

DEVELOPMENT TEAM

APPLICANT
 PANDA RESTAURANT GROUP
 1683 WALNUT GROVE AVE.
 ROSEMEAD, CA 91770-3711
 CONTACT: BRIAN KAN
 PHONE: 626-372-8550

CIVIL ENGINEER
 ATWELL, LLC
 12745 23 MILE ROAD, SUITE 200
 SHELBY TOWNSHIP, MI 48315
 CONTACT: MICHAEL McPHERSON
 PHONE: 586-786-9800

ARCHITECT
 HEIGHTS VENTURE
 ARCHITECTURE + DESIGN
 CONTACT: ERIC ABELN
 PHONE: 281-854-6119
 EMAIL: eric.abeln@hva.cc

GOVERNING AGENCIES / UTILITY CONTACTS

MUNICIPALITY
 CITY OF NEW ALBANY
 99 W MAIN ST
 NEW ALBANY, OH 43054
 CONTACT: N/A
 PHONE: 614-855-3913

WATER
 CITY OF COLUMBUS
 111 N. FRONT ST
 COLUMBUS, OH 43215
 PHONE: 614-645-8276

SESC
 FRANKLIN COUNTY
 ENGINEERS OFFICE
 970 DUBLIN RD
 COLUMBUS, OH 43215
 PHONE: 614-525-3072

STORMWATER
 NEW ALBANY PUBLIC SERVICE DPT
 7800 BEVELHYMER RD
 NEW ALBANY, OH 43054
 PHONE: 614-855-0076
 EMAIL: publicservice@newalbanyohio.org

GAS
 COLUMBIA GAS OF OHIO
 3550 JOHNNY APPLESEED CT
 COLUMBUS, OH 43231
 PHONE: 614-818-2107

DATA/TELEPHONE
 AT&T
 111 NORTH 4TH ST
 COLUMBUS, OH 43215
 CONTACT: RON HARRISON
 PHONE: (614) 223-4362

ELEC.
 AEP OHIO
 PHONE: 614-883-7832

SITE PLANS



SEC OF SMITH'S MILL RD AND US-62 (ADDRESS TBD)
 NEW ALBANY, OHIO, 43054

PREPARED BY:

Atwell, LLC
 12745 23 Mile Road
 Shelby Township, Michigan
 48315
 Telephone: 586-786-9800

PREPARED FOR:

PANDA RESTAURANT GROUP INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

SITE LEGAL DESCRIPTION

SEE ATTACHED ALTA SURVEY FOR FULL LEGAL DESCRIPTION OF SURVEYED PARCELS

PROJECT NARRATIVE

THIS PROJECT PROPOSES TO CONSTRUCT A 2,600 SQUARE FOOT PANDA EXPRESS RESTAURANT WITH DRIVE-THRU ON SMITH'S MILL ROAD AND JOHNSTON RD (US-62).

PANDA EXPRESS STANDARD NOTES

- THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS SITE AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THE REPORTS, RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORTS RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION, ETC.
- CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

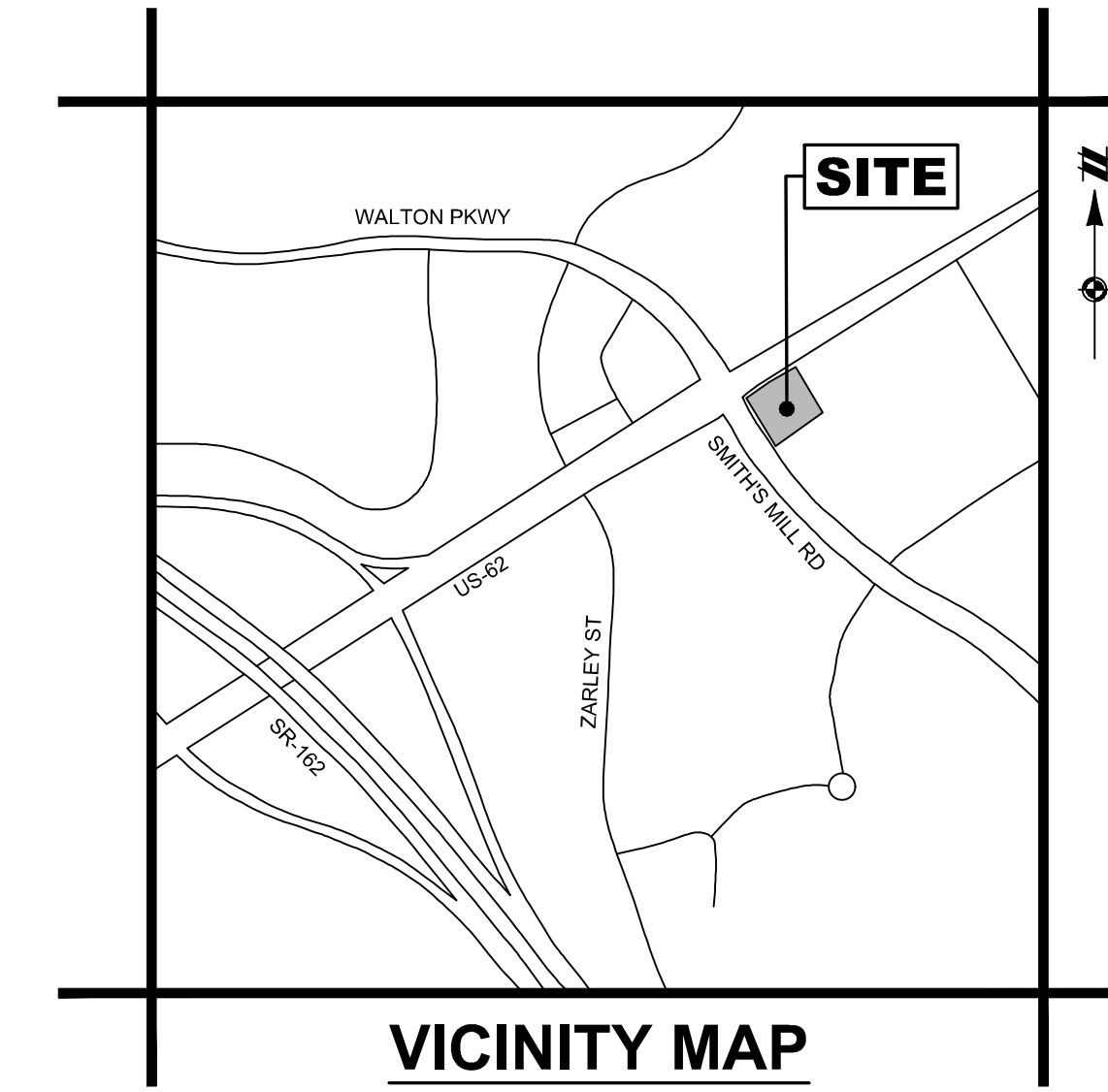
24-HOUR CONTACT:
 PANDA PM



Know what's below.
 Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, IF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



VICINITY MAP

NOT TO SCALE



REGIONAL MAP

NOT TO SCALE

SITE DATA

PARCEL DATA

PARCEL ID#	GROSS AREA	ZONING
222-000347	1.25 AC.	IPUD

BUILDING DATA

BLDG	HEIGHT	GROSS FLOOR AREA	BLDG COVERAGE
PANDA	22.5 FEET	2,600 SFT	4.59%

STANDARD PARKING DATA

PROPOSED	REQUIRED	FORMULA
37 SPACES	35 SPACES	1 SPACE/75 GFA = 2600 SF/75 SF

ACCESSIBLE PARKING DATA

	PROPOSED	REQUIRED	FORMULA
TOTAL	2 SPACES	2 SPACES	26-50 TOTAL SPACES
VAN	1 SPACES	1 SPACE	1/6 ACCESSIBLE SPACES

STACKING DATA

	PROVIDED	REQUIRED	FORMULA
STACKING	19 SPACES	9 SPACES	25% OF TOTAL PARKING

SHEET INDEX

- C01 COVER
- C02 OVERALL LAYOUT PLAN
- C03 SITE LAYOUT PLAN
- C04 PRELIMINARY GRADING AND STORMWATER PLAN
- C05 PRELIMINARY UTILITY PLAN
- C06 LANDSCAPING PLAN
- C07 LANDSCAPING DETAILS
- C08 SESC PLAN - STAGE I
- C09 SESC PLAN - STAGE II
- C10 SESC DETAILS
- C11 SESC DETAILS
- C12 SESC NOTES

ATTACHED PLANS

- ALTA SURVEY
- PHOTOMETRIC PLAN
- A-101 FLOOR PLAN
- A-103 FLOOR PLAN
- A-202 EXTERIOR PERSPECTIVES
- A-203 SIGNAGE PLAN
- A-204 SIGNAGE PLAN
- A-205 MONUMENT SIGN PLAN
- A-407 TRASH ENCLOSURE DETAILS
- E-1 PHOTOMETRIC PLAN
- E-2 FIXTURE PLAN
- E-3 FIXTURE PLAN



PANDA RESTAURANT GROUP INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203
 PANDA STORE #:
 ENGR PROJECT #: 23002030



PANDA EXPRESS

TRUE WARM & WELCOME
 SMITH'S MILL RD & JOHNSTOWN RD
 NEW ALBANY, OH

C01

COVER

JOHNSTON RD (US-62)

VARIABLE R.O.W.
O.D.O.T. JURISDICTION

LEGEND

- PROPERTY LINE
- PROPOSED PROPERTY BOUNDARY
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED STANDARD-DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY-DUTY ASPHALT PAVEMENT
- CROSSWALK
- TRAFFIC FLOW ARROWS
- PROPOSED SIGN
- PARKING ROW COUNT
- ACCESSIBLE PARKING SPACE
- EXISTING / PROPOSED LIGHT POLE
- PROPOSED RAMP

SITE DATA

PARCEL DATA

PARCEL ID#	GROSS AREA	ZONING
222-000347	1.25 AC.	IPUD

BUILDING DATA

BLDG	HEIGHT	GROSS FLOOR AREA	BLDG COVERAGE
PANDA	22.5 FEET	2,600 SFT	4.59%

STANDARD PARKING DATA

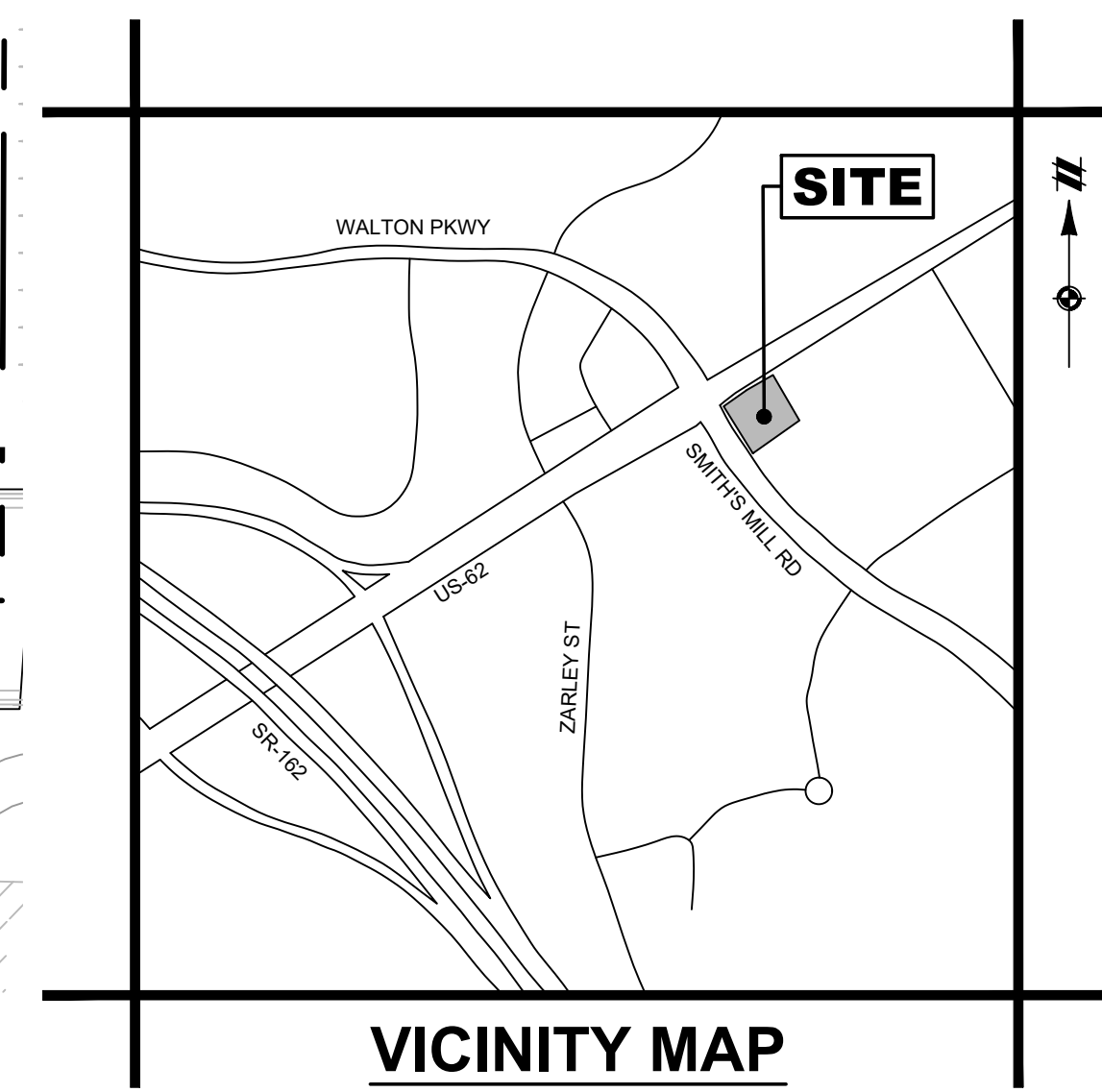
PROPOSED	REQUIRED	FORMULA
37 SPACES	35 SPACES	1 SPACE/75 GFA = 2600 SF/75 SF

ACCESSIBLE PARKING DATA

PROPOSED	REQUIRED	FORMULA
TOTAL 2 SPACES	2 SPACES	26-50 TOTAL SPACES
VAN 1 SPACES	1 SPACE	1/6 ACCESSIBLE SPACES

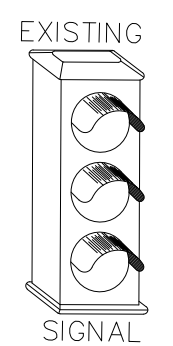
STACKING DATA

PROVIDED	REQUIRED	FORMULA
STACKING 19 SPACES	9 SPACES	25% OF TOTAL PARKING

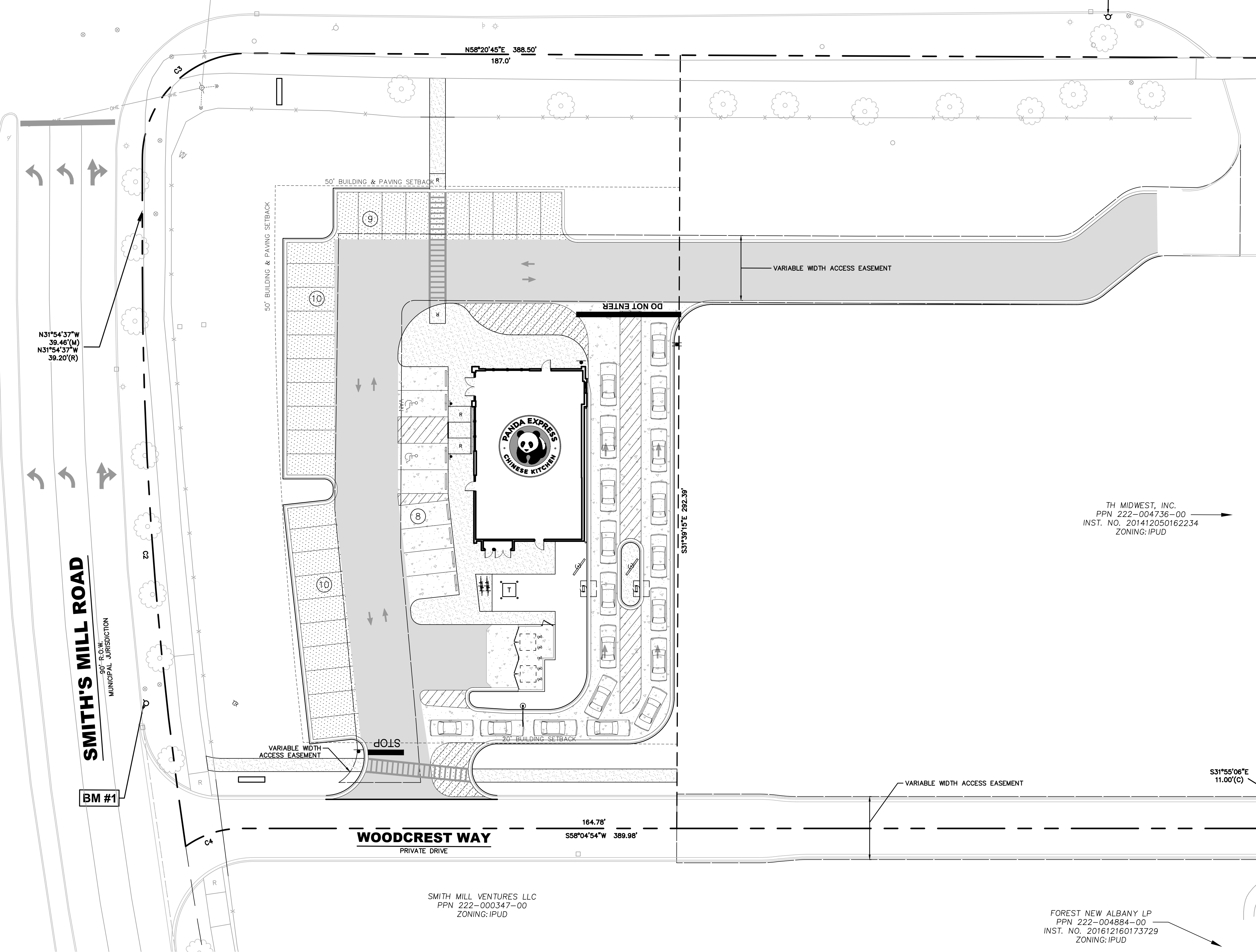


VICINITY MAP

NOT TO SCALE



EXISTING
SIGNAL



SITE BENCHMARKS

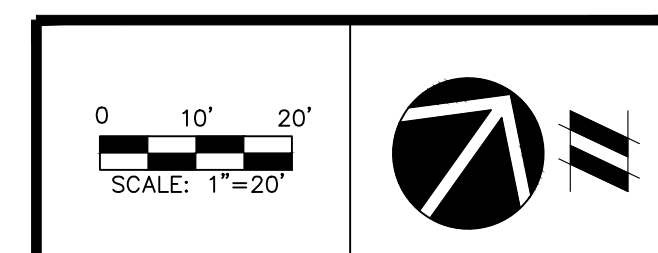
BM #1: NORTH BOLT ON HYDRANT BONNET
N 761284.786' E 1886568.119'
ELEV.=1058.86' (NAD83)

BM #2: SOUTH BOLT ON HYDRANT BONNET
N 761696.87' E 1886740.026'
ELEV.=1065.21' (NAD83)

TH MIDWEST, INC.
PPN 222-004736-00
INST. NO. 201412050162234
ZONING: IPUD

FOREST NEW ALBANY LP
PPN 222-004884-00
INST. NO. 201612160173729
ZONING: IPUD

SMITH MILL VENTURES LLC
PPN 222-000347-00
ZONING: IPUD



811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DATE	DESCRIPTION

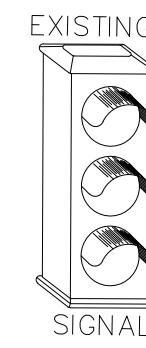
DRAWN BY: EO/SH

PANDA PROJECT #: D28203
PANDA STORE #:
ENGR PROJECT #: 23002030



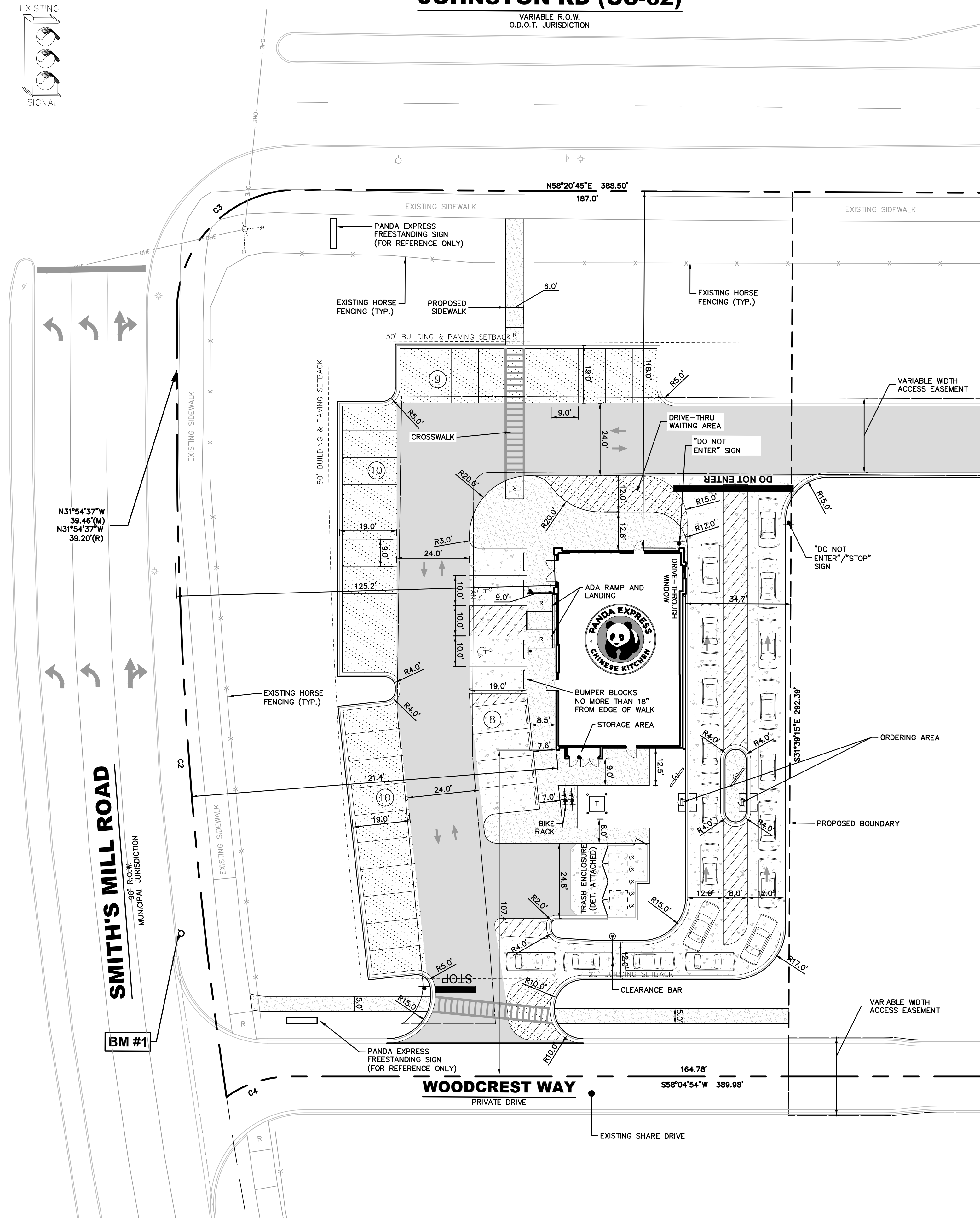
PANDA EXPRESS
TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C02
OVERALL LAYOUT PLAN



JOHNSTON RD (US-62)

VARIABLE R.O.W.
O.D.O.T. JURISDICTION



LEGEND

- PROPERTY LINE
- PROPOSED PROPERTY BOUNDARY
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED STANDARD-DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY-DUTY ASPHALT PAVEMENT
- CROSSWALK
- TRAFFIC FLOW ARROWS
- PROPOSED SIGN
- PARKING ROW COUNT
- ACCESSIBLE PARKING SPACE
- EXISTING / PROPOSED LIGHT POLE
- PROPOSED RAMP

NOTES

- SEE OVERALL SITE LAYOUT SHEET FOR ADJACENT PARCEL OWNERSHIP AND ZONING.

SITE DATA

PARCEL DATA

PARCEL ID#	GROSS AREA	ZONING
222-000347	1.25 AC.	IPUD

BUILDING DATA

BLDG	HEIGHT	GROSS FLOOR AREA	BLDG COVERAGE
PANDA	22.5 FEET	2,600 SFT	4.59%

STANDARD PARKING DATA

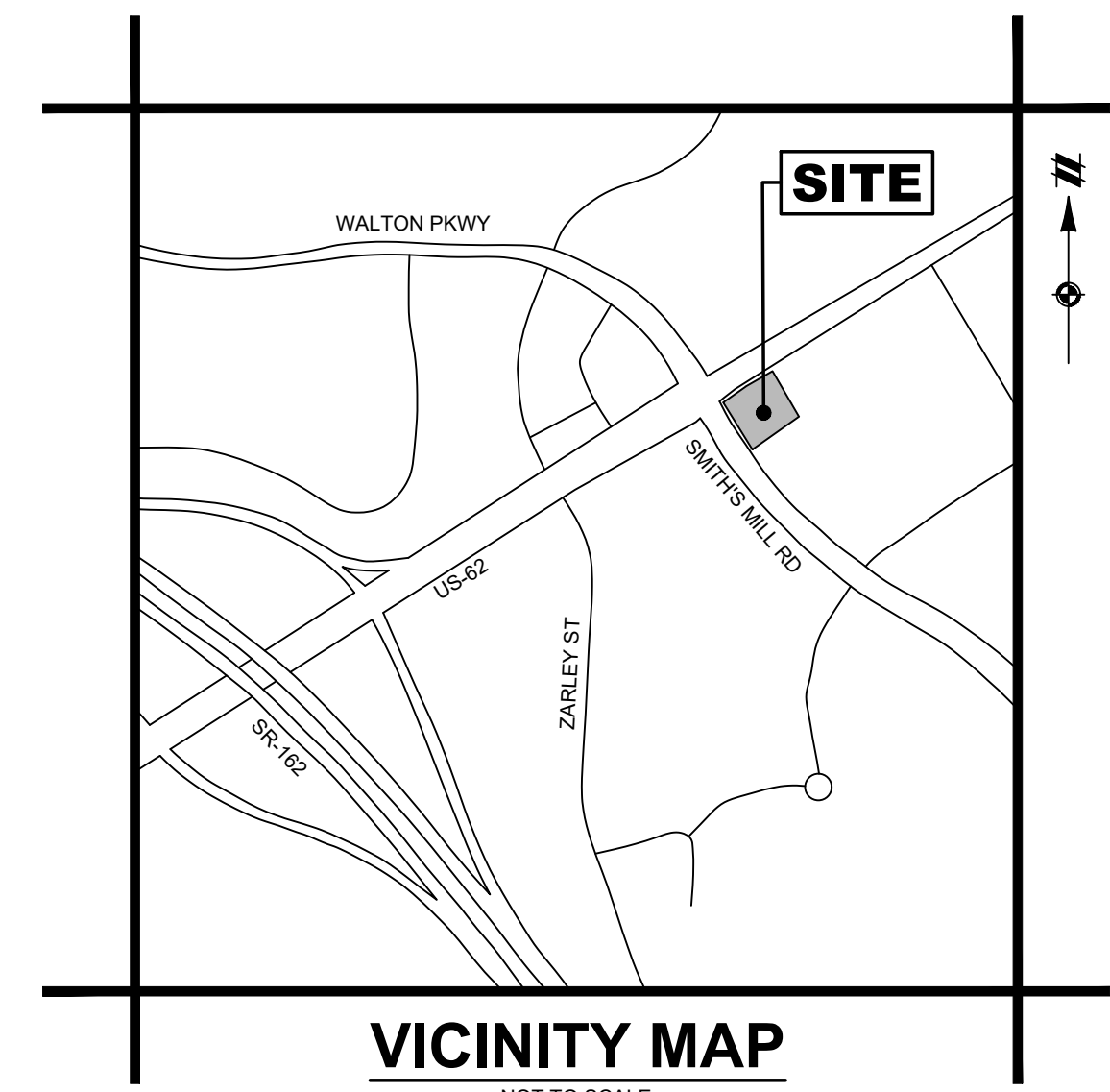
PROPOSED	REQUIRED	FORMULA
37 SPACES	35 SPACES	1 SPACE/75 GFA = 2600 SF/75 SF

ACCESSIBLE PARKING DATA

PROPOSED	REQUIRED	FORMULA
TOTAL 2 SPACES	2 SPACES	26-50 TOTAL SPACES
VAN 1 SPACES	1 SPACE	1/6 ACCESSIBLE SPACES

STACKING DATA

PROVIDED	REQUIRED	FORMULA
STACKING 19 SPACES	9 SPACES	25% OF TOTAL PARKING

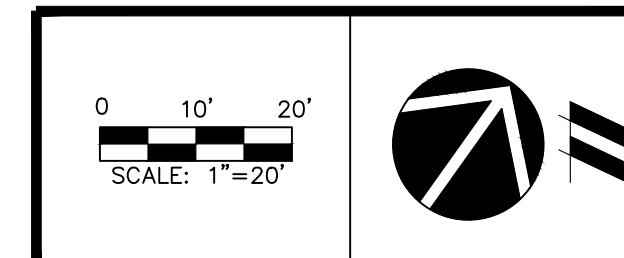


VICINITY MAP
NOT TO SCALE

SITE BENCHMARKS

BM #1: NORTH BOLT ON HYDRANT BONNET
N 761284.786' E 1886568.119'
ELEV.=1058.86' (NAD83)

BM #2: SOUTH BOLT ON HYDRANT BONNET
N 761696.87' E 1886740.026'
ELEV.=1065.21' (NAD83)



**Know what's below.
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: SOLE RESPONSIBILITY OF THE CONTRACTOR: NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203
PANDA STORE #:
ENGR PROJECT #: 23002030



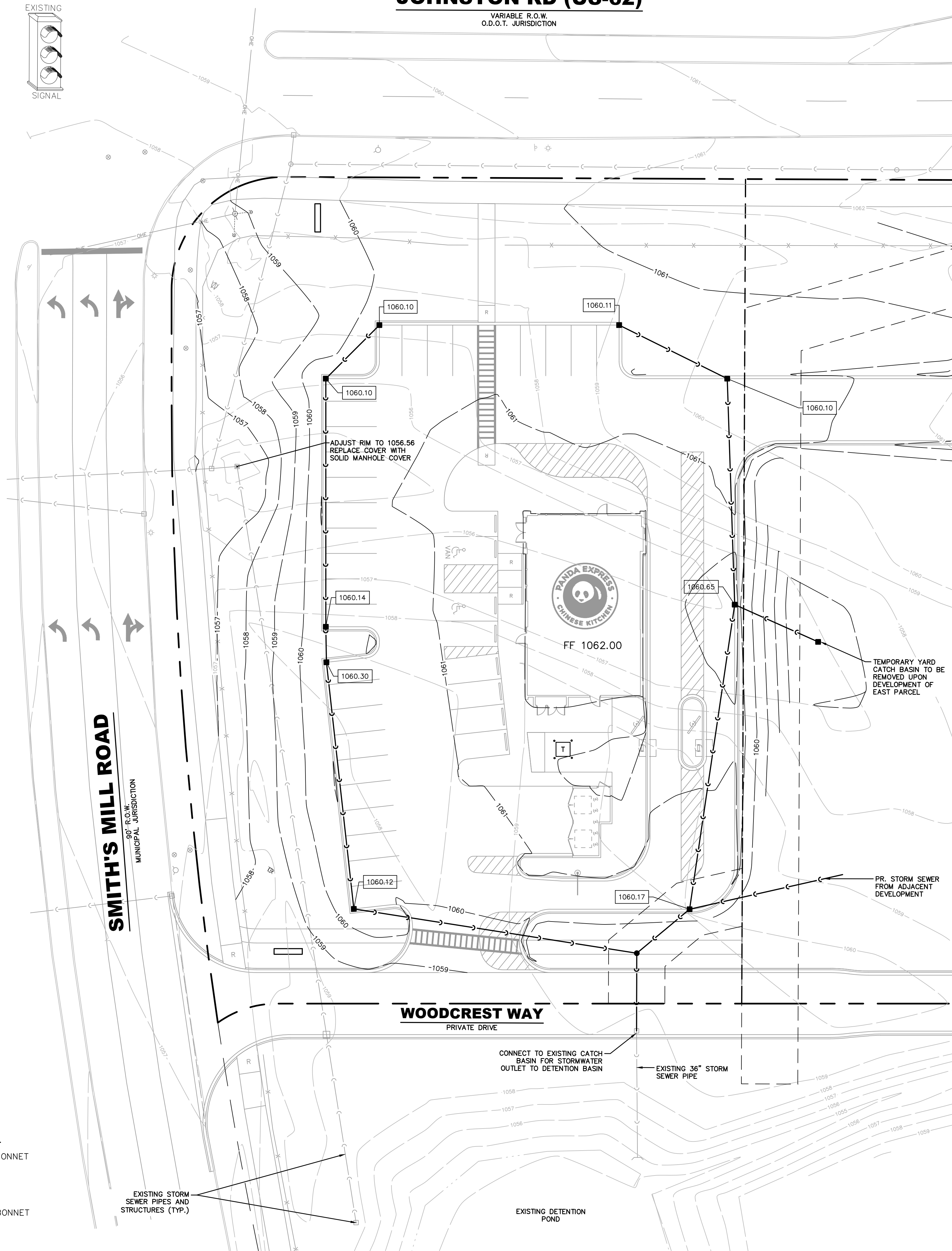
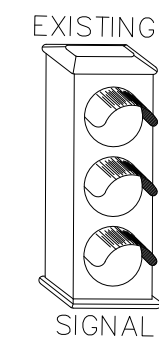
PANDA EXPRESS
TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C03

SITE LAYOUT PLAN

JOHNSTON RD (US-62)

VARIABLE R.O.W.
O.D.O.T. JURISDICTION



LEGEND

- — — — — PROPERTY LINE
- 500 — — — — — PROPOSED CONTOUR
- 500 — — — — — EXISTING CONTOUR
- < — — — — — BIOSWALE
- < — — — — — PROPOSED STORM SEWER
- < — — — — — EXISTING STORM SEWER
- ● EXISTING / PROPOSED MANHOLE
- ■ EXISTING / PROPOSED CATCH BASIN

NOTES

1. REFER TO SURVEY FOR BENCHMARK(S).
2. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
3. ALL ELEVATIONS SHOWN ARE TOP OF PAVEMENT/FINISH GRADE UNLESS OTHERWISE NOTED.
4. PROPOSED ELEVATIONS FOR STRUCTURES ARE:
HYDRANT = BASE FLANGE
VALVE/MANHOLE/CLEANOUT = RIM
CATCH BASIN/INLET = RIM/FLOW LINE

STORMWATER NARRATIVE

ON-SITE RUNOFF WILL GENERALLY SHEET FLOW TO A SERIES OF CATCH BASINS WHICH WILL BE CONVEYED VIA A STORM SEWER NETWORK TO AN EXISTING DETENTION POND, THAT HAS BEEN SIZED TO ACCOMMODATE STORM WATER FROM THIS SITE, LOCATED TO THE SOUTHEAST OF THE SITE.

STORM WATER IN PERVIOUS AREAS IN THE FRONT YARD OF THE SITE WILL BE CONVEYED VIA A STORM SWALE TO AN EXISTING YARD CATCH BASIN NEAR THE SMITH'S MILL ROAD RIGHT OF WAY.



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

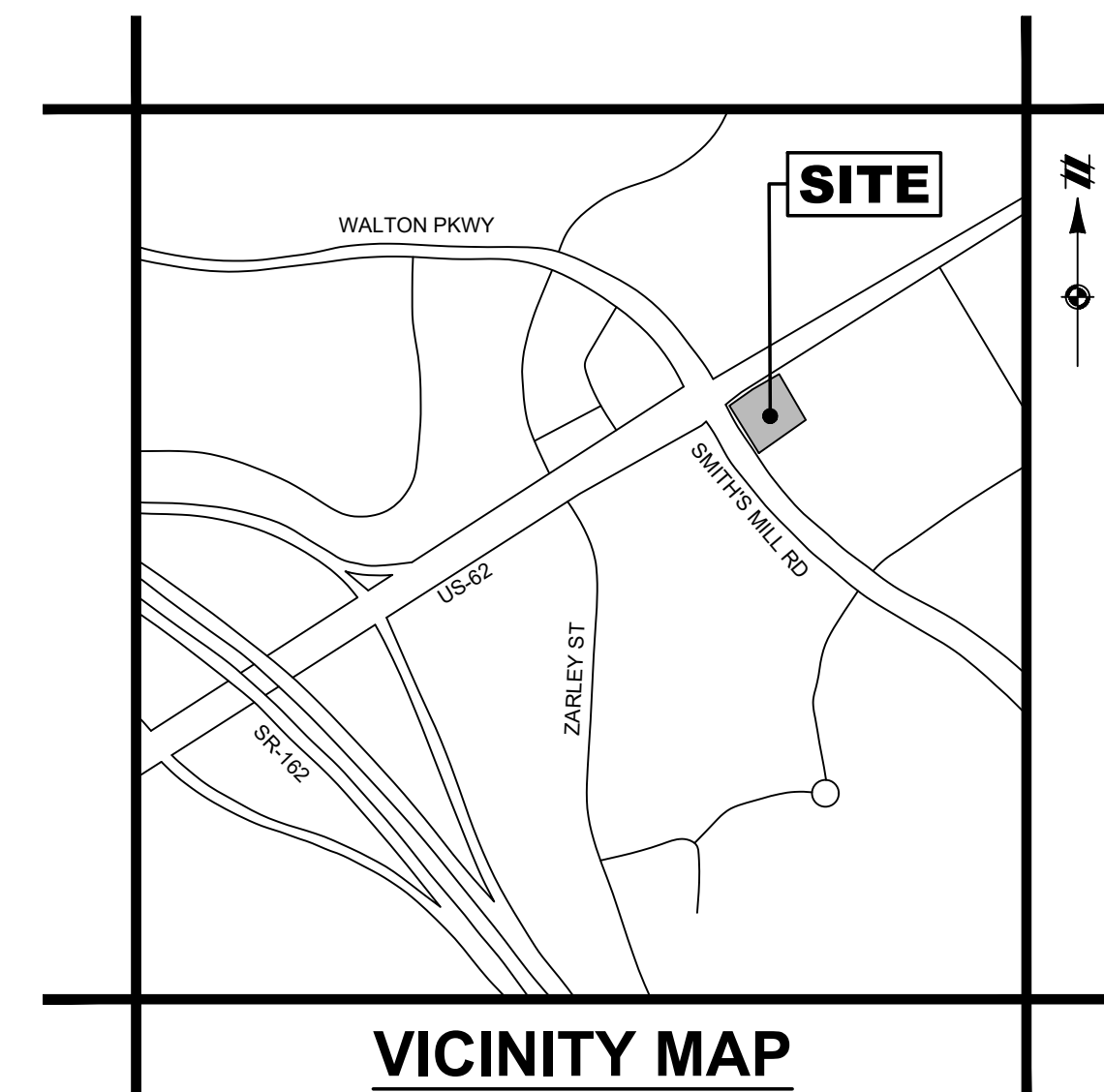
NO.	DATE	DESCRIPTION

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203
PANDA STORE #:
ENGR PROJECT #: 23002030



VICINITY MAP

NOT TO SCALE

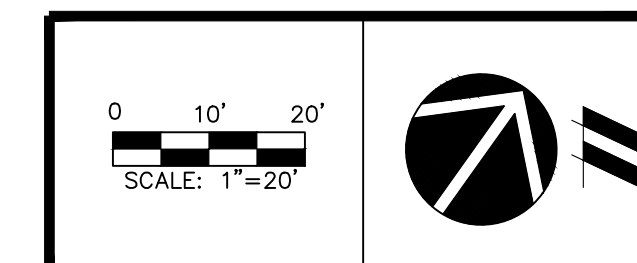
SITE BENCHMARKS

BM #1: NORTH BOLT ON HYDRANT BONNET
N 761284.786' E 1886568.119'
ELEV.=1058.86' (NAD83)

BM #2: SOUTH BOLT ON HYDRANT BONNET
N 761696.87' E 1886740.026'
ELEV.=1065.21' (NAD83)

EXISTING STORM SEWER PIPES AND STRUCTURES (TYP.)

EXISTING DETENTION POND



811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

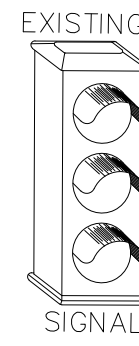
NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.

C04

PRELIMINARY GRADING AND STORMWATER PLAN

JOHNSTON RD (US-62)

VARIABLE R.O.W.
O.D.O.T. JURISDICTION

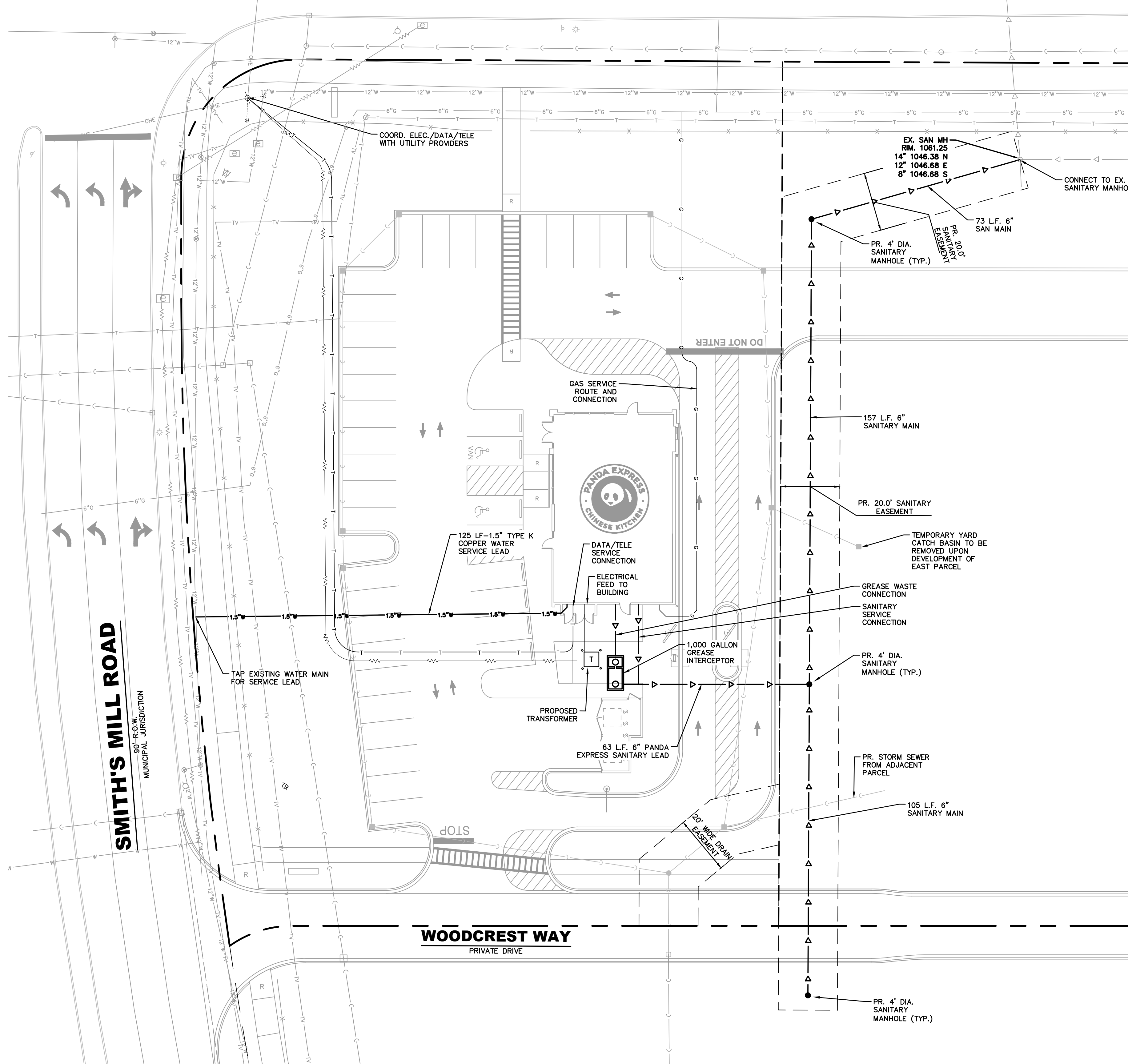


LEGEND

	PROPERTY LINE		EXISTING / PROPOSED MANHOLE
	EXISTING OVERHEAD LINES		EXISTING / PROPOSED HYDRANT
	EXISTING STORM SEWER		EXISTING / PROPOSED VALVE OR STOP BOX
	EXISTING SANITARY SEWER		EXISTING / PROPOSED LIGHT POLE
	EXISTING WATER		EXISTING / PROPOSED CATCH BASIN
	PROPOSED SANITARY SEWER		PROPOSED CLEANOUT
	PROPOSED WATER		EXISTING UTILITY POLE
	UNDERGROUND ELECTRIC		
	UNDERGROUND GAS		
	UNDERGROUND TELEPHONE/DATA		
	PROPOSED STORM SEWER		
	PROPOSED GRANULAR BACKFILL		

NOTES

- FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAIL SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH UTILITY COMPANY OR AUTHORITY HAVING JURISDICTION PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL PAY ANY UTILITY COMPANY FEES ASSOCIATED WITH SERVICE INSTALLATION.
- CONTRACTOR SHALL CALL "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION.
- ALL SANITARY SEWER SHALL BE PVC SDR 23.5.



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

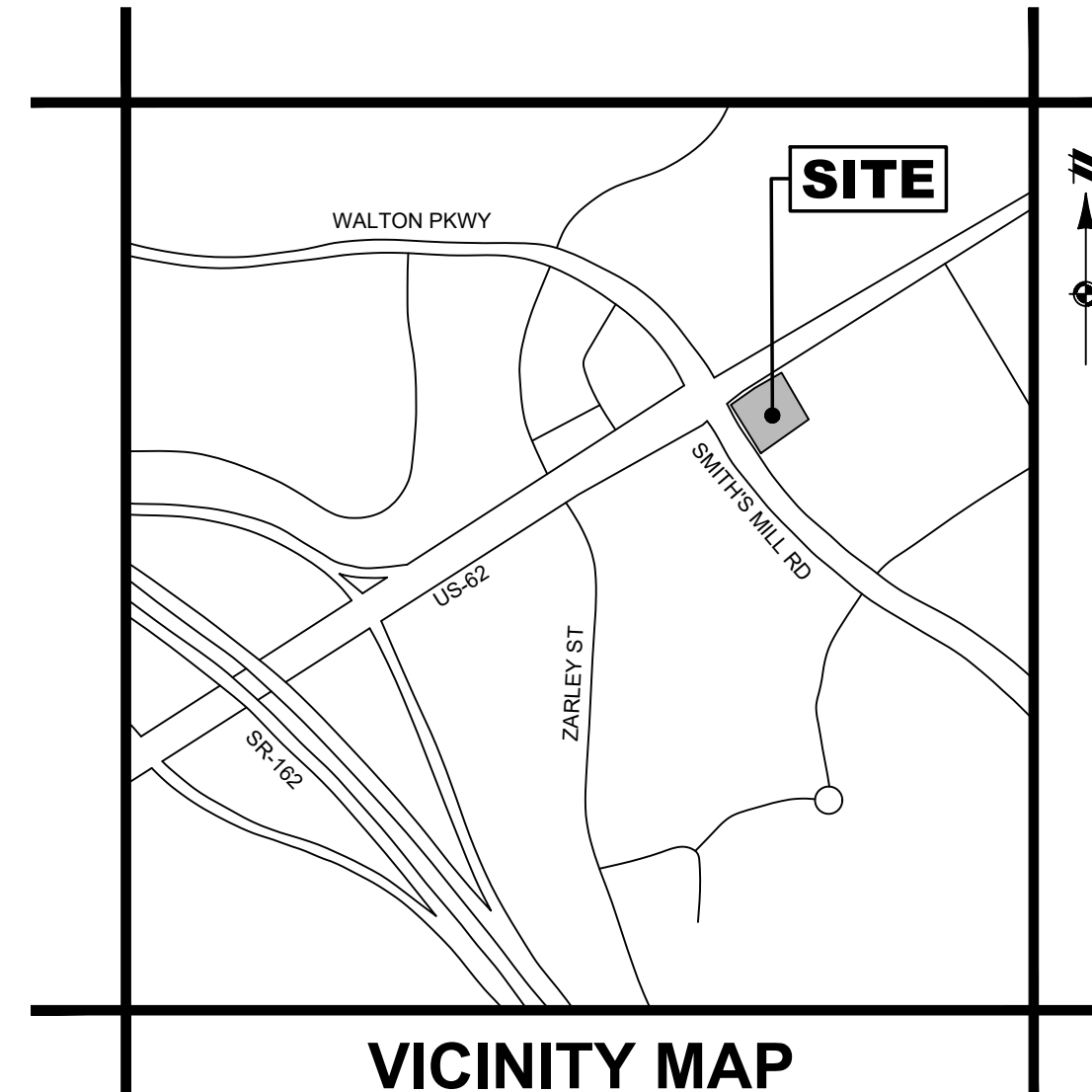
NO.	DESCRIPTION

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

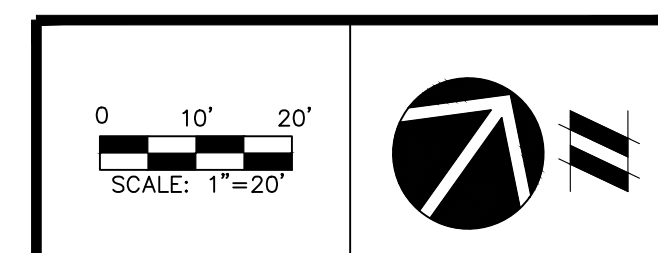
PANDA PROJECT #: D28203
PANDA STORE #:
ENGR PROJECT #: 23002030



SITE BENCHMARKS

BM #1: NORTH BOLT ON HYDRANT BONNET
N 761284.786' E 1886568.119'
ELEV.=1058.86' (NAD83)

BM #2: SOUTH BOLT ON HYDRANT BONNET
N 761696.87' E 1886740.026'
ELEV.=1065.21' (NAD83)



811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

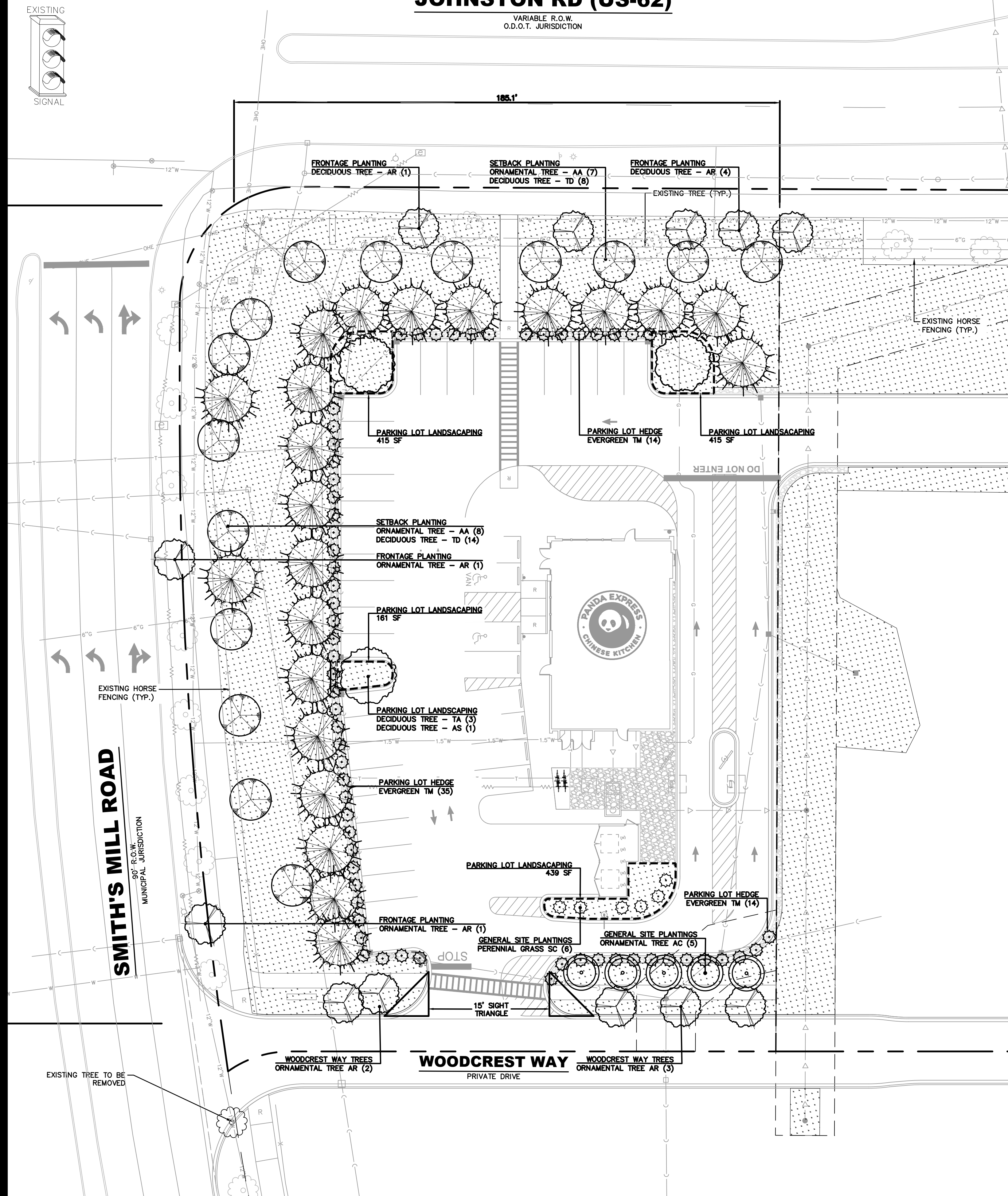


PANDA EXPRESS
TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C05
PRELIMINARY UTILITY PLAN

JOHNSTON RD (US-62)

VARIABLE R.O.W.
O.D.O.T. JURISDICTION



LEGEND

- PROPERTY LINE
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- EXISTING HORSE FENCE

- PROPOSED ROCK GARDEN
- PROPOSED SOD
- PROPOSED SEEDING
- PERENNIAL FLOWERS
- ANNUAL COLOR

- DECIDUOUS TREE
- ORNAMENTAL TREE
- PERENNIAL GRASS
- DECIDUOUS SHRUB

PLANT KEY
PA (3) ← PLANT QUANTITY
← PLANT KEY (REFER TO SCHEDULE)

OPEN SPACE

PROVIDED OPEN SPACE	TOTAL SITE AREA	PERCENTAGE OPEN SPACE
38,737.13 SF	64,712.25 SF	59.86%

LANDSCAPE REQUIREMENTS SUMMARY

ITEM	QTY PROVIDED	QTY REQUIRED	FORMULA
STREET TREE REQUIREMENTS			
SMITH'S MILL RD TREES	7 TREES*	7 TREES	1 TREE/30 LF OF FRONTAGE (185 LF)
US-62 TREES	10 TREES*	10 TREES	1 TREE/30 LF OF FRONTAGE (277 LF)

SETBACK TREE REQUIREMENTS	QTY PROVIDED	QTY REQUIRED	FORMULA
SMITH'S MILL RD TREES	15 TREES	15 TREES	8 TREES/100 LF OF FRONTAGE (185 LF)
US-62 TREES	22 TREES	22 TREES	8 TREES/100 LF OF FRONTAGE (277 LF)

GENERAL SITE LANDSCAPING	QTY PROVIDED	QTY REQUIRED	FORMULA
TREES**	5 TREES	5 TREES	1 TREE/5,000 SF IMPERVIOUS AREA
LANDSCAPED AREA***	1,430 SF	1,012 SF	8 SF/100 SF PARKING AREA (12,654 SF)
TREES	4 TREES	4 TREES	1 TREE/10 PARKING SPACES

***MINIMUM SIZE OF LANDSCAPED AREA IS 350 SF AND MUST CONTAIN 1 DECIDUOUS CANOPY TREE PER 10 PARKING SPACES

DECIDUOUS CANOPY TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AS	6	SUGAR MAPLE	ACER SACCHARUM	5" CAL.	B & B
TA	4	TILIA AMERICANA	AMERICAN LINDEN	5" CAL.	B & B

DECIDUOUS ORNAMENTAL TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AC	5	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	2.5" CAL.	B & B
AR	12	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2.5" CAL.	B & B
AA	15	AMELANCHIER ARBOREA	COMMON SERVICEBERRY	2.5" CAL.	B & B

EVERGREEN TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TD	22	TAXODIUM DISTICHUM	BALD CYPRUS	2.5" CAL.	B & B

PERENNIAL GRASS SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SC	6	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	24"	B & B

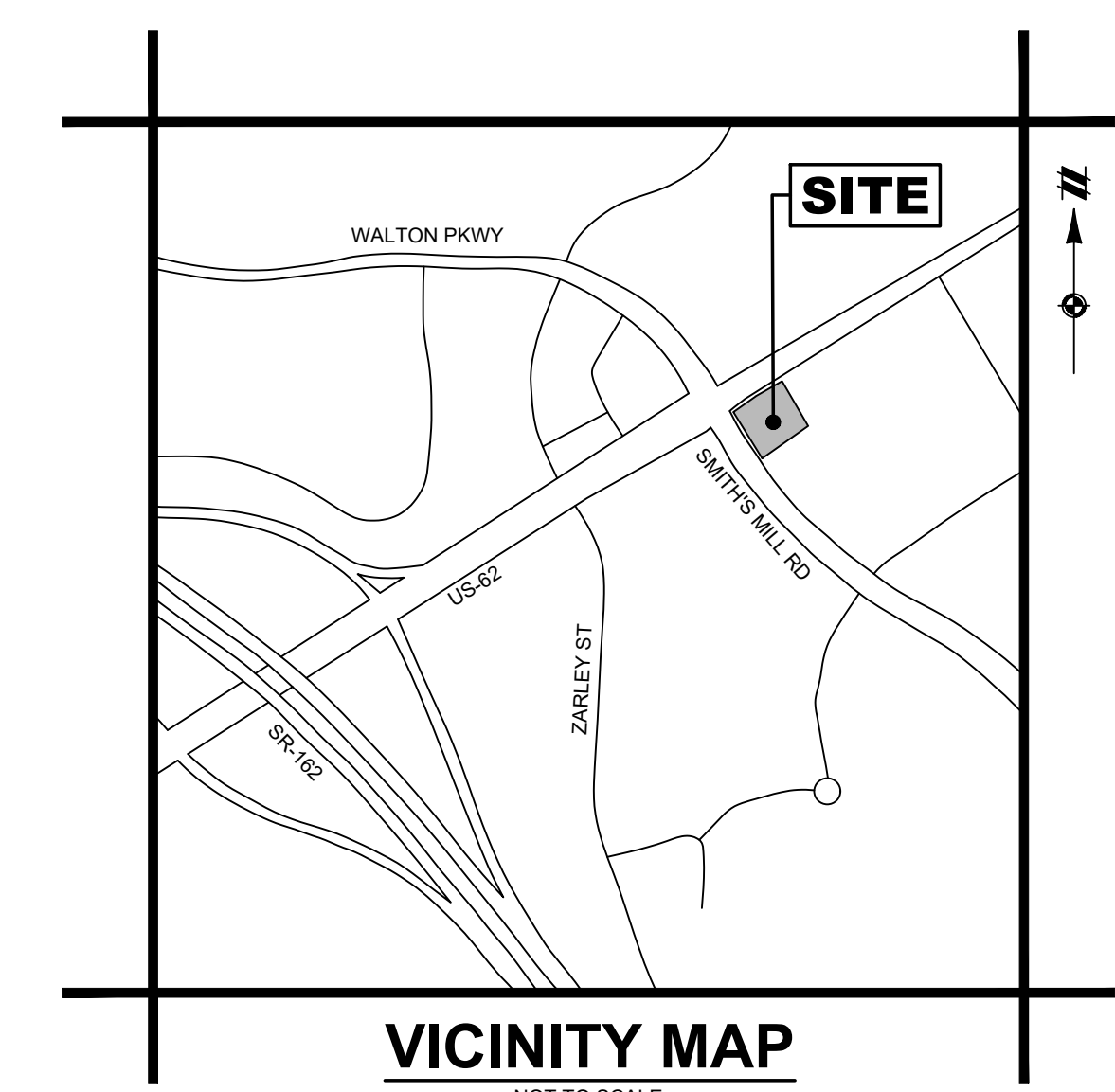
EVERGREEN SHRUB SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TM	63	TAXUS X. MEDIA 'DENSIFORMIS'	DENSE YEW	36"	CONT.*

*TO BE TOUCHING ON INSTALLATION

NOTES TO CONTRACTOR

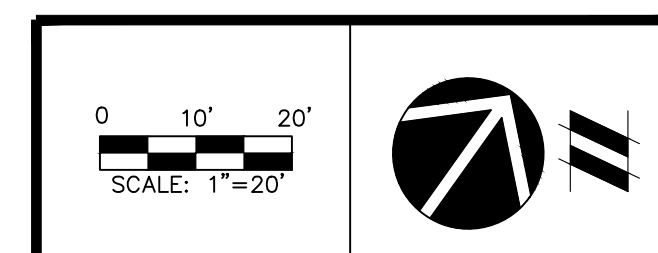
- ALL DISEASED, DAMAGED, OR DEAD PLANTING MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH STANDARDS OF THE CITY OF NEW ALBANY ZONING ORDINANCE.
- ALL PLANTS SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS.
- ALL LANDSCAPED AREAS SHALL BE COVERED BY GRASS OR OTHER LIVING GROUND COVER. GRASS AREAS SHALL BE PLANTED IN SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN THE CITY OF STERLING HEIGHTS. PROVIDE SHREDDED HARDWOOD MULCH AROUND THE BASE OF ALL TREES.
- ALL TREE STAKING IN PARKING LOT ISLANDS SHALL BE REMOVED IN AREAS OPEN TO BUSINESS.
- SITE IRRIGATION TO BE PROVIDED FOR ALL PROPOSED LANDSCAPE IMPROVEMENT AREAS AND LAWN AREAS. CONTRACTOR TO COORDINATE DESIGN BUILD PLANS FOR IRRIGATION.



SITE BENCHMARKS

BM #1: NORTH BOLT ON HYDRANT BONNET
N 761284.786' E 1886568.119'
ELEV.=1058.86' (NAD83)

BM #2: SOUTH BOLT ON HYDRANT BONNET
N 761696.87' E 1886740.026'
ELEV.=1065.21' (NAD83)



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203
PANDA STORE #:
ENGR PROJECT #: 23002030



PANDA EXPRESS
TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C06
LANDSCAPING PLAN

GENERAL NOTES

- LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTINGS AND RELATED WORK. LANDSCAPE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS ON PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING 811 PRIOR TO STAKING PLANT LOCATIONS. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES CONTACT LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WITH ANY CONCERNS. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS AND MUST BE MAINTAINED AS APPROVED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUBS MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWING OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT AND OWNER BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS OF THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY 4" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL DEPTH IN ALL LAWN AREAS, BACKFILL AND GROUND PARKING LOT ISLANDS 6" ABOVE ADJACENT CURBS WITH TOPSOIL. BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
- ACCEPTANCE OF GRADING AND SOD/SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE HAS BEEN RECEIVED. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOD/SEED IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE, THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITIES.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY OR NOT MEETING SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF SITE AT THE COMPLETION OF LANDSCAPING EACH DAY. AT ALL TIMES THE SIDEWALKS SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS. REMOVE SURPLUS SOIL AND WASTE MATERIAL, TRASH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL, EROSION AND DUST CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL PREVENT EROSION OF SOIL AND ENTRY OF SOIL-BEARING WATER AND AIRBORNE DUST ONTO ADJACENT PROPERTIES AND INTO THE PUBLIC STORMWATER FACILITIES. REFER TO EROSION CONTROL PLANS FOR DETAILS.

MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.

- MULCH MATERIAL: AS SPECIFIED ON THE LANDSCAPE PLANS. MASS MULCH ALL PLANTING BEDS TO 3" DEPTH. ALL SHRUB PLANTING BEDS TO RECEIVE 3" DEEP MULCH. ALL EVERGREEN AND DECIDUOUS TREES (IF USED) TO RECEIVE 6" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK. EXTENT OF MULCH TO BE 5'-0" DIA. AT TREES AND 18" BEYOND SHRUB DRIP LINES.
- TREE STAKING: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO STAKE AND/OR GUY THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB CONDITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD ESPECIALLY WHERE VANDALISM, SOIL OR WIND CONDITIONS ARE A PROBLEM. AT END OF GUARANTEE PERIOD ALL STAKES SHALL BE REMOVED BY LANDSCAPE CONTRACTOR. ALL STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY AND ALL CIRCULATION ROUTES.
- TREE WRAPPING: WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.
- EDGING: EDGING SHALL BE SPADE EDGED.
- FERTILIZER: JUMP-SHOT ROOT STIMULATOR AS MANUFACTURED BY ACME, OR APPROVED EQUAL, SHALL BE APPLIED TO THE SOIL BACKFILL OF EACH PLANT DURING INSTALLATION.
- PLANT SIZING: MEASURE TREES AND SHRUBS ACCORDING TO ANSI Z60.1 STANDARDS. TAKE CALIPER MEASUREMENTS 6 INCHES ABOVE GROUND FOR TREES UP TO 4" CALIPER AND 12 INCHES ABOVE GROUND FOR LARGER TREES. ALWAYS HANDLE BALLED AND BURLAPPED MATERIAL BY THE ROOT BALL. PLANT MATERIAL SHALL BE DELIVERED TO THE SITE AND PLANTED THE SAME DAY.
- PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECT STATED DIMENSIONS. DO NOT SCALE DRAWINGS.

MAINTENANCE / WARRANTY

- MAINTENANCE OF PLANT MATERIALS AND LAWN AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN THE FOLLOWING STATED PERIODS:
PLANT MATERIALS: 90 DAYS AFTER SUBSTANTIAL COMPLETION
LAWN AREAS: 60 DAYS AFTER SUBSTANTIAL COMPLETION
- AFTER REQUIRED MAINTENANCE PERIOD, THE OWNER, UPON REQUEST, WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. UNACCEPTABLE WORK SHALL BE REPAIRED OR REPLACED AND REINSPECTED BEFORE FINAL ACCEPTANCE IS GRANTED.
- A WRITTEN WARRANTY SHALL BE PROVIDED TO THE OWNER GUARANTEEING THAT ALL PLANT MATERIALS, SOD, AND/OR SEEDED AREAS WILL BE THRIVING FOR THE FOLLOWING STATED PERIODS: TREES, SHRUBS, AND GROUND COVERS - ONE YEAR AFTER FINAL ACCEPTANCE. SOD AND SEEDED AREAS - 90 DAYS AFTER FINAL ACCEPTANCE. PERENNIALS - 90 DAYS AFTER FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS REGARDING MAINTENANCE OF EACH TYPE OF VEGETATION. THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE MATERIALS DURING THE WARRANTY PERIOD AS OUTLINED IN THE MAINTENANCE INSTRUCTIONS. THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE SITE AND WILL INFORM THE OWNER OF ANY LACK OF PROPER MAINTENANCE. IN WRITING, OWNER'S FAILURE TO COMPLY WITH THE MAINTENANCE PROGRAM SHALL RENDER THE WARRANTY NULL AND VOID.
- THE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE INCLUDING ABNORMAL WEATHER CONDITIONS, EROSION, VANDALISM, NOR DAMAGES BY OTHERS. IF ANY CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR SHOULD OCCUR, THE MATERIALS AFFECTED WILL NO LONGER BE COVERED BY THE WARRANTY.

PLANT MATERIALS

- PROVIDE PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED AND IN CONFORMANCE WITH THE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL HAVE BEEN GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE.
- ALL PLANTS SHALL BE FULL WELL-BRANCHED PLANTS CHARACTERISTIC OF THE SPECIES. PLANTS SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT.
- PLANT STOCK SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT.
- LABEL AT LEAST ONE PLANT OF EACH KIND WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- PROVIDE FRESHLY DUG BALLED & BURLAPPED PLANT MATERIALS. DO NOT DROP BALLED & BURLAPPED STOCK DURING DELIVERY.
- DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME.

INSTALLATION

- INSTALL TREES AND SHRUBS ACCORDING TO STANDARD DETAILS SHOWN ON THE PLAN.
- ALL TREE SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- ALL TREE SAUCERS AND SHRUB BEDS SHALL BE MULCHED WITH A 3-INCH LAYER OF ORGANIC TRIPLE SHREDDED HARDWOOD BARK MULCH. NON-ORGANIC MULCHES SUCH AS GRAVEL, CRUSHED BRICK, LAVA ROCK, ETC. ARE UNACCEPTABLE.
- TREE GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
- APPLY 12 CUBIC FEET OF PEAT MOSS PER 100 SQUARE FEET AND 20 POUNDS OF 8-8-8 FERTILIZER PER 100 SQUARE FEET OF GROUND COVER PLANTING BEDS. ROTOTILL THE BEDS TO A DEPTH OF 6 INCHES AND SMOOTH TO AN EVEN AND UNIFORM SURFACE. PLANT GROUND COVER MATERIALS, APPLY 2 INCHES OF ORGANIC MULCH, AND WATER.

PLANTING NOTES

- NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SEE CIVIL/SITE PLAN FOR ALL SITE DIMENSIONS, SQUARE FOOTAGES, PARKING CALCULATIONS, AND DETAILS OF ALL SITE IMPROVEMENTS.
- IF THE LANDSCAPE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS (TO BE PROTECTED) ACCORDING TO THE TREE PROTECTION DETAIL AND MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS WITHOUT APPROVAL.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. IF WET, CLAY SOILS OR POOR DRAINING SOILS ARE EVIDENT, PLANT HIGHER, REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND FROM TREE TRUNKS.
- ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
- SEED AND/OR SOD ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES. WHERE SOD/SEED ADJUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND. REFER TO PLAN FOR SOD/SEED LOCATIONS.
- PRUNE, THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. APPLY MINIMUM 4" MULCH CUP AT ALL TREES NOT PLANTED IN PLANTING BEDS.
- EXISTING LAWN AREAS TO BE SAVED AND AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE INSPECTED TO DETERMINE VIABILITY. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE & FREE FROM WEEDS, LAWN MAY NOT REQUIRE REPLACEMENT OR RENOVATION. IF RENOVATION IS REQUIRED OR IS PART OF THE APPROVED PLAN, THEN THE FOLLOWING REQUIREMENTS WILL APPLY:
EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH ROUND-UP (OR EQUAL) TO KILL THE EXISTING LAWN AND WEED AREAS. WAIT A MIN. OF (10) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOD & WEEDS TO A MIN. DEPTH OF (2) INCHES. ADD A MIN. OF 6 INCHES OF NEW TOPSOIL TO ALL LAWN AREAS. BACKFILL AND COMPACT TOPSOIL TO THE TOP OF ALL CURBS & WALKS PRIOR TO SODDING. REGRADE TO ELIMINATE ALL BUMPS & DEPRESSIONS AND RESOD ALL AREAS.
EXISTING LAWN FOUND TO BE IN GOOD CONDITION, BUT WITH BARE, SPARSE OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, RAKING, OVERSEEDING AND TOP DRESSING ALL SPARSE AND BARE SPOTS AND BY INITIATING A WEED AND FERT PROGRAM.
- CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:
A. REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 24"-30" DEPENDING ON THE DEPTH OF SUB BASE AND DISPOSE OF OFF SITE.
B. REPLACE EXCAVATED MATERIAL W/ GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" ABOVE TOP OF CURB AND SIDEWALK, ADD 4"-6" OF TOPSOIL AND CROWN TO A MIN. OF 6" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTLING, UNLESS NOTED OTHERWISE ON THE PLANS.
IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREAS, REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW ADJACENT EXISTING GRADE W/ GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADES AFTER EARTH SETTLING.

- PROVIDE GRASS SEED THAT IS FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED TYPE OR SEED MIX WITH BEST RECORD OF SUCCESS IN LOCALITY OF PROJECT OR PER PROJECT SPECIFICATIONS. REFER TO PLAN

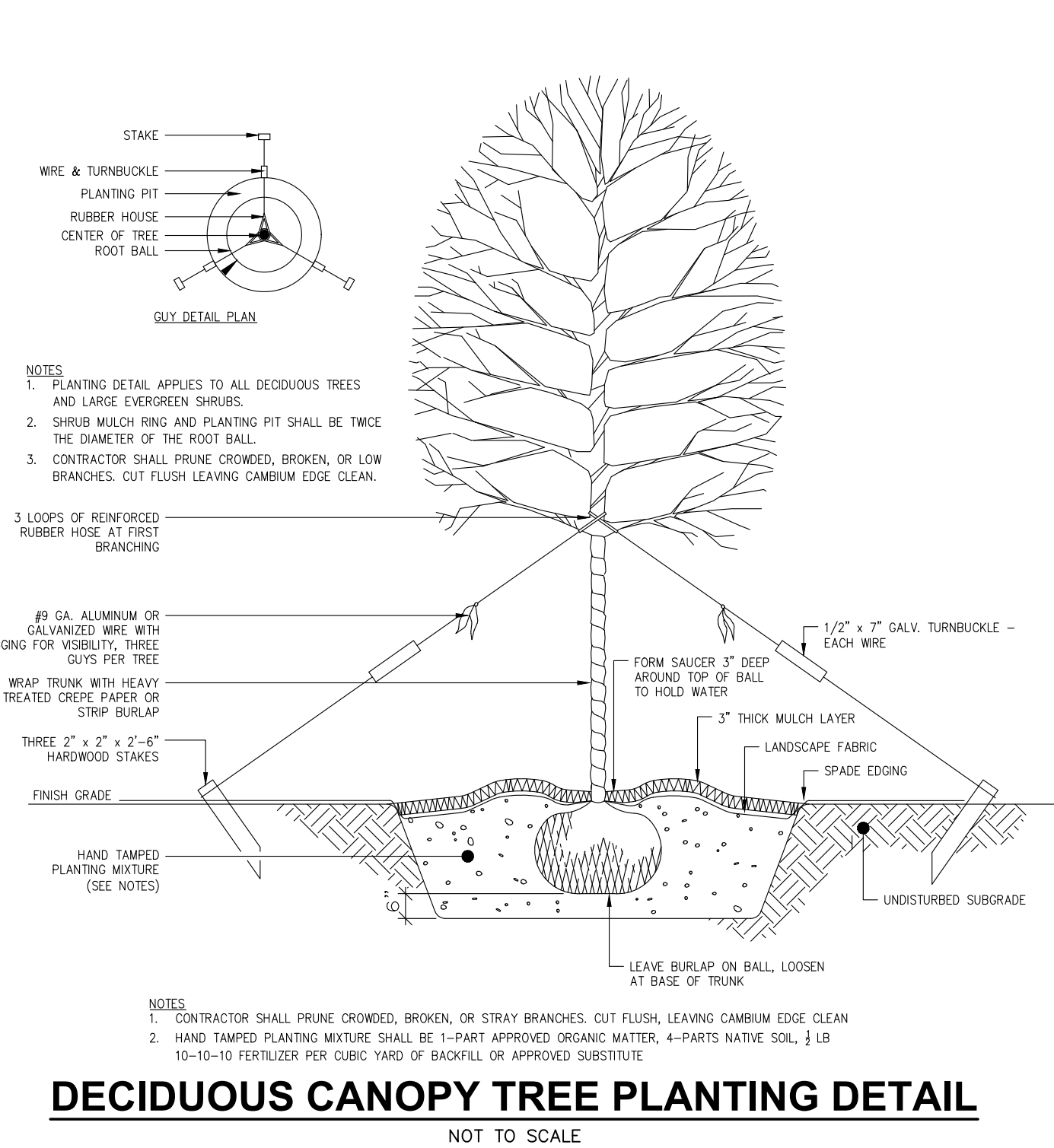
- APPLY SEED AT THE APPROPRIATE RATE, PER O.D.O.T. SPECIFICATIONS, FOR ESTABLISHING A NEW LAWN. SOW SEED USING A SPREADER OR SEEDING MACHINE. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. RAKE SEED LIGHTLY INTO TOP 1/8-INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH A FINE SPRAY.

- PROTECT ALL SEEDED AREAS AGAINST EROSION BY SPREADING A CLEAN, SEED FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY. SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1.5 INCHES LOOSE MEASUREMENT OVER SEEDED AREA.

- TREATMENTS SUCH AS JUTE MESH, EXCELISOR MATTING, OR FIBERGLASS ROVING SHALL BE USED TO STABILIZE DITCHES OR STEEP SLOPES SUSCEPTIBLE TO EROSION. THE TREATMENT SHALL BE INSTALLED PRIOR TO THE MULCHING OPERATION.

SEEDBED PREPARATION

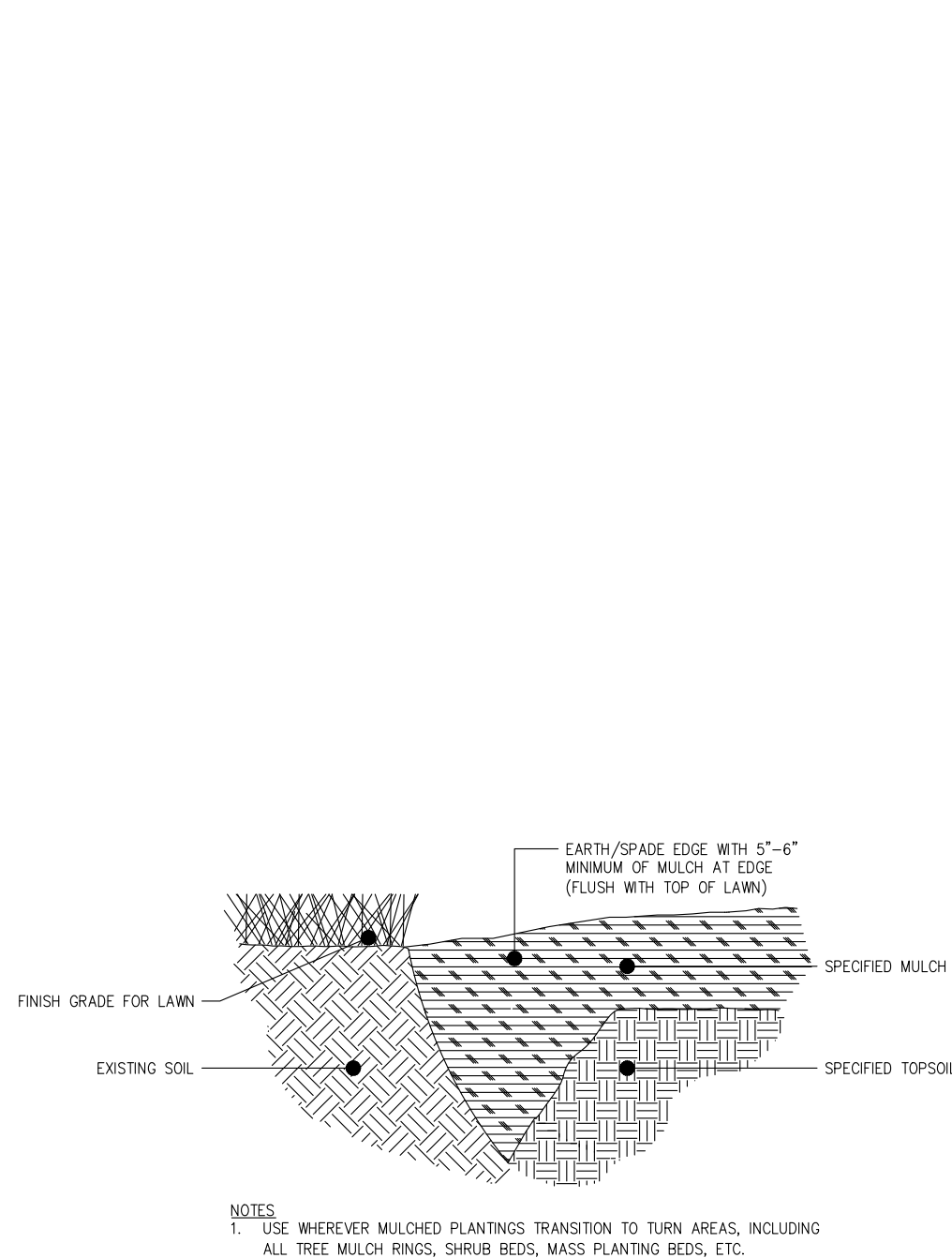
- ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND/OR GRADES SHOWN AND FLOVED TO A DEPTH OF 5 INCHES. THE TOP 2 INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM SEEDED.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.
- APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/BUCKET METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS FOLLOWS:
TURFGRADE FERTILIZER WITH SLOW RELEASE NITROGEN (E.G. 18-24-10) - RATE THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE FEET
LIMESTONE - 75 LBS. PER 1000 SQUARE FEET
(LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 5.5.)
- MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.



NOT TO SCALE

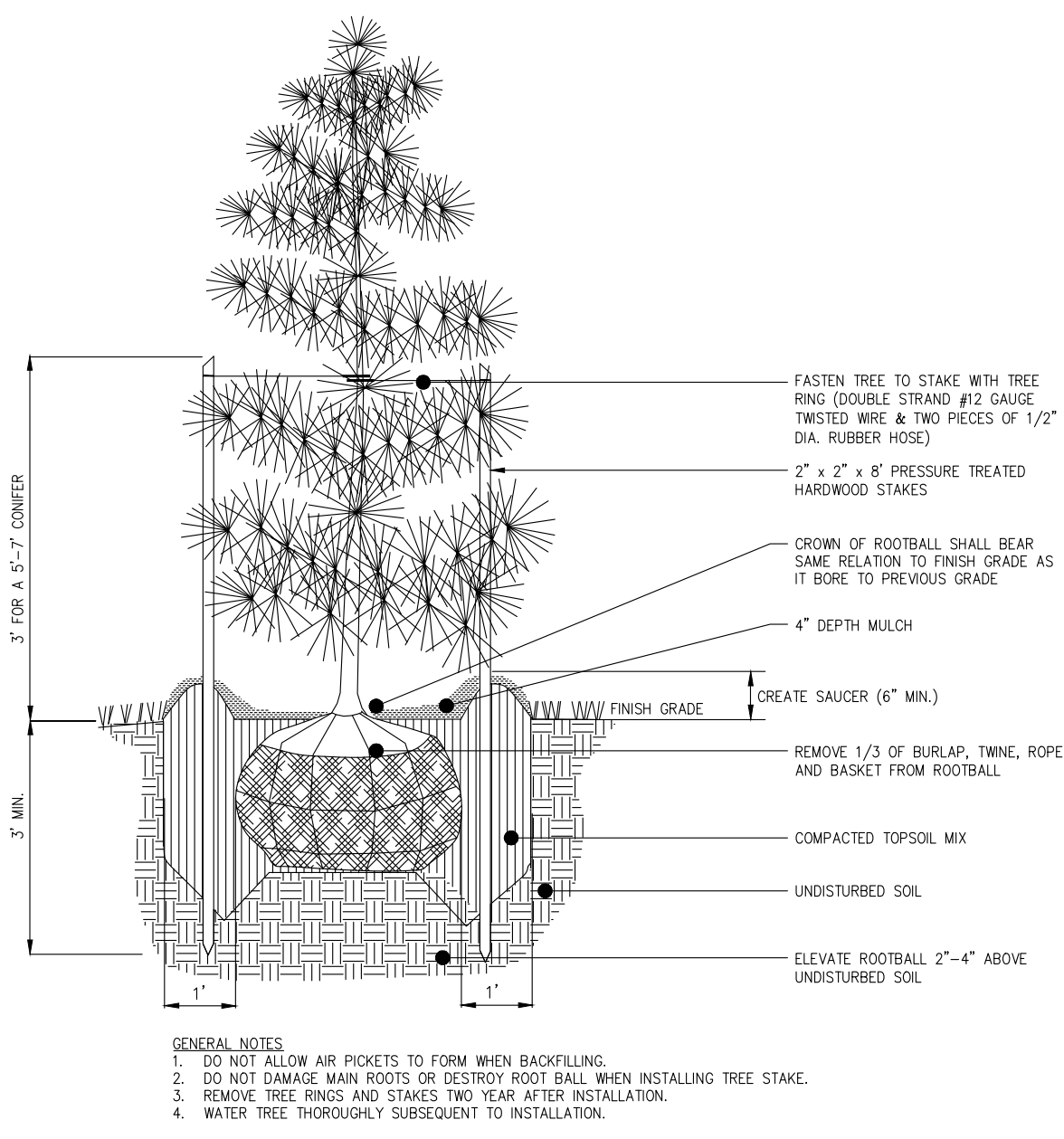
DECIDUOUS CANOPY TREE PLANTING DETAIL

NOT TO SCALE



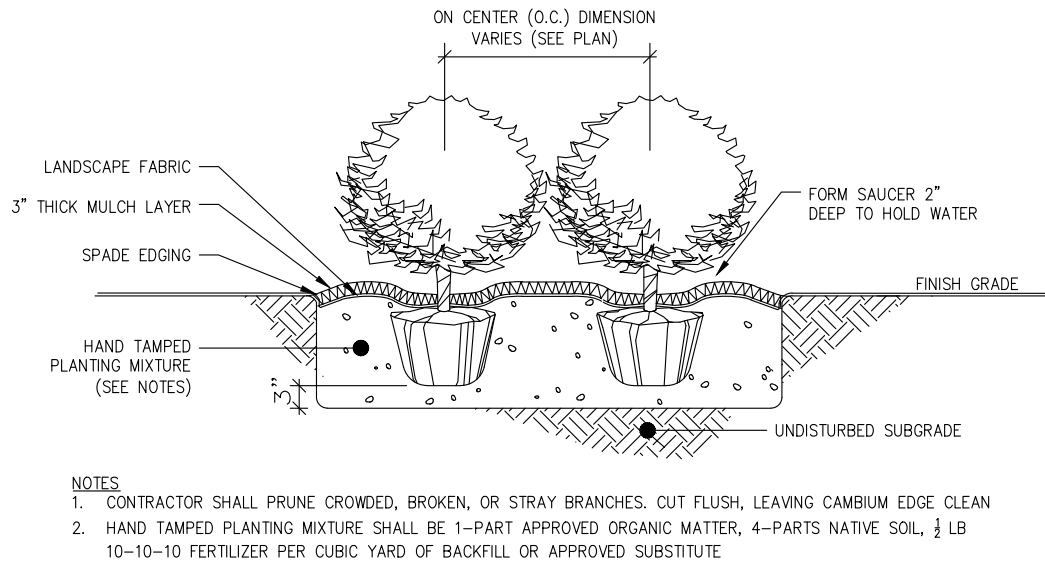
EARTH/SPADE EDGE DETAIL

NOT TO SCALE



CONIFEROUS TREE PLANTING DETAIL

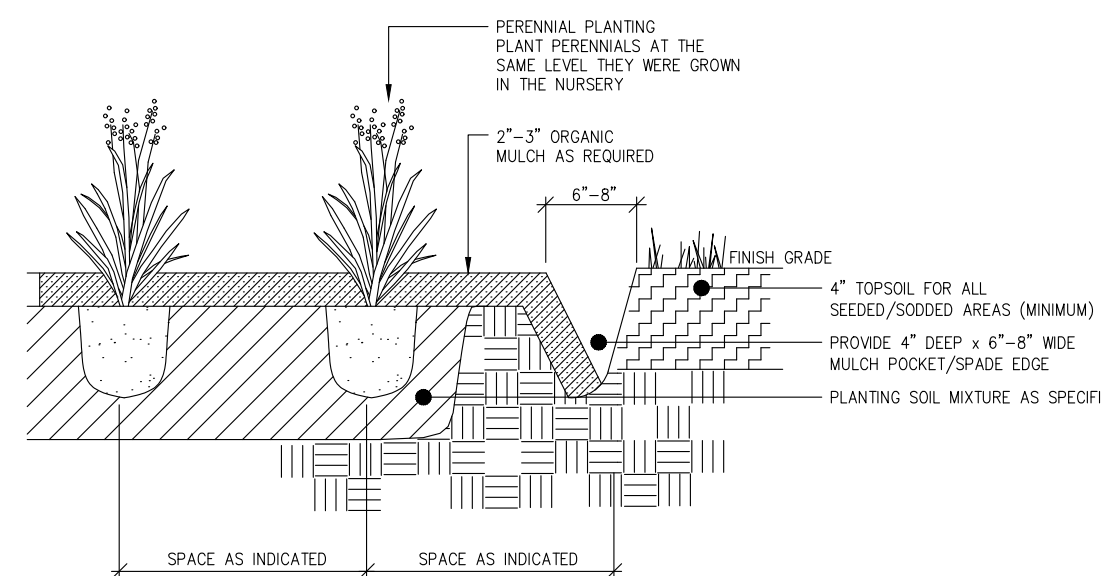
NOT TO SCALE



NOT TO SCALE

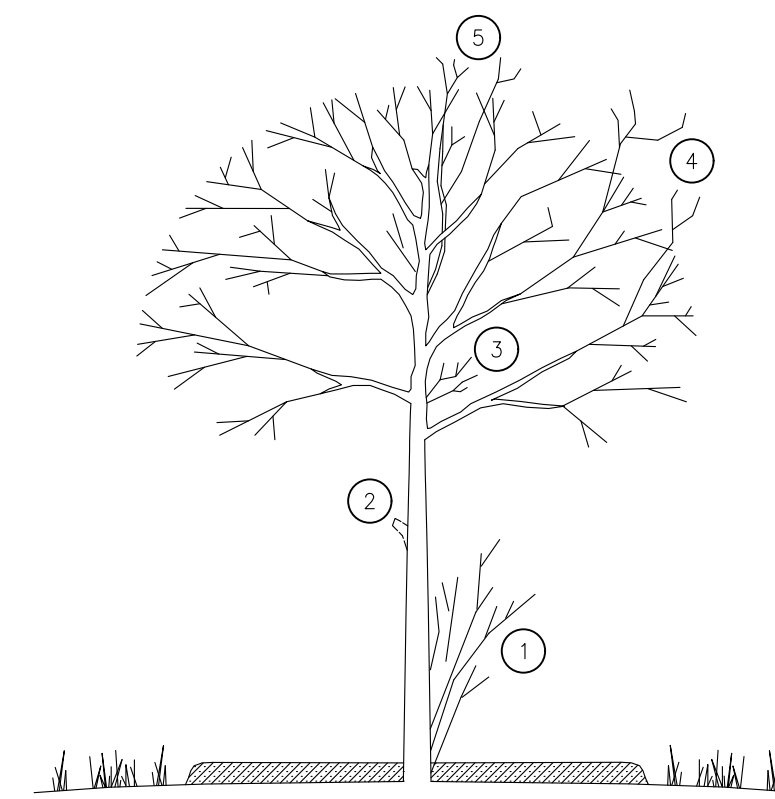
CONTAINER SHRUB PLANTING DETAIL

NOT TO SCALE



SHRUB/PERENNIAL BED DETAIL

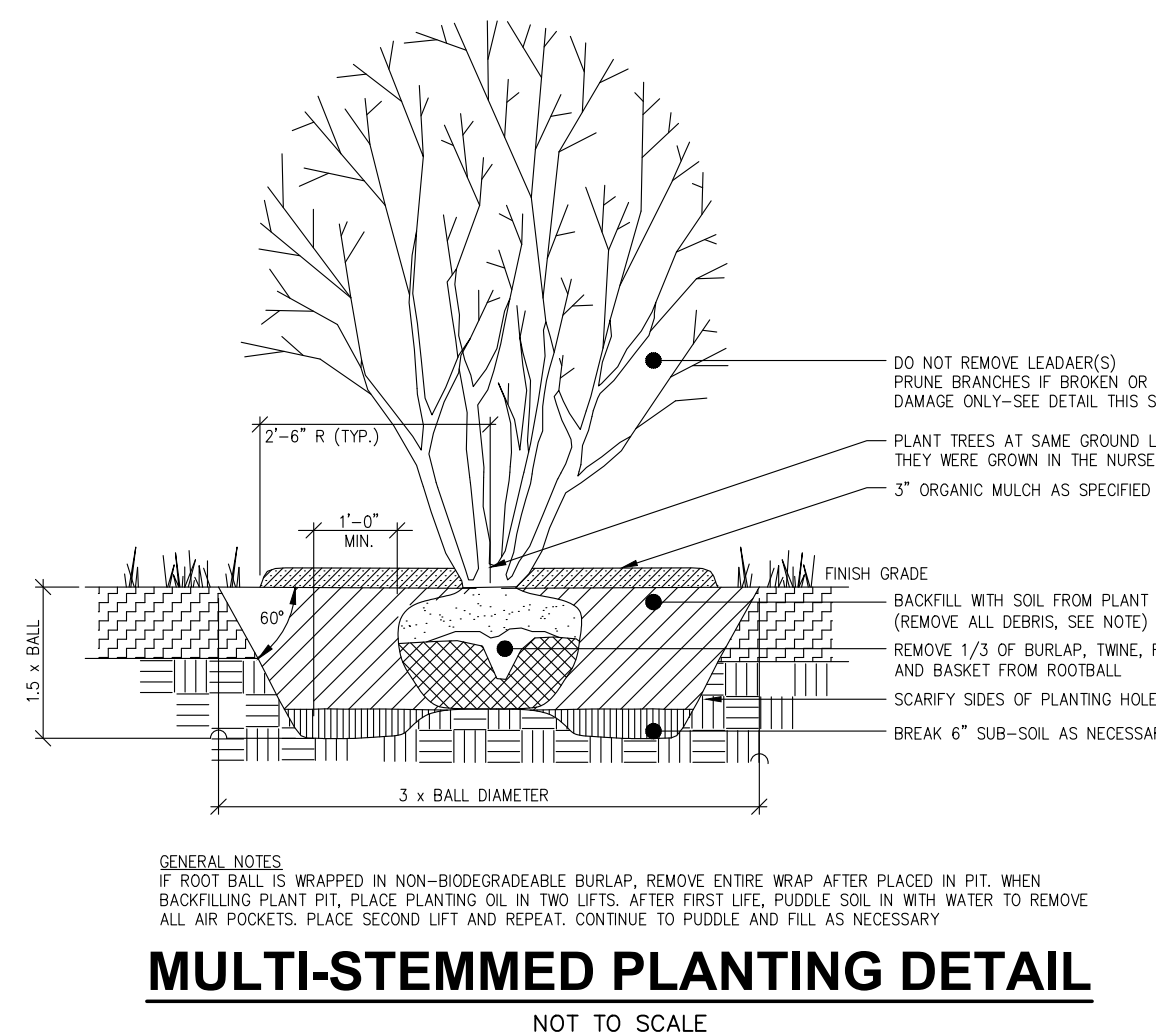
NOT TO SCALE



NOT TO SCALE

DECIDUOUS TREE PRUNING DETAIL

NOT TO SCALE



NOT TO SCALE

MULTI-STEMMED PLANTING DETAIL

NOT TO SCALE



PANDA RESTAURANT GROUP INC.

1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203
PANDA STORE #:
ENGR PROJECT #: 23002030



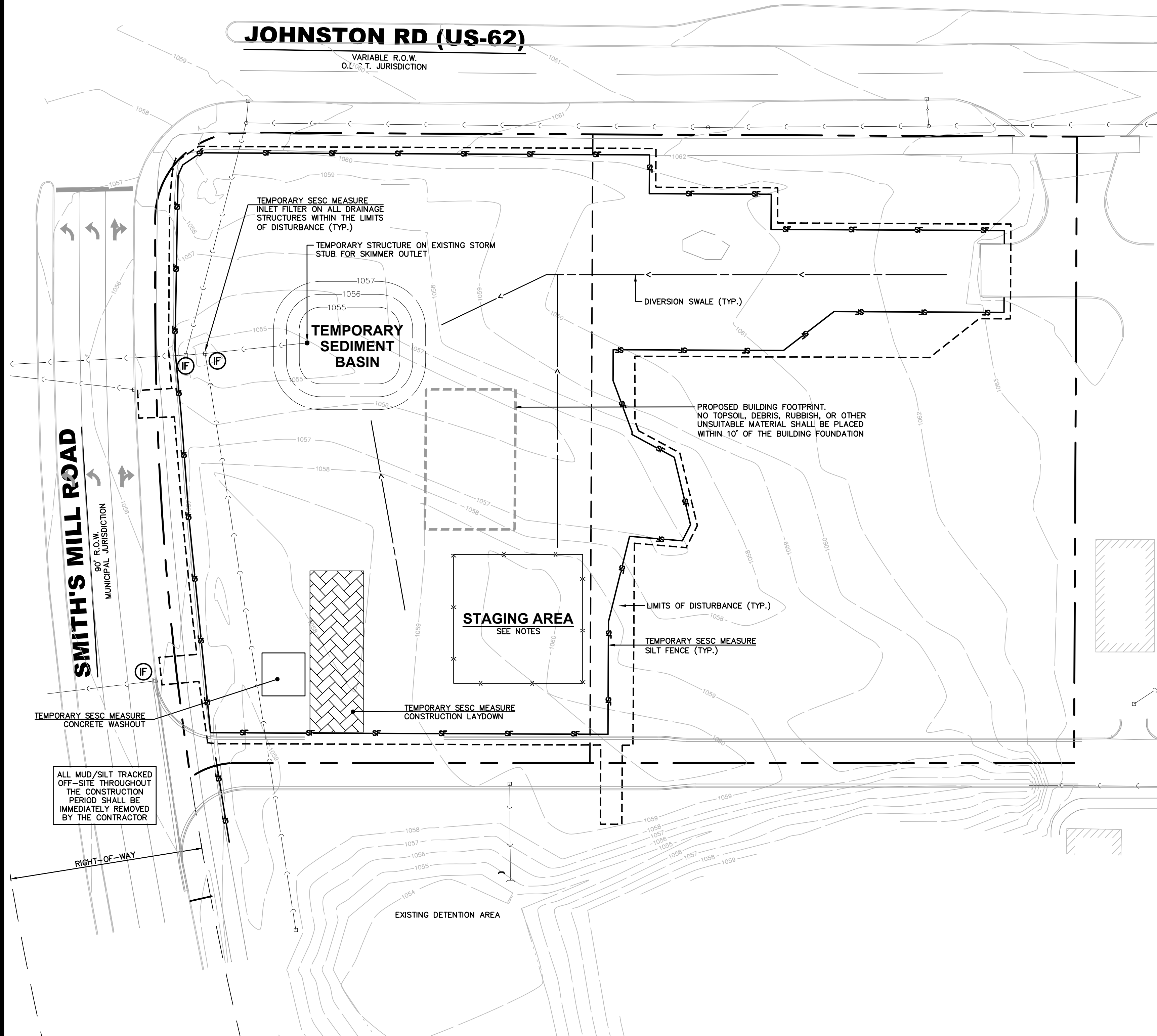
12746 23 MILE ROAD
SHELBY TOWNSHIP, MI 48315
586-786-9800

PANDA EXPRESS

TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C07

LANDSCAPING DETAILS



SMITH'S MILL ROAD
80' R.O.W.
MUNICIPAL JURISDICTION

JOHNSTON RD (US-62)
VARIABLE R.O.W.
O.L.T. JURISDICTION

TEMPORARY SEDIMENT BASIN

STAGING AREA
SEE NOTES

TEMPORARY SESC MEASURE
INLET FILTER ON ALL DRAINAGE
STRUCTURES WITHIN THE LIMITS
OF DISTURBANCE (TYP.)

TEMPORARY STRUCTURE ON EXISTING STORM
STUB FOR SKIMMER OUTLET

DIVERSION SWALE (TYP.)

PROPOSED BUILDING FOOTPRINT.
NO TOPSOIL, DEBRIS, RUBBISH, OR OTHER
UNDESIRABLE MATERIAL SHALL BE PLACED
WITHIN 10' OF THE BUILDING FOUNDATION

LIMITS OF DISTURBANCE (TYP.)

TEMPORARY SESC MEASURE
SILT FENCE (TYP.)

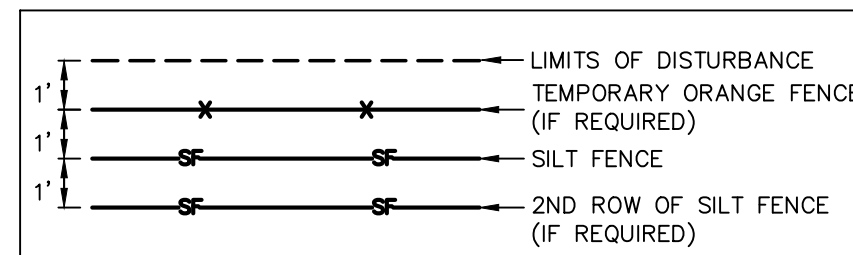
TEMPORARY SESC MEASURE
CONSTRUCTION LAYDOWN

TEMPORARY SESC MEASURE
CONCRETE WASHOUT

ALL MUD/SILT TRACKED
OFF-SITE THROUGHOUT
THE CONSTRUCTION
PERIOD SHALL BE
IMMEDIATELY REMOVED
BY THE CONTRACTOR

EXISTING DETENTION AREA

RIGHT-OF-WAY



TYPICAL BMP INSTALLATION
NOT TO SCALE

Sediment Basin & Post-Construction Data Sheet

Basin Reference Number			
A. Total Contributing Watershed (AC)	1.20		
B. Disturbed Area (ac)	2.08		
C. Req. Dewatering Volume (A x 1800 ft ³ /ac)	2,160 cf		
D. Req. Sediment Storage Zone Vol. (B x 1000 ft ³ /ac)	2,080 cf		
E. Total Required Capacity (C + D in ft ³)	4,240 cf		
F. Dewatering Volume Provided (ft ³)	2,160 cf		
G. Sediment Storage Provided (ft ³)	2,080 cf		
H. Total Storage Provided at Crest of Riser (ft ³)	4,240 cf		
Principal Spillway			
Req Principal Spillway Capacity (19 yr-24hr storm) (cfs)	N/A		
Principal Spillway Capacity Provided (cfs)	N/A		
Diameter of Barrel (inches)	N/A		
Diameter of Riser (inches)	N/A		
Volume of Concrete To Prevent Riser Flotation (ft ³)	N/A		
Sediment Control Outlet Type			
Drawdown Time (Hours must exceed 48 hr drawdown)			
Mark selected outlet type (X)			
A. *Faircloth Skimmer			
B. *Marlee Float Skimmer	X		
Orifice size in INCHES	2"		
Stone pad provided at top of sediment storage (ELEV.)			
*Skimmer shall have guide posts with wire for easy maintenance			
Sediment Clean Out Elevation (clearly marked in field)			
Pond Shape-4:1 L/W for each inlet or baffle(s)			
Flow L/W Ratio (4:1 min)			
Baffles Detailed (Yes or No)	NO		
Bottom Elevation	1055.00		
Sediment Storage Zone Elevation	1056.03		
Crest of Principal Spillway Elevation (Min. 1ft below crest E.S.)			
Pool Depth at Riser (see, ideally 3-5')	N/A		
Top of Embankment Elevation	1057.00		
Embankment Side Slopes (Max 2:1, combined 5:1)	6:1		
Embankment Top Width (ft based on C/L Height, Min 8')	8'		
Emergency Spillway Elevation	N/A		
Emergency Spillway Discharge (25 yr-24 hr storm less Prin S)	N/A		
Emergency Spillway Bottom Width	N/A		
Emergency Spillway Lining (Vegetated, Riprap,)	N/A		
Rock Outlet Protection (Size, gradation and quality of rock)	N/A		
Water Quality Volume	N/A		
Post Construction Orifice Size	N/A		
Post Construction Orifice Elevation	N/A		
Max Head (Top of WQ Volume) Elevation	N/A		

SEDIMENT BASIN DESIGN

Elevation	Area	Incr. Vol	Cum. Vol.
1055.00	1,500 sf	00 cf	00 cf
1056.00	2,500 sf	2,000 cf	2,000 cf
1056.71			4,240 cf
1057.00	3,800 sf	3,150 cf	5,150 cf

Sediment Storage Elevation	=	1,056.03
Dewatering Elevation	=	1,056.71

Marlee Float™ Skimmer Size Selection Report

Date	December 7, 2023
Company	Panda Express
Engineer	0
Project Name	Panda Express
Project Location	New Albany
Basin Description	Skimmer Basin
Total Disturbed Area	2.08 Acres
Required Sediment Storage Volume:	2,080 cr
Total Drainage Area	1.2 Acres
Required Dewatering Volume	2,160 CF
	Confirm Calculated Pond Volume is similar to Required Dewatering Volume

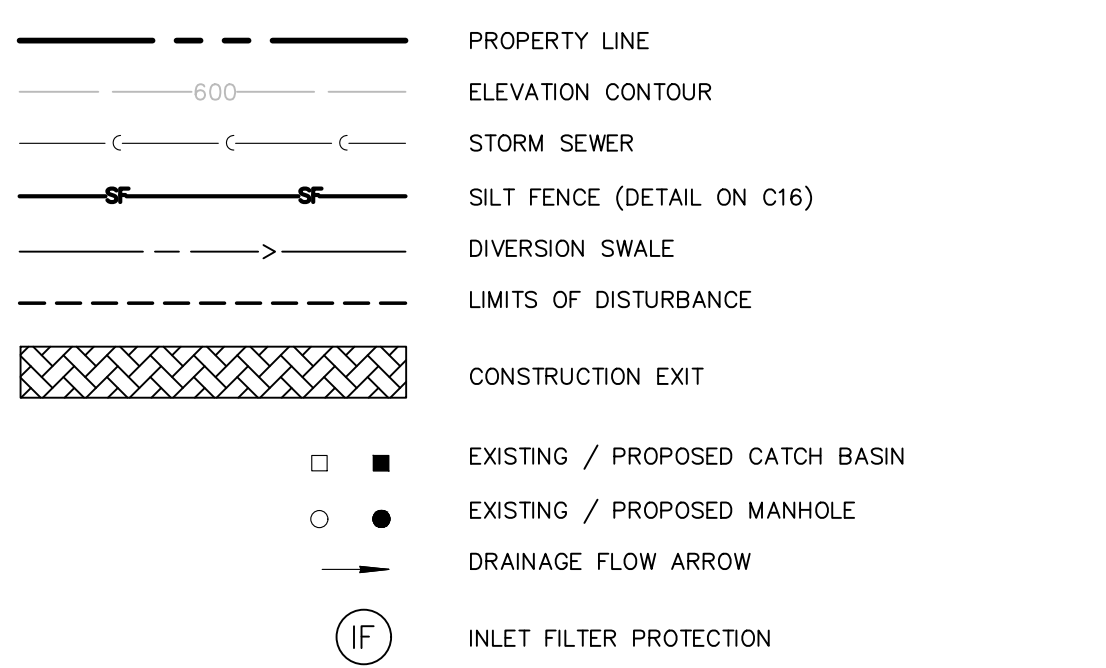
Inputs		Calculations	
Max. Time to Drain, hrs =	120	Calculated Pond Volume, ft ³ =	5,630
Min. Time to Drain, hrs =	48		
Pond Depth, ft =	2	Calculated Pond Volume, gal =	41,963
Pond Top Length, ft =	70		
Pond Top Width, ft =	60		
Pond Bottom Length, ft =	46		
Pond Bottom Width, ft =	35		

Minimum Average Flow Rate Allowable	1,122 cfd to drain in 0.013 cfs	120 hrs
Maximum Average Flow Rate Allowable	2,805 cfd to drain in 0.032 cfs	48 hrs

Marlee Float™ Selection Chart		
Model #	Orifice	Draw down time (hrs)
2"	0.5"	398
2"	0.75"	302
2"	1.0"	87
2"	1.5"	46
2"	2"	29
3"	1.5"	40
3"	2.0"	22
3"	2.5"	15
3"	3"	11
4"	2.0"	20
4"	2.5"	13
4"	3.0"	9
4"	4"	5
6"	3.5"	7
6"	4"	5
6"	4.5"	4
6"	5"	3
6"	6"	2
8"	5"	3
8"	6"	2
8"	6.5"	2
8"	7"	2
8"	8"	1
8**	8**	1

** This 8" skimmer requires an 8" pipe instead of a 6" pipe from the skimmer to the outlet and is a special order item. Make sure to note on plans this is needed if this version is specified. Requires two weeks for shipping.

LEGEND



NOTES

- THE LOCATION OF CONSTRUCTION STAGING AREA IS SUBJECT TO CHANGE PER CONTRACTOR. STAGING AREA SHALL BE ENCLOSED WITH TEMPORARY FENCE. CONSTRUCTION TRAILERS, TEMPORARY PARKING, AND ITEMS SUCH AS SOLID WASTE RECEPTACLES, SANITARY FACILITIES, CONCRETE WASTE, FUEL TANKS, CONSTRUCTION MATERIALS, SUPPLIES, AND STOCKPILES SHALL BE PLACED IN THIS AREA IF NEEDED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING AN EXISTING STORM DRAINAGE SYSTEM.
- ALL SOIL DISTURBANCE SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE.
- SEE SHEETS SESC NOTES AND DETAIL SHEETS FOR ADDITIONAL SESC INFORMATION.
- CONTRACTOR SHALL SCRAPE SITE OF ALL TRACK-OUT/DEBRIS ON A DAILY BASIS AND SWEEP A MINIMUM OF ONCE PER WEEK.

OWNER

(RESPONSIBLE PARTY FOR PERMANENT EROSION CONTROL MEASURES)

PANDA RESTAURANT GROUP
1683 WALNUT GROVE AVE.
ROSEMEAD, CA 91770-3711
CONTACT: BRIAN KAN
PHONE: 626-372-8550

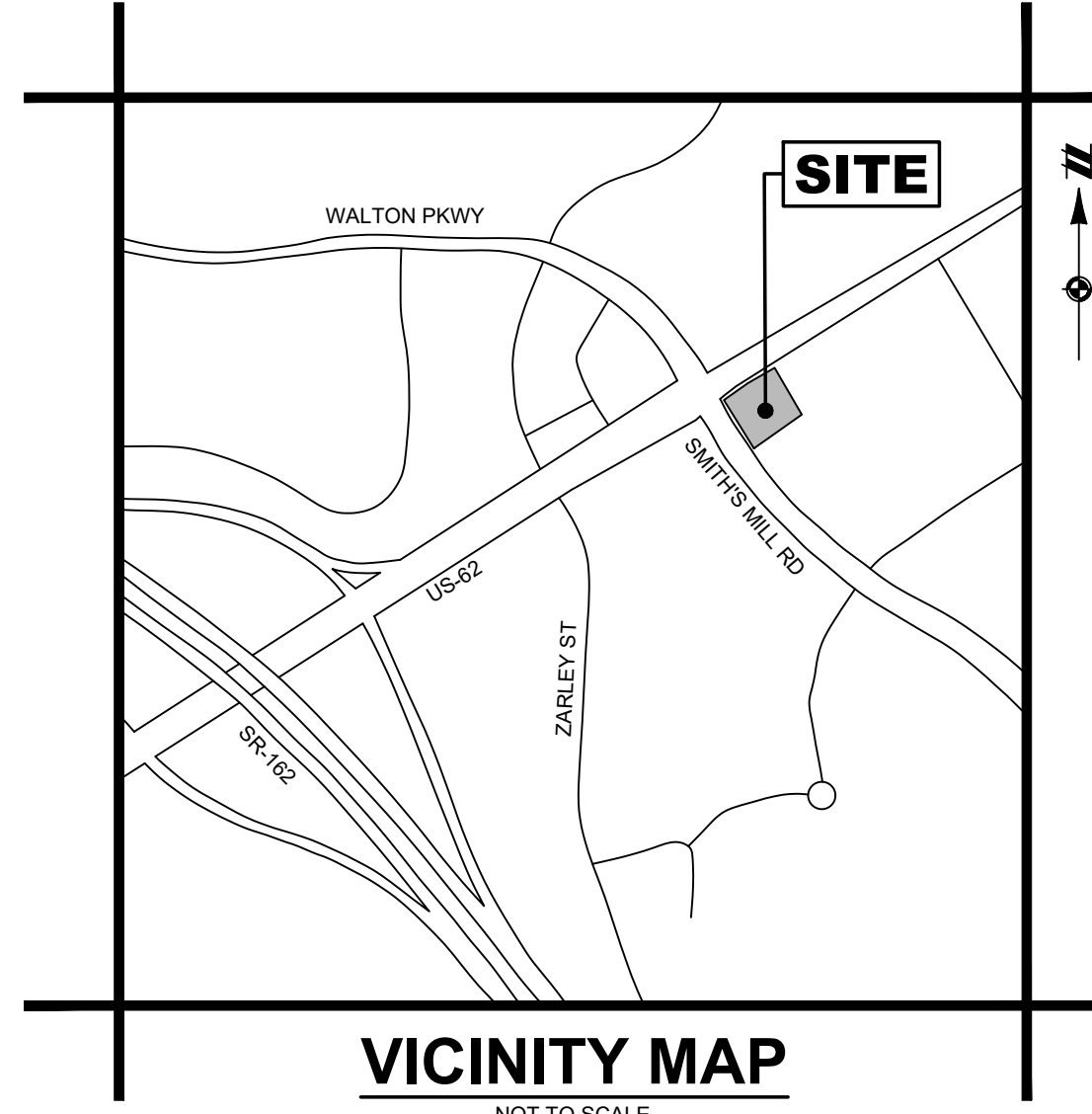
ON-SITE SESC

(RESPONSIBLE PARTY FOR TEMPORARY EROSION CONTROL MEASURES)

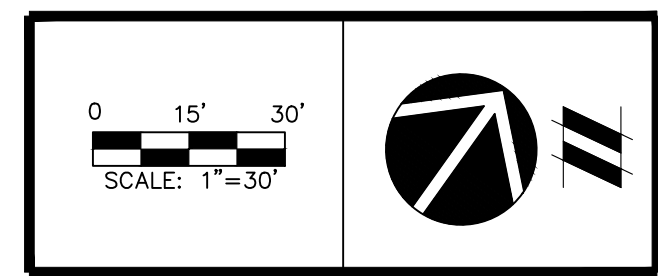
TBD

PHASE I SESC BMP SEQUENCE

- INSTALL STABILIZED CONSTRUCTION EXIT.
- INSTALL SILT FENCE ON SITE. CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL FENCES.
- PREPARE STAGING AREA.
- INSTALL INLET FILTERS ON ALL EXISTING STORM STRUCTURES.
- CLEAR AND GRUB ONLY AS NECESSARY TO INSTALL TEMPORARY SEDIMENT BASIN AND TEMPORARY DIVERSION SWALE.
- CONSTRUCT TEMPORARY SEDIMENT BASIN INCLUDING PERMANENT EMERGENCY OVERFLOW WEIR AND SEDIMENT SKIMMER. CONSTRUCT TEMPORARY DIVERSION SWALES.
- CLEAR AND GRUB REMAINDER OF THE SITE.
- BEGIN MASS GRADING THE SITE.



VICINITY MAP
NOT TO SCALE



811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203
PANDA STORE #: 23002030
ENGR PROJECT #: 23002030



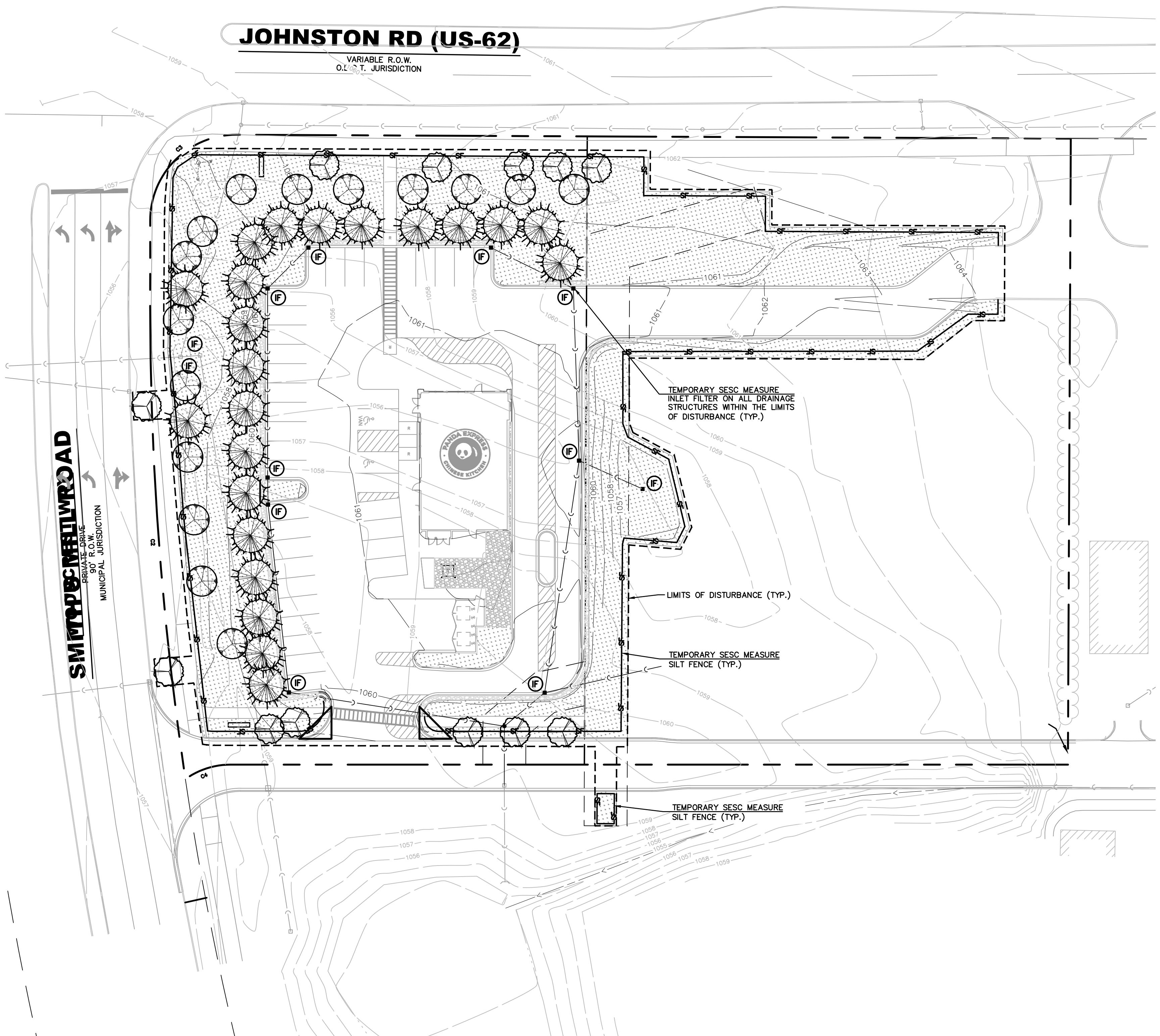
PANDA EXPRESS
TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C08

SESC PLAN - STAGE I

JOHNSTON RD (US-62)

VARIABLE R.O.W.
O.L.T. JURISDICTION



LEGEND

- — — — — PROPERTY LINE
- 600 — ELEVATION CONTOUR
- <—> — STORM SEWER
- SF — SILT FENCE (DETAIL ON C16)
- — — — — PROPOSED SWALE
- — — — — LIMITS OF DISTURBANCE
- ▨ PERMANENT STABILIZATION (SEE LANDSCAPE PLAN)
- ▩ RIP RAP (DETAIL ON C05)
- ■ EXISTING / PROPOSED CATCH BASIN
- ● EXISTING / PROPOSED MANHOLE
- — — — — DRAINAGE FLOW ARROW
- IF INLET FILTER PROTECTION (DETAIL ON C05)

NOTES

1. THE LOCATION OF CONSTRUCTION STAGING AREA IS SUBJECT TO CHANGE PER CONTRACTOR. STAGING AREA SHALL BE ENCLOSED WITH TEMPORARY FENCE. CONSTRUCTION TRAILERS, TEMPORARY PARKING, AND ITEMS SUCH AS SOLID WASTE RECEPTACLES, SANITARY FACILITIES, CONCRETE WASTE, FUEL TANKS, CONSTRUCTION MATERIALS, SUPPLIES, AND STOCKPILES SHALL BE PLACED IN THIS AREA IF NEEDED.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING AN EXISTING STORM DRAINAGE SYSTEM.
3. ALL SOIL DISTURBANCE SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE.
4. SEE SHEETS SESC NOTE AND DETAIL SHEETS FOR ADDITIONAL SESC INFORMATION.
5. CONTRACTOR SHALL SCRAPE SITE OF ALL TRACK-OUT/DEBRIS ON A DAILY BASIS AND SWEEP A MINIMUM OF ONCE PER WEEK.

OWNER

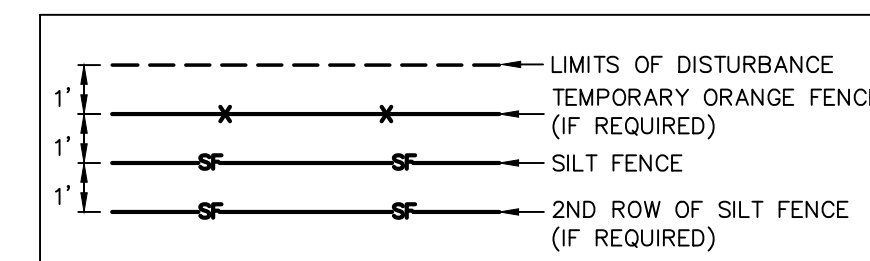
(RESPONSIBLE PARTY FOR PERMANENT EROSION CONTROL MEASURES)

PANDA RESTAURANT GROUP
1683 WALNUT GROVE AVE.
ROSEMEAD, CA 91770-3711
CONTACT: BRIAN KAN
PHONE: 626-372-8550

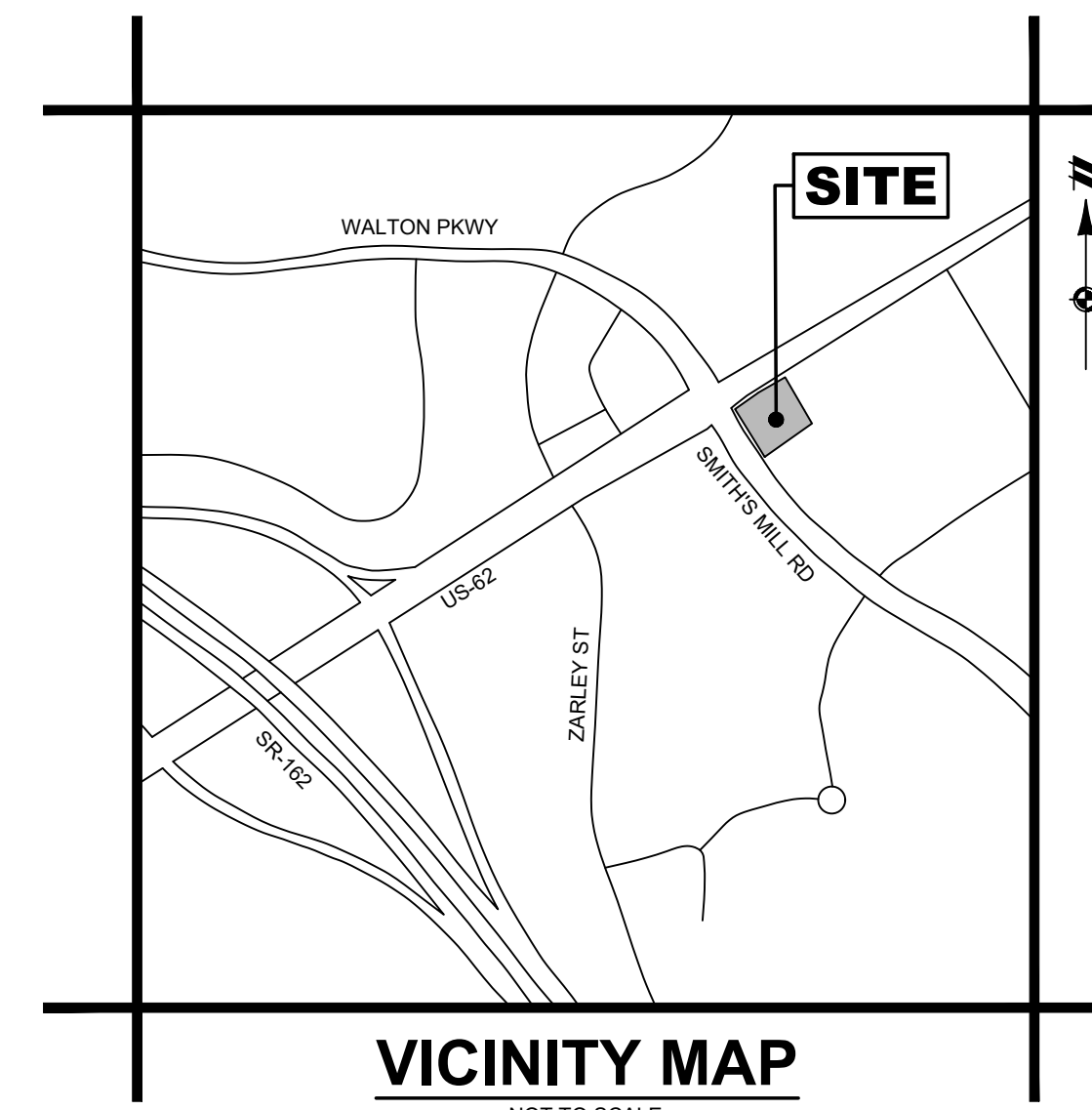
ON-SITE SESC

(RESPONSIBLE PARTY FOR TEMPORARY EROSION CONTROL MEASURES)

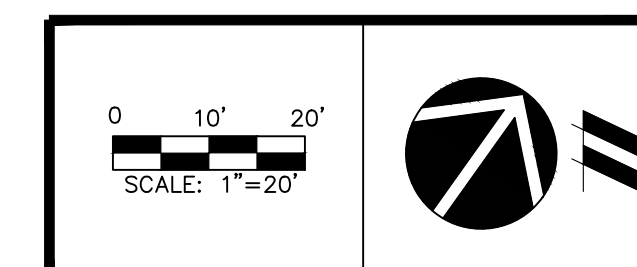
TBD



TYPICAL BMP INSTALLATION
NOT TO SCALE



VICINITY MAP
NOT TO SCALE



811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203
PANDA STORE #:
ENGR PROJECT #: 23002030



PANDA EXPRESS
TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C09

SESC PLAN - STAGE II

Specifications for Temporary Seeding

Table 7.B.1 Temporary Seeding Species Selection

Seeding Dates	Species	Lb./1000 ft ²	Lb./Acre
March 1 to August 15	Tall Fescue	3	128 (4 Buahel)
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
August 16th to November	Rye	3	112 (2 buahel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Wheat	3	120 (2 buahel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
November 1 to Feb. 29	Use much only or dormant seeding		

Note: Other approved species may be substituted.

- Structural erosion and sediment control practices such as diversions and sediment traps shall be installed and stabilized with temporary seeding prior to grading the rest of the construction site.
- Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 21 days or greater. These site areas shall be seeded within 7 days after grading.
- The seedbed should be pulverized and loose to ensure the success of establishing vegetation. Temporary seeding should not be performed if ideal seedbed preparation is not possible.

- Soil Amendments—Temporary vegetation seeding rates shall establish adequate stands of vegetation, which may require the use of soil amendments. Base rates for lime and fertilizer shall be used.
- Seeding Method—Seed shall be applied uniformly with a cyclone spreader, drill, cultipacker seeder, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without interruption.

Specifications for Temporary Seeding

Mulching Temporary Seeding

- Applications of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seeding made during optimum seeding dates on favorable, very wet soil conditions may not need mulch to achieve adequate stabilization.
- Materials:
 - Straw—If straw is used, it shall be unrotted small-grain straw applied at a rate of 2 tons per acre or 90 lb./1,000 sq. ft. (2-3 bales)
 - Hydrocellulose—If wood cellulose fiber is used, it shall be used at 2000 lbs./ac. or 46 lb./1,000-sq.-ft.
 - Other—Other acceptable mulches include mulch matings applied according to manufacturer's recommendations or wood chips applied at 6 ton/ac.

- Straw Mulch shall be anchored immediately to minimize loss by wind or water. Anchoring methods:
 - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches.
 - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Synthetic Binders—Synthetic binders such as Acrylic DLR (Agi-Tac), DCA-70, Petrosol, Terra Track or equivalent may be used at rates recommended by the manufacturer.
 - Wood-Cellulose Fiber—Wood-cellulose fiber binder shall be applied at a net dry wt. of 750 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./1,000 gal.

Specifications for Permanent Seeding

Site Preparation

- Subsoiler, plow, or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture. Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.
- The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding. Topsoil shall be applied where needed to establish vegetation.

Seedbed Preparation

- Lime—Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 pounds per 1,000-sq. ft. or 2 tons per acre.
- Fertilizer—Fertilizer shall be applied as recommended by a soil test. In place of a soil test, fertilizer shall be applied at a rate of 25 pounds per 1,000-sq. ft. or 1000 pounds per acre of a 10-10-10 or 12-12-12 analysis.
- The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 inches. On sloping land, the soil shall be worked on the contour.

Seeding Dates and Soil Conditions

- Seeding should be done March 1 to May 31 or August 1 to September 30. If seeding occurs outside of the above-specified dates, additional mulch and irrigation may be required to ensure a minimum of 60% germination. Tilage for seedbed preparation should be done when the soil is dry enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.

Dormant Seeding

- Seeding should not be made from October 1 through November 30. During this period, the seeds are likely to germinate but probably will not be able to survive the winter.
- The following methods may be used for "Dormant Seeding":
 - Straw and Mulch Anchoring Methods
 - Synthetic Binders
 - Wood Cellulose Fiber

Specifications for Permanent Seeding

Mulching Temporary Seeding

- Applications of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seeding made during optimum seeding dates on favorable, very wet soil conditions may not need mulch to achieve adequate stabilization.
- Materials:
 - Straw—If straw is used, it shall be unrotted small-grain straw applied at a rate of 2 tons per acre or 90 lb./1,000 sq. ft. (2-3 bales)
 - Hydrocellulose—If wood cellulose fiber is used, it shall be used at 2000 lbs./ac. or 46 lb./1,000-sq.-ft.
 - Other—Other acceptable mulches include mulch matings applied according to manufacturer's recommendations or wood chips applied at 6 ton/ac.

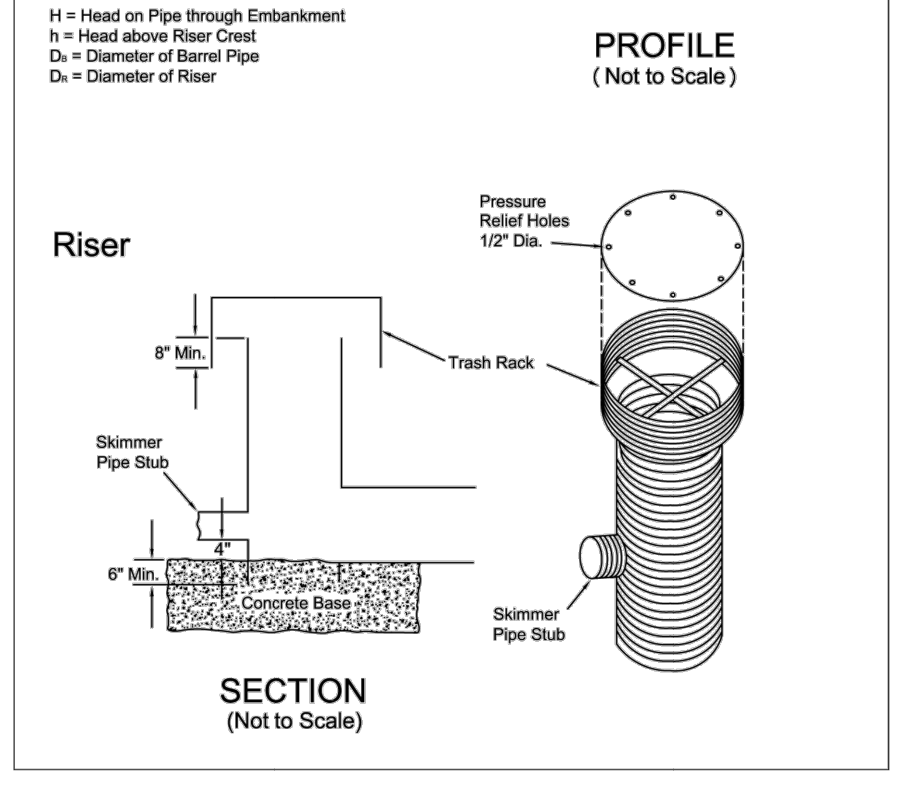
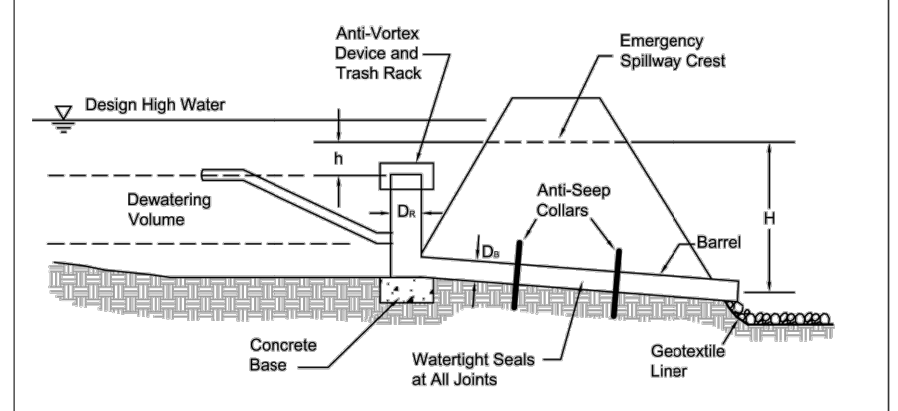
- Straw Mulch shall be anchored immediately to minimize loss by wind or water. Anchoring methods:
 - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches.
 - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Synthetic Binders—Synthetic binders such as Acrylic DLR (Agi-Tac), DCA-70, Petrosol, Terra Track or equivalent may be used at rates specified by the manufacturer.
 - Wood-Cellulose Fiber—Wood cellulose fiber shall be applied at a net dry weight of 750 pounds per acre. The wood cellulose fiber shall be mixed with water with the mixture containing a maximum of 50 pounds cellulose per 100 gallons of water.
- Irrigation
 - Permanent Seeding shall include irrigation to establish vegetation during dry weather or on adverse site conditions, which require adequate moisture for seed germination and plant growth. Irrigation rates shall be monitored to prevent erosion and damage to seeded areas from excessive runoff.

Table 7.B.1.2 Permanent Seeding

Seed Mix	Seeding Rate		Notes
	Lbs./Acre	Sq. Feet	
Creeping Red Fescue Domestic Ryegrass Kentucky Bluegrass	20-40	12-1	For close mowing & for waterways with <2.0 ft/sec velocity
	10-20	14-1/2	
	20-40	12-1	
Tall Fescue	40-50	1-1/4	Steep Banks or Cut Slopes
Turf-type (dwarf) Fescue	90	2-1/4	
Tall Fescue	40-50	1-1/4	Do not seed later than August
Crown Vetch	10-20	14-1/2	
Tall Fescue	20-30	12-3/4	
Flax Pea	20-25	12-3/4	Do not seed later than August
Tall Fescue	20-30	12-3/4	
Tall Fescue	40-50	1-1/4	Road Ditches and Swales
Turf-type (dwarf) Fescue	90	2-1/4	
Kentucky Bluegrass	100-120	2	Lawns
Perennial Ryegrass	90	0.1	
Kentucky Bluegrass	100-120	2	For shaded areas
Creeping Red Fescue	100-120	1-1/2	

Note: Other approved seed species may be substituted.

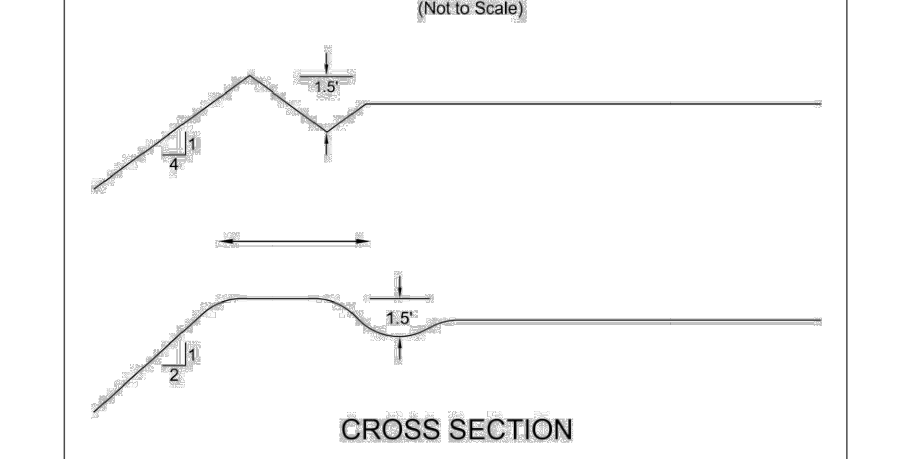
Specifications for Sediment Basins



Specifications for Sediment Basins

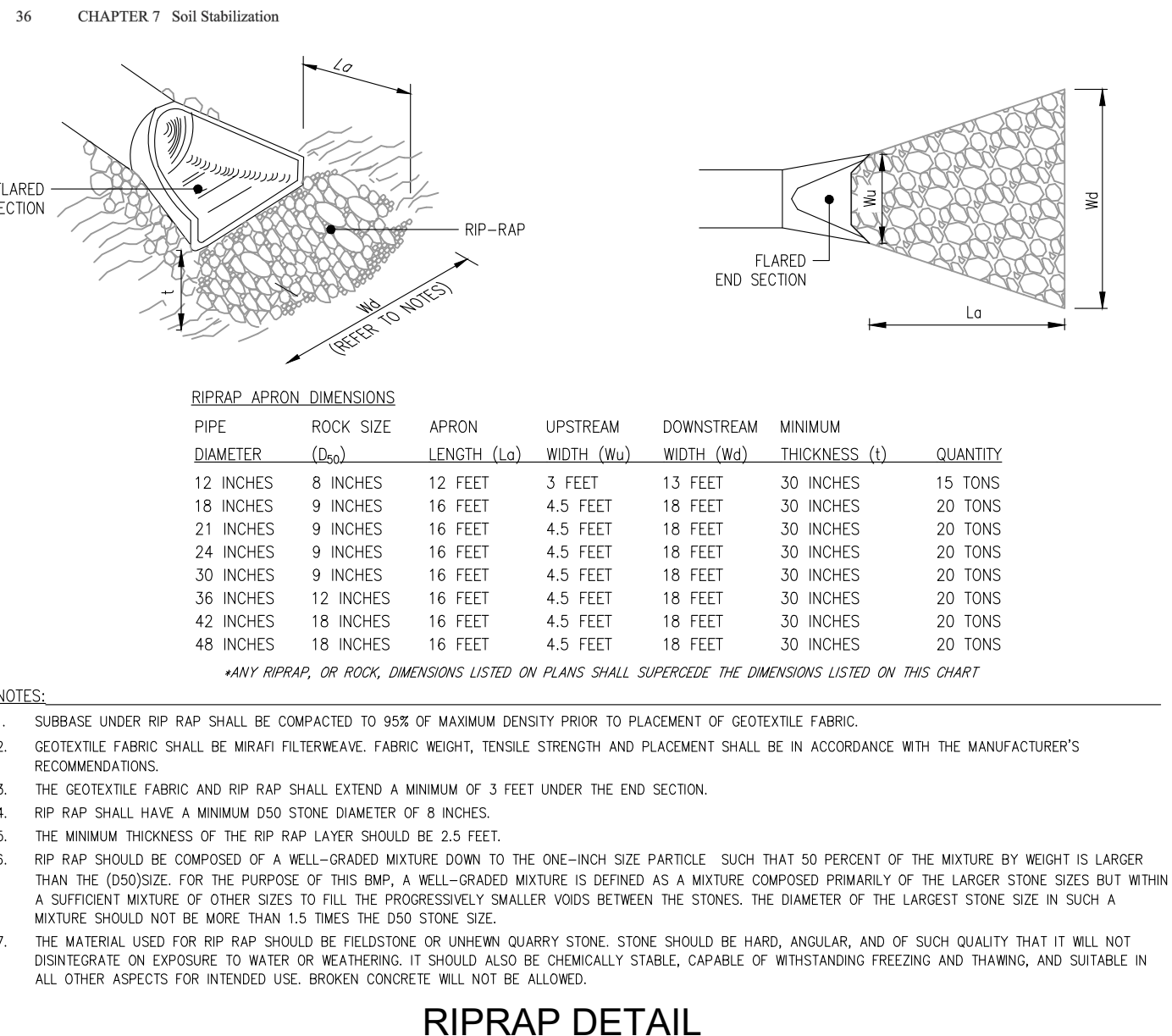
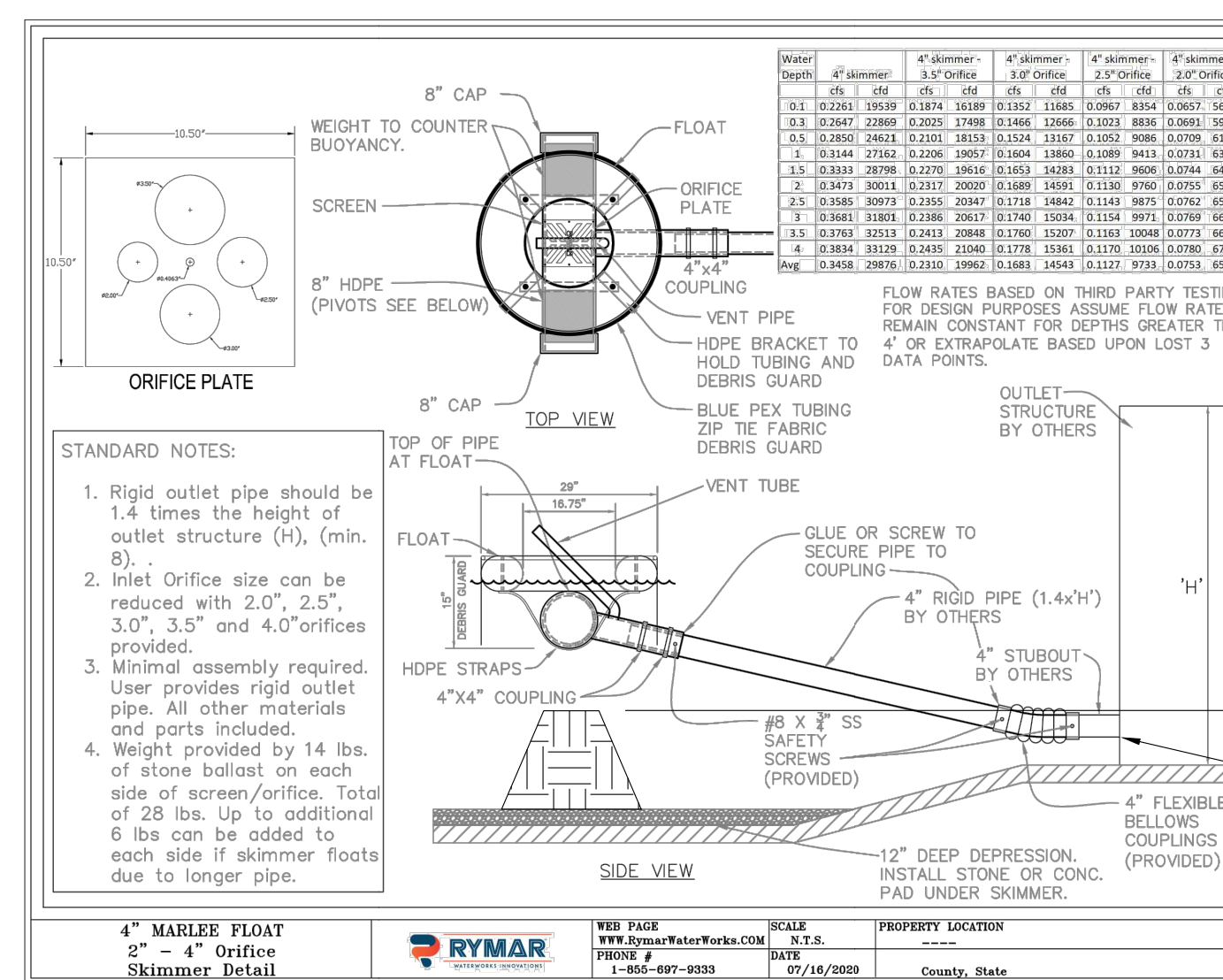
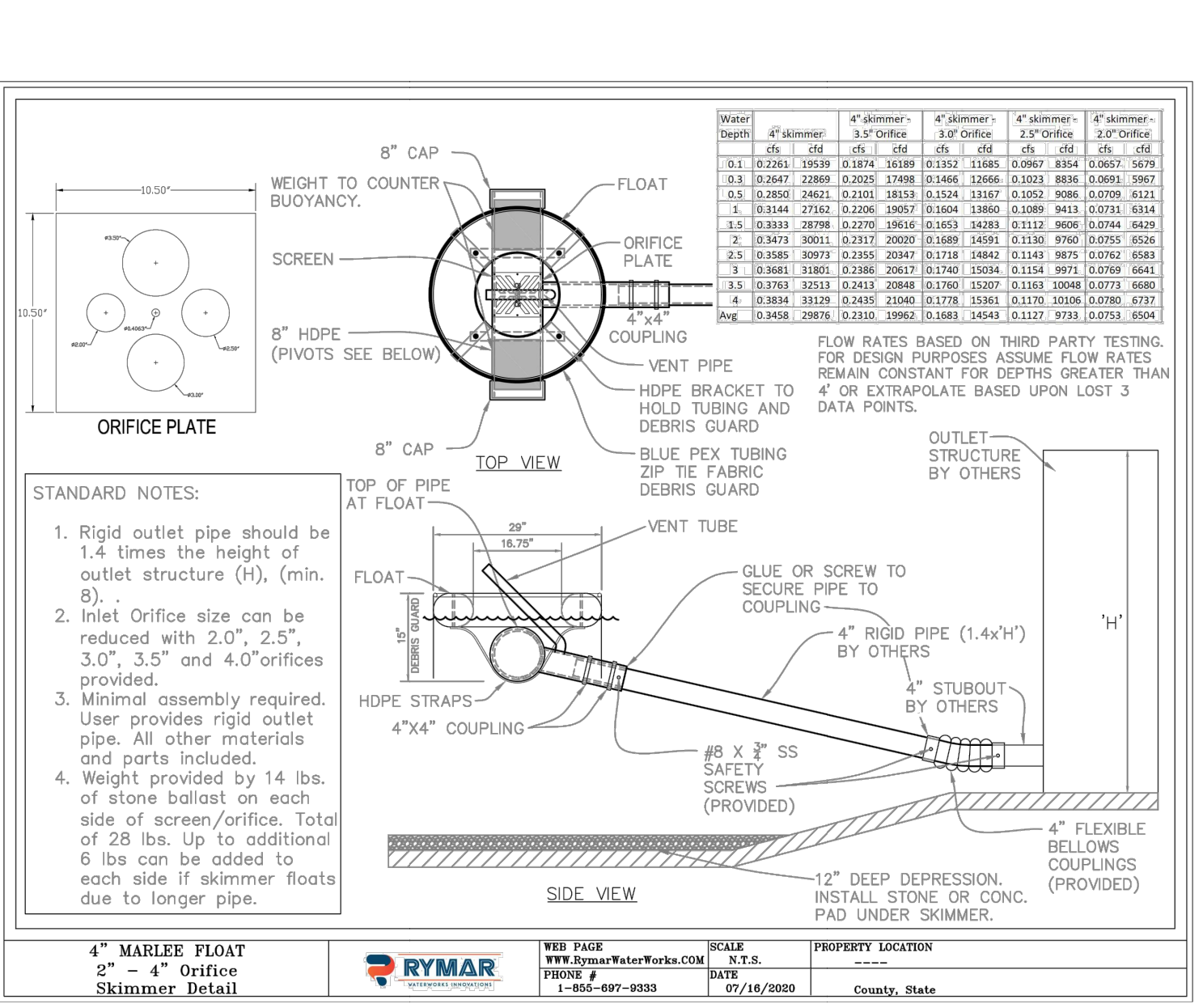
- Sediment basins shall be constructed and operational before upslope land disturbance begins.
- Site Preparation - The area under the embankment shall be cleared, graded, and sloped of any vegetation and root mat. The pool area shall be cleared as needed to facilitate sediment cleanup. Gullies and sharp breaks shall be sloped to no steeper than 1:1. The surface of the foundation area will be thoroughly scarified before placement of the embankment material.
- Cut-Off Trench - The cutoff trench shall be excavated along the contour of the embankment. The minimum depth shall be 3 ft, unless specified deeper on the plans or as a result of site conditions. The minimum bottom width shall be 4 ft, but wide enough to permit operation of compaction equipment. The trench shall be kept free of standing water during backfill operations.
- Embankment - The fill material shall be free of all sod, roots, frozen soil, stones over 6 in. in diameter, and other objectionable material. The placing and spreading of the fill material shall be started at the lowest point of the foundation and the fill shall be brought up in approximately 6 in. horizontal layers or of such thickness that the required compaction can be obtained with the equipment used. Construction equipment shall be operated over each layer in a way that will result in the required compaction. Special equipment shall be used when the required compaction cannot be obtained without it. The moisture content of fill material shall be such that the required degree of compaction can be obtained with the equipment used.
- Pipe Spillway - The pipe conduit barrel shall be placed on a firm foundation to the lines and grades shown on the plans. Connections between the riser and barrel, the anti-seep collars and barrel and all pipe joints shall be water-tight. Selected backfill material shall be placed around the conduit in layers and each layer shall be compacted to at least the same density as the adjacent embankment. All compaction within 2 ft of the pipe spillway will be accomplished with hand-operated tamping equipment.
- Riser Pipe Base - The riser pipe shall be set a minimum of 6 in. in the concrete base.
- Tran Racks - The top of the riser shall be fitted with trash racks firmly fastened to the riser pipe.
- Emergency Spillway - The emergency spillway shall be cut in undisturbed ground. Accurate construction of the spillway elevation and width is critical and shall be within a tolerance of 0.2 ft.
- Seed and Mulch - The sediment basin shall be stabilized immediately following its construction. In no case shall the embankment or emergency spillway remain bare for more than 7 days.
- Sediment Control - Sediment shall be removed and the sediment basin restored to its original dimensions when an as indicated on the plans. Sediment removed from the basin shall be placed so that it will not erode.
- Final removal - Sediment basins shall be removed after the upstream drainage area is stabilized or as indicated in the plans. Dewatering and removal shall NOT cause sediment to be discharged. The sediment basin site and sediment removed from the basin shall be stabilized.

Specifications for Temporary Diversion



- Drainage area should not exceed 10 acres. Larger areas require a more extensive design.
- The channel cross section may be parabolic or trapezoidal. Disk the base of the dike before placing fill. Build the dike 10% higher than designed for settlement. The dike shall be completed by traversing with tracked earth-moving equipment.
- The minimum cross section of the levee or dike will be as follows: (Minimum design freeboard shall be 0.3 foot.) Where construction traffic will cross the top width may be made wider and the side slopes flatter than specified above.
- The grade may be variable depending upon the topography, but must have a positive drainage to the outlet and be stabilized to be non-erode.
- Outlet runoff onto a stabilized area, into a properly designed waterway, grade stabilization structure, or sediment trapping facility.
- Diversions shall be seeded and mulched in accordance with the requirements in practice standards TEMPORARY SEEDING OR PERMANENT SEEDING AND MULCHING as soon as they are constructed or other suitable stabilization in order to preserve dike height and reduce maintenance.

Specifications for Sediment Basins



RIPRAP APRON DIMENSIONS

PIPE DIAMETER	ROCK SIZE (D ₅₀)	APRON LENGTH (L _a)	UPSTREAM WIDTH (W _u)	DOWNSTREAM WIDTH (W _d)	MINIMUM THICKNESS (T)	QUANTITY
12 INCHES	8 INCHES	12 FEET	3 FEET	13 FEET	30 INCHES	15 TONS
18 INCHES	9 INCHES	16 FEET	4.5 FEET	18 FEET	30 INCHES	20 TONS
24 INCHES	9 INCHES	16 FEET	4.5 FEET	18 FEET	30 INCHES	20 TONS
30 INCHES	9 INCHES	16 FEET	4.5 FEET	18 FEET	30 INCHES	20 TONS
30 INCHES	12 INCHES	16 FEET	4.5 FEET	18 FEET	30 INCHES	20 TONS
42 INCHES	18 INCHES	16 FEET	4.5 FEET	18 FEET	30 INCHES	20 TONS
48 INCHES	18 INCHES	16 FEET	4.5 FEET	18 FEET	30 INCHES	20 TONS

NOTES:

- SUBBASE UNDER RIP RAP SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY PRIOR TO PLACEMENT OF GEOTEXTILE FABRIC.
- GEOTEXTILE FABRIC SHALL BE MIRAFI FILTERWEAVE, FABRIC WEIGHT, TENSILE STRENGTH AND PLACEMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE GEOTEXTILE FABRIC AND RIP RAP SHALL EXTEND A MINIMUM OF 3 FEET UNDER THE END SECTION.
- RIP RAP SHALL HAVE A MINIMUM 650 STONE DIAMETER OF 8 INCHES.
- THE MINIMUM THICKNESS OF THE RIP RAP LAYER SHOULD BE 2.5 FEET.
- RIP RAP SHOULD BE COMPOSED OF A WELL-GRADED MIXTURE DOWN TO THE ONE-INCH SIZE PARTICLE. SUCH THAT 50 PERCENT OF THE MIXTURE BY WEIGHT IS LARGER THAN THE (D₅₀) SIZE. FOR THE PURPOSE OF THIS BMP, A WELL-GRADED MIXTURE IS DEFINED AS A MIXTURE COMPOSED PRIMARILY OF THE LARGER STONE SIZES BUT WITH A SUFFICIENT MIXTURE OF OTHER SIZES TO FILL THE PROGRESSIVELY SMALLER VOIDS BETWEEN THE STONES. THE DIAMETER OF THE LARGEST STONE SIZE IN SUCH A MIXTURE SHOULD NOT BE MORE THAN 1.5 TIMES THE D₅₀ SIZE.
- THE MATERIAL USED FOR RIP RAP SHOULD BE FELDSPATH OR UNHORN QUARRY STONE. STONE SHOULD BE HARD, ANGULAR, AND OF SUCH QUALITY THAT IT WILL NOT DISINTEGRATE ON EXPOSURE TO WATER OR WEATHERING. IT SHOULD ALSO BE CHEMICALLY STABLE, CAPABLE OF WITHSTANDING FREEZING AND THAWING, AND SUITABLE IN ALL OTHER ASPECTS FOR INTENDED USE. BROKEN CONCRETE WILL NOT BE ALLOWED.



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

11-08-2023 NACO COORDINATION
12-07-2023 NACO COORDINATION
01-25-2024 NACO COORDINATION
05-08-2024 REV. PER CITY

DRAWN BY: EO/SH

PANDA PROJECT #: D28203
PANDA STORE #: 23002030
ENGR PROJECT #: 23002030



PANDA EXPRESS
TRUE WARM & WELCOME
SMITH'S MILL RD & JOHNSTOWN RD
NEW ALBANY, OH

C10
SESC DETAILS

