DEVELOPMENT TEAM

APPLICANT

PANDA RESTAURANT GROUP 1683 WALNUT GROVE AVE. ROSEMEAD, CA 91770-3711 CONTACT: BRIAN KAN PHONE: 626-372-8550

CIVIL ENGINEER

ATWELL, LLC 12745 23 MILE ROAD, SUITE 200 SHELBY TOWNSHIP, MI 48315 CONTACT: MICHAEL McPHERSON PHONE: 586-786-9800

ARCHITECT

HEIGHTS VENTURE
ARCHITECTURE + DESIGN
CONTACT: ERIC ABELN
PHONE: 281-854-6119
EMAIL: eric.abeln@hva.cc

SURVEYED PARCELS

MUNICIPALITY

CITY OF NEW ALBANY 99 W MAIN ST NEW ALBANY, OH 43054 CONTACT: N/A PHONE: 614-855-3913

WATER

CITY OF COLUMBUS 111 N. FRONT ST COLUMBUS, OH 43215 PHONE: 614-645-8276

SESC

FRANKLIN COUNTY ENGINEERS OFFICE 970 DUBLIN RD COLUMBUS, OH 43215 PHONE: 614-525-3072

STORMWATER

NEW ALBANY PUBLIC SERVICE DPT 7800 BEVELHYMER RD NEW ALBANY, OH 43054 PHONE: 614-855-0076 EMAIL: publicservice@newalbanyohio.org

GAS

GOVERNING AGENCIES / UTILITY CONTACTS

COLUMBIA GAS OF OHIO 3550 JOHNNY APPLESEED CT COLUMBUS, OH 43231 PHONE: 614-818-2107

DATA/TELEPHONE

AT&T 111 NORTH 4TH ST COLUMBUS, OH 43215 CONTACT: RON HARRISON PHONE: (614) 223-4362

ELEC.

AEP OHIO PHONE: 614-883-7832

SITE PLANS



SEC OF SMITH'S MILL RD AND US-62 (ADDRESS TBD)
NEW ALBANY, OHIO, 43054

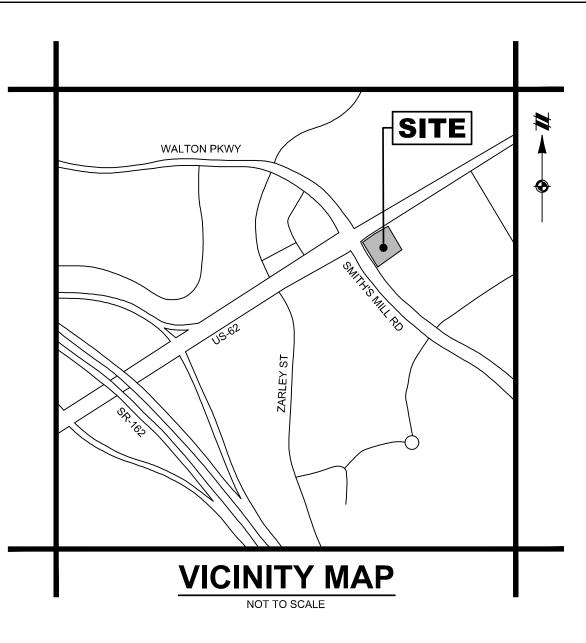
PREPARED BY:

Atwell, LLC 12745 23 Mile Road Shelby Township, Michigan 48315 Telephone: 586-786-9800

PREPARED FOR:

PANDA RESTAURANT GROUP INC. 1683 Walnut Grove Ave. Rosemead, California 91770 Telephone: 626.799.9898

Facsimile: 626.372.8288





NOT TO SCALE

PROJECT NARRATIVE

SITE LEGAL DESCRIPTION

SEE ATTACHED ALTA SURVEY FOR FULL LEGAL DESCRIPTION OF

THIS PROJECT PROPOSES TO CONSTRUCT A 2,600 SQUARE FOOT PANDA EXPRESS RESTAURANT WITH DRIVE-THRU ON SMITH'S MILL ROAD AND JOHNSTON RD (US-62).

PANDA EXPRESS STANDARD NOTES

- THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS SITE AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THE REPORTS, RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORTS RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION, ETC.
 CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL
- SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

 3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO
- 4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

24—HOUR CONTACT: PANDA PM



CONSTRUCTION.

THE LOCATIONS OF EXISTING
UNDERGROUND UTILITIES ARE SHOWN IN
AN APPROXIMATE WAY ONLY AND HAVE
NOT BEEN INDEPENDENTLY VERIFIED BY
THE OWNER OR ITS REPRESENTATIVE.
THE CONTRACTOR SHALL DETERMINE THE
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SITE DATA

PARCEL DATA

PARCEL ID# GROSS AREA ZONING
222-000347 1.25 AC. IPUD

BUILDING DATA

BLDG HEIGHT
PANDA 22.5 FEET

GROSS FLOOR AREA BLDG COVERAGE
2,600 SFT 4.59%

STANDARD PARKING DATA

PROPOSED REQUIRED FORMULA

37 SPACES 35 SPACES 1 SPACE/75 GFA = 2600 SF/75 SF

ACCESSIBLE PARKING DATA

	PROPOSED	REQUIRED	FORMULA
TOTAL	2 SPACES	2 SPACES	26-50 TOTAL SPACES
VAN	1 SPACES	1 SPACE	1/6 ACCESSIBLE SPACES

STACKING DATA

	PROVIDED	REQUIRED	<u>FORMULA</u>
STACKING	19 SPACES	9 SPACES	25% OF TOTAL PARKING

SHEET INDEX

C01 COVER

C02 OVERALL LAYOUT PLAN

C03 SITE LAYOUT PLAN
C04 PRELIMINARY GRADING AND STORMWATER PLAN

C05 PRELIMINARY UTILITY PLAN

C06 LANDSCAPING PLAN

C07 LANDSCAPING DETAILS

C08 SESC PLAN - STAGE I C09 SESC PLAN - STAGE II

C10 SESC DETAILS

C11 SESC DETAILS C12 SESC NOTES

ATTACHED PLANS ALTA SURVEY

PHOTOMETRIC PLAN
A-101 FLOOR PLAN
A-103 FLOOR PLAN
A-202 EXTERIOR PERSPECTIVES
A-203 SIGNAGE PLAN
A-204 SIGNAGE PLAN

A-205 MONUMENT SIGN PLAN A-407 TRASH ENCLOSURE DETAILS

E-1 PHOTOMETRIC PLAN E-2 FIXTURE PLAN

E-3 FIXTURE PLAN



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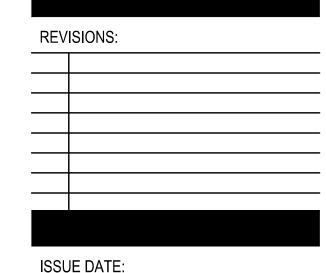
PANDA RESTAURANT GROUP INC

1683 Walnut Grove Ave.

Rosemead, California

Telephone: 626.799.9898

Facsimile: 626.372.8288



11-08-2023 NACO COORDINATION 12-07-2023 NACO COORDINATION 01-25-2024 NACO COORDINATION

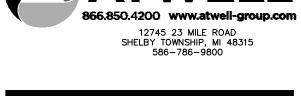
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203 PANDA STORE #:

ENGR PROJECT #: 23002030



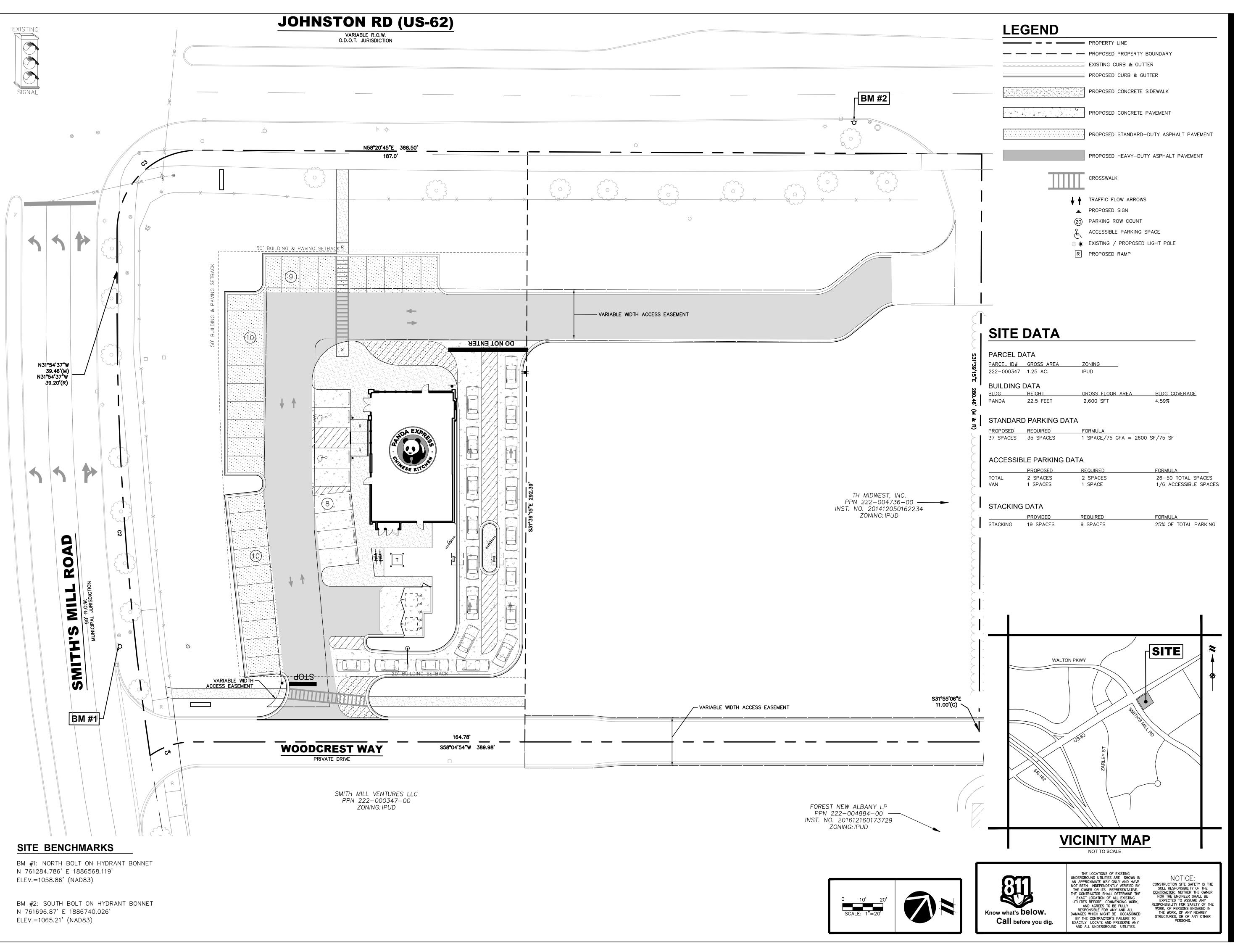


PANDA EXPRESS

TRUE WARM & WELCOME SMITH'S MILL RD & JOHNSTOWN RD NEW ALBANY, OH

C01

COVER





PANDA RESTAURANT GROUP INC. 1683 Walnut Grove Ave. Rosemead, California 91770

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ATWELL

866.850.4200 www.atwell-group.com

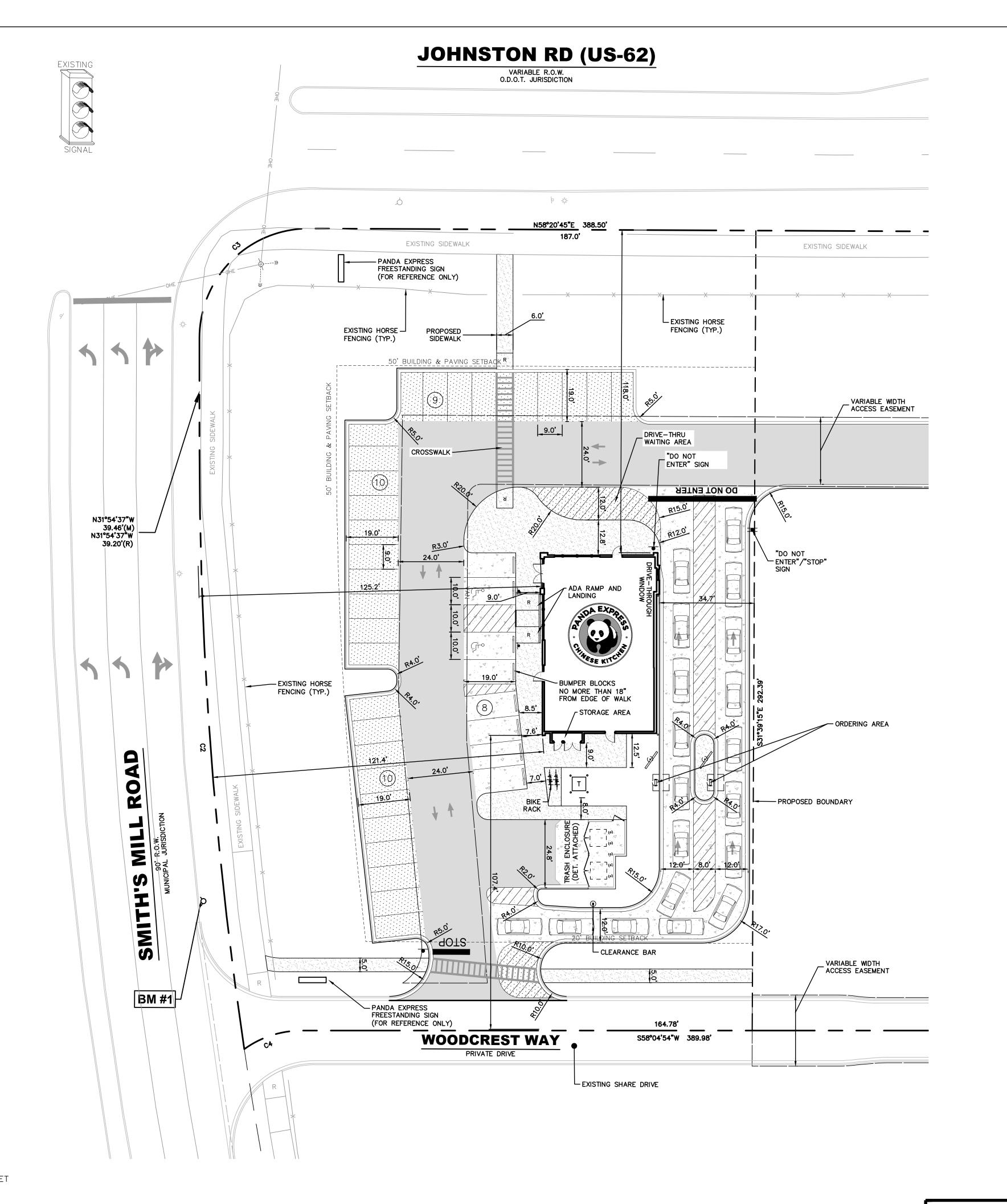
12745 23 MILE ROAD
SHELBY TOWNSHIP, MI 48315
586-786-9800

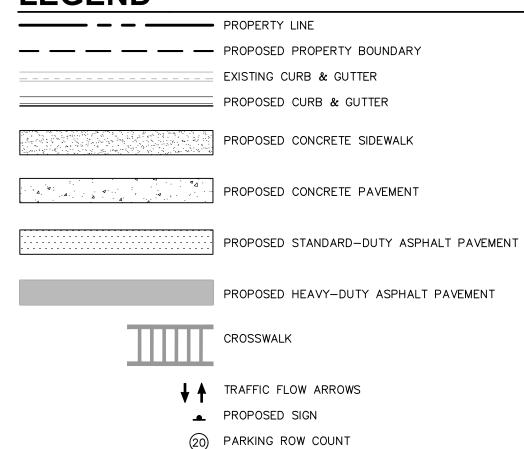
PANDA EXPRESS

TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C02

OVERALL LAYOUT PLAN





NOTES

1. SEE OVERALL SITE LAYOUT SHEET FOR ADJACENT PARCEL OWNERSHIP AND ZONING.

ACCESSIBLE PARKING SPACE

R PROPOSED RAMP

SITE DATA

PARCEL DATA

PARCEL ID# GROSS AREA ZONING

222-000347 1.25 AC. IPUD

BUILDING DATA

BLDGHEIGHTGROSS FLOOR AREABLDG COVERAGEPANDA22.5 FEET2,600 SFT4.59%

STANDARD PARKING DATA

PROPOSED REQUIRED FORMULA

37 SPACES 35 SPACES 1 SPACE/75 GFA = 2600 SF/75 SF

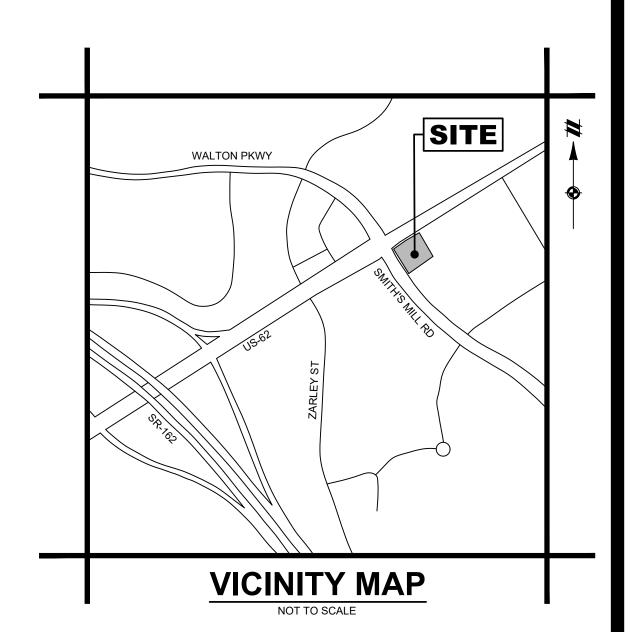
ACCESSIBLE PARKING DATA

	PROPOSED	REQUIRED	FORMULA
TOTAL	2 SPACES	2 SPACES	26-50 TOTAL SPACES
VAN	1 SPACES	1 SPACE	1/6 ACCESSIBLE SPACES

STACKING DATA

PROVIDED REQUIRED FORMULA

STACKING 19 SPACES 9 SPACES 25% OF TOTAL PARKING



Know what's below. Call before you dig.

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PANDA PROJECT #: D28203
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ENGR PROJECT #: 23002030



PANDA EXPRESS

TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

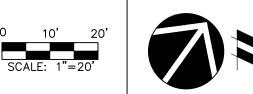
C03

SITE LAYOUT PLAN

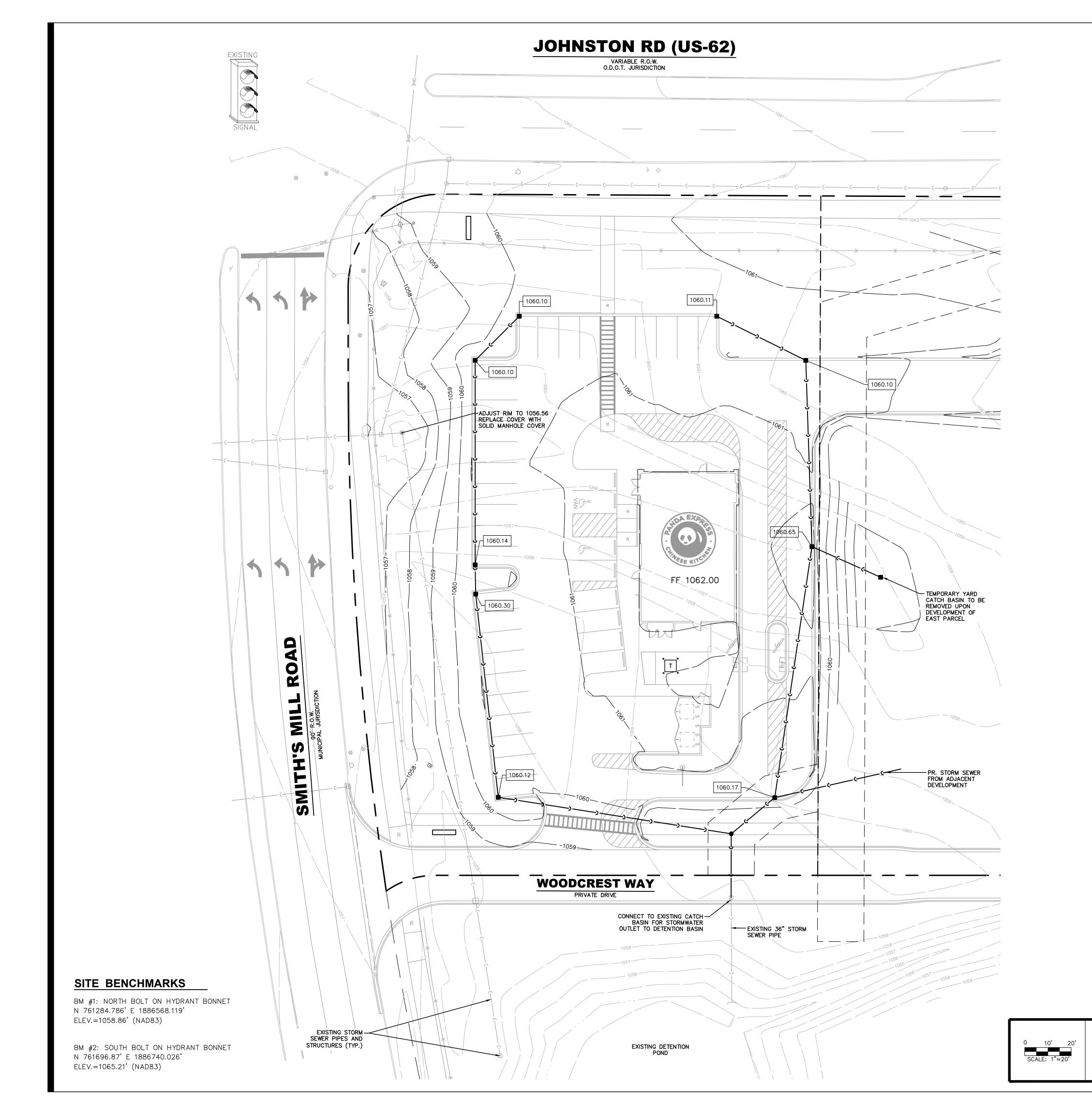
SITE BENCHMARKS

BM #1: NORTH BOLT ON HYDRANT BONNET N 761284.786' E 1886568.119' ELEV.=1058.86' (NAD83)

BM #2: SOUTH BOLT ON HYDRANT BONNET N 761696.87' E 1886740.026' ELEV.=1065.21' (NAD83)







PROPERTY LINE PROPOSED CONTOUR EXISTING CONTOUR BIOSWALE PROPOSED STORM SEWER EXISTING STORM SEWER ○ ● EXISTING / PROPOSED MANHOLE

☐ ■ EXISTING / PROPOSED CATCH BASIN

NOTES

1. REFER TO SURVEY FOR BENCHMARK(S). 2. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.

3. ALL ELEVATIONS SHOWN ARE TOP OF PAVEMENT/FINISH GRADE UNLESS OTHERWISE NOTED.

4. PROPOSED ELEVATIONS FOR STRUCTURES ARE: HYDRANT = BASE FLANGE VALVE/MANHOLE/CLEANOUT = RIM CATCH BASIN/INLET = RIM/FLOW LINE

STORMWATER NARRATIVE

ON-SITE RUNOFF WILL GENERALLY SHEET FLOW TO A SERIES OF CATCH BASINS WHICH WILL BE CONVEYED VIA A STORM SEWER NETWORK TO AN EXISTING DETENTION POND, THAT HAS BEEN SIZED TO ACCOMMODATE STORM WATER FROM THIS SITE, LOCATED TO THE SOUTHEAST OF THE SITE.

STORM WATER IN PERVIOUS AREAS IN THE FRONT YARD OF THE SITE WILL BE CONVEYED VIA A STORM SWALE TO AN EXISTING YARD CATCH BASIN NEAR THE SMITH'S MILL ROAD RIGHT OF WAY.



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DRAWN BY: EO/SH

PANDA PROJECT #: D28203 PANDA STORE #: ENGR PROJECT #: 23002030

SITE WALTON PKWY **VICINITY MAP**





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NOTICE:

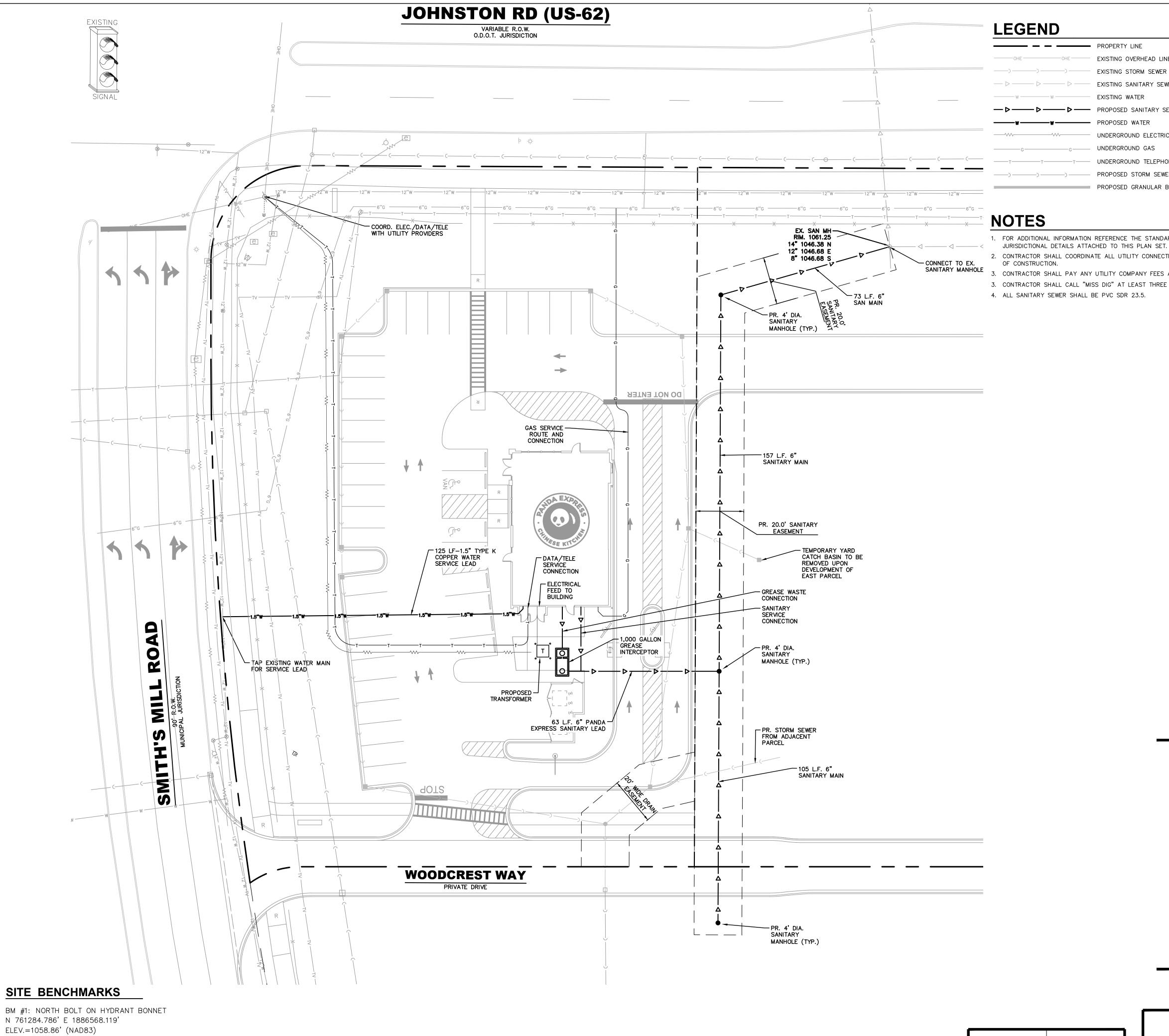
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PANDA EXPRESS

TRUE WARM & WELCOME SMITH'S MILL RD & JOHNSTOWN RD **NEW ALBANY, OH**

PRELIMINARY GRADING AND STORMWATER PLAN



PROPERTY LINE ○ • EXISTING / PROPOSED MANHOLE EXISTING OVERHEAD LINES EXISTING STORM SEWER — D — D — EXISTING SANITARY SEWER EXISTING WATER — ▶ — → PROPOSED SANITARY SEWER PROPOSED WATER UNDERGROUND ELECTRIC ____________________________UNDERGROUND GAS UNDERGROUND TELEPHONE/DATA PROPOSED STORM SEWER PROPOSED GRANULAR BACKFILL

NOTES

- 1. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAIL SHEET(S), AND ANY MUNICIPALITY AND/OR
- 2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH UTILITY COMPANY OR AUTHORITY HAVING JURISDICTION PRIOR TO START

EXISTING / PROPOSED HYDRANT

EXISTING / PROPOSED LIGHT POLE

PROPOSED CLEANOUT

EXISTING UTILITY POLE

EXISTING / PROPOSED CATCH BASIN

EXISTING / PROPOSED VALVE OR STOP BOX

- SANITARY MANHOLE

 3. CONTRACTOR SHALL PAY ANY UTILITY COMPANY FEES ASSOCIATED WITH SERVICE INSTALLATION.
 - 3. CONTRACTOR SHALL CALL "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION.
 - 4. ALL SANITARY SEWER SHALL BE PVC SDR 23.5.

DRAWN BY: EO/SH PANDA STORE #:

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91770

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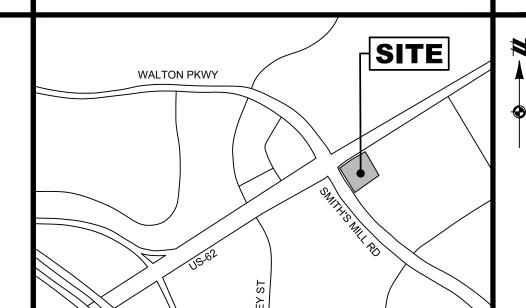
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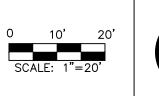
PRELIMINARY UTILITY PLAN

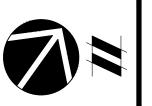


VICINITY MAP

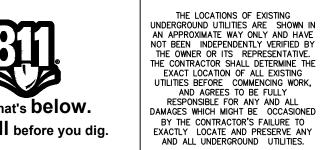
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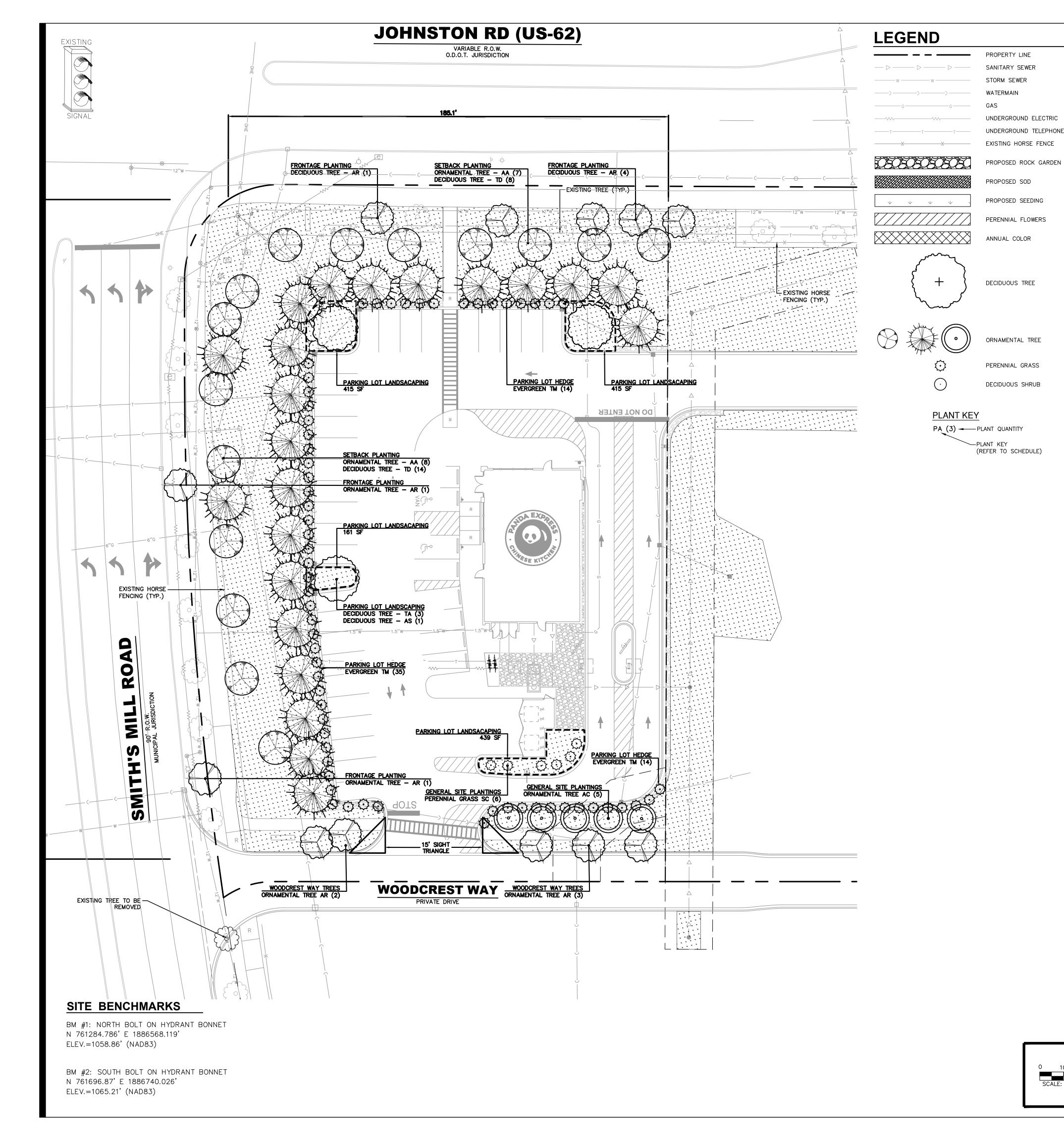
BM #2: SOUTH BOLT ON HYDRANT BONNET N 761696.87' E 1886740.026' ELEV.=1065.21' (NAD83)











OPEN SPACE

PROVIDED OPEN SPACE TOTAL SITE AREA PERCENTAGE OPEN SPACE 38,737.13 SF 64,712.25 SF 59.86%

LANDSCAPE REQUIREMENTS SUMMARY

TEM	QTY PROVIDED	QTY REQUIRED	<u>FORMULA</u>
STREET TREE REQUIREMENTS SMITH'S MILL RD TREES US-62 TREES	7 TREES* 10 TREES*	7 TREES 10 TREES	1 TREE/30 LF OF FRONTAGE (185 LF) 1 TREE/30 LF OF FRONTAGE (277 LF)
COUNT INCLUDES EXISTING TREES	BETWEEN SIDEWALK	AND ROAD	
SETBACK TREE REQUIREMENTS SMITH'S MILL RD TREES US-62 TREES	15 TREES 22 TREES	15 TREES 22 TREES	8 TREES/100 LF OF FRONTAGE (185 LF) 8 TREES/100 LF OF FRONTAGE (277 LF)
GENERAL SITE LANDSCAPING TREES**	5 TREES	5 TREES	1 TREE/5,000 SF IMPERVIOUS AREA
*TOTAL TREE PLANING EQUAL TO	11.5 INCHES OF TRU	NK SIZE	
PARKING LOT LANDSCAPING LANDSCAPED AREA***	1,430 SF	1,012 SF	8 SF/ 100 SF PARKING AREA (12,654 SF)

4 TREES

1 TREE/10 PARKING SPACES

***MINIMUM SIZE OF LANDSCAPED AREA IS 350 SF AND MUST CONTAIN 1 DECIDUOUS CANOPY TREE PER 10 PARKING SPACES

DECIDUOUS CANOPY TREE SCHEDULE

(EY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
\S	-	SUGAR MAPLE	ACER SACCHARUM	5" CAL.	B & B
TA		TILIA AMERICANA	AMERICAN LINDEN	5" CAL.	B &

DECIDUOUS ORNAMENTAL TREE SCHEDULE

K	(EY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
A	۸C	5	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	2.5" CAL.	В & В
A	١R	12	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2.5" CAL.	В & В
A	λA	15	AMELANCHIER ARBOREA	COMMON SERVICEBERRY	2.5" CAL.	B & B

EVERGREEN TREE SCHEDULE

4 TREES

KEY QTY BOTANICAL NAME	COMMON NAME	SIZE	NOTES NOTES
TD 22 TAXODIUM DISTICHUM	BALD CYPRUS	2.5" CAL.	В & В

PERENNIAL GRASS SCHEDULE

<u>KEY</u>	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SC	6	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	24"	В & В

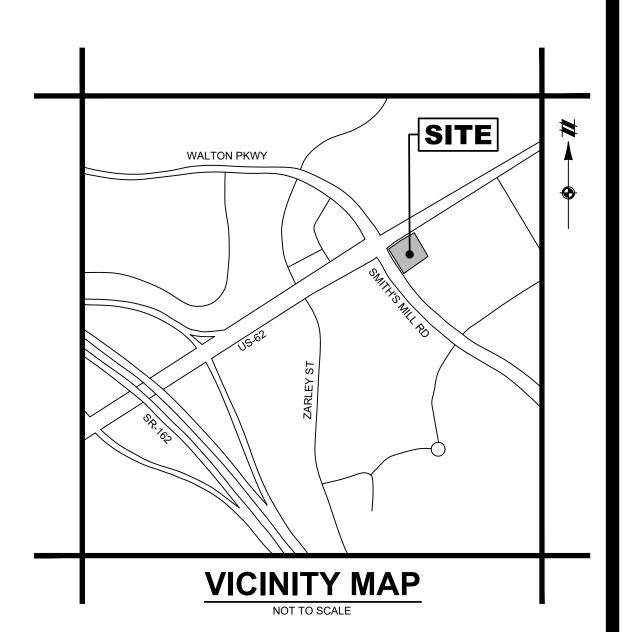
EVERGREEN SHRUB SCHEDULE

KEY QTY BOTANICAL NAME	COMMON NAME	SIZE	NOTES.
TM 63 TAXUS X. MEDIA 'DENSIFORMIS	DENSE YEW	36"	CONT.*

NOTES TO CONTRACTOR

*TO BE TOUCHING ON INSTALLATION

- 1. ALL DISEASED, DAMAGED, OR DEAD PLANTING MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH STANDARDS OF THE CITY OF NEW ALBANY ZONING ORDINANCE.
- 2. ALL PLANTS SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS.
- 3. ALL LANDSCAPED AREAS SHALL BE COVERED BY GRASS OR OTHER LIVING GROUND COVER. GRASS AREAS SHALL BE PLANTED IN SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN THE CITY OF STERLING HEIGHTS.
- 4. PROVIDE SHREDDED HARDWOOD MULCH AROUND THE BASE OF ALL TREES.
- 5. ALL TREE STAKING IN PARKING LOT ISLANDS SHALL BE REMOVED IN AREAS OPEN TO BUSINESS.
- 6. SITE IRRIGATION TO BE PROVIDED FOR ALL PROPOSED LANDSCAPE IMPROVEMENT AREAS AND LAWN AREAS. CONTRACTOR TO COORDINATE DESIGN BUILD PLANS FOR IRRIGATION.







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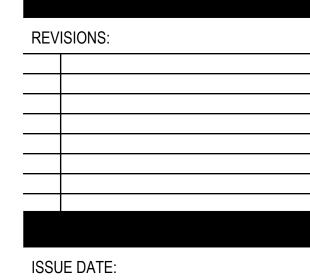


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DRAWN BY: EO/SH

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PANDA EXPRESS

TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C06

LANDSCAPING PLAN

GENERAL NOTES

- LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTINGS AND RELATED WORK. LANDSCAPE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS ON PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING 811 PRIOR TO STAKING PLANT LOCATIONS. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES CONTACT LANDSCAPE ARCHITECT AND OR OWNER'S REPRESENTATIVE WITH ANY CONCERNS. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION. TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS AND MUST BE MAINTAINED AS APPROVED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUBS MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWING OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED, ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- 5. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT AND OWNER BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS OF THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY 4" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL DEPTH IN ALL LAWN AREAS. BACKFILL AND CROWN PARKING LOT ISLANDS 6" ABOVE ADJACENT CURBS WITH TOPSOIL. BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
- ACCEPTANCE OF GRADING AND SOD/SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE HAS BEEN RECEIVED. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOD/SEED IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE, THE OWNER WILL ASSUME ALL MAINTENANCE
- 10. PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED.

RESPONSIBILITIES.

- 11. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- 12. OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY OR NOT MEETING SPECIFICATIONS.
- 13. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF SITE AT THE COMPLETION OF LANDSCAPING EACH DAY. AT ALL TIMES THE SIDEWALKS SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS. REMOVE SURPLUS SOIL AND WASTE MATERIAL, TRASH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND
- 14. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL, EROSION AND DUST CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL PREVENT EROSION OF SOIL AND ENTRY OF SOIL-BEARING WATER AND AIRBORNE DUST ONTO ADJACENT PROPERTIES AND INTO THE PUBLIC STORMWATER FACILITIES. REFER TO EROSION CONTROL PLANS FOR DETAILS.
- MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.
- MULCH MATERIAL: AS SPECIFIED ON THE LANDSCAPE PLANS. MASS MULCH ALL PLANTING BEDS TO 3" DEPTH. ALL SHRUB PLANTING BEDS TO RECEIVE 3" DEEP MULCH. ALL EVERGREEN AND DECIDUOUS TREES (IF USED) TO RECEIVE 6" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK. EXTENT OF MULCH TO BE 5'-0" DIA. AT TREES AND 18" BEYOND SHRUB
- TREE STAKING: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO STAKE AND/OR GUY THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB CONDITION AT ALL TIMES UNTIL THE FND OF THE PLANT GUARANTEE PERIOD ESPECIALLY WHERE VANDALISM, SOIL OR WIND CONDITIONS ARE A PROBLEM. AT END OF GUARANTEE PERIOD ALL STAKES SHALL BE REMOVED BY LANDSCAPE CONTRACTOR. ALL STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY AND ALL CIRCULATION ROUTES.
- TREE WRAPPING: WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.
- 7. EDGING: EDGING SHALL BE SPADE EDGED.
- 8. FERTILIZER: JUMP-SHOT ROOT STIMULATOR AS MANUFACTURED BY ACME, OR APPROVED EQUAL, SHALL BE APPLIED TO THE SOIL BACKFILL OF EACH PLANT DURING INSTALLATION.
- 9. PLANT SIZING: MEASURE TREES AND SHRUBS ACCORDING TO ANSI Z60.1 STANDARDS. TAKE CALIPER MEASUREMENTS 6 INCHES ABOVE GROUND FOR TREES UP TO 4" CALIPER AND 12 INCHES ABOVE GROUND FOR LARGER TREES. ALWAYS HANDLE BALLED AND BURLAPPED MATERIAL BY THE ROOT BALL. PLANT MATERIAL SHALL BE DELIVERED TO THE SITE AND PLANTED THE SAME DAY.
- 10. PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECT STATED DIMENSIONS. DO NOT SCALE DRAWINGS.

MAINTENANCE / WARRANTY

- MAINTENANCE OF PLANT MATERIALS AND LAWN AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN THE FOLLOWING STATED PERIODS:
- PLANT MATERIALS: 90 DAYS AFTER SUBSTANTIAL COMPLETION LAWN AREAS: 60 DAYS AFTER SUBSTANTIAL COMPLETION
- AFTER REQUIRED MAINTENANCE PERIOD, THE OWNER, UPON REQUEST, WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. UNACCEPTABLE WORK SHALL BE REPAIRED OR REPLACED AND REINSPECTED BEFORE FINAL ACCEPTANCE IS
- 3. A WRITTEN WARRANTY SHALL BE PROVIDED TO THE OWNER GUARANTEEING THAT ALL PLANT MATERIALS, SOD, AND/OR SEEDED AREAS WILL BE THRIVING FOR THE FOLLOWING STATED PERIODS: TREES, SHRUBS, AND GROUND COVERS - ONE YEAR AFTER FINAL ACCEPTANCE. SOD AND SEEDED AREAS - 90 DAYS AFTER FINAL ACCEPTANCE PERENNIALS - 90 DAYS AFTER FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS REGARDING MAINTENANCE OF EACH TYPE OF VEGETATION. THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE MATERIALS DURING THE WARRANTY PERIOD AS OUTLINED IN THE MAINTENANCE INSTRUCTIONS. THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE SITE AND WILL INFORM THE OWNER OF ANY LACK OF PROPER MAINTENANCE IN WRITING. OWNER'S FAILURE TO COMPLY WITH THE MAINTENANCE PROGRAM SHALL RENDER THE WARRANTY NULL AND VOID.
- THE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE INCLUDING ABNORMAL WEATHER CONDITIONS, EROSION, VANDALISM, NOR DAMAGES BY OTHERS. IF ANY CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR SHOULD OCCUR. THE MATERIALS AFFECTED WILL NO LONGER BE COVERED BY THE WARRANTY.

PLANT MATERIALS

- 1. PROVIDE PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED AND IN CONFORMANCE WITH THE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL HAVE BEEN GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL
- ALL PLANTS SHALL BE FULL, WELL-BRANCHED PLANTS CHARACTERISTIC OF THE SPECIES. PLANTS SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT.
- 3. PLANT STOCK SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT.
- 4. LABEL AT LEAST ONE PLANT OF EACH KIND WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON
- 5. PROVIDE FRESHLY DUG BALLED & BURLAPPED PLANT MATERIALS. DO NOT DROP BALLED & BURLAPPED STOCK DURING DELIVERY.

6. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING

INSTALLATION

- 1. INSTALL TREES AND SHRUBS ACCORDING TO STANDARD DETAILS SHOWN ON THE
- 2. ALL TREE SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- ALL TREE SAUCERS AND SHRUB BEDS SHALL BE MULCHED WITH A 3-INCH LAYER OF ORGANIC TRIPLE SHREDDED HARDWOOD BARK MULCH. NON-ORGANIC MULCHES

SUCH AS GRAVEL, CRUSHED BRICK, LAVA ROCK, ETC. ARE UNACCEPTABLE.

- 4. TREE GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
- 5. APPLY 12 CUBIC FEET OF PEAT MOSS PER 100 SQUARE FEET AND 20 POUNDS OF 8-8-8 FERTILIZER PER 100 SQUARE FEET OF GROUND COVER PLANTING BEDS. ROTOTILL THE BEDS TO A DEPTH OF 6 INCHES AND SMOOTH TO AN EVEN AND UNIFORM SURFACE. PLANT GROUND COVER MATERIALS, APPLY 2 INCHES OF ORGANIC MULCH, AND WATER.

PLANTING NOTES

- 1. NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- 2. SEE CIVIL/SITE PLAN FOR ALL SITE DIMENSIONS, SQUARE FOOTAGES, PARKING CALCULATIONS, AND DETAILS OF ALL SITE IMPROVEMENTS.
- 3. IF THE LANDSCAPE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT. SURVIVAL. OR GUARANTEE THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 4. PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS (TO BE PROTECTED) ACCORDING TO THE TREE PROTECTION DETAIL AND MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS WITHOUT APPROVAL.
- 5. ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS, IF WET, CLAY SOILS OR POOR DRAINING SOILS ARE EVIDENT, PLANT HIGHER. REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND FROM TREE TRUNKS.
- 6. ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
- 7. SEED AND/OR SOD ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES. WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND. REFER TO PLAN FOR SOD/SEED
- 8. PRUNE, THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. APPLY MINIMUM 4" MULCH CUP AT ALL TREES NOT PLANTED IN PLANTING BEDS.
- 9. EXISTING LAWN AREAS TO BE SAVED AND AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE INSPECTED TO DETERMINE VIABILITY. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE & FREE FROM WEEDS, LAWN MAY NOT REQUIRE REPLACEMENT OR RENOVATION. IF RENOVATION IS REQUIRED OR IS PART OF THE APPROVED PLAN, THEN THE FOLLOWING REQUIREMENTS WILL APPLY:

EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH ROUND-UP (OR EQUAL) TO KILL THE EXISTING LAWN AND WEED AREAS. WAIT A MIN. OF (10) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOD & WEEDS TO A MIN. DEPTH OF (2) INCHES. ADD A MIN. OF 6 INCHES OF NEW TOPSOIL TO ALL LAWN AREAS. BACKFILL AND COMPACT O THE TOP OF ALL CURBS & WALKS PRIOR TO SODDING. REGRADE TO

- EXISTING LAWN FOUND TO BE IN GOOD CONDITION, BUT WITH BARE, SPARSE OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, RAKING, OVERSEEDING AND TOP DRESSING ALL SPARSE AND BARE SPOTS AND BY INITIATING A WEED AND FEED PROGRAM.
- 10. CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:

ELIMINATE ALL BUMPS & DEPRESSIONS AND RESOD ALL AREAS.

- A. REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 24"-30" DEPENDING ON THE DEPTH OF SUB BASE AND DISPOSE OF OFF SITE.
- B. REPLACE EXCAVATED MATERIAL W/ GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" ABOVE TOP OF CURB AND SIDEWALK, ADD 4"-6" OF TOPSOIL AND CROWN TO A MIN. OF 6" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTLING, UNLESS NOTED OTHERWISE
- IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREAS, REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW ADJACENT EXISTING GRADE W/ GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADES AFTER
- ALL TREE PITS MUST BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING TREES. A DRAINAGE SYSTEM MUST BE INSTALLED IF PLANTING PIT DOES NOT DRAIN SUFFICIENTLY. (REQUIRED IN HEAVY CLAY SOILS)
- 12. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.
- 13. ALL MULCH RINGS AND SHRUB BEDS IN LAWN AREAS SHALL BE EDGED WITH A MANICURED EDGE OR WITH MANUFACTURED EDGING AS INDICATED.
- 14. MULCHING AND WATERING OF ALL PLANTS & TREES SHALL BE IMMEDIATELY OR WITHIN 16 HOURS AFTER INSTALLATION.

LAWN INSTALLATION

- 1. LAWN AREAS SHALL BE PREPARED ACCORDING TO THE SECTION BELOW ENTITLED "SEEDBED PREPARATION".
- 2. LOCALLY-GROWN SOD SHALL BE PROVIDED IN AREAS WHERE SEEDING IS NORMALLY UNSUCCESSFUL OR WILL BE UNSUCCESSFUL DUE TO CLIMATE, SEASON, OR OTHER TEMPORARY CONSTRAINT. SOD SHALL BE STRONGLY ROOTED, FREE OF WEEDS, AND OF UNIFORM THICKNESS WITH NO MORE THAN 1.5 INCHES OR LESS THAN 1 INCH OF SOIL.
- 3. SOD SHALL BE TIGHTLY-FITTED TOGETHER. ENDS AND EDGES SHALL MEET WITHOUT OVERLAP AND JOINTS SHALL BE STAGGERED WITH ADJACENT ROWS. AFTER INSTALLATION, SOD SHALL BE THOROUGHLY WATERED. ON SLOPES STEEPER THAN 2:1, SOD SHALL BE HELD IN PLACE WITH WOODEN STAKES MEASURING 1 INCH SQUARE BY 6 INCHES LONG. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE SOD'S SOIL LAYER.

- 4. PROVIDE GRASS SEED THAT IS FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED TYPE OR SEED MIX WITH BEST RECORD OF SUCCESS IN LOCALITY OF PROJECT OR PER PROJECT SPECIFICATIONS.
- 5. APPLY SEED AT THE APPROPRIATE RATE, PER O.D.O.T. SPECIFICATIONS, FOR ESTABLISHING A NEW LAWN. SOW SEED USING A SPREADER OR SEEDING MACHINE. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. RAKE SEED LIGHTLY INTO TOP 1/8-INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH A FINE SPRAY.
- PROTECT ALL SEEDED AREAS AGAINST EROSION BY SPREADING A CLEAN, SEED FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY. SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1.5 INCHES LOOSE MEASUREMENT OVER SEEDED AREA.
- 7. TREATMENTS SUCH AS JUTE MESH, EXCELSIOR MATTING, OR FIBERGLASS ROVING SHALL BE USED TO STABILIZE DITCHES OR STEEP SLOPES SUSCEPTIBLE TO EROSION. THE TREATMENT SHALL BE INSTALLED PRIOR TO THE MULCHING

SEEDBED PREPARATION

- 1. ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND/OR GRADES SHOWN AND PLOWED TO A DEPTH OF 5 INCHES. THE TOP 2 INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM SEEDBED.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.
- APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/BUCKET METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS
- TURFGRADE FERTILIZER WITH SLOW RELEASE NITROGEN (E.G. 18-24-10) -RATE THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE LIMESTONE - 75 LBS. PER 1000 SQUARE FEET
- (LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 5.5.)

- EARTH/SPADE EDGE WITH 5"-6"

SPECIFIED MULCH

— SPECIFIED TOPSOIL

GEOTURF MDOT CLASS A - 40% CREEPING RED FESCUE, 30% KENTUCKY BLUEGRASS,

30% PERENNIAL RYEGRASS OR APPROVED EQUAL. BAG SIZE 50 LB.

1225 76TH STREET, SW BYRON CENTER, MI 49315 (615) 583-0588

1225 76TH STREET, SW BYRON CENTER, MI 49315 (615) 583-0588

EQUAL. BAG SIZE 50 LB. RECOMMENDED SEEDING RATE 100-200 LB/ACRE.

TEMPORARY SEED MIX - GEOTURF MDOT TSM - 50% SPRING OATS, 50% PERENNIAL RYEGRASS OR APPROVED

RECOMMENDED SEEDING RATE 220 LB/ACRE.

CSI GEOTURF (WWW.GEOTURF.COM)

CSI GEOTURF (WWW.GEOTURF.COM)

MINIMUM OF MULCH AT EDGE

(FLUSH WITH TOP OF LAWN)

OTES
. USE WHEREVER MULCHED PLANTINGS TRANSITION TO TURN AREAS, INCLUDING

EARTH/SPADE EDGE DETAIL

NOT TO SCALE

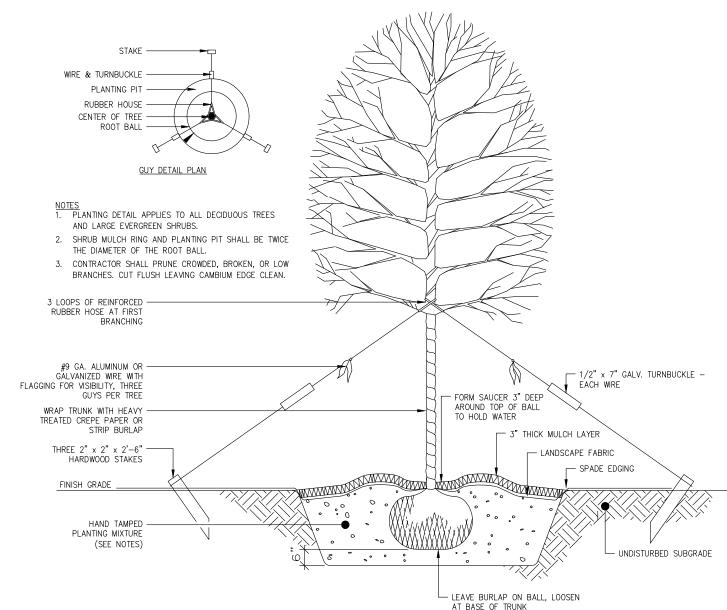
ALL TREE MULCH RINGS, SHRUB BEDS, MASS PLANTING BEDS, ETC

LAWN SEED MIXES

GRASS SEED MIX

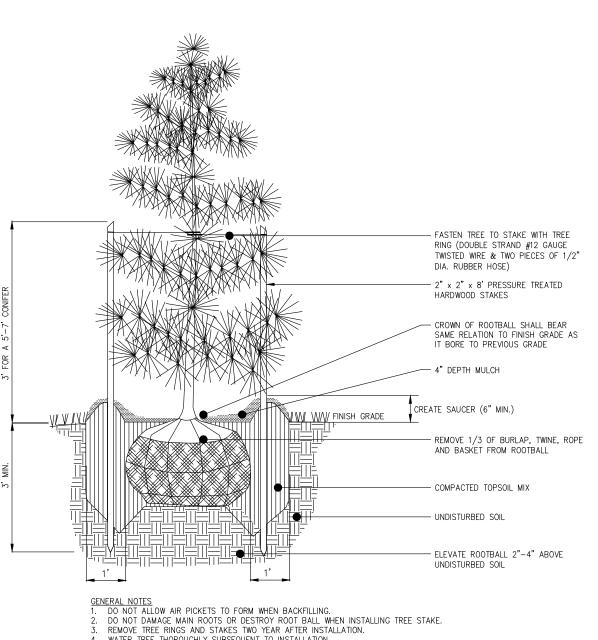
4 MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY

FINISH GRADE FOR LAWN



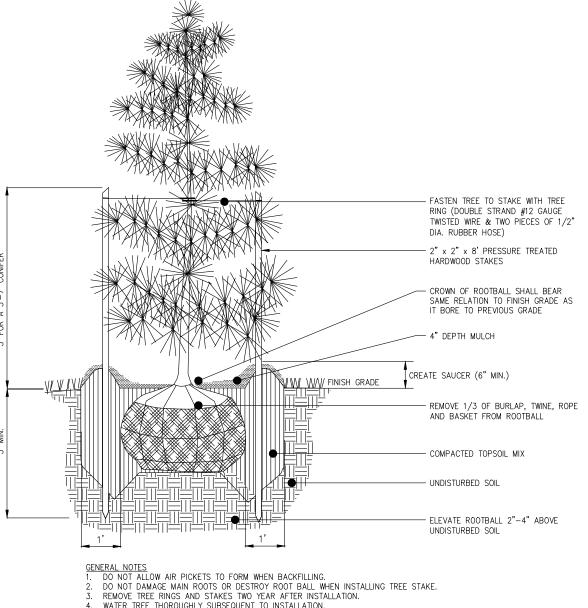
CONTRACTOR SHALL PRUNE CROWDED, BROKEN, OR STRAY BRANCHES. CUT FLUSH, LEAVING CAMBIUM EDGE CLEAN 2. HAND TAMPED PLANTING MIXTURE SHALL BE 1-PART APPROVED ORGANIC MATTER, 4-PARTS NATIVE SOIL, ½ LB

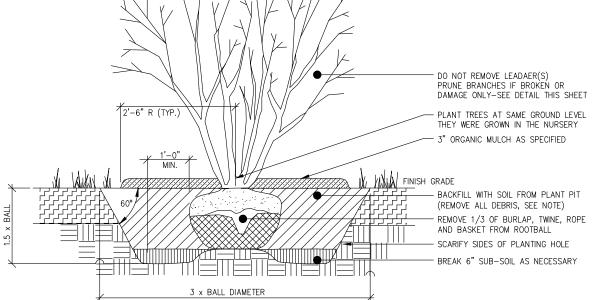
DECIDUOUS CANOPY TREE PLANTING DETAIL



CONIFEROUS TREE PLANTING DETAIL

2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE. 3. REMOVE TREE RINGS AND STAKES TWO YEAR AFTER INSTALLATION. 4. WATER TREE THOROUGHLY SUBSEQUENT TO INSTALLATION.

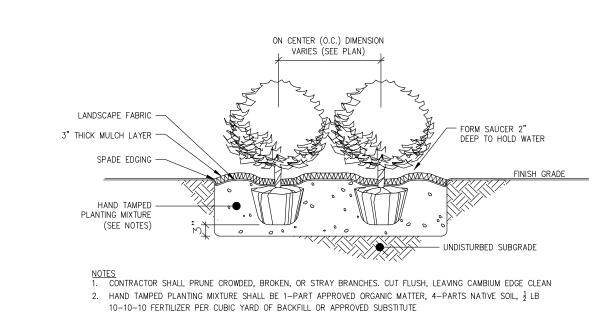




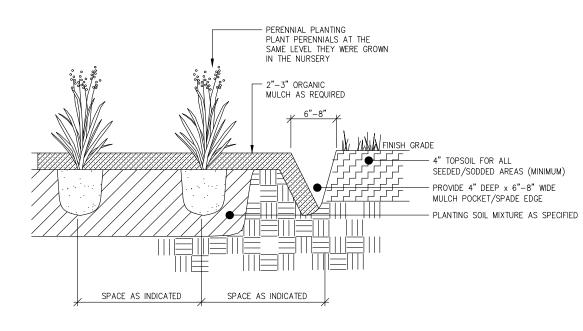
GENERAL NOTES

IF ROOT BALL IS WRAPPED IN NON-BIODEGRADEABLE BURLAP, REMOVE ENTIRE WRAP AFTER PLACED IN PIT. WHEN
BACKFILLING PLANT PIT, PLACE PLANTING OIL IN TWO LIFTS. AFTER FIRST LIFE, PUDDLE SOIL IN WITH WATER TO REMOVE
ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY

MULTI-STEMMED PLANTING DETAIL NOT TO SCALE



CONTAINER SHRUB PLANTING DETAIL



SHRUB/PERENNIAL BED DETAIL NOT TO SCALE

<u>DIES</u>

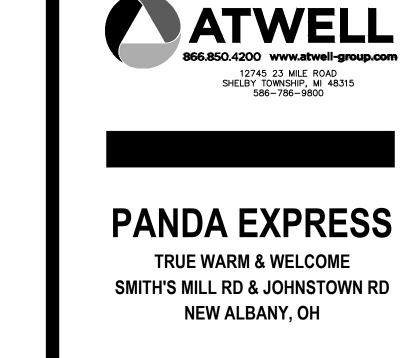
DASHED LINES ILLUSTRATE BRANCHES AND STUMPS THAT ARE TO BE REMOVED.

- (1) REMOVE SUCKERS & SHOOTS ARE BASE OF TREE
- 2 MAKE CLEAN CUTS ON OLD STUBS, IF PRESENT

2. DO NOT REMOVE THE LEADER.

- (3) REMOVE ENTIRE SUPPLY OF TWIGS & BUDS ON TRUNK
- 4 SHAPE TREE BY REMOVING DAMAGED & MISSHAPEN BRANCHES
- 5 REMOVE CROSS BRANCHES & THOSE DEVELOPING INTO SECONDARY LEADERS

DECIDUOUS TREE PRUNING DETAIL NOT TO SCALE



LANDSCAPING DETAILS

PANDA RESTAURANT GROUP INC.

1683 Walnut Grove Ave.

Rosemead, California

91770

Telephone: 626.799.9898

Facsimile: 626.372.8288

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11-08-2023 NACO COORDINATION

12-07-2023 NACO COORDINATION

01-25-2024 NACO COORDINATION

05-08-2024 REV. PER CITY

REVISIONS:

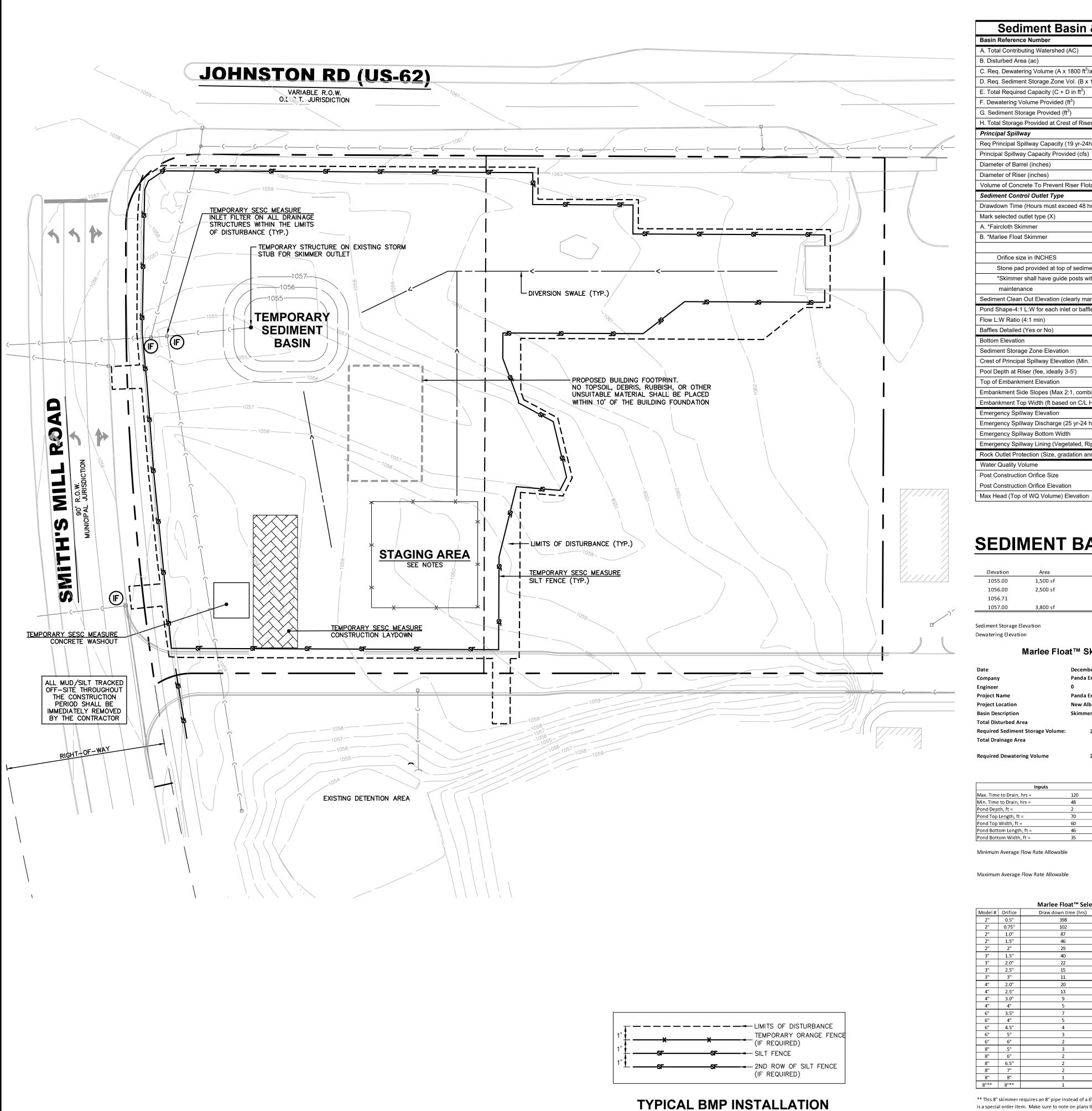
ISSUE DATE:

DRAWN BY: EO/SH

PANDA STORE #:

PANDA PROJECT #: D28203

ENGR PROJECT #: 23002030



Sediment Basin & Post-Co	Jiioti acti	OII D	ata S
Basin Reference Number			
A. Total Contributing Watershed (AC)	1.20		
B. Disturbed Area (ac)	2.08		
C. Req. Dewatering Volume (A x 1800 ft ³ /ac)	2,160 cf		
D. Req. Sediment Storage Zone Vol. (B x 1000 ft³/ac)	2,080 cf		
E. Total Required Capacity (C + D in ft ³)	4,240 cf		
F. Dewatering Volume Provided (ft ³)	2,160 cf		
G. Sediment Storage Provided (ft³)	2,080 cf		
H. Total Storage Provided at Crest of Riser (ft ³)	4,420 cf		
Principal Spillway			
Req Principal Spillway Capacity (19 yr-24hr storm) (cfs)	N/A		
Principal Spillway Capacity Provided (cfs)	N/A		
Diameter of Barrel (inches)	N/A		
Diameter of Riser (inches)	N/A		
Volume of Concrete To Prevent Riser Flotation (ft ³)	N/A		
Sediment Control Outlet Type			
Drawdown Time (Hours must exceed 48 hr drawdown)			
Mark selected outlet type (X)			
A. *Faircloth Skimmer			
B. *Marlee Float Skimmer	Х		
0.15	0.11		
Orifice size in INCHES	2"		
Stone pad provided at top of sediment storage (ELEV.)			
*Skimmer shall have guide posts with wire for easy			
maintenance			
Sediment Clean Out Elevation (clearly marked in field)			
Pond Shape-4:1 L:W for each inlet or baffle(s)			
Flow L:W Ratio (4:1 min)			
Baffles Detailed (Yes or No)	NO		
Bottom Elevation	1055.00		
Sediment Storage Zone Elevation	1056.03		
Crest of Principal Spillway Elevation (Min. 1ft below crest E.S.)			
Pool Depth at Riser (fee, ideally 3-5')	N/A		
Top of Embankment Elevation	1057.00		
Embankment Side Slopes (Max 2:1, combined 5:1)	6:1		
Embankment Top Width (ft based on C/L Height, Min 8')	8'		
Emergency Spillway Elevation	N/A		
Emergency Spillway Discharge (25 yr-24 hr stm less Prin S	N/A		
Emergency Spillway Bottom Width	N/A		
Emergency Spillway Lining (Vegetated, Riprap)	N/A		
Rock Outlet Protection (Size, gradation and quality of rock)	N/A		
Water Quality Volume	N/A		
Post Construction Orifice Size	N/A		
Post Construction Orifice Elevation	N/A		
Max Head (Top of WQ Volume) Elevation	N/A		

SEDIMENT BASIN DESIGN

Elevation	Area	Incr. Vol	Cum. Vol.
1055.00	1,500 sf	00 cf	00 cf
1056.00	2,500 sf	2,000 cf	2,000 cf
1056.71			4,240 cf
1057.00	3,800 sf	3,150 cf	5,150 cf
Sediment Storage E	levation	=	1,056.03
Dewatering Elevati	on	=	1,056.71

Marlee Float™ Skimmer Size Selection Report

Date	December 7, 2023	
Company	Panda Express	
• •	· .	
Engineer	0	
Project Name	Panda Express	
Project Location	New Albany	
Basin Description	Skimmer Basin	
Total Disturbed Area	2.08 Acres	
Required Sediment Storage Volume:	2,080 CF	
Total Drainage Area	1.2 Acres	

Confirm Calculated Pond Volume is Required Dewatering Volume similar to Required Dewatering Volume

Calculations

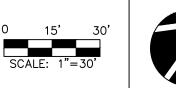
Min. Time to Drain, hrs =	48				
Pond Depth, ft =	2	Ca	Iculated Pond	Volume, gal =	
Pond Top Length, ft =	70				
Pond Top Width, ft =	60				
Pond Bottom Length, ft =	46				
Pond Bottom Width, ft =	35				
Minimum Average Flow Rate Allo	owable	1,122 cfd to	o drain in	120 hrs	
		0.013 cfs			

0.032 cfs

Model#	Orifice	Draw down time (hrs)	Acceptable for basin
2"	2" 0.5" 398 no		
2"	0.75"	102	MF 2" - 0.75" Orifice
2"	1.0"	87	MF 2" - 1.0" Orifice
2"	1.5"	46	no
2"	2"	29	no
3"	1.5"	40	no
3"	2.0"	22	no
3"	2.5"	15	no
3"	3"	11	no
4"	2.0"	20	no
4"	2.5"	13	no
4"	3.0"	9	no
4"	4"	5	no
6"	3.5"	7	no
6"	4"	5	no
6"	4.5"	4	no
6"	5"	3	no
6"	6"	2	no
8"	5"	3	no
8"	6"	2	no
8"	6.5"	2	no
8"	7"	2	no
8"	8"	1	no

** This 8" skimmer requires an 8" pipe instead of a 6" pipe from the skimmer to the outlet and is a special order item. Make sure to note on plans this is needed if this version is specified. Requires two weeks for shipping

NOT TO SCALE





LEGEND

1		
		PROPERTY LINE
-	600	ELEVATION CONTOUR
$\frac{1}{1}$	(((STORM SEWER
	SFSF	SILT FENCE (DETAIL ON C16)
$\frac{1}{1}$		DIVERSION SWALE
1		LIMITS OF DISTURBANCE
		CONSTRUCTION EXIT
		EXISTING / PROPOSED CATCH BASIN
-	0	EXISTING / PROPOSED MANHOLE
		DRAINAGE FLOW ARROW
1		

NOTES

I. THE LOCATION OF CONSTRUCTION STAGING AREA IS SUBJECT TO CHANGE PER CONTRACTOR. STAGING AREA SHALL BE ENCLOSED WITH TEMPORARY FENCE. CONSTRUCTION TRAILERS, TEMPORARY PARKING, AND ITEMS SUCH AS SOLID WASTE RECEPTACLES, SANITARY FACILITIES, CONCRETE WASTE, FUEL TANKS, CONSTRUCTION MATERIALS, SUPPLIES, AND STOCKPILES SHALL BE PLACED IN THIS AREA IF NEEDED.

INLET FILTER PROTECTION

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING AN EXISTING STORM DRAINAGE SYSTEM.
- 3. ALL SOIL DISTURBANCE SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE.
- 4. SEE SHEETS SESC NOTES AND DETAIL SHEETS FOR ADDITIONAL SESC INFORMATION.
- 5. CONTRACTOR SHALL SCRAPE SITE OF ALL TRACK-OUT/DEBRIS ON A DAILY BASIS AND SWEEP A MINIMUM OF ONCE PER WEEK.

OWNER

(RESPONSIBLE PARTY FOR PERMANENT EROSION CONTROL MEASURES)

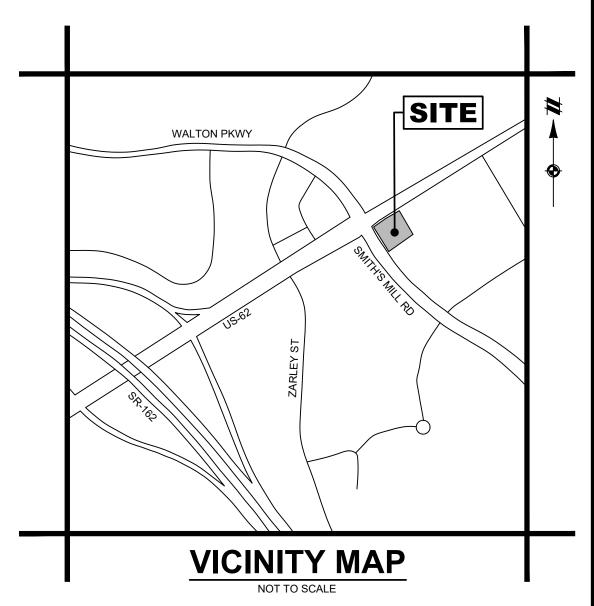
PANDA RESTAURANT GROUP 1683 WALNUT GROVE AVE. ROSEMEAD, CA 91770-3711 CONTACT: BRIAN KAN PHONE: 626-372-8550

ON-SITE SESC

(RESPONSIBLE PARTY FOR TEMPORARY EROSION CONTROL MEASURES)

PHASE I SESC BMP SEQUENCE

- 1. INSTALL STABILIZED CONSTRUCTION EXIT.
- 2. INSTALL SILT FENCE ON SITE. CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL
- FENCES. 3. PREPARE STAGING AREA.
- 4. INSTALL INLET FILTERS ON ALL EXISTING STORM STRUCTURES.
- 5. CLEAR AND GRUB ONLY AS NECESSARY TO INSTALL TEMPORARY SEDIMENT BASIN AND TEMPORARY DIVERSION SWALE.
- 6. CONSTRUCT TEMPORARY SEDIMENT BASIN INCLUDING PERMANENT EMERGENCY OVERFLOW WEIR AND SEDIMENT SKIMMER. CONSTRUCT TEMPORARY DIVERSION SWALES.
- 7. CLEAR AND GRUB REMAINDER OF THE SITE.
- 8. BEGIN MASS GRADING THE SITE.





THE LOCATIONS OF EXISTING
UNDERGROUND UTILITIES ARE SHOWN IN
AN APPROXIMATE WAY ONLY AND HAVE
NOT BEEN INDEPENDENTLY VERIFIED BY
THE OWNER OR ITS REPRESENTATIVE.
THE CONTRACTOR SHALL DETERMINE THE
EXACT LOCATION OF ALL EXISTING
UTILITIES BEFORE COMMENCING WORK,
AND AGREES TO BE FULLY
RESPONSIBLE FOR ANY AND ALL
DAMAGES WHICH MIGHT BE OCCASIONED
BY THE CONTRACTOR'S FAILURE TO BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



PANDA RESTAURANT GROUP INC. 1683 Walnut Grove Ave. Rosemead, California

> Telephone: 626.799.9898 Facsimile: 626.372.8288

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ISSUE DATE:

11-08-2023 NACO COORDINATION 12-07-2023 NACO COORDINATION 01-25-2024 NACO COORDINATION 05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

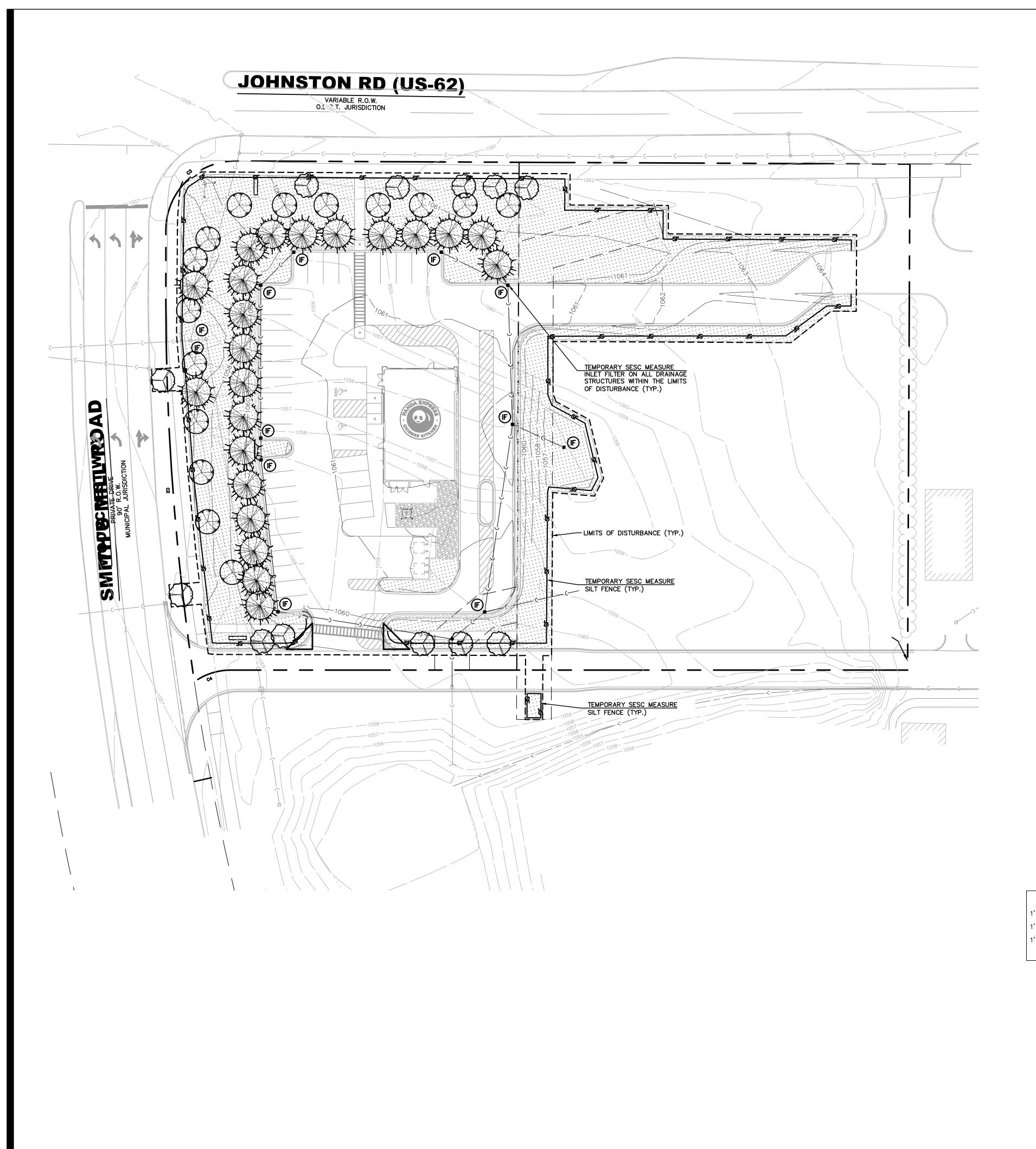
PANDA PROJECT #: D28203 PANDA STORE #: ENGR PROJECT #: 23002030

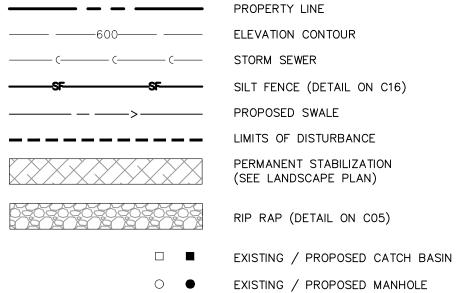


PANDA EXPRESS

TRUE WARM & WELCOME SMITH'S MILL RD & JOHNSTOWN RD **NEW ALBANY, OH**

SESC PLAN - STAGE I





DRAINAGE FLOW ARROW

INLET FILTER PROTECTION (DETAIL ON CO5)

NOTES

- 1. THE LOCATION OF CONSTRUCTION STAGING AREA IS SUBJECT TO CHANGE PER CONTRACTOR. STAGING AREA SHALL BE ENCLOSED WITH TEMPORARY FENCE. CONSTRUCTION TRAILERS, TEMPORARY PARKING, AND ITEMS SUCH AS SOLID WASTE RECEPTACLES, SANITARY FACILITIES, CONCRETE WASTE, FUEL TANKS, CONSTRUCTION MATERIALS, SUPPLIES, AND STOCKPILES SHALL BE PLACED IN THIS AREA IF NEEDED.
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- 4. SEE SHEETS SESC NOTE AND DETAIL SHEETS FOR ADDITIONAL SESC INFORMATION.
- 5. CONTRACTOR SHALL SCRAPE SITE OF ALL TRACK-OUT/DEBRIS ON A DAILY BASIS AND SWEEP A MINIMUM OF ONCE PER WEEK.

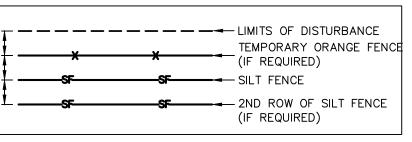
OWNER

(RESPONSIBLE PARTY FOR PERMANENT EROSION CONTROL MEASURES)

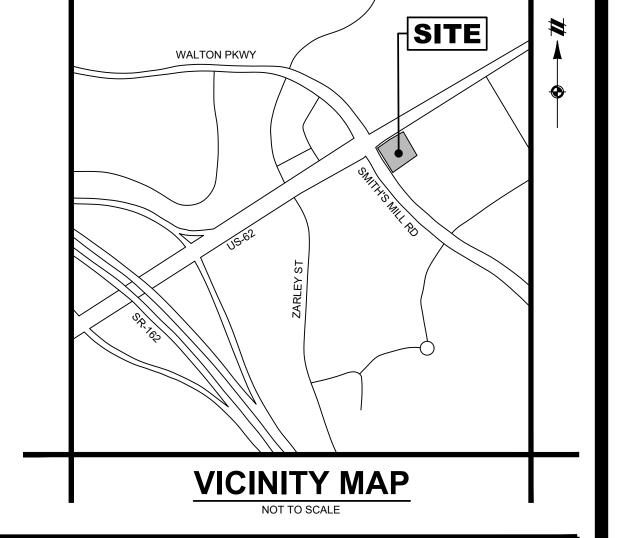
PANDA RESTAURANT GROUP 1683 WALNUT GROVE AVE. ROSEMEAD, CA 91770-3711 CONTACT: BRIAN KAN PHONE: 626-372-8550

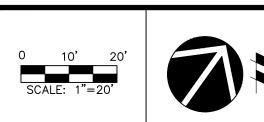
ON-SITE SESC

(RESPONSIBLE PARTY FOR TEMPORARY EROSION CONTROL MEASURES)



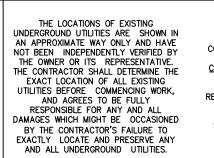
TYPICAL BMP INSTALLATION NOT TO SCALE











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DRAWN BY: EO/SH

PANDA PROJECT #: D28203 PANDA STORE #: ENGR PROJECT #: 23002030



PANDA EXPRESS

TRUE WARM & WELCOME SMITH'S MILL RD & JOHNSTOWN RD **NEW ALBANY, OH**

SESC PLAN - STAGE II

Specifications

Temporary Seeding

Oats Tall Fescue Annual Ryegrass Perennial Ryegrass Tall Fescue Annual Ryegrass	3 1 1 1	128 (4 Bushel) 40 40 40
Tall Fescue Annual Ryegrass	i	40
Annual Duagrasa		40
Annual Ryegrass	1.25	55
Perennial Ryegrass	3.25	142
Creeping Red Fescue	0.4	17
Kentucky Bluegrass	0.4	17
Oats	3	128 (3 bushel)
Tall Fescue	1	40
Annual Ryegrass	1	40
Rye	3	112 (2 bushel)
Tall Fescue	1	40
Annual Ryegrass	1	40
Wheat	3	120 (2 bushel)
Tall Fescue	1	40
Annual Ryegrass	1	40
Perennial Rye	1	40
Tall Fescue	1	40
Annual Ryegrass	1	40
Annual Ryegrass Perennial Ryegrass Creeping Red Fescue Kentucky Bluegrass	1.25 3.25 0.4 0.4	40 40 40
	Creeping Red Fescue Kentucky Bluegrass Oats Tall Fescue Annual Ryegrass Rye Tall Fescue Annual Ryegrass Wheat Tall Fescue Annual Ryegrass Perennial Rye Tall Fescue Annual Ryegrass Perennial Rye Tall Fescue Annual Ryegrass Creeping Red Fescue Kentucky Bluegrass	Creeping Red Fescue 0.4 Kentucky Bluegrass 0.4 Oats 3 Tall Fescue 1 Annual Ryegrass 1 Rye 3 Tall Fescue 1 Annual Ryegrass 1 Wheat 3 Tall Fescue 1 Annual Ryegrass 1 Perennial Rye 1 Tall Fescue 1 Annual Ryegrass 1 Perennial Ryegrass 1 Perennial Ryegrass 3.25 Creeping Red Fescue 0.4

Note: Other approved species may be substituted.

as diversions and sediment traps shall be installed and of the construction site.

2. Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 21 days or greater. These idle areas shall be seeded

within 7 days after grading. 3. The seedbed should be pulverized and loose to ensure the success of establishing vegetation. Temporary seeding should not be postponed if ideal seedbed preparation is not possible.

1. Structural erosion and sediment control practices such 4. Soil Amendments—Temporary vegetation seeding rates shall establish adequate stands of vegetation, which may stabilized with temporary seeding prior to grading the rest require the use of soil amendments. Base rates for lime and fertilizer shall be used.

> Seeding Method—Seed shall be applied uniformly with a cyclone spreader, drill, cultipacker seeder, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without

> > CHAPTER 7 Soil Stabilization 35

Specifications

Permanent Seeding

From October 1 through November 20, prepare the seedbed,

add the required amounts of lime and fertilizer, then mulch and anchor. After November 20, and before March 15.

broadcast the selected seed mixture. Increase the seeding

tions permit, prepare the seedbed, lime and fertilize, apply

the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding.

seeder, or hydro-seeder (slurry may include seed and fertil-

land, seeding operations should be on the contour where

 Where feasible, except when a cultipacker type seeder is used, the seedbed should be firmed following seeding operations with a cultipacker, roller, or light drag. On sloping

1. Mulch material shall be applied immediately after

of the ground surface shall be covered with an

seeding. Dormant seeding shall be mulched. 100%

Straw—If straw is used it shall be unrotted small-grain

straw applied at the rate of 2 tons per acre or 90 pounds

and spread two 45-lb. bales of straw in each section.

Hydroseeders—If wood cellulose fiber is used, it shall be

control mattings or blankets applied according to manufac-

turer's recommendations or wood chips applied at 6 tons

applied at 2,000 lb./ac. or 46 lb./1,000 sq. ft.

(two to three bales) per 1,000-sq. ft. The mulch shall be

spread uniformly by hand or mechanically applied so the soil

surface is covered. For uniform distribution of hand-spread

mulch, divide area into approximately 1,000-sq.-ft. sections

From November 20 through March 15, when soil condi-

rates by 50% for this type of seeding.

izer) on a firm, moist seedbed.

Materials

Site Preparation

1. Subsoiler, plow, or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture. Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for

establishing vegetation. 2. The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.

Topsoil shall be applied where needed to establish

vegetation. **Seedbed Preparation**

1. Lime—Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 pounds per 1,000-sq. ft. or 2 tons per acre.

soil test. In place of a soil test, fertilizer shall be applied at a rate of 25 pounds per 1,000-sq. ft. or 1000 pounds per acre of a 10-10-10 or 12-12-12 analyses. 3. The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 inches. On sloping land, the soil

2. Fertilizer—Fertilizer shall be applied as recommended by a

shall be worked on the contour. Seeding Dates and Soil Conditions

Seeding should be done March 1 to May 31 or August 1 to September 30. If seeding occurs outside of the abovespecified dates, additional mulch and irrigation may be required to ensure a minimum of 80% germination. Tillage for seedbed preparation should be done when the soil is dry

• Other—Other acceptable mulches include rolled erosion enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.

Dormant Seedings 1. Seedings should not be made from October 1 through

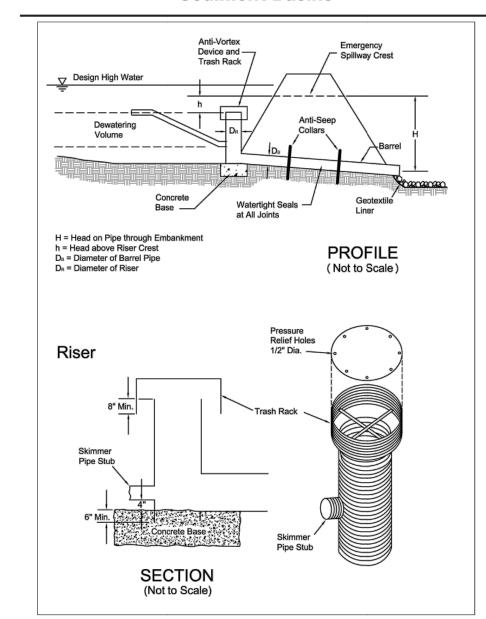
44 CHAPTER 7 Soil Stabilization

November 20. During this period, the seeds are likely to germinate but probably will not be able to survive

2. The following methods may be used for "Dormant Seeding":

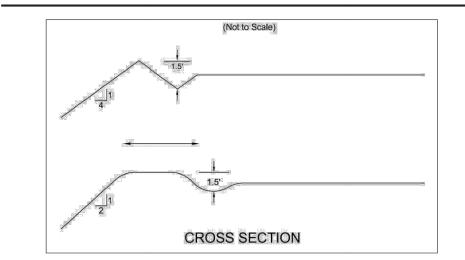
Sediment Basins

Specifications



CHAPTER 6 Sediment Controls

Specifications **Temporary Diversion**



1. Drainage area should not exceed 10 acres. Larger areas 4. The grade may be variable depending upon the topograequire a more extensive design. 2. The channel cross section may be parabolic or trapezoidal. Disk the base of the dike before placing fill. Build the

dike 10% higher than designed for settlement. The dike shall be compacted by traversing with tracked earth-moving equipment. 3. The minimum cross section of the levee or dike will be as follows: (Minimum design freeboard shall be 0.3 foot.) Where construction traffic will cross, the top width may

be made wider and the side slopes flatter than specified

Dike Top Width (ft.) | Height (ft.) | Side Slopes | Shape

2" - 4" Orifice

Skimmer Detail

4" MARLEE FLOAT

2" - 4" Orifice

RYMAR

phy, but must have a positive drainage to the outlet and be stabilized to be non-erosive.

Temporary Diversion Stabilization Treatment version < 2 ac. 2 - 5 ac. 5 - 10 ac. Seed and Straw | Seed and Straw | Seed and Stray Seed and Straw Seed and Straw Matting Seed and Straw Matting Matting 8 - 20% Seed and Straw Matting Engineered Note: Diversions with steeper slopes or greater drainage areas are beyond the scope of this standard and must be designed for stability. Seed, straw and matting used shall meet the

Outlet runoff onto a stabilized area, into a properly designed waterway, grade stabilization structure, or sediment trapping facility.

6. Diversions shall be seeded and mulched in accordance with the requirements in practice standards TEMPORARY SEEDING (or PERMANENT SEEDING) and MULCHING as soon as they are constructed or other suitable stabilization in order to preserve dike height and reduce

CHAPTER 5 Temporary Runoff Control 13

Specifications

Temporary Seeding

Mulching Temporary Seeding

1. Applications of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seedings made during optimum seeding dates on favorable, very flat soil conditions may not need mulch to achieve adequate stabilization.

 Straw—If straw is used, it shall be unrotted small-grain straw applied at a rate of 2 tons per acre or 90 lbs./ 1,000 sq. ft. (2-3 bales)

Hydroseeders—If wood cellulose fiber is used, it shall be

used at 2000 lbs./ ac. or 46 lb./ 1,000-sq.-ft. Other—Other acceptable mulches include mulch mattings

wood chips applied at 6 ton/ ac.

applied according to manufacturer's recommendations or

a maximum of 50 lb. / 100 gal.

set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but left to a length of approximately 6 inches.

and on critical slopes.

(Agri-Tac), DCA-70, Petroset, Terra Track or equivalent may be used at rates recommended by the manufacturer. Wood-Cellulose Fiber—Wood-cellulose fiber binder shall be

applied at a net dry wt. of 750 lb./ac. The wood-cellulose

fiber shall be mixed with water and the mixture shall contain

3. Straw Mulch shall be anchored immediately to minimize loss by wind or water. Anchoring methods:

Mechanical—A disk, crimper, or similar type tool shall be

 Mulch Netting—Netting shall be used according to the manufacturers recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff

Synthetic Binders—Synthetic binders such as Acrylic DLR

3. Straw and Mulch Anchoring Methods Straw mulch shall be anchored immediately to minimize loss by

wind or water. Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into

the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches. Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be neces-

sary to hold mulch in place in areas of concentrated runoff and on critical slopes. Asphalt Emulsion—Asphalt shall be applied as recom-

mended by the manufacture or at the rate of 160 gallons per growth.

(Agri-Tac), DCA-70, Petroset, Terra Tack or equivalent may be used at rates specified by the manufacturer.

Synthetic Binders—Synthetic binders such as Acrylic DLR

 Wood Cellulose Fiber—Wood cellulose fiber shall be applied at a net dry weight of 750 pounds per acre. The wood cellulose fiber shall be mixed with water with the mixture containing a maximum of 50 pounds cellulose per 100 gallons of water.

Permanent seeding shall include irrigation to establish vegetation during dry weather or on adverse site conditions, which require adequate moisture for seed germination and plant

Irrigation rates shall be monitored to prevent erosion and damage to seeded areas from excessive runoff.

CHAPTER 7 Soil Stabilization 45

Table 7.10.2 Permanent Seeding

Seed Mix	Seeding Rate		Notes:
Seed MIX	Lbs./acre	Lbs./1,000 Sq. Feet	Notes:
		General Use	
Creeping Red Fescue Domestic Ryegrass Kentucky Bluegrass	20-40 10-20 20-40	1/2-1 1/4-1/2 1/2-1	For close mowing & for waterways with <2 ft/sec velocity
Tall Fescue	40-50	1-1 1/4	
Turf-type (dwarf) Fescue	90	2 1/4	
	St	eep Banks or Cut Slopes	
Tall Fescue	40-50	1-1 1/4	
Crown Vetch Tall Fescue	10-20 20-30	1/4-1/2 1/2-3/4	Do not seed later than August
Flat Pea Tall Fescue	20-25 20-30	1/2-3/4 1/2-3/4	Do not seed later than August
	R	oad Ditches and Swales	
Tall Fescue	40-50	1-11/4	
Turf-type (Dwarf) Fescue Kentucky Bluegrass	90 5	2 1/4 0.1	
		Lawns	
Kentucky Bluegrass Perennial Ryegrass	100-120	2 2	
Kentucky Bluegrass Creeping Red Fescue	100-120	2 1-1/2	For shaded areas

Note: Other approved seed species may be substituted.

Specifications **Sediment Basins**

1. Sediment basins shall be constructed and operational before upslope land disturbance begins.

2. Site Preparation -The area under the embankment shall be cleared, grubbed, and stripped of any vegetation and root mat. The pool area shall be cleared as needed to facilitate sediment cleanout. Gullies and sharp breaks shall be sloped to no steeper than 1:1. The surface of the foundation area will be thoroughly scarified before placement of the embankment material.

3. Cut-Off Trench -The cutoff trench shall be excavated along the centerline of the embankment. The minimum depth shall be 3 ft. unless specified deeper on the plans or as a result of site conditions. The minimum bottom of compaction equipment. The trench shall be kept free of standing water during backfill operations.

4. Embankment -The fill material shall be free of all sod, roots, frozen soil, stones over 6 in. in diameter, and other objectionable material. The placing and spreading of the fill material shall be started at the lowest point of the foundation and the fill shall be brought up in approximately 6 in. horizontal layers or of such thickness that the required compaction can be obtained with the equipment used. Construction equipment shall be operated over each layer in a way that will result in the required compaction. Special equipment shall be used when the required compaction cannot be obtained without it. The moisture content of fill material shall be such that the required degree of compaction can be obtained with the equipment used.

5. Pipe Spillway -The pipe conduit barrel shall be placed on a firm foundation to the lines and grades shown on the plans. Connections between the riser and barrel, the antiseep collars and barrel and all pipe joints shall be watertight. Selected backfill material shall be placed around the conduit in layers and each layer shall be compacted to at least the same density as the adjacent embankment. All compaction within 2 ft. of the pipe spillway will be accomplished with hand-operated tamping equipment.

20 CHAPTER 6 Sediment Controls

6. Riser Pipe Base -The riser pipe shall be set a minimum of 6 in. in the concrete base

7. Trash Racks -The top of the riser shall be fitted with trash racks firmly fastened to the riser pipe. 8. Emergency Spillway - The emergency spillway shall be cut in undisturbed ground. Accurate construction of the spillway elevation and width is critical and shall be within

a tolerance of 0.2 ft. 9. Seed and Mulch -The sediment basin shall be stabilized immediately following its construction. In no case shall the embankment or emergency spillway remain bare for

more than 7 days. width shall be 4 ft., but wide enough to permit operation 10. Sediment Cleanout -Sediment shall be removed and the sediment basin restored to its original dimensions who the sediment has filled one-half the pond's original depth or as indicated on the plans. Sediment removed from the

basin shall be placed so that it will not erode.

11. Final removal - Sediment basins shall be removed after the upstream drainage area is stabilized or as indicated in the plans. Dewatering and removal shall NOT cause sediment to be discharged. The sediment basin site and sediment removed from the basin shall be stabilized.

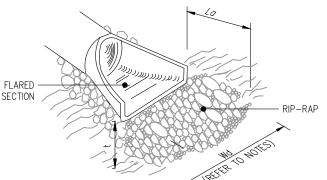
4" skimmer = 4" skimmer = 4" skimmer = 4" skimmer = 8" CAP — WEIGHT TO COUNTER ~ BUOYANCY. SCREEN -8" HDPE -FLOW RATES BASED ON THIRD PARTY TESTING. FOR DESIGN PURPOSES ASSUME FLOW RATES (PIVOTS SEE BELOW - VENT PIPE REMAIN CONSTANT FOR DEPTHS GREATER THAN - HDPE BRACKET TO 4' OR EXTRAPOLATE BASED UPON LOST 3 HOLD TUBING AND DATA POINTS. ORIFICE PLATE 8" CAP - BLUE PEX TUBING STRUCTURE TOP VIEW BY OTHERS TOP OF PIPE DEBRIS GUARD STANDARD NOTES: VENT TUBE 1. Rigid outlet pipe should be 1.4 times the height of - GLUE OR SCREW TO outlet structure (H), (min. | FLOAT SECURE PIPE TO 2. Inlet Orifice size can be - 4" RIĞID PIPE (1.4x'H') reduced with 2.0", 2.5", BY OTHERS 3.0", 3.5" and 4.0" orifices ' STUBOUT 3. Minimal assembly required. HDPE STRAPS-BY OTHERS User provides rigid outlet 4"X4" COUPLING pipe. All other materials and parts included. 4. Weight provided by 14 lbs. SCREWS of stone ballast on each (PROVIDED) side of screen/orifice. Total 4" FLEXIBLE of 28 lbs. Up to additional 6 lbs can be added to COUPLINGS each side if skimmer floats -12" DEEP DEPRESSION. (PROVIDED) SIDE VIEW due to longer pipe. INSTALL STONE OR CONC. PAD UNDER SKIMMER. 4" MARLEE FLOAT PROPERTY LOCATION

1-855-697-9333

07/16/2020

8" CAP -WEIGHT TO COUNTER ~ BUOYANCY. SCREEN -0.3458 29876 0.2310 19962 0.1683 14543 0.1127 9733 0.0753 6504 8" HDPE -FLOW RATES BASED ON THIRD PARTY TESTING (PIVOTS SEE BELO FOR DESIGN PURPOSES ASSUME FLOW RATES
REMAIN CONSTANT FOR DEPTHS GREATER TH - VENT PIPE HDPE BRACKET TO 4' OR EXTRAPOLATE BASED UPON LOST 3 HOLD TUBING AND DATA POINTS. ELEVATION = 1056.71ORIFICE PLATE SEDIMENT + DEWATERING VOLUME = 4,240 CF 8" CAP TOP VIEW ZIP TIE FABRIC DEBRIS GUARD BY OTHERS TOP OF PIPE AT FLOAT STANDARD NOTES: 1. Rigid outlet pipe should be 1.4 times the height of - GLUE OR SCREW TO - TEMPORARY 48" DIA. MANHOLE outlet structure (H), (min. | FLOAT SECURE PIPE TO CONSTRUCTED ON TOP OF EXISTING STORM SEWER STUB 2. Inlet Orifice size can be 4" RIĞID PIPE (1.4x'H' reduced with 2.0", 2.5", BY OTHERS 3.0", 3.5" and 4.0" orifices STONE LANDING PAD À"STUBOUT Minimal assembly required. HDPE STRAPS-/ ELEVATION = 1056.03 BY OTHERS User provides rigid outlet 4"X4" COUPLING SEDIMENT VOLUME = 2,160 CF pipe. All other materials and parts included. 4. Weight provided by 14 lbs. of stone ballast on each OUTLET ELEVATION ±1050.70 side of screen/orifice. Total --- 4" FLEXIBLE of 28 lbs. Up to additional 6 lbs can be added to 12" DEEP DEPRESSION. (PROVIDED) each side if skimmer floats SIDE VIEW due to longer pipe. PAD UNDER SKIMMER.

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FLARED -END SECTION

RIPRAP APRON DIMENSIONS ROCK SIZE APRON UPSTREAM DOWNSTREAM MINIMUM DIAMETER (D50) LENGTH (La) WIDTH (Wu) WIDTH (Wd) THICKNESS (t) QUANTITY 12 INCHES 8 INCHES 12 FEET 3 FEET 13 FEET 18 INCHES 9 INCHES 16 FEET 4.5 FEET 18 FEET 20 TONS 30 INCHES 21 INCHES 9 INCHES 16 FEET 4.5 FEET 18 FEET 20 TONS 24 INCHES 9 INCHES 16 FEET 4.5 FEET 18 FEET 30 INCHES 20 TONS 30 INCHES 9 INCHES 16 FEET 4.5 FEET 18 FEET 30 INCHES 20 TONS 36 INCHES 12 INCHES 16 FEET 4.5 FEET 18 FEET 30 INCHES 20 TONS 42 INCHES 18 INCHES 16 FEET 4.5 FEET 18 FEET 30 INCHES 20 TONS

48 INCHES 18 INCHES 16 FEET 4.5 FEET 18 FEET 30 INCHES 20 TONS *ANY RIPRAP, OR ROCK, DIMENSIONS LISTED ON PLANS SHALL SUPERCEDE THE DIMENSIONS LISTED ON THIS CHART

1. SUBBASE UNDER RIP RAP SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY PRIOR TO PLACEMENT OF GEOTEXTILE FABRIC. 2. GEOTEXTILE FABRIC SHALL BE MIRAFI FILTERWEAVE. FABRIC WEIGHT, TENSILE STRENGTH AND PLACEMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S

3. THE GEOTEXTILE FABRIC AND RIP RAP SHALL EXTEND A MINIMUM OF 3 FEET UNDER THE END SECTION.

4. RIP RAP SHALL HAVE A MINIMUM D50 STONE DIAMETER OF 8 INCHES.

5. THE MINIMUM THICKNESS OF THE RIP RAP LAYER SHOULD BE 2.5 FEET. 6. RIP RAP SHOULD BE COMPOSED OF A WELL-GRADED MIXTURE DOWN TO THE ONE-INCH SIZE PARTICLE SUCH THAT 50 PERCENT OF THE MIXTURE BY WEIGHT IS LARGER THAN THE (D50)SIZE. FOR THE PURPOSE OF THIS BMP, A WELL-GRADED MIXTURE IS DEFINED AS A MIXTURE COMPOSED PRIMARILY OF THE LARGER STONE SIZES BUT WITHIN A SUFFICIENT MIXTURE OF OTHER SIZES TO FILL THE PROGRESSIVELY SMALLER VOIDS BETWEEN THE STONES. THE DIAMETER OF THE LARGEST STONE SIZE IN SUCH A

MIXTURE SHOULD NOT BE MORE THAN 1.5 TIMES THE D50 STONE SIZE. THE MATERIAL USED FOR RIP RAP SHOULD BE FIELDSTONE OR UNHEWN QUARRY STONE. STONE SHOULD BE HARD, ANGULAR, AND OF SUCH QUALITY THAT IT WILL NOT DISINTEGRATE ON EXPOSURE TO WATER OR WEATHERING. IT SHOULD ALSO BE CHEMICALLY STABLE, CAPABLE OF WITHSTANDING FREEZING AND THAWING, AND SUITABLE IN ALL OTHER ASPECTS FOR INTENDED USE. BROKEN CONCRETE WILL NOT BE ALLOWED.

> RIPRAP DETAIL NOT TO SCALE

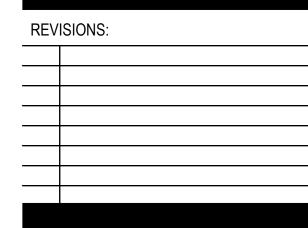


PANDA RESTAURANT GROUP INC. 1683 Walnut Grove Ave. Rosemead, California 91770

Telephone: 626.799.9898

Facsimile: 626.372.8288

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12-07-2023 NACO COORDINATION 01-25-2024 NACO COORDINATION 05-08-2024 REV. PER CITY

11-08-2023 NACO COORDINATION

DRAWN BY: EO/SH

PANDA PROJECT #: D28203 PANDA STORE #:

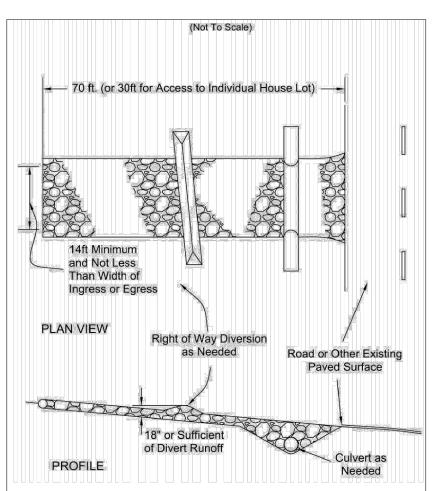
ENGR PROJECT #: 23002030



PANDA EXPRESS

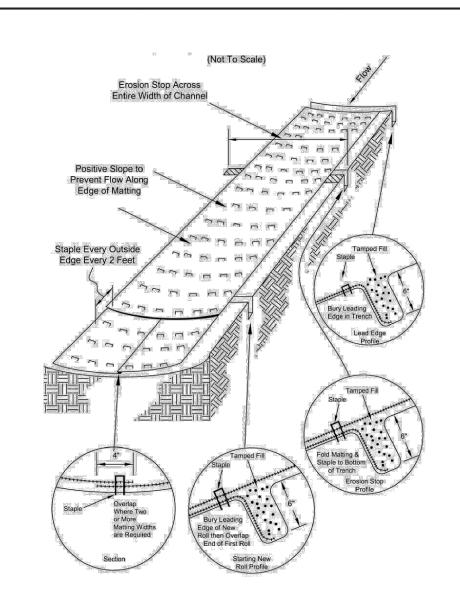
TRUE WARM & WELCOME SMITH'S MILL RD & JOHNSTOWN RD **NEW ALBANY, OH**

SESC DETAILS

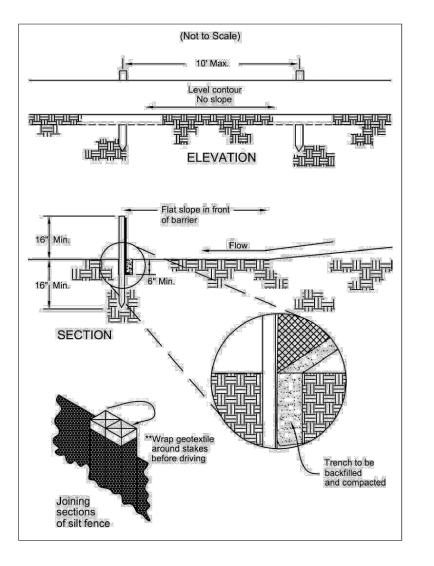


Temporary Rolled Erosion Control Product

Specifications

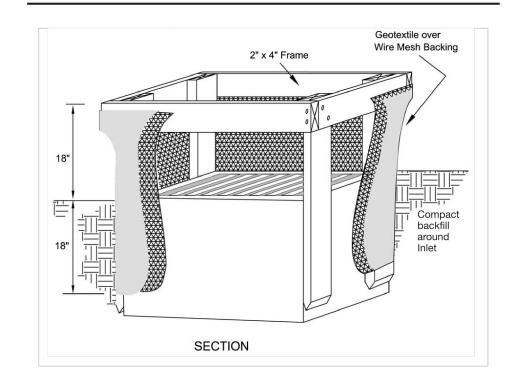


Specifications Silt Fence



Specifications

Geotextile Inlet Protection



- 1. Inlet protection shall be constructed either before upslope 5. Geotextile material shall have an equivalent opening size land disturbance begins or before the inlet becomes
- 2. The earth around the inlet shall be excavated completely to a depth at least 18 inches.
- 3. The wooden frame shall be constructed of 2-inch by 4-inch construction grade lumber. The 2-inch by 4-inch posts shall be driven one (1) ft. into the ground at four corners of the inlet and the top portion of 2-inch by 4-inch frame assembled using the overlap joint shown. The top of the frame shall be at least 6 inches below adjacent

roads if ponded water will pose a safety hazard to traffic.

- 4. Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely
- of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely It shall extend from the top of the frame to 18 inches below the inlet notch elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- 6. Backfill shall be placed around the inlet in compacted 6inch layers until the earth is even with notch elevation on ends and top elevation on sides.

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'. A compacted earth dike or check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression. The top of the dike shall be at least 6 inches higher than the top of the frame.

Specifications

Construction Entrance

- 1. Stone Size—ODOT # 2 (1.5-2.5 inch) stone shall be used, or 6. Timing—The construction entrance shall be installed as recycled concrete equivalent. 2. Length—The Construction entrance shall be as long as required to stabilize high traffic areas but not less than
- residence lots). 3. Thickness -The stone layer shall be at least 6 inches thick for light duty entrances or at least 10 inches for heavy duty

70 ft. (exception: apply 30 ft. minimum to single

- 4. Width -The entrance shall be at least 14 feet wide, but not less than the full width at points where ingress or egress

 9. Maintenance -Top dressing of additional stone shall be
- 5. Geotextile -A geotextile shall be laid over the entire area rot-proof polymeric fibers and meet the following specifications:

Figure 7.4.1

Figure 7.4.1			
Geotextile Specification for Co	onstruction Entrance		
Minimum Tensile Strength	200 lbs.		
Minimum Puncture Strength	80 psi.		
Minimum Tear Strength	50 lbs.		
Minimum Burst Strength	320 psi.		
Minimum Elongation	20%		
Equivalent Opening Size	EOS < 0.6 mm.		
Permittivity	1×10-3 cm/sec.		

soon as is practicable before major grading activities.

7. Culvert -A pipe or culvert shall be constructed under the entrance if needed to prevent surface water from flowing across the entrance or to prevent runoff from being directed out onto paved surfaces.

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- 8. Water Bar -A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out
- applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surface removed immediately. Removal shall be accomplished by
- scraping or sweeping. 10. Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.
- 1. Removal—the entrance shall remain in place until the disturbed area is stabilized or replaced with a permanent roadway or entrance.

1. Channel/Slope Soil Preparation Grade and compact area of **Channel Installation** installation, preparing seedbed by loosening 2"-3" of topsoil 9. Excavate initial anchor trench (12"x6") across the lower end above final grade. Incorporate amendments such as lime of the project area. and fertilizer into soil. Remove all rocks, clods, vegetation or other debris so that installed RECP will have direct contact

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- with the soil surface. 2. Channel/Slope Seeding Apply seed to soil surface prior to installation. All check slots, anchor trenches, and other disturbed areas must be reseeded. Refer to the Permanent Seeding specification for seeding recommendations.
- 3. Excavate top and bottom trenches (12"x6"). Intermittent erosion check slots (6"x6") may be required based on slope
- length. Excavate top anchor trench 2' x 3' over crest of the slope. 4. If intermittent erosion check slots are required, install RECP in 6"x6" slot at a maximum of 30' centers or the mid point
- of the slope. RECP should be stapled into trench on 12" 5. Install RECP in top anchor trench, anchor on 12" spacings, backfill and compact soil.
- minimum of 3". Anchor the seam every 18". Lay the RECP loose to maintain direct soil contact, do not pull taught. 7. Overlap roll ends a minimum of 12" with upslope RECP on

square yard dependant on slope. Refer to manufacturer's

6. Unroll RECP down slope with adjacent rolls overlapped a

top for a shingle effect. Begin all new rolls in an erosion check slot if required, double anchor across roll every 12". 8. Install RECP in bottom anchor trench (12"x6"), anchor every 12". Place all other staples throughout slope at 1 to 2.5 per

anchor guide.

Temporary Rolled Erosion Control Product

- 10. Excavate intermittent check slots (6"x6") across the channel at 30' intervals along the channel.
- 11. Excavate longitudinal channel anchor slots (4"x4") along both sides of the channel to bury the edges. Whenever possible extend the RECP 2'-3' above the crest of channel side
- 12. Install RECP in initial anchor trench (downstream) anchor every 12", backfill and compact soil. 13. Roll out RECP beginning in the center of the channel toward
- the intermittent check slot. Do not pull taught. Unroll adjacent rolls upstream with a 3" minimum overlap (anchor every 18") and up each channel side slope. 14. At top of channel side slopes install RECP in the longitudinal
- anchor slots, anchor every 18". 15. Install RECP in intermittent check slots. Lay into trench and secure with anchors every 12", backfill with soil and com-
- 16. Overlap roll ends a minimum of 12" with upstream RECP on top for a shingling effect. Begin all new rolls in an intermittent check slot, double anchored every 12". 17. Install upstream end in a terminal anchor trench (12"x6");
- anchor every 12", backfill and compact. 18. Complete anchoring throughout channel at 2.5 per square yard using suitable ground anchoring devices (U shaped wire staples, metal geotextile pins, plastic stakes, and triangular wooden stakes). Anchors should be of sufficient length

to resist pullout. Longer anchors may be required in loose

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sandy or gravelly soils.

Silt Fence

Specifications

- 1. Silt fence shall be constructed before upslope land disturbance begins.
- 2. All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points 10. Maintenance—Silt fence shall allow runoff to pass only in the fence and so that small swales or depressions that may carry small concentrated flows to the silt fence are dissipated along its length.
- 3. Ends of the silt fences shall be brought upslope slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
- 4. Silt fence shall be placed on the flattest area available. 5. Where possible, vegetation shall be preserved for 5 feet (or as much as possible) upslope from the silt fence. If
- egetation is removed, it shall be reestablished within days from the installation of the silt fence. 6. The height of the silt fence shall be a minimum of 16
- inches above the original ground surface. 7. The silt fence shall be placed in an excavated or sliced be made with a trencher, cable laying machine, slicing
- machine, or other suitable device that will ensure an adequately uniform trench depth. 8. The silt fence shall be placed with the stakes on the downslope side of the geotextile. A minimum of 8 inches
- of geotextile must be below the ground surface. Excess material shall lay on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.

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together only at a support post with a minimum 6-in. overlap prior to driving into the ground, (see details).

CHAPTER 6 Sediment Controls 33

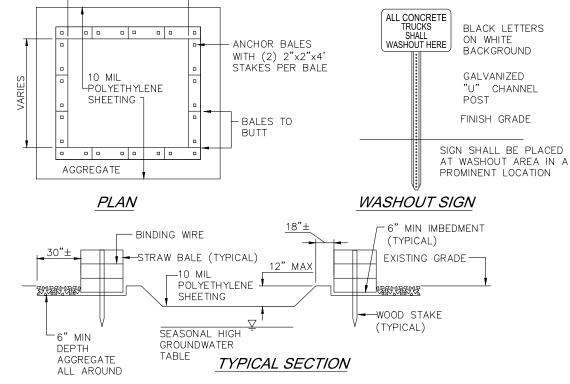
- as diffuse flow through the geotextile. If runoff overtops the silt fence, flows under the fabric or around the fence ends, or in any other way allows a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed, 2) accumulated sediment shall be removed, or
 - 3) other practices shall be installed. Sediment deposits shall be routinely removed when the deposit reaches approximately one-half of the height of the silt fence.
- Silt fences shall be inspected after each rainfall and at least daily during a prolonged rainfall. The location of existing silt fence shall be reviewed daily to ensure its proper location and effectiveness. If damaged, the silt fence shall be repaired immediately.
- 1. Fence post The length shall be a minimum of 32 inches. Wood posts will be 2-by-2-in. nominal dimensioned hardwood of sound quality. They shall be free of knots,
- splits and other visible imperfections, that will weaken the posts. The maximum spacing between posts shall be 10 ft. Posts shall be driven a minimum 16 inches into the ground, where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.

2. Silt fence fabric - See chart below.

Table 6.3.2 Minimum criteria for Silt Fence Fabric (ODOT, 2002)

FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (535 N)	ASTM D 4632
Maximum Elongation at 60 lbs	50%	ASTM D 4632
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4833
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533
Apparent Opening Size	≤ 0.84 mm	ASTM D 4751
Minimum Permittivity	1X10-2 sec1	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM G 4355

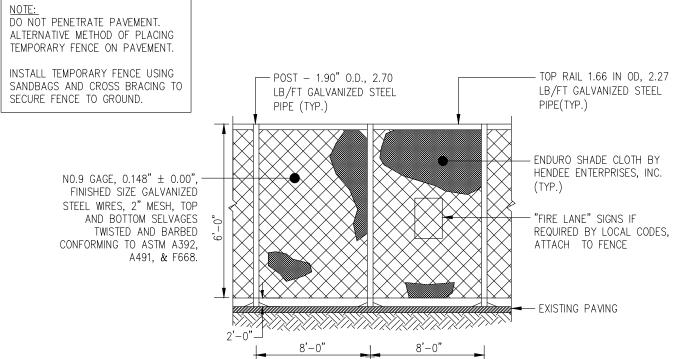
20 CHAPTER 7 Soil Stabilization

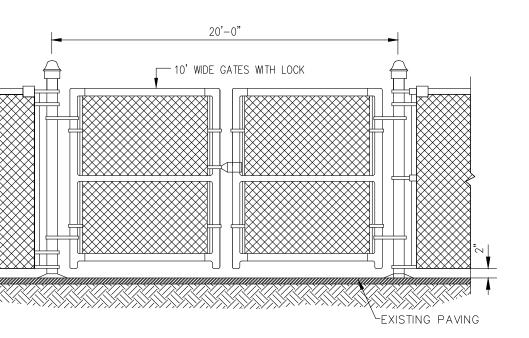


- 1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK
 5. ONE OR MORE AREAS MAY BE INSTALLED ON THE FREE AND CONTAIN ALL LIQUID WASTES.
- 2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED. 3. WASHOUT MUST BE CLEANED OR NEW FACILITIES
- CONSTRUCTED AND READY TO USE ONCE WASHOUT IS
- LOCATION EASILY ACCESSIBLE BY CONCRETE
 - CONSTRUCTION SITE AND MAY BE RELOCATED AS
- CONSTRUCTION PROGRESSES. 6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.
- 4. WASHOUT AREA(S) SHALL BE INSTALLED IN A

CONCRETE WASHOUT AREA NOT TO SCALE

DO NOT PENETRATE PAVEMENT. ALTERNATIVE METHOD OF PLACING TEMPORARY FENCE ON PAVEMENT.





FENCE GATE DETAIL

TEMPORARY CONSTRUCTION FENCE DETAIL

NOT TO SCALE

PANDA RESTAURANT GROUP INC. 1683 Walnut Grove Ave. Rosemead, California 91770

> Telephone: 626.799.9898 Facsimile: 626.372.8288

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REV	ISIONS:

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12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
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PANDA PROJECT #: D28203 PANDA STORE #:

ENGR PROJECT #: 23002030



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