



New Albany Board of Zoning Appeals Meeting Agenda
November 25, 2024 at 6:30 pm

Members of the public must attend the meeting in-person to participate and provide comments at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city's website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes October 28, 2024

IV. Additions or corrections to the agenda

Administer oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

V. Hearing of visitors for items not on tonight's agenda

VI. Cases

VAR-65-2024 Variance

Variance to codified ordinance 1169 relating to the size and quantity of signage for QTS located at 1235 and 1225 Beech Road SW (094-106404-00.011 and 094-106404-00.010).

Applicant: SNHA A Woolpert Company c/o Alex Zimmerman

Motion to accept the staff reports and related documents into the record for - VAR-65-2024.

Motion to approve application VAR-65-2024 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VII. Other business

VIII. Poll members for comment

IX. Adjournment



New Albany Board of Zoning Appeals
DRAFT Meeting Minutes, October 28, 2024

I. Call to order

The New Albany Board of Zoning Appeals held a regular meeting on Monday, October 28, 2024 in the New Albany Village Hall. Chair LaJeunesse called the meeting to order at 6:28 p.m. and asked to hear the roll.

II. Roll call

Those answering the roll:

| | |
|------------------------|---------|
| Chair LaJeunesse | present |
| Mr. Schell | present |
| Mr. Jacob | present |
| Ms. Samuels | present |
| Mr. Smith | present |
| Council Member Wiltout | present |

Having all voting members present, the board had a quorum to transact business.

Staff members present: Planner Blackburn, Planning Manager Mayer, Deputy Clerk Madriguera.

III. Action on minutes August 26, 2024

Chair LaJeunesse asked if there were any corrections to the August 26, 2024 minutes.

Hearing none, Board Member Jacob moved to approve the minutes from the August 26, 2024 meeting. Board Member Schell seconded the motion.

Upon roll call: Mr. Jacob yes, Mr. Schell yes, Ms. Samuels yes, Mr. Smith yes, Mr. LaJeunesse yes. Having five yes votes, the August 26, 2024 meeting minutes were approved as submitted.

IV. Additions or corrections to the agenda

Chair LaJeunesse administered the following oath to Applicant Rebecca Green, "Do you swear to tell the truth and nothing but the truth."

Chair LaJeunesse asked if there were any additions or corrections to the agenda.

Planning Manager Mayer answered none from staff.

V. Hearing of visitors for items not on tonight's agenda

Chair LaJeunesse asked if there were any visitors present who wished to address the board for an item not on the agenda.

Hearing none, Chair LaJeunesse introduced the only case and asked to hear the staff report.

VI. Cases

VAR-74-2024 Variance

Variance to codified ordinance 1169.16(d) relating to the size of signage and sign relief for Pharmavite located at 13700 Jug Street (095-111756-00.012).

Applicant: Zoning Resources c/o Rebecca Green

Planner Blackburn delivered the staff report.

Chair LaJeunesse asked for questions from the board. Hearing none, he invited the applicant to address the board on the application.

Applicant Green spoke in support of the requested variances. She explained that the size of the building was the reason for the request to increase the size of the sign, and that there was plenty of precedent in the business park for a sign of this size and proportion. She further explained that because of the building's distance from the road the sign relief request was minimal, that the metallic finish would provide visual contrast, and sourcing materials for 1-inch relief is more complex and costly. And regarding the size request, there was plenty of precedent in the business park and the proposed sign, if approved, would be less than 1% of the size of the building.

Chair LaJeunesse asked staff whether this request was in line with prior requests.

Planning Manager Mayer answered that it absolutely was. He further explained that this request falls within the range proposed in the sign-code update which was scheduled for discussion under Other business.

Chair LaJeunesse asked staff for the size of the largest sign request.

Planner Saumenig responded that it was Amazon. The requested sign was 297 square feet, which was approved.

Council Member Wiltout asked about the relief request. More specifically whether there had been precedent for requests for changes in materials and relief. She further asked why the applicant could not provide the materials required by the code.

Planning Manager Mayer responded that staff could not find precedent for a reduction of relief request and had nonetheless determined that this is not a substantial request. He deferred to the applicant regarding acquisition of the materials required by code.

Ms. Green responded that the materials are difficult to acquire and in lieu of them they would like to use aluminum on the letters.

Board Member Samuels asked staff about the materials used to achieve the relief requirement, and asked the applicant why compliant materials could not be used.

Planning Manager Mayer responded that it was usually a mixture of materials and that typically pegs are used.

Ms. Green responded that she was unsure why pegs could not be used but was willing to find out.

Board Member Smith asked the applicant what the primary use for the sign was, was it for building identification and/or for trucks?

Ms. Green responded that the sign was intended to mark the front of the building.

Board Member Schell asked whether thickness/relief was an issue that would be addressed in the City Code Amendment Workshop.

Planning Manager Mayer answered that there have been relatively few requests to change the thickness of the signs and as a result, staff was not proposing any changes to the relief provisions.

Chair LaJeunesse asked if there were any further questions on the application.

Hearing none, Board Member Smith moved to accept the staff reports and related documents into the record for VAR-74-2024. Board Member Samuels seconded the motion.

Upon roll call: Mr. Smith yes, Ms. Samuels yes, Mr. Jacob yes, Mr. LaJeunesse yes, Mr. Schell yes. Having five yes votes, the motion passed and the staff reports and related documents were accepted into the record for VAR-74-2024.

Board Member Samuels requested that the variances, A and B, be voted upon separately.

Chair LaJeunesse and the board agreed with this request.

Chair LaJeunesse moved for approval of VAR-74-2024A based on the findings in the staff report with the conditions in the staff report, subject to staff approval. Board Member Smith seconded the motion.

Upon roll call: Mr. LaJeunesse yes, Mr. Smith yes, Mr. Jacob yes, Ms. Samuels yes, Mr. Schell yes. Having five yes votes, the motion passed and VAR-74-2024A was approved.

Board Member Schell moved for approval of VAR-74-2024B based on the findings in the staff report with the conditions in the staff report, subject to staff approval. Board Member Smith seconded the motion.

Upon roll call: Mr. Schell yes, Mr. Smith yes, Mr. Jacob no, Ms. Samuels no, Mr. LaJeunesse yes. Having three yes votes and two no votes, the motion passed 3-2, and VAR-74-2024B was approved.

Board Member Samuels explained that she voted no because the code was created with the intent for uniformity and rationale behind it. and hearing the applicant's reasons for the request – cost and lack of materials without further details and with insufficient precedent supporting the request, she could not make the findings required to grant this variance.

Board Member Jacob agreed with Board Member Samuels' reasons and further explained that he voted no because he is not comfortable establishing this precedent at this time in the business park at this time. He would be happy to revisit this issue down the road, but he could not make the findings required to grant this variance.

Chair LaJeunesse and the board thanked the applicant and wished her good luck.

VII. Other business

City Code Amendment Workshop: C.O. 1169 Sign Regulations Update

Planner Saumenig discussed the proposed amendments to C.O. 1169, New Albany's sign regulations provisions.

Chair LaJeunesse asked who was part of the discussion and development of this recommended update, whether it was staff only or whether others were involved.

Planning Manager Mayer responded that it was staff only and it arose as a result of numerous requests over recent years. This update would not address all requests in the business park but would be more on par with the current users.

Chair LaJeunesse remarked that what he did not see were code provisions regarding color and he asked whether the city has such code provisions.

Planning Manager Mayer answered yes, the provisions regarding color are in a separate area of the code. The code puts the maximum amount of colors at four, including black and white.

Board Member Samuels noted that there was no specification for logos and asked whether included in the maximum lettering height. Further, she whether this proposed increase would address all prior variance requests.

Planner Saumenig explained that staff concluded that keeping the current language, which is silent on logos, was best. She further explained that staff interprets the current language so as to permit separate evaluation of logos and would continue to do so under this new language, if approved.

Board Member Smith remarked that even with this update, there are still two sign size increase requests the board would have heard over the past five years.

Planner Saumenig agreed.

Board Member Samuels asked how the board can formally and informally support future board members in terms of consistency [regarding 1% of the building size] in their consideration of such requests.

Planning Manager Mayer responded that staff will track requests internally and provide support by including some history of the surrounding area and similar requests to future board members.

Chair LaJeunesse discussed the sign relief issue. He noted that the proposed code update did not include amendments to the relief provisions, and he and asked for the reasons supporting code provisions regarding sign relief.

Planning Manager Mayer responded that the 1-inch relief provisions are intended to add more dimension and visual quality to the building. They are intended to encourage unique and vibrant signage. He added that the city does not have many aluminum signs, and for that reason they did not view the request as substantial.

Board Member Samuels remarked that she would be in favor of an amendment permitting a range of relief from ½ - 1-inch relief, but was concerned about requests to simply paint the building and make the sign flush with the building.

Attendance of Members Rule Update – Amendments to C.O. 159.02(d)

Planning Manager Mayer presented the update. He explained that this is intended to provide city council with the discretion to determine whether the board member has forfeited their board appointment.

Board Member Jacob confirmed that the notification would be to the Clerk of Council, and not the Deputy Clerk.

Planning Manager Mayer confirmed Board Member Jacob's understanding. The applicable department designee would notify Jennifer Mason, the Clerk of Council.

Chair LaJeunesse asked for further comments or questions. Hearing none, he thanked staff for the update.

VIII. Adjournment

Chair LaJeunesse asked if there was any further business before the board.

Hearing none, Board Member Smith moved to adjourn the October 28, 2024 meeting of the New Albany Board of Zoning Appeals. Board Member Jacob seconded the motion.

Upon roll call: Mr. Smith yes, Mr. Jacob yes, Mr. LaJeunesse yes, Mr. Schell yes, Ms. Samuels yes. Having five yes votes, the motion passed and the October 28, 2024 meeting was adjourned.

Submitted by: Deputy Clerk Madriguera, Esq.

Appendix
VAR-74-2024
Staff Report
Record of Action



**Board of Zoning Appeals Staff Report
October 28, 2024 Meeting**

**PHARMAVITE
SIGN VARIANCE**

LOCATION: 13700 Jug Street (PID: 095-111756-00.012)
APPLICANT: Columbus Sign Company / Zoning Resources c/o Rebecca Green
REQUEST: (A) Variance to C.O. 1169.16(d) to allow the size of a wall sign to be 143.6 square feet where code permits a maximum of 75 square feet.
(B) Variance to C.O. 1169.16(d) to allow the sign relief to be at ½ inch where code requires a minimum of 1 inch.
ZONING: Limited General Employment (L-GE) Jug Street North Limitation Text
STRATEGIC PLAN: Employment Center
APPLICATION: VAR-74-2024

Review based on: Application materials received September 14, 2024.

Staff report prepared by Kylie Blackburn, Planner

I. REQUEST AND BACKGROUND

The applicant requests the following variances related to a new sign for the Pharmavite building located in the New Albany International Business Park.

- (A) Variance to C.O. 1169.16(d) to allow the size of the wall sign to be 143.6 square feet where code permits a maximum of 75 square feet.
- (B) Variance to C.O. 1169.16(d) to allow the sign relief to be at ½ inch where code requires a minimum of 1 inch.

II. SITE DESCRIPTION & USE

The Pharmavite building is located northwest of the Jug Street and Harrison Road intersection. The structure spans approximately 720 feet in width and reaches a height of 30 feet, with its primary facade oriented towards Jug Street. It encompasses a total floor area of 219,968 square feet and is setback approximately 550 feet from the public right-of-way. The property is 41.7 +/- acres, located in the New Albany International Business Park, and is surrounded by similarly zoned and used properties.

III. EVALUATION

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the “practical difficulties” standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (Section 1113.06):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

III. ASSESSMENT

Considerations and Basis for Decision

(A) Variance to C.O. 1169.16(d) to allow the size of a wall sign to be 143.6 square feet where code permits a maximum of 75 square feet.

The following should be considered in the decision of the board:

1. C.O. 1169.16(d) states that one wall sign, up to 75 sq. ft. in size, is permitted to be installed per building frontage. The building has one frontage and a total of one wall sign is allowed. The applicant proposes to install one wall sign. On the south elevation (facing Jug Street).
 - a. Sign: features the company logo, the text “Pharmavite”, and is 143.6 sq. ft. in size and is non-illuminated. This exceeds the maximum area requirement according to the city sign code.
2. The variance request does not appear to be substantial due to the large size of the building which is 219,968 square feet. The building is approximately 720 feet in width and 30 feet in height on its south façade. Due to the large size, the proposed wall sign appears to be appropriately scaled in relation to the size of the building. If the applicant were to install a wall sign that met code requirements, it may appear under-scaled and out of place on the

larger building.

3. The spirit and intent of the zoning code is preserved since the signs are appropriately scaled and designed for the building on which they are located. The city sign code requires signs to “integrate with the building/site on which they are located and adjacent development in scale, design, and intensity. For example, large signs are best suited for buildings with larger massing.” The proposed sign meets this intent. It is well designed and appropriately scaled in relation to the large warehouse building thereby making the size appropriate in this case.
4. It does not appear that the essential character of the immediate area will be altered if the variance is granted. The site is located in the Business Park District and the building’s 550-foot setback from the public road reduces the visual impact of the wall sign.
5. The granting of the variance will not confer on the applicant any special privileges because the city Board of Zoning Appeals (BZA) has approved similar variances. There have been a wide range of approvals for sign variances for size:
 - a. The largest variance sign size was approved by the board in April 2021. Amazon requested a wall sign at 297 square feet for a building at approximately 1,271 feet long and about 50 +/- feet in height. Therefore, the square footage for the façade is 63,550 square feet making the sign less than 1% of the façade.
 - b. The smallest sign size variances request was approved by the board in August 2023. Amgen requested a wall sign at 98 square feet for a building 540 feet long and 35 feet in height. The building façade’s area is 18,900 square feet making the sign area about 1% of the façade’s area.
6. The variance request does not appear to be substantial because the sign is an appropriate size for the large warehouse façade.
 - a. The square footage of the building face is approximately 21,600 square feet making the total of wall sign just 0.66% of the building façade.
 - b. Due to this large size, the proposed wall signs appear to be appropriately scaled in relation to the size of the building. If the applicant were to install wall signs that met code requirements, the signs would be under-scaled and appear out of place on the larger building.
7. Granting the variance will not adversely affect the health, safety, or general welfare of persons living in the immediate vicinity.
8. Granting the variance will not adversely affect the delivery of government services.

(B) Variance to C.O. 1169.16(d) to allow the sign relief to be at ½ inch where code requires a minimum of 1 inch.

The following should be considered in the decision of the board:

1. C.O. 1169.16(d) states that wall signs must have a relief (depth) of no less than 1 inch and no more than 18 inches.
 - a. Sign: The logo and text are proposed to have a ½ inch relief. This is less than the minimum depth requirement according to the city sign code so a variance is required.
2. The problem may be solved by some manner other than the granting of a variance if the applicant made the sign deeper, projected the sign from the building with mounts or brackets, or used another sign material. The applicant indicates that sourcing materials for solid 1-inch letters is challenging and that production requires a specialty sign shop.
3. The variance request does not appear to be substantial. The applicant states that, due to the sign’s distance of over 550 feet from the right-of-way, the difference in appearance between 1-inch and ½-inch relief is negligible.
4. The city staff could not find any other cases when the city board and commissions have approved a variance for sign relief historically.
5. The “spirit and intent” of the zoning requirement is to add more visual interest and help to make it stand out from the building. While the sign is not meeting the relief requirements to help the sign stand out from the building, the sign is silver metallic aluminum which helps it stand out from the building and adds visual interest. Granting the variance will not alter the essential character of the immediate area. The property is located in the Business Park District, with substantial setbacks (550 feet from public roads). Granting the variance will not

adversely affect the health, safety, or general welfare of persons living in the immediate vicinity.

6. Granting the variance will not adversely affect the delivery of government services.

IV. SUMMARY

Even though the proposed wall sign is larger than the code allows it is still appropriately integrated with the building/site on which it is located and the adjacent development in scale, design, and intensity. The proposed sign is below 1% of the applicable building facades which will minimize the visual impact. Even though the sign relief is smaller than the code allows it would not impede the visual impact. However, an alternative mounting method may be considered to ensure compliance with the minimum sign relief requirements. Therefore, the request does not appear to be substantial.

V. ACTION

Should the Board of Zoning Appeals find that the application has sufficient basis for approval, the following motions would be appropriate. Conditions of approval may be added.

Move to approve application VAR-74-2024.

Approximate Site Location:



Source: NearMap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Columbus Sign Company/Zoning Resources c/o Rebecca Green,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Wednesday, October 30, 2024

The New Albany Board of Zoning Appeals took the following action on 10/28/2024 .

Variance

Location: 13700 Jug St., New Albany, OH 43031

Applicant: Columbus Sign Company/Zoning Resources c/o Rebecca Green,

Application: PLVARI20240074

Request: Variance to codified ordinance 1169.16(d) relating to the size of signage and sign relief for Pharmavite located at 13700 Jug Street (095-111756-00.012).

Motion: To Approve

Commission Vote: Motion Approved, Variance A 5-0
Motion Approved, Variance B 3-2

Result: Variance, PLVARI20240074 was Approved, by a vote of Variance A 5-0 and Variance B 3-2.

Recorded in the Official Journal this October 30, 2024

Condition(s) of Approval:

Staff Certification:

Kylie Blackburn
Planner



**Board of Zoning Appeals Staff Report
November 25, 2024 Meeting**

**QTS
SIGN VARIANCES**

LOCATION: 1235 Beech Road SW and 1225 Beech Road SW (PID: 094-106404-00.011 and 094-106404-00.010)

APPLICANT: SNHA A Woolpert Company c/o Alex Zimmerman

REQUEST: (A) Variance to C.O. 1168.18(b)(2) to allow the size of directional signs to be 27.5 square feet and 6'-1" tall where code permits a maximum of 5 square feet and 4 feet tall.
(B) Variance to C.O. 1169.16(d) to allow 4 signs per building where code permits one sign per building.
(C) Variance to C.O. 1169.16(d)(2) to allow 8 wall signs to exceed the permitted 75 square feet max.
(D) Variance to C.O. 1169.18(c)(2) to allow 2 address signs per building where code permits one address sign per building.

ZONING: Limited General Employment (L-GE): Beech Road South

STRATEGIC PLAN: Employment Center

APPLICATION: VAR-65-2024

Review based on: Application materials received July 26, 2024.

Staff report prepared by Kylie Blackburn and Sierra Saumenig, Planners

I. REQUEST AND BACKGROUND

The applicant requests the following variances related to a new sign package for two QTS buildings located in the Licking County portion of the New Albany Business Park and accessed off Beech Road.

- (A) Variance to C.O. 1168.18(b)(2) to allow the size of directional signs to be 27.5 square feet and 6'-1" tall where code permits a maximum of 5 square feet and 4 feet tall.
- (B) Variance to C.O. 1169.16(d) to allow 4 signs per building where code permits one sign per building.
- (C) Variance to C.O. 1169.16(d)(2) to allow 8 wall signs to exceed the permitted 75 square foot max.
- (D) Variance to C.O. 1169.18(c)(2) to allow 2 address signs per building where code permits one address sign per building.

II. SITE DESCRIPTION & USE

The QTS buildings are located on the west side of Beech Road and south of Ganton Parkway. The two adjacent properties total 38.79 +/- acres. It is part of the New Albany Business Park within Licking County. There are several other commercial businesses located north, south, and west of the building.

III. EVALUATION

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the “practical difficulties” standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (*Section 1113.06*):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

III. ASSESSMENT

Considerations and Basis for Decision

(A) A variance to C.O. 1168.18(b)(2) to allow the size of directional signs to be 27.5 square feet and 6'-1” tall where code permits a maximum of 5 square feet and 4 feet tall.

The following should be considered in the Commission’s decision:

1. C.O. 1168.18(b)(2) states that directional signage should have a maximum square footage of 5 feet and a maximum height of 4 feet.

- a. The applicant proposes four directional signs that are permitted as the code allows one per lot access plus one per building. The four directional signs are all proposed to be 27.5 square feet and 6'-1" in height. Three of the directional signs are at the front of the property and one directional sign is located at the rear of the property.
2. The variance request may be substantial as the directional signs are proposed to be much larger than what code permits.
 - a. The applicant states the signs are intended for internal use and are not be visible from Beech Road and the design matches the existing signage throughout the business park including a black background and white lettering.
 - b. The two signs at the northeast and southeast corner appear that they would be visible from Beech Road as they are adjacent to drive aisles into the property.
 - c. The directional sign at the rear of the property is not visible from the public street but may be able to be seen from adjacent properties.
3. The applicant could reduce the square footage of the proposed signs by eliminating some of the blank space on the signs.
4. Staff is unaware of any previous variance requests for a directional sign size increase.
5. It appears that there are no special conditions and circumstances that justify the variance request. Other properties that are in the surrounding area also have had to meet the directional sign standards to ensure consistency which signals to visitors that they are within the New Albany Business Park. However, these directional signs are interior to the site.
6. Granting the variance does not appear to meet the spirit and intent of the zoning requirement because the applicant could achieve the required wayfinding signage without altering the intended content of the sign. The applicant could eliminate some blank space on the sign which would reduce its size.
7. If the directional signs cannot be seen from Beech Road, it does not appear that the essential character of the immediate area will be altered if the variance is granted. However, it appears three of the four signs could be seen from the right-of-way or adjacent neighbors.
8. Granting the variance will not adversely affect the health, safety, or general welfare of persons living in the immediate vicinity.
9. Granting the variance will not adversely affect the delivery of government services.

(B) A Variance to C.O. 1169.16(d) to allow 4 wall signs per building where code permits one sign per building frontage.

The following should be considered in the decision of the board:

1. C.O. 1169.16(d) states that one wall sign, up to 75 sq. ft. in size, is permitted to be installed per building frontage. The applicant proposes to install four wall signs per building that would exceed this requirement. The development includes two identical buildings that are proposed to have the same signs and locations on each of the buildings.
 - a. One sign on the east elevations of the two buildings is proposed to be 177 square feet. These signs feature the company logo.
 - b. Four Signs on the north and south elevations (two on each building) are proposed to be 311 square feet. These signs feature the company logo with "data centers."
 - c. One sign on the west elevations of the two buildings are proposed to be 152 square feet. This sign features the company logo.
2. The city sign code permits one wall sign per building frontage. Each building has one frontage along Beech Road. While the applicant proposes to allow more wall signs than permitted by right the buildings are approximately 1,241 feet long on their north and south façades, approximately 275 feet long on their east façades, and approximately 220 feet long on their west façades.
 - a. Due to the buildings' large façades having the signs placed over public and private entrances does not appear to be substantial given the size of the buildings.
 - b. They are appropriately and symmetrically positioned on the building. However, on the north and south facades of the building, there is repeated functionality with identical signs that are adjacent to one another above private entrances.
 - c. The building is for a single user, not a shared tenant space, therefore, no other company signs would be added to the eastern façade.

3. The spirit and intent of the zoning code are preserved because the signs are appropriately scaled and designed for the building that they are located on. The city sign code requires signs to “integrate with the building/site on which they are located and adjacent development in scale, design, and intensity. For example, large signs are best suited for buildings with larger massing.” The proposed signs meet this intent as they are well designed and appropriately scaled in relation to the large building thereby making the size appropriate in this case. However, on the north and south facades of the building, there is repeated functionality with identical signs that are not above public entrances to the buildings.
4. It does not appear that the essential character of the immediate area will be altered if the
5. variance is granted. The variance request does not appear to be substantial because there are an appropriate number of signs for the large façades.
 - a. Given the scale of the buildings and the multiple entrances, the increased number of signs appears to be necessary for effective wayfinding and ensuring that visitors can easily navigate the space.
6. Granting the variance will not adversely affect the health, safety, or general welfare of persons living in the immediate vicinity.
7. Granting the variance will not adversely affect the delivery of government services.

(C) A variance to C.O. 1169.16(d)(2) to allow 8 wall signs to exceed the permitted 75 square foot max.

1. C.O. 1169.16(d) states that wall signs may be a maximum of 75 sq. ft. in size. The applicant proposes to install eight wall signs that exceed this size requirement. The development includes two identical buildings that are proposed to have the same signs and locations on each of the buildings.
 - a. One sign on the east elevations of the two buildings is proposed to be 177 square feet. These signs feature the company logo (see below).



- b. Four Signs on the north and south elevations (two on each building) are proposed to be 311 square feet. These signs feature the company logo with “data centers” (see below).



- c. One sign on the west elevations of the two buildings are proposed to be 152 square feet. This sign features the company logo.



2. The variance request does not appear to be substantial due to the large size of the buildings which are approximately 442,500 in gross floor area (222,000 square foot first floor area).
- East façade: The buildings are approximately 275 feet long on their east façades. Due to the large size, the proposed wall signs appear to be appropriately scaled in relation to the size of the building. If the applicant were to install a wall sign that met code requirements, it may appear under scaled and out of place on the larger building. Additionally, the sign is proposed to be located above a public entrance to the building.
 - North façade and south façade: The buildings are approximately 1,241 feet long on their north and south façades. Due to the large size, the proposed wall signs appear to be appropriately scaled in relation to the size of the building. If the applicant were to install a wall sign that met code requirements, it may appear under scaled and out of place on the larger building.
 - West façade: The buildings are approximately 220 feet long on their west façades. Due to the large size, the proposed wall signs on both buildings appears to be appropriately scaled in relation to the size of the building. If the applicant were to install a wall sign that met code requirements, it may appear under scaled and out of place on the larger building. Additionally, this is the back of the building and would not be visible from Beech Road.
3. The spirit and intent of the zoning code are preserved because the signs are appropriately scaled and designed for the building that they are located on. The city sign code requires signs to “integrate with the building/site on which they are located and adjacent development in scale, design, and intensity. For example, large signs are best suited for buildings with larger massing.” The proposed signs meet this intent as they are well designed and appropriately scaled in relation to the large building thereby making the size appropriate in this case. However, on the north and south facades of the building, there is repeated functionality with identical signs that are not above public entrances to the buildings.
4. It does not appear that the essential character of the immediate area will be altered if the variance is granted. The site is located in the New Albany Business Park and the building’s large setbacks from the public roads reduce the visual impact of the wall signs
5. The granting of the variance will not confer on the applicant any special privileges because the city Board of Zoning Appeals (BZA) has approved similar variances. There have been a wide range of approvals for sign variances for size:
- The largest variance sign size was approved by the board in April 2021. Amazon requested a wall sign at 297 square feet for a building at approximately 1,271 feet long and about 50 +/- feet in height. Therefore, the square footage for the façade is 63,550 square feet making the sign less than 1% of the façade.
 - The smallest sign size variances request was approved by the board in August 2023. Amgen requested a wall sign at 98 square feet for a building 540 feet long and 35 feet in height. The building façade’s area is 18,900 square feet making the sign area about 1% of the façade’s area.
6. The variance request does not appear to be substantial because the signs are appropriately sized for the large façades.

- a. The square footages of the east façades are approximately 15,400 square feet making the total of the wall sign just 1.15% of the building façade.
 - b. The square footage of the north and south building façades is approximately 69,496 square feet making the total of the wall signs just 0.90% of the building façade.
 - c. The square footages of the west facades are approximately 12,320 square feet making the total of the wall signs just 1.2% of the building façade.
 - d. Due to this large size, the proposed wall signs appear to be appropriately scaled concerning the size of the building. If the applicant were to install wall signs that met code requirements, the signs would be under-scaled and appear out of place on the larger building.
7. Granting the variance will not adversely affect the health, safety, or general welfare of persons living in the immediate vicinity.
 8. Granting the variance will not adversely affect the delivery of government services.

(D) A variance to C.O. 1169.18(c)(2) to allow 2 address signs per building where code permits one address sign per building.

The following should be considered in the decision of the board:

1. C.O. 1169.16(c)(2) states that one address sign, up to 15 sq. ft. in size, is permitted to be installed per building. While the four address signs are below 15 sq. ft., the applicant proposes to install two address signs per building that would exceed what code permits. The development includes two identical buildings that are proposed to have the same signs and locations on each of the buildings.
 - a. East façade: The buildings are approximately 275 feet long on their east façades.
 - b. North façade and south façade: The buildings are approximately 1,241 feet long on their north and south façades.
2. The city sign code permits one address sign per building frontage. The buildings are approximately 1,241 feet long on their north and south façades, and approximately 275 feet long on their east façades. Due to the buildings' large façades, the signs do not appear to be substantial given the size of the buildings. They are appropriately and symmetrically positioned on the building. Since the applicant has two identical buildings next to each other this variance helps to distinguish which building is which.
3. The spirit and intent of the zoning code are preserved because the signs are appropriately scaled and designed for the building that they are located on. The city sign code requires signs to “integrate with the building/site on which they are located and adjacent development in scale, design, and intensity. The proposed signs meet this intent as they are well-designed. .
4. It appears that some special conditions and circumstances justify the variance request. There are two identical buildings. The proposed signs provide additional wayfinding for the two buildings and help to differentiate the two.
5. It does not appear that the essential character of the immediate area will be altered if the variance is granted. This variance request does not eliminate the architectural, screening, and landscaping requirements for this property.
6. The variance request does not appear to be substantial because the signs are an appropriate size for the large façades.
 - a. The address signs meet code size restrictions
 - b. The presence of two identical buildings makes it essential to include additional address signage to clearly differentiate between the two structures
7. Granting the variance will not adversely affect the health, safety, or general welfare of persons living in the immediate vicinity.
8. Granting the variance will not adversely affect the delivery of government services.

IV. SUMMARY

While the applicant is meeting the directional signage quantity, the proposed size of the signs is larger than code permits. Additionally, three of the four signs may be visible from either right-of-way or adjacent properties. The applicant could eliminate some blank space on the directional signs to decrease the size.

Even though the wall signs are larger than code allows they are still appropriately integrated with the building/site on which it is located and the adjacent development in scale, design, and intensity. The proposed signs are below or just over 1% of the applicable building facades which minimize the visual impact. Therefore, the request does not appear to be substantial. The wall signs do not create an appearance of competition between adjacent signs because of the size of the building. The applicant proposes four wall signs with two of them being identical on the north and south façades of the buildings. The city sign states multiple signs should avoid repeated functionality.

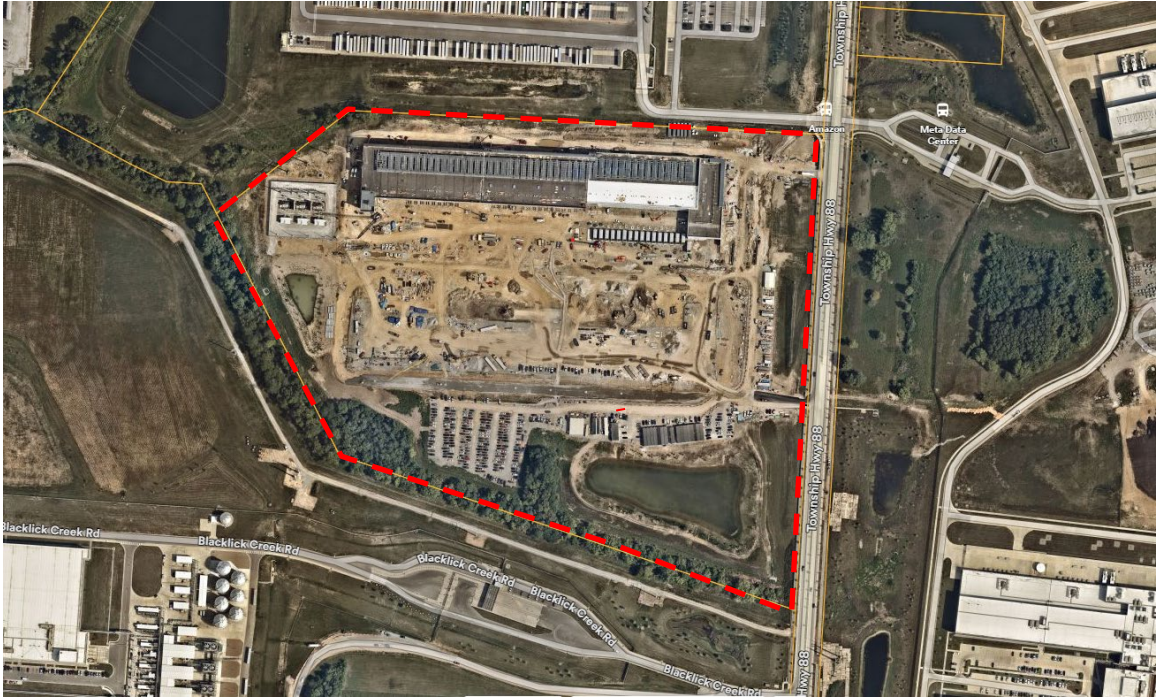
Lastly, the address signs meet the code's permitted size and help differentiate between the two identical QTS buildings. Allowing two address signs per building is not substantial and helps with wayfinding. They are appropriately and symmetrically positioned on the building.

V. ACTION

Should the Board of Zoning Appeals find that the application has sufficient basis for approval, the following motions would be appropriate. Conditions of approval may be added.

Move to approve application VAR-65-2024.

Approximate Site Location:



Source: NearMap



Community Development Planning Application

| Project Information | Site Address <u>1235 AND 1225 BEECH ROAD SW, NEW ALBANY, OH 43054</u> Parcel Numbers <u>094-106404</u> Acres <u>55.62 TOTAL SITE AREA</u> # of lots created _____ | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---|-------------------------|-------------------------------|-----------|--|--|--|---------------------------------|--|--|--|--|--|---|--|--|--|--|--|--|--|--|--|--|--|---|-------------|-------|---------------|-----------|--|-------------------------------|-------------|-------|--|--|--|--------------------------------------|-------------|-------|------------|--|--|---|--|--|--|--|--|-----------------------------------|----------|--|--------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|---------------------------------|----------------------|--|-------------------|--|
| | <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">Choose Application Type</th> <th colspan="5" style="text-align: left;">Circle all Details that Apply</th> </tr> <tr> <td><input type="checkbox"/> Appeal</td> <td></td><td></td><td></td><td></td><td></td> </tr> <tr> <td><input type="checkbox"/> Certificate of Appropriateness</td> <td></td><td></td><td></td><td></td><td></td> </tr> <tr> <td><input type="checkbox"/> Conditional Use</td> <td></td><td></td><td></td><td></td><td></td> </tr> <tr> <td><input type="checkbox"/> Development Plan</td> <td>Preliminary</td> <td>Final</td> <td>Comprehensive</td> <td colspan="2">Amendment</td> </tr> <tr> <td><input type="checkbox"/> Plat</td> <td>Preliminary</td> <td>Final</td> <td></td> <td colspan="2"></td> </tr> <tr> <td><input type="checkbox"/> Lot Changes</td> <td>Combination</td> <td>Split</td> <td>Adjustment</td> <td colspan="2"></td> </tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td> <td></td><td></td><td></td><td colspan="2"></td> </tr> <tr> <td><input type="checkbox"/> Vacation</td> <td>Easement</td> <td></td> <td>Street</td> <td colspan="2"></td> </tr> <tr> <td><input checked="" type="checkbox"/> Variance</td> <td></td><td></td><td></td><td colspan="2"></td> </tr> <tr> <td><input type="checkbox"/> Extension Request</td> <td></td><td></td><td></td><td colspan="2"></td> </tr> <tr> <td><input type="checkbox"/> Zoning</td> <td>Amendment (rezoning)</td> <td></td> <td>Text Modification</td> <td colspan="2"></td> </tr> </table> | Choose Application Type | Circle all Details that Apply | | | | | <input type="checkbox"/> Appeal | | | | | | <input type="checkbox"/> Certificate of Appropriateness | | | | | | <input type="checkbox"/> Conditional Use | | | | | | <input type="checkbox"/> Development Plan | Preliminary | Final | Comprehensive | Amendment | | <input type="checkbox"/> Plat | Preliminary | Final | | | | <input type="checkbox"/> Lot Changes | Combination | Split | Adjustment | | | <input type="checkbox"/> Minor Commercial Subdivision | | | | | | <input type="checkbox"/> Vacation | Easement | | Street | | | <input checked="" type="checkbox"/> Variance | | | | | | <input type="checkbox"/> Extension Request | | | | | | <input type="checkbox"/> Zoning | Amendment (rezoning) | | Text Modification | |
| Choose Application Type | Circle all Details that Apply | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Appeal | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Certificate of Appropriateness | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Conditional Use | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Development Plan | Preliminary | Final | Comprehensive | Amendment | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Plat | Preliminary | Final | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Lot Changes | Combination | Split | Adjustment | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Minor Commercial Subdivision | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Vacation | Easement | | Street | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> Variance | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Extension Request | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Zoning | Amendment (rezoning) | | Text Modification | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Contacts | Description of Request: <u>REQUESTS A ZONING VARIANCE FOR SIGNAGE TO ALLOW DIRECTIONAL SIGNAGE TO EXCEED 5SF AREA AND 4FT HEIGHT, TO ALLOW (4) BUILDING MOUNTED SIGNS PER BUILDING, TO ALLOW (1) BUILDING MOUNTED SIGN PER BUILDING TO EXCEED 75 SF, AND TO ALLOW (2) ADDRESS SIGNS PER BUILDING</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Property Owner's Name: <u>JOHN WOODCOCK, QTS DATA CENTERS</u> Address: <u>22291 SHELLHORN ROAD</u> City, State, Zip: <u>ASHBURN, VA 20147</u> Phone number: <u>713-471-3911</u> Fax: _____ Email: <u>JOHN.WOODCOCK@qtsdatacenters.com</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Signature | Applicant's Name: <u>NEIL SHEEHAN, SNHA - A WOOLPERT COMPANY</u> Address: <u>130 E RANDOLPH ST, SUITE 3100</u> City, State, Zip: <u>CHICAGO, IL 60601</u> Phone number: <u>312-837-2215</u> Fax: _____ Email: <u>ALEX.ZIMMERMAN@WOOLPERT.COM</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Signature of Owner _____ Signature of Applicant _____ | John Woodcock _____ Date: <u>10/18/2024</u> Date: <u>10/18/2024</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Fees & Submittal Information

| | | | |
|---|---|---------------|-------|
| Appeal | | 250.00 | _____ |
| Certificate of Appropriateness | | | _____ |
| ARB – single and two family residential | | 100.00 | _____ |
| ARB – All other residential or commercial | | 300.00 | _____ |
| ARB - Signage | | 75.00 | _____ |
| Conditional Use | | 600.00 | _____ |
| Development Plan – Preliminary PUD or Comprehensive | | | _____ |
| Planning fee | First 10 acres | 750.00 | _____ |
| | Each additional 5 acres or part thereof | 50.00 / each | _____ |
| Engineering fee | 1-25 lots | 155.00 / each | _____ |
| | Minimum fee | 1000.00 | _____ |
| Engineering fee | 26 – 50 lots | 3875.00 | _____ |
| | Each additional lot over 26 | 75.00 / each | _____ |
| Engineering fee | Over 51 lots | 5750.00 | _____ |
| | Each additional lot over 51 | 50.00 / each | _____ |
| Development Plan – Final PUD | | | _____ |
| Planning fee | First 10 acres | 650.00 | _____ |
| | Each additional 5 acres or part thereof | 50.00 | _____ |
| Engineering fee | 1-25 lots (minimum fee \$1,000.00) | 155.00 / each | _____ |
| Engineering fee | 26 – 50 lots | 3875.00 | _____ |
| | Each additional lot over 26 | 75.00 / each | _____ |
| Engineering fee | Over 51 lots | 5750.00 | _____ |
| | Each additional lot over 51 | 50.00 / each | _____ |
| Development Plan – Non-PUD | | 300.00 | _____ |
| Development Plan / Text Amendment | | 600.00 | _____ |
| Plat – Road Preliminary | | | _____ |
| Planning fee | | 350.00 | _____ |
| Engineering fee | no lots on either side of street | 1.00 / LF | _____ |
| | lots on one side of street | .50 / LF | _____ |
| | Minimum fee | 1,000.00 | _____ |
| Plat – Road Final | | | _____ |
| Planning fee | | 350.00 | _____ |
| Engineering fee | no lots on either side of street | 1.00 / LF | _____ |
| | lots on one side of street | .50 / LF | _____ |
| | Minimum fee | 1,000.00 | _____ |
| Plat – Subdivision Preliminary | | | _____ |
| Planning | | 650.00 | _____ |
| | Plus each lot | 50.00 / each | _____ |
| Engineering fee | 1-25 lots (minimum fee \$1,000.00) | 155.00 / each | _____ |
| Engineering fee | 26 – 50 lots | 3875.00 | _____ |
| | Each lot over 26 | 75.00 / each | _____ |
| Engineering fee | Over 51 lots | 5750.00 | _____ |
| | Each lot over 51 | 50.00 / each | _____ |

Fees & Submittal Requirements

| | | | |
|-------------------------------|--|---------------|-------|
| Plat – Subdivision Final | | | |
| Planning | | 650.00 | _____ |
| | Plus each lot | 15.00 / each | _____ |
| Engineering fee | 1-25 lots (minimum fee \$1,000.00) | 155.00 /each | _____ |
| Engineering fee | 26-50 lots | 3875.00 | _____ |
| | Each lot over 26 | 75.00 / each | _____ |
| Engineering fee | Over 51 lots | 5750.00 | _____ |
| | Each lot over 51 | 50.00 / each | _____ |
| Lot Changes | | 200.00 | _____ |
| Minor Commercial Subdivision | | 200.00 | _____ |
| Vacation (Street or Easement) | | 1200.00 | _____ |
| Variance | | | |
| | Non-single family, commercial, subdivision, multiple properties | 600.00 | _____ |
| | Single Family residence | 250.00 | _____ |
| | In conjunction with Certification of Appropriateness | 100.00 | _____ |
| Extension Request | | 0.00 | _____ |
| Zoning | | | |
| | Rezoning - First 10 acres | 700.00 | _____ |
| | Each additional 5 acres or part thereof | 50.00 / each | _____ |
| | Rezoning to Rocky Fork Blacklick Accord | 250.00 | _____ |
| | Text Modification | 600.00 | _____ |
| Easement Encroachment | | 800.00 | _____ |

November 8, 2024

Zoning, Building, and Fire Department Review Summary
New Albany Community Development Department
New Albany, OH

Subject:

Signage Variance Request

Permit #: PRSI-2024-0563

Project Name: QTS 1 (North) Liberty - Building 1 + Building 2

Building 1 Project Address: 1235 Beech Road SW, New Albany OH, 43054

Building 2 Project Address: 1225 Beech Road SW, New Albany OH, 43054

This is a formal request for a signage variance on parcel 094-106404 regarding several zoning comments added during review of the building 1 permit listed above. Due to the size of the property and set back of the buildings from Beech Road SW, modifications are needed to adequately support wayfinding and promote QTS presence in the community. There is precedence on neighboring properties for several items requested.

Items included in the request are:

- C.O. 1169.18(b)(2) requires a 5sf maximum directional sign
 - o Current design is approximately 27.37sf.
 - o A variance is requested to allow the 27.37sf directional signs.
 - Due to the size of the property, the scale of the signs is appropriate for visitor wayfinding over greater distances.
 - Additionally, with landscaping along Beech Road SW directional signage will not be visible from the right-of-way.
- C.O. 1169.18(b)(2) requires a maximum total height 4ft for directional signs.
 - o Current design height is 6'-1".
 - o A variance is requested to allow the 6'-1" H directional signs.
 - Per C.O. 1169.12(a)(5) Context and Compatibility – Signs are required to be appropriate to their settings.
 - These signs will primarily be directing truck traffic that sit higher than standard vehicles. The scale of the signs have become a QTS standard for this reason.
 - None of the directional signage is visible from Beech Road SW.

- C.O. 1169.16(d)(2) requires one wall sign per building frontage.
 - o (4) building mounted signs are included in the current design per building (8 total). The site has (1) frontage per building (2 total).
 - o A variance is requested to allow (4) signs per building (8 total).
 - Mounding and future plantings along Beech Road SW limits visibility to frontage elevation signage. Additional signage on North elevation provides visibility from the intersection at NW corner of the property.
 - Each of the two signs on North and South elevations highlight a facilities entrance for employees, warranting the duplication.
 - The North neighboring property sets precedent for additional building mounted signage allowable in the area.
- C.O. 1169.16(d)(2) requires wall signs to be 1sf per linear ft of frontage not to exceed 75sf.
 - o (1) sign per building (2 Total) is currently 177sf on East elevation.
 - o (2) sign per building (4 Total) is currently 311sf on North/South elevations.
 - o (1) sign per building (2 Total) is currently 152sf on West elevation.
 - o A variance is requested to allow (8) signs listed above to exceed 75sf limit.
 - Mounding and future plantings along Beech Road SW limits visibility to the frontage elevation signage, and the 317'-4 ½" setback from from the property line warrants main elevation signage to increase in size.
 - Frontage on East elevation is 266 linear feet per building.
- C.O. 1169.18(c)(2) requires one address sign per building.
 - o Current design includes (2) address signs per building (4 total).
 - o A variance is requested to allow (2) address signs per building (4 total)
 - Mounding and future plantings along Beech Road SW limits visibility to the frontage elevation signage. Signs located on Northeast and Southwest corners of buildings provide visibility offsite. Signs located on East elevations provide wayfinding within the campus for visitors.

Documentation supporting items above is included in the Variance Request Package.

Additionally, the project was submitted to The New Albany Company for design review and the Design Review Committee (DRC) took no exception to the signage submitted. The team understands that this design approval does not exempt the project from meeting Local Ordinances. We do believe it is important to provide visibility to other local feedback received. DRC approval letter and package has been included as Appendix A.

Items Included with this package are listed below.

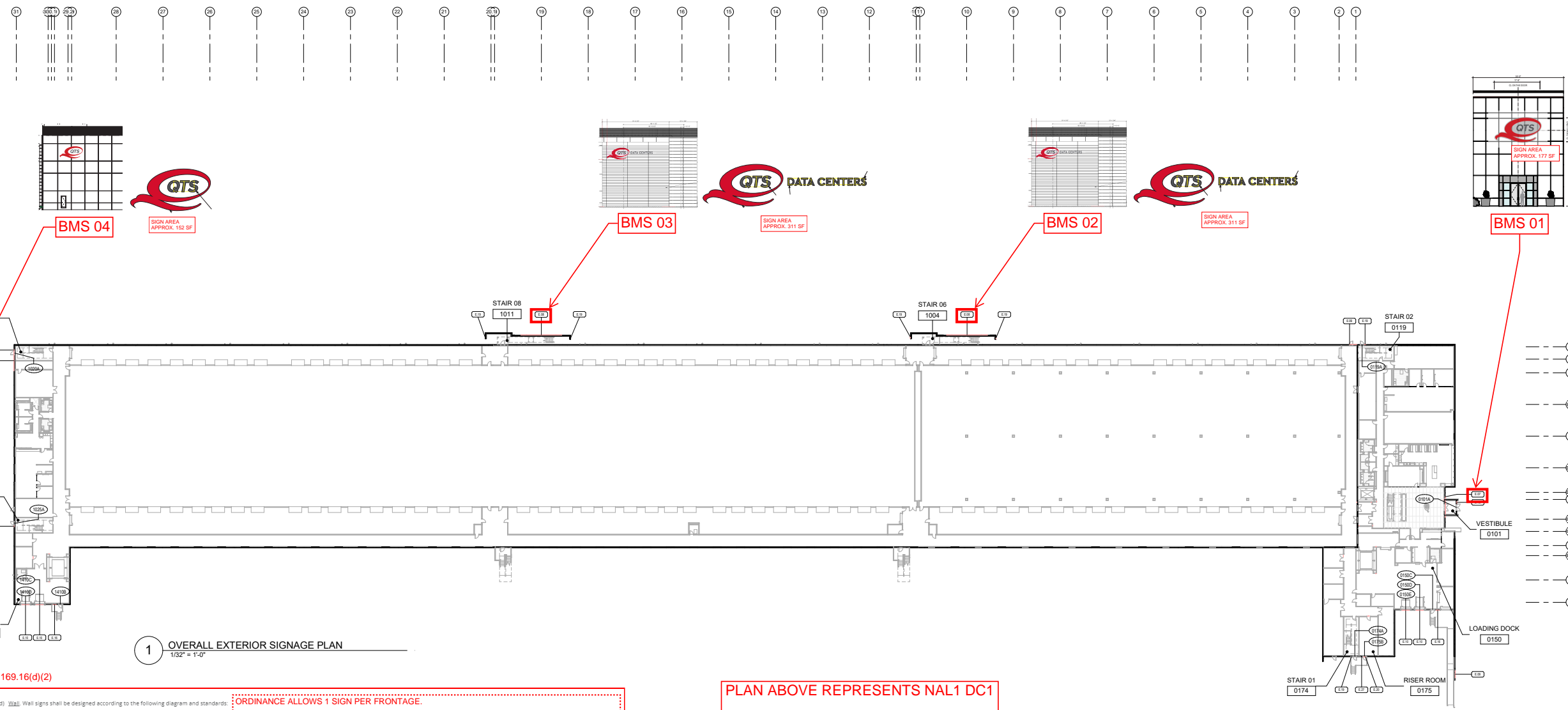
- Planning Application – (1) 8.5"x11" Copy Only
- Cover letter – (1) 8.5"x11" Copy and (15) 11"x17" Copies
- Variance Request Package - (15) 11"x17" Copies and (3) 36"x48" Copies
- Appendix A – The New Albany Company DRC Approval - (15) 11"x17" Copies
- Appendix B – Property Legal Description - (15) 11"x17" Copies

Sincerely,



Neil Sheehan, AIA

SHEEHAN NAGLE HARTRAY ARCHITECTS | Chicago | London
130 East Randolph Street, Suite 3100 | Chicago, IL 60601 | o: 312.837.2101



OWNER
QTS 12851 Foster St.
 Overland Park, KS 66213
 866.239.5000

ARCHITECT
SNHA 130 East Randolph
 Suite 3100
 Chicago, IL 60601
 A WOODFORD COMPANY 312.633.2900

CIVIL ENGINEER
EM/HT 5500 New Albany Road
 Columbus, OH 43264
 614.775.4500

STRUCTURAL ENGINEER
AG/E 15280 Addison Road
 Suite 310
 Addison, Texas 75001
 214.520.7202

MEP-FP-FA ENGINEER
kw 233 N Water St
 8th Floor
 Milwaukee, WI 53202
 312.907.4270

TCOM-SEC ENGINEER
TED 103 E Haring St
 Howe, TX 75408
 803.436.4601

LANDSCAPE ARCHITECT
O2 115 N Washington Ave
 Suite 200
 Minneapolis, MN 55401
 612.359.9144

1 OVERALL EXTERIOR SIGNAGE PLAN
 1/32" = 1'-0"

C.O. 1169.16(d)(2)

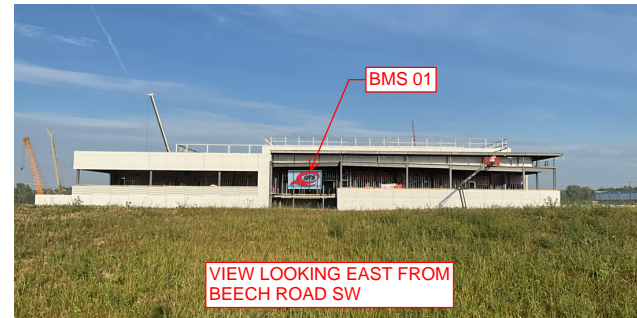
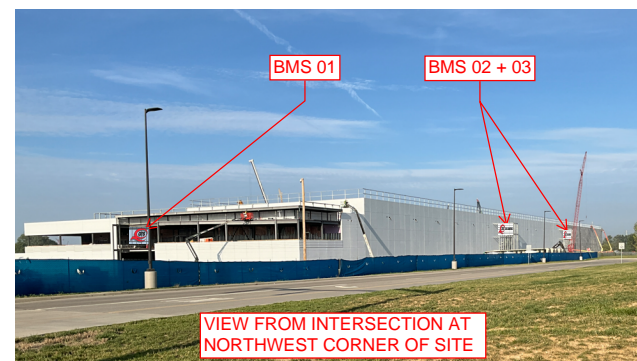
PLAN ABOVE REPRESENTS NAL1 DC1
 NAL1 DC2 ALIGNS WITH QUANTITY
 AND LOCATION, REFER TO EX-02

(d) Wall signs shall be designed according to the following diagram and standards:

ORDINANCE ALLOWS 1 SIGN PER FRONTAGE.
VARIANCE REQUEST TO ALLOW (4) BUILDING MOUNTED SIGNS PER BUILDING
 MOUNDING LIMITS VISIBILITY TO SIGN ON FRONT ELEVATION, AND SIGNS ON NORTH ELEVATION WOULD BE VISIBLE FROM THE INTERSECTION AT THE NORTHWEST CORNER OF THE SITE. TO ASSIST WITH WAYFINDING AT THE SECONDARY ENTRANCE.
 EACH SIGN ON NORTH ELEVATION HIGHLIGHTS A FACILITIES ENTRANCE FOR EMPLOYEES WARRANTING THE DUPLICATION.
 THE PROPERTY PLAN NORTH EXCEEDS THIS ORDINANCE LIMIT SETTING PRECEDENCE.

(1) Single plane sign boxes must be installed so that the sign face is flush with the building facade.
 (2) The following specifications shall apply. These specifications are in addition to the requirements established elsewhere in this Chapter. In addition, board of commission approval may be required:

| SUB-DISTRICT/CATEGORY | NUMBER OF SIGNS | PERMITTED AREA | MEASUREMENTS | ILLUMINATION |
|-------------------------|---------------------------|--|---|--------------------------------------|
| Historic Core | One per business entrance | 1 s.f. per linear s.f. of building frontage, not to exceed 30 s.f. | -Maximum 18" projection from building (A) -Minimum 1" sign relief (B) -Maximum lettering height 24" (C) | External Internal Neon |
| Village Core | One per business entrance | 1 s.f. per linear s.f. of building frontage, not to exceed 40 s.f. | -Maximum 18" projection from building (A) -Minimum 1" sign relief (B) -Maximum lettering height 24" (C) | External Internal Neon |
| Core Residential | One per business entrance | 15 s.f. maximum | -Maximum 18" projection from building (A) -Maximum lettering height 18" (B) -Minimum 1" sign relief (C) | External |
| Village Residential | Not Permitted | | | |
| Campus | One per building frontage | 35 s.f. maximum | -Maximum 18" projection from building (A) -Maximum lettering height 24" (B) -Minimum 1" sign relief (C) | External Halo |
| Parks & Preservation | One per building frontage | 25 s.f. maximum | -Maximum 18" projection from building (A) -Maximum lettering height 24" (B) -Minimum 1" sign relief (C) | External Halo |
| Commercial/Warehousing | One per building frontage | 1 s.f. per linear s.f. of building frontage, not to exceed 75 s.f. | -Maximum 18" projection from building (A) -Maximum lettering height 36" (B) -Minimum 1" sign relief (C) | External Internal Neon Halo |
| Residential Subdivision | Not Permitted | | | |
| Retail | One per business frontage | 1 s.f. per linear s.f. of building frontage, not to exceed 50 s.f. | -Maximum 18" projection from building (A) -Maximum lettering height 24" (B) -Minimum 1" sign relief (C) | External Internal Halo |
| Institutional | One per building frontage | 45 s.f. maximum | -Maximum 18" projection from building (A) -Minimum 1" sign relief (B) | External Halo |

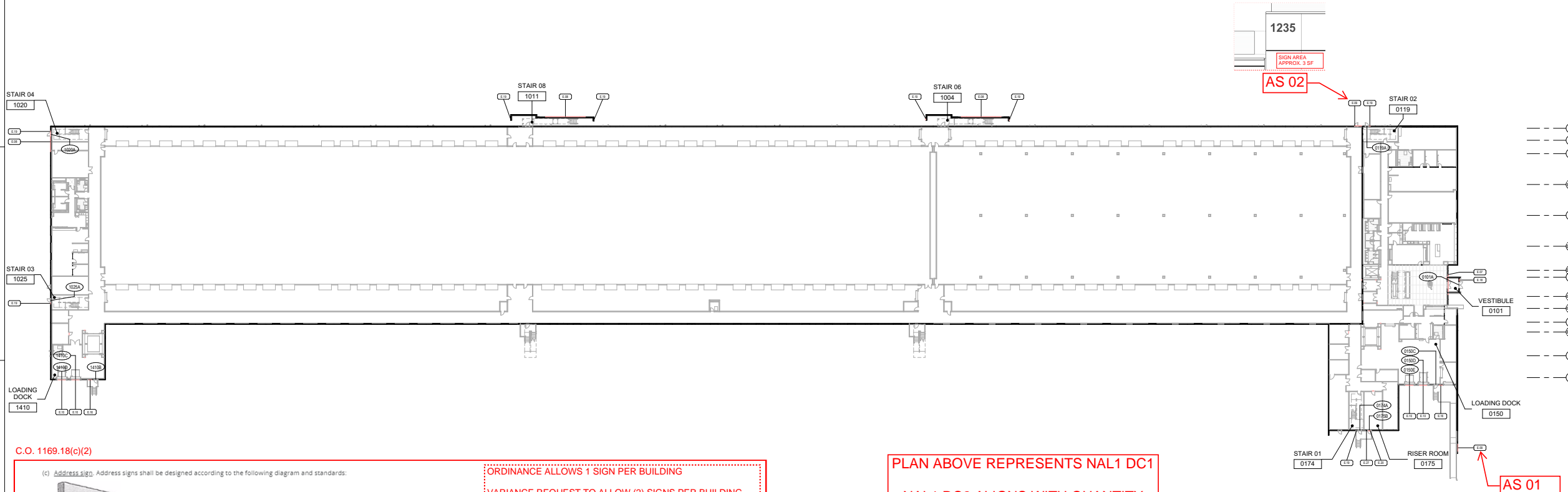
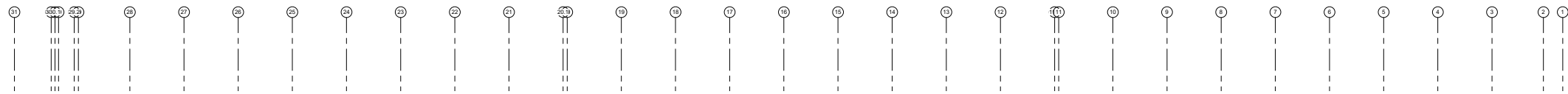


QTS NAL1 DC1 AND DC2
 1235 + 1225 BEECH ROAD SW
 NEW ALBANY, OHIO

SIGNAGE VARIANCE REQUEST

BUILDING MOUNTED SIGNAGE - QUANTITY

EX-04



OWNER

QTS
12851 Foster St.
Overland Park, KS
66213
866.239.5000

ARCHITECT

SNHA
130 East Randolph
Suite 3100
Chicago, IL 60601
A WOODS BAGOT COMPANY 312.633.2900

CIVIL ENGINEER

EM|HT
5500 New Albany Road
Columbus, OH 43054
614.775.4500

STRUCTURAL ENGINEER

AG/E
15280 Addison Road
Suite 310
Addicks, Texas 75001
214.520.7202

MEP-FP-FA ENGINEER

kw
233 N Water St
8th Floor
Milwaukee, WI 53202
312.907.4270

T-COM-SEC ENGINEER

TD
103 E Haring St
Horn, TX 79409
803.436.4601
DESIGN CONSULTING LLC

LANDSCAPE ARCHITECT

O2
115 N Washington Ave
Suite 200
Minneapolis, MN 55401
612.359.9144
MINNEAPOLIS, CHICAGO

PROGRESS SET
NOT FOR CONSTRUCTION

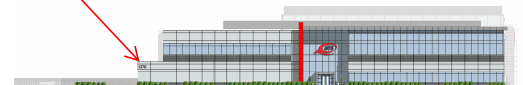
| No. | Description | Date |
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PLAN ABOVE REPRESENTS NAL1 DC1
NAL1 DC2 ALIGNS WITH QUANTITY
AND LOCATION, REFER TO EX-02

AS 02



AS 01

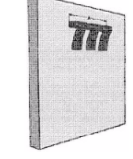


VIEW FROM INTERSECTION AT
NORTHWEST CORNER OF SITE



VIEW LOOKING EAST FROM
BEECH ROAD SW

C.O. 1169.18(c)(2)
(c) Address sign. Address signs shall be designed according to the following diagram and standards:



- (1) May not project more than six (6) inches from the building face unless it is integrated with an architectural design feature of the building.
- (2) The following specifications shall apply. These specifications are in addition to the requirements established elsewhere in this Chapter. In addition, board or commission approval may be required:

| SUB-DISTRICT/CATEGORY | NUMBER OF SIGNS | PERMITTED AREA | MEASUREMENTS | ILLUMINATION |
|-------------------------|------------------|-----------------|---------------------------------|---------------|
| Historic Core | One per building | 4 s.f. maximum | Maximum 4' in any direction (A) | External Halo |
| Village Core | One per building | 4 s.f. maximum | Maximum 4' in any direction (A) | External Halo |
| Core Residential | One per building | 4 s.f. maximum | Maximum 4' in any direction (A) | External Halo |
| Village Residential | One per building | 4 s.f. maximum | Maximum 4' in any direction (A) | External Halo |
| Campus | One per building | 6 s.f. maximum | Maximum 5' in any direction (A) | External Halo |
| Parks & Preservation | One per building | 4 s.f. maximum | Maximum 4' in any direction (A) | External Halo |
| Commercial/Warehousing | One per building | 15 s.f. maximum | Maximum 6' in any direction (A) | External Halo |
| Residential Subdivision | Not Permitted | | | |
| Retail | One per building | 4 s.f. maximum | Maximum 4' in any direction (A) | External Halo |
| Institutional | One per building | 6 s.f. maximum | Maximum 5' in any direction (A) | External Halo |

ORDINANCE ALLOWS 1 SIGN PER BUILDING
VARIANCE REQUEST TO ALLOW (2) SIGNS PER BUILDING
MOUNDING AND FUTURE PLANTINGS LIMIT VISIBILITY TO SIGN ON FRONTAGE ELEVATION.
SIGNS ON NORTHEAST AND SOUTHWEST CORNERS OF BUILDINGS PROVIDE VISIBILITY OFFSITE,
SIGNS ON EAST ELEVATIONS PROVIDE WAYFINDING WITHIN THE CAMPUS FOR VISITORS.

**QTS NAL1
DC1 AND DC2**
1235 + 1225 BEECH ROAD SW
NEW ALBANY, OHIO

ISSUED FOR PERMIT
ADDENDUM 4

ADDRESS SIGNAGE -
QUANTITY
EX-06

**QTS NAL1
SIGNAGE VARIANCE REQUEST**

**APPENDIX A
NEW ALBANY COMPANY DESIGN
APPROVAL**

11-08-2024

September 19, 2023

Katie Bauman
EMHT
5500 New Albany Road
Columbus OH 43054

Via Email: kabuman@emht.com

Re: QTS NAL1

Katie,

The New Albany Business Park Design Review Committee (“DRC”) has completed its Review of QTS / NAL1 Project located at 1275 Beech Road SW New Albany Ohio.

The plans reviewed include the following (collectively the “Plans”)

- i. Site Civil Plans including signage, landscape and fencing prepared by EMH&T.
- ii. Building Elevations prepared by SNHA dated 08/10/23.

The DRC’s comments on the Plans are set forth below and on enclosed.

- I. Site Civil Plans:** The Site Civil Plans are approved as submitted.
- II. Building Elevations / Exterior Finishes:** The building elevations are approved as submitted.
- III. Final Site Grading and Landscape Plan:** Please refer to the City of New Albany for final approval.
- IV. Signage Plan:** The monument signage and directional signage are approved as submitted with the following caveats:
 - a. Building-mounted signage is not approved/ received. Please submit for approval.
 - b. Eliminate red accent color from directional signage.
 - c. Directional signage should have a dark background with light lettering.
- V. Exterior Lighting Plan:** The exterior lighting fixtures (parking lot and building mounted fixtures) must be submitted for review and approval.
- VI. Fencing, Signage and Landscaping (outside of building envelope):**
 - a. For Final Approval Please coordinate directly with Andrew Walther (614-596-1142). An on-site meeting may be required.

This concludes the DRC's comments to the Review of the Plans as submitted. *Please note, the approvals set forth above are subject to the specific conditions set forth herein, including but not*

**FIRST ROUND SUBMISSION
LETTER WITH COMMENTS
TO SIGNAGE**

limited to complete submittal packages. All conditions, including but not limited to additional Plan submissions, must be addressed before Final Design Review Approval will be issued.

The DRC's approval of the Plans and any associated conditions does not release the Applicant from its obligation to obtain all required governmental approvals. If the Applicant is unable to modify the Plans as noted above due to conflicts with any governmental agency's requirements, Applicant must notify the DRC of such conflicts.

Thank you for your cooperation. Please feel free to call should you have any questions.

Sincerely,



Tom Rubey
Chairman, Design Review Committee

**FIRST ROUND SUBMISSION
LETTER WITH COMMENTS
TO SIGNAGE**

NEW ALBANY

Founded 1837

November 30, 2023

Katie Bauman
EMHT
5500 New Albany Road
Columbus OH 43054

Via Email: kabuman@emht.com

Re: QTS NAL1

Katie,

The New Albany Business Park Design Review Committee (“DRC”) has completed its Review of QTS / NAL1 Project located at 1275 Beech Road SW New Albany Ohio.

The plans reviewed include the following (collectively the “Plans”)

- i. Plans including signage, and lighting prepared by EMH&T and others.
- ii. Building Elevations prepared by SNHA dated 11/14/23.

The DRC’s comments on the Plans are set forth below and on enclosed.

- I. Signage Plan:** The monument signage and directional signage are approved as submitted.
- II. Exterior Lighting Plan:** The exterior lighting fixtures (parking lot and building mounted fixtures) is approved as submitted.
- III. Fencing, Signage and Landscaping (outside of building envelope):**
 - a. For Final Approval Please coordinate directly with Andrew Walther (614-596-1142). An on-site meeting may be required.

This concludes the DRC's comments to the Review of the Plans as submitted. *Please note, the approvals set forth above are subject to the specific conditions set forth herein, including but not limited to complete submittal packages.*

The DRC’s approval of the Plans and any associated conditions does not release the Applicant from its obligation to obtain all required governmental approvals. If the Applicant is unable to modify the Plans as noted above due to conflicts with any governmental agency’s requirements, Applicant must notify the DRC of such conflicts.

Thank you for your cooperation. Please feel free to call should you have any questions.

Sincerely,

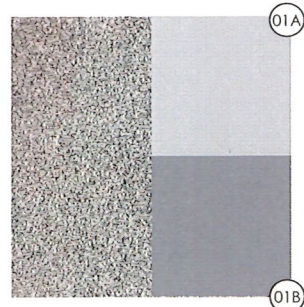


Tom Rubey
Chairman, Design Review Committee

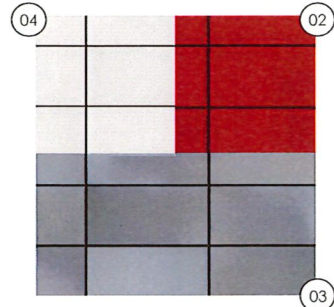
The New Albany Company
8000 Walton Parkway Suite 120
New Albany Ohio 43054
614 939-8000

**APPROVAL LETTER AFTER
COMMENTS WERE
INCORPORATED. REVISED
PACKAGE INCLUDED ON
SUBSEQUENT SHEETS
FOR REFERENCE**

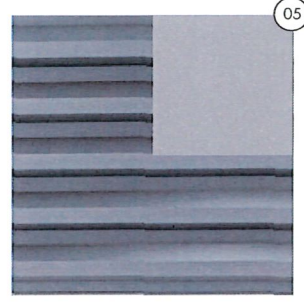
QTS NAL1



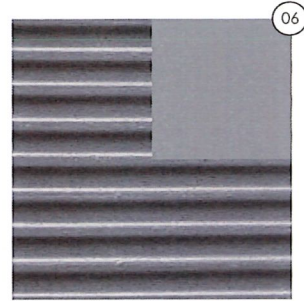
INSULATED ARCHITECTURAL PRECAST CONCRETE ASSEMBLY
01A - PAINTED SW 6232 MISTY
01B - PAINTED SW 7660 EARL GRAY



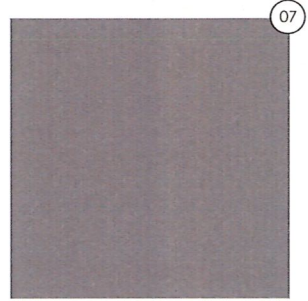
METAL COMPOSITE METAL PANELS
02 - RON RED
03 - SMX SILVER
04 - BNT WHITE



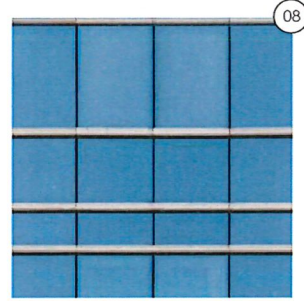
EXPOSED FASTENER STYLE RIBBED METAL WALL PANELS
9946 SILVERSMITH



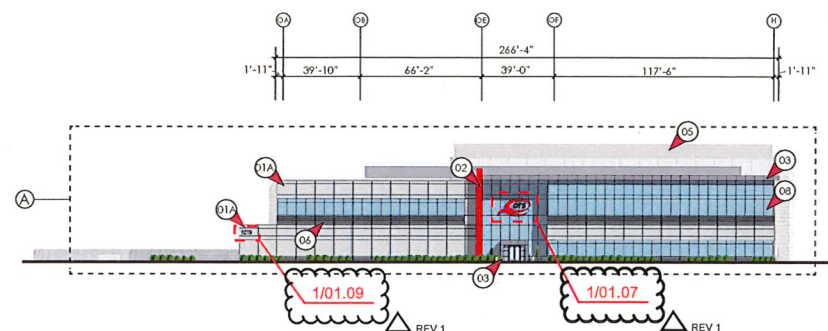
INSULATED ARCHITECTURAL PRECAST CONCRETE SANDWICH ASSEMBLY WITH FORMLINER
PAINTED SW 7660 EARL GRAY



EXTERIOR HOLLOW METAL DOOR
PAINTED SW 7018 DOVETAIL

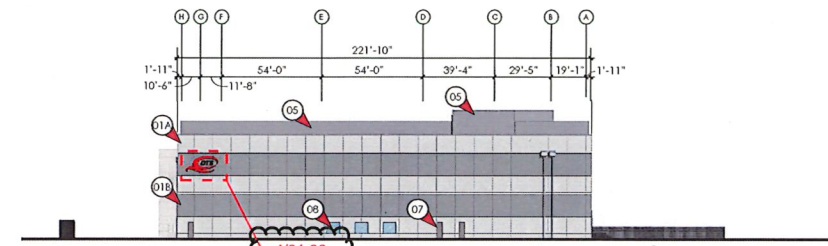


CURTAIN WALL SYSTEM



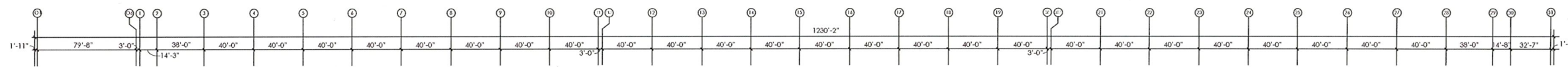
EAST ELEVATION
SCALE: 1" = 100'-0"

- T.O. SCREEN WALL 63'-0"
- T.O. PARAPET 56'-0"
- T.O. OFFICE PARAPET 44'-0"
- LEVEL 2 22'-0"
- LEVEL 1 0'-0"



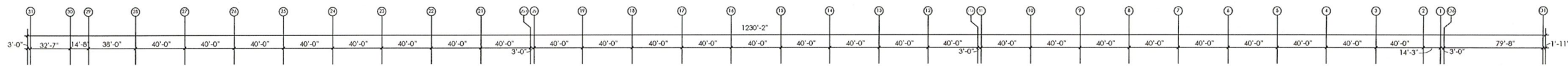
WEST ELEVATION
SCALE: 1" = 100'-0"

- T.O. FREIGHT ELEV. PARAPET 69'-0"
- T.O. SCREEN WALL 63'-0"
- T.O. PARAPET 56'-0"
- LEVEL 2 22'-0"
- LEVEL 1 0'-0"



NORTH ELEVATION
SCALE: 1" = 100'-0"

- T.O. FREIGHT ELEV. PARAPET 69'-0"
- T.O. SCREEN WALL 63'-0"
- T.O. PARAPET 56'-0"
- T.O. OFFICE PARAPET 44'-0"
- LEVEL 2 22'-0"
- LEVEL 1 0'-0"



SOUTH ELEVATION
SCALE: 1" = 100'-0"

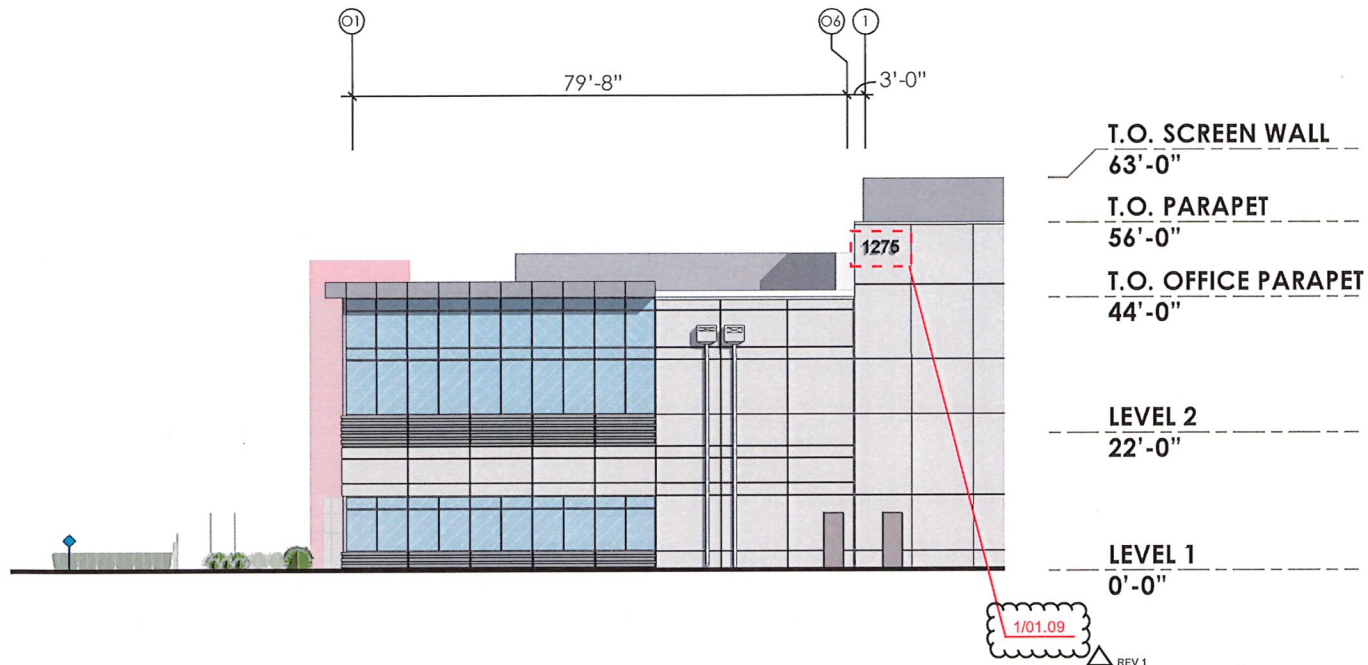
- T.O. SCREEN WALL 63'-0"
- T.O. PARAPET 56'-0"
- T.O. OFFICE PARAPET 44'-0"
- LEVEL 2 22'-0"
- LEVEL 1 0'-0"



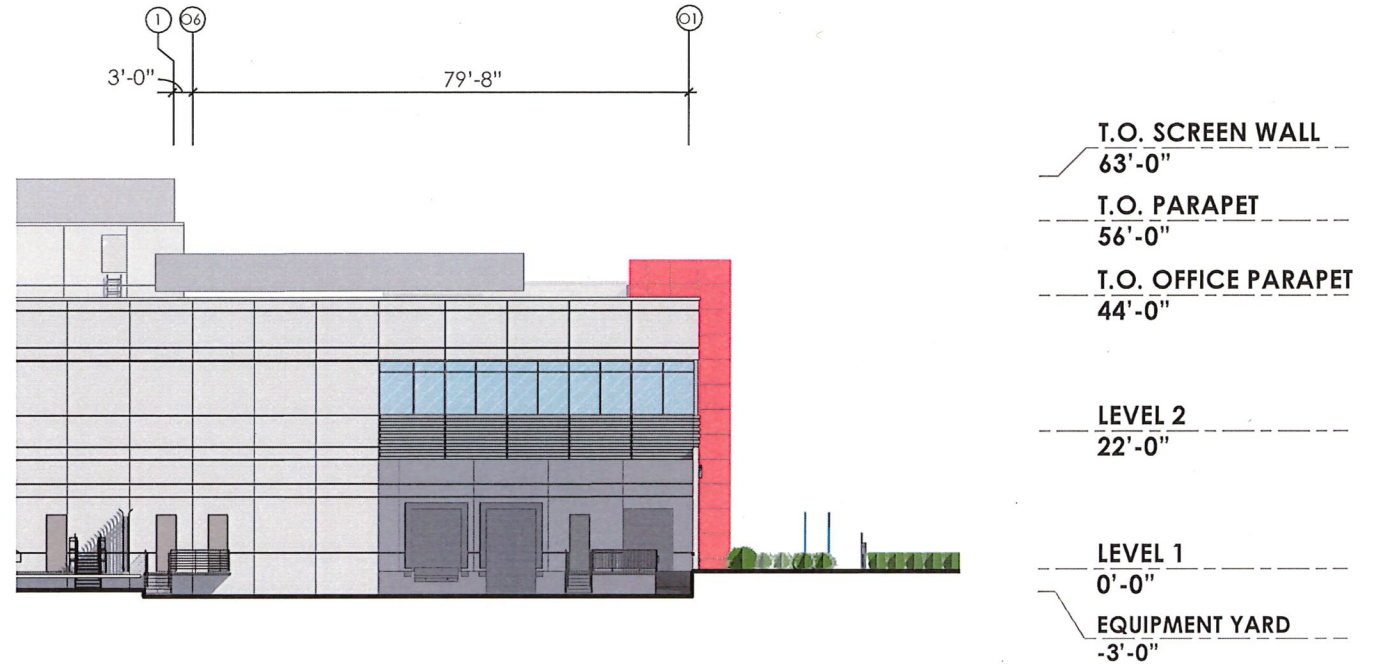
QTS NAL1 DC1 | DRC SUBMISSION

NOVEMBER 14, 2023

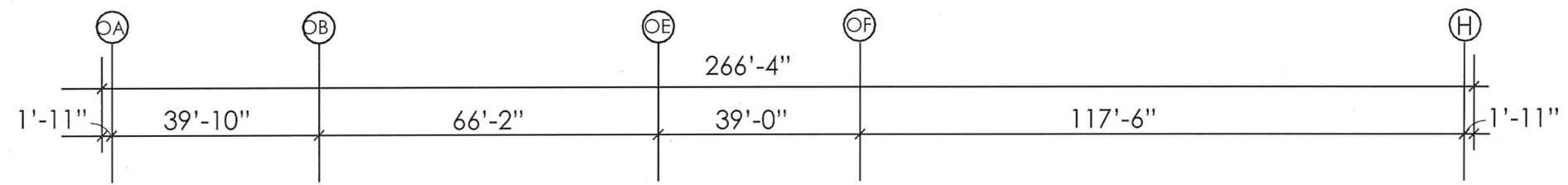
OVERALL ELEVATIONS AND MATERIAL PALETTE



C NORTH ENLARGED ELEVATION
SCALE: 1" = 30'-0"

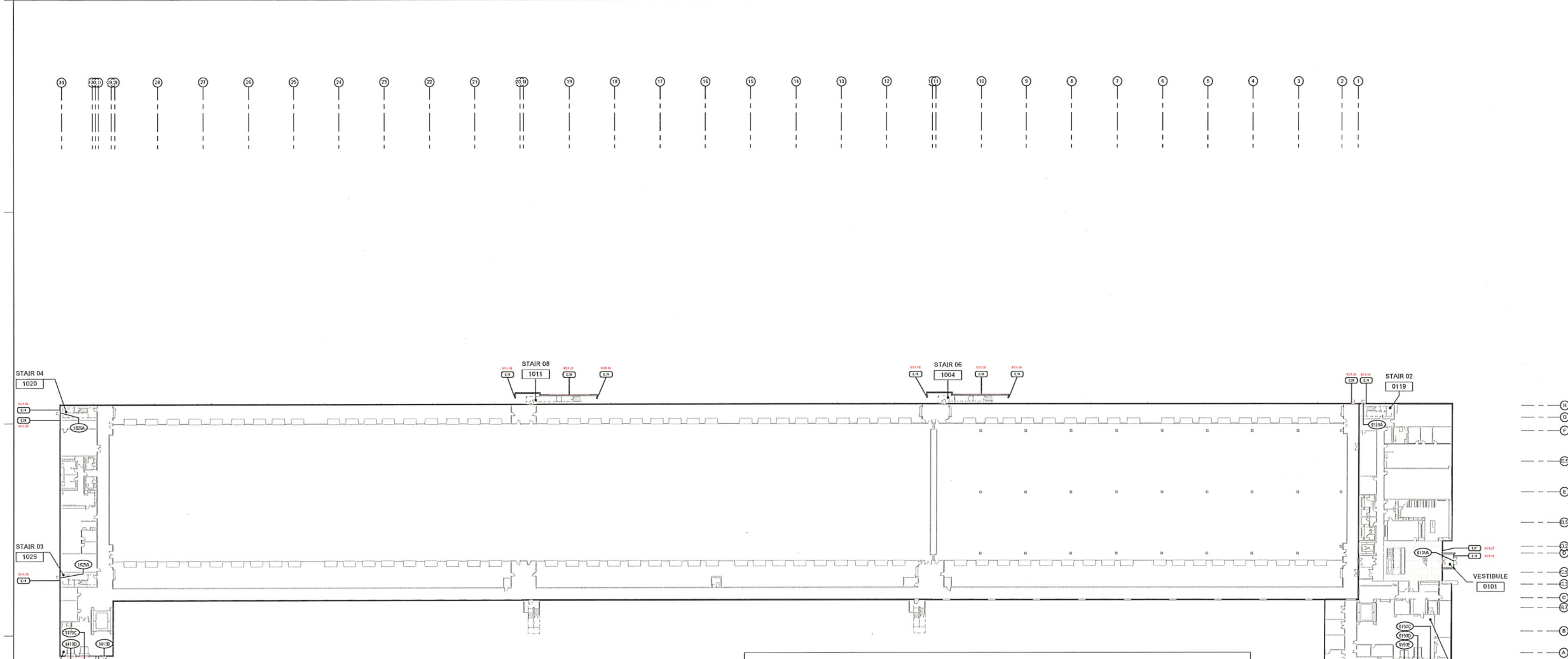


B SOUTH ENLARGED ELEVATION
SCALE: 1" = 30'-0"



A EAST ENLARGED ELEVATION
SCALE: 1" = 30'-0"





1 OVERALL EXTERIOR SIGNAGE PLAN
1/32" = 1'-0"

| A09 SIGNAGE SCHEDULE - EXTERIOR | | | | | | |
|---------------------------------|--------|-----------|----------------|-----------|-------------------------------------|---|
| SIGN TYPE | DOOR # | LOCATION | INSTALLED SIDE | | SIGNAGE TEXT | NOTE TO VENDOR/INSTALLER |
| | | | MOUNTING | ROOM # | | |
| E.07 | | | | | | |
| E.08 | | GLASS MTD | 0101 | VESTIBULE | - QTS | |
| E.08 | | WALL MTD | | | - QTS DATA CENTERS | |
| E.08 | | WALL MTD | | | - QTS DATA CENTERS | |
| E.08 | | WALL MTD | | | - QTS | |
| E.09 | | | | | | |
| E.09 | | WALL MTD | | | - 1275 | |
| E.10 | | | | | | |
| E.10 | 0150D | WALL MTD | | | - LOADING DOCK, 1275-EAST | |
| E.10 | 0150E | WALL MTD | | | - LOADING DOCK, 1275-EAST | |
| E.10 | 1410C | WALL MTD | | | - LOADING DOCK, 1275-WEST | |
| E.10 | 1410D | WALL MTD | | | - LOADING DOCK, 1275-WEST | |
| E.16 | | | | | | |
| E.16 | 0150C | WALL MTD | | | - (TBD) LOADING DOCK INFORMATION | COORD TEXT WITH OWNER |
| E.16 | 1410B | WALL MTD | | | - (TBD) LOADING DOCK INFORMATION | COORD TEXT WITH OWNER |
| E.18 | | | | | | |
| E.18 | 0101A | GLASS MTD | | | - NO SMOKING NO FIREARMS OR WEAPONS | |
| E.19 | | | | | | |
| E.19 | | WALL MTD | | | - STAIR 6 | |
| E.19 | | WALL MTD | | | - STAIR 8 | |
| E.19 | | WALL MTD | | | - STAIR 6 | |
| E.19 | | WALL MTD | | | - STAIR 8 | |
| E.19 | 0119A | WALL MTD | | | - STAIR 2 | |
| E.19 | 0175A | WALL MTD | | | - STAIR 1 | |
| E.19 | 1020A | WALL MTD | | | - STAIR 4 | |
| E.19 | 1025A | WALL MTD | | | - STAIR 3 | |
| E.20 | | | | | | |
| E.20 | 0175B | DOOR MTD | | | - FIRE PUMP AND BACK FLOW | MIN 6" TALL CHARACTERS WITH 1" STROKE PER WEST LORING FIRE DEPARTMENT REGULATION SECTION E-NOTE B |
| E.27 | | | | | | |
| E.27 | | WALL MTD | | | - FIRE RISER ROOM | |

- GENERAL NOTES**
- A. INTERIOR SIGNAGE SHALL BE QTS INTERIOR SIGNAGE STANDARD REVISION 1. REFER TO QTS INTERIOR SIGNAGE STANDARDS FOR SIGNAGE ELEVATIONS, MOUNTING, AND DETAILING.
 - B. EXTERIOR SIGNAGE SHALL BE QTS EXTERIOR SIGNAGE STANDARD REVISION 2. REFER TO QTS EXTERIOR SIGNAGE STANDARDS FOR SIGNAGE ELEVATIONS, MOUNTING, AND DETAILING.
 - C. REFER TO LANDSCAPE SERVICES FOR ADDITIONAL SITE SIGNAGE.

LEGEND

- ROOM/AREA TAGS
- OFFICE — INDICATES ROOM AREA NAME
- 123 — INDICATES ROOM/AREA NUMBER
- 101A — DOOR TAG; SEE SHEET A10-19 FOR DOOR INFORMATION SCHEDULE

QTS EXTERIOR SIGNAGE STANDARDS (REVISION 1)

- E-01-BUILDING LOGO-GLOSS MOUNTED
- E-02-BUILDING LOGO-TEXT MOUNTED
- E-03-BUILDING ADDRESS
- E-04-LOADING DOCK ID
- E-05-LOADING DOCK PREPARATION
- E-06-BACK ENTRY VEST.
- E-07-EXTERIOR STAIR WELLD
- E-08-FIRE DEPARTMENT SIGNAGE
- E-09-FIRE RISER

VERIFY EXACT LOCATIONS OF SIGNS WITH OWNER PRIOR TO INSTALLATION.

OWNER
 12851 Foster Rd, Cleveland, OH 44128
 440.239.5000

ARCHITECT
 130 East Randolph, Suite 3100, Chicago, IL 60601
 A WOODHEART COMPANY 312.653.2200

CIVIL ENGINEER
 5500 New Albany Road, Columbus, OH 43054
 614.775.4500

STRUCTURAL ENGINEER
 15203 Addison Road, Suite 110, Addison, IL 60101
 214.520.7202

MEP/FP-FA ENGINEER
 233 N. Water St., 6th Floor, Mankato, MN 56002
 507.937.4210

TCCM-SEC ENGINEER
 103 E. Hocking St., Home, IL 62409
 903.434.4931

LANDSCAPE ARCHITECT
 115 N. Washington Ave., Suite 200, Minneapolis, MN 55401
 612.559.9144



| NO. | REVISION | DATE |
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1 SUBMITTED FOR PERMIT REVIEW 03-29-2023

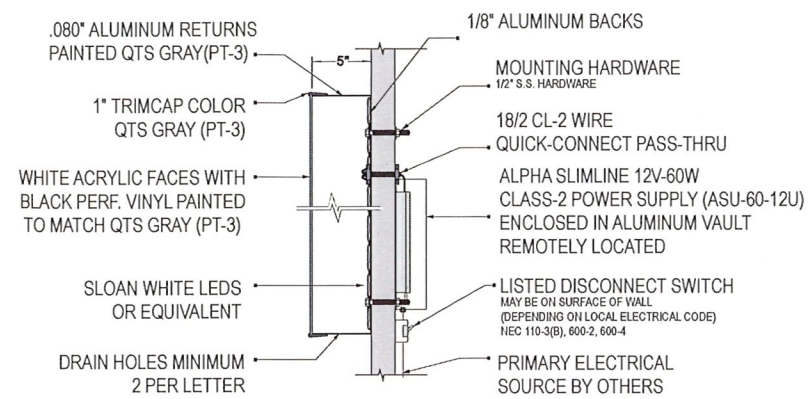
QTS NAL1
DC1
 NEW ALBANY, OHIO

DRC SUBMISSION - REVISION 1

OVERALL EXTERIOR SIGNAGE PLAN

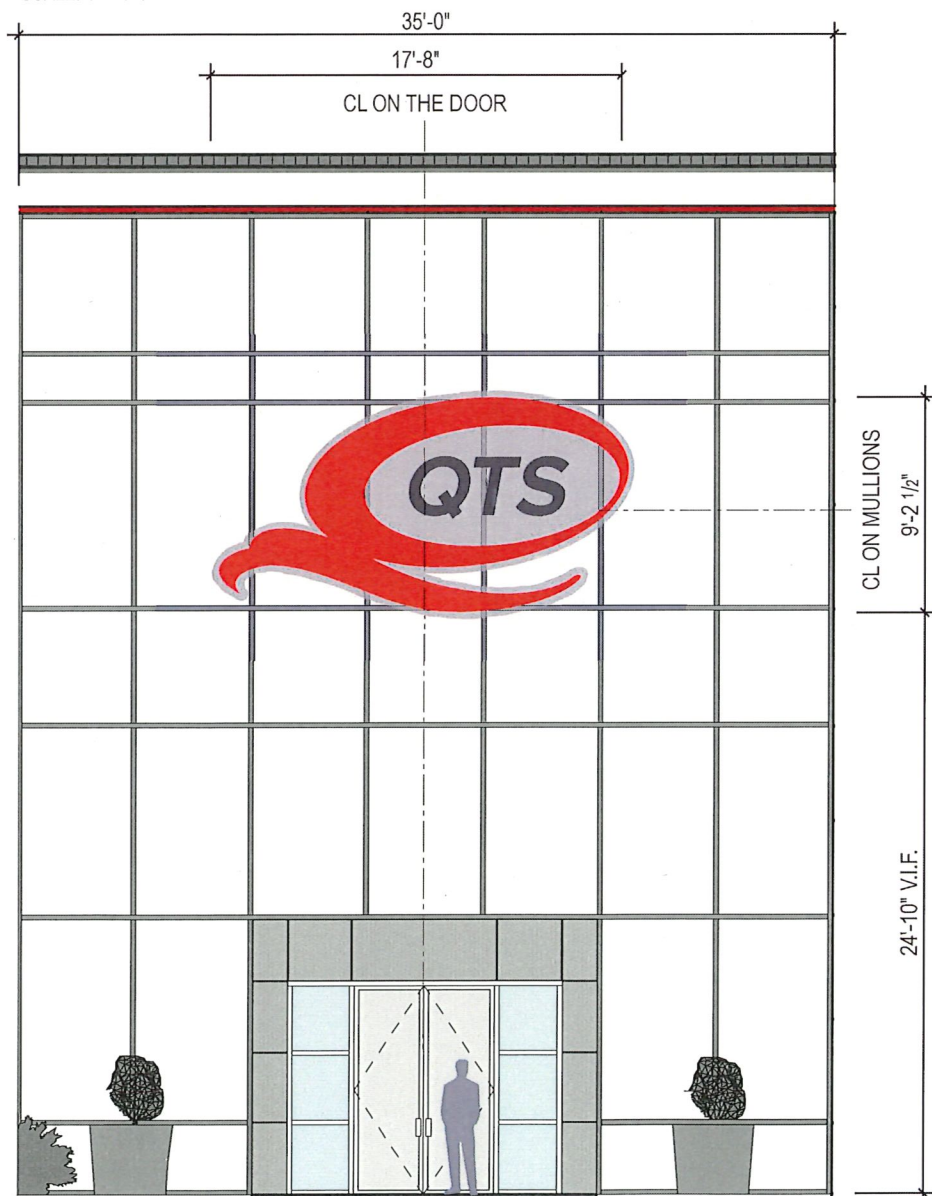
A09-40

SCALE: 5/8" = 1' @ 11/16"



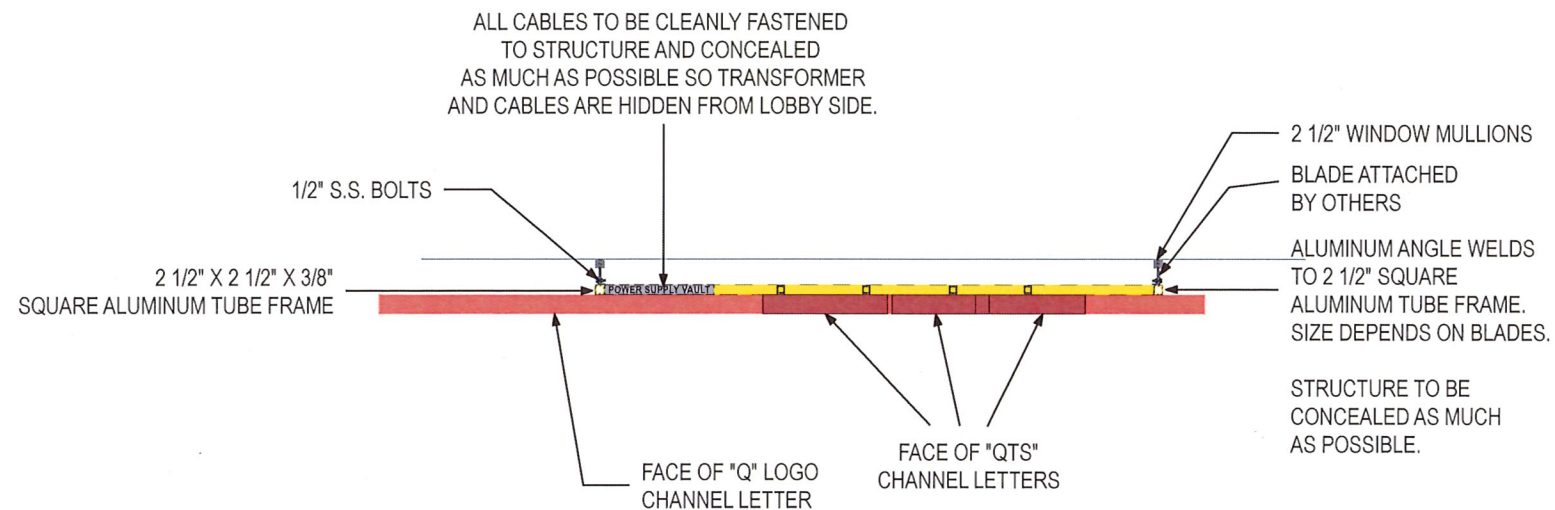
4 SIDE VIEW CHANNEL LETTERS - TYPICAL

SCALE: 1" = 1'-0"



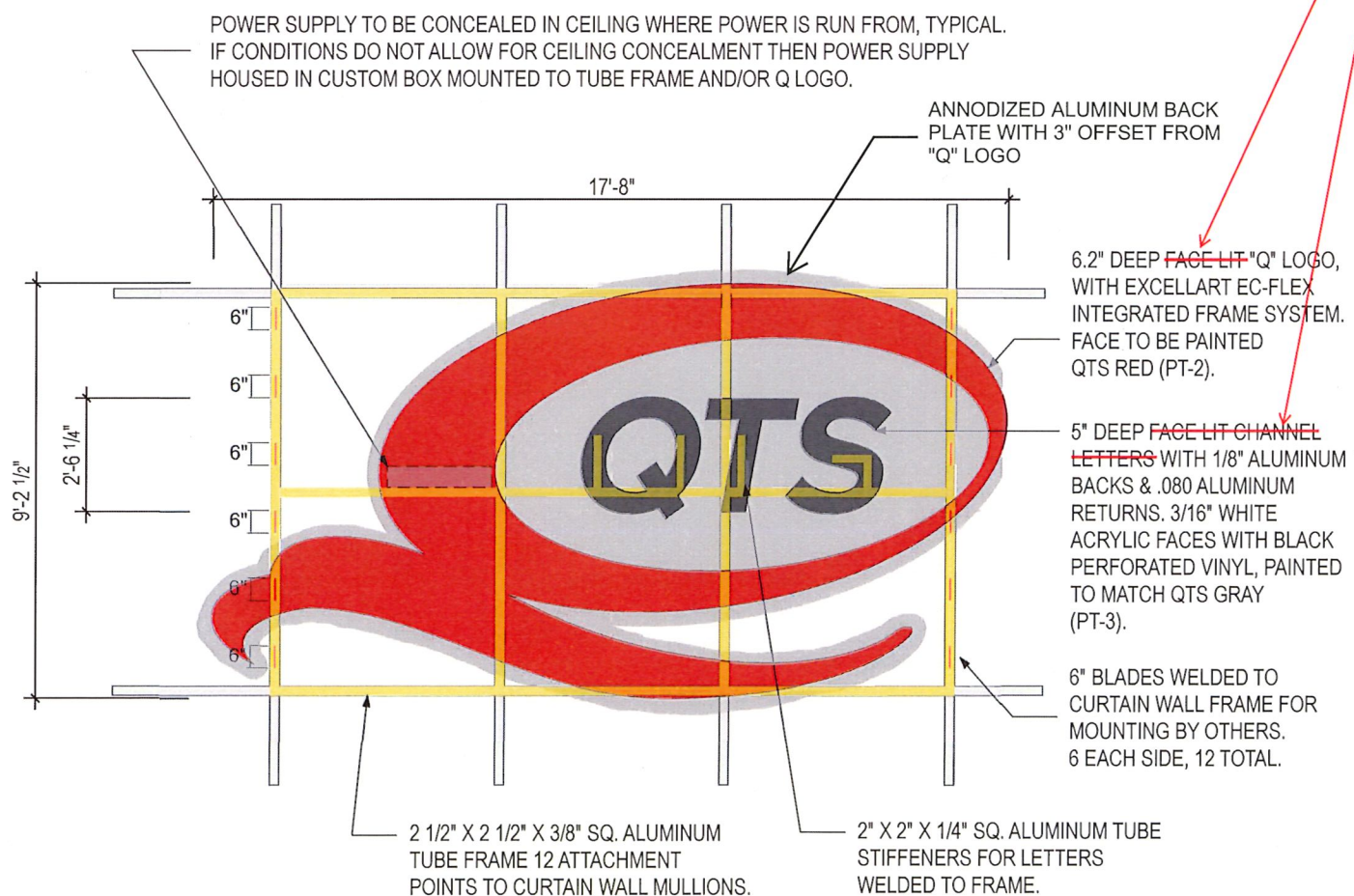
3 CONTEXT ELEVATION

SCALE: 1/8" = 1'-0"



2 PLAN VIEW - TYPICAL

SCALE: 1/4" = 1'-0"



1 ELEVATION & STRUCTURE

SCALE: 1/4" = 1'-0"

NOTES

1. ALL STRUCTURAL MOUNTING TO BE COORDINATED WITH GC AND CURTAIN WALL CONTRACTOR PRIOR TO FABRICATION.
2. VIF ALL MEASUREMENTS BEFORE INSTALLATION.

NOTE: PER COORDINATION WITH THE CITY OF NEW ALBANY, HALO BACKLIGHTING TO BE PROVIDED IN LIEU OF FACE LIT CHANNEL LETTERS

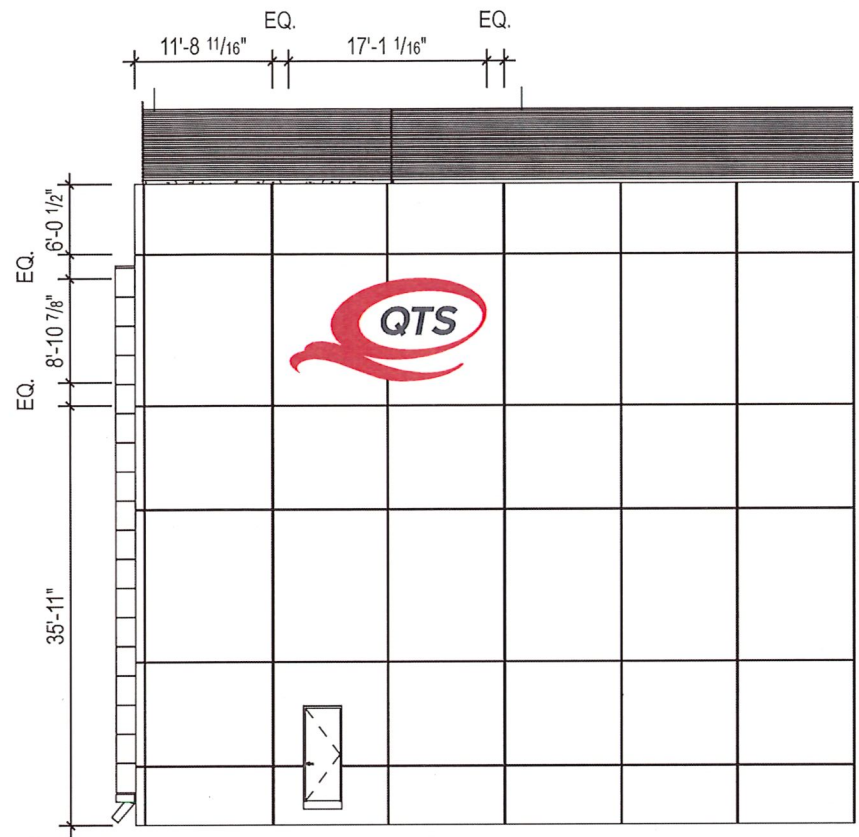
| MARK | DESCRIPTION | DATE |
|------|---------------|----------|
| | DESIGN INTENT | 11.04.22 |
| △ | REVISION 1 | 01.23.23 |
| △ | REVISION 2 | 04.21.23 |

PROJECT NO. 21465.0100
QTS EXTERIOR SIGNAGE STANDARDS SIGNAGE
THESE DRAWINGS ARE ISSUED TO CONVEY DESIGN CONCEPT ONLY. THE CONTRACTOR MAY RELY ON THEM AS CONTRACT DOCUMENTS FOR BIDDING PURPOSES, BUT SHALL NOT RELY ON THEM FOR FABRICATION OR INSTALLATION PURPOSES. FABRICATION AND INSTALLATION SHALL ONLY BE EXECUTED FROM SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS.

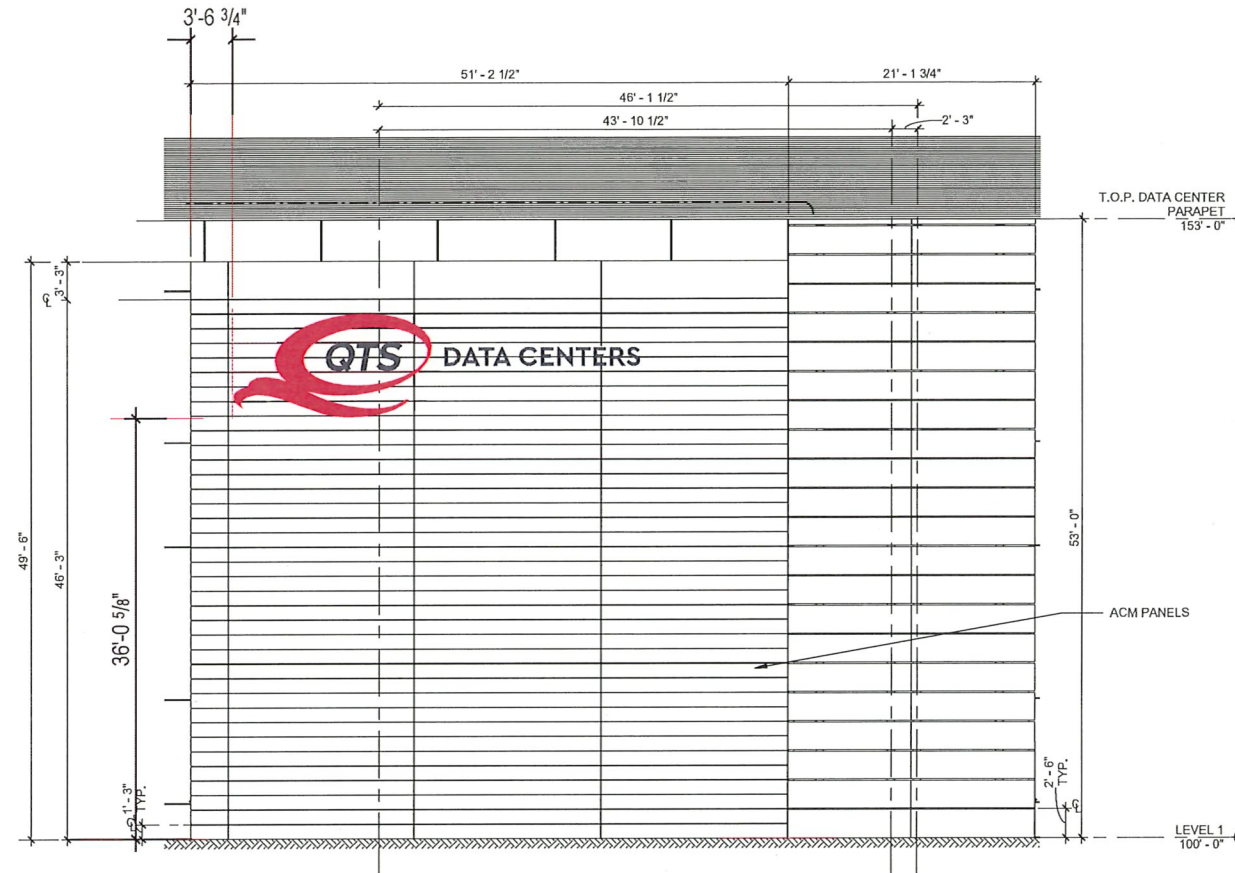
BUILDING LOGO - GLASS MOUNTED
01.07


 CLIENT: QTS DATA CENTERS
 CONTACT: JASON DUGAS
 JASON.DUGAS@QTSDataCenters.COM

CORGAN 
 ARCHITECT: CORGAN
 401 N HOUSTON ST. | DALLAS, TX 75202
 CONTACT: JENNIFER BRESETTE, PROJECT MANAGER
 214-757-1763 | JENNIFER.BRESETTE@CORGAN.COM



4 CONTEXT ELEVATION - TYPICAL
SCALE: 1/16" = 1'-0"



3 CONTEXT ELEVATION - TYPICAL
SCALE: 1/16" = 1'-0"

NOTES

1. ALL STRUCTURAL MOUNTING TO BE COORDINATED WITH GC AND APPROPRIATE CONTRACTORS PRIOR TO FABRICATION.
2. VIF ALL MEASUREMENTS BEFORE INSTALLATION.
3. POWER SUPPLY SHOULD BE LOCATED IN A LOCATION THAT IS EASILY MAINTAINABLE (IE, STAIR TOWER).

| MARK | DESCRIPTION | DATE |
|------|---------------|----------|
| | DESIGN INTENT | 11.04.22 |
| 1 | REVISION 1 | 01.23.23 |
| 2 | REVISION 2 | 04.21.23 |

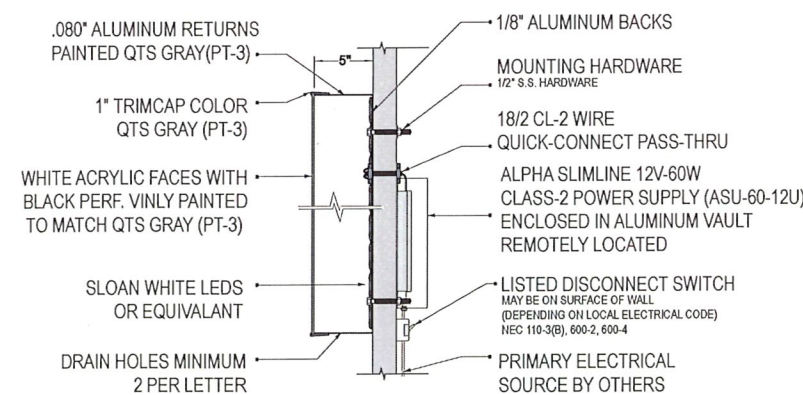
PROJECT NO. 21465.0100
QTS EXTERIOR SIGNAGE STANDARDS SIGNAGE
 THESE DRAWINGS ARE ISSUED TO CONVEY DESIGN CONCEPT ONLY. THE CONTRACTOR MAY RELY ON THEM AS CONTRACT DOCUMENTS FOR BIDDING PURPOSES, BUT SHALL NOT RELY ON THEM FOR FABRICATION OR INSTALLATION PURPOSES. FABRICATION AND INSTALLATION SHALL ONLY BE EXECUTED FROM SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS.

BUILDING LOGO - FACADE MOUNTED
01.08

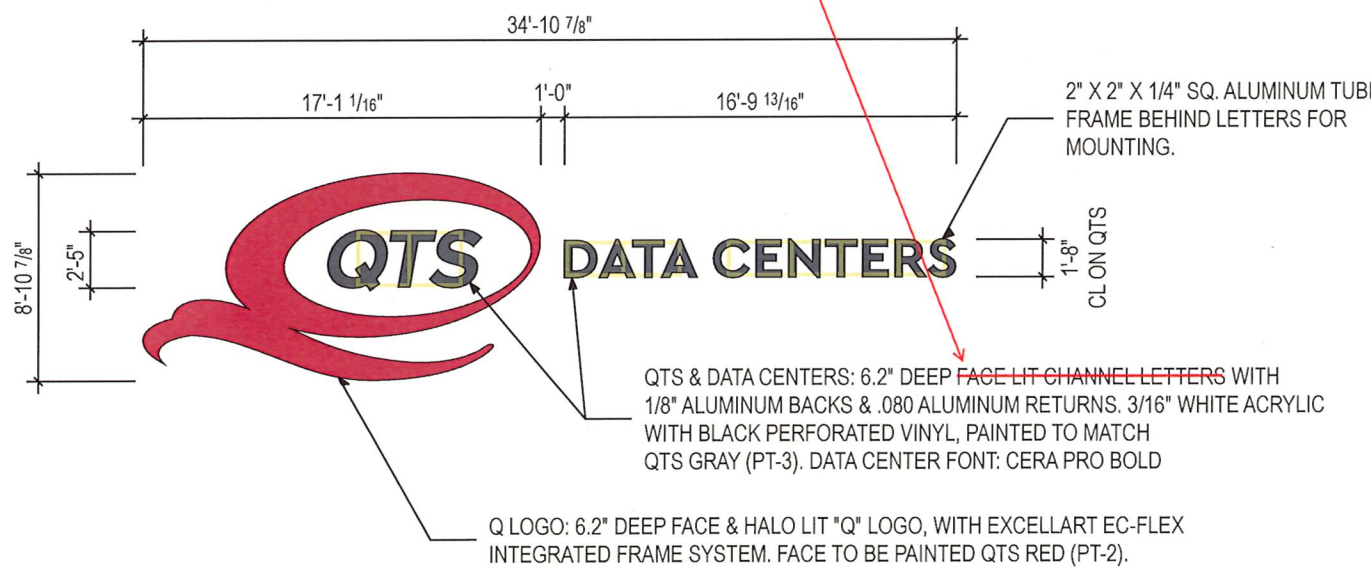

 CLIENT: QTS DATA CENTERS
 CONTACT: JASON DUGAS
 JASON.DUGAS@QTS.DATACENTERS.COM

CORGAN 
 ARCHITECT: CORGAN
 401 N HOUSTON ST. | DALLAS, TX 75202
 CONTACT: JENNIFER BRESETTE, PROJECT MANAGER
 214-757-1763 | JENNIFER.BRESETTE@CORGAN.COM

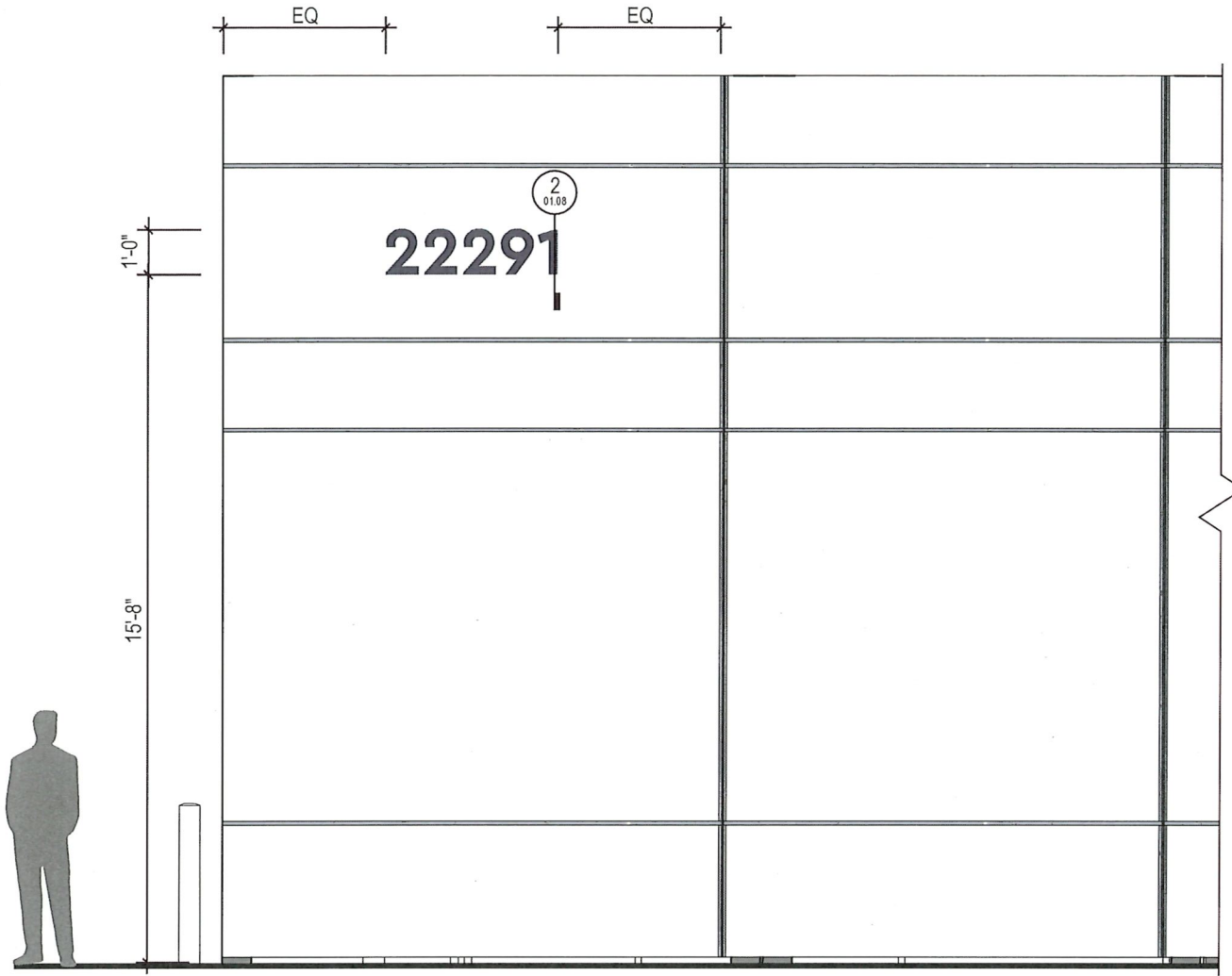
NOTE: PER COORDINATION WITH THE CITY OF NEW ALBANY, HALO BACKLIGHTING TO BE PROVIDED IN LIEU OF FACE LIT CHANNEL LETTERS



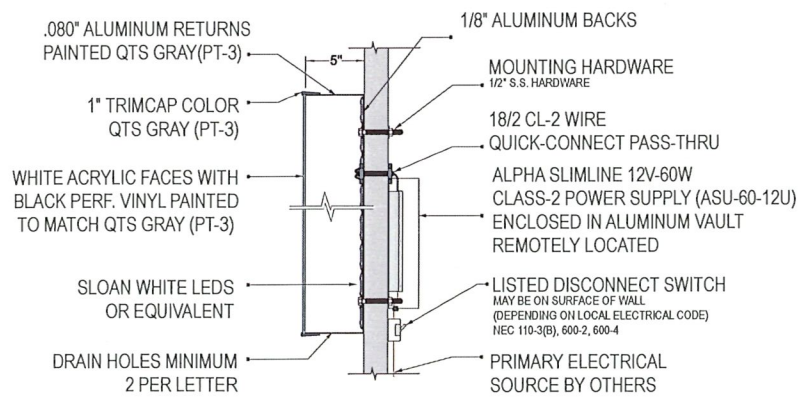
2 SIDE VIEW CHANNEL LETTERS - TYPICAL
SCALE: 1" = 1'-0"



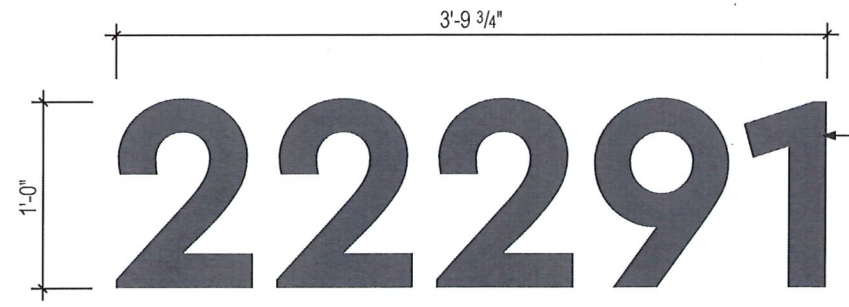
1 ELEVATION
SCALE: 1/8" = 1'-0"



3 CONTEXT ELEVATION - TYPICAL
SCALE: 1/4" = 1'-0"



2 SIDE VIEW CHANNEL LETTERS - TYPICAL
SCALE: 1" = 1'-0"



1 ELEVATION - TYPICAL
SCALE: 1" = 1'-0"

NOTE: PER COORDINATION WITH THE CITY OF NEW ALBANY, HALO BACKLIGHTING TO BE PROVIDED IN LIEU OF FACE LIT CHANNEL LETTERS

5" DEEP FACE LIT CHANNEL LETTERS WITH 1/8" ALUMINUM BACKS & .080 ALUMINUM RETURNS. 3/16" WHITE ACRYLIC WITH BLACK PERFORATED VINYL, PAINTED TO MATCH QTS GRAY (PT-3). ATTACH INDIVIDUAL LETTERS USING HARDWARE APPROPRIATE TO FIELD CONDITIONS AND SEAL ALL PENETRATIONS WITH SILICONE ADHESIVE.

POWER SUPPLY LOCATED REMOTELY.

FONT: CERA PRO BOLD

NOTES

1. ALL STRUCTURAL MOUNTING TO BE COORDINATED WITH GC AND APPROPRIATE CONTRACTORS PRIOR TO FABRICATION.
2. VIF ALL MEASUREMENTS BEFORE INSTALLATION.
3. FABRICATOR TO COORDINATE WITH OWNER TO CONFIRM SITE SPECIFIC BUILDING ADDRESS.

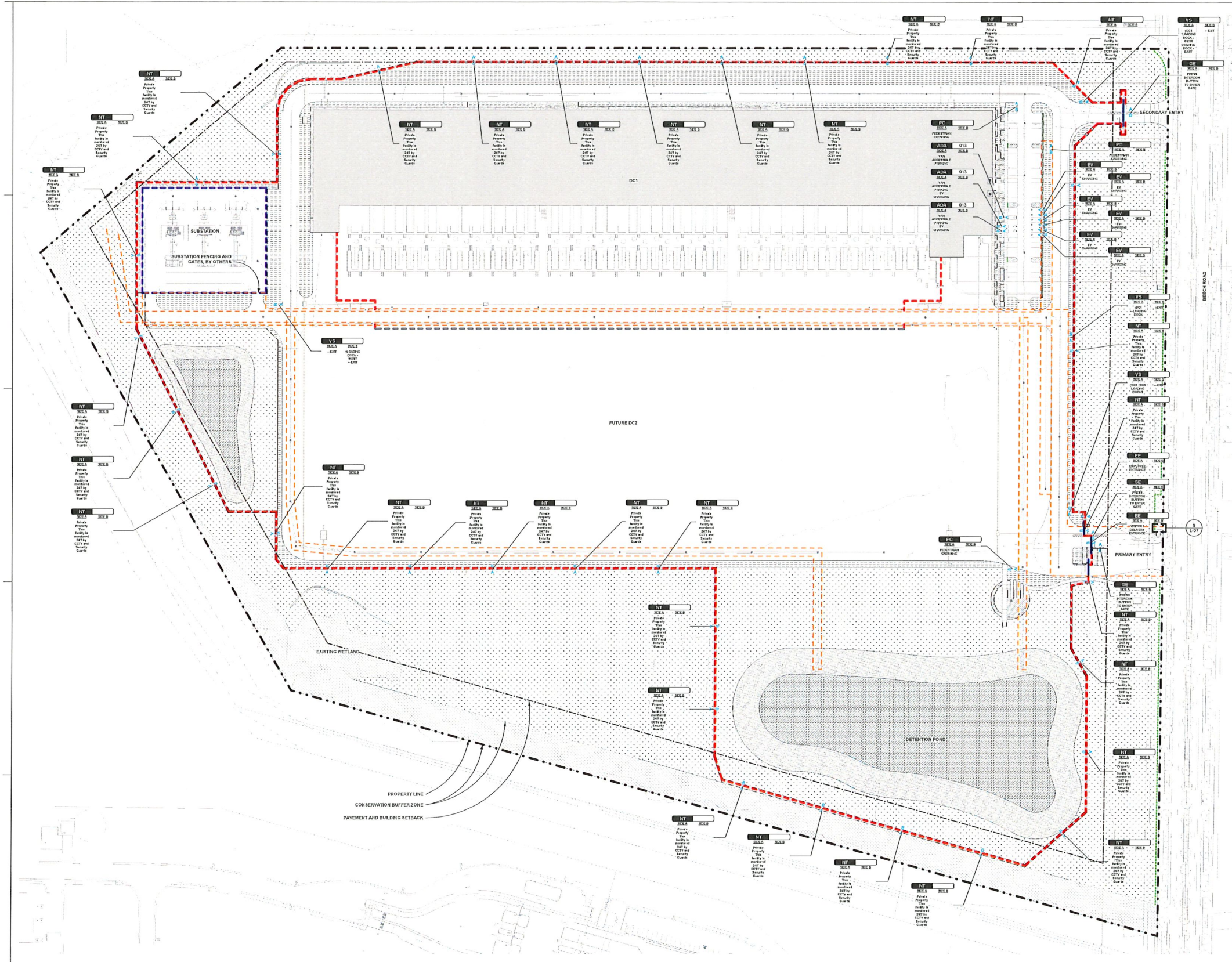
| MARK | DESCRIPTION | DATE |
|------|---------------|----------|
| | DESIGN INTENT | 11.04.22 |
| 1 | REVISION 1 | 01.23.23 |
| 2 | REVISION 2 | 04.21.23 |
| | | |
| | | |
| | | |

PROJECT NO. 21465.0100
QTS EXTERIOR SIGNAGE STANDARDS SIGNAGE
THESE DRAWINGS ARE ISSUED TO CONVEY DESIGN CONCEPT ONLY. THE CONTRACTOR MAY RELY ON THEM AS CONTRACT DOCUMENTS FOR BIDDING PURPOSES, BUT SHALL NOT RELY ON THEM FOR FABRICATION OR INSTALLATION PURPOSES. FABRICATION AND INSTALLATION SHALL ONLY BE EXECUTED FROM SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS.

BUILDING ADDRESS
01.09

QTS
CLIENT: QTS DATA CENTERS
CONTACT: JASON DUGAS
JASON.DUGAS@QTSDataCenters.COM

CORGAN
ARCHITECT: CORGAN
401 N HOUSTON ST. | DALLAS, TX 75202
CONTACT: JENNIFER BRESETTE, PROJECT MANAGER
214-757-1763 | JENNIFER.BRESETTE@CORGAN.COM



1. SIGNAGE PLAN
1" = 60'-0"

SIGNAGE KEY

| SIGN TYPE | DESCRIPTION | EXAMPLE GRAPHIC |
|-----------|-----------------------------|---|
| VS | ORIENTATIONAL SIGNAGE | ISSUED FOR PERMIT REV 1 |
| EE | EMPLOYEE ENTRANCE | EMPLOYEE ENTRANCE |
| YD | VISITOR / DELIVERY ENTRANCE | VISITOR / DELIVERY ENTRANCE |
| GE | GATE ENTRY CLEARANCE | GATE ENTRY CLEARANCE |
| NT | PRIVATE PROPERTY | PRIVATE PROPERTY NO DRONES NO TRESPASSING |
| FC | PEDESTRIAN CROSSING | SLOW |
| ADA | ACCESSIBLE PARKING | ACCESSIBLE PARKING |
| EY | EY CHARGING | EY CHARGING |

NOTE: FOR REFERENCE ONLY. SEE CH-1 SPECIFICATIONS FOR ALL TRAFFIC REGULATORY SIGNAGE. NOTES COVERED IN THE OWNER SIGNAGE STANDARDS.

SIGNAGE NOTES

- REFER TO QTS EXTERIOR SIGNAGE STANDARDS DESIGN INTENT (REVISION 2) FOR SIGN TYPE CODE, EACH SIGN TYPE DIMENSIONS AND LANDSCAPE PLACEMENT AND INSTALLATION. GRAPHICS AND SYMBOLS, COLORS AND MATERIALS AS WELL AS FONT COLOR AND STYLE. THE SIGNAGE LAYOUT PLAN IS PROVIDED TO LOCATE THE SIGN LOCATION, ORIENTATION, TYPE AND CONTENT CHANGE IN TEXT FORMAT ONLY.
- THIS SIGNAGE LAYOUT PLAN ONLY COVERS EXTERIOR SITE SIGNAGE. SEE ARCH FOR INTERIOR SIGNAGE AND SIGNAGE ATTACHED TO BUILDINGS EXTERIOR.
- GRAPHICS ON THIS SHEET ARE GRAPHIC EXAMPLES ONLY.
- PROVIDE SHOP DRAWING FOR EACH INDIVIDUAL SIGNAGE. CH ALL SHEETS WITH CONTENT, TO ARCHITECTS FOR APPROVAL PRIOR TO FABRICATION.
- FOOTINGS ARE BY DELEGATED DESIGN.

SIGNAGE ANNOTATIONS AND CIRCULATION KEY



OWNER
 12951 Focher St
 Cleveland Park, VA
 60113
 888.238.5000

ARCHITECT
 130 East Randolph
 Suite 3100
 Chicago, IL 60601
 A WOODJET COMPANY 312.531.2900

CIVIL ENGINEER
 5500 New Albany Road
 Columbus, OH 43004
 614.772.4500

STRUCTURAL ENGINEER
 15200 Addison Road
 Suite 110
 Addison, Texas 75001
 214.520.1202

MEP-FP-FA ENGINEER
 233 N Water St
 6th Floor
 Minneapolis, MN 55402
 312.957.4010

TCCM-SEC ENGINEER
 101 E Haring St
 Howe, TX 75069
 903.434.4901

LANDSCAPE ARCHITECT
 115 N Washington Ave
 Suite 200
 Minneapolis, MN 55401
 612.339.9144

PROGRESS SET
NOT FOR CONSTRUCTION

**QTS NAL1
DC1**
 NEW ALBANY, OHIO

ISSUED FOR PERMIT
REVISION 1

SIGNAGE PLAN

L-06

SCALE: 5/8" = 1'-0"

NEW ALBANY
Founded 1837

April 25, 2024

Katie Bauman
EMHT
5500 New Albany Road
Columbus OH 43054

Via Email: kabuman@emht.com

Re: QTS NAL1 DC2

Katie,

The New Albany Business Park Design Review Committee (“DRC”) has completed its Review of QTS / NAL1 DC2 Project located at 1275 Beech Road SW New Albany Ohio.

The plans reviewed include the following (collectively the “Plans”)

- i. Site Plans prepared by EMH&T (06/02/2023).
- ii. Building Elevations prepared by SNHA (03/20/24).

The DRC’s comments on the Plans are set forth below:

- I. Site Plan:** The Site Plan was approved 11/2023. No additional review is necessitated.
- II. Exterior Elevations:** The exterior elevations were approved for QTS NAL1 DC1. If each subsequent building remains the same as the NAL1 DC1, then subsequent reviews are not needed.

This concludes the DRC's comments to the Review of the Plans as submitted. *Please note, the approvals set forth above are subject to the specific conditions set forth herein, including but not limited to complete submittal packages.*

The DRC’s approval of the Plans and any associated conditions does not release the Applicant from its obligation to obtain all required governmental approvals. If the Applicant is unable to modify the Plans as noted above due to conflicts with any governmental agency’s requirements, Applicant must notify the DRC of such conflicts.

Thank you for your cooperation. Please feel free to call should you have any questions.

Sincerely,



Tom Rubey
Chairman, Design Review Committee

The New Albany Company
8000 Walton Parkway Suite 120
New Albany Ohio 43054
614 939-8000

**DC2 APPROVAL LETTER
BASED ON ALIGNMENT
WITH DC1**

**QTS NAL1
SIGNAGE VARIANCE REQUEST**

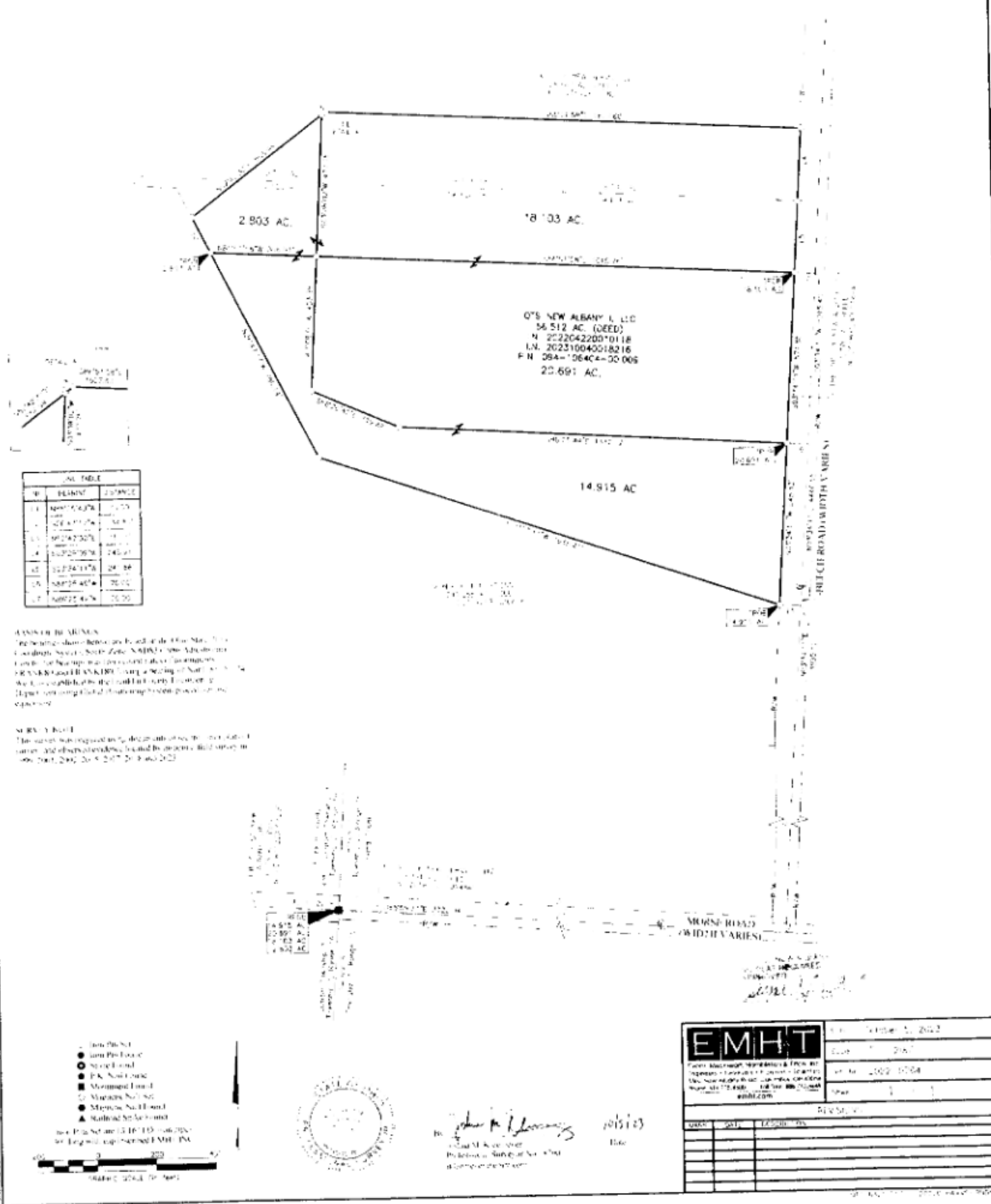
**APPENDIX B
LEGAL DESCRIPTION**

11-08-2024

SURVEY OF ACREAGE PARCELS

SECTIONS 16 & 25, TOWNSHIP 2, RANGE 15
UNITED STATES MILITARY DISTRICT

CITY OF NEW ALBANY, COUNTY OF LICKING, STATE OF OHIO



| LINE | BEARING | DISTANCE |
|------|-----------------|----------|
| 1 | S 89° 17' 00" W | 17.75 |
| 2 | S 89° 17' 00" W | 32.81 |
| 3 | S 89° 17' 00" W | 17.75 |
| 4 | S 89° 17' 00" W | 17.75 |
| 5 | S 89° 17' 00" W | 28.84 |
| 6 | S 89° 17' 00" W | 28.84 |
| 7 | S 89° 17' 00" W | 28.84 |

ASSUMPTIONS
The bearings and distances are based on the State Plane Coordinate System for Ohio Zone 15N. The location of the bearings was determined by a survey of the ground in accordance with the provisions of the Ohio Surveying Act, Chapter 173, of the Revised Code. We have complied with the said Act and hereby certify that the data herein are true and correct to the best of our knowledge and belief.

SURVEY DATA
This survey was prepared by the undersigned on the date stated herein, and the same is hereby certified to be true and correct to the best of our knowledge and belief.

• Iron Pin Found
 • Steel Pin Found
 • P.K. Nail Found
 • Monument Found
 • Station Nail Found
 • Metal Nail Found
 • Railroad Nail Found

See Plat No. 116-115-10-000-000
 for legal description of E.M.H.T.



By: *[Signature]*
 Surveyor
 Professional Seal No. 1754
 License No. 1015123

| | | |
|---|------|------------------------------------|
| EMHT | | Date: 10/15/2022 |
| Form EMHT-100 (Rev. 10/15/2022) This form is to be used for the purpose of recording a survey. | | Date: 10/15/2022 Time: 10:00 AM |
| NO. | DATE | REVISION |
| | | |
| | | |
| | | |
| | | |