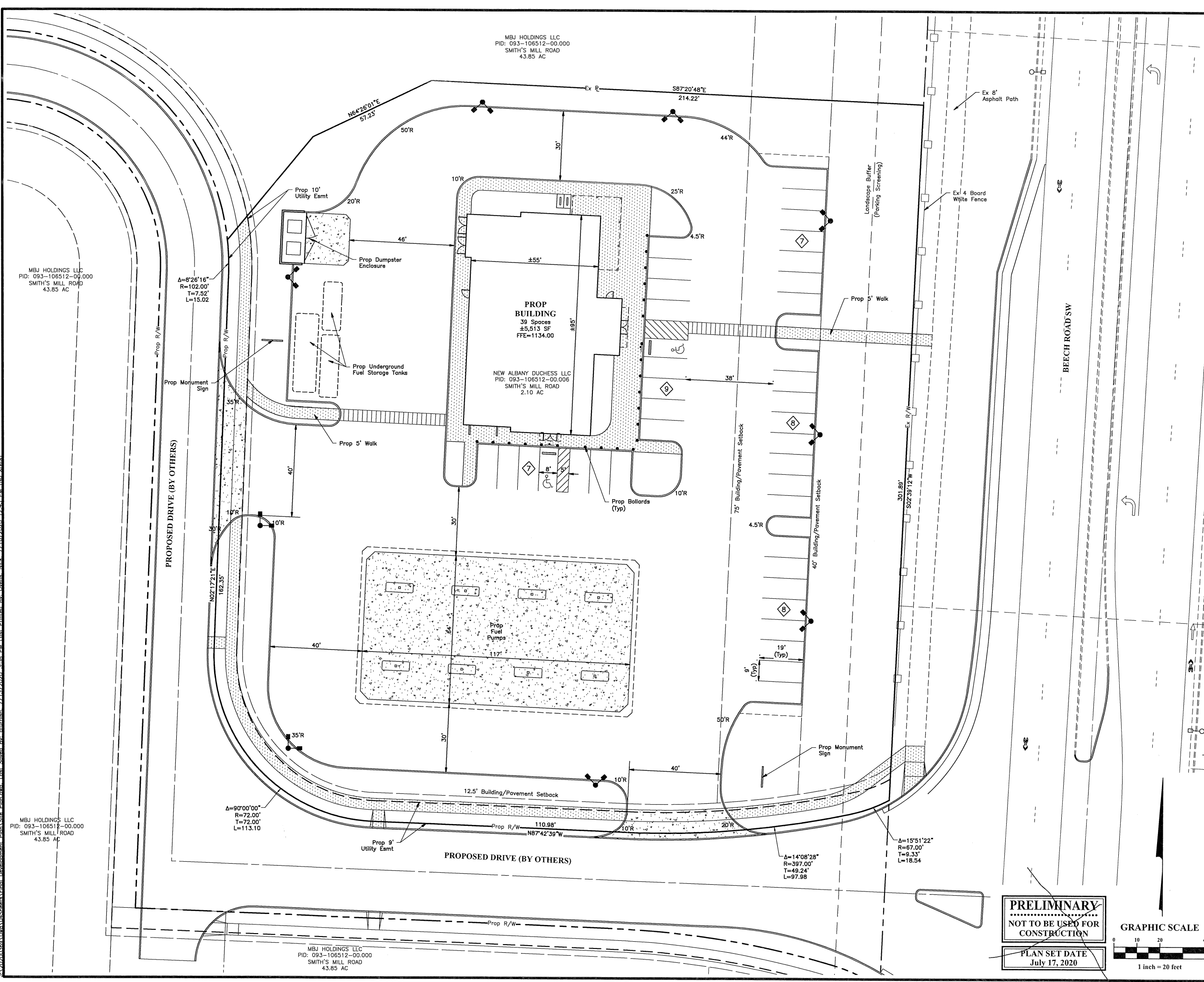
We reviewed the referenced submittal in accordance with Code Sections 1159.07 (b)(3) FDP.
Our review comments are as follows:

1. Refer to Exhibit A (see attached). Add the signature block shown on this exhibit and accompanying monumentation notes to the cover sheer of the referenced FDP.
2. Sheet C3.0: Add stop signs/stop bars at the curb cuts.
3. Sheet C3.2: Note that the City requires detectable domes to be red clay brick.
4. Sheet C4.0: Add notes requiring that the water service beneath Beech Road be constructed using Horizontal Directional Drilling. Open cut of pavement is not permitted.
5. Sheet C5.0: Add a legend that includes a major flood routing arrow and show major flood routing in plan view.
6. Sheet C6.1: Revise note 2 at the bottom of this sheet by deleting 21 days and adding back 14 days.
7. Sheet C6.1: The City recently updated the seed application rate to be 14 lbs. per 1000 SF, City of Columbus Type 1 Lawn Mix.
8. Sheet L1.0: Add site distance triangles at the cuts and remove landscaping that impedes motorist view.
9. Have a licensed Ohio professional surveyor sign the ALTA survey.
10. Provide a fire truck turning analysis using the template for the applicable Fire Department ladder truck.
11. We will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available

MEF/JMH

(attachment)

cc: Josh Albright, Development Engineer
Sierra Saumenig, Planner



LEGEND

- Concrete Pavement
- Concrete Sidewalk
- Sign Site Light Pole (see Map Plan)
- Parking Count

PROJECT DESCRIPTION
The Gas Station Development Includes The Construction Of A 5,513 Square Feet Single Story Building With Fuel Pumps.

STORMWATER MANAGEMENT
The Storm Water For This Project Will Be Controlled By A Regional Basin West Of The Site.

MONUMENTATION
Monumentation In Compliance With C.O. 1159.07 (3) Will Be Set Prior To Completion Of Construction.

SITE DATE TABLE

Total Site Area	2.11 Ac.
Proposed Convenience Store	5,513 SF
Parking Provided	39 Spaces
Handcap Parking Required	2 Spaces
Handcap Parking Provided	2 Spaces
Lot Coverage	
Pavement/Walk	61,258 S.F.
Building	5,513 S.F.
Total Coverage	66,771 S.F.
Site Area (2.11 Ac.)	91,771 S.F.
Percent Coverage	73%
Maximum Lot Coverage	85%
Total Parking Area	17,751 S.F.
Interior Landscape Area	1,763 S.F.
Interior Landscape Required	10%
Interior Landscape Required	8%

- NOTES**
- All Radii Are 5' Unless Otherwise Noted.
 - All Curb To Be 6" Extruded Unless Otherwise Noted.
 - All Dimensions Given Are Measured To The Face Of Curb.
 - All Radius Dimensions Given Are Measured Along The Face Of Curb.
 - Curb cut on US 62 is subject to ODOT approval. If this curb cut is approved, the northern most curb cut on Theisen Rd will be exit only. If curb cut is not approved it will be removed from the plan and both curb cuts on Theisen Rd will remain as full access.

APPROVALS:

Planning Commission Chair

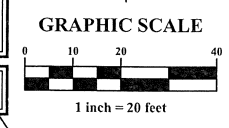
Vice Chair or Designee

Professional Engineer

Professional Surveyor

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
July 17, 2020



MBJ HOLDINGS LLC
PID: 093-106512-00.000
SMITH'S MILL ROAD
43.85 AC

MBJ HOLDINGS LLC
PID: 093-106512-00.000
SMITH'S MILL ROAD
43.85 AC

MBJ HOLDINGS LLC
PID: 093-106512-00.000
SMITH'S MILL ROAD
43.85 AC

MBJ HOLDINGS LLC
PID: 093-106512-00.000
SMITH'S MILL ROAD
43.85 AC

NEW ALBANY DUCHESS LLC
PID: 093-106512-00.006
SMITH'S MILL ROAD
2.10 AC

REVISIONS

MARK	DATE	DESCRIPTION

CITY OF NEW ALBANY, LICKING COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
ENGLEFIELD OIL - BEECH & SMITH'S MILL ROAD
SITE PLAN

EMHI
Ernst, Meacham, Hershberger & Illion, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.752.4500 Fax: 614.752.4501
emhi.com

DATE	July 17, 2020
SCALE	1" = 20'
JOB NO.	2020-0369
SHEET	1/2

Permit # _____
 Board _____
 Mtg. Date _____



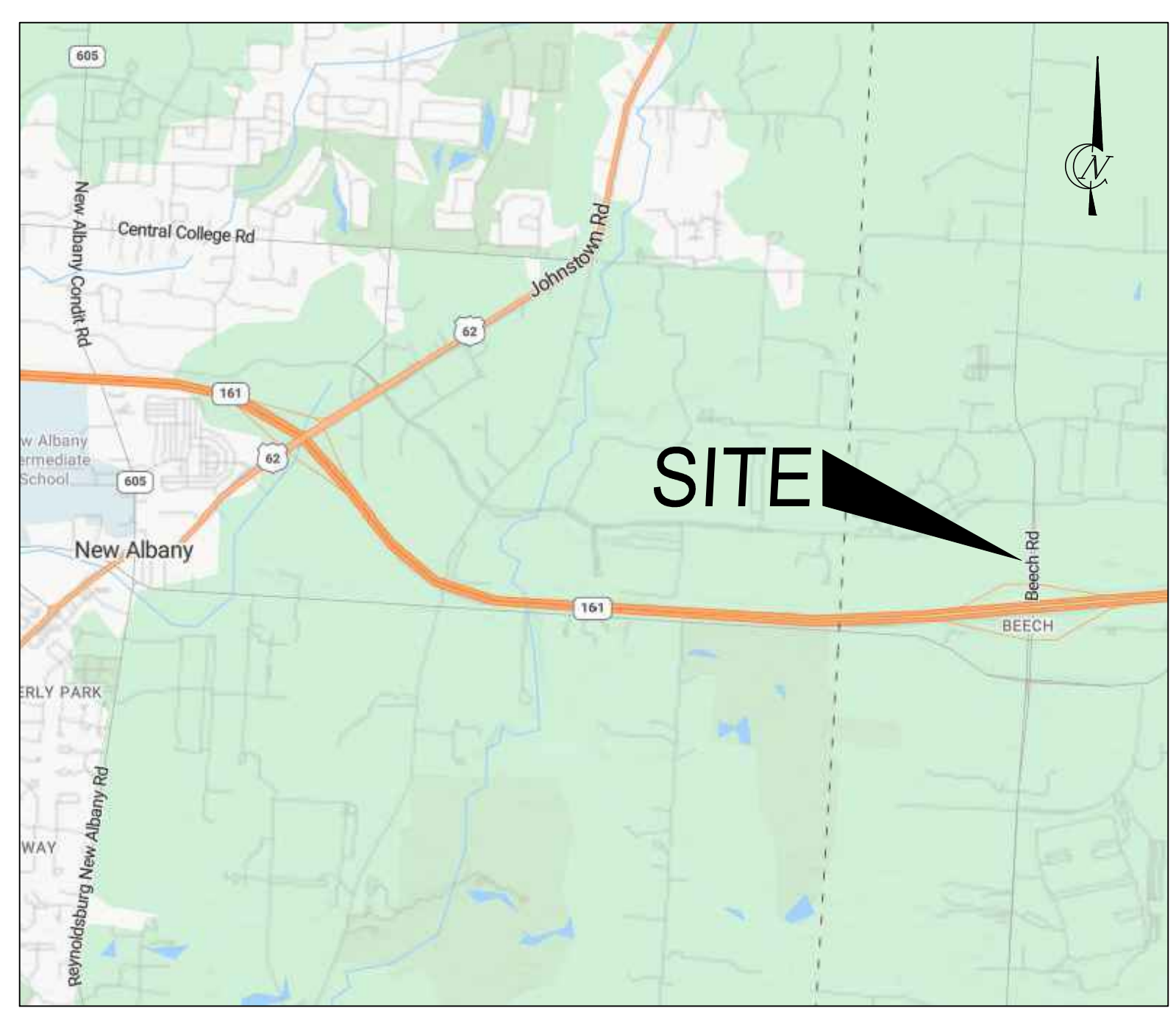
Community Development Planning Application

Project Information	Site Address <u>1955 Beech Rd. NW New Albany, OH 43031</u> Parcel Numbers <u>093-106512-00.000</u> Acres <u>1.805</u> # of lots created <u>1</u>																																																											
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McDONALD'S USA, LLC

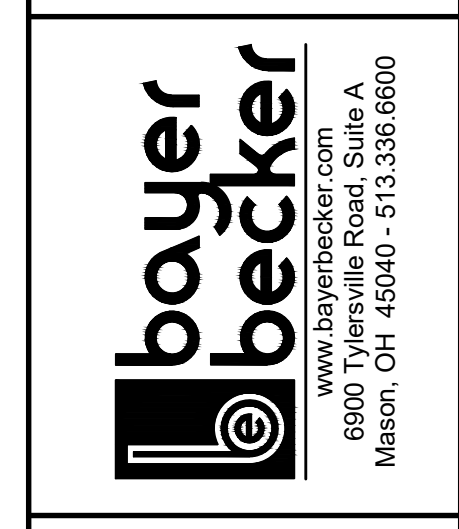
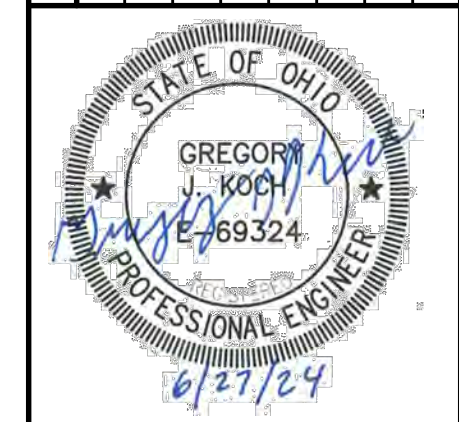
L/C# 34-2105

1955 BEECH ROAD
CITY OF NEW ALBANY
LICKING COUNTY, OHIO



VICINITY MAP - NTS

REV	DATE	DESCRIPTION
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD
2	05-29-24	REDUCE DIRECTIONAL SIGNS PER CITY COMMENT
3	06-26-24	REVISE PER CITY COMMENTS

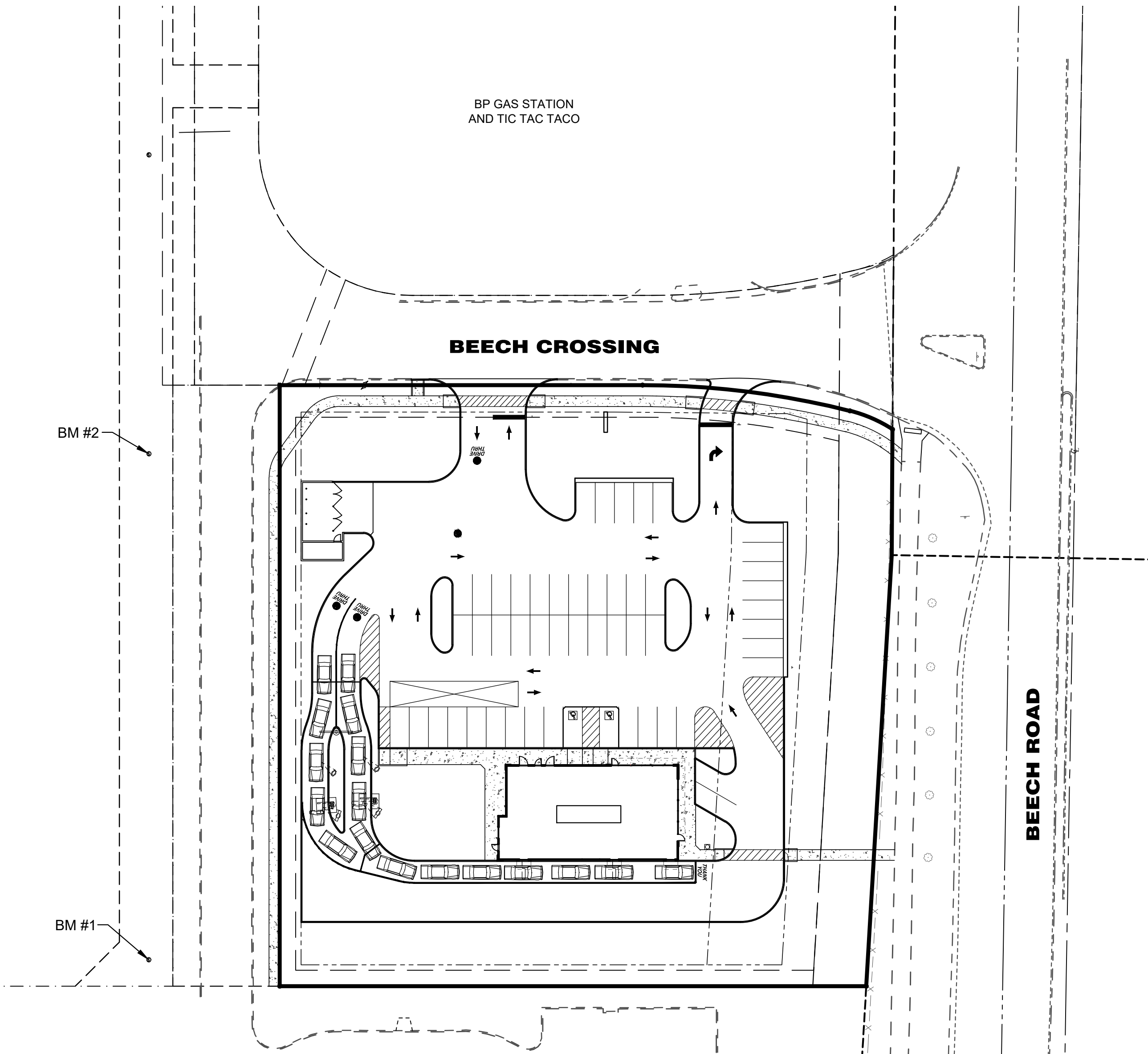


L/C# 34-2105

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED MCDONALD'S RESTAURANT AT:
1955 BEECH ROAD
NEW ALBANY, LICKING COUNTY, OHIO

JOB NO. 23-0187
DATE: 04-17-24
SCALE: 1"=40'
TITLE SHEET
SHEET: C1.0



UTILITY COMPANIES

Gas
Columbia
1-800-344-4077

Electric
AEP Ohio
Contact: 1-888-710-4237

Telephone
AT&T
614-917-3315

Sanitary Sewer, Storm Sewer and Water Main
Community Development Department
99 West Main Street
New Albany, Ohio 43054
Attn: Josh Albright
614939-2254
jalbrigh@newalbanyohio.org

OWNER

McDONALD'S CORPORATION
2 EASTON OVAL, SUITE 200
COLUMBUS, OHIO 43219
CONTACT: LARRY DRAKE
513-267-2046
lawrence.drake@us.mcd.com

CIVIL ENGINEER & LANDSCAPE ARCHITECTURE

BAYER BECKER
6900 TYLERSVILLE ROAD, SUITE A
MASON, OHIO 45040
CONTACT: GREG KOCH
513-492-9835
gregkoch@bayerbecker.com

SURVEYOR

EMH&T
5500 NEW ALBANY ROAD
COLUMBUS, OHIO 43054
CONTACT: HEATHER KING
614-775-4120
hking@emht.com

BENCHMARKS

BENCHMARK #1
EX. SANITARY MANHOLE
RIM=1134.83
(N)INV=1121.83

BENCHMARK #2
EX. SANITARY MANHOLE
RIM=1132.51
(S)INV=1120.67
(N)INV=1120.61

SITE SUMMARY

LOT SIZE 1.805 ACRES

EXISTING ZONING I-PUD

GROSS FLOOR AREA 3,694 SF

PARKING REQUIRED 50 SPACES (1 SP PER 75 SF OF GROSS FLOOR AREA)

PARKING PROVIDED 52 SPACES (INCLUDES 2 ACCESSIBLE SPACES)

DRIVE THRU STACKING REQUIRED 13 SPACES (25% OF REQUIRED NUMBER OFF PARKING SPACES)

DRIVE THRU STACKING PROVIDED 14 SPACES (UP TO THE CASH WINDOW)

LOT COVERAGE 68%

SHEET INDEX

- C1.0 TITLE SHEET
- C2.0 DEMOLITION PLAN
- C3.0 SITE PLAN
- C3.1 DRIVE THRU DETAILS
- C3.2 SITE DETAILS
- C3.3 SITE DETAILS
- C4.0 UTILITY PLAN
- C4.1 UTILITY DETAILS
- C5.0 GRADING PLAN
- C6.0 EROSION CONTROL PLAN
- C6.1 EROSION CONTROL NOTES
- C6.2 EROSION CONTROL NOTES
- C5.1 EROSION DETAILS
- L1.0 PLANTING ZONING PLAN
- L1.1 PLANTING PLAN
- L2.0 PLANTING TYPICAL NOTES & DETAILS
- L2.1 PLANTING TYPICAL NOTES & DETAILS
- L2.2 PHOTOMETRIC PLAN

APPROVALS

PLANNING COMMISSION CHAIR _____

VICE CHAIR OR DESIGNEE _____

PROFESSIONAL ENGINEER _____

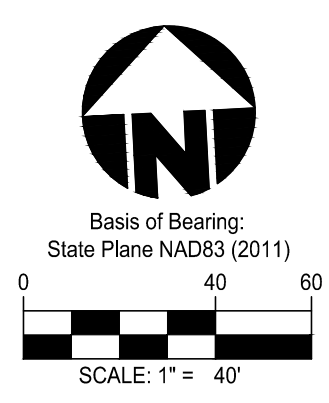
PROFESSIONAL SURVEYOR _____

MONUMENTATION

MONUMENTATION IN COMPLIANCE WITH C.O. 1159.07 (B)(3) WILL BE SET PRIOR TO COMPLETION OF CONSTRUCTION.

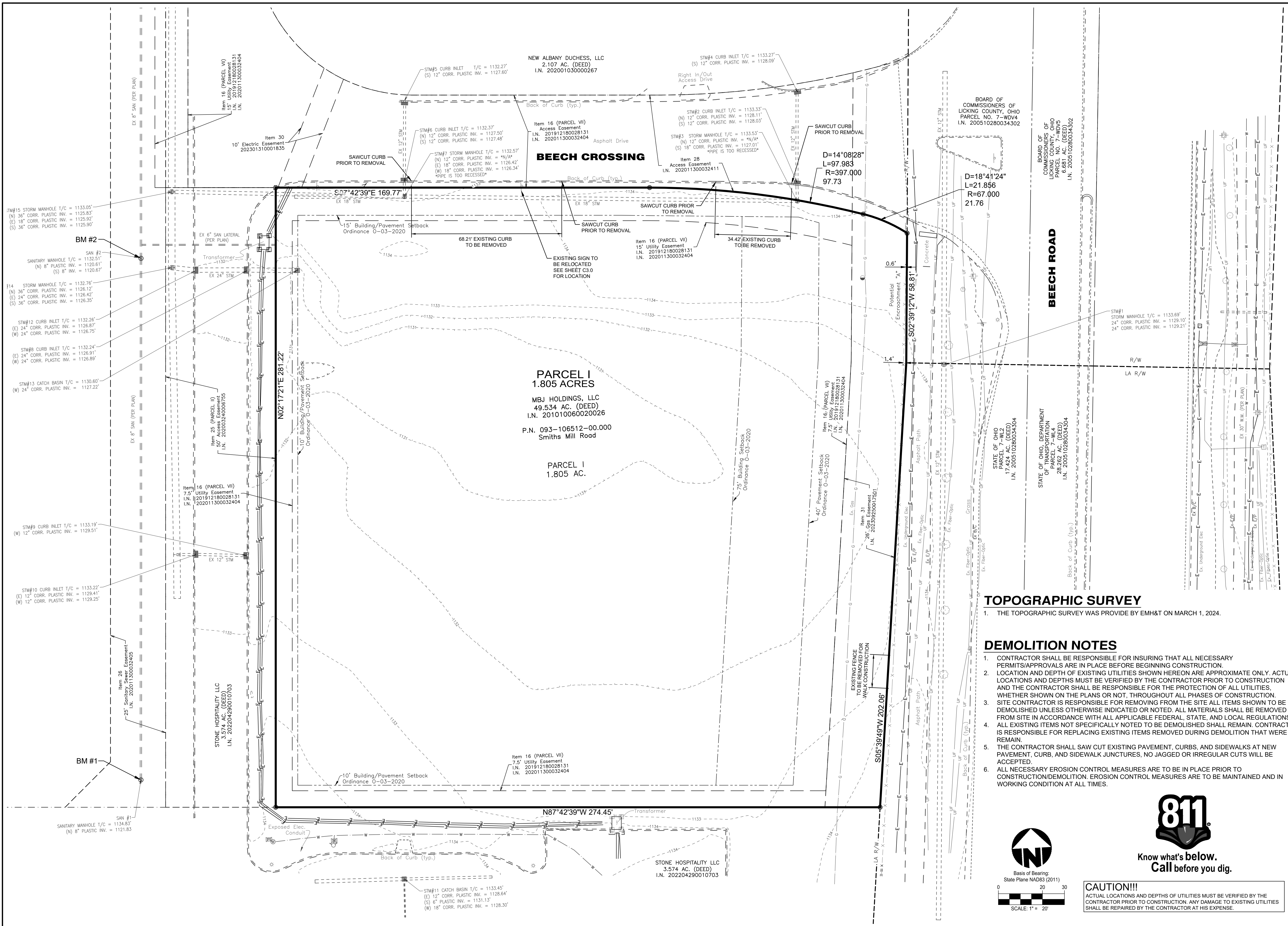


CAUTION!!!
ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.



Plot time: Jun 27, 2024, 5:19pm - Login Name: gregkoch
Drawing name: J:\2023\23-0187\CAD\DWG\23-0187_CD.dwg - Layout: Tab: Layout1

Plot time: May 08, 2024 - 11:45am - Login Name: gregkoch
 Drawing name: J:\2023\23-0187\CV\DWG\23-0187_CD.dwg - Layout Tab: Layout1

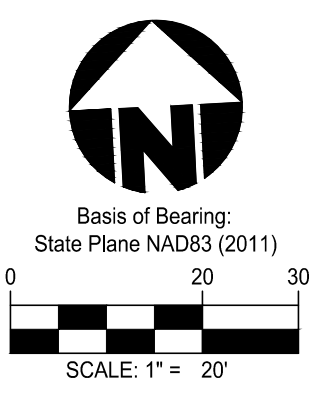


TOPOGRAPHIC SURVEY

1. THE TOPOGRAPHIC SURVEY WAS PROVIDED BY EMH&T ON MARCH 1, 2024.

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT ALL NECESSARY PERMITS/APPROVALS ARE IN PLACE BEFORE BEGINNING CONSTRUCTION.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THROUGHOUT ALL PHASES OF CONSTRUCTION.
- SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING FROM THE SITE ALL ITEMS SHOWN TO BE DEMOLISHED UNLESS OTHERWISE INDICATED OR NOTED. ALL MATERIALS SHALL BE REMOVED FROM SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- ALL EXISTING ITEMS NOT SPECIFICALLY NOTED TO BE DEMOLISHED SHALL REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE TO REMAIN.
- THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW PAVEMENT, CURB, AND SIDEWALK JUNCTURES, NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
- ALL NECESSARY EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO CONSTRUCTION/DEMOLITION. EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND IN WORKING CONDITION AT ALL TIMES.



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REV	DATE	DESCRIPTION	BY
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD	G/AK



bayer becker
 www.bayerbecker.com
 6800 Jefferson Road, Suite A
 Mason, OH 45404-5133, 336.6600

L/C# 34-2105

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED MCDONALD'S RESTAURANT AT:
 1955 BEECH ROAD
 NEW ALBANY, LICKING COUNTY, OHIO

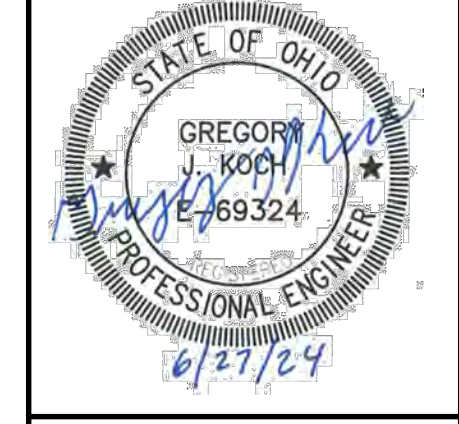
JOB NO. 23-0187
DATE: 04-17-24
SCALE: 1"=20'
EXISTING SITE PLAN
SHEET: C2.0

Plot time: Jun 27, 2024 - 4:55pm - Login Name: gregkoch
 Drawing name: J:\2023\23-0187\CAD\DWG\23-0187_CD.dwg - Layout: Tab: Layout1

SITE LAYOUT NOTES

1. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. WHERE CONNECTING TO EXISTING ASPHALT PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT TO PROVIDE A CLEAN EDGE. ITEM 407 TACK COAT SHALL BE APPLIED TO THE ENTIRE CUT FACE OF THE EXISTING PAVEMENT PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT.
3. ADDITIONAL PAVEMENT/CURB WORK DUE TO EXTENTS OF DEMO OR REWORK SHALL BE INCLUDED AS PART OF THE CONTRACTORS SCOPE OF WORK.
4. ALL CURB RAMP TO HAVE DETECTABLE WARNING SURFACE THAT MEETS ODOT'S APPROVED PRODUCTS LIST (APL). SURFACE APPLIED, STAMPED AND BRICK PRODUCTS ARE NOT PERMITTED.
5. SEE SHEET C3.2 FOR PAVEMENT SECTIONS.

REV	DATE	DESCRIPTION
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD
2	05-29-24	REDUCE DIRECTIONAL SIGNS PER CITY COMMENT
3	06-26-24	REVISE PER CITY COMMENTS



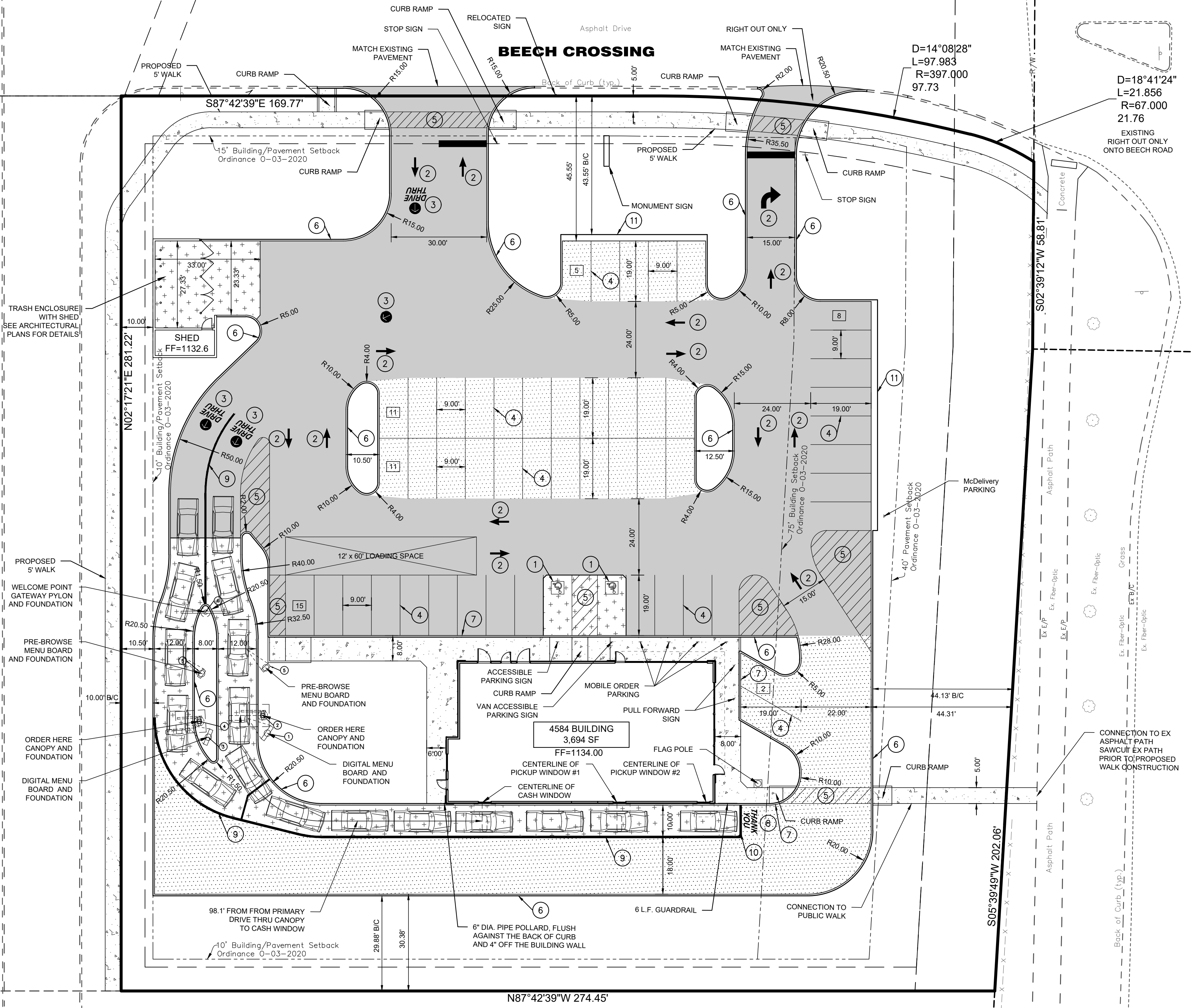
bayer becker
 www.bayerbecker.com
 6800 Jefferson Rd., Suite A
 Mason, OH 45940-5133.336.6600

L/C# 34-2105

McDonald's
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PROPOSED McDONALD'S RESTAURANT AT:
 1955 BEECH ROAD
 NEW ALBANY, LICKING COUNTY, OHIO

JOB NO. 23-0187
DATE: 04-17-24
SCALE: 1"=20'
SITE PLAN
SHEET: C3.0

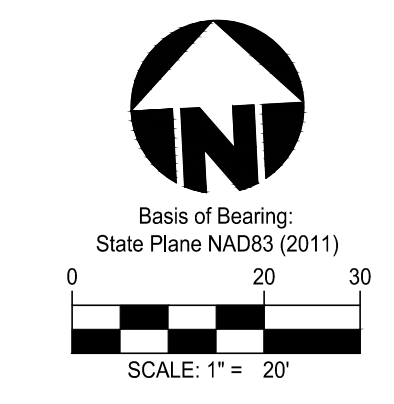


KEY NOTES

- 1 PROPOSED ADA PARKING (PAINTED HANDICAP SYMBOL)
- 2 DIRECTIONAL ARROW (WHITE)
- 3 DRIVE THRU PAVEMENT MARKINGS (YELLOW)
- 4 PROPOSED PARKING, 4' WIDE SOLID WHITE STRIPE, TYP.
- 5 4" PAINTED WHITE STRIPE
- 6 PROPOSED 6" CONCRETE CURB
- 7 PROPOSED 6" CURB & SIDEWALK
- 8 "THANK YOU" (YELLOW)
- 9 6" PAINTED YELLOW STRIPE
- 10 8" PAINTED YELLOW STRIPE
- 11 2' CONCRETE CURB

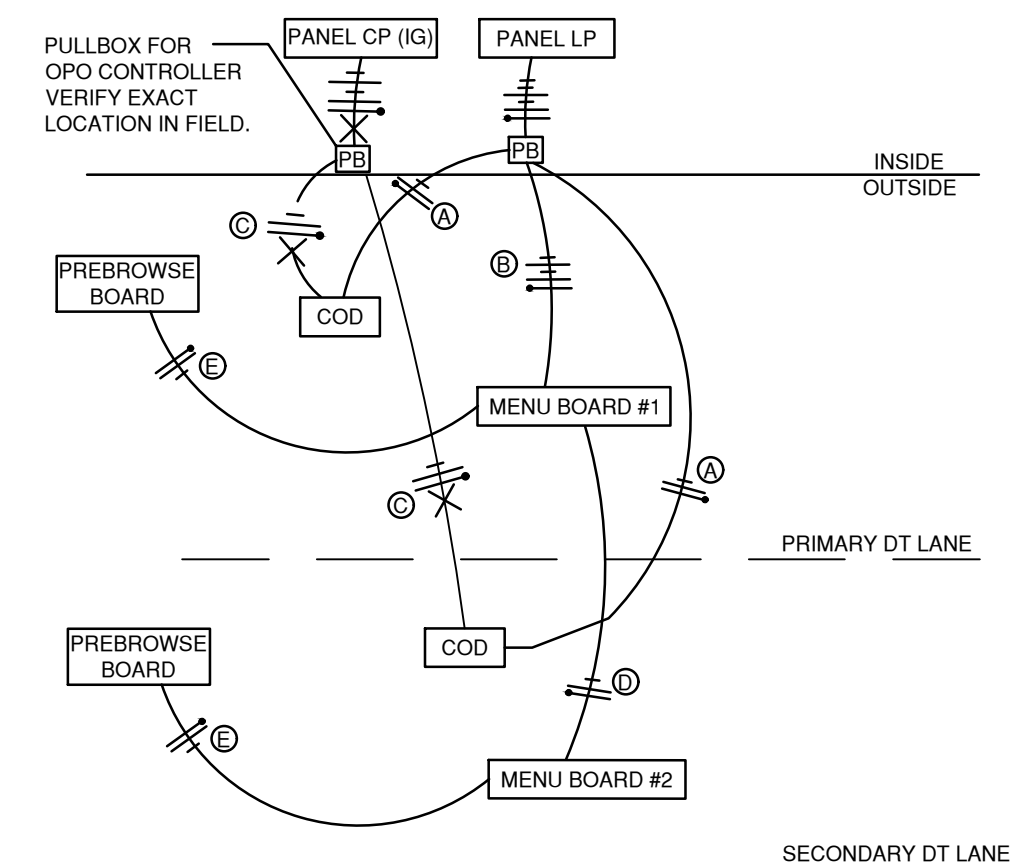
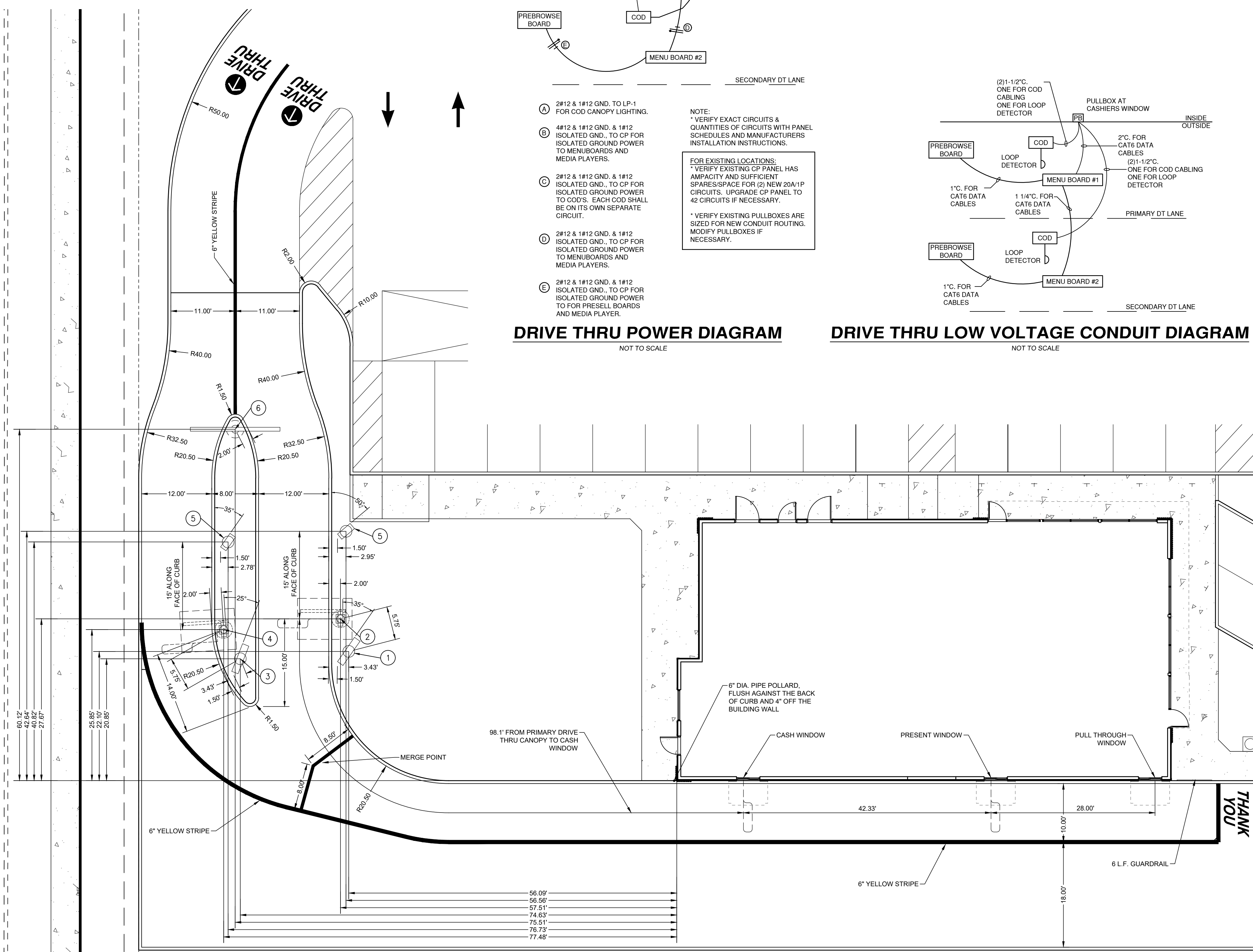
LEGEND

- [Pattern] LIGHT DUTY ASPHALT PAVEMENT SEE SHEET C3.2 FOR PAVEMENT SECTION
- [Pattern] HEAVY DUTY ASPHALT PAVEMENT SEE SHEET C3.2 FOR PAVEMENT SECTION
- [Pattern] CONCRETE PAVEMENT SEE SHEET C3.2 FOR PAVEMENT SECTION
- [Pattern] CONCRETE SIDEWALK SEE SHEET C3.2 FOR PAVEMENT SECTION
- [Symbol] PARKING COUNT



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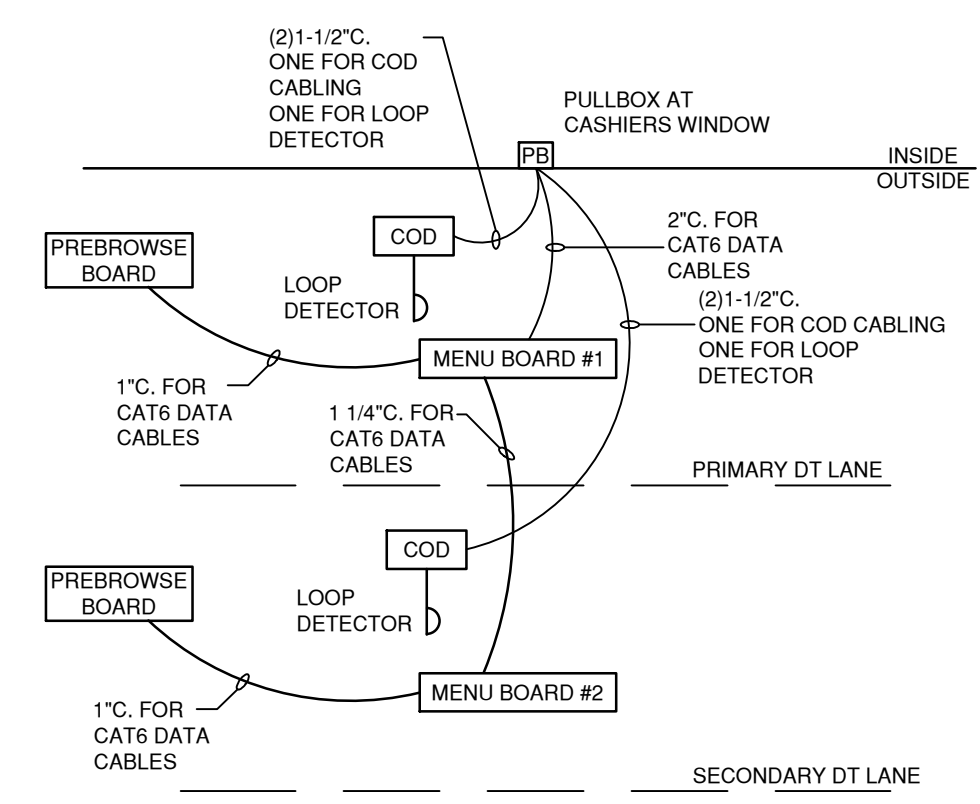
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 Drawing name: J:\2023\23-0187\CV\DWG\23-0187_CD.dwg - Layout Tab: Layout1



- (A) 2#12 & 1#12 GND, TO LP-1 FOR COD CANOPY LIGHTING.
- (B) 4#12 & 1#12 GND, & 1#12 ISOLATED GND, TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (C) 2#12 & 1#12 GND, & 1#12 ISOLATED GND, TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH COD SHALL BE ON ITS OWN SEPARATE CIRCUIT.
- (D) 2#12 & 1#12 GND, & 1#12 ISOLATED GND, TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (E) 2#12 & 1#12 GND, & 1#12 ISOLATED GND, TO CP FOR ISOLATED GROUND POWER TO FOR PRESELL BOARDS AND MEDIA PLAYER.

NOTE:
 * VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.
FOR EXISTING LOCATIONS:
 * VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACE FOR (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.
 * VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY.

DRIVE THRU POWER DIAGRAM
 NOT TO SCALE



DRIVE THRU LOW VOLTAGE CONDUIT DIAGRAM
 NOT TO SCALE

DRIVE THRU GENERAL NOTES

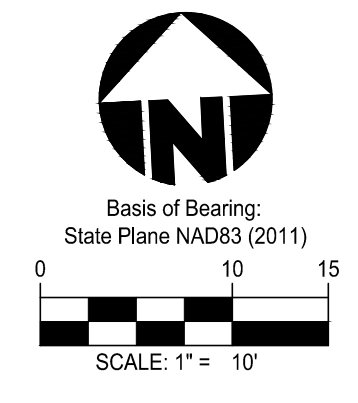
CURBING:
 DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
 THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".
 PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).
 THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 50'-55". THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR TWO CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT.
 THE ISLAND WIDTH SHOULD BE 9.50' AT THE WIDEST POINT (FACE OF CURB TO FACE OF CURB).
 ENTRANCE LANE ENTERING THE SIDE BY SIDE DRIVE-THRU IS TO BE 24' MIN.
PAVEMENT MARKINGS:
 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE.
 ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7' SHAFT, 7' ARROW STEM AND 3' FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.
 MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY WOULD MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9.0' AND OFFSETTING THE OUTER LANE STRIPING 8.0'. AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.
EQUIPMENT POSITIONING FOR PRIMARY LANE:
 MIN. 60'(+/-5') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE PRIMARY COD FACE AND THE CENTER LINE OF THE OPEN CASH BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20' INCREMENTS TO A MAX. OF 100'. 100' IS OPTIMAL.
 THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE BETWEEN 25° AND 35° ANGLE FROM A CAR POSITIONED AT THE COD TO MAXIMIZE SECOND CAR VIEWING.
 AUGER "MCDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
 AUGER "MCDONALD'S GATEWAY" FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
 THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD.
EQUIPMENT POSITIONING FOR SECONDARY LANE:
 AUGER "MCDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
 THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE COD AND WITH 100% VISIBILITY.

NOTES

1. THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.
2. DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT, IT IS RECOMMENDED THAT ALL DRIVE-THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
3. THE PLACEMENT OF THE CODs AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
4. ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALDS APPROVED SUPPLIERS.
5. SEE ADDITIONAL SHEETS FOR FOUNDATION DETAILS.
6. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF THE FOUNDATION AND THE FACE OF CURB UNLESS OTHERWISE NOTED.

LEGEND

- ① 2 PANEL OUTDOOR DIGITAL MENU BOARD (PRIMARY)
- ② "ORDER HERE" CANOPY/ CANOPY FOUNDATION (PRIMARY)
- ③ 2 PANEL OUTDOOR DIGITAL MENU BOARD (SECONDARY)
- ④ "ORDER HERE" CANOPY/ CANOPY FOUNDATION (SECONDARY)
- ⑤ PRE-BROWSE BOARD
- ⑥ WELCOME POINT GATEWAY PYLON



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REV	DATE	DESCRIPTION



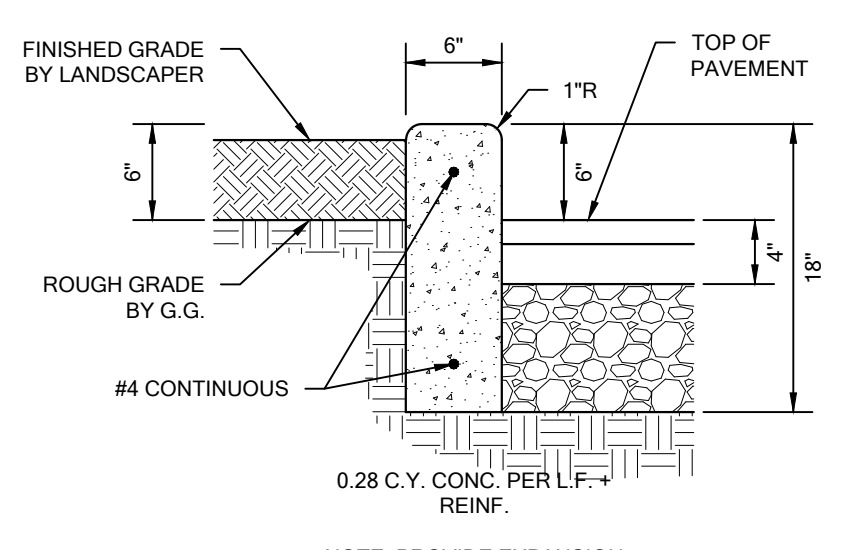
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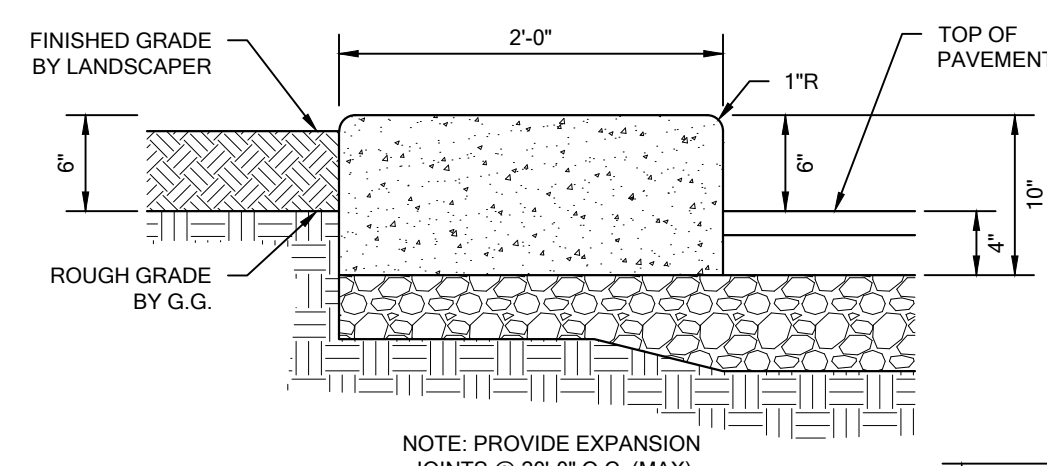
PROPOSED MCDONALD'S RESTAURANT AT:
 1955 BEECH ROAD
 NEW ALBANY, LICKING COUNTY, OHIO

JOB NO. 23-0187
DATE: 04-17-24
SCALE: 1"=10"
DRIVE THRU DETAILS
SHEET: C3.1

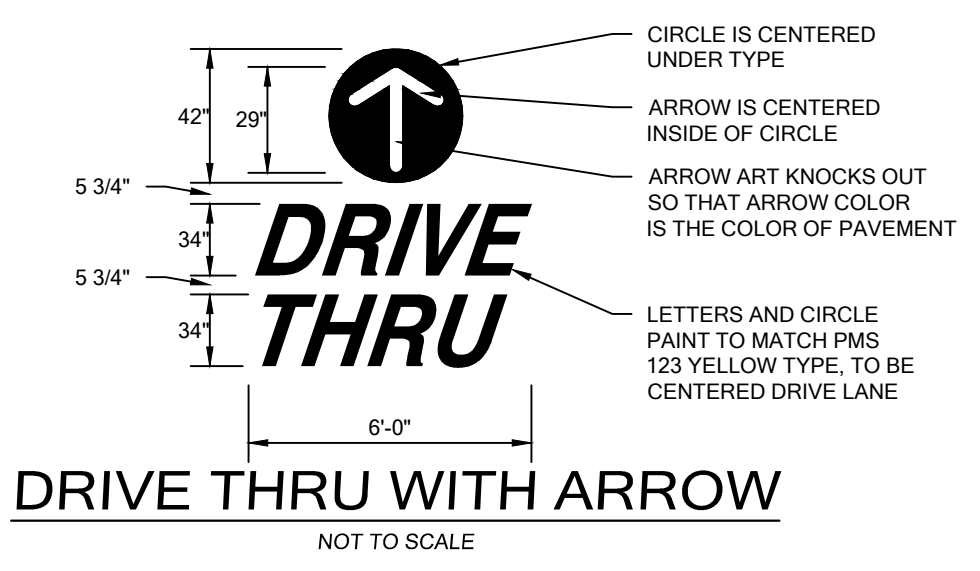
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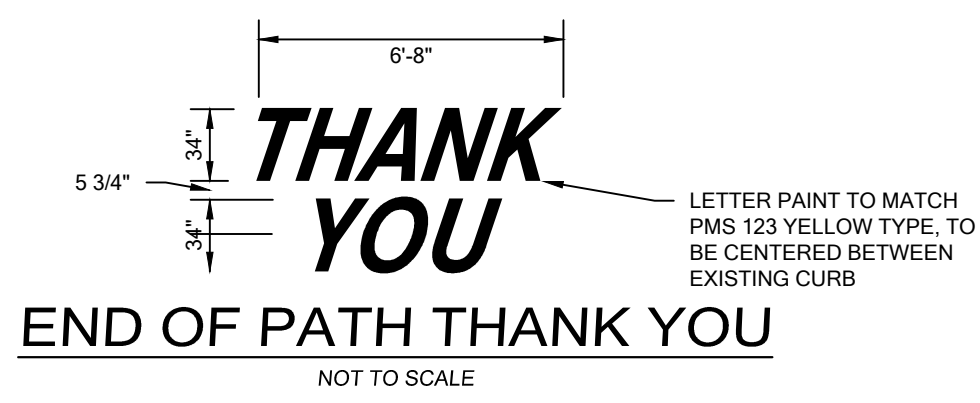
6" CONCRETE CURB
NOT TO SCALE



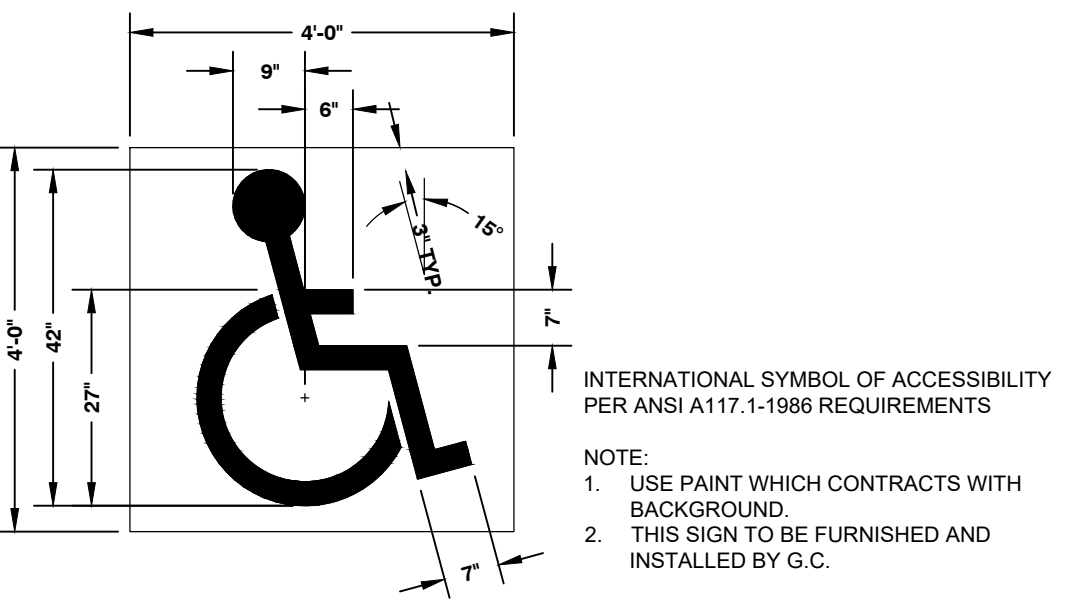
24" CONCRETE CURB
NOT TO SCALE



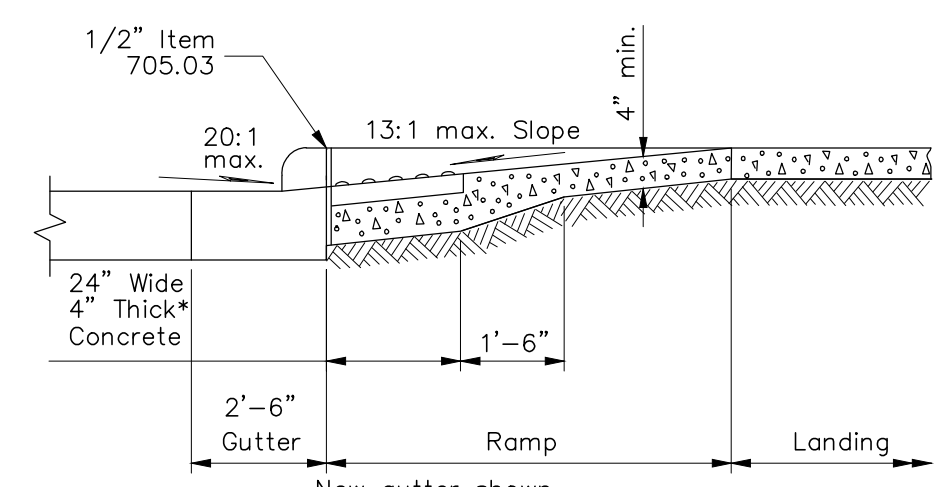
DRIVE THRU WITH ARROW
NOT TO SCALE



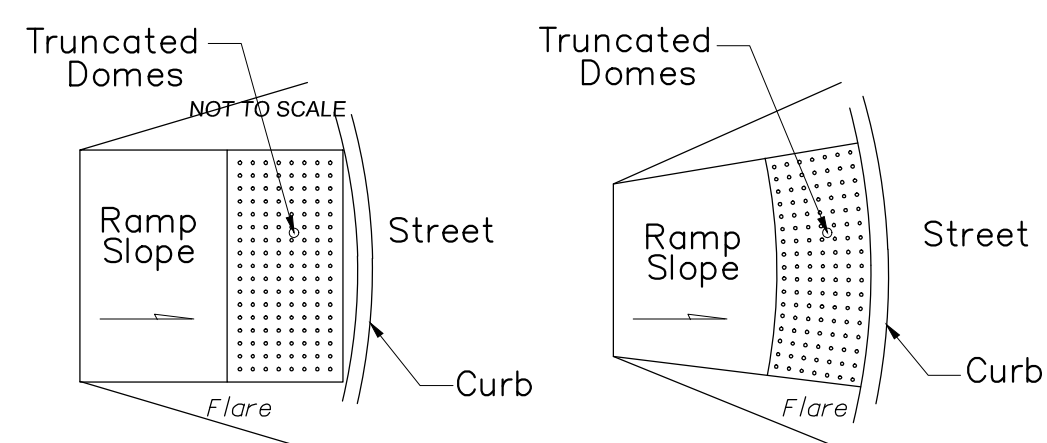
END OF PATH THANK YOU
NOT TO SCALE



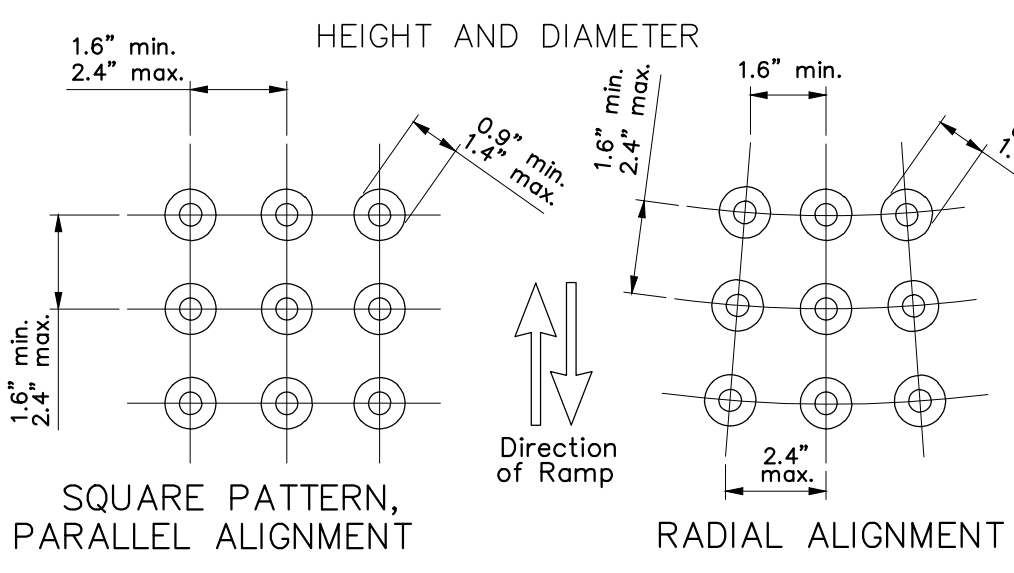
PAINTED ACCESSIBLE PARKING SYMBOL



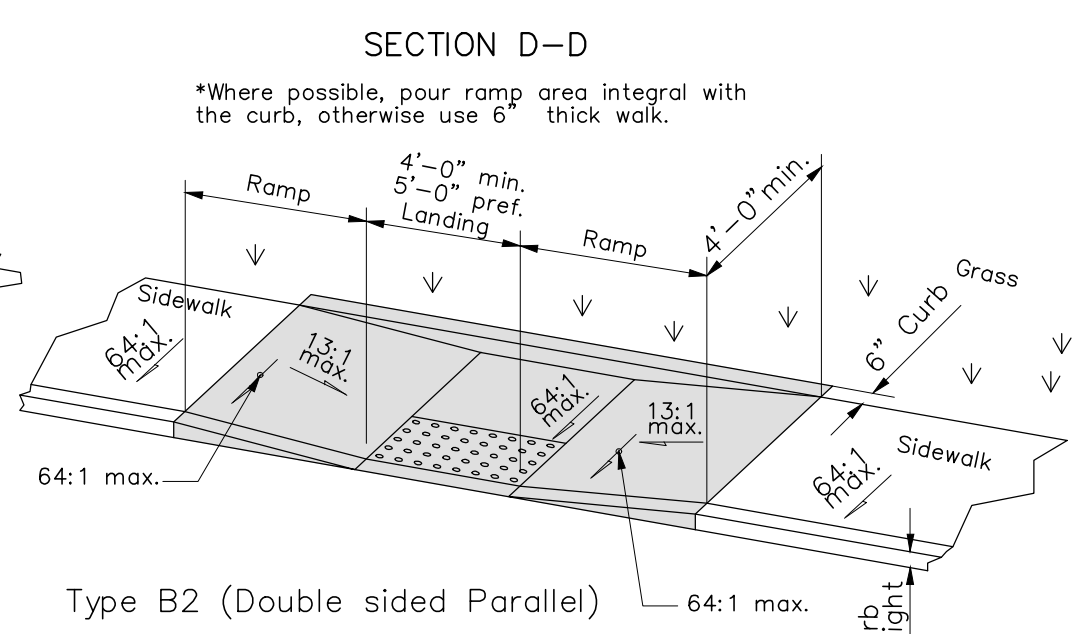
SECTION A-A NORMAL DETAIL



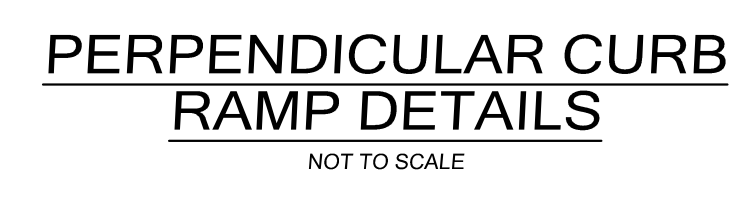
DOME ALIGNMENT ON RADIUS CURB



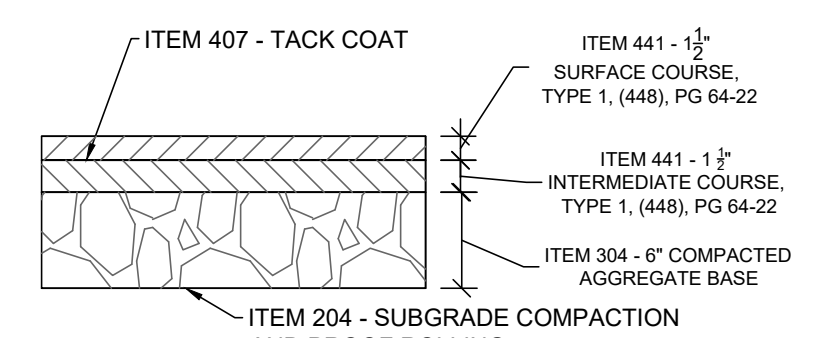
TRUNCATED DOMES DETAILS



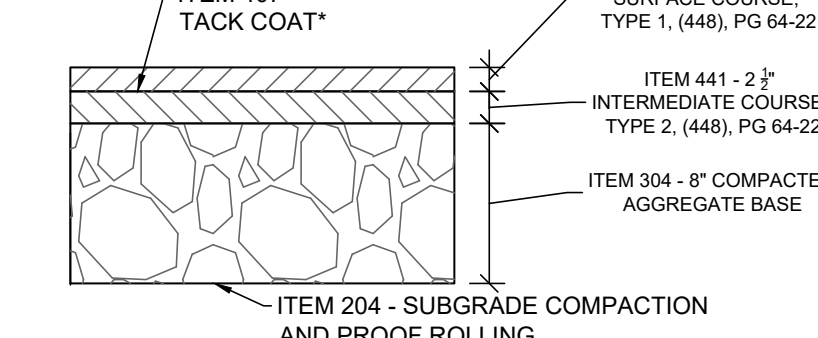
PARALLEL CURB RAMP DETAILS
NOT TO SCALE



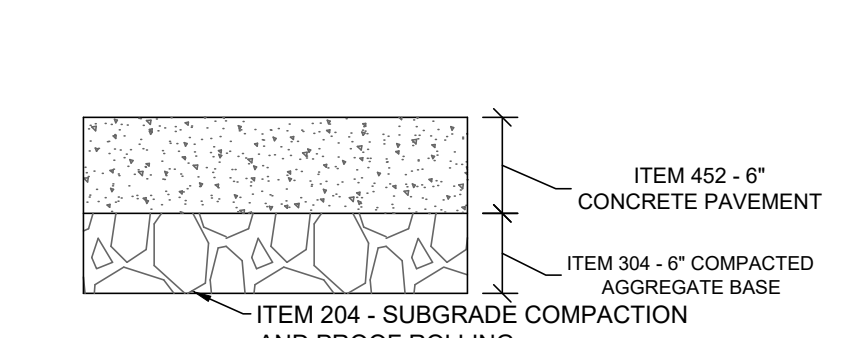
PERPENDICULAR CURB RAMP DETAILS
NOT TO SCALE



LIGHT DUTY ASPHALT



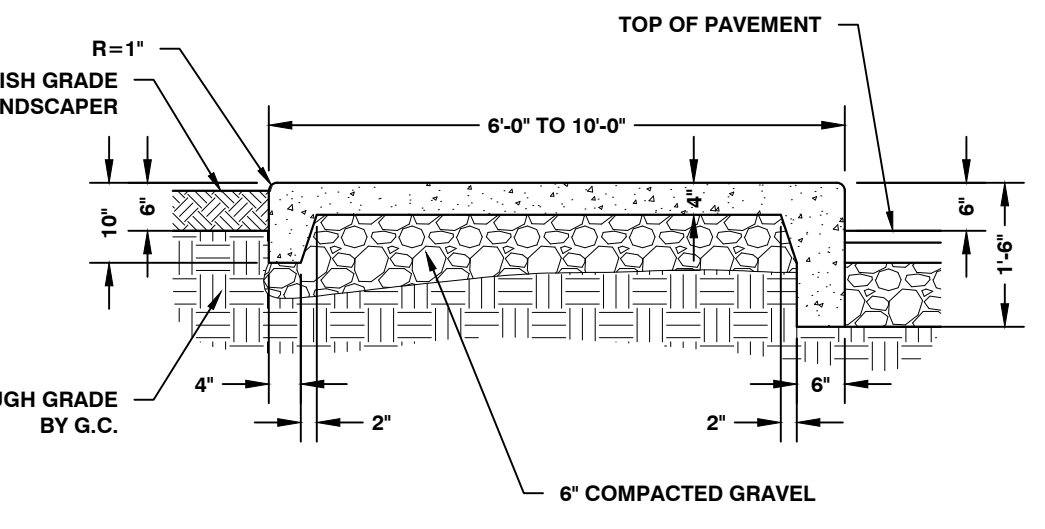
HEAVY DUTY ASPHALT



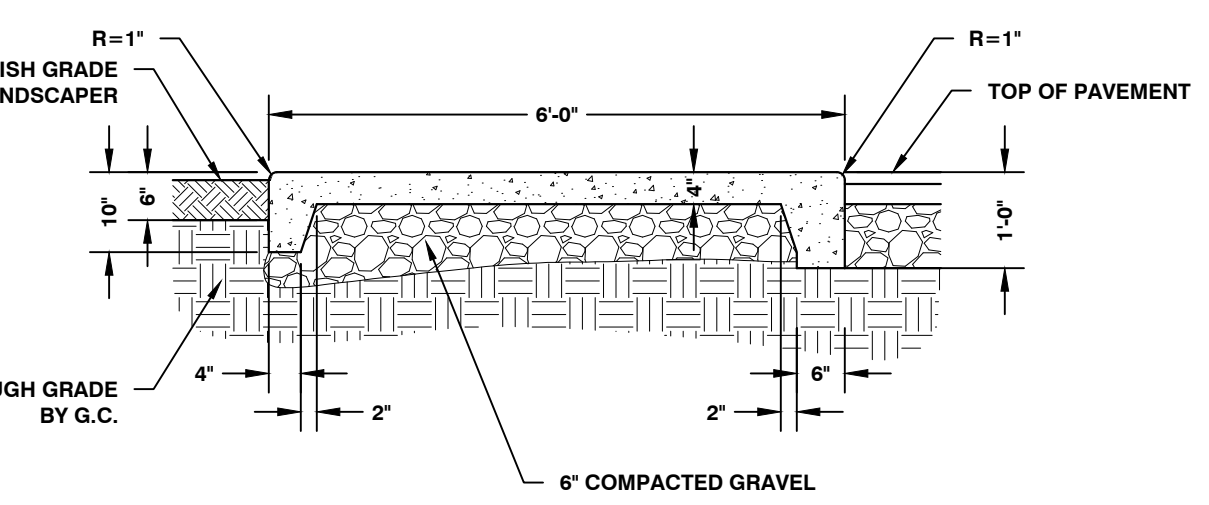
CONCRETE PAVEMENT

* ITEM 407 - TACK COAT TO BE PLACED BETWEEN ASPHALT LAYERS WHEN PAVEMENT HAS BEEN SUBJECTED TO TRAFFIC BEFORE UPPER LAYERS OF ASPHALT ARE PLACED. APPLICATION RATE TO BE A MINIMUM OF 0.100 GAL/SQ YD.

* ITEM 407 - TACK COAT TO BE PLACED BETWEEN ASPHALT LAYERS WHEN PAVEMENT HAS BEEN SUBJECTED TO TRAFFIC BEFORE UPPER LAYERS OF ASPHALT ARE PLACED. APPLICATION RATE TO BE A MINIMUM OF 0.100 GAL/SQ YD.



CONCRETE WALK & CURB DETAIL
NOT TO SCALE



FLUSH WALK & CURB DETAIL
NOT TO SCALE

CURB RAMP NOTES

DRAINAGE: Contractor is to ensure the base of each constructed curb ramp allows for proper drainage, without exceeding allowable cross slope or ramp slopes. Vertical change in level exceeding 1/8" between the 1) pavement and gutter, and 2) gutter and ramp, are not allowed.

SURFACE TEXTURE: Texture concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.

The edge of the curb shall be flush with the edge of the adjacent pavement and gutter and surface slopes that meet grade breaks shall also be flush.

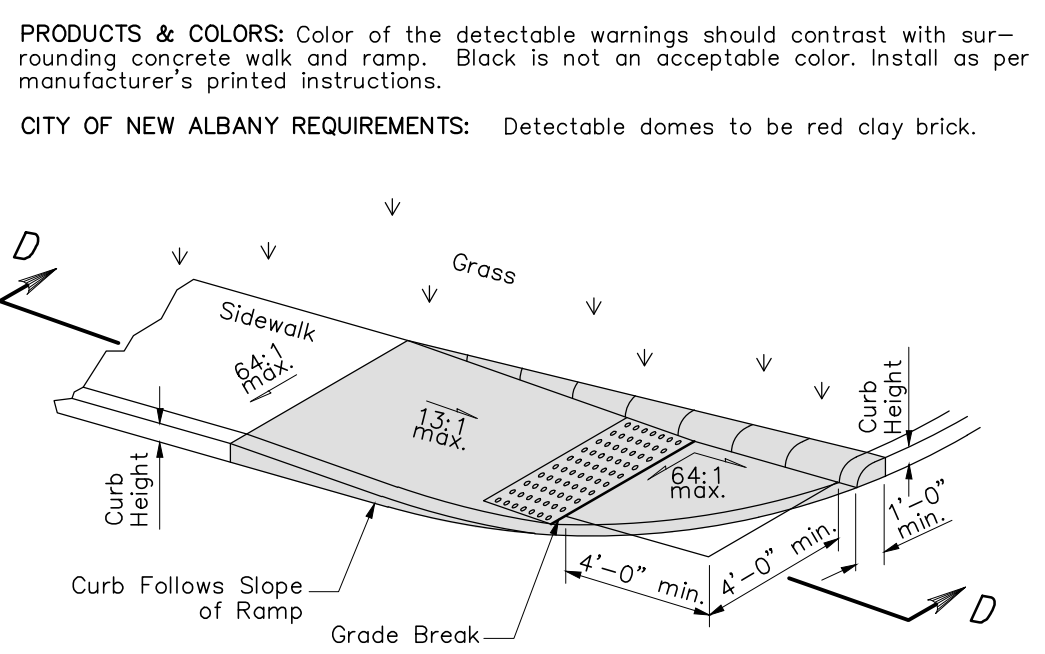
DETECTABLE WARNINGS NOTES

GENERAL: Detectable Warnings are a distinctive surface pattern of truncated domes which are detectable by cane or underfoot to alert people with vision impairments of their approach to streets and hazardous drop-offs.

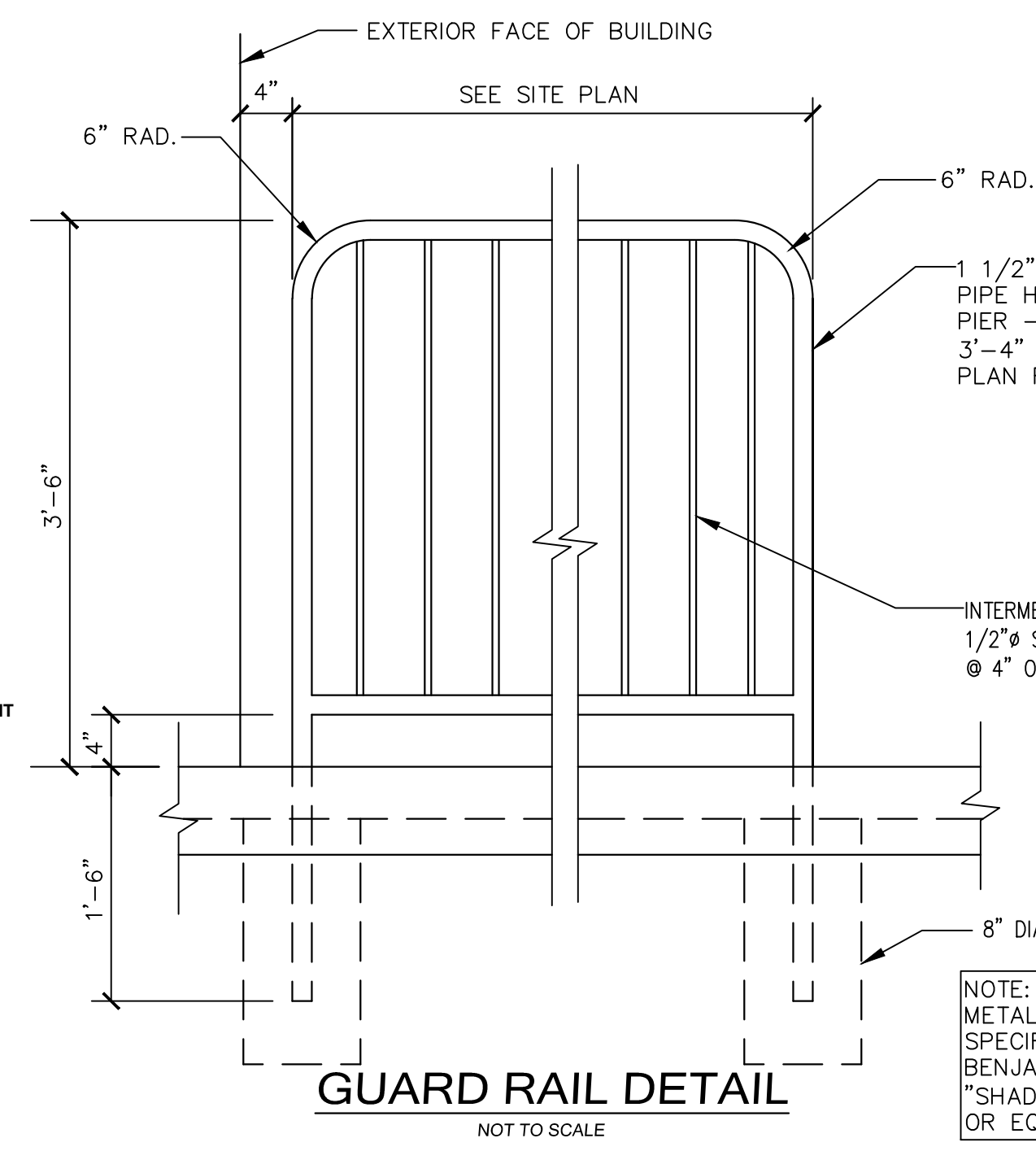
PLACEMENT: Detectable warnings are to be installed at any location where pedestrians might cross paths with vehicular traffic lanes, such as the base of curb ramps or at blended curbs. A 24" strip of domes is to be installed for the full width of the ramp or walk. See plan locations of curb ramps.

The depth of concrete underneath detectable warning products shall be a minimum of 4". See SECTION A.

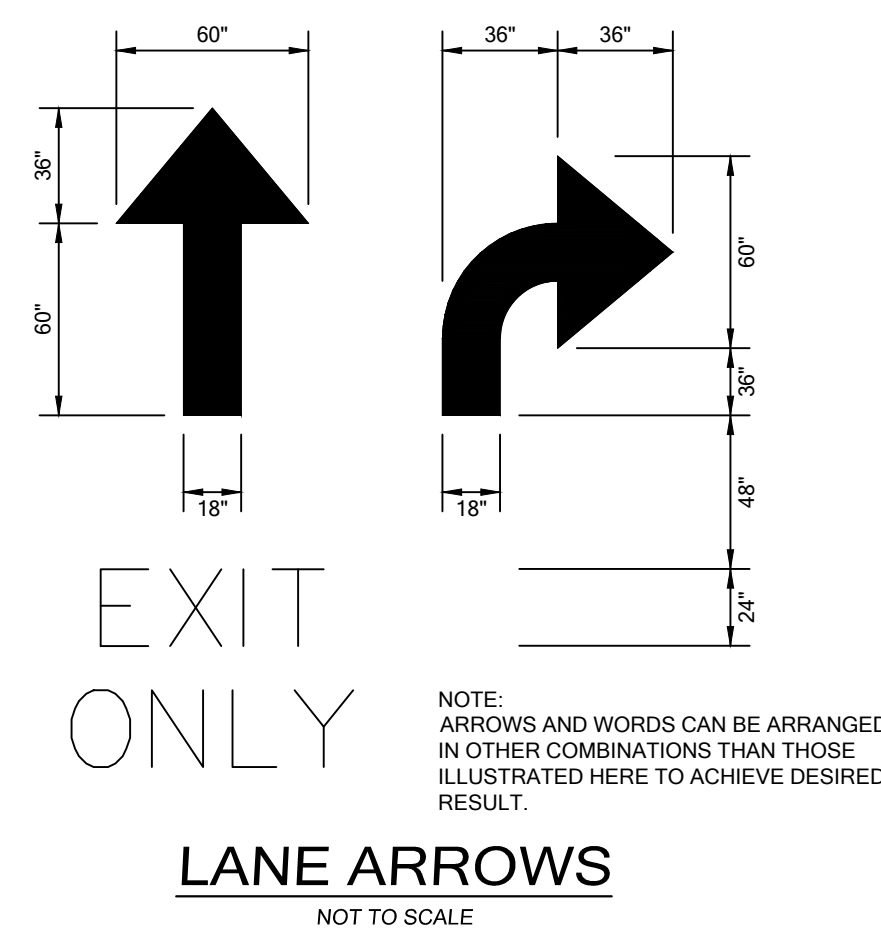
ALIGNMENT: Truncated domes should be aligned with the primary direction of the ramp as shown on the DETECTABLE WARNING ALIGNMENT Detail. Normally the detectable warnings should be flush with the back of the curb, but in skewed conditions at least one corner of the 24" strip should be adjacent to the back of curb. For non-standard layouts, detectable warning materials may have to be mitered and placed segmentally.



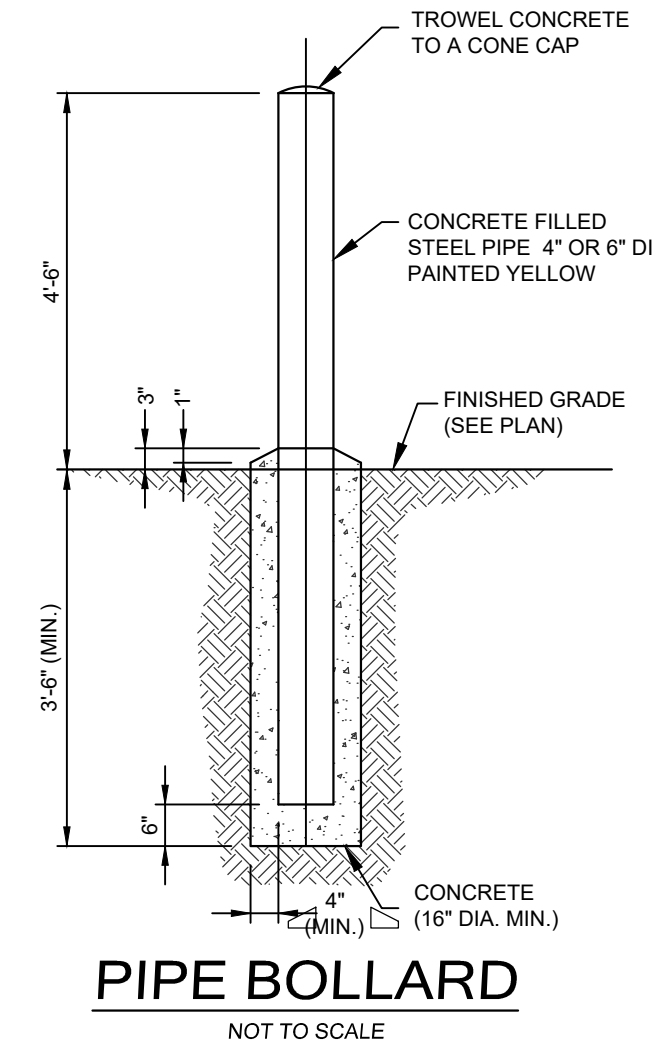
PARALLEL CURB RAMP DETAILS
NOT TO SCALE



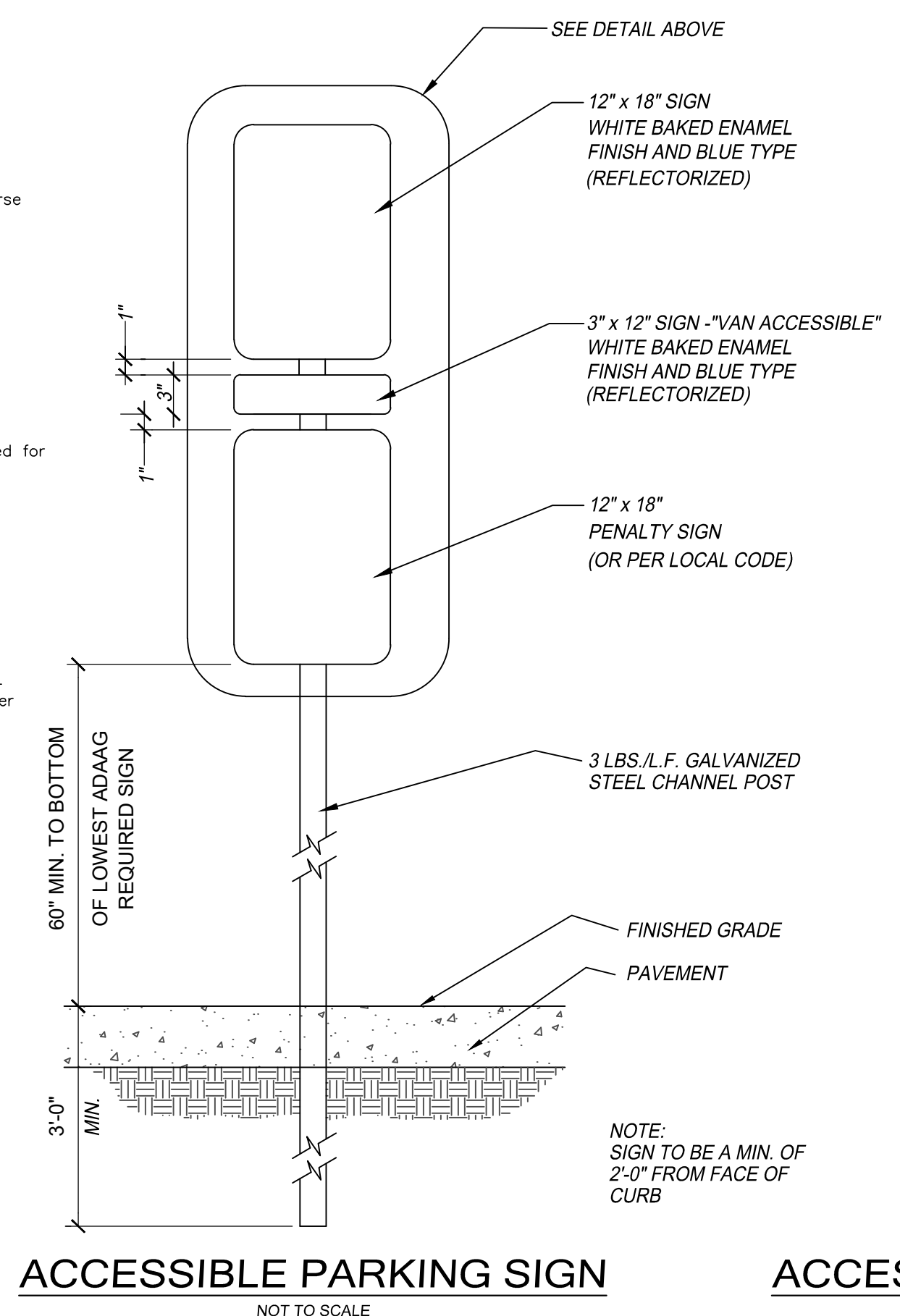
GUARD RAIL DETAIL
NOT TO SCALE



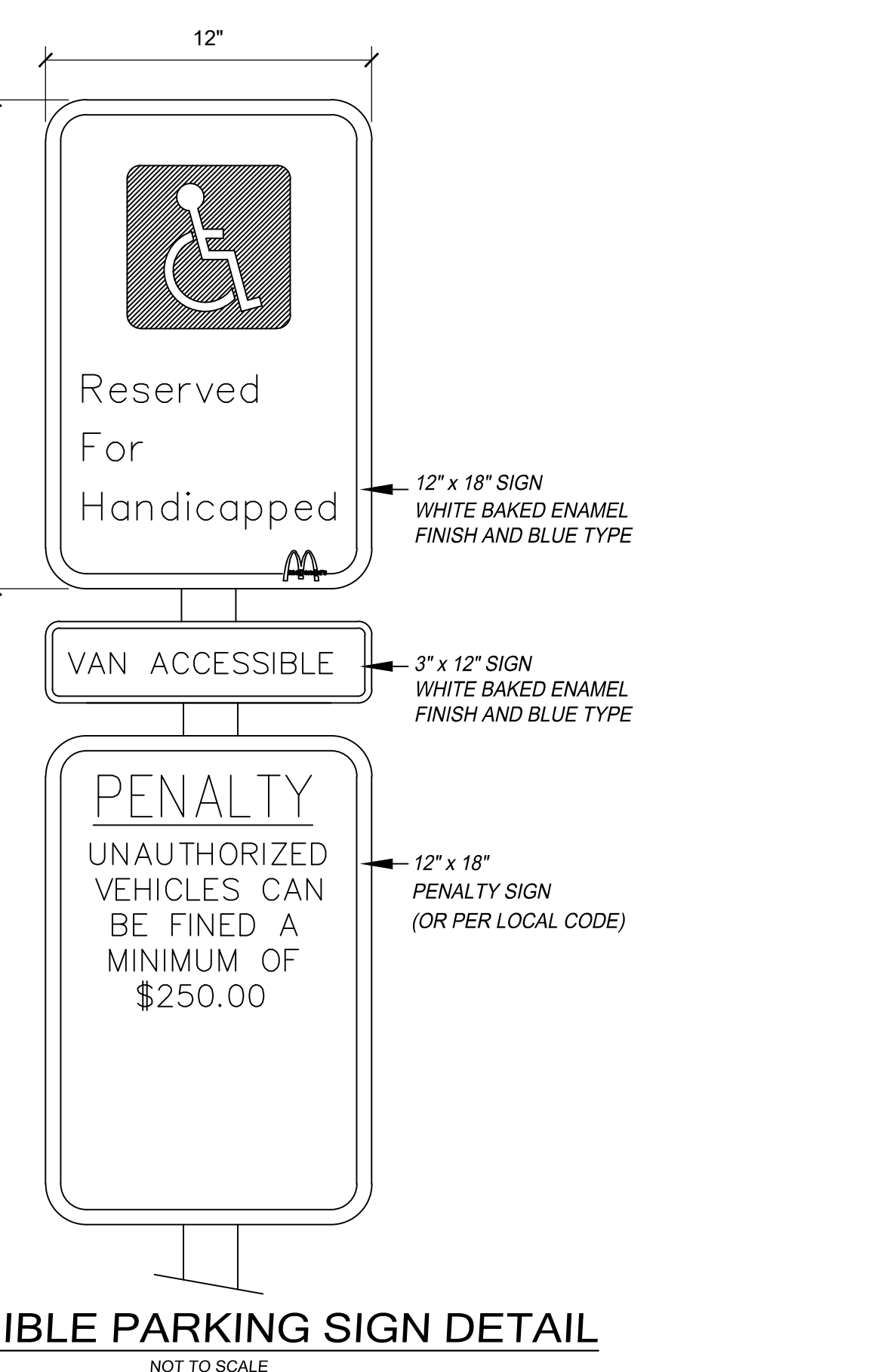
LANE ARROWS
NOT TO SCALE



PIPE BOLLARD
NOT TO SCALE

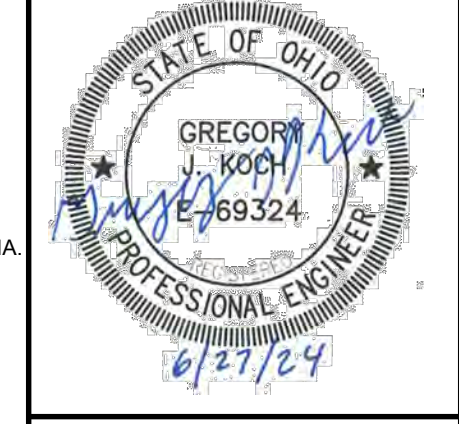


ACCESSIBLE PARKING SIGN
NOT TO SCALE



ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

BY	DATE	DESCRIPTION
G/K	05-29-24	REDUCE DIRECTIONAL SIGNS PER CITY COMMENT
S/W	06-26-24	REVISE PER CITY COMMENTS



bayer becker
 www.bayerbecker.com
 6900 New Albany Road, Suite A
 Mason, OH 45040-5113, 336.6600

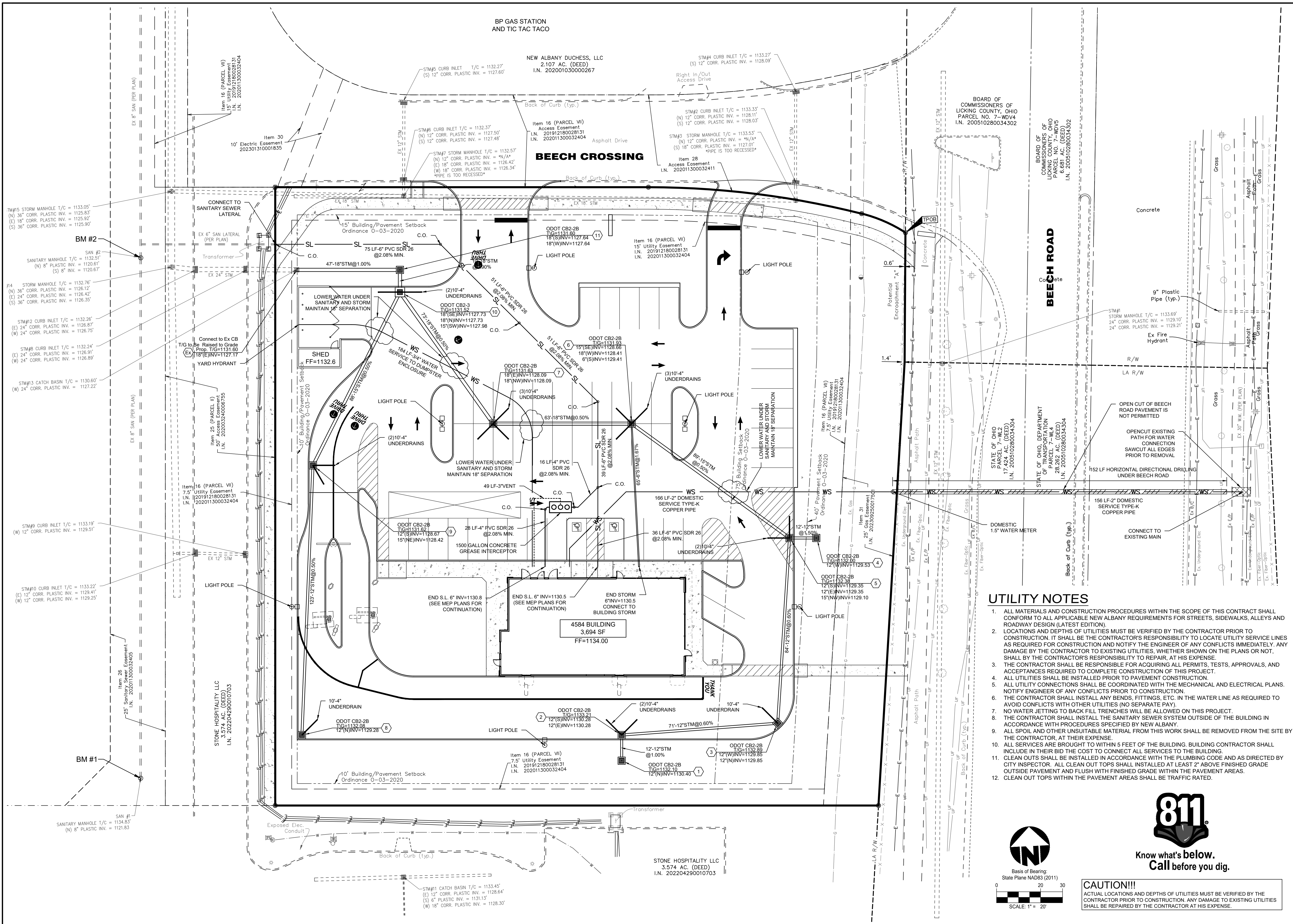
L/C# 34-2105

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 NEW ALBANY, LICKING COUNTY, OHIO

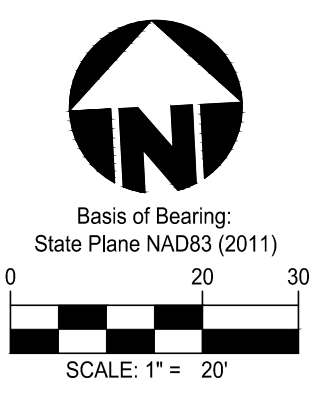
JOB NO. 23-0187
 DATE: 04-17-24
 SCALE: NOT TO SCALE
 SITE DETAILS
 SHEET: C3.2

Plot time: Jun 27, 2024 - 4:57pm - Login Name: gregkch
 Drawing name: J:\2023\23-0187\CV\DWG\23-0187_CD.dwg - Layout: Tab: Layout1



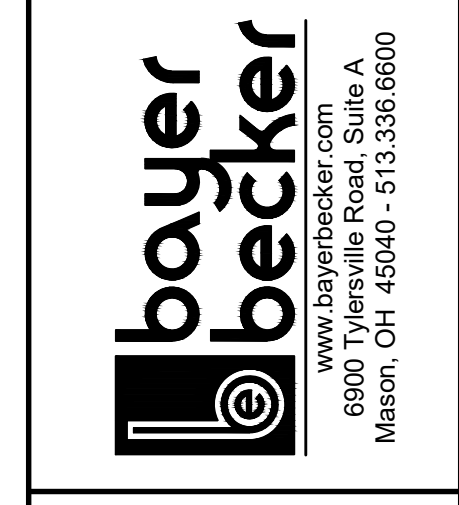
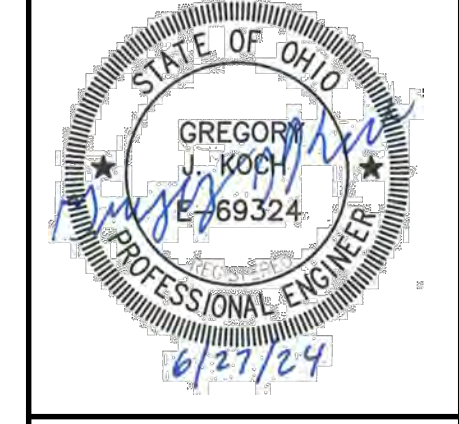
UTILITY NOTES

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE NEW ALBANY REQUIREMENTS FOR STREETS, SIDEWALKS, ALLEYS AND ROADWAY DESIGN (LATEST EDITION).
2. LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS IMMEDIATELY. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
4. ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
5. ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE MECHANICAL AND ELECTRICAL PLANS. NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL INSTALL ANY BENDS, FITTINGS, ETC. IN THE WATER LINE AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES (NO SEPARATE PAY).
7. NO WATER JETTING TO BACK FILL TRENCHES WILL BE ALLOWED ON THIS PROJECT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
9. ALL SPOIL AND OTHER UNSUITABLE MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, AT THEIR EXPENSE.
10. ALL SERVICES ARE BROUGHT TO WITHIN 5 FEET OF THE BUILDING. BUILDING CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST TO CONNECT ALL SERVICES TO THE BUILDING.
11. CLEAN OUTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE AND AS DIRECTED BY CITY INSPECTOR. ALL CLEAN OUT TOPS SHALL BE INSTALLED AT LEAST 2' ABOVE FINISHED GRADE OUTSIDE PAVEMENT AND FLUSH WITH FINISHED GRADE WITHIN THE PAVEMENT AREAS.
12. CLEAN OUT TOPS WITHIN THE PAVEMENT AREAS SHALL BE TRAFFIC RATED.



CAUTION!!!
 ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

REV	DATE	DESCRIPTION
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD
2	05-29-24	REDUCE DIRECTIONAL SIGNS PER CITY COMMENT
3	06-26-24	REVISE PER CITY COMMENTS

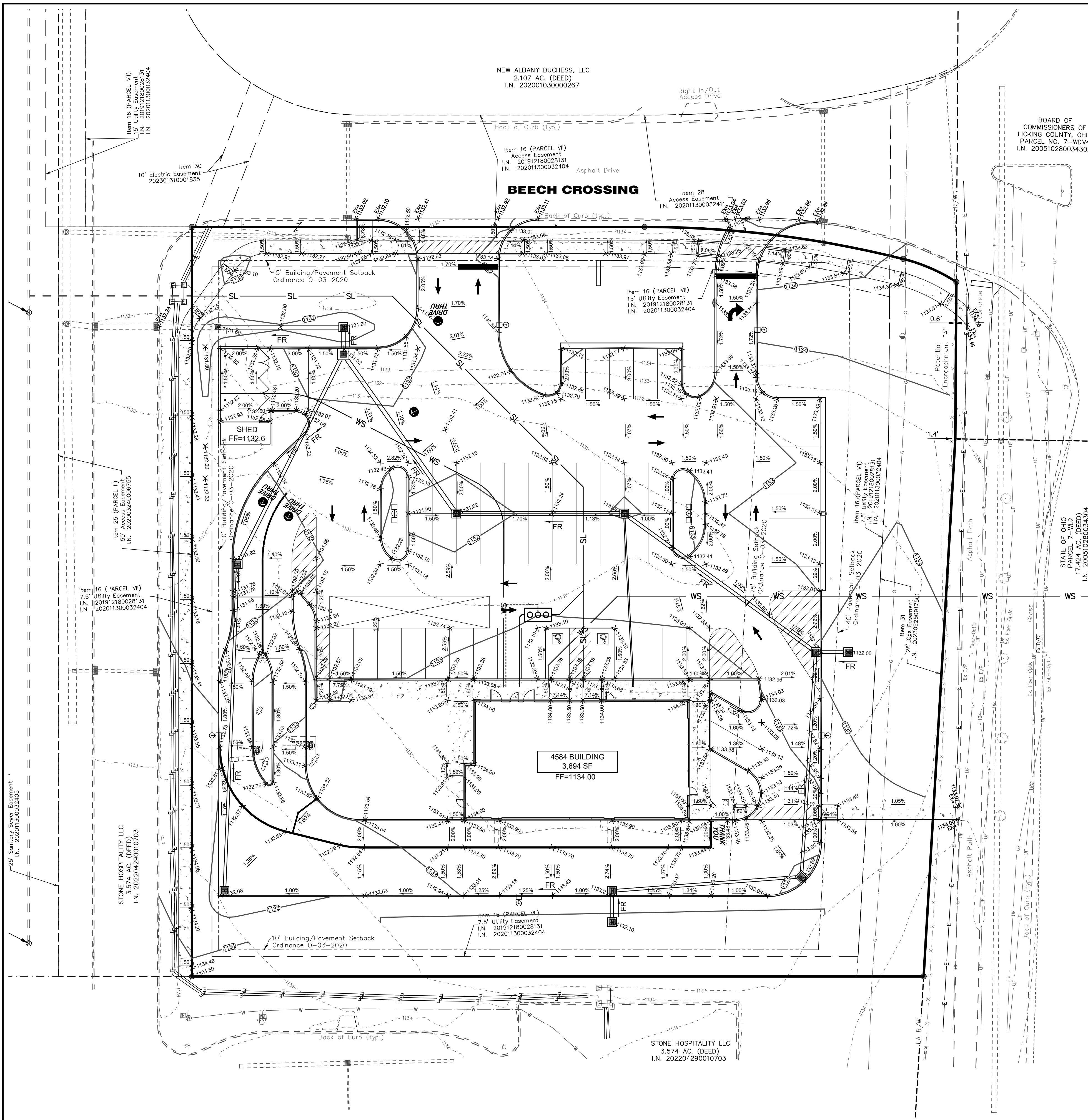


L/C# 34-2105

McDonald's
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
PROPOSED McDONALD'S RESTAURANT AT:
 1955 BEECH ROAD
 NEW ALBANY, LICKING COUNTY, OHIO

JOB NO.	23-0187
DATE:	04-17-24
SCALE:	1"=20'
UTILITY PLAN	
SHEET: C4.0	

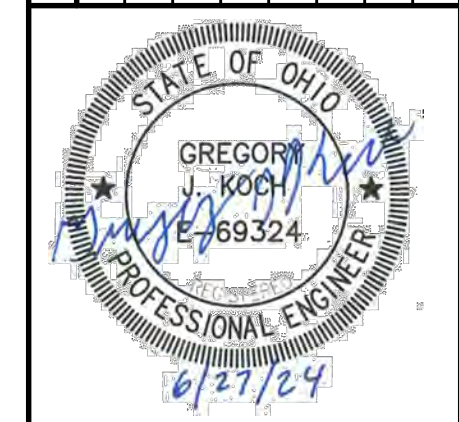
Plot time: Jun 27, 2024 - 4:58pm - Login Name: gregkoch
 Drawing name: J:\2023\23-0187\CAD\DWG\23-0187_CD.dwg - Layout: Tab: Layout1



LEGEND

	-Ex Sanitary M.H.		-Ex Gas Marker		Ex Underwater Water Main
	-Ex Sanitary Clean Out		-Ex Tele. Box		Ex Underground Gas Main
	-Ex Storm Catch Basin		-Ex Fiber Optic Box		Ex Underground Fiber Optic
	-Ex Fire Hydrant		-Ex Elec. Box		Ex Underground Electric
	-Ex Water Valve		-Ex Light Pole		Ex Underground Telephone
	-Ex Water Service		-Ex Utility Pole		Proposed Water Service
	-Ex Fire Connection		-Ex Guy Wire		Proposed Sanitary Lateral
	-Ex Sign		-Ex Transformer		Proposed Storm Sewer
	-Ex Deciduous Tree		-Ex Deciduous Bush		Proposed UE Service
	-Ex Evergreen Tree		-Ex Evergreen Bush		Proposed G Service
	-Ex Right of Way		-Proposed Catch Basin		Proposed UC Service
	-Proposed Fire Hydrant (Private)		-Proposed Water Valve		Proposed Major Contour
	-Proposed Site Light		-Proposed Minor Contour		Finished Floor Elevation
	-Ex Landscape Border		-Existing Top of Pavement		Proposed Top of Pavement
	-Ex Major Contour		-Emergency Flood Route		
	-Ex Minor Contour				
	-Property Line and Right of Way				

REV	DATE	DESCRIPTION
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD
2	05-29-24	REDUCE DIRECTIONAL SIGNS PER CITY COMMENT
3	06-26-24	REVISE PER CITY COMMENTS



bayer becker
 www.bayerbecker.com
 6900 Jefferson Park, Suite A
 Mason, OH 45490-5133, 336.6600

L/C# 34-2105

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**PROPOSED McDONALD'S RESTAURANT AT:
 1955 BEECH ROAD
 NEW ALBANY, LICKING COUNTY, OHIO**

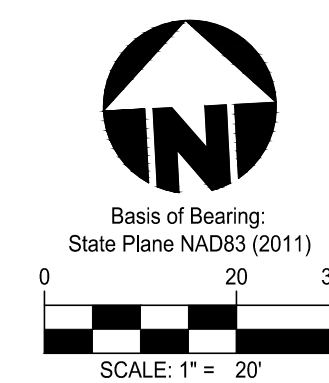
JOB NO. 23-0187
DATE: 04-17-24
SCALE: 1"=20'
GRADING PLAN
SHEET: C5.0

POST CONSTRUCTION WATER QUALITY & DETENTION

1. POST CONSTRUCTION WATER QUALITY AND DETENTION AND DETENTION FOR THIS SITE HAVE BEEN ADDRESSED WITH A REGIONAL BASIN FOR THE OVERALL DEVELOPMENT. SEE STORMWATER MANAGEMENT PLAN PREPARED BY EMH&T, DATED NOVEMBER 25, 2020.

GRADING NOTES

- LOCATION OF EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO BEGINNING WORK.
- THE GRADING PLAN IS TO BE USED FOR GRADING PURPOSES ONLY.
- CONTRACTOR SHALL OBTAIN A COPY OF THE COMPLETE GEOTECHNICAL REPORT AND ALL ADDENDUMS PRIOR TO BIDDING THE PROJECT.
- CONTRACTOR SHALL VERIFY ALL EARTHWORK QUANTITIES PRIOR TO AWARD OF CONTRACT. PAY QUANTITIES ARE FINAL EXCEPT FOR DOCUMENTED UNDERCUT APPROVED BY DEVELOPER PRIOR TO COMPLETION OF THE EXTRA WORK. UPON REQUEST, CONTRACTORS MAY HAVE ACCESS TO THE SITE TO FIELD CHECK TOPOGRAPHY.
- ALL PROPOSED CONTOURS & SPOT ELEVATIONS ARE INTENDED TO BE FINAL GRADES AND REFLECT PAVEMENT, FINISH FLOOR OR TOP SOIL PLACEMENT UNLESS OTHERWISE SPECIFIED. ALL SPOT ELEVATIONS IN PAVEMENT ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL EARTHWORK AND CONSTRUCTION ACTIVITY SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER AS DESCRIBED IN THE GEOTECHNICAL EXPLORATION REPORT AND ALL ADDENDUMS.



811
 Know what's below.
 Call before you dig.

CAUTION!!!
 ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

Plot time: Jun 27, 2024 - 4:59pm - Login Name: gredkcoch
 Drawing name: J:\2023\23-0187\CAD\DWG\23-0187_CD.dwg - Layout: Tab: Layout1

PERMANENT SEEDING 1

Permanent seeding includes the seedbed preparation, seeding, and the establishment of perennial vegetation used to permanently stabilize soil, prevent sediment pollution, reduce runoff by promoting infiltration, and provide storm water quality benefits offered by dense vegetation.

CONDITIONS WHERE PRACTICE APPLIES

Permanent seeding should be applied to:

- Areas or portions of construction-sites which can be brought to final grade. Applications of permanent seeding should not be delayed while construction on limited portions of the site being completed.
- Areas on that will be regraded, but will be dormant for a year or more.

PLANNING CONSIDERATIONS

Healthy dense turf will have a dramatic long lasting effect on stormwater quality as well as promoting infiltration and reducing the amount of runoff. To establish quality vegetation, careful preparation of the seedbed, soil, even subsoil is highly encouraged.

Soil Compaction—Stormwater quality and the amount of runoff both vary significantly with soil compaction. Non-compacted soils improve stormwater by promoting:

- dense vegetation.
- high infiltration & lower runoff rates.
- pollutant filtration, deposition & absorption, and
- beneficial biologic activity in the soil.

Construction activity can cause highly compacted soils but also offers the opportunity to improve soil condition. The best time for improving soil condition is during the establishment of permanent vegetation. It is highly recommended that subsoilers, plows or others implements be specified as part of final seedbed preparation. Use discretion in slip-prone areas.

Minimum Soil Conditions—Vegetation cannot be expected to stabilize soil that is unstable due to its texture, structure, water movement or excessively steep slope. The following minimum soil conditions are needed for the establishment and maintenance of a long-lived vegetation cover. If these conditions cannot be met, see the Standards and Specifications for Resoiling.

- Soils must include enough fine-grained material to hold at least a moderate amount of available moisture.
- The soil must be free from material that is toxic or otherwise harmful to plant growth.

Permanent Seeding			
Seed Mix	Seeding Rate		Notes:
	lb./ac.	lb./1,000 ft. ²	
City of Columbus Type 1 Lawn Mix		14	

SITE PREPARATION

1. A subsoiler, plow or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture. Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.
2. The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.
3. Resoil shall be applied where needed to establish vegetation.

SEEDBED PREPARATION

1. **Lime**—Agricultural group limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 lb./1,000 sq. ft. or 2 tons/ac.
2. **Fertilizer**—Fertilizer shall be applied as recommended by a soil test. In lieu of a soil test, fertilizer shall be applied at a rate of 12 lb./1,000 sq. ft. or 500 lb./ac. of 10-10-10- or 12-12-12 analysis.
3. The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 in. On sloping land the soil shall be worked on the contour.

SEEDING DATES AND SOIL CONDITIONS

Seeding should be done March 1 to May 31 or August 1 to September 30. These seeding dates are ideal but, with the use of additional mulch and irrigation, seedings may be made any time throughout the growing season. Tillage/seedbed preparation should be done when the soil is dry enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.

MULCHING

1. Mulch material shall be applied immediately after seeding. Seedings made during optimum seeding dates and with favorable soil conditions and on very flat areas may not need mulch to achieve adequate stabilization. Dormant seeding shall be mulched.
2. **Materials**
 - Straw—If straw is used it shall be unrotted small-grain straw applied at the rate of 2 tons/ac. or 90 lb./1,000 sq. ft. (two to three bales). The mulch shall be spread uniformly by hand or mechanically so the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 sq. ft. sections and spread two 45-lb. bales of straw in each section.
 - Hydroseeders—If wood cellulose fiber is used, it shall be used at 2,000 lb./ac. or 46 lb./1,000 sq. ft.
 - Other—Other acceptable mulches include mulch matings applied according to manufacturer's recommendations or wood chips applied at 6 tons/ac.
3. **Straw Mulch Anchoring Methods**

Straw mulch shall be anchored immediately to minimize loss by wind or water.

 - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped by, generally, be left longer than 6 in.

PERMANENT SEEDING 1

MAINTENANCE

1. Permanent seeding shall not be considered established for at least 1 full yr. from the time of planting. Seeded areas shall be inspected for failure and vegetation conditions, it may be necessary to irrigate, fertilize, overseed, or reestablish plantings in order to provide permanent vegetation for adequate erosion control.
2. Maintenance fertilization rates shall be established by soil test recommendations or by using the rates shown in the following table.

DORMANT SEEDINGS.

1. Seeding shall not be planted from October 1 through November 20. During this period the seeds are likely to germinate but probably will not be able to survive the winter.
2. The following methods may be used for "Dormant Seeding":
 - From October 1 through November 20, prepare the seedbed, add the required amounts of lime and fertilizer, then mulch and anchor. After November 20, and before March 15, broadcast the selected seed mixture. Increase the seeding rates by 50% for this type of seeding.
 - From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilize, apply the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding.
 - Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.
 - Where feasible, except when a cultipacker type seeder is used, the seedbed should be firmed following seeding operations with a cultipacker, roller, or light drag. On sloping land, seeding operations should be on the contour where feasible.
 - Mulch Nettings—Nettings shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Asphalt Emulsion—Asphalt shall be applied as recommended by the manufacturer or at the rate of 160 gal./ac.
 - Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DAC-70, Petrosel, Terra Tack or equal may be used at rates recommended by the manufacturer.
 - Wood Cellulose Fiber—Wood cellulose fiber binder shall be applied at a net dry weight of 750 lb./ac. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal. of wood cellulose fiber.

IRRIGATION

1. Permanent seeding shall include irrigation to establish vegetation during dry or hot weather or on adverse site conditions as needed for adequate moisture for seed germination and plant growth.
2. Excessive irrigation rates shall be avoided and irrigation monitored to prevent erosion and damage from runoff.

TEMPORARY SEEDING 1

Temporary seeding provides erosion control on areas in between construction operations. Grasses which are quick growing are seeded and usually mulched to provide prompt, temporary soil stabilization. It effectively minimizes the area of a construction-site prone to erosion and should be used everywhere the sequence of construction operations allows vegetation to be established.

CONDITIONS WHERE PRACTICE APPLIES

Temporary seeding should be applied on exposed soil where additional work (grading, etc.) is not scheduled for more than 21 days. Permanent seeding should be applied if the areas will be idle for more than a year.

PLANNING CONSIDERATIONS

This practice has the potential to drastically reduce the amount of sediment eroded from a construction-site. Control efficiencies greater than 90% will be achieved with proper applications of temporary seeding. Because practices used to trap sediment are usually much less effective, temporary seeding is to be used even on areas where runoff is treated by sediment trapping practices. Because temporary seeding is highly effective and practical on construction-sites, its liberal use is highly recommended.

Temporary Seeding Species Selection			
Seeding Dates	Species	Lb./1,000 ft. ²	Per Acre
March 1 to August 15	Oats	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
August 16 to November 1	Rye	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Wheat	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
November 1 to Spring Seeding	Perennial Ryegrass	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.

Note: Other approved seed species may be substituted.

1. Structural erosion- and sediment-control practices such as diversions and sediment traps shall be installed and stabilized with temporary seeding prior to grading the rest of the construction-site.
2. Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 14 days or more. These idle areas should be seeded as soon as possible after grading or shall be seeded within 7 days. Several applications of temporary seeding are necessary on typical construction projects.
3. The seedbed should be pulverized and loose to ensure the success of establishing vegetation. However, temporary seeding shall not be postponed if ideal seedbed preparation is not possible.
4. Soil Amendments—Applications of temporary vegetation shall establish adequate stands of vegetation which may require the use of soil amendments. Soil tests should be taken on the site to predict the need for lime and fertilizer.
5. Seeding Method—Seed shall be applied uniformly with a cyclone seeder, drill cultipacker seeder, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without interruption.

MULCHING TEMPORARY SEEDING

1. Applications of temporary seeding shall include mulch which shall be applied during or immediately after seeding. Seedings made during optimum seeding dates and with favorable soil conditions and on very flat areas may not need mulch to achieve adequate stabilization.
2. **Materials:**
 - Straw—If straw is used, it shall be unrotted small-grain straw applied at the rate of 2 tons/ac. or 90 lb./1,000 sq. ft. (two to three bales). The mulch shall be spread uniformly by hand or mechanically so the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000-sq.-ft. sections and spread two 45-lb. bales of straw in each section.
 - Hydroseeders—If wood cellulose fiber is used, it shall be used at 2,000 lb./ac. or 46 lb./1,000 sq. ft.
 - Other—Other acceptance mulches include mulch matings applied according to manufacturer's recommendations or wood chips applied at 6 tons/ac.
3. Straw mulch shall be anchored immediately to minimize loss by wind or water. Anchoring Methods:
 - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 in.
 - Mulch Nettings—Nettings shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentration runoff and on critical slopes.
 - Asphalt Emulsion—Asphalt shall be applied as recommended by the manufacturer or at the rate of 160 gal./ac.
 - Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petrosel, Terra Tack or equal may be used at rates recommended by the manufacturer.
 - Wood-Cellulose Fiber—Wood-cellulose fiber binder shall be applied at a net dry weight of 750 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal.

BY	DESCRIPTION	DATE	REV
S/W	REVISE PER CITY COMMENTS	06-26-24	1



bayer becker
 www.bayerbecker.com
 6900 Jefferson Pk. Suite A
 Mason, OH 45040 - 513.336.6600

L/C# 34-2105

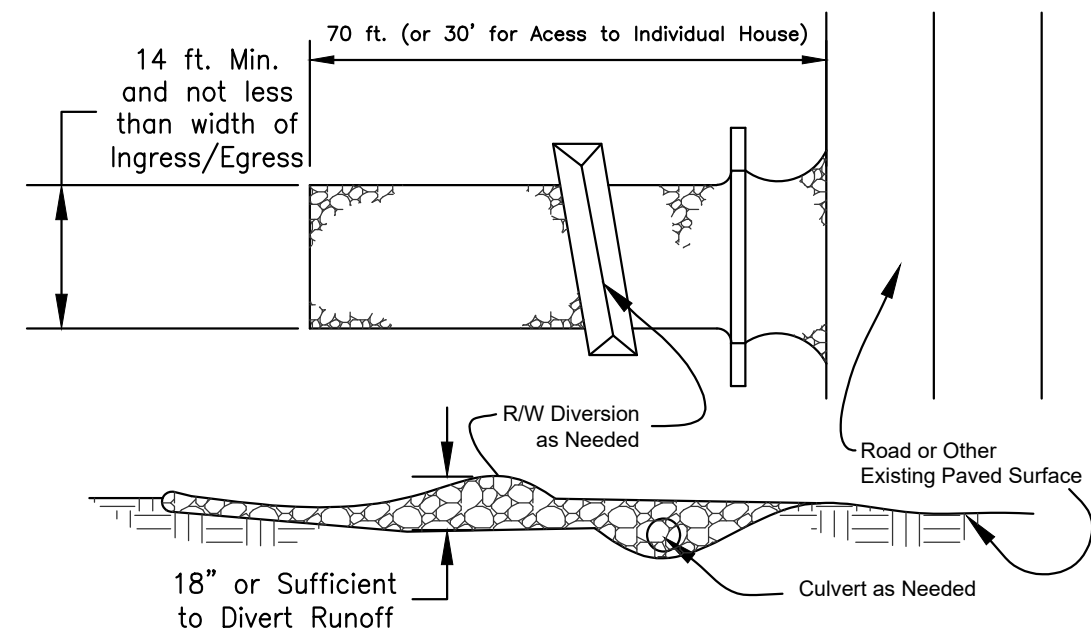
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PROPOSED McDONALD'S RESTAURANT AT:
1955 BEECH ROAD
NEW ALBANY, LICKING COUNTY, OHIO

JOB NO. 23-0187
DATE: 04-17-24
SCALE: N.T.S.
EROSION CONTROL NOTES
SHEET: C6.1

CONSTRUCTION ENTRANCE

21



- 1. Stone Size--Two-inch stone shall be used, or recycled concrete equivalent.
2. Length--The construction entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft.
3. Thickness--The stone layer shall be at least 6 in. thick for light duty entrances or at least 10 in. for heavy duty.
4. Width--The entrance shall be at least 14 ft. wide, but not less than the full width at points where ingress or egress occurs.
5. Geotextile--a geotextile shall be laid over the entire area prior to placing stone. It shall be composed of strong rot-proof polymeric fibers and meet the following specifications:
Minimum Tensile Strength 200 lbs.
Minimum Puncture Strength 80 psi.
Minimum Tear Strength 50 lbs.
Minimum Burst Strength 320 psi.
Minimum Elongation 20%
Equivalent Opening Size EOS < 0.8 mm.
Permittivity 1x10-3 cm/sec.
6. Timing--The construction entrance shall be installed as soon as is practicable before major grading activities.
7. Culvert--A pipe or culvert shall be constructed under the entrance if needed to prevent surface water flowing across the entrance or to prevent runoff from being directed out onto paved surfaces.
8. Water Bar--A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces.
9. Maintenance--Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surfaces where runoff is not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
10. Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.
11. Removal--The entrance shall remain in place until the disturbed area is stabilized or placed with a permanent roadway or entrance.

5 SILT FENCE

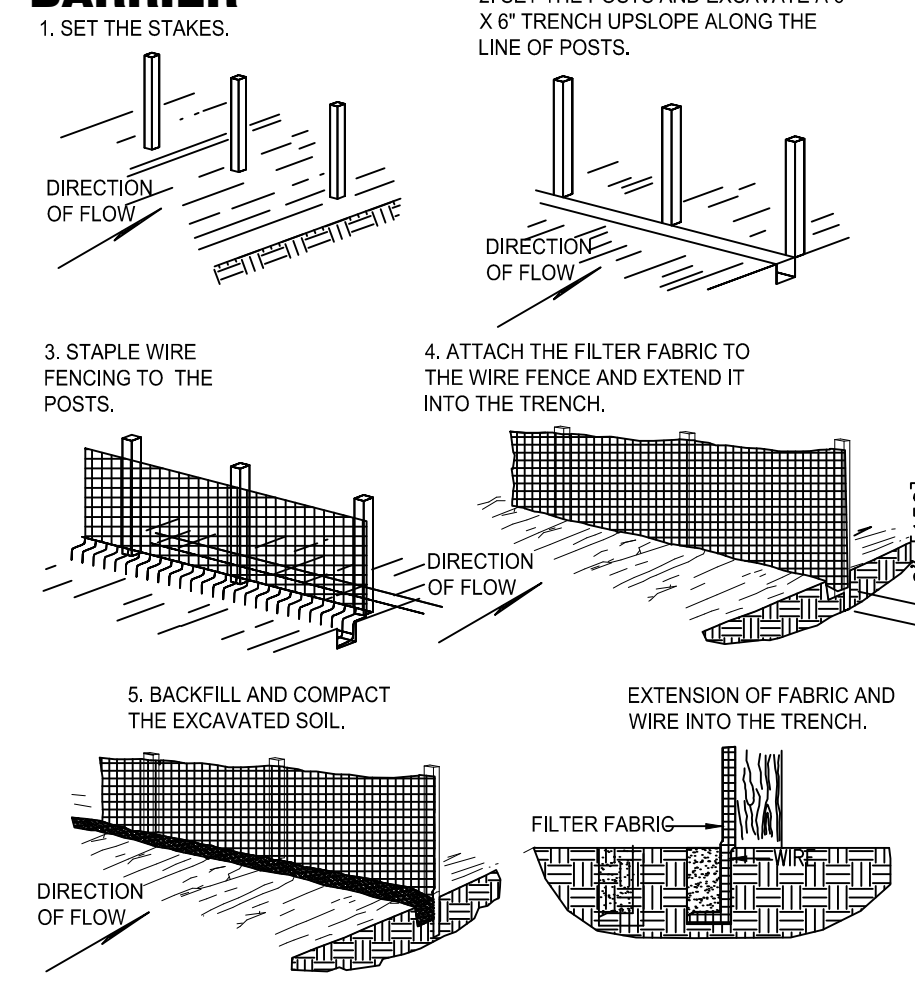
- 1. PUT UP BEFORE ANY OTHER WORK IS DONE.
2. INSTALL ON DOWNSLOPE SIDE(S) OF SITE WITH ENDS EXTENDED UP SIDESLOPES A SHORT DISTANCE.
3. PLACE PARALLEL TO THE CONTOUR OF THE LAND AND AT THE FLATTEST AREA AVAILABLE TO ALLOW WATER TO POND BEHIND FENCE.
4. STAKE TO BE A MINIMUM OF 32 INCHES LONG
5. MINIMUM HEIGHT SILT FENCE 16 INCHES ABOVE ORIGINAL GROUND SURFACE
6. LEAVE NO GAPS BETWEEN SECTIONS OF SILT FENCE INSPECT AND REPAIR ONCE A WEEK AND AFTER EVERY 1/2 INCH RAIN. REMOVE SEDIMENT IF DEPOSITS REACH HALF THE FENCE HEIGHT.
7. MAXIMUM DISTANCE FROM TOE OF THE SLOPE, LEAVING AT LEAST 5' DISTANCE.
8. STAKE ON DOWNHILL SIDE OF GEOTEXTILE WITH 8\"/>

MATERIALS: FILTER FABRIC SHALL MEET THE REQUIREMENTS OF CMS 712.09, TYPE C. SUPPORT STAKES SHALL BE A MINIMUM OF 1.5\"/>

CONSTRUCTION: THE BOTTOM OF THE FABRIC SHALL BE BURIED 6\"/>

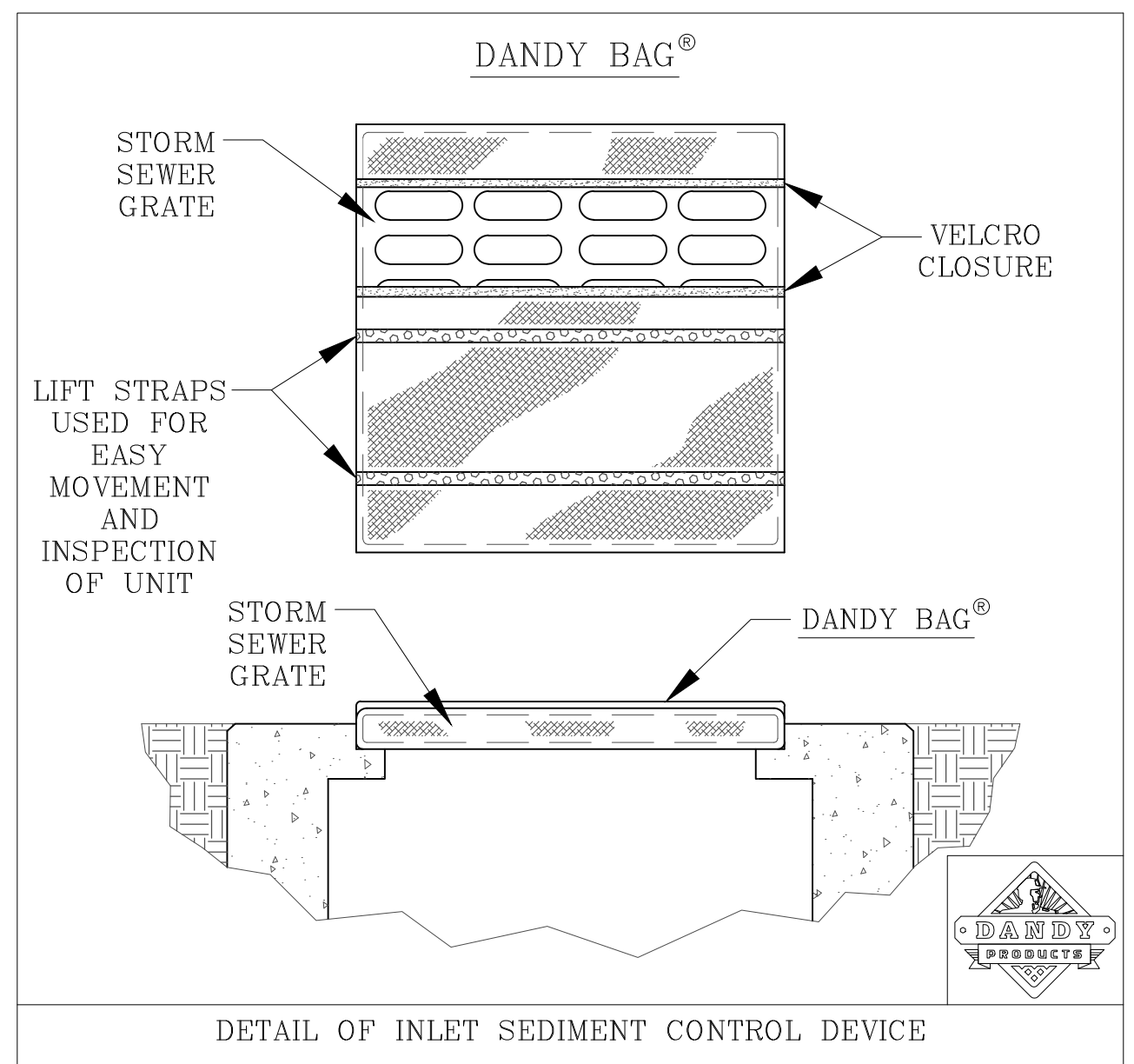
PAYMENT: THE COST OF ALL MATERIALS, CONSTRUCTION AND REMOVAL SHALL BE PAID FOR UNDER ITEM 207 - TEMPORARY PERIMETER FILTER FABRIC FENCE OR TEMPORARY DITCH CHECK FILTER FABRIC FENCE, LINEAR FOOT [METER].

CONSTRUCTION OF A FILTER BARRIER



DANDY BAG DETAIL

8



PROJECT: CITY/STATE: DATE: DR. BY: DR. NO:

Table with specifications for Dandy Bag. Includes mechanical properties like Grab Tensile Strength (1.62 kN), Grab Tensile Elongation (24%), Puncture Strength (0.40 kN), Mullen Burst Strength (3097 kPa), etc.

Plot time: Apr 17, 2024 - 3:50pm - Login Name: gregkocb Drawing name: J:\2023\23-0187\CV DWG\23-0187_CD.dwg - Layout Tab: Layout1

Erosion Prevention and Sediment Control Site Inspection Form

Introduction: By using some simple Best Management Practices (BMP's) developers and contractors can do their share to protect water resources from the harmful effects of sediment. The topography of the site and the extent of the construction activities will determine which of these practices are applicable to any given site.

Temporary Stabilization is the most effective BMP. All disturbed areas that will lie dormant for 14 days or more must be stabilized within 7 days of the date the area becomes inactive. The goal of temporary stabilization is to provide cover quickly.

Construction Entrances are installed to minimize off-site tracking of sediments. A rough stone access drive underlain with woven geotextile shall be installed at every point where vehicles enter or exit the site.

Sediment Basins/Traps are the sediment control of choice for areas, which exceed the design capacity of silt fence (see page 119 of the Rainwater manual) or to control concentrated flows or runoff. There are two types: sediment basins and sediment traps.

Silt Fence or Mulch Berms are typically used at the perimeter of a disturbed area. They are only for small drainage areas on relatively flat slopes or around small soil storage piles; not suitable where runoff is concentrated in a ditch, pipes or through streams.

Inlet Protection must be installed on all yard drains and curb drains when these inlets do not drain to a sediment trap or basin. Even if there is a sediment trap or basin, inlet protection is still recommended.

Permanent Stabilization must occur on areas at final grade within 7 days of reaching final grade. This is usually accomplished by using seed and mulch, but special measures are sometimes required.

Inspections shall be performed at least once a week and within 24 hours after a storm event greater than 1/2 inch of rainfall within a 24-hour duration using the enclosed Inspection Form.

Erosion Prevention and Sediment Control Site Inspection Form

Inspector: Date: General: Amount of rainfall since last inspection: Overall site conditions:

Construction Entrances: Is the entrance installed correctly according to the approved plan? YES NO N/A

Sediment Basins/Traps: Are all Basins installed correctly according to the approved plan? YES NO N/A

Silt Fence/Mulch Berms: Are all Silt Fence/Mulch Berm (SF/MB) installed correctly according to the approved plan? YES NO N/A

Inlet Protection: Are all Inlet Protections installed correctly according to the approved plan? YES NO N/A

Temporary Stabilization: Are all disturbed areas that will lie dormant for 14 days or more stabilized with seed/straw or mulch? YES NO N/A

Are all areas stabilized still in good condition and not eroding? YES NO N/A

Permanent Stabilization: Have areas that achieved final grade within the last 7 days been stabilized? YES NO N/A

Do all storm water outflow areas have riprap or concrete to prevent scouring? YES NO N/A

Stream Crossing: Are the Stream Crossings installed correctly according to the approved plan? YES NO N/A

Erosion Prevention and Sediment Control Site Inspection Form

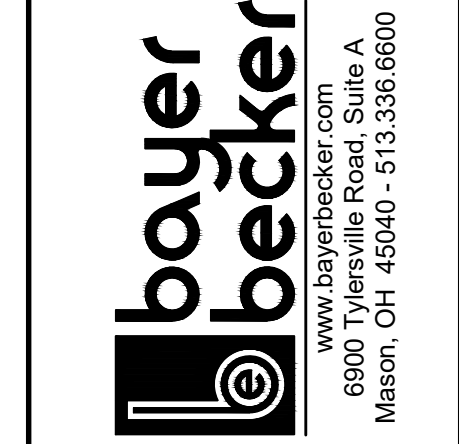
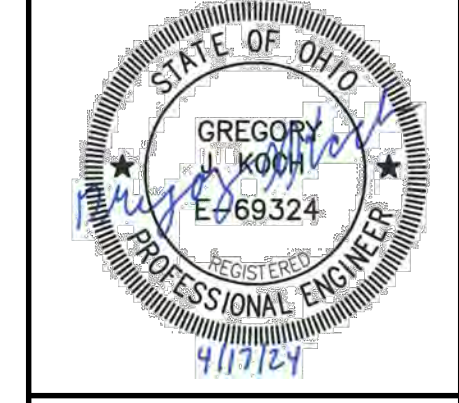
If you answered "no" to any of the above questions, note any corrective action needed above, and note on the Inspection Log when the action was completed.

Inspection Log

The site shall be inspected before and after storm events with 0.5 inches or greater predicted or actual precipitation, and documented on the Construction Site Inspection Form.

Table with columns for Date, Inspector, and Actions Performed/Date. Multiple empty rows for logging inspections.

Table with columns for BY, DATE, REV, and DESCRIPTION.



L/C# 34-2105

McDonald's logo and text: PROPOSED McDONALD'S RESTAURANT AT: 1955 BEECH ROAD NEW ALBANY, LICKING COUNTY, OHIO

JOB NO. 23-0187 DATE: 04-17-24 SCALE: N.T.S.

EROSION CONTROL NOTES

SHEET: C6.2

Detail Provided By: Site Supply Inc. 33 Glendale-Milford Road Loveland, OH 45140 Phone: (513) 248-1498 Fax: (513) 248-4584 cbrowning@sitefabric.com http://www.sitefabric.com

GENERAL NOTES

- SEE SHEET L1.0 FOR PLANTING PLAN & PLANT SCHEDULE
- SEE SHEET L2.0 FOR PLANTING NOTES & DETAILS

ZONING NOTES

NEW ALBANY ZONING RESOLUTION

ZONING INFORMATION

SITE: **C-3 (COMMERCIAL) & I-PUD (INFILL PLANNED UNIT DEVELOPMENT)**

NORTH: **SMITHS MILL ROAD**

SOUTH: **C-3 & I-PUD**

EAST: **BEECH ROAD**

WEST: **C-3 & I-PUD / INTERNAL ROAD**

TITLE THREE: ZONING DISTRICT & REGULATIONS

1149 C-3 HIGHWAY BUSINESS DISTRICT

1149.04 DEVELOPMENT STANDARDS

g) PARKING & LOADING
PARKING AND LOADING REQUIREMENTS SHALL BE SPECIFIED IN CHAPTER 1167. IN ADDITION, PARKING SPACES SHALL BE DESIGNED TO ALLOW A MINIMUM OF FIVE (5) FEET BETWEEN ANY STRUCTURE AND PARKED VEHICLE

h) LANDSCAPING
THE LANDSCAPING OF ALL PARKING AND SERVICE AREAS SHALL MEET THE REQUIREMENTS OF CHAPTER 1171. IF SIDE OR REAR YARDS ARE LOCATED ADJACENT TO ANY DISTRICT WHERE SINGLE-FAMILY OR TWO-FAMILY RESIDENCES ARE A PERMITTED USE, LANDSCAPING AND SCREENING SHALL ALSO BE REQUIRED IN THOSE YARDS TO MEET THE REQUIREMENTS OF CHAPTER 1171

i) TRASH AND GARBAGE CONTROL
ALL TRASH AND GARBAGE SHALL BE STORED IN CONTAINER SYSTEMS WHICH ARE LOCATED AND ENCLOSED SO AS TO EFFECTIVELY SCREEN THEM FROM VIEW

CHAPTER 1169 - DISPLAY SIGNS & OUTDOOR ADVERTISING

1169.17(b)(1) PERMANENT GROUND SIGNS

ALL DIRECTIONAL SIGNS SHALL BE LANDSCAPED ON ALL SIDES WITH A DESIGNED BED AND ALL-SEASON PLANT MATERIAL

CHAPTER 1171 - LANDSCAPING

1171.04 - STREET TREE REQUIREMENTS

THE PLANTING OF TREES ALONG ROADWAYS FOR ALL NEW DEVELOPMENT SHALL BE ACCORDING TO THE FOLLOWING STREET TREE REQUIREMENTS:

- DECIDUOUS CANOPY TREES (STREET TREES) SHALL BE PLANTED NO LESS THAN TWENTY-FOUR (24) FEET AND NO MORE THAN THIRTY-SIX (36) FEET ON CENTER
- STREET TREES MUST BE PLANTED IN THE TREE LAWN, BETWEEN THE SIDEWALK OR LEISURE TRAIL AND THE ROAD PAVEMENT. TREE LAWNS SHALL BE A MINIMUM WIDTH OF SIX (6) FEET
- STREET TREES SHALL BE A MINIMUM OF THREE (3) INCHES CALIPER DBH
- STREET TREES SHALL BE LOCATED SO THAT A TWENTY-FIVE (25) FOOT SIGHT TRIANGLE IS MAINTAINED AT STREET INTERSECTIONS
- STREET TREES SHALL BE LOCATED NOT LESS THAN FIFTEEN (15) FEET FROM FIRE HYDRANTS AND/OR UTILITY POLE
- STREET TREES SHOULD BE OF THE SAME GENUS AND SPECIES PLANTED CONTINUOUSLY ALONG THE LENGTH OF EACH STREET

1171.05 - LANDSCAPING SCREENING

- FOR COMMERCIAL USES, ALL TRASH AND GARBAGE CONTAINER SYSTEMS SHALL BE SCREENED OR ENCLOSED BY WALLS, FENCES, OR NATURAL VEGETATION TO SCREEN THEM FROM VIEW. THE HEIGHT OF SUCH SCREENING SHALL BE AT LEAST SIX (6) FEET IN HEIGHT
- MAINTENANCE OF SHRUBBERY AND HEDGES
NO SHRUBBERY OR HEDGE SHALL BE PLANTED, IN ANY DISTRICT, IN SUCH A MANNER THAT ANY PORTION OF GROWTH EXTENDS BEYOND THE PROPERTY LINE. THE OWNER OR OCCUPANT OF PROPERTY ON WHICH THERE IS SHRUBBERY AND HEDGES TRIMMED TO A MAXIMUM OF THIRTY (30) INCHES IN HEIGHT, AND KEEP TREES TRIMMED SO AS TO AVOID CREATING TRAFFIC HAZARDS
- MINIMUM TREES
THE FOLLOWING MINIMUMS ARE REQUIRED, BASED UPON TOTAL GROUND COVERAGE OF STRUCTURES AND VEHICULAR USE AREAS:
 - UP TO TWENTY THOUSAND (20,000) SQUARE FEET: A MINIMUM OF ONE TREE PER FIVE THOUSAND (5,000) SQUARE FEET OF GROUND COVERAGE AND A TOTAL TREE PLANTING EQUAL TO ONE INCH IN TREE TRUNK SIZE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF GROUND COVERAGE

1171.06 - PARKING LOT LANDSCAPING

- PARKING LOT ISLANDS**
 - LARGE, UNBROKEN EXPANSES OF PARKING LOT SHALL BE AVOIDED. LARGE LOTS SHOULD BE SEPARATED INTO A SERIES OF SMALLER INTERCONNECTED LOTS SEPARATED BY PENINSULAS OR ISLANDS. NO INDIVIDUAL LANDSCAPE AREA SHALL BE SMALLER THAN THREE HUNDRED FIFTY (350) SQUARE FEET
 - FOR EACH ONE HUNDRED (100) SQUARE FEET, OR FRACTION THEREOF, OF PARKING AREA, A MINIMUM TOTAL OF FIVE (5) SQUARE FEET OF LANDSCAPED AREAS SHALL BE PROVIDED
 - PARKING AREAS SHOULD CONTAIN A MINIMUM OF ONE DECIDUOUS CANOPY TREE FOR EVERY TEN (10) PARKING SPACES

1171.07 - LANDSCAPE MATERIALS

- DECIDUOUS TREES**
TREES WHICH SHED THEIR LEAVES IN THE FALL SHALL BE SPECIES HAVING AN AVERAGE SPREAD OF GREATER THAN FIFTEEN (15) AND HAVING TRUNKS WHICH CAN BE MAINTAINED WITH OVER FIVE (5) FEET OF CLEAR WOOD IN AREAS WHERE VISIBILITY IS REQUIRED, EXCEPT AT VEHICULAR USE INTERSECTIONS WHERE THE CLEAR WOOD REQUIREMENTS SHALL BE EIGHT (8) FEET. A MINIMUM OF TEN (10) FEET OVERALL HEIGHT, OR A MINIMUM CALIPER (TRUNK DIAMETER AS MEASURED SIX (6) INCHES ABOVE GROUND OF AT LEAST TWO (2) INCHES IMMEDIATELY AFTER PLANTINGS
- EVERGREEN TREES**
EVERGREEN TREES SHALL BE A MINIMUM OF FIVE (5) FEET HIGH WITH A MINIMUM CALIPER OF ONE AND ONE HALF (1 1/2") INCHES IMMEDIATELY AFTER PLANTING
- SHRUBS AND HEDGES**
SHRUBS SHALL BE PLANTED AT LEAST TWO (2) FEET IN HEIGHT WHEN PLANTED AND SHALL CONFORM TO OPACITY AND OTHER REQUIREMENTS WITHIN FOUR (4) YEARS PLANTING

BEECH CROSSING ZONING DISTRICT I-PUD ZONING TEXT (SIR REQUIREMENTS)

g) BUFFERING AND LANDSCAPING

3) TREATMENT ALONG BEECH ROAD AND SMITH'S MILL ROAD


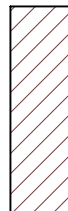






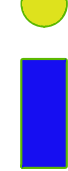
WITHIN THE MINIMUM REQUIRED PAVEMENT SETBACK ALONG BEECH ROAD AND SMITH'S MILL ROAD, LANDSCAPING SHALL BE COORDINATED AND CONSISTENT THROUGHOUT. THE FOLLOWING SHALL BE PROVIDED:

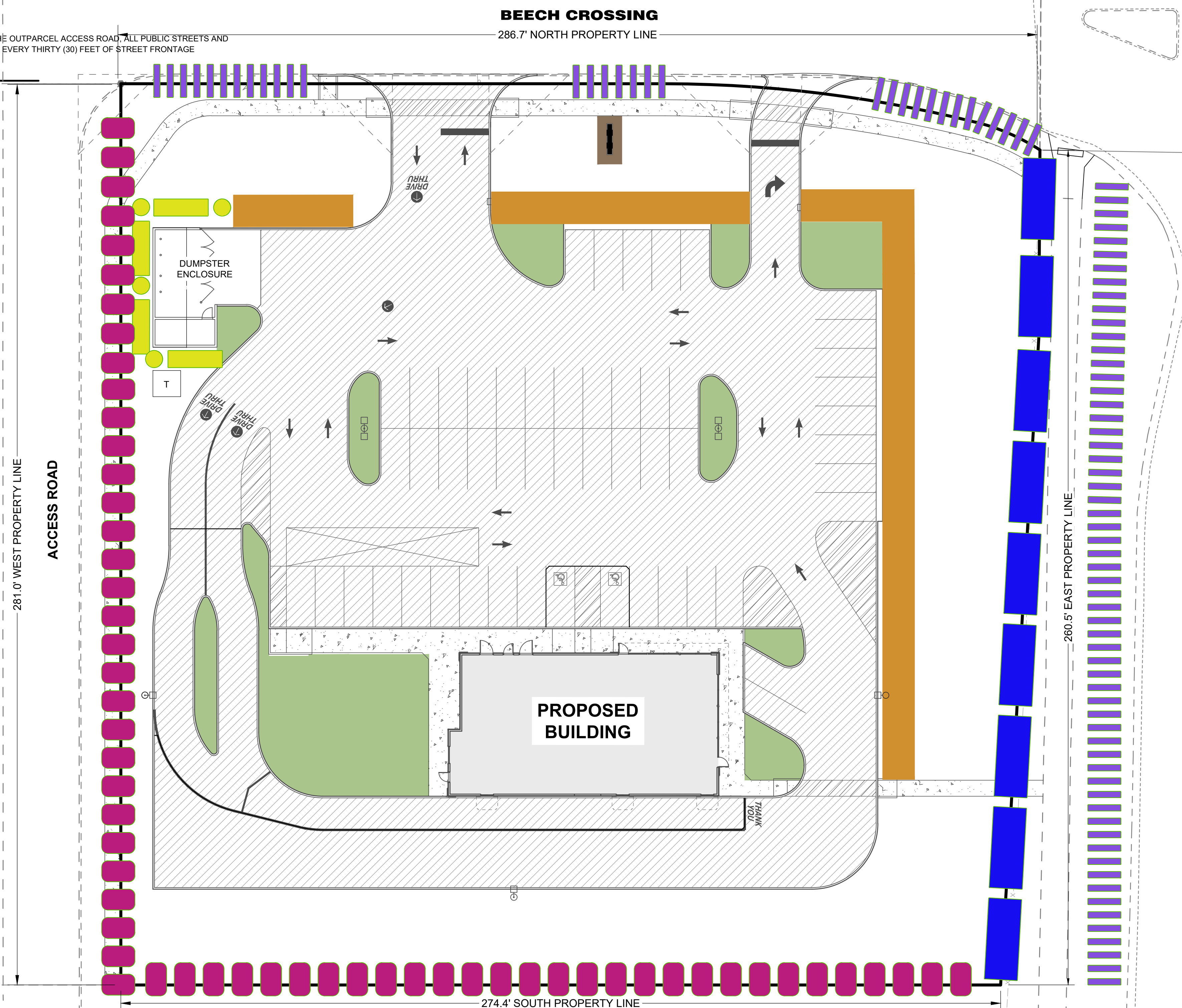
- FENCE**
A FOUR BOARD WHITE HORSE FENCE SHALL BE REQUIRED ALONG THE STREET FRONTAGE OF BEECH ROAD
- SETBACK LANDSCAPING**
A LANDSCAPE BUFFER WILL BE REQUIRED BEHIND THE FENCE WITHIN THE SETBACK AREA. THIS BUFFER AREA IS TO INCLUDE:
 - DECIDUOUS SHADE TREES NATIVE TO CENTRAL OHIO PLANTED AT A RATE EQUAL TO 6 TREES PER 100 LF OF STREET FRONTAGE. NO SINGLE SPECIES CAN BE USED FOR MORE THAN 1/3 OF REQUIRED TREES
 - MINIMUM SIZES FOR THE REQUIRED TREES SHALL BE 2 OR 3 CALIPER INCHES PROVIDED NO MORE THAN 50% OF TREES ARE 2 CALIPER INCHES
- SCREENING OF PARKING**
A LANDSCAPE BUFFER TO SCREEN PARKING AREAS SHALL BE LOCATED WITHIN THE PAVEMENT SETBACK ALONG ALL PUBLIC RIGHTS-OF-WAY. THIS BUFFER MAY CONTAIN LANDSCAPE MATERIAL, MOUNDING, OR A COMBINATION OF BOTH AND SHALL HAVE A MINIMUM HEIGHT OF 3.5 FEET AT INSTALLATION
- INTERIOR LOT LINES**
THE BUFFER SHALL CONSIST OF GRASS AND LANDSCAPING. DECIDUOUS TREES SHALL BE PLANTED AT THE RATE OF 4 PER 100 LINEAR FEET OF PROPERTY LINE. DECIDUOUS SHRUBS ARE TO BE PLANTED UNDER THE TREES.

5) STREET TREES

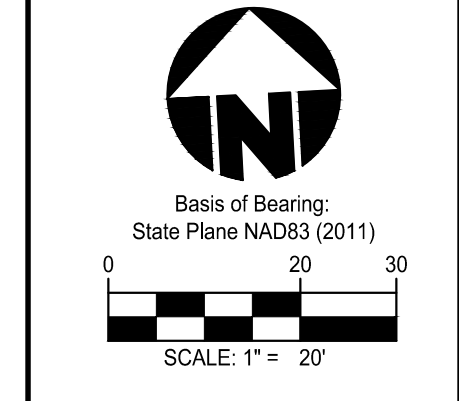
A STREET TREE ROW SHALL BE ESTABLISHED ALONG THE OUTPARCEL ACCESS ROAD. ALL PUBLIC STREETS AND PRIVATE ROADS AND SHALL CONTAIN ONE (1) TREE FOR EVERY THIRTY (30) FEET OF STREET FRONTAGE

CONCRETE GRAPHICS SCHEDULE

-  **VIA PLANTINGS**
35,578 sf x 5%
= 1,778.9 sf INTERIOR PLANTINGS REQUIRED
Takeoff: 4,773 sf
-  **VEHICULAR USE AREA**
5% OF VEHICULAR USE AREA IS TO BE LANDSCAPED WITH GRASS OR SHRUBS
Takeoff: 35,578 sf
-  **UTILITY/SIGNAGE SCREENING**
Takeoff: 115 sf
-  **BUILDING AREA**
GROUND COVERAGE = BUILDING + VIA AREA
- 1 TREE / 5,000 SF
- 10" TREE PLANTING + 1/2" / 2,000 SF (ONLY FOR OVER 20,000 SQ FT)
Takeoff: 3,633 sf
-  **STREET TREES**
- 1 TREE / 30 LF @ 3" CALIPER
- 6' WIDE TREE LAWN (MIN.)
Takeoff: 388 lf
-  **PARKING SCREENING**
- 3.5' EVERGREEN BUFFER REQUIRED
- 1 TREE / 10 PARKING SPACES
Takeoff: 408 lf
-  **INTERIOR LOT LINE BUFFER (SIR)**
- 10' WIDE BUFFER
- 4 TREES / 100 LF
- SHRUBS TO BE PLANTED UNDER TREES
Takeoff: 546 lf
-  **TRASH SCREENING**
- 7' MIN. EVERGREEN HEDGE
Takeoff: 91 lf
-  **BEECH ROAD BUFFER (SIR)**
- 6 TREES / 100 LF STREET FRONTAGE
- TREES TO BE 2" & 3" CAL.
(NO MORE THAN 50% 2" CAL.)
Takeoff: 288 lf



REV	DATE	DESCRIPTION
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD
2	05-29-24	REDUCE DIRECTIONAL SIGNS PER CITY COMMENT
3	06-26-24	REVISE PER CITY COMMENTS



bayer becker
www.bayerbecker.com
6900 Tyler Rd, Suite A
Mason, OH 45040 - 513.336.6600

L/C# 34-2105

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED McDONALD'S RESTAURANT AT:
1955 BEECH ROAD
NEW ALBANY, LICKING COUNTY, OHIO

JOB NO. 23-0187
DATE: 03-08-24
SCALE: 1"=20'
PLANTING PLAN
SHEET: L1.0

Plot time: Jun 27, 2024 - 5:10pm - Login Name: christianssenfort
Drawing name: U:\2023\23-0187\LA\DWG\23-0187_LA.dwg - Layout Tab: Z1.0 Zoning Plan

NEW ALBANY ZONING RESOLUTION

CHAPTER 1171 - LANDSCAPING

1171.05 - LANDSCAPING SCREENING

d(1) MINIMUM TREES
THE FOLLOWING MINIMUMS ARE REQUIRED, BASED UPON TOTAL GROUND COVERAGE OF STRUCTURES AND VEHICULAR USE AREAS:

- A MINIMUM OF (1) ONE TREE PER FIVE THOUSAND (5,000) SQUARE FEET OF GROUND COVERAGE
- A TOTAL TREE PLANTING EQUAL TO TEN INCHES IN TREE TRUNK SIZE + 1/2" TREE TRUNK SIZE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET GROUND COVERAGE

1 TREE / 5,000 SQ FT
39,210 SQ FT (BUILDING + VEHICULAR USE AREA) / 5,000 SQ FT = **8 TREES REQUIRED (2.5")**

(*)
10" TREE TRUNK SIZE PLANTING = 10" / 2.5" TREE (MIN. TREE SIZE) = **4 TREES REQUIRED (2.5")**

(#)
1/2" x (EVERY 2,000 SQ FT EXCEEDING 20,000 SQ FT)

1/2" x ((39,210 SQ FT - 20,000 SQ FT) / 2,000 SQ FT)

1/2" x (19,210 SQ FT / 2,000 SQ FT)

1/2" x 9.6 = **5" REQUIRED (2 TREES AT 2.5")**

= 14 SITE TREES REQUIRED (TOTAL)

1171.06 - PARKING LOT LANDSCAPING

a) PARKING LOT ISLANDS

2) A MINIMUM TOTAL OF FIVE (5) SQUARE FEET OF LANDSCAPED AREAS SHALL BE PROVIDED PER ONE HUNDRED (100) SQUARE FEET OF PARKING AREA

35,578 SQ FT x 5% = **1779 SQ FT VUA PLANTINGS REQUIRED**

3) PARKING AREAS SHOULD CONTAIN A MINIMUM OF ONE DECIDUOUS CANOPY TREE FOR EVERY TEN (10) PARKING SPACES
ONE (1) TREE / TEN (10) PARKING SPACES

52 PARKING SPACES PROVIDED / 10 PARKING SPACES = **6 TREES REQUIRED**

BEECH CROSSING ZONING DISTRICT I-PUD ZONING TEXT (SIR REQUIREMENTS)

c) BUFFERING AND LANDSCAPING

3) TREATMENT ALONG BEECH ROAD AND SMITH'S MILL ROAD

WITHIN THE MINIMUM REQUIRED PAVEMENT SETBACK ALONG BEECH ROAD AND SMITH'S MILL ROAD, LANDSCAPING SHALL BE COORDINATED AND CONSISTENT THROUGHOUT. THE FOLLOWING SHALL BE PROVIDED:

a) FENCE

A FOUR BOARD WHITE HORSE FENCE SHALL BE REQUIRED ALONG THE STREET FRONTAGE - **EXISTING FENCE ALONG BEECH ROAD**

b) SETBACK LANDSCAPING

A LANDSCAPE BUFFER WILL BE REQUIRED BEHIND THE FENCE WITHIN THE SETBACK AREA. THIS BUFFER AREA IS TO INCLUDE:

6 TREES / 100 LF OF STREET FRONTAGE

BEECH ROAD 250.0 LF

250.0 LF / 100 LF = 2.5

2.5 x 6 = **15 TREES REQUIRED**

c) SCREENING OF PARKING

A LANDSCAPE BUFFER TO SCREEN PARKING AREAS WITH A MINIMUM HEIGHT OF 3.5 FEET AT INSTALLATION

3.5" EVERGREEN BUFFER ALONG PARKING AREAS

471 LF (TOTAL) PARKING PERIMETER = **471 LF EVERGREEN BUFFER REQUIRED**

5) STREET TREES

A STREET TREE ROW SHALL BE ESTABLISHED ALONG THE OUTPARCEL ACCESS ROAD, ALL PUBLIC STREETS AND PRIVATE ROADS AND SHALL CONTAIN ONE (1) TREE FOR EVERY THIRTY (30) FEET OF STREET FRONTAGE

1 DECIDUOUS TREE (3" MIN.) / 30 LF OF STREET FRONTAGE

BEECH ROAD - 260.50 LF

260.50 LF / 30 LF = **9 TREES REQUIRED**

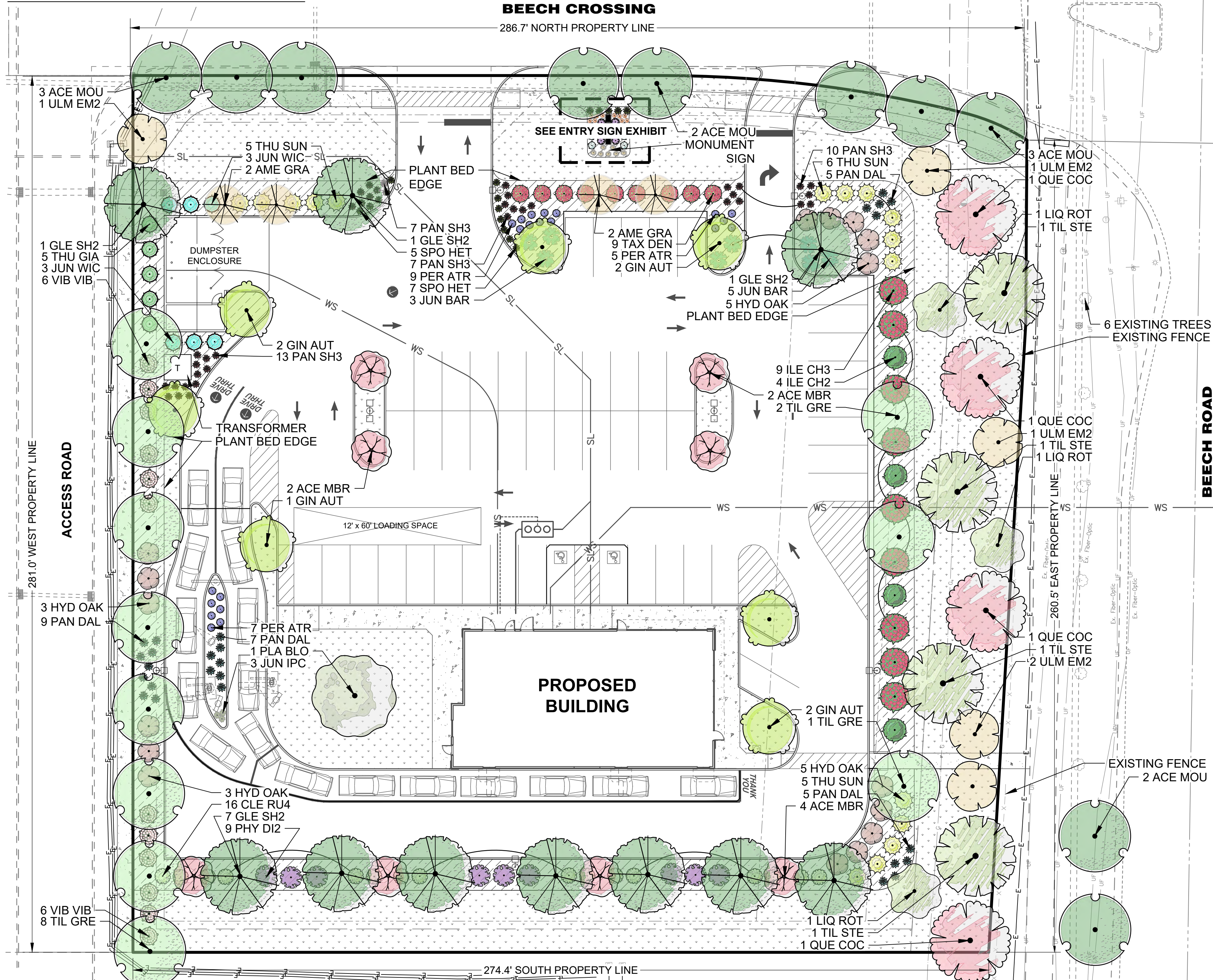
BEECH CROSSING - 286.71 LF

230.4 LF / 30 LF = **8 TREES REQUIRED**

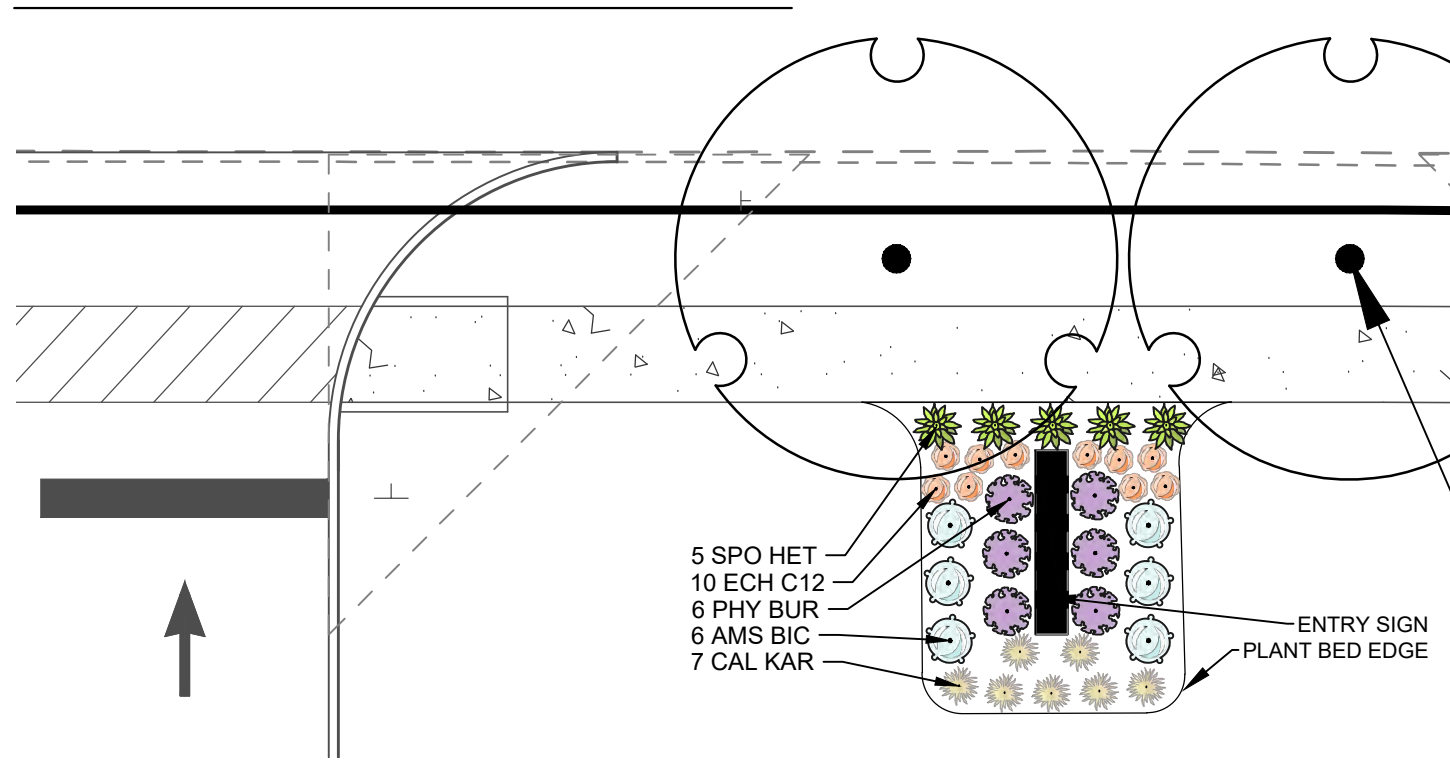
PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
DECIDUOUS TREES					
ACE MBR	8	Acer rubrum 'Somerset'	Somerset Red Maple	B & B	2.5" Cal
ACE MOU	10	Acer saccharum 'Green Mountain' TM	Green Mountain Sugar Maple	B & B	3.0" Cal
AME GRA	4	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry Tree Form	B & B	2.5" Cal
GIN AUT	7	Ginkgo biloba 'Autumn Gold' TM	Maidenhair Tree	B & B	2.5" Cal
GLE SH2	10	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	B & B	2.5" Cal
LIQ ROT	3	Liquidambar styraciflua 'Rotundiloba' TM	Round-Lobed Sweet Gum	B & B	2.5" Cal
PLA BLO	1	Platanus x acerifolia 'Bloodgood'	London Plane Tree	B & B	2.5" Cal
QUE COC	4	Quercus coccoloba	Scarlet Oak	B & B	3.0" Cal
TIL GRE	11	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	B & B	2.5" Cal
TIL STE	4	Tilia tomentosa 'Sterling'	Sterling Silver Linden	B & B	3.0" Cal
ULM EM2	5	Ulmus propinqua 'Emerald Sunshine'	Elm	B & B	2.5" Cal
EVERGREEN TREES					
JUN WIC	6	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	B & B	7' Ht.
THU GIA	5	Thuja plicata 'Green Giant'	Western Red Cedar	B & B	7' Ht.
ANNUALS AND PERENNIALS					
AMS BIC	6	Amsonia x 'Blue Ice'	Blue Ice Bluestar	3 gal	Clump
ECH C12	10	Echinacea x 'Cheyenne Spirit'	Cheyenne Spirit Coneflower	3 gal	Clump
PER ATR	21	Perovskia atriplicifolia	Russian Sage	3 gal	Clump
DECIDUOUS SHRUBS					
CLE RU4	16	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	5 gal	42" Ht.
HYD OAK	16	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	5 gal	30" Ht.
PHY BUR	6	Physocarpus opulifolius 'Burgundy Candy'	Burgundy Candy Ninebark	3 gal	24" Ht.
PHY DI2	9	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	5 gal	42" Ht.
RHU GRO	4	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal	18" Ht.
VIB VIB	12	Viburnum x burkwoodii 'Mohawk'	Mohawk Viburnum	5 gal	42" Ht.
EVERGREEN SHRUBS					
ILE CH2	4	Ilex x meserveae 'China Boy' TM	China Boy Holly	B & B	42" Ht.
ILE CH3	9	Ilex x meserveae 'China Girl' TM	China Girl Holly	B & B	42" Ht.
JUN BAR	8	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	3 gal	Clump
JUN IPC	3	Juniperus horizontalis 'Pancake'	Pancake Creeping Juniper	3 gal	Clump
TAX DEN	9	Taxus x media 'Densiformis'	Dense Yew	B & B	30" Ht.
THU SUN	16	Thuja occidentalis 'Sunkist'	Sunkist Arborvitae	B & B	42" Ht.
ORNAMENTAL GRASSES					
CAL KAR	7	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	3 gal	Clump
PAN DAL	26	Panicum virgatum 'Dallas Blues' TM	Dallas Blues Switch Grass	3 gal	Clump
PAN SH3	37	Panicum virgatum 'Shenandoah'	Switch Grass	3 gal	Clump
SPO HET	17	Sporobolus heterolepis	Prairie Dropseed	2 gal	Clump

ZONING MINIMUM PLANTING PLAN



ENTRY SIGN PLANTING PLAN

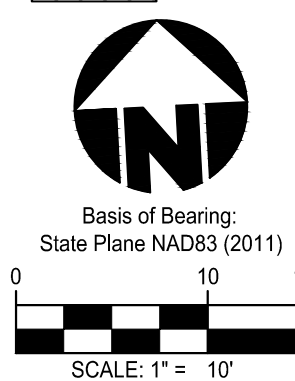


GENERAL NOTES

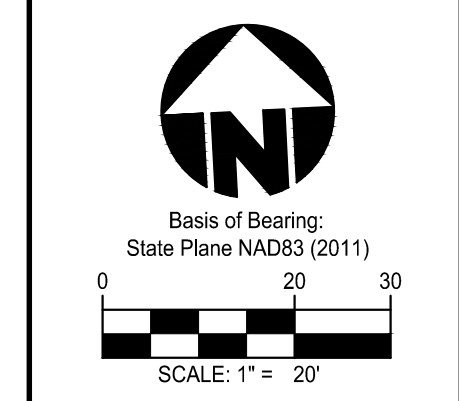
- SEE SHEET Z1.0 FOR ZONING NOTES & REQUIREMENTS
- SEE SHEET L2.0 FOR PLANTING NOTES & DETAILS
- EXISTING TOPOGRAPHY LINES TURNED OFF FOR DRAWING CLARITY

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
[Hatched Box]	MULCH	11,445 sf
[Dotted Box]	SEED	21,862 sf



REV	DATE	DESCRIPTION
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD
2	05-29-24	REDUCE DIRECTIONAL SIGNS PER CITY COMMENT
3	06-26-24	REVISE PER CITY COMMENTS



bayer becker
www.bayerbecker.com
6900 Jefferson Road, Suite A
Mason, OH 45404-5113.336.6600

L/C# 34-2105

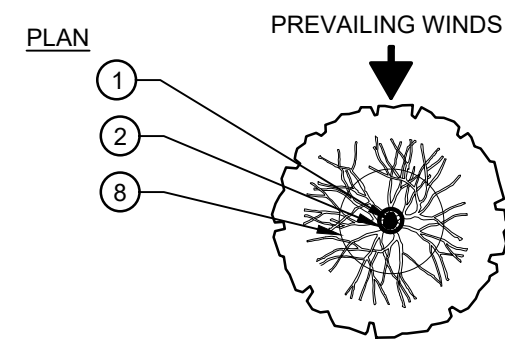
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PROPOSED McDONALD'S RESTAURANT AT:
1955 BEECH ROAD
NEW ALBANY, LICKING COUNTY, OHIO

JOB NO.	23-0187
DATE:	04-17-24
SCALE:	1"=20'
PLANTING PLAN	
SHEET: L1.1	

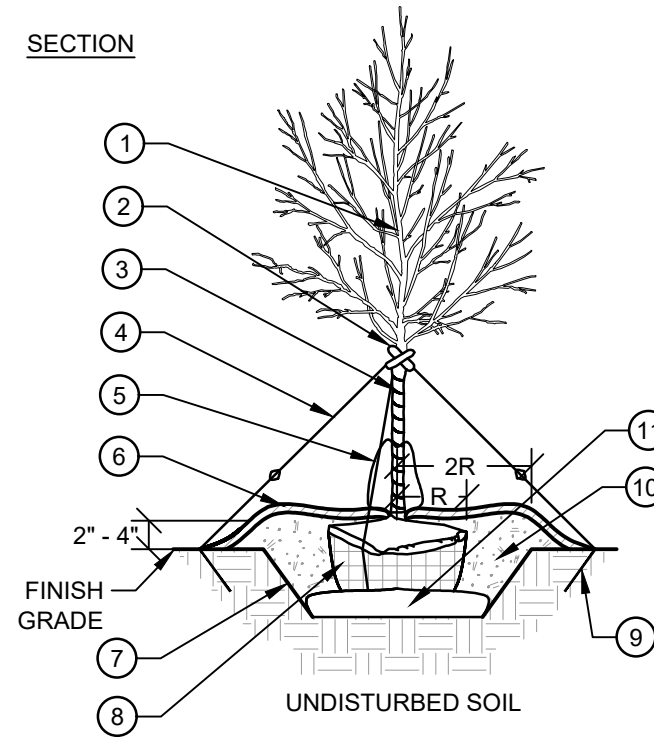
Plot time: Jun 27, 2024 - 5:11pm - Login Name: christiansenfort
Drawing name: U:\2023\23-0187\LA DWG\23-0187 LA.dwg - Layout Tab: L1.0 Planting Plan

Plot time: Jun 27, 2024 - 4:15pm - Login Name: christionassenfort
 Drawing name: J:\2023\23-0187\LA DMG\23-0187 LA.dwg - Layout Tab: L2.0 Typical Notes & Details



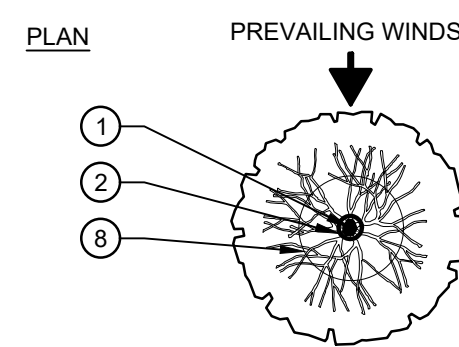
- 1 CENTRAL LEADER
- 2 1/2" RUBBER HOSE, REINFORCED, BLACK
- 3 TREE WRAP (STD. MANUFACTURER)
- 4 # 10, GALVANIZED, TWISTED DOUBLE STRAND GUY WIRE
- 5 20 GAL. GATOR BAG (SEE NOTES)
- 6 MULCH
- 7 ROOTBALL PIT
- 8 ROOTBALL
- 9 36" LONG #5 REBAR STAKE- DRIVE BELOW GRADE
- 10 EARTHEN SAUCER OF AMENDED TOPSOIL
- 11 TAMPED SETTING BED 8" MIN. DEPTH

SECTION



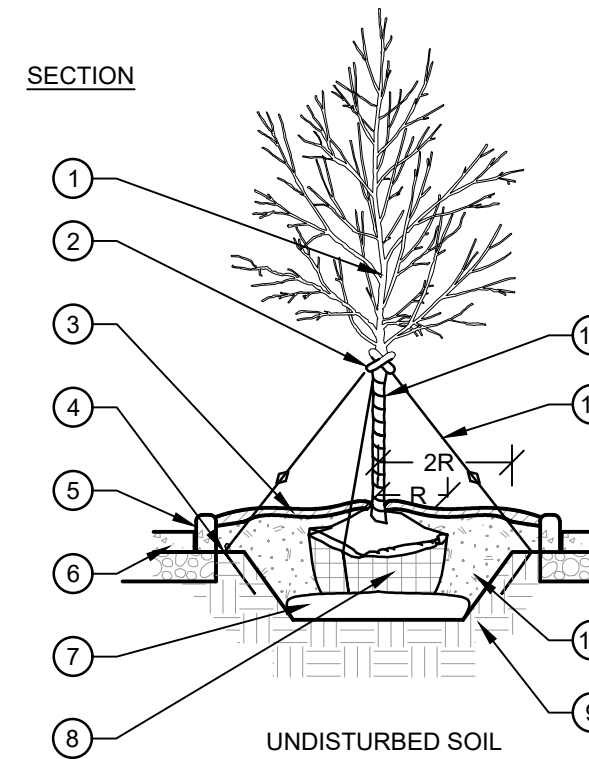
- NOTES:
- A. ONLY TREES ON SLOPES 3:1 OR GREATER OR IN WINDY LOCATIONS SHALL BE GUYED.
 - B. 5"+ CALIPER TREES REQUIRE A 4" CORRUGATED PVC TUBING DOUBLE WRAPPED IN FILTER FABRIC SOCK PIPE.
 - C. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL - TOP OF ROOTBALL TO BE 2-4" ABOVE GRADE AFTER SETTLEMENT.
 - D. TREE PIT TO BE TWICE THE WIDTH OF THE ROOTBALL.
 - E. SCARIFY BOTTOM AND SIDES OF TREE PIT TO 4" MIN. DEPTH.
 - F. TOPSOIL AMENDED PER SOIL TESTING REPORT.
 - G. GATOR BAG TO BE INSTALLED & FILLED PER MANUFACTURER'S SPECIFICATIONS ON ALL TREES WHEN INSTALLED BETWEEN JUNE - AUG. SEE PLANTING & PREPARATION NOTES.
 - 1"-4" CALIPER (1 BAG), 5" - 8" CALIPER (2 BAGS)

1 TREE PLANTING
NOT TO SCALE 329343.46-06



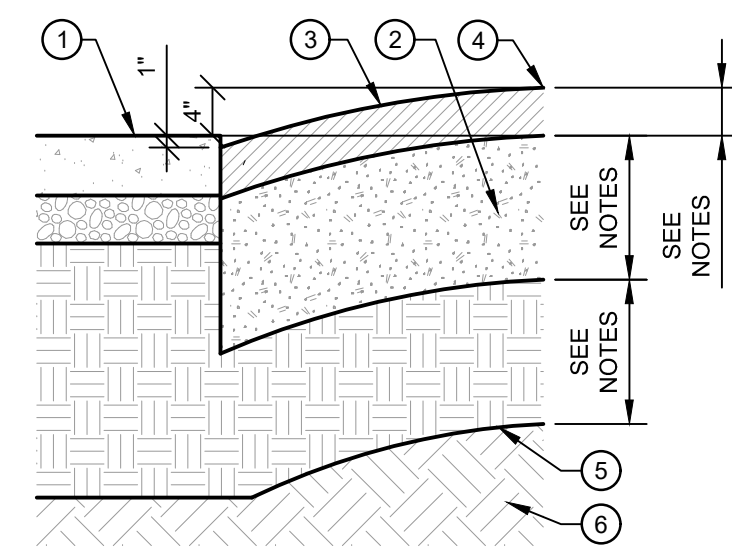
- 1 CENTRAL LEADER
- 2 1/2" RUBBER HOSE, REINFORCED, BLACK
- 3 MULCH (SEE NOTES)
- 4 36" LONG #5 REBAR STAKE (SEE NOTES)
- 5 CURB
- 6 PAVED SURFACE
- 7 TAMPED SETTING BED 8" MIN. DEPTH
- 8 ROOTBALL
- 9 ROOTBALL PIT
- 10 EARTHEN SAUCER OF AMENDED TOPSOIL
- 11 # 10, GALVANIZED, TWISTED DOUBLE STRAND GUY WIRE
- 12 TREE WRAP (STD. MANUFACTURER)

SECTION



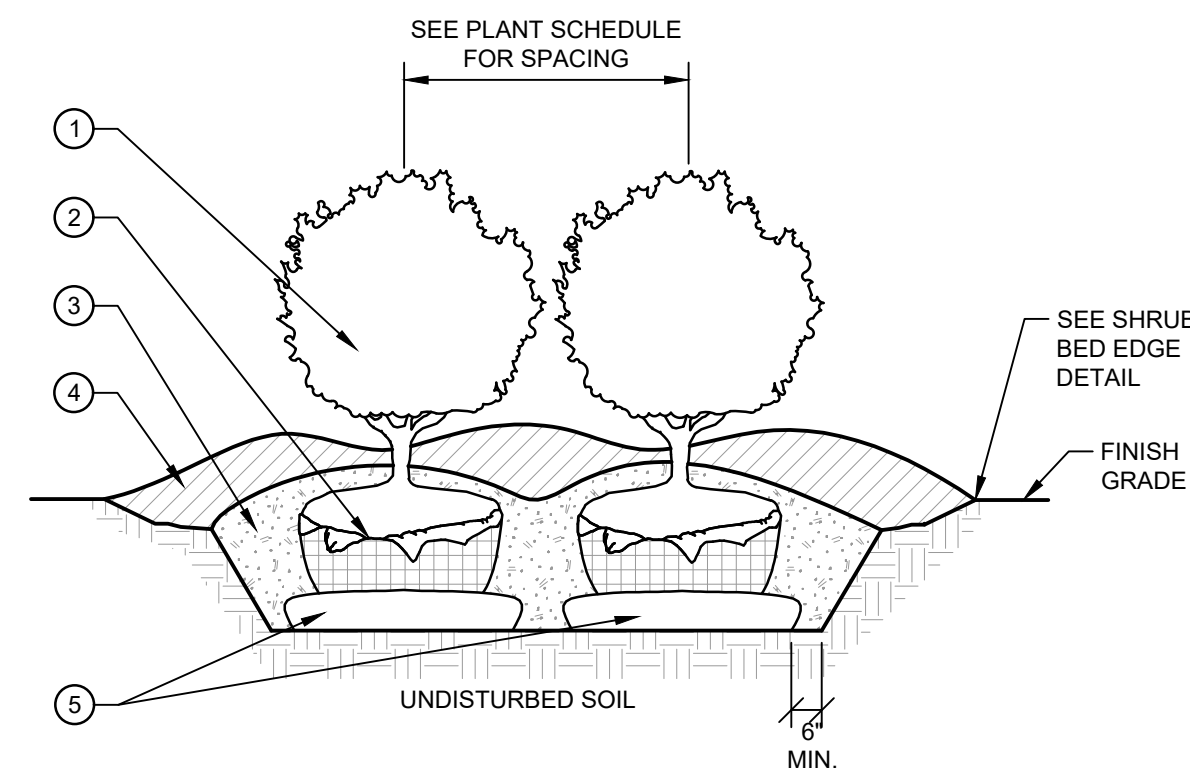
- NOTES:
- A. ONLY TREES ON SLOPES 3:1 OR GREATER OR IN WINDY LOCATIONS SHALL BE GUYED
 - B. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL - TOP OF ROOTBALL TO BE 2-4" ABOVE GRADE AFTER SETTLEMENT.
 - C. TREE PIT TO BE TWICE THE WIDTH OF THE ROOTBALL.
 - D. SCARIFY BOTTOM AND SIDES OF TREE PIT TO 4" MIN. DEPTH.
 - E. TOPSOIL AMENDED PER SOIL TESTING REPORT.
 - F. ATTACH GUY WIRES TO THE CENTRAL LARGEST TRUNK.
 - G. DRIVE STAKE BELOW GRADE AND WITHIN MULCHED AREAS IF POSSIBLE. WOOD STAKES MAY NOT CONTAIN CHROMATED COPPER ARSENATE (CCA).
 - H. MULCH-SEE TOPSOIL AMENDMENTS & MULCH NOTES, AND PLANT INSTALLATION NOTES

3 TREE ISLAND PLANTING
NOT TO SCALE 329343.46-07



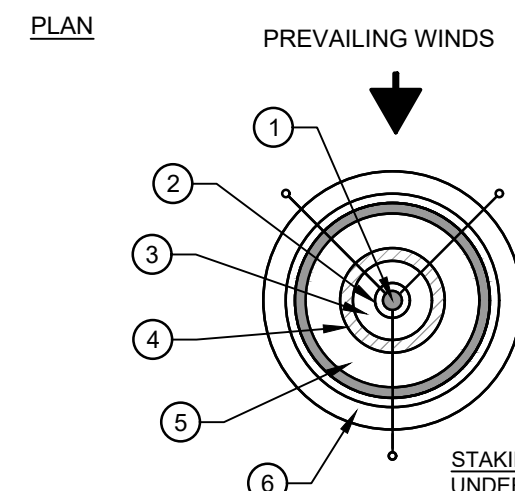
- 1 ADJACENT PAVEMENT (WALK OR CURB)
 - 2 TOPSOIL
 - 3 MULCH
 - 4 PLANTING BED APEX
 - 5 LOSENED SUBGRADE
 - 6 UNDISTURBED SOIL
- NOTES:
- A. TOP OF MULCH TO BE BELOW ADJACENT PAVEMENT FOR MULCH CONTAINMENT.
 - B. SEE NOTES.

12 SHRUB BED EDGE DETAIL AT PAVEMENT
NOT TO SCALE 329113.26-04



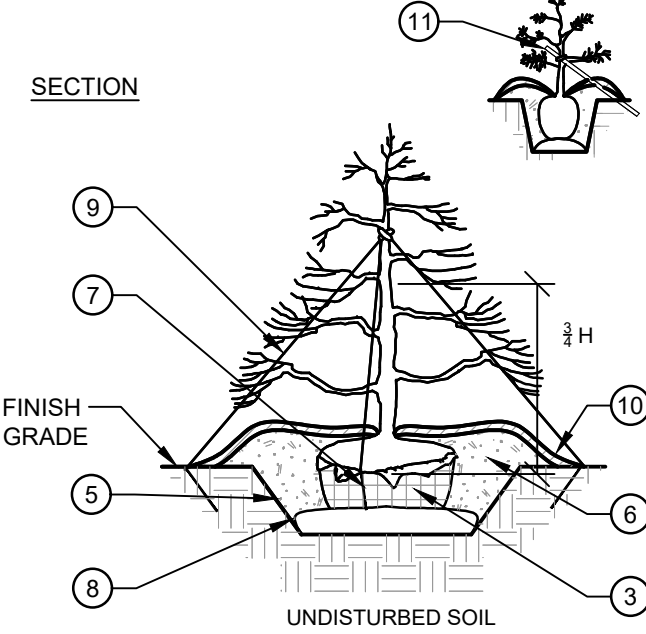
- 1 SHRUB
 - 2 ROOTBALL
 - 3 AMENDED TOPSOIL
 - 4 MULCH
 - 5 TAMPED SETTING BED
- NOTES:
- A. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL - TOP OF ROOTBALL TO BE 2-4" ABOVE GRADE AFTER SETTLEMENT.
 - B. SCARIFY BOTTOM AND SIDES OF PLANTING BED TO 4" MIN. DEPTH.
 - C. TOPSOIL AMENDED PER SOIL TESTING REPORT.
 - D. MULCH-SEE TOPSOIL AMENDMENTS & MULCH NOTES, AND PLANT INSTALLATION NOTES

6 SHRUB BED PLANTING DETAIL
NOT TO SCALE 329113.26-03



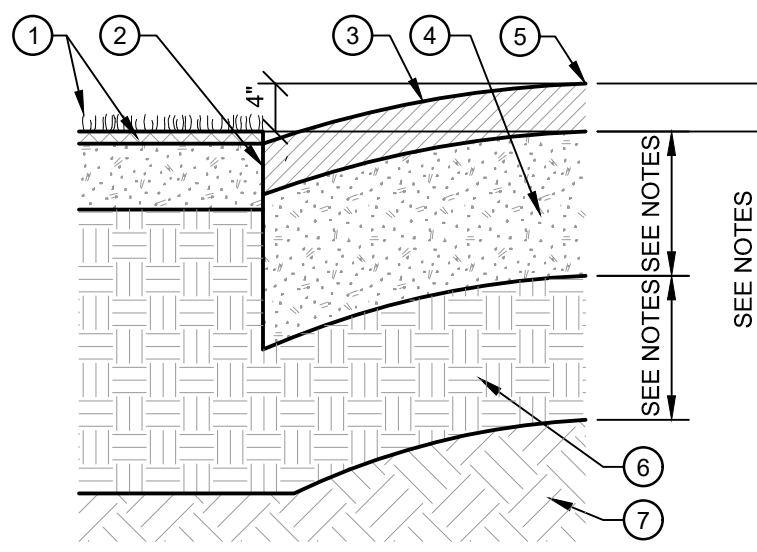
- 1 CENTRAL LEADER
- 2 1/2" RUBBER HOSE, REINFORCED, BLACK
- 3 ROOTBALL
- 4 4" CORRUGATED PVC TUBING DOUBLE WRAPPED IN FILTER FABRIC SOCK PIPE (ONLY 5"+ CALIPER TREES)
- 5 ROOTBALL PIT
- 6 EARTHEN SAUCER OF AMENDED TOPSOIL
- 7 36" LONG #5 REBAR STAKE (SEE NOTES)
- 8 TAMPED SETTING BED 8" MIN. DEPTH
- 9 # 10, GALVANIZED, TWISTED DOUBLE STRAND GUY WIRE
- 10 MULCH (SEE NOTES)
- 11 1" x 24" WOOD STAKE TIED TO TREE WITH #9 GALVANIZED WIRE AND BLACK HOSE

SECTION



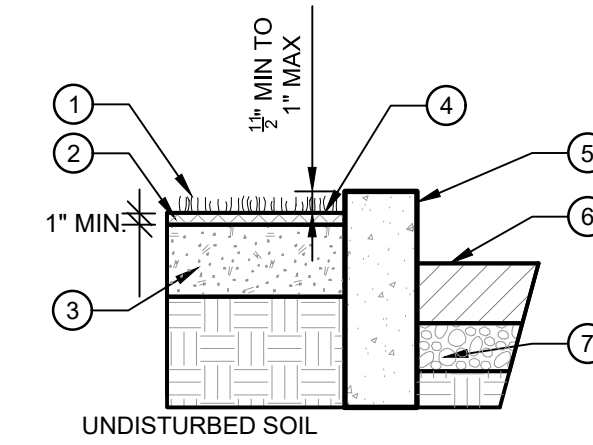
- NOTES:
- A. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL - TOP OF ROOTBALL TO BE 2-4" ABOVE GRADE AFTER SETTLEMENT.
 - B. TREE PIT TO BE TWICE THE WIDTH OF THE ROOTBALL.
 - C. SCARIFY BOTTOM AND SIDES OF TREE PIT TO 4" MIN. DEPTH.
 - D. TOPSOIL AMENDED PER SOIL TESTING REPORT.
 - E. ATTACH GUY WIRE AT 1/2 OF THE TREE HEIGHT. DRIVE STAKE BELOW GRADE AND WITHIN MULCHED AREAS IF POSSIBLE. WOOD STAKES MAY NOT CONTAIN CHROMATED COPPER ARSENATE (CCA).
 - G. MULCH-SEE TOPSOIL AMENDMENTS & MULCH NOTES, AND PLANT INSTALLATION NOTES

2 EVERGREEN TREE DETAIL
NOT TO SCALE 329343.46-03



- 1 ADJACENT LAWN
 - 2 VERTICAL EDGE
 - 3 MULCH
 - 4 TOPSOIL
 - 5 PLANTING BED APEX
 - 6 LOSENED SUBGRADE
 - 7 UNDISTURBED SOIL
- NOTES:
- A. SHOVEL CUT BED EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN LAWN AND PLANTING AREA TO CONTAIN MULCH.
 - B. SEE NOTES.

8 SHRUB BED EDGE DETAIL AGAINST LAWN
NOT TO SCALE 329113.26-05



- 1 LAWN (SEEDED UNLESS SPECIFIED AS SOD).
- 2 ROOT LAYER. (SOD MIN. DEPTH AS SHOWN).
- 3 AMENDED TOPSOIL. SEE NOTES.
- 4 TOP OF GRADE TO BE MIN. 3/4" AND MAX. 1" BELOW ADJACENT PAVEMENT SURFACE.
- 5 ADJACENT CURB. SEE CURB DETAIL
- 6 PAVEMENT. SEE PAVEMENT DETAILS
- 7 PAVING BASE. SEE PAVEMENT DETAILS

NOTE: SEE SODDING AND/OR SEEDING NOTES.

4 LAWN AGAINST CURB DETAIL
NOT TO SCALE 321613.16-11

REV	DATE	DESCRIPTION
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD

BY	CD

bayer becker
 www.bayerbecker.com
 6900 Tyersville Road, Suite A
 Mason, OH 45040 - 513.336.6600

L/C# 34-2105

McDonald's
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
PROPOSED McDONALD'S RESTAURANT AT:
 1955 BEECH ROAD
 NEW ALBANY, LICKING COUNTY, OHIO

JOB NO. 23-0187
DATE: 04-17-24
SCALE: 1"=20'
PLANTING DETAILS
SHEET: L2.0

Plot time: Jun 27, 2024 - 4:15pm - Login Name: christionassenfort
Drawing name: u:\2023\23-0187\LA\DWG\23-0187_LA.dwg - Layout Tab: L2.1 Typical Notes & Details

GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY REVIEW THESE DOCUMENTS AND FULLY UNDERSTAND THE NATURE AND SCOPE OF WORK NEEDED TO ACHIEVE THE FINISHED PRODUCT INTENDED BY THE OWNER. IN ADDITION, THE CONTRACTOR SHALL AT ONCE REPORT TO THE LANDSCAPE ARCHITECT, INACCURACIES OR INCONSISTENCIES DISCOVERED, FAILURE TO REASONABLY RECOGNIZE OR NOTIFY THE LANDSCAPE ARCHITECT OF SUCH ITEMS SHALL RELEASE THE LANDSCAPE ARCHITECT AND OWNER OF ALL LIABILITY. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- PROTECT ALL EXISTING VEGETATION TO REMAIN WITHIN 20' OF CONSTRUCTION DISTURBANCE AS PER PLANS AND SPECIFICATIONS. INSTALL MINIMUM 4' TALL FENCE 5' OUTSIDE THE DRIP LINE OF TREES TO REMAIN. WATER TREES AND VEGETATION TO REMAIN WITH ONE INCH OF RAIN (RAIN GAUGE OR NOAA LOCAL WEATHER VERIFIED) PER WEEK FOR DURATION OF CONSTRUCTION PROJECT.
- PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO COMPLETE THE WORK, LOCATING ALL UNDERGROUND UTILITIES, AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING INSTALLATION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH MAY OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION.
- CONTRACTOR MUST CERTIFY THAT ITS SAFETY PROGRAM MEETS REGULATORY REQUIREMENTS AT A MINIMUM. CONTRACTOR TO PROVIDE DOCUMENTATION OF THE OSHA RECORD KEEPING SUMMARY.
- LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS, ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. LANDSCAPE CONTRACTOR SHALL REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- IF EXISTING ECOLOGY CAUSES ADJUSTMENTS OF LANDSCAPE PLANS TO FIT THE SITE CONDITIONS, A STAKE OUT BY LANDSCAPE CONTRACTOR AND ADJUSTMENTS BY LANDSCAPE ARCHITECT SHALL BE REQUIRED PRIOR TO INSTALLATION.
- ALL PLANTING AREAS SHOWN ON PLANS SHALL BE TO WITHIN 2" OF FINAL GRADE BEFORE LANDSCAPE CONTRACTOR COMMENCES INSTALLATION.
- LANDSCAPE CONTRACT IS RESPONSIBLE FOR COORDINATING WITH OTHER CONTRACTORS AND/OR LOCATING PROPOSED SITE UTILITIES, STORM STRUCTURES, EASEMENTS, ETC.
 - ALL PLANT MATERIAL MUST BE INSTALLED ACCORDING TO THE APPROVED LANDSCAPING PLAN BY NO LATER THAN THE NEXT PLANTING SEASON OR WITHIN 6 MONTHS FROM THE COMPLETION OF ALL SITE CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL PLANT QUANTITIES, ANY DISCREPANCY BETWEEN THE PLANTING LIST AND THE PLAN SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS AND/OR CHANGES SHALL BE REQUESTED IN WRITING TO THE OWNER OR OWNER'S REPRESENTATIVE AND BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE LOCAL MUNICIPALITY (IF REQUIRED) PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- IF UNIFORM ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- THE CONTRACTOR SHALL LABEL ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH THE BOTANICAL AND COMMON NAME.
- PLANT TAGS SHALL REMAIN ON INSTALLED PLANT MATERIAL UNTIL THE WORK HAS BEEN APPROVED BY LOCAL INSPECTOR AND/OR THE OWNER OR OWNER'S REPRESENTATIVE.
- LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS WITHOUT ADVERSELY AFFECTING SITE DRAINAGE. GRADES BEHIND CURBS FOR AREAS TO RECEIVE MULCH SHALL BE HELD 4 INCHES BELOW TOP OF CURB AND 2 INCHES BELOW TOP OF CURB FOR SOD.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING, INCLUDING, BUT NOT LIMITED TO, WATERING, SPRAYING, MULCHING, FERTILIZING, ETC., ALL PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO RUN PERCOLATION TESTS TO ASSURE PROPER DRAINAGE IN PLANTING AREAS.
- ADDITIONAL ROCK EXCAVATION AND TOPSOIL MAY BE REQUIRED TO OBTAIN SPECIFIED PLANTING DEPTHS FOR ROOT COVERAGE BASED ON SITE CONDITIONS.
- IF IRRIGATION IS PART OF THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL PLANT MATERIAL WITH THE IRRIGATION CONTRACTOR. ACTIVATE IRRIGATION SYSTEM UPON COMPLETION OF ALL LAWN AREAS.
- ALL IRRIGATION COMPONENTS SHALL BE OF THE SAME MANUFACTURER & INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

TOPSOIL, AMENDMENTS & MULCH

- STRIP TOPSOIL TO ITS FULL DEPTH AT AREAS IMPACTED AND AT ALL AREAS TO BE RE-GRADED AND RESURFACED. STOP TOPSOIL STRIPPING OUTSIDE THE DRIP LINE OF TREES TO REMAIN / DO NOT STRIP AS TO IMPACT THE ROOT LINE OF TREES TO REMAIN.
- COORDINATE WITH THE OWNER PRIOR TO ESTABLISHING TOPSOIL STORAGE AREAS. GRADE AND SLOPE STOCKPILES FOR PROPER DRAINAGE AND TO PREVENT EROSION. THE REUSE OF STOCKPILE TOPSOIL WITHIN THE PROJECT SITE MUST BE APPROVED FOR PLACEMENT BY THE LANDSCAPE ARCHITECT.
- ALL TOPSOIL SHALL BE SHREDDED, CLEAN, AND UNIFORM IN QUALITY FREE FROM HARD CLODS, STIFF CLAY, PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, SLAG, OR OTHER UNDESIRABLE MATERIAL. TOPSOIL SHALL CONFORM TO THE FOLLOWINGS:
 - ORGANIC CONTENT - BETWEEN 3% - 10% ORGANIC MATTER
 - pH - SHALL RANGE BETWEEN 6.0 - 7.5
 - SOIL TEXTURE - TOPSOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY PASSING THROUGH A 2.00 MM (#10) SIEVE (SAND - 30%-75%, SILT - 15%-70%, CLAY - 10%-30%)
- TOPSOIL MUST BE APPROVED PRIOR TO PLACEMENT. TOPSOIL TEXT RESULTS SHALL SHOW RECOMMENDATION FOR SOIL ADDITIVES FOR FERTILIZERS TO CORRECT NUTRIENT DEFICIENCIES AS NECESSARY
- INORGANIC SOIL AMENDMENTS INCLUDE THE FOLLOWING:
 - LIME - ASTM C 802, AGRICULTURAL LIMING MATERIAL CONTAINING A MINIMUM OF 80% CALCIUM CARBONATE EQUIVALENT AS FOLLOWS:
 - PROVIDE LIME IN FORM OF GROUND DOLOMITIC LIMESTONE PER ASTM 605, CONTAINING NO LESS THAN 85% OF TOTAL CARBONATES AND SHALL BE GROUND TO SUCH A FINENESS THAT 50% WILL PASS THROUGH A 100 MESH SIEVE AND 90% WILL PASS THROUGH A MESH SIEVE. COARSER MATERIAL WILL BE ACCEPTABLE, PROVIDED THE SPECIFIED RATES OF APPLICATION ARE INCREASED PROPORTIONALLY ON THE BASIS OF QUANTITIES PASSING THE 100 MESH SIEVE.
 - SULFUR - GRANULAR, BIODEGRADABLE, AND CONTAINING A MINIMUM OF 90% SULFUR, WITH A MINIMUM OF 99% PASSING THROUGH NUMBER 8 SIEVE AND A MAXIMUM OF 10% PASSING THROUGH A NUMBER 40 SIEVE.
 - AXIS CALCINED DIATOMACEOUS EARTH SOIL AMENDMENT - SEE PREPARATION AND PLANTING NOTES FOR APPLICATION RATES.
- ORGANIC MULCH - FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF ONE DOUBLE SHREDDED HARDWOOD BARK.

PLANTING PREPARATION

- EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS ARE CORRECTED.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- APPLY ANTIDESICCANT TO TREES AND SHRUBS USING POWER SPRAY TO PROVIDE ADEQUATE FILM OVER TRUNKS (BEFORE WRAPPING), BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT DURING HANDLING AND TRANSPORTATION. IF DECIDUOUS TREES OR SHRUBS ARE MOVED IN FULL LEAF, SPRAY ANTIDESICCANT AT NURSERY BEFORE MOVING AND AGAIN TWO (2) WEEKS AFTER PLANTING.
- WRAP TREES AND SHRUBS WITH BURLAP FABRIC OVER TRUNKS, BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT FROM WIND AND OTHER DAMAGE DURING DIGGING, HANDLING, AND TRANSPORTATION.
- LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND BED EDGES FOR ALL EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S, OWNER'S, OR OWNER REPRESENTATIVE'S WRITTEN ACCEPTANCE OF LAYOUT PRIOR TO PLANTING. TREES SHALL BE SITED IN THE FIELD BY THE LANDSCAPE ARCHITECT WHERE NOTED ON THE PLAN. CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES OR ISSUES WITH PLACEMENT.

PLANT INSTALLATION

- LOOSEN SUBGRADE OF PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES. REMOVE STONES LARGER THAN ONE (1) INCH IN ANY DIMENSION, STICKS, RUBBISH, AND OTHER EXTRANEIOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OF THE OWNER'S PROPERTY.
- APPLY FERTILIZER DIRECTLY TO THE SUBGRADE BEFORE LOOSENING.
- SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE, AND THOROUGHLY BLEND PLANTING SOIL. APPLY TURFMATRIX SOIL AMENDMENT AT THE FOLLOWING RATES:
 - 2" DEEP BEDS - 450 LBS / 1000 SF; 4" DEEP BEDS - 900 LBS / 1000 SF;
 - 6" DEEP BEDS - 1,300 LBS / 1000 SF; 8" DEEP BEDS - 1,750 LBS / 1000 SF
- DELAY MIXING FERTILIZER WITH PLANTING SOIL IF PLANTING WILL NOT PROCEED WITHIN A FEW DAYS.
- MIX LIME WITH DRY SOIL PRIOR TO MIXING FERTILIZER.
- SPREAD TOPSOIL TO A DEPTH OF SIX INCHES FOR LAWN OR (12) TWELVE INCHES FOR BEDS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLING. DO NOT SPREAD IF PLANTING SOIL IS SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- GRADE PLANTING AREAS TO A SMOOTH, UNIFORM, SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSION TO MEET FINISH GRADES.
- RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.
- FOR PLANTING PITS AND TRENCHES, EXCAVATE CIRCULAR PLANTING PITS WITH SIDES SLOPING INWARD AT A FORTY-FIVE (45) DEGREE ANGLE. EXCAVATIONS WITH VERTICAL SIDES ARE NOT ACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING THE CENTER AREA OF THE BOTTOM RAISED 8" TO SUPPORT THE ROOT BALL AND ASSIST WITH DRAINAGE AWAY FROM THE CENTER. DO NOT FURTHER DISTURB THE BASE. ENSURE THAT THE ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF THE PLANTING PIT SMEARED OR SMOTHERED DURING EXCAVATION.
 - EXCAVATE APPROXIMATELY TWO (2) TIMES THE DIAMETER OF THE ROOT BALL FOR BALLED AND BURLAPPED STOCK.
 - FOR BARE ROOT STOCK, EXCAVATE AT LEAST TWELVE (12) INCHES WIDER THAN THE ROOT SPREAD AND DEEP ENOUGH TO ACCOMMODATE VERTICAL ROOTS.
 - IF DRAIN TILE IS SHOWN ON DRAWINGS OR DETAILS, OR REQUIRED UNDER PLANTING AREAS, EXCAVATE TO TOP OF POROUS BACKFILL OVER TILE.
- SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATION MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE FROM ROCKS AND OTHER DELETERIOUS MATERIAL.
- NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.
- NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE PLANTING AREAS.
- FILL EXCAVATIONS WITH WATER AND ALLOW TO PERCOLATE AWAY BEFORE POSITIONING TREES AND SHRUBS.
- INSTALL PLANTS - REFER TO TYPICAL PLANTING DETAILS ON THIS SHEET FOR PLANT INSTALLATION.
- IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE UNDER 5" CALIPER, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD, AT WHICH POINT ANY STAKES & WIRE ARE TO BE REMOVED BY THE CONTRACTOR.
- ALL DECIDUOUS TREES SHALL BE WRAPPED WITH STANDARD MANUFACTURER'S TREE WRAP TO PREVENT WINTER DAMAGE. TREE WRAP TO BE REMOVED AFTER THE FIRST WINTER BY THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL INSTALL GATOR BAGS, PER MANUFACTURER'S RECOMMENDATION FOR ALL TREES THAT ARE NOT OTHERWISE IRRIGATED.
- PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE (PREEN OR EQUIVALENT) PER MANUFACTURER'S RECOMMENDATION.
- IF NOTED ON PLAN TO USE WEED CONTROL FABRIC, INSTALL WEED CONTROL ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO RECEIVE FABRIC, OVERLAPPING EDGES A MINIMUM OF SIX (6) INCHES, SECURE THE SEAMS WITH GALVANIZED PINS. PINS TO BE 8" -10" APART ALONG EDGES AND 12" MIN. IN CENTER.
- MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS AS INDICATED.
- APPLY MULCH ACCORDING TO THE FOLLOWING:
 - DO NOT PLACE MULCH WITHIN THREE (3) INCHES OF THE TRUNKS OR STEMS OR VOLCANO MULCH.
 - FOR TREES AND SHRUBS IN TURF AREAS - APPLY ORGANIC MULCH RING OF FOUR (4) INCH AVERAGE THICKNESS, WITH THIRTY-SIX (36) INCH RADIUS AROUND TRUNKS OR STEMS.
 - FOR PLANTS IN BEDS, APPLY ORGANIC MULCH TWO (2) INCH AVERAGE THICKNESS AND EXTENDING TWELVE (12) INCHES BEYOND THE EDGES OF INDIVIDUAL PLANTING PIT OR TRENCH AND OVER THE WHOLE SURFACE OF THE PLANTING AREA, AND FINISH LEVEL WITH ADJACENT FINISH GRADES.
- THE LANDSCAPE CONTRACTOR SHALL INSTRUCT THE OWNER OR OWNER REPRESENTATIVE ON WATERING NEEDS OF INSTALLED PLANTINGS.

SEEDING / SOD PREPARATION

- DE-COMPACT AREAS HEAVILY TRAFFICKED BY CONSTRUCTION ACTIVITIES WITH HOE OR OTHER APPROVED METHOD.
- GRADE SURFACES TO ASSURE DRAINAGE AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE. PROVIDE SUBGRADE FREE FROM IRREGULAR SURFACE CHANGES AND AS FOLLOWS:
 - ROUGH GRADE SHALL EQUAL PLUS / MINUS TWO TENTHS (0.20) FEET, SUBGRADE TOLERANCE AND SHALL BE FREE OF EXPOSED BOULDERS OR STONE EXCEEDING ONE (1) INCH IN GREATEST DIMENSION.
 - FILL IN ALL AREAS OF SETTLEMENT TO PROPER GRADE BEFORE SUBSEQUENT PLACEMENT OF TOPSOIL.
- PLACE TOPSOIL A MINIMUM OF SIX (6) INCHES AVERAGE DEPTH.
- GRADE AREA TO A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE, MODERATELY COURSE TEXTURE. ROLL, SCARIFY, RAKE, AND LEVEL AS NECESSARY TO OBTAIN A TRUE, EVEN LAWN SURFACE AND FILL DEPRESSIONS AS REQUIRED TO DRAIN. SEED BED TO BE APPROXIMATELY ONE HALF (½) TO ONE (1) INCH BELOW ALL SIDEWALKS AND CURBS. DO NOT MOVE HEAVY OBJECTS EXCEPT NECESSARY LAWN MAKING EQUIPMENT OVER LAWN AREAS AFTER THE SOIL IS PREPARED UNLESS IT IS LOOSENED AND RE-GRADED. RESTORE PREPARED AREAS TO SPECIFIED CONDITIONS IF ERODED, SETTLED, OR OTHERWISE DISTURBED.
- APPLY TYPE A / STARTER FERTILIZER TO INDICATED TURF AREAS AT A RATE EQUAL TO ONE (1) POUND OF ACTUAL NITROGEN PER ONE THOUSAND (1,000) SQUARE FEET OR AS OTHERWISE INDICATED. APPLY FERTILIZERS BY MECHANICAL DROP OR ROTARY DISTRIBUTOR, THOROUGHLY AND EVENING INCORPORATED WITH THE SOIL TO A DEPTH OF THREE (3) INCHES BY DIGGING OR OTHER APPROVED METHOD. FERTILIZE AREAS INACCESSIBLE TO POWER EQUIPMENT WITH HAND TOOLS AN INCORPORATE INTO THE SOIL.
- ACCEPTABLE SEEDING TIMES: SPRING SEED PLANTING - APRIL 1 TO JUNE 1; FALL SEED PLANTING - AUG. 15 TO OCT. 1

SEED INSTALLATION

- HYDROSEED
 - LANDSCAPE CONTRACTOR SHALL SEED ALL DISTURBED AREAS. THE FINAL GRADE AND TOPSOIL WITHIN +/- .10 FEET WILL BE IN PLACE FOR SEEDING CONTRACTOR.
 - CONTRACTOR SHALL APPLY CELLULOSE FIBER MULCH AT A MINIMUM RATE OF 1500 LBS./ACRE AND FERTILIZERS: BEST 6-20-20 OR BEST 15-15-15 OR APPROVED EQUAL APPLIED AT RATE APPROPRIATE FOR PRODUCT. ORGANIC TACKIFIER SHALL BE APPLIED AT RATE OF 70 LBS./ACRE. HYDROSEED SEED MIX SHALL BE APPLIED AT THE 2,000 LBS./ACRE.
 - CONTRACTOR SHALL WATER ALL PLANT AREAS THOROUGHLY TO SATURATE UPPER LAYERS OF SOIL PRIOR TO THE HYDROSEEDING OPERATION. ALLOW THE PLANTING AREA SOIL SURFACE TO DRY OUT FOR ONE DAY ONLY PRIOR TO THE HYDROSEEDING APPLICATION.
 - CONTRACTOR SHALL APPLY THE HYDROSEEDING IN THE FORM OF A SLURRY CONSISTING OF ORGANIC SOIL AMENDMENTS, COMMERCIAL FERTILIZER, AND ANY OTHER CHEMICALS THAT ARE CALLED OUT. WHEN HYDRAULICALLY SPRAYED ONTO THE SOIL, THE MULCH SHALL FORM A BLOTTER-LIKE MATERIAL. SPRAY THE AREA WITH A UNIFORM VISIBLE COAT, USING THE DARK COLOR OF THE CELLULOSE FIBER AS A VISUAL GUIDE. THE SLURRY SHALL BE APPLIED IN A DOWNWARD DRILLING MOTION VIA A FAN STREAM NOZZLE. CONTRACTOR SHALL INSURE THAT ALL OF THE SLURRY COMPONENTS ENTER AND MIX WITH THE SOIL.
 - IF SLURRY COMPONENTS ARE LEFT FOR MORE THAN TWO HOURS IN THE MACHINE, ADD 50% MORE OF THE ORIGINALLY SPECIFIED SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED WITHIN THE TWO HOURS AFTER MIXING. ADD 75% MORE OF THE ORIGINAL SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED EIGHT (8) HOURS AFTER MIXING. ALL MIXTURES MORE THAN EIGHT (8) HOURS OLD, SHALL BE DISPOSED, OFFSITE, AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL REMOVE ALL SLURRY SPRAYED ONTO HARDSCAPE AREAS INCLUDING CONCRETE WALKS, FENCES, WALLS, BUILDINGS, ETC. AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL SAVE ALL SEED AND FERTILIZER TAGS AND FIBER MULCH BAGS FOR THE LANDSCAPE ARCHITECT TO VERIFY COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

WARRANTY

- CONTRACTOR SHALL PROVIDE OWNER WITH A MINIMUM ONE YEAR WRITTEN WARRANTY FOR LABOR AND MATERIALS.
- CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FROM DATE OF ACCEPTANCE FOR TREES AND SHRUBS, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.
- WARRANTY FOR IRRIGATION SERVICE, PLUMBING, & DRAINAGE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR AND WILL INCLUDE START-UP, WINTERIZATION, AND SECOND SEASON START-UP. WARRANTY SHALL INCLUDE ALL LABOR, MATERIAL, TOOLS, AND EQUIPMENT AS NECESSARY TO PROVIDE A FUNCTIONING SYSTEM, FREE FROM DEFECTS AND ADJUSTED PROPERLY FOR APPROPRIATE WATER DELIVERY TO ALL PLANT MATERIAL.

TRAFFIC & SAFETY

- REFER TO BID DOCUMENTS AND COMPLY WITH ALL STATE & LOCAL REQUIREMENTS REGARDING APPROVED WORK TIMES, SCHEDULING OF INSTALLATION, AND ALL OTHER REQUIREMENTS.

REV	DATE	DESCRIPTION
1	05-08-24	ADD EX UTILITIES EAST SIDE OF BEECH ROAD



bayer becker
www.bayerbecker.com
6900 Tiersville Road, Suite A
Mason, OH 45040 - 513.338.6600

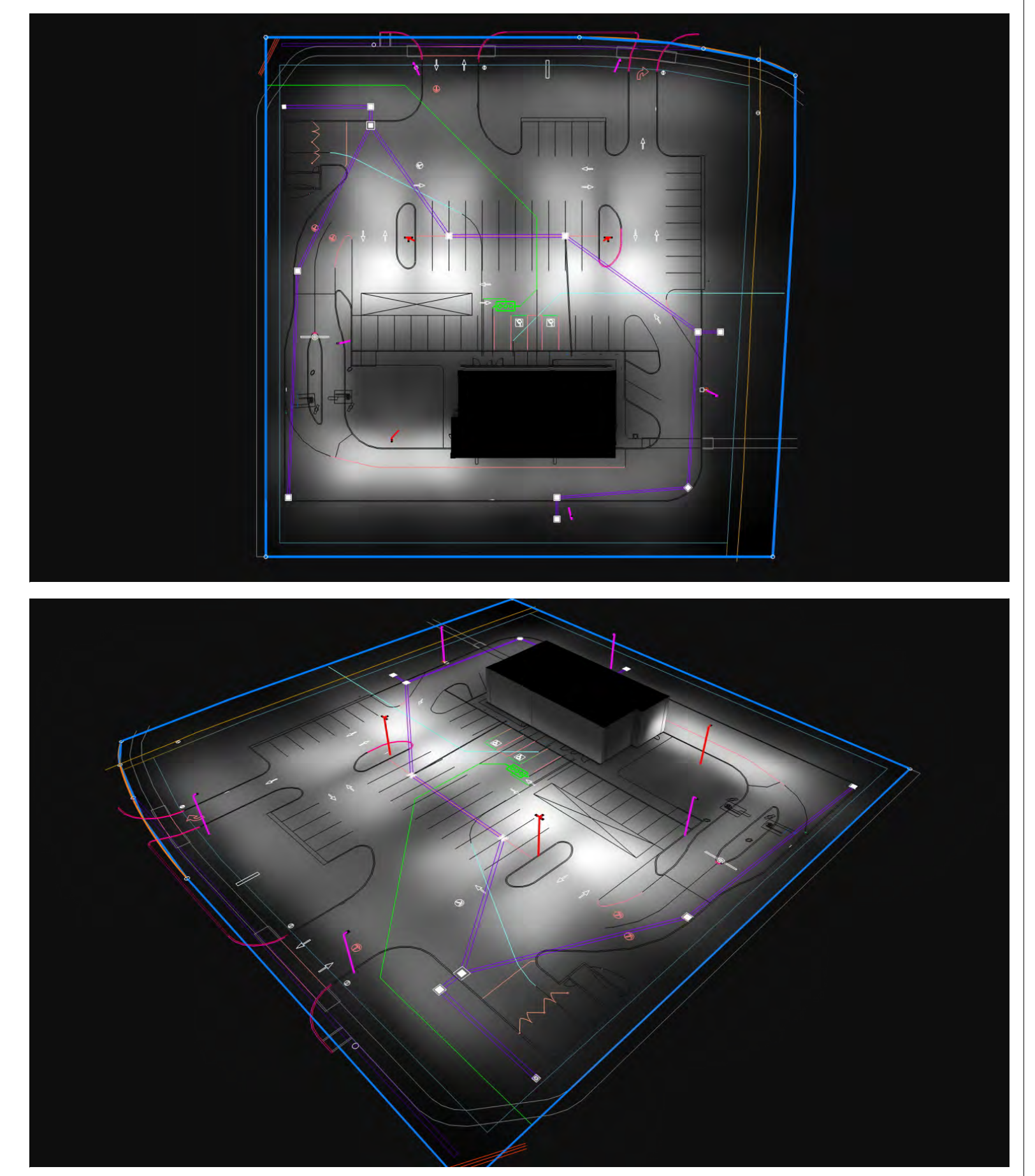
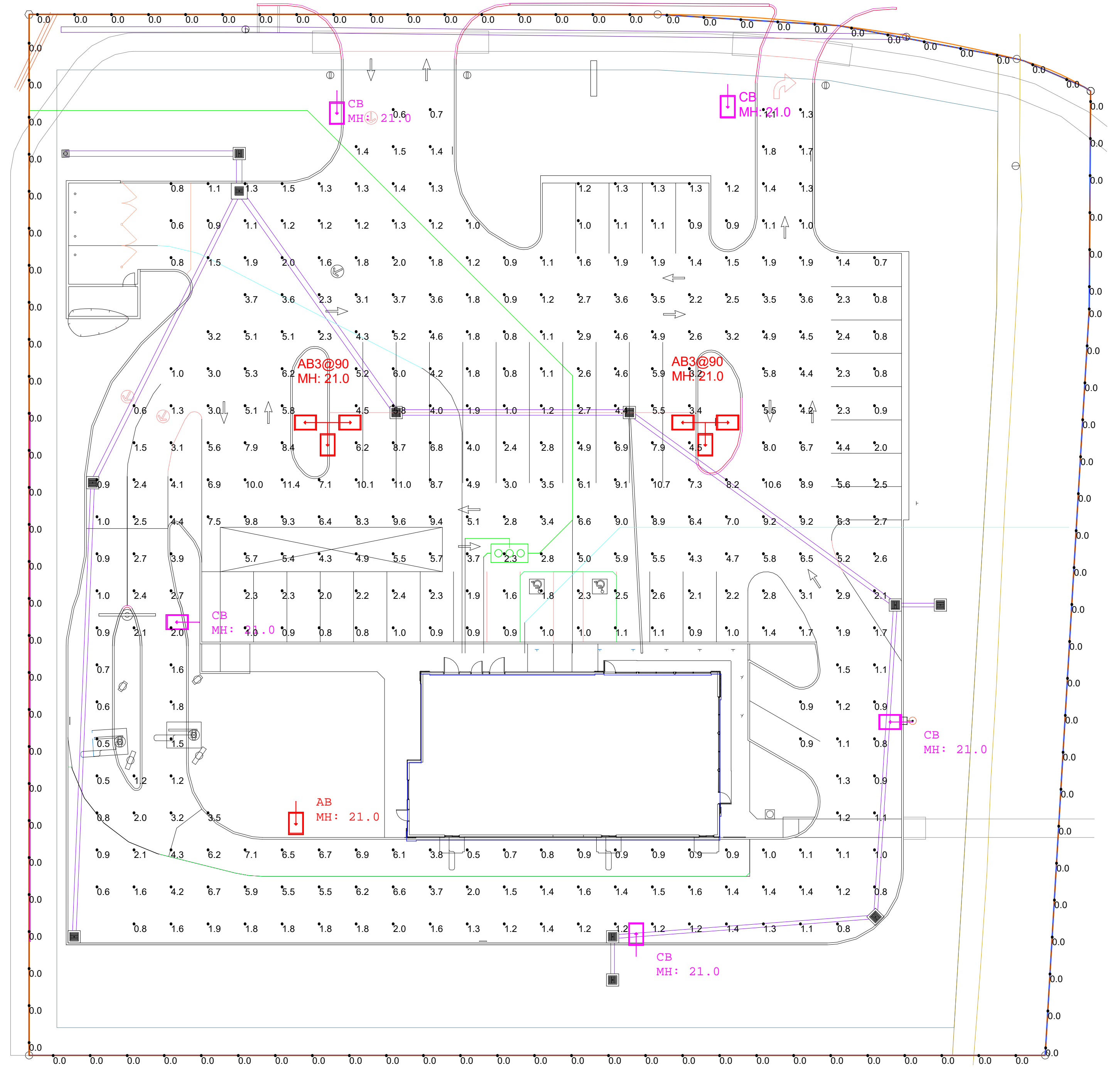
L/C# 34-2105

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED McDONALD'S RESTAURANT AT:
1955 BEECH ROAD
NEW ALBANY, LICKING COUNTY, OHIO

JOB NO: 23-0187
DATE: 04-17-24
SCALE: 1"=20'
PLANTING NOTES
SHEET: L2.1

NOTES:
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. DISTANCE BETWEEN READINGS _____ 10'



Pole Fixtures Are Full Cutoff
 Tilt=0
 Calculation Grids Are At Grade
 Pole Light Mounting Height=21ft
 (18' Pole + 3' Base)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.07	11.4	0.5	6.14	22.80
PROPERTY LINE READINGS	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
	2	AB3@90	3 @ 90 Degrees	0.850	RAR-2-480L-240-5K7-4W-BC	226.9	0.607	21	SES-18-40-1-TA-GL-xx (4")
	5	CB	Single	0.900	RAR-1-80L-50-5K7-3-BC	49.8	0.607	21	SES-18-40-1-TA-GL-xx (4")
	1	AB	SINGLE	0.900	RAR-2-480L-240-5K7-4W-BC	226.9	0.607	21	SES-18-40-1-TA-GL-xx (4")

PROJECT WIND LOAD CRITERIA BASED ON:
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
 50 YEAR MEAN RECURRENCE INTERVAL
 ALLOWED EPA 13.6 @ WIND LOAD 90 MPH

Regional Drawing
 # 23-0187

2100 Golf Road, Suite 400, Rolling Meadows, IL 60008
 1-800-544-4444

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
 SCALE 1"=20' 0"
 DRAWN BY VH

POINT-BY-POINT FOOTCANDLE PLOT FOR
 MCDONALD'S
 14062 WORTHINGTON RD
 JOHNSTOWN, OH

NATIONAL STORE NUMBER
41334

DATE 7/2/2024 DRAWING NUMBER
 A240259B.AGI

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
 3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
 4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

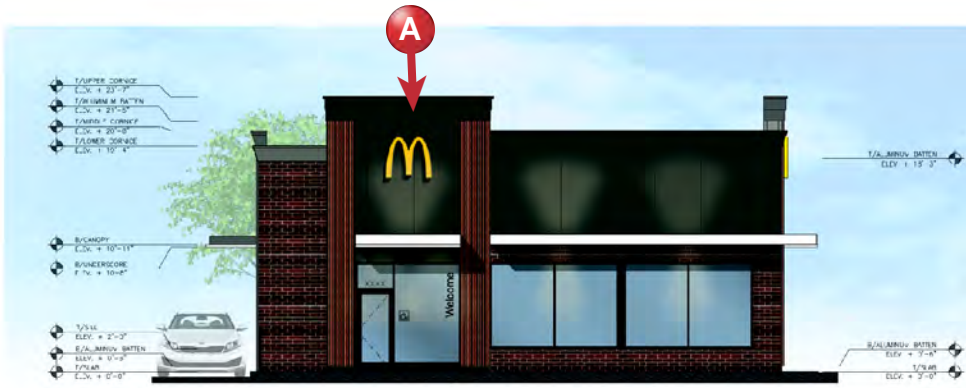


Prepared Exclusively for
Project # 27796

1955 BEECH RD NW
NEW ALBANY, OH 43031

May 21, 2024

Account Manager: Nancy Hall
nhall@everbrite.com (414) 529-3500



Front Elevation



Rear Elevation



Non-Drive-Thru Side Elevation

Materials Legend	
	Modular Face Brick "Medium Iron Spot 48" Smooth" by Endicott
	Apoc Metal Panel (Feature Wall) "Don Gray"
	Aluminum Battens Wood grain
	Aluminum Canopy (Prefinished Metal) "White"
	Aluminum Underscore (Prefinished) "White"
	Aluminum Trellis (Prefinished) "RAL 7022"
	Glazing (Windows & Storefront) 1" Insulated Clear Glass
	Storefront Mullions "Deep Bronze"
	Substrate Exterior Trim "Iron Ore" SW7069 by Sherwin Williams
	Metal Coping "Weathered Zinc"
	Service Doors & Frames "Eagle Rock" 1489 by Benjamin Moore



Drive-Thru Side Elevation

Sign Schedule	
A	42" NG Arch - Non-Illuminated



Proposed McDonald's Restaurant #034-2105
 1955 Beech Rd NW
 NEW ALBANY, OH
 May 15, 2024

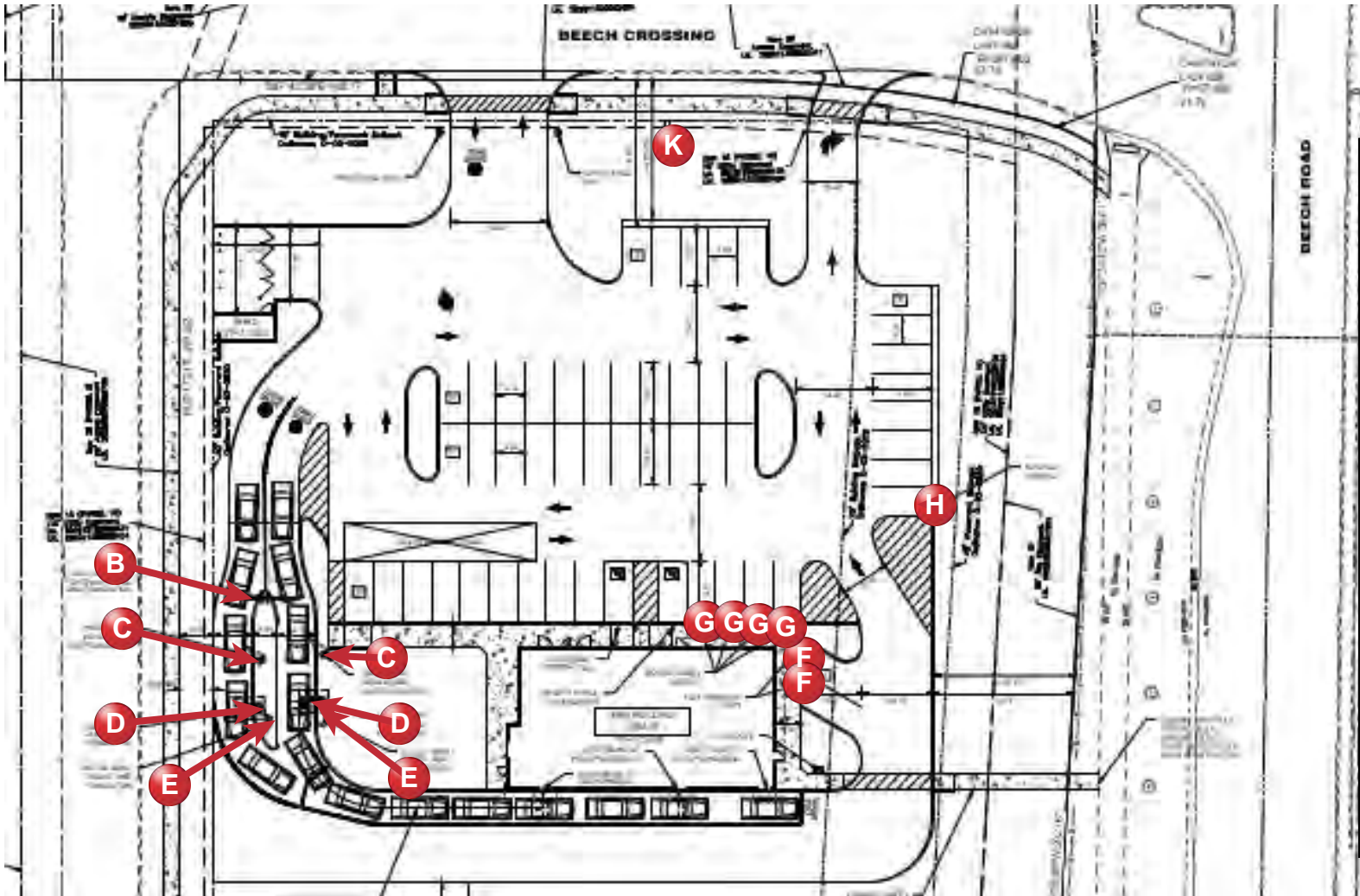


Everbrite, LLC · 4949 South 110th Street · Greenfield, WI 53228 · www.everbrite.com

Project No: 27796	Prepared By: Nancy Hall
Address: 1955 BEECH RD NW NEW ALBANY, OH 43031	Date: 05/21/2024
Description: MCDONALD'S REST #41334	PIF: 504060-0
Customer Signature:	

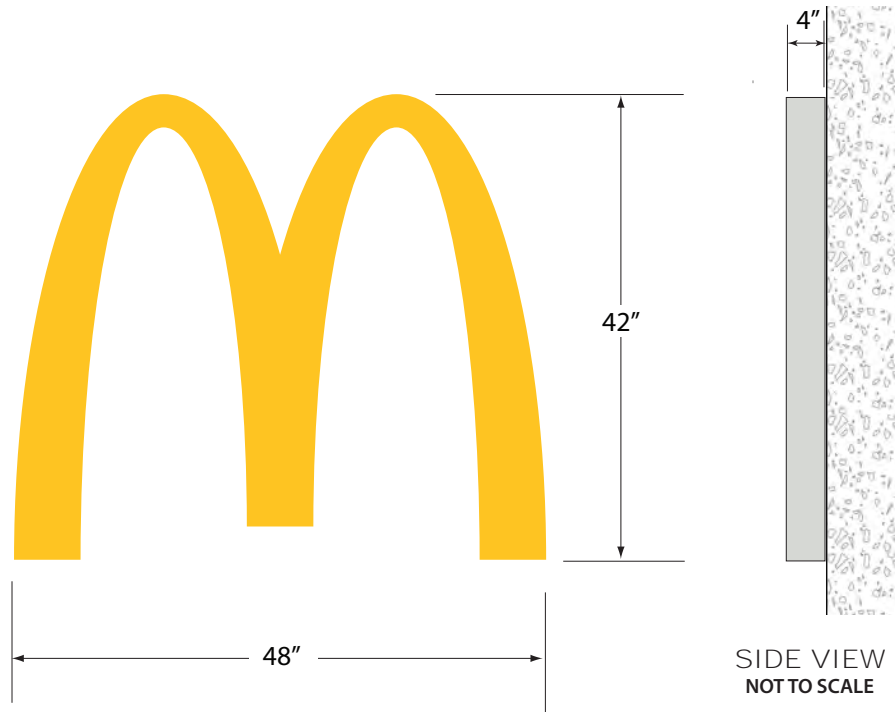


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Sign Schedule	
B	Double Welcome Point Gateway - RIB - CUSTOM
C	Outdoor Digital Pre-Browse
D	Springboard Slim RIB Canopy Char & White - CUSTOM
E	Outdoor Digital Menu Board
F	Drive-Thru Reserved - CUSTOM
G	Curbside Pick Up - CUSTOM
H	Courier Parking - CUSTOM
K	Monument Sign - CUSTOM

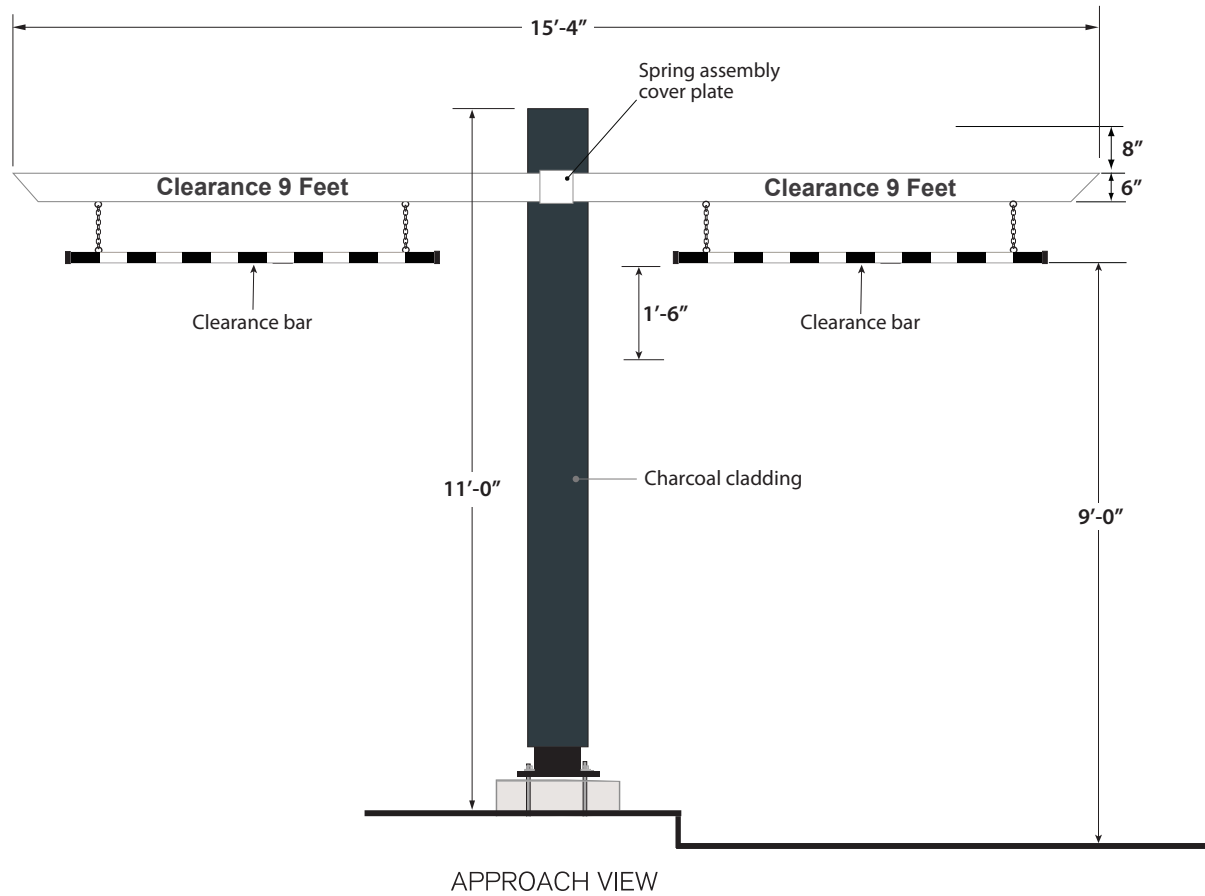
42" Next Gen Arch



SIGN DETAILS:

Injection-molded logo with PMS123C Yellow and Next Gen Silver return

Double Welcome Point Gateway - Ribbon & Blade

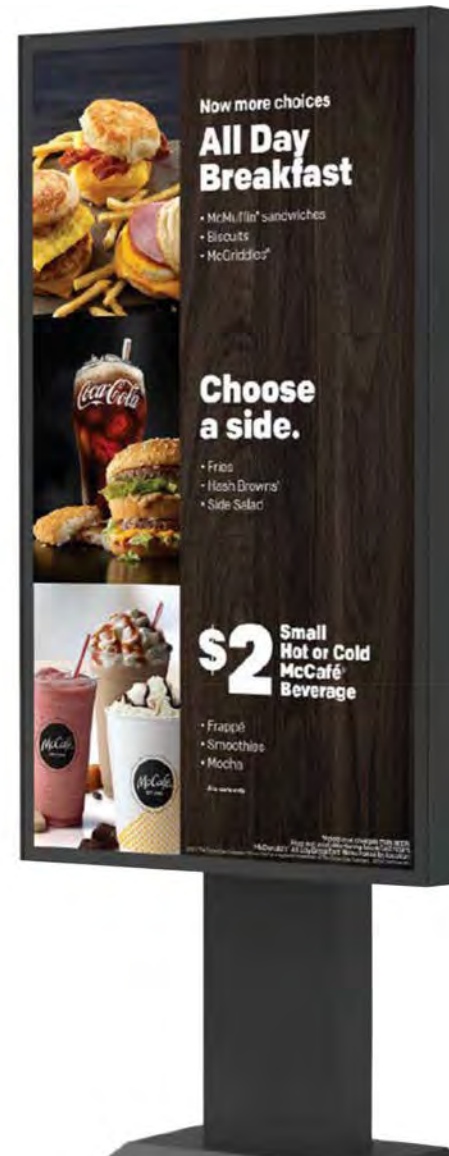
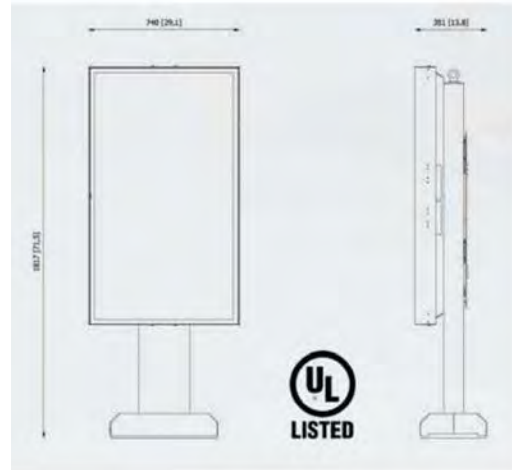


SIGN DETAILS:

Non-illuminated clearance sign with spring loaded clearance arms

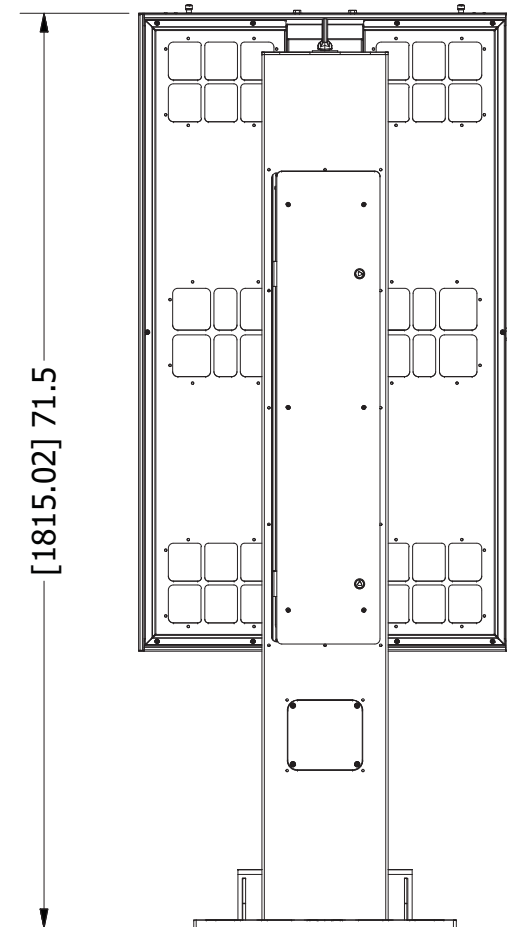
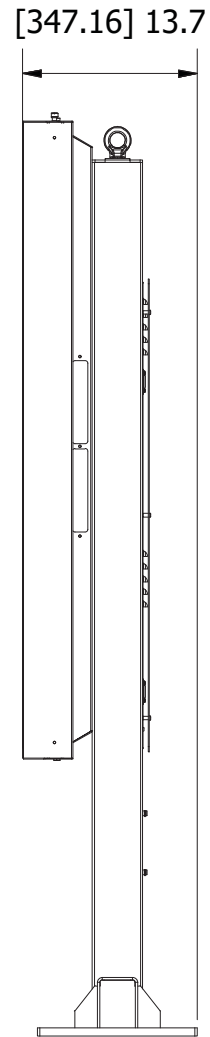
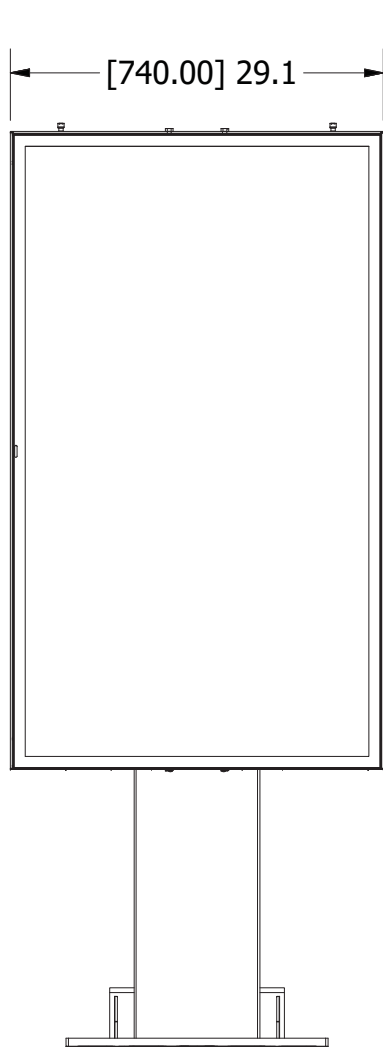
Clearance copy to be black vinyl

Adjustable white and black bang bar



Coates ODMB

Single screen unit



Coates ODMB

Single screen unit

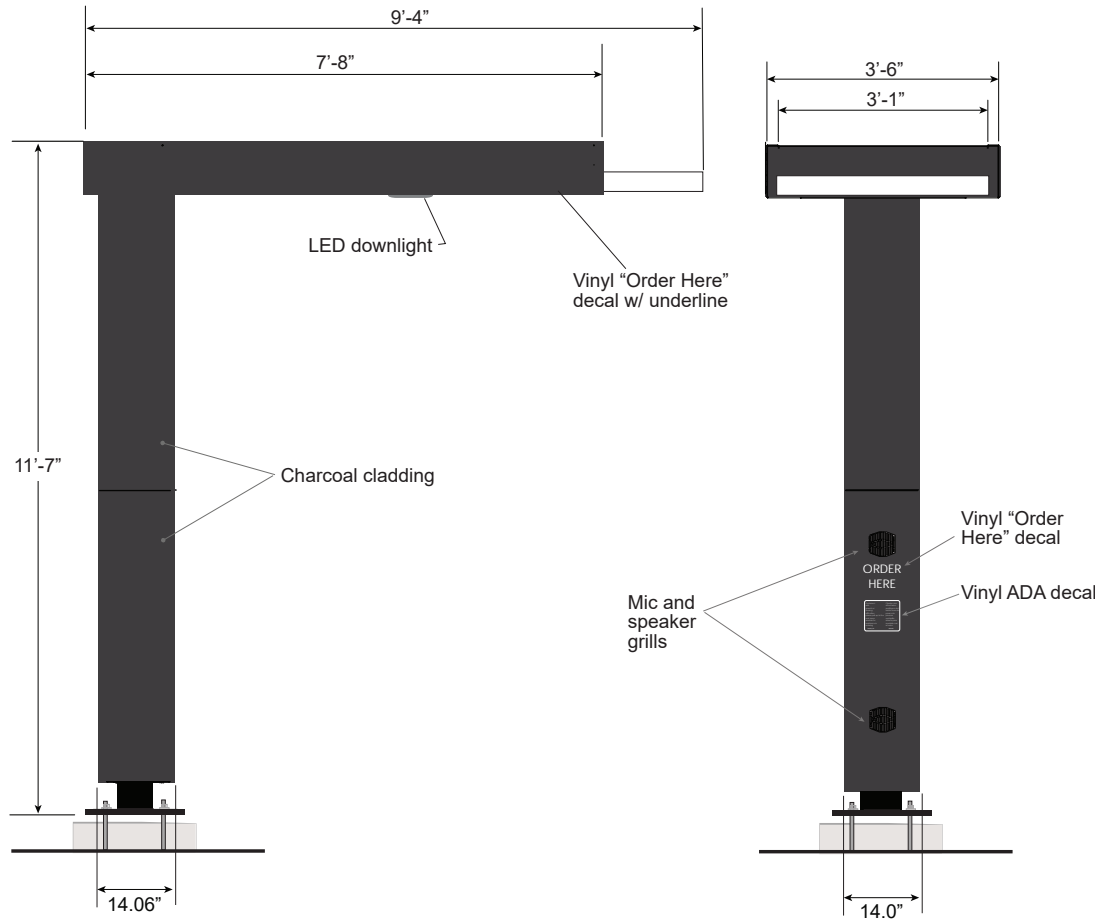


PRE-BROWSE BOARD

Area of display

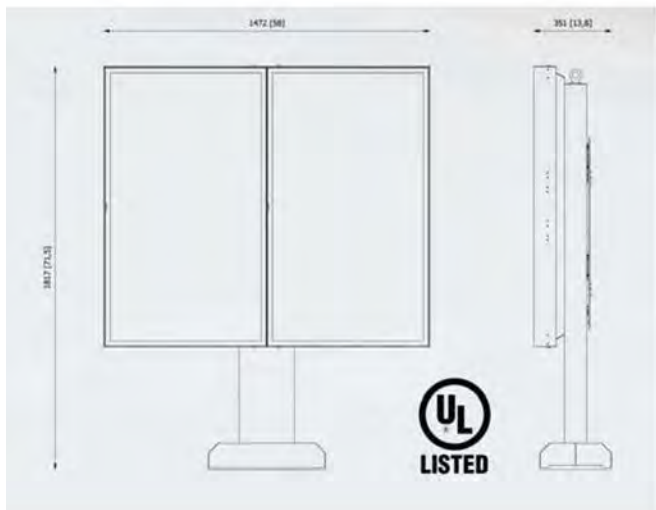


Slim Springboard Canopy - Ribbon & Blade



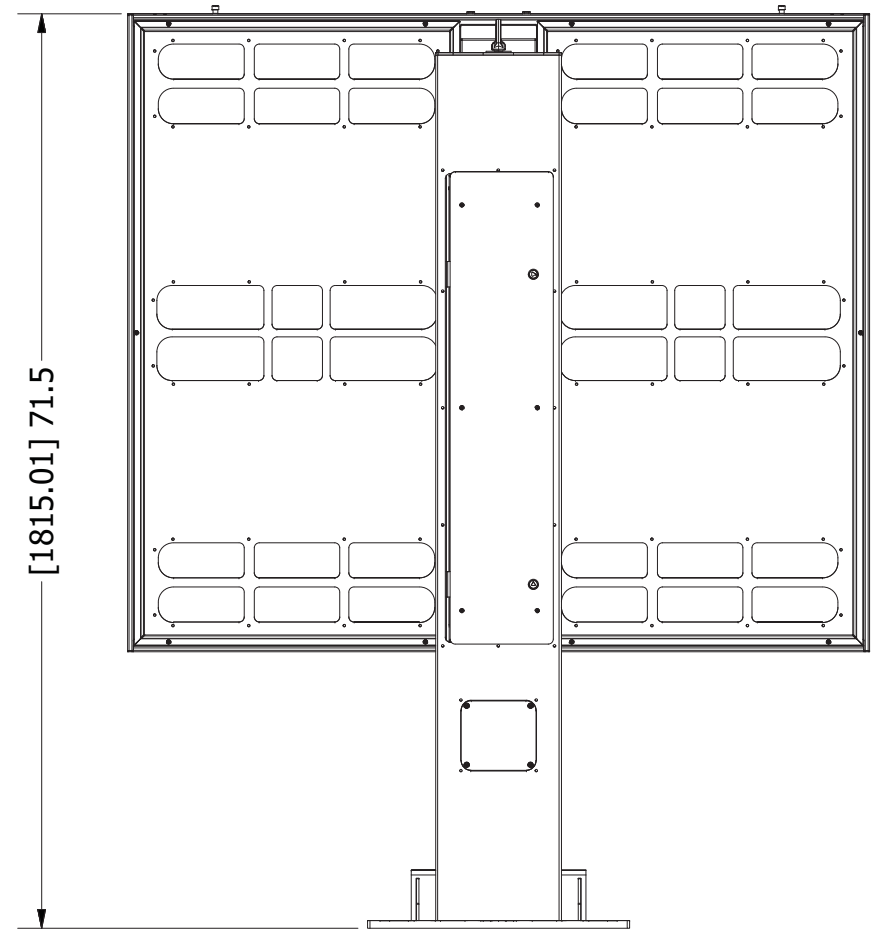
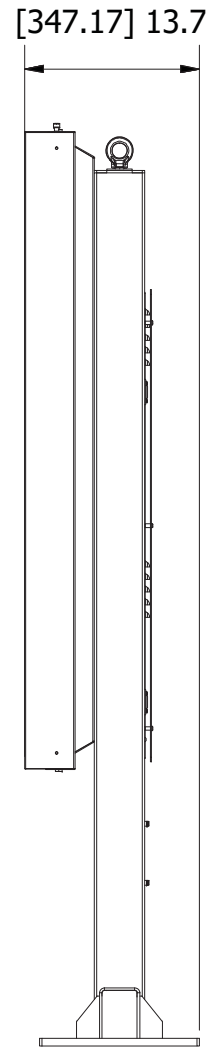
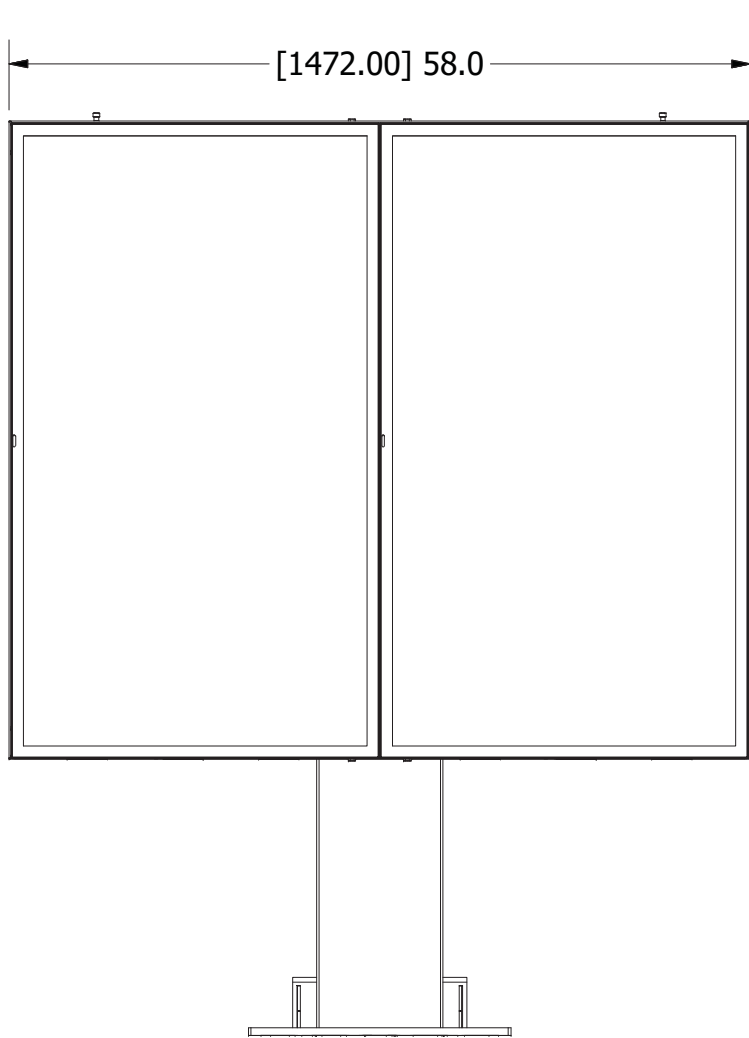
SIGN DETAILS:

- LED illuminated order canopy and cladding
- Next Gen Charcoal with White accents
- Audio provided by others



Coates ODMB

Double screen unit



Coates ODMB

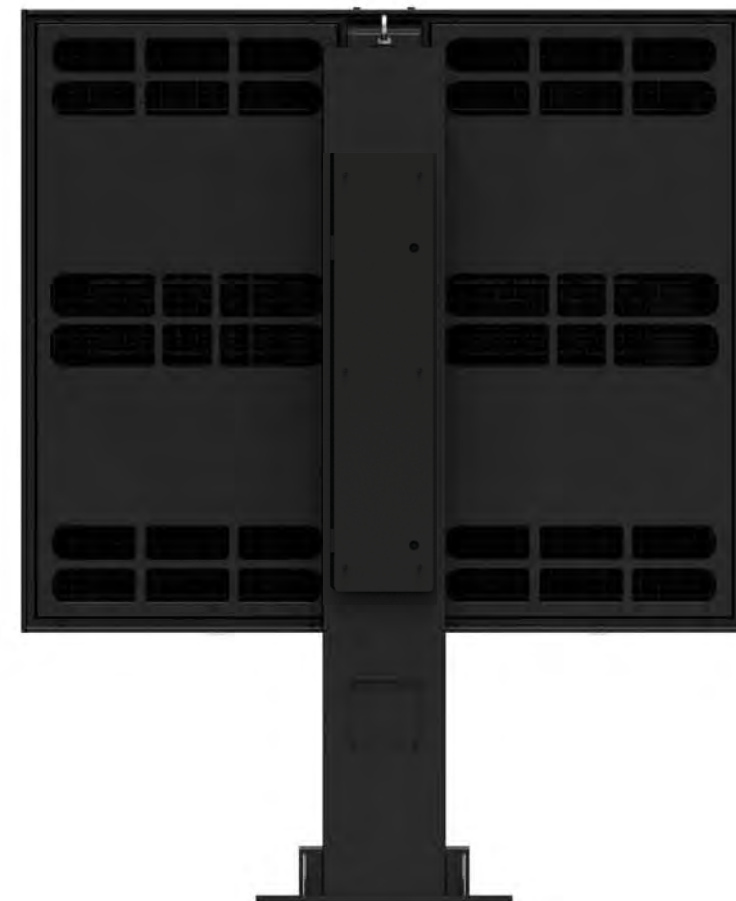
Double screen unit

MENU BOARD

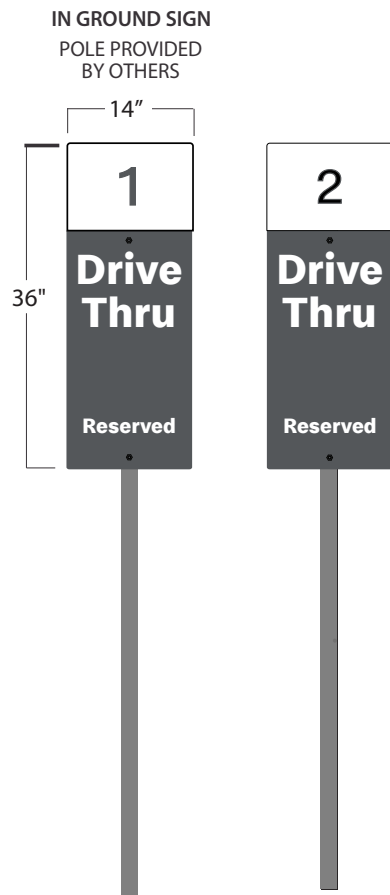


Area of display

Area of display



ROA Drive Thru Reserved Signage

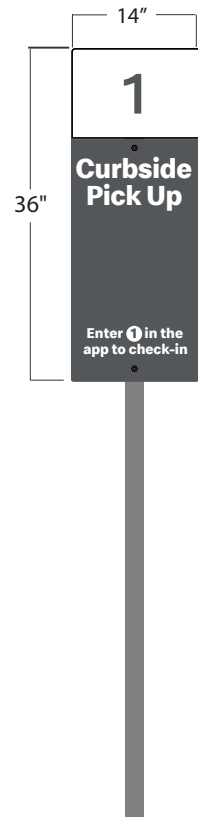


SIGN DETAILS:

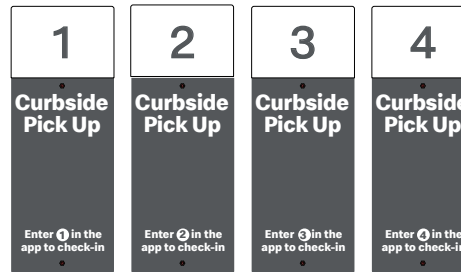
- Non-illuminated ACM panel
- Next Gen Charcoal with matte finish screened copy and graphics
- Reflective white vinyl number square

ROA Curbside Pick Up Signage

IN GROUND SIGN

POLE PROVIDED
BY OTHERS

FACE OPTIONS



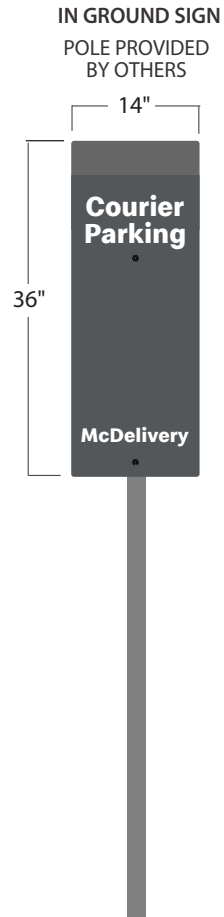
SIGN DETAILS:

Non-illuminated ACM panel

Next Gen Charcoal with matte finish screened copy and graphics

Reflective White vinyl number square

ROA Courier Parking - McDelivery Signage



SIGN DETAILS:

Non-illuminated ACM panel

Next Gen Charcoal with matte finish screened copy



Alumminum sign panel ptd. McD Charcoal Matte finish
Thickness: 0.090"

Aluminum Arch ptd. to match PMS 123C Yellow
Thickness: 0.50"

4" x 8" tube frame
Color: White (RAL 9003)

Trim (Reveal)
Color: White (RAL 9003)
Thickness: 0.50"

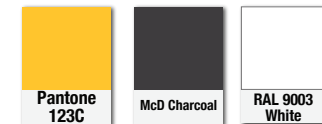
Aluminum letters mtd. to sign face
Color: White (RAL 9003)
Height: 3"
Thickness: 0.50"

Precast Cap (1" overhang on all sides)
Painted White (RAL 9003) - Provided by others

Brick Base: Painted White (RAL 9003)
Provided by others

Externally illuminated with ground flood on both sides - Provided by others

Colors:



NextGen Drive-Thru Trellis Decals



Note: The drive through trellis is located above ea. drive thru window so there will be a quantity of three.

Product Details:

48" charcoal and white drive-thru trellis ONLY.



Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:

Description: NextGen Drive-Thru Trellis

Project No: 427793-8

Drawn By: CMH

Date: 02/14/2024

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