



New Albany Planning Commission Meeting Agenda
Wednesday, February 19, 2025 at 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comments at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes: February 3, 2025

IV. Additions or corrections to the agenda

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

V. Hearing of visitors for items not on tonight's agenda

VI. Cases:

FDP-03-2025 Final Development Plan

Final development plan to allow for construction of a 4,816 square foot Speedway gas station on 7.38 acres located at the northwest corner of Mink Street and Innovation Campus Way (PID: 093-107478-00.002).

Applicant: J. Carter Bean Architect LLC c/o Carter Bean

Motion of acceptance of staff reports and related documents into the record for FDP-03-2025.

Motion of approval for application FDP-03-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VAR-04-2025 Variances

Variances to the number of active and operable doors and signage associated with a final development plan application for a Speedway gas station development at the northwest corner of Mink Street and Innovation Campus Way (PID: 093-107478-00.002).

Applicant: J. Carter Bean Architect LLC c/o Carter Bean

Motion of acceptance of staff reports and related documents into the record for VAR-04-2025.

Motion of approval for application VAR-04-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FDP-05-2025 Final Development Plan

Final development plan to allow for construction of an AEP electrical sub station on 9.50 acres located at 7375 Souder Road (PID: 222-002282).

Applicant: AEP, Ohio Transmission Company, Inc. c/o Amy Toohey

Motion of acceptance of staff reports and related documents into the record for FDP-05-2025.

Motion of approval for application FDP-05-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VII. Other business

1. Informal Presentation for a Conditional Use for 5065 Forest Drive
2. City Code Amendment: C.O. 1154.08 Technology Manufacturing District Parcel and Yard Requirements
3. City Code Amendment: C.O. 1155 Flood Damage Reduction
4. City Code Amendment: C.O. 1171.03 Preservation of Natural Features

VIII. Poll members for comment**IX. Adjournment**



New Albany Planning Commission
February 3, 2025 Meeting Minutes - DRAFT

I. Call to order

The New Albany Planning Commission held an informal meeting on Monday, February 3, 2025 in the New Albany Village Hall. Chair Kirby called the meeting to order at 7:00 p.m. and asked to hear the roll.

II. Roll call

Those answering roll call:

Mr. Kirby	present
Mr. Wallace	present
Mr. Schell	present
Ms. Briggs	present
Mr. Larsen	present
Council Member Wilttrout	present

Having all voting members present, the commission had a quorum to transact business.

Staff members present: Law Director Albrecht, Development Engineer Albright, Planning Manager Christian, Community Development Director Chrysler, Development Engineering Manager Denny, Planner II Saumenig, Deputy Director of Public Service Mayer, Deputy Clerk Madriguera.

III. Additions or corrections to the agenda

Chair Kirby asked whether there were any additions or corrections to the agenda.

Planning Manager Christian answered none from staff.

Chair Kirby administered the oath to all present who would be addressing the commission and reminded those present that now would be a good time to silence all cell phones.

IV. Hearing of visitors for items not on tonight's agenda

Chair Kirby asked whether there were any visitors present who wished to address the commission for an item not on the agenda.

Hearing none, he asked if there were any corrections to the minutes.

V. Action on minutes: January 22, 2025

Hearing no corrections, Commissioner Wallace moved for approval of the January 22, 2025 minutes as presented. Commissioner Larsen seconded the motion.

Chair Kirby asked if there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Wallace yes, Mr. Larsen yes, Mr. Schell yes, Ms. Briggs yes, Mr. Kirby yes. Having five yes votes, the motion passed and the January 22, 2025 meeting minutes were approved as presented.

Chair Kirby introduced the first case and asked to hear from staff.

VI. Cases:

FPL-92-2024 Final Plat

Final Plat for Phase 1 of the Hamlet development project generally located at the southwest and southeast corners of the New Albany Condit Road and Central College Road intersection (PIDs: 222-000675, 222-000685, 222-000686, 222-000670, 222-000676, 222-000678, 222-000313, 222-000664, 222-000671, 222-000672, 222-000654, 222-000669, 222-000549, 222-000668, 222-001167, 222-000688, 222-000375, 222-000314, 222-000673, and 222-000376).

Applicant: NONA Master Development LLC, c/o Aaron Underhill, Esq.

Planning Manager Christian delivered the staff report.

Chair Kirby asked to hear from the applicant.

Applicant Justin Leyda spoke in support of the application. This establishes the framework for subareas 1 and 2. The right of way and street network are being established with this plat.

No additional comments from Engineer Albright.

Chair Kirby confirmed that the alley on the Columbus side was not a public street and asked about the width.

Planning Manager Christian answered that it was a shared access, an alley and private drive, it looked to be about 25 feet.

Chair Kirby commented that he believed New Albany had 24 feet of right of way on either side, and asked whether, if it connected, it would be good for size.

Planning Manager Christian answered that was correct.

Commissioner Larsen referenced a prior conversation about parallel parking spaces along New Albany Condit Road and asked staff whether provision for the spaces was included in the budget.

Council Member Wiltout responded yes, the city council agreed it was a funding priority and was fully funded in the budget.

Commissioner Briggs asked for updates from conversations with property owners to the west regarding the connection of the road.

Mr. Leyda answered that the status remained the same, but his interest remained and he suspected that they would become interested after construction.

Commissioner Schell asked for an update with discussions with the hotel chain.

Mr. Leyda responded that applicants' present focus is on the original final development plan but discussions with the hotel and evaluation remains in the background.

Chair Kirby asked whether there were further questions. Hearing none, he moved to accept the staff reports and related documents into the record for FPL-92-2024. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Larsen yes, Mr. Schell yes, Ms. Briggs yes, Mr. Wallace yes. Having all votes in favor, the motion passed and the staff reports and related documents were accepted into the record for FPL-92-2024.

Commissioner Briggs moved for approval of FPL-92-2024 based on the findings in the staff report noting that there were no conditions in the staff report. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Ms. Briggs yes, Mr. Schell yes, Mr. Larsen yes, Mr. Kirby yes, Mr. Wallace yes. Having all yes votes, the motion passed and FPL-92-2024 was favorably recommended to the New Albany City Counsel.

The commission wished the applicant good luck, especially connecting the road.

Thereafter, Chair Kirby introduced FPL-01-2025 and asked to hear the staff report.

FPL-01-2025 Final Plat

Final Plat for the dedication of public right-of-way for Ganton Parkway West Phase 4 located south of 161 and north of E Dublin-Granville Road.

Applicant: City of New Albany

Planner II Saumenig delivered the staff report.

Chair Kirby asked whether there were any comments from engineering.

Development Engineer Albright responded that engineering had no additional comments.

Chair Kirby asked about the alignment and the goals with this alignment.

Engineering Manager Denny explained that this was arrived upon with the land donation and the traffic study guided the alignment. One objective was to direct traffic away from the village center.

Deputy Director of Public Safety Mayer added that another goal was to prevent the creation of another five point intersection. Staff found this was a good solution and it provides room for a future roundabout. There will actually be one intersection when it was complete. This would avoid confusion with addressing. He further noted there was a huge grade change

Chair Kirby traced the route of the road and the name changes of the roads along the route. He asked whether Ganton would eventually peel off south

Deputy Director Mayer answered yes, and further stated that the commission would review that in a future application.

Commissioner Wallace clarified that the idea here is a portion of Dublin Granville Road would go away in service of the realignment.

Commissioner Briggs clarified that the reason for that was to accommodate the grade change.

Deputy Director Mayer answered that was correct.

There was further discussion on the names and continuity of the roads.

Commissioner Larsen remarked that cyclists use Dublin Granville Road to cycle to Granville. He asked whether that would be reviewed by the Parks and Trails Advisory Board, and asked for thoughts.

Deputy Public Service Director Mayer acknowledged that it was a popular route. He shared that he cycles on Dublin Granville Road. He further explained that another popular route was to travel Smith's Mill to Kitzmiller. Dublin Granville Road will continue to be the through street.

Commissioner Wallace traced the route of Dublin Granville Road and the intersections. He further remarked that he did not understand the road transitions, they looked confusing and wayfinding would be difficult.

Director Chrysler explained the proposed road transitions. The city released an RFP for the design of the road and the traffic study. The city had been studying it for over a year. She acknowledged that it appeared unusual but this was the solution that made the most sense. She elaborated on the priorities of the analysis, those being the constraints of the wetlands, the Nationwide Childrens' site, the eventual ball field, the location of the historic building, the existing and proposed roundabout. Following analysis, staff concluded that priority number one was to create Ganton similar to Fodor Road

Commissioner Wallace asked whether there were plans for a roundabout, and what the signal at the intersection would be.

Director Chrysler replied that there were plans for a roundabout. She explained that there will be a stop sign and a second roundabout will be installed. The commission will review a plat for the proposed roundabout and she expected that it would be presented by July 1. She explained that the work on the road will occur in three phases that will be bid out sequentially but in very close temporal proximity.

Chair Kirby noted that Kitzmiller Road will be interrupted and will resume, similar to Harlem Road. He asked whether it will alleviate unwanted traffic between Smith's Mill and Central College.

Director Chrysler replied that Harlem Road is a great example. It has a lower, middle, and upper portion. Kitzmiller Road looked somewhat confusing on the rendering but this solution has been a feat of engineering.

Chair Kirby noted for the record that this design would alleviate traffic on Kitzmiller Road which was a long time priority of residents.

Director Chrysler agreed. Ganton Parkway would be a priority road and would alleviate traffic on Kitzmiller and Babbit Roads.

Commissioner Wallace asked whether segments of adjacent lands were developable.

Director Chrysler responded probably not, due to the land being wetlands.

Chair Kirby asked if there were further questions for staff or the commission. He also asked whether anyone from the audience wanted to comment on the application. Hearing none, Chair Kirby moved to accept the staff reports and related documents into the record for FPL-01-2025. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Larsen yes, Ms. Briggs yes, Mr. Wallace yes, Mr. Schell yes. Having all votes in favor, the staff reports and related documents were accepted into the record for FPL-01-2025.

Commissioner Schell moved for approval for recommendation to city council of FPL-01-2025 based on the findings in the staff report. Commissioner Schell noted that there were no conditions in the staff report. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Schell yes, Mr. Larsen yes, Ms. Briggs yes, Mr. Kirby yes, Mr. Wallace yes. Having five yes votes, the motion passed and FPL-01-2025 was favorably recommended to the New Albany City Council.

The commission wished the applicant, the City of New Albany, good luck. Chair Kirby stated that good signage will be critical. He then introduced the first item of Other business and asked to hear from staff.

VII. Other business

TMD Update Workshop

Deputy Director of Public Service Mayer presented the workshop. He explained that the proposed language for the code recommended code update for the Technology and Manufacturing District (TMD) zoning classification. The TMD zoning classification was established in 2021, this update sought to improve and streamline the regulations. There would not be any height restrictions, however larger setbacks, mounding, and screening would be required for large flagship projects. In the event a building's height exceeded 65 feet, the setback would increase. The proposed language would be presented at the February 19, 2025 meeting.

Chair Kirby asked what AEP's setback is, noting the tower in the center.

Deputy Director Mayer responded that AEP's setback was self-imposed. He noted that the tower was an architectural feature, rather than a building height. He further remarked that a lot of the newer building heights exceeded 65-feet. The measure was whether the building was appropriately scaled with the surrounding buildings.

Chair Kirby asked whether they would be better off as LG-E rather than TMD.

Director Chrysler responded that was a good question and remarked that the TMD zoning classification sets larger clear standards for bigger companies and facilities. The TMD is the best of what the city has done in terms of regulations. She noted that there are still parcels left for larger companies in the business park.

Commissioner Wallace clarified that staff was proposing to remove the height restriction from the TMD classification because it is very unlikely to apply.

Deputy Director Mayer and Director Chrysler responded in the affirmative. It does not work because of the size of the parcels Director Chrysler further explained that removal would alleviate the need to request variances

Commissioner Larsen observed that the height restriction made sense when the adjacent properties were residential, but now that the adjacent property is commercial removal of the height restriction made sense.

Deputy Director Mayer agreed and noted that every L-GE approved did not include a height restriction but did require a larger setback. It was a matter of scale.

Commissioner Wallace asked staff to more fully explain the problem we are trying to fix by taking a tool away.

Director Chrysler explained that the city is seeking to attract business, and the city's zoning code needs to make sense. To that end she requested that her staff examine the zoning code with an eye toward eliminating unnecessary regulations that may thwart businesses. An indication of an unnecessary regulation would be variance requests that are routinely granted. This would eliminate unnecessary applications. This is a proactive look at New Albany's code.

Commissioner Wallace said that was exactly the response he was seeking. Nonetheless he recounted that Intel had a substantial underground facility but what would happen if an applicant wanted to build up. Would there be a time when the city wanted to restrict height.

Director Chrysler responded that existing structures in the business park exceeded the height restriction, she further noted that heights above 85-feet put a structure in a new classification. She noted that development would remain subject to the regular permitting process.

Deputy Director Mayer explained that it would become a matter of scale and context. He thanked the commission and stated that staff would return with proposed language on February 19th.

Chair Kirby asked if there were further questions. Hearing none, he thanked staff and introduced the last item of other business.

Floodplain Chapter Update Workshop

Deputy Director Mayer delivered the staff report. He explained that the Federal Emergency Management Association (FEMA) had recently updated and released their floodplain maps. The data for the maps was about 10 years out of date and would result in many variance requests. As a result, the city has contracted with Shawn Holden of EMH&T to make recommendations to align the code with the new floodplain maps and current practice.

Mr. Holden delivered a slide presentation explaining the forthcoming flood code update for Chapter 1155, Flood Damage Reduction and C.O. 1171.03: Landscaping (Riparian Area Protection). He explained that the goals for the update are the following: eliminate ambiguity and conflicting language, clarify expectations for applicants, improve standardization of regulations with the state model flood code, and tie New Albany's code to the new FEMA maps for Licking County and to prepare upcoming maps for Franklin County. Everything falls into three major buckets. First that the existing code is vague regarding applicability to certain projects and recommended resetting that threshold to FEMA mapped flood hazard areas. Second, the existing code prohibits new residential, industrial, and commercial development in floodplain areas and recommended resetting the development standards in flood hazard areas consistent with the state model code. Third, riparian area protection is mentioned in both codes which applies to different land and recommended removing riparian language from Chapter 1155 and replacing it with a reference to 1171.03, resetting applicability to streams designated as either perennial or intermittent on a USGS publication, and adding a suitable list of permissible activities.

Deputy Director Mayer added that many of the recommendations are things the currently practices.

Chair Kirby confirmed that mowing the understory and putting grass down would remain impermissible.

Commissioner Schell confirmed that following the new code standards would obviate the need for variances.

Deputy Director Mayer answered that is correct, but staff review and permitting will still be required.

Director Chrysler added that the new maps based upon old data made many properties unnecessarily subject to floodplain regulations. The good news is that there is a process work through and staff is trying to streamline the process, and finally that this being suggested now in light of the updated FEMA maps.

Commissioner Schell asked whether there are some properties that can be surveyed now so that it can be shown than needed and not thus proved that they should not be on the floodplain map.

Mr. Holden answered yes, absolutely. There is a process for amending the floodplain maps.

Deputy Director Mayer answered yes. The problem is that the code is not clear. The goal of this is to update the code to align with practice.

Mr. Holden explained that FEMA will come and review whether the code language and the map are accurate.

Chair Kirby asked about the remedy for property owners and whether property included on the updated FEMA map would constitute a taking or a taking condition.

Mr. Holden replied that the property could be reevaluated upon presentation of updated data. He further added that whether it is a taking has not been reviewed by the courts, however he thought that newly added floodplain property would be interpreted as always having existed. The updated map would be interpreted to indicate property as it has always existed.

Chair Kirby asked if there were further questions. Hearing none, he thanked staff and Mr. Holden.

VIII. Poll members for comment

Chair Kirby polled the members for comment.

Commissioner Larsen commented that the US-62 Interchange Open House is on February 11th if anyone is interested. The open house would take place at 6:00 pm.m at the new Brickhouse Blue development space.

Director Chrysler invited everyone to come and tour the new facility.

IX. Adjournment

Having no further business, Chair Kirby adjourned the February 3, 2025 informal meeting of the New Albany Planning Commission without objection at 8:11 p.m.

Submitted by: Deputy Clerk Madriguera, Esq.

Appendix

FPL-92-2024

Staff Report

Record of Action

FPL-01-2025
Staff Report
Record of Action



**Planning Commission Staff Report
February 3, 2025 Meeting**

**HAMLET AT SUGAR RUN
PHASE 1 FINAL PLAT**

LOCATION: Generally located at the southwest and southeast corners of New Albany Condit Road and Central College Road (PIDs: 222-000675, 222-000685, 222-000686, 222-000670, 222-000676, 222-000678, 222-000313, 222-000664, 222-000671, 222-000672, 222-000654, 222-000669, 222-000549, 222-000668, 222-001167, 222-000688, 222-000375, 222-000314, 222-000673, and 222-000376).

APPLICANT: NoNA Master Development LLC c/o Aaron Underhill, Esq.

REQUEST: Final Plat

ZONING: Infill-Planned Unit Development (I-PUD)

STRATEGIC PLAN: Hamlet Focus Area

APPLICATION: FPL-92-2024

Review based on: Application materials received on January 22, 2025.

Staff report completed by Chris Christian, Planner II

I. REQUEST AND BACKGROUND

The final plat is for the 1st phase of the Hamlet development. The intent of this plat is to establish the primary road network within phase 1. To establish residential lots, additional parkland/open space areas, and roads, the developer will have to submit additional final plat applications in the future which are subject to the review and approval of the Planning Commission and city council.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on November 7, 2022 (ZC-104-2022) and the zoning change was adopted by city council on December 6, 2022 (O-40-2022). The Planning Commission reviewed and approved the final development plan and preliminary plat for the subdivision on September 16, 2024 (FDP-53-2024).

II. SITE DESCRIPTION AND USE

Phase 1 of the Hamlet development is generally located at the southwest corner of the New Albany-Condit Road and Central College Road intersection. The property is currently vacant.

III. PLAN REVIEW

The Planning Commission's review authority of the plat is found under C.O. Section 1187. The staff's review is based on New Albany plans and studies, zoning text, and zoning regulations.

Residential Lots

1. There are no residential lots included on the final plat application. The intent of this plat is to establish the primary road network within phase 1 of the development. To establish residential lots in the future, the applicant must return to the Planning Commission for review and approval of a new final plat.

Streets and Rights-of-Way

1. The plat creates three (3) new publicly dedicated streets. All of the new streets meet the right-of-way requirements in the zoning text:
 - Resch Boulevard provides access to the subdivision from Central College Road and State Route 605, with 60 feet of right-of-way.
 - Huston Loop, with 50 feet of right-of-way.
 - Tilia Alley, a publicly dedicated alley, with 24 feet of right-of-way.
2. The utility easements are shown on the plat.
3. Per the city's subdivision regulations, C.O. 1187.04, all new streets shall be named and shall be subject to the approval of the Planning Commission. The applicant proposes to name primary roads within the development after historic figures in the New Albany community. Resch Boulevard is named after William (Bill) Resch and Huston Loop is named after one of the original land owners in the immediate area. Alleys will be named after native Ohio trees or other things found in nature.
4. The applicant meets and exceeds the State Route 605 and Central College Road right-of-way dedication requirements.
 - 10 additional feet of right-of-way is to be dedicated along the southern portion of Central College Road for a total of 50 feet.
 - A total of 50 feet of right-of-way is being provided along the western portion of State Route 605 where the zoning text only requires 40 feet. Most of this right-of-way width exists today but there are some small dedications proposed along the southern portion of the frontage to get to the 50-foot amount.

Parkland and Open Space

1. The plat contains one (1) reserve areas shown as Reserve "A".
 - According to the plat notes, Reserve A shall be owned and maintained by the city of New Albany. This is consistent with the final development plan application.

IV. ENGINEER'S COMMENTS

The City Engineer reviewed the referenced plat in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided no comments.

VIII. ACTION

Basis for Approval:

The final plat is consistent with the approved final development plan and meets code requirements. Should the Planning Commission approve the application, the following motion would be appropriate:

Suggested Motion for FPL-92-2024:

Move to approve final plat application FPL-92-2024 (conditions of approval may be added).

Approximate Site Location:



Source: NearMap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear NoNA Master Development LLC,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Wednesday, February 12, 2025

The New Albany Planning Commission took the following action on 2/03/2025.

Final Plat

Location: Generally located at the southwest and southeast corners of the New Albany Condit Road and Central College Road intersection (Parcel IDs: 222-000675, 222-000685, 222-000686, 222-000670, 222-000676, 222-000678, 222-000313, 222-000664, 222-000671, 222-000672, 222-000654, 222-000669, 222-000549, 222-000668, 222-001167, 222-000688, 222-000375, 222-000314, 222-000673, and 222-000376).

Applicant: NoNA Master Development LLC

Application: PLFPL20240092

Request: Final Plat for Phase 1 of the Hamlet development project

Motion: Move to approve

Commission Vote: Approved, 5-0

Result: Final Plat, PLFPL20240092 was approved, by a vote of 5-0.

Recorded in the Official Journal this February 12, 2025

Condition(s) of Approval: None

Staff Certification:

Chris Christian

Chris Christian
Planning Manager



**Planning Commission Staff Report
February 3, 2025 Meeting**

**GANTON PARKWAY WEST PHASE 4
FINAL PLAT**

LOCATION: 9582 Johnstown Road
APPLICANT: City of New Albany
REQUEST: Final Plat
ZONING: C-PUD (Comprehensive Planned Unit Development)
STRATEGIC PLAN: Employment Center and Village Center
APPLICATION: FPL-01-2025

Review based on: Application materials received January 13, 2025

Staff report completed by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

The application is for a final plat to dedicate right-of-way for the fourth phase of Ganton Parkway West. Ganton Parkway is recommended in the Engage New Albany strategic plan to facilitate additional connections within New Albany. This extension of Ganton Parkway West provides access to existing and new development sites in the future. The plat also dedicates right-of-way for new connections to Kitzmiller Road and East Dublin Granville Road to the Ganton Parkway. Finally, due to the realignment the plat vacates portions of East Dublin Granville Road and replaces it with utilities easements.

II. SITE DESCRIPTION & USE

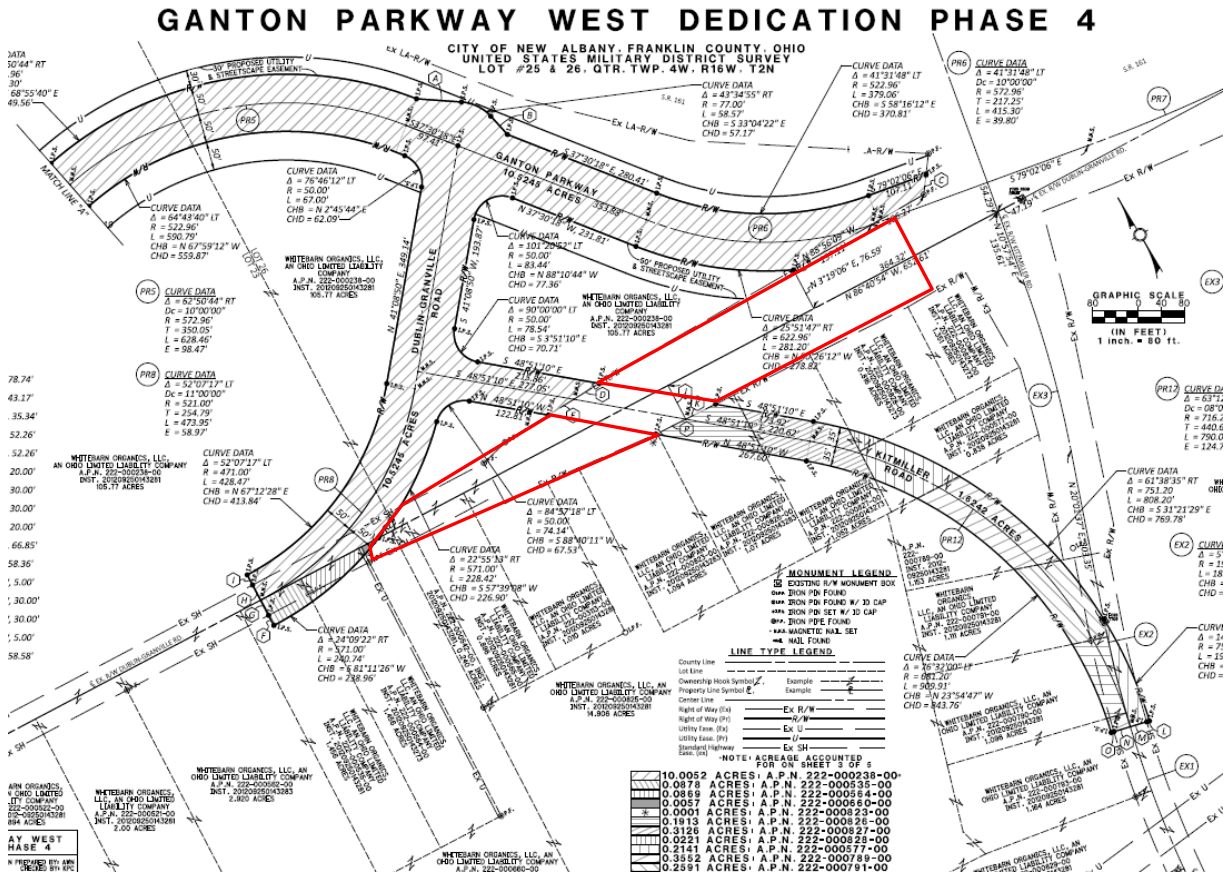
The proposed right-of-way dedication extends eastward from the Theisen Drive stub street that intersects with US-62. The plat (hatched below) shows the proposed Ganton Parkway and the new alignment of the intersection of East Dublin Granville Road and Kitzmiller Road. Theisen Drive is renamed to Ganton Parkway. The property is zoned C-PUD.

III. PLAN REVIEW

The Planning Commission's review authority of the final plat is found under C.O. Section 1187. Upon review of the final plat, the commission is to make a recommendation to the city council. The staff review is based on city plans and studies, zoning text, and zoning regulations.

1. The Planning Commission and City Council approved a final plat for the Ganton Parkway West phase 3 on August 5, 2024. The right-of-way is being phased in order to allow for flexibility regarding development opportunities. Additional phases will be platted as new development occurs in the area.
2. This proposed street dedication location is identified as a future connection in the Engage New Albany strategic plan. Similar to the development of other streets within the New Albany Business Park, this street will be extended in the future to provide a connection to Worthington Road and is envisioned to ultimately connect back to Johnstown Road in the Village Center, leveraging the freeway frontage in between and providing roadway connections for future development parcels.
3. This plat dedicates right-of-way to the city of New Albany for the next extension of Ganton Parkway West, the realignment of the East Dublin Granville Road and Kitzmiller Road intersection, and vacation of existing right-of-way along East Dublin Granville Road where it is no longer needed.

4. The dedication extension consists of approximately 7,175+/- linear feet of a new public street totaling approximately 12.1487+/- acres. No reserves are being platted or lots being created within this new right-of-way extension. The breakdown is as follows:
 - o Ganton Parkway (from U.S-62 to the tie-in to E Dublin Granville Road): 4,775 linear feet
 - o East Dublin Granville Road (from the existing E Dublin Granville Road to the proposed roundabout): 900 linear feet
 - o Kitzmiller Road (from its new intersection with the realignment of East Dublin Granville Road to the exiting Kitzmiller Road: 1,500 linear feet.
5. A utility easement is proposed for the portion of the existing Dublin Granville Road right-of-way that is vacated as shown below.



Hatched area: new right-of-way
Red highlighted area: right-of-way vacation, new utility easement

6. The plat dedicates 100' of right-of-way for Ganton Parkway, 100' for East Dublin Granville Road, and 70' of right-of-way for Kitzmiller Road. The streets extend through the Ganton C-PUD zoning district. The zoning text contains a provision for this street that the extension of Ganton Parkway shall connect to "Theisen" drive and US-62. Additionally, the zoning text indicates that the existing intersection of East Dublin Granville Road and Kitzmiller Road is to be realigned in conjunction with the construction of Ganton Parkway.
7. The plat includes a proposed streetscape and utility easement along the north (30 feet) and south side (50 feet) of the Ganton Parkway extension to support street improvements.
8. Ganton Parkway West is identified as a minor arterial street typology in the Engage New Albany strategic plan. The plan indicates the street should be designed at a larger scale in order to accommodate heavier traffic traveling into the business park. The 100 feet of right-of-way for Ganton Parkway with an additional 80 feet of streetscape and utility easements is consistent with the 115-foot recommendation in the Engage New Albany strategic plan.

IV. ENGINEER'S COMMENTS

The city Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and has no comments.

V. SUMMARY

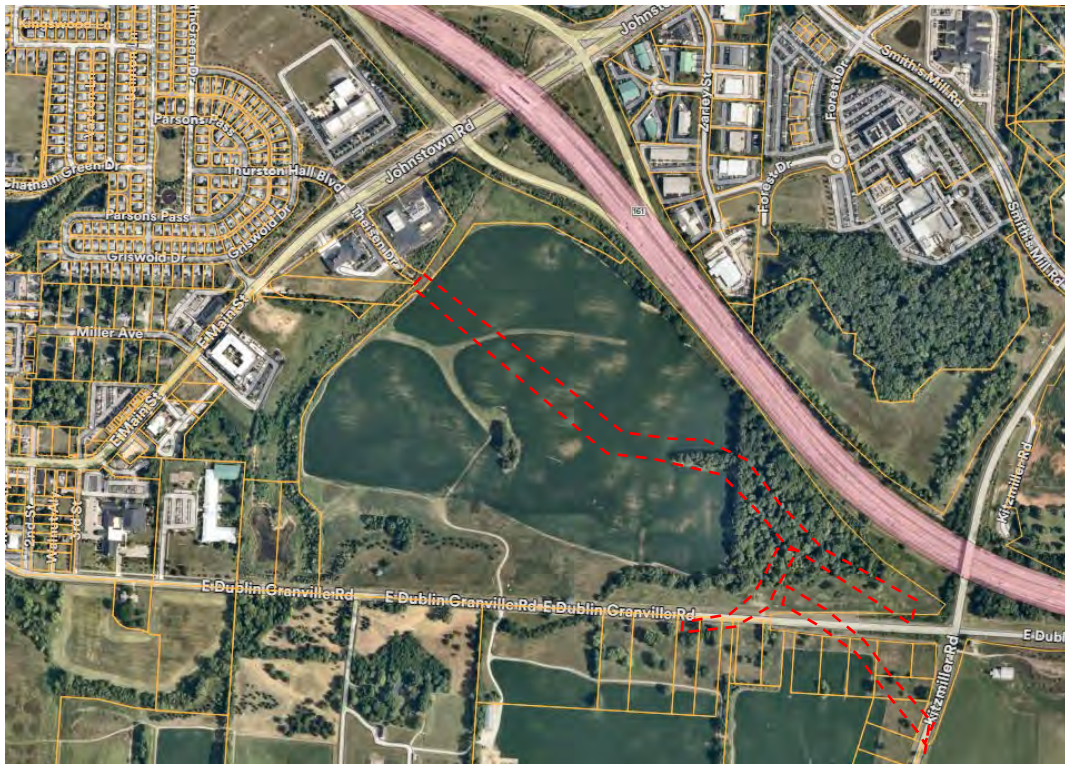
The proposed street plat is consistent with the goals and objectives found in the Engage New Albany strategic plan for this area. The extension of Ganton Parkway and the realignment of East Dublin Granville Road and Kitzmiller Road serves as a critical connection and provide access for existing and new development sites in the future.

VI. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to recommend approval to City Council of application FPL-01-2025.

Approximate Street Locations Shown in Red:



Source: Nearmap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear CITY OF NEW ALBANY,

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This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, February 11, 2025

The New Albany Planning Commission took the following action on 02/03/2025 .

Final Plat

Location: 9582 JOHNSTOWN RD

Applicant: CITY OF NEW ALBANY,

Application: PLFPL20250001

Request: Final Plat for the dedication of public right-of-way for Ganton Parkway West Phase 4 located south of 161 and north of E Dublin-Granville Road.

Motion: To Approve

Commission Vote: Motion Approval Recommended, 5-0

Result: Final Plat, PLFPL20250001 was Approval Recommended, by a vote of 5-0.

Recorded in the Official Journal this February 11, 2025

Condition(s) of Approval:

Staff Certification:

Sierra L Saumenig

Sierra Saumenig
Planner



**Planning Commission Staff Report
February 19, 2025 Meeting**

**SPEEDWAY
FINAL DEVELOPMENT PLAN**

LOCATION: Generally located at the northwest intersection of Mink Street and Innovation Campus Way (PID: 093-107478-00.002)
APPLICANT: J. Carter Bean Architect LLC c/o Carter Bean
REQUEST: Final Development Plan
ZONING: Mink Interchange I-PUD
STRATEGIC PLAN: Retail/Employment Center
APPLICATION: FDP-03-2025

Review based on: Application materials received February 4, 2025

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

The final development plan application is for a proposed Speedway gas station generally located at the northwest intersection of Mink Street and Innovation Campus Way. This development includes a gas station/convenience store, an unleaded fuel canopy, and a diesel fuel canopy for semi-trucks.

The applicant is also applying for several variances related to this final development plan under application VAR-04-2025. Information and evaluation of the variance requests are under a separate staff report.

This site is located within the Mink Interchange zoning district which was reviewed and approved by the Planning Commission on September 19, 2016 (ZC-66-2016) and by city council on October 4, 2016 (O-21-2016).

II. SITE DESCRIPTION & USE

The site is generally located north of Innovation Campus Way and west of Mink Street. It is bordered by commercial properties to the north (New Albany 525), west (AmplifyBio), and south (Axium Building 6), with residential areas in Jersey Township to the east.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*

- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan recommends the following development standards for the Neighborhood Retail future land use category:

1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
2. Combined curb cuts and cross access easements are encouraged.
3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
4. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
5. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

1. The applicant is proposing to construct a 4,816 sq. ft. gas station/convenience store on the 9.39-acre site. The proposed development will be on 7.38-acres of the site and the remaining 3.72-acres is proposed to be a future development. The zoning text permits gasoline and other fuel stations, with or without convenience stores. The proposed development is in an appropriate location given its proximity to the New Albany Business Park and State Route 161.
2. Per the zoning text, plans for the development of gas stations shall be created in a manner that discourages overnight truck parking. The applicant proposes to install “no overnight truck parking” signage on the property.
3. The zoning text requires the following setbacks from these perimeter boundaries:

Road	Requirement	Proposed
Mink Street	50-foot pavement setback 100-foot building setback	75-foot pavement setback [meets code] 100-foot building [meets code]
Innovation Campus Way	50-foot building and pavement	65+/- foot pavement [meets code] 153+/- foot building [meets code]
Riparian Corridor Setback	Minimum 150-foot setback (75 feet in each direction of from the centerline of the creek).	Applicant has labeled the setback and are permitted per zoning text section C(4) one paved vehicular crossing to cross through the setback area. The applicant proposes one vehicular crossing through the setback area.

4. Zoning text section II(C)(9) requires that the total lot coverage, which includes areas of pavement and building, to not exceed 80%. The plan meets this requirement with a proposed 43.6% lot coverage amount.
5. The applicant indicates that the onsite stormwater will be conveyed to an off-site stormwater basin to the west of this site.

B. Access, Loading, Parking

1. The site is accessed from three proposed curb cuts:
 - o One 35' right in/right out access along Mink Street that will function as a shared drive between the developments on the site.
 - o One 35' right in/right out access along Innovation Campus Way.
 - o One full 55' access entrance along Innovation Campus Way intended for trucks entering and exiting.
2. The city parking code does not have parking standards for convenience stores associated with a gasoline station use. The Planning Commission should evaluate the appropriateness of the number of parking spaces provided on site.
 - o The applicant is providing 36 parking spaces on site.

- Per Codified Ordinance 1167.05(d)(8) gasoline service stations require 2 for each service bay plus 1 for each 2 gasoline dispensing units, plus 1 for each employee during main shift. This site has 10 gasoline pumps and could have up to 5 employees during the main shift resulting in 10 parking spaces being required.
 - City code does not have specific parking space requirements for convenience stores associated with a gasoline station use. The closest use within the city parking code is retail shopping centers which require one parking space for each 200 square feet of gross floor area. The convenience store is 4,816 square feet which would require 25 parking spaces. The applicant is providing 36 parking spaces which appears to accommodate both the gasoline pump and convenience store uses. This is generally consistent with other gas stations in the city such as Duke and Duchess.
2. According to C.O. 1167.06(a)(2) the applicant is required to provide one off street loading space. The applicant is meeting this requirement by providing one loading space behind the convenience store.
 3. Per C.O. 1167.03(a), the minimum parking space dimensions required are 9 feet wide and 19 feet long and the applicant is meeting this requirement.
 4. Per C.O. 1167.03(a), the minimum maneuvering lane width size is 22 feet for this development type. The applicant is proposing maneuvering lanes with varying widths throughout the site that are between 28 and 35 feet. The proposed maneuvering lanes are wider than what was approved for Sheetz, Turkey Hill, and the Duke and Duchess site, which are similar developments. Reducing the drive lanes widths to 30 feet will result in less paved area on the site and be more consistent with other gas stations in the community. Staff recommends a condition of approval that the maneuvering lane widths on the regular vehicle gas side of the site be reduced to 30 feet (condition #1).

C. Architectural Standards

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design. The site falls under Section 6 of the Design Guidelines and Requirements, Commercial Outside the Village Center and there are also architectural requirements in the zoning text.
2. The zoning text states that buildings with this use shall be a minimum of one story and a maximum of two and a half stories in height and this requirement is being met as the convenience store is a one-story building.
3. The primary building material for the convenience store is brick and a thermally modified wood.
 - The DGR's state that traditional materials such as wood, stone, brick, and concrete are preferred.
 - The city architect has reviewed the proposed black brick and acknowledges the applicant's justification that surrounding buildings, particularly the Axiom, feature a similar material palette. However, a gas station is a smaller structure with a different use compared to commercial buildings. When looking at other smaller, human-scaled buildings in the vicinity, black brick is an industrial-like finish that has not been previously used. Instead, warm natural color brick is found throughout New Albany. The city architect believes Speedway should be consistent with other retail uses in the city, as the it is not the size of a warehouse, nor is it required to look to its warehouse neighbors for exterior material justification. Staff recommends a condition of approval that the black brick be revised to a natural colored brick, subject to staff approval (condition #2).
4. Zoning text section E.4(b) states that all rooftop mechanical units must be screened to limit off site visibility and sound. The applicant is meeting this requirement by providing rooftop screening so that the mechanical units are not seen from the property lines.
5. DGR Section 6(I)(A)(4) states that the number, location, spacing and shapes of window openings shall be carefully considered, particularly for buildings in retail use and shall

- impart a sense of human scale. The city architect states that the windows of this building are arranged and sized appropriately.
6. DGR Section 6(I)(A)(6) states that all visible elevations of a building must receive similar treatments in style, materials and design so that no visible side is of a lesser character than any other.
 - o The city architect has reviewed the elevations and is okay with the blank facades as long as the brick panels are recessed by ½ inch consistently around the entire building. Staff recommends a condition of approval that the brick panels are recessed by 1.2 inches on all four sides of the building (condition #3)
 7. DGR Section 6(I)(A)(12) states that buildings shall have active and operable front doors along all public and private streets. The convenience store fronts onto Mink Street and Innovation Campus Way on the south side. The building is designed with an active and operable front door along Mink Road and the rear of the building however, the applicant is not providing an active and operable door on the Innovation Campus Way elevation. The applicant requests a variance to eliminate this requirement for the south elevation of the building which is evaluated under a separate staff report.
 8. C.O. 1171.05(b) states that all trash and garbage container systems must be screened, not be located in front yards and meet the minimum required pavement setbacks. The applicant proposes to install a dumpster enclosure at the rear of the parking area, within the pavement setback and it will be completely screened with a dumpster enclosure therefore these requirements are being met.

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. An 8' asphalt leisure path is already installed along the Mink Street and Innovation Campus Way site frontages.
2. Per zoning requirements, a four-board horse fence is required to be installed along Mink Street and Innovation Campus Way. The applicant proposes to install the fences on these street frontages however, it's unclear if the proposed horse fence along Mink Street is proposed for the entirety of the road frontage. Staff recommends a condition of approval that the proposed horse fence along Mink Street is the entire property line, unless the lot is split (condition #4).
3. Per zoning text requirements II(F)(1) a minimum of 10 trees per 100 lineal feet must be installed within the required setback area along Mink Street. The applicant states they are meeting this requirement by providing 85 trees along their 846 feet of frontage on Mink Street however the plans do not show 85 trees. Staff recommends a condition of approval that the applicant must provide 85 trees within the required minimum pavement setback along Mink Street unless the lot is split, then the applicant only needs to provide 10 trees per 100 linear feet of their property line (condition #5).
4. Per zoning text requirement II(F)(3), a minimum 4-foot-tall landscape buffer must be provided to screen parking areas along all public rights of way. The proposed landscape plan shows that a 4-foot-tall landscape buffer will be installed along the parking areas that are along public rights of way, therefore this requirement is being met.
5. Per zoning text requirement II(F)(5), a street row shall be established along publicly dedicated right-of-way and shall contain 3 trees for every 100 feet of road frontage. There are existing street trees along Mink Street that count toward this requirement however, street trees are not shown on the landscape plans. Staff recommends a condition of approval that street trees are added to both Mink Street and Innovation Campus Way frontages at the rate of 3 trees for every 100 feet of road frontage. If the lot is split then the applicant only needs to provide street trees along their property line on Mink Street (condition #6).
6. Codified Ordinance 1171.06(a)(3) requires one tree per 10 parking spaces to be installed in the parking lot. The applicant is providing 36 parking spaces thereby requiring 4 trees and this requirement is met.
7. Codified Ordinance 1171(5)(e) requires parking lots over fifty thousand (50,000) square feet: A minimum of one tree for every five thousand (5,000) square feet of ground coverage and a total tree planting equal to twenty-five (25) inches plus one-half inch in

tree trunk size for every four thousand (4,000) square feet over fifty thousand (50,000) square feet in ground coverage. The applicant states that the parking lot and building is approximately 321,423 sq. ft. requiring 65 trees at 59" total caliber (CAL). The applicant states that existing trees onsite are meeting this requirement however, it is unclear how many trees and caliber are provided. Staff recommends a condition of approval that the applicant meets Codified Ordinance 1171(5)(3) and provides the specific number of required trees and caliber on the landscaping plans (condition #7).

8. The City Landscape Architect reviewed the proposal and has the same landscaping comments as city staff.

E. Lighting & Signage

1. Zoning text section II(G) requires all parking lot light poles to be downcast and use cut-off type fixtures in order to minimize light spilling beyond the boundaries of the site. Site lighting is proposed to be down cast, but not cut-off. A detailed photometric plan was submitted showing no light spillage from this site onto Mink Street, Innovation Campus Way, and other properties within this zoning district
2. Zoning text section II(H)(3) states that all parking lot poles within the entire zoning district shall be black or New Albany Green, be constructed of metal and not exceed 30 feet in height. The applicant proposes to use 30-foot tall parking lot light poles that are black.
3. As part of this final development plan application, the applicant has submitted a sign plan for the site. The applicant proposes to install four wall signs: two on the Mink Street Road elevation, one on the south elevation, and one on the north (rear elevation). The applicant proposes to install two monument signs, one along Mink Street and one along Innovation Campus Way. Additionally, canopy signs are proposed at both the entrances. Lastly, three directional signs are proposed at the access points into the site.
4. The proposal does include internal "do not enter signs" for semitrucks as well as signage on the rear canopy indicating the enter and exit for the gas pumps. These signs are unregulated and are not evaluated under this staff report.
5. The two canopies above the entrances into the convenience store say "Welcome" in vinyl lettering which is not permitted. Staff recommends a condition of approval to remove "Welcome" from the canopy signs, as vinyl is not an approved material and to minimize excessive signage. (condition #8).
6. The applicant proposes to install three directional signs at the proposed entrances to the site.
 - o Two of the signs say "Speedway" with the logo and directional arrow.
 - o One sign includes the logo and "trucks" with a directional arrow.
 - o The signs are 5 feet tall and 6 sq. ft. in size which exceeds the permitted height and size requirements. The applicant requests a variance to exceed the required height and square footage for directional signs which is evaluated under a separate staff report.

Wall Signs

- The zoning text and C.O. 1169.15(d) permits a wall sign on each building frontage either on a public or private road, with 1 square foot in area per linear square foot of building frontage, not to exceed 50 square feet.

Mink Street Elevation Wall Sign - "Speedway"

- a. Area: 25 sq. ft. [meets code]
- b. Lettering Height: 23.5 [meets code]
- c. Location: Mink Street elevation
- d. Lighting: internal illumination [meets code]
- e. Relief: 5" [meets code]
- f. Color: one color [meets code]
- g. Materials: aluminum [meets code]

Mink Street Elevation and Innovation Campus Way Wall Signs “S”

Speedway Logo

- a. Area: 31.1 sq. ft. [meets code]
- b. Lettering Height: N/A [logo]
- c. Location: on the Mink Street and Innovation Campus Way elevations [meets code]
- d. Lighting: internal illumination [meets code]
- e. Relief: 6” [meets code]
- f. Color: three colors [meets code]
- g. Materials: polycarbonate [meets code]

Rear Elevation Wall Sign “S” Speedway Logo

- a. Area: 19.9 sq. ft. [meets code]
- b. Lettering Height: N/A [logo]
- c. Location: on the rear elevation [meets code]
- d. Lighting: internal illumination [meets code]
- e. Relief: 6” [meets code]
- f. Color: three colors color [meets code]
- g. Materials: polycarbonate [meets code]

Retail only allows one sign per business frontage. The site has two proposed frontages and therefore, two wall signs are permitted. The applicant is proposing 4 wall signs and a variance has been requested which evaluated under a separate staff report.

Ground Mounted Signs

The applicant proposes to install two monument signs: one along Mink Street and one along Innovation Campus Way. The monument signs shall be consistent with the specifications found in the New Albany Innovation Campus Way Design Guidelines, as adopted by the Planning Commission. The applicant is meeting a majority of the recommendations of the sign plan however there are some revisions needed, such as relocating the address off the brick base and underneath “Speedway.” Staff recommends a condition of approval that the address numbers be relocated on the face of the sign and the lighting be revised to a ground-mounted up light. (condition #9).

- a. Area: 38.8 square feet [meet code]
 - b. Location: One perpendicular to Mink Street and Innovation Campus Way [meets code]
 - c. Lighting: internally illuminated on the logo side [does not meet code].
 - d. Relief: 8 inches [meets code]
 - e. Colors: Black, green, red, white (total of 4) [meets code].
 - f. Materials: Brick with a precast cap [meets code]
- The sign will feature the company logo and provide gas pricing information. The gas prices are to be changeable price plates and not automatic.

IV. ENGINEER’S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition #10).

1. As commented on previously please add site distance triangles at each curb cut shown on sheet L1.0 and remove impediments to motorist view.

2. We will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available.

V. SUMMARY

The proposal is meeting many of the goals of the Engage New Albany Strategic Plan such as providing pedestrian access along roadways into the site and utilizing high quality building materials. However, the brick should be a naturalized color to be consistent with similar retail uses within New Albany. Although the site is auto-oriented and must adequately serve large fueling trucks, it appears there is an opportunity to reduce the pavement without negatively affecting trucks ability to safely navigate the site.

The proposed development is in an appropriate location given the context of the surrounding area and will serve as an amenity for the New Albany Business Park. The proposed building and fuel canopy are well designed, with the recommended conditions of approval, and the use is appropriate given the surrounding commercially zoned area.

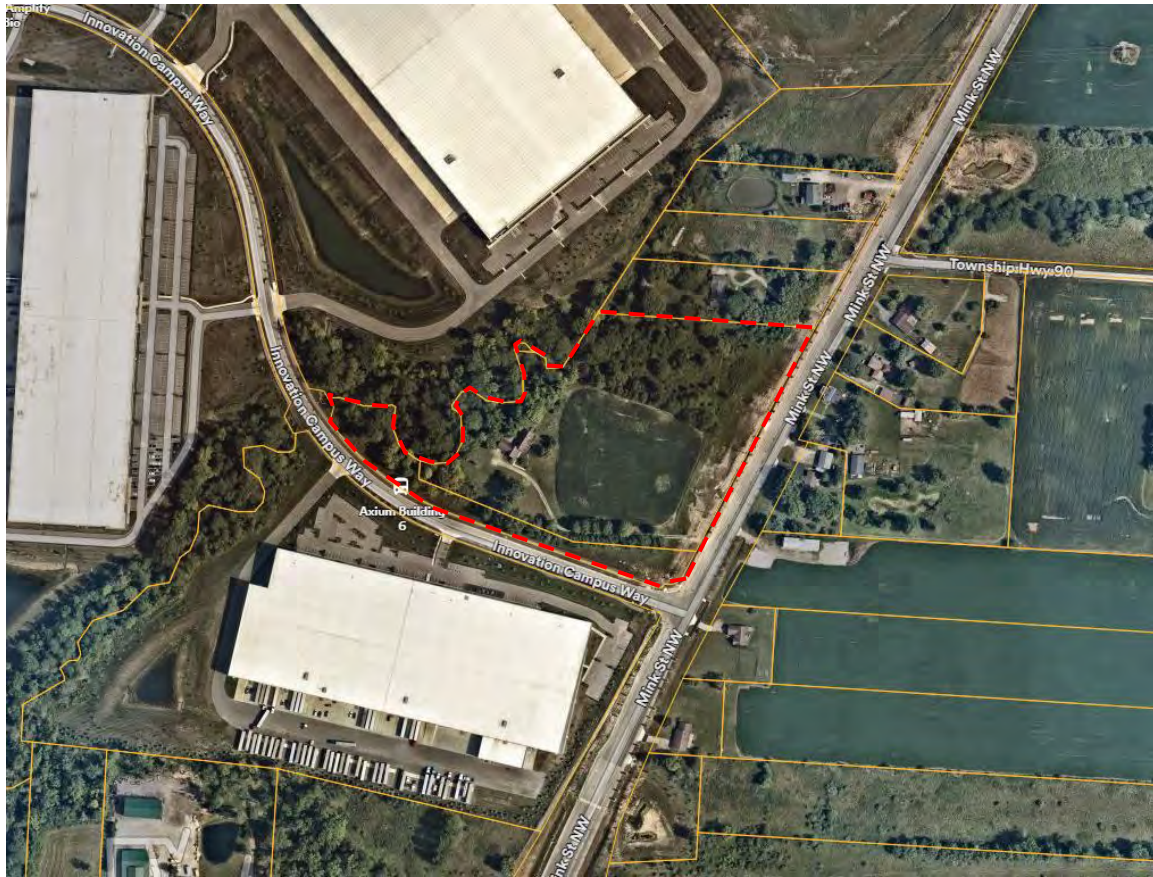
V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application FDP-03-2025, subject to the following conditions:

1. All internal drive aisles must be reduced to 30 feet wide.
2. That the proposed black brick be revised to a natural colored brick, subject to staff approval
3. The brick panels are recessed by ½ inch on all four sides of the building.
4. That the proposed horse fence along Mink Street is the entire property line unless the lot is split.
5. That the applicant must provide 85 trees within the required minimum pavement setback along Mink Street unless the lot is split then the applicant only needs to provide 10 trees per 100 linear feet of their property line.
6. Street trees are added to both Mink Street and Innovation Campus Way frontages at the rate of 3 trees for every 100 feet of road frontage. If the lot is split then the applicant only needs to provide street trees along their property line on Mink Street.
7. That the applicant meets Codified Ordinance 1171(5)(3) and provides the specific number of required trees and caliper on the landscaping plans.
8. Remove "Welcome" from the canopy signs, as vinyl is not an approved material and to minimize excessive signage.
9. That the address numbers be relocated on the face of the monument sign and the lighting be revised to be a ground-mounted up light.
10. The city engineer's comments must be addressed, subject to staff approval.

Approximate Site Location



Source: NearMaps

Permit # _____
Board _____
Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>T.B.D. N.W.C. Mink Road at Innovation Campus Way, New Albany, Ohio 43056</u>																																																												
	Parcel Numbers <u>093-107478-00.002 (To be split)</u>																																																												
	Acres <u>7.38</u> # of lots created _____																																																												
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<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification																																																										
	Description of Request: <u>Proposal to construct a 4,900 square foot, one-story, convenience store, unleaded fuel canopy, diesel fuel canopy and trash enclosure with enclosed storage. Site improvements include vehicular access, parking, landscape, hardscape, monument signs and horse fence.</u>																																																												
Contacts	Property Owner's Name: <u>MBJ Holdings LLC, c/o Jamie McNally</u>																																																												
	Address: <u>8000 Walton Parkway, Suite 120</u>																																																												
	City, State, Zip: <u>New Albany, Ohio 43054</u>																																																												
	Phone number: <u>614-939-8000</u> Fax: _____																																																												
	Email: <u>jmcnally@newalbanycompany.com</u>																																																												
	Applicant's Name: <u>Carter Bean / J. Carter Bean Architect LLC</u>																																																												
	Address: <u>4400 N. High St., Ste. 401</u>																																																												
	City, State, Zip: <u>Columbus, Ohio 43214</u>																																																												
	Phone number: <u>614-595-2285</u> Fax: _____																																																												
	Email: <u>carter@beanarchitects.com</u>																																																												
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																																																												
	Signature of Owner <u>J. J. Regan, Director of Development</u> Date: <u>12-18-25</u> Signature of Applicant <u>[Signature]</u> Date: <u>12-20-24</u>																																																												

January 17, 2025

Updated January 31, 2025

Ms. Sierra Saumenig
Planner I
City of New Albany
Community Development Department
7815 Walton Parkway
New Albany, Ohio 43054

Re: 7-Eleven New Albany North
NWC Mink Street and Innovation Campus Way
New Albany, Ohio 43054

Dear Ms. Saumenig,

For your reference, as you continue to review our Final Development Plan application, the following is an item-by-item response to preliminary Staff comments received on December 31, 2025, which have been addressed.

Please note: New comments issued by Staff on December 24, 2025 appear at end of list):

General/Site Plan Comments:

1. Re-label “parking” setback to “pavement” setback.
Response: Comment has been addressed in plans.
2. Per the development text (attached), C(10) – canopies associated with gas stations shall be deemed buildings. This will need to meet the 100’ building setback and it does not appear it is.
Response: Site plan has been adjusted so that fuel canopy respects the 100’ building setback.
3. Please see C(4) and adjust the site plan with the appropriate riparian setbacks.
Response: Comment has been addressed in plans.
4. Just a reminder overnight truck parking is not permitted. Will there be signs?
Response: Overnight truck parking is not intended. Signage shall be posted at diesel pumps and owner/operator will enforce this policy.
5. Where do semi-trucks park? It doesn’t appear there is trucking parking spaces.
Response: Semi trucks may pull forward from pumps and temporarily park at stop bar, so that drivers may utilize c-store services.
6. Please label right of way width for Innovation Campus Way which is 30 feet from centerline.
Response: Comment has been addressed in plans.
7. Please label maneuvering lane widths as they appear large.
Response: All maneuvering lane widths have been labeled. Furthermore, they have been designed per operational standards established by 7-Eleven / Speedway based upon internal traffic safety evaluation and experience.

8. Parking – it appears there is enough parking however it should be for both gas station and retail shopping center. Staff is still evaluating this. The code does not consider convenience and restaurants associated with gas stations. Also, there doesn't appear to be service bays? Where are these?

Response: There are no service bays. Based upon other fuel developments in the City of New Albany, parking has been calculated at 1 parking space per 200 s.f. of building area + 1 parking space per 2 fuel dispensers + 1 parking space per employee on largest shift.

9. According to C.O. 1167.06(a)(2) the applicant is required to provide one off street loading space.

Response: A 12' x 30' off street loading space has been added to plans, west of c-store. The remaining drive aisle width, between loading space and building, meets the City's minimum width requirement.

10. Per F(6) – internal pedestrian circulation shall be created so that a pedestrian using a public sidewalk or leisure trail can access the building through the parking lot. This can be achieved with markings, crosswalks, or different materials.

Response: A pedestrian connection from Innovation Campus Way to the c-store has been shown. Additionally, a pedestrian connection from c-store to diesel canopy has also been shown.

11. Provide proper screening of transformer in proposed location on site. Resubmit plan for review. See below. Per the City of New Albany Codified Ordinances Chapter 1144.04 - Development Standards, Utilities (I) Transformers may be placed above ground, but must be clustered and screened from view. Update plans to properly adhere to screening requirements.

Response: Screening has been added around transformer and water service hot box.

12. Provide proposed sign elevations that adhere to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany. Resubmit plans for review.

Response: Signage design package has been included herein.

13. Limit commercial vehicle drive access to one entrance and exit on Innovation Way (see label 'A'). Reduce remaining drive access roads (see labels 'B' and 'C') to a standard width of 22'. See below.

Response: Commercial vehicle access is limited to the western curb cut on Innovation Campus Way. All drive aisles have been designed according to 7-Eleven / Speedway standards, based on internal traffic safety evaluation and experience.

Landscaping:

Please note, all landscaping requirements must be met individually. Trees/landscaping used to meet one requirement cannot be used again to satisfy a different requirement.

14. Per C.O. 1171.05(e), the minimum tree requirement must be met. The plan states street trees and parking lot landscaping meets this. This must be met separately from those requirements.

Response: This requirement has been met through existing trees on site and noted accordingly on updated plans.

15. Please review Section F(1) for Mink Street landscaping. Within the pavement setback, there shall be 10 deciduous trees installed for every 100 feet of frontage. These trees should be planted in random locations and no more than 30% of a single species.

Response: Deciduous trees have been added to meet this requirement and no one species accounts for more than thirty (30) percent.

16. Please review Section F(5) for street tree requirements. There shall be 3 trees for every 100 feet. Revise plans to reflect this.

Response: Landscape plan has been revised to meet this requirement.

17. Please ensure parking lot buffering is a minimum of 4 feet in height, 75% opacity.

Response: Landscape plan has been updated to account for and show this revision.

18. Revise proposed planting plan to adhere to the following. Per Mink Interchange Zoning District Text, Section F, (1)(a) Landscaping Along Mink Street - Within the required minimum pavement setbacks along Mink Street a minimum of ten (10) deciduous trees shall be installed for every 100 feet of frontage on the public right-of-way. Such trees shall be planted in random locations (i.e. not in rows). No more than 30% of such trees shall be of a single species.

Response: Same as comment #15

19. Revise proposed planting plan to adhere to the following. Per Mink Interchange Zoning District Text, Section F, (3) Screening of Parking - A landscape buffer to screen parking areas shall be located within the pavement setback along all public rights-of-way. This buffer may contain landscape material, mounding, or a combination of both and shall have a minimum height of 4 feet and a minimum opacity of 75%.

Response: Same as comment #17

20. Revise proposed planting plan to adhere to the following. Per Mink Interchange Zoning District Text, Section F, (7) Minimum On-Site Tree Sizes - Unless otherwise set forth in this zoning text, minimum shrub size at time of installation shall be no less than thirty (30) inches in height.

Response: All shrubs used outside of the parking lot have been updated accordingly; any shrubs used in the parking lot have been noted as less than two (2) feet in height per C.O. 1171.06(a)(4) "...and the remaining areas shall be landscaped with shrubs, or ground cover, not to exceed two (2) feet in height."

21. Revise the proposed planting plan to include increased plant material at the landscape beds noted below. Per the City of New Albany Codified Ordinances Chapter 1171.06 - Parking Lot Landscaping, (a)(4) - Trees used in parking lot islands shall have a clear trunk of at least five (5) feet above the ground, and the remaining areas shall be landscaped with shrubs, or ground cover, not to exceed two (2) feet in height.

Response: Trees in parking lots are single-trunk only and shrubs in parking lots updated as noted in comment 20.

22. Stormwater basin to be seeded and include deciduous shade trees. Reference Tree Grouping Standards below. Revise proposed planting plan to adhere to the following. Per the City of New Albany Codified Ordinances Chapter 1171.08 - Wet and Dry Stormwater Basins, (e) - Landscape treatments at the perimeter of wet and dry stormwater basins shall be designed either with maintained turf to the pond's edge or a naturalized planting of native landscape material, subject to approval of the Village Landscape Architect. The landscape plantings shall be in large masses and drifts, and shall not include decorative landscape boulders, large mulch beds, or specimen plantings. Under no circumstances shall the landscape design conflict with any of the safety, maintenance, or engineering requirements set forth in the codified ordinances or reference documents.

Response: Landscape plan has been revised accordingly.

Architecture:

23. New Albany Design Guidelines and Requirements Section 6(I)(A)(12) states that buildings shall have operable and active front doors along all public and private roads. As proposed, there are no active and operable front doors along the north and south elevations which can be seen from the right of way. Service doors cannot be counted towards meeting this requirement. Please revise and resubmit the drawings.

Response: The north elevation of the building faces, neither, a public nor private road. A variance has been requested for the south elevation, which faces Innovation Campus Way.

24. The city architect commented on the project and staff would want to see a more natural red brick in lieu of the black brick.

Response: Black brick has been approved by Design Review Committee and, to our understanding, complies with City Codified Ordinance. Furthermore, the material palette is complimentary to surrounding structures, namely the Axium Packaging facility to the south.

25. Confirm that the windows are not reflective or glazed glass.

Response: A note has been added to the building elevations indicating that glazing shall be clear, non-reflective.

26. Please provide a roof plan showing all rooftop equipment and the height of them being proposed. Zoning text section III(C)(4)(c) and (d) requires complete screening of all roof equipment to buffer sound and provide 100% visual screening. It appears this is being achieved but I would note on the plans.

Response: A roof plan has been added. Additionally, building sections are included to show compliance with screening of rooftop equipment.

27. Please remove the red stripe from the gas canopies.

Response: Red stripe has been approved by the Design Review Committee and, to our understanding, complies with City Codified Ordinance.

28. There are elevations that have blank walls, please revise to add features such as windows and operable doors.

Response: Walls that do not include windows and operable doors have been adorned with pilasters and paneling in the brick veneer to add interest.

29. Are there ice machines in the front facing Mink Street? It looks like it is based on site plan.

Response: Ice and propane merchandisers are on the west, rear, side of the building with masonry screen walls on north and south sides of fixtures.

Sign Comments:

30. A sign package was not submitted however based on the renderings it appears there are six wall signs. Per C.O 1169(d) – retail uses may have one sign per building frontage. This site has two frontages therefore, two wall signs are permitted.

Response: Sign package has been included herein.

31. Please ensure awning signage is meeting 1169(g).

Response: I believe the correct section to reference is 1169.16(c) Canopy signs. As such, the limitation on size of said signage is 95% of canopy face.

32. Ensure a complete wall sign package is submitted including dimensions, colors, shown on the elevations, etc. Staff cannot fully evaluate signage without a plan.

Response: Sign package has been included herein.

Lighting Comments:

33. Please ensure light poles are not over 30 feet. Please note this on plans. Also when you resubmit we do not need every lighting spec page.

Response: The photometric plan indicates that parking lot lights are mounted at 30'.

Engineering Comments:

34. Refer to Exhibit A attached. Add a cover sheet that shows the notes and the title block depicted on this exhibit.

Response: Requested notes have been added to site plan.

35. Refer to sheet C1.0. Show stop signs and stop bars at all curb cuts and provide concrete approaches within r/w at each curb cut.

Response: Stop signs and stop bars have been added at all curb cuts and concrete approaches have been shown.

36. Recommend that the pork chop design where proposed limit turning movements to RI/RO only. We will look at the pork chop design more closely once construction plans are available.

Response: Project civil engineer will work with City engineer during construction documentation and City review.

37. Refer to sheet C1.2. Add the Monroe FD fire truck template to this sheet and obtain approval from the fire department for all fire truck turning movements. Obtain FD approval for all other fire protection details.

Response: Project civil engineer will work with Monroe Fire Department to obtain approval.

38. Provide cross access easement documentation for staff review and approval. Refer to sheet C1.3 for the location of the proposed cross access easement.

Response: Owner will establish and file a formal cross access easement during construction documentation and City review.

39. Please show the 100 year water surface elevation for the basin shown on sheet C1.4 and ensure that there is adequate free board relative to adjacent structures. Obtain staff approval for all other basin details.

Response: 100 year water surface elevation has been indicated on plans.

40. Clearly show the stream corridor protection zone (SCPZ) on sheet C1.4 and relocate the storm sewer and end wall outside of the SCPZ limits.

Response: Stream corridor protection zone has been clearly shown on plans.

41. Recommend that screening be provided for the proposed heated enclosure shown on sheet C1.4.

Response: Screening has been added to the landscape plan.

42. Add a major flood routing arrow to the legend shown on sheet C1.4 and show major flood routing in plan view. Show grade breaks at each curb cut and limit the amount of surface runoff that gets directed to the public roads.

Response: Major flood routing arrows have been added to the plans.

43. Obtain staff approval for the photometrics plan. The footcandle intensities currently shown at the car/truck side areas should be reduced to the greatest extent practical.

Response: Photometric plan has been provided for review.

44. Add site distance triangles at each curb cut shown on sheet L1.0 and remove impediments to motorist view.

Response: Sight distance triangles have been shown at each curb cut.

45. We will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available.

Response: Acknowledged.

UPDATED COMMENTS ISSUED BY STAFF ON JANUARY 24, 2025 ARE AS FOLLOWS:

General/Site Plan/Architectural Comments (1/24/25):

1. Staff and the City architect are not supportive of the black brick. We will be conditioning in the Staff report that this be changed to a more traditional and natural colored brick.

Response: Acknowledged. We will bring physical samples of the proposed brick to Planning Commission meeting for further discussion. We feel that the proposed brick is in line with the intent of the zoning ordinance, which promotes design and materials that are complimentary to surrounding structures. The most applicable surrounding structure, being the most recently constructed and therefore setting aesthetic precedence moving forward, is the Axiom building, located immediately to the south of this site. As expressed in our 'Architectural Justification' statement for this project, the brick and wood materials proposed in our application have been selected with specific intent to compliment Axiom, and feel that a 'traditional and natural colored brick', would not compliment.



2. Please label the Riparian setback on the site plan (75' from c/l of stream).

Response: Riparian setback and conservation easement are now shown on site plans.

3. Please revise the measurements of the maneuvering lanes to be from edge of parking space to edge of canopy. These seem large. We conditioned Duke and Duchess to have 30' internal drive aisle widths and that would be the same case here.

Response: Measurements for maneuvering lanes have been added from edge of parking spaces to edge of canopy.

4. Where did the service door go on the south elevation?

Response: For our current resubmission, it was determined that the restaurant component would be removed from the c-store. In doing so, we are utilizing a smaller, prototypical building footprint, which has a different interior layout. As such, the updated interior layout does not provide for the ability to have a door (service or otherwise) on the south elevation. Therefore, a variance request has been submitted.

5. Staff is not supportive of the variance to not have a door on the façade facing ICW. At the very least there needs to be windows or some inviting feature (like Dunkin' Donuts on 62 has).
- a. Duke and Duchess and Sheetz have operable doors facing the street on their side facades

Response: Duke and Duchess interior layouts did allow for doors to be provided toward secondary frontage. Unfortunately, the Speedway layout does not. The introduction of architectural elements on the south face of the building, while possible, may not result in being 'inviting', as they would be faux. Our hope is that the honest presentation of nicely detailed brick and wood on the south elevation will suffice. A variance request has been submitted regarding the lack of an 'active and operable entrance' facing Innovation Campus Way.

6. Per the traffic engineer – "As a review comment, for the RIRO along Mink, they show a 17.5' dimension which partially obscures the RIRO and makes it difficult to see the RIRO. Having the RIRO labelled as a RIRO helps. But suggest they shift that dimension to make the RIRO linework more clear."

Response: Drafting has been cleaned up so that the 17.5' dimension is no longer obscured by 'RIRO' label.

Site / Landscaping Comments (1/24/25):

7. Reduce the proposed drive access roads to a standard width of 22'.

Response: As is typical with fuel / c-store facilities, the on-site vehicular activity can be intense. Through years of experience, Speedway has determined the appropriate widths that result in the safest condition for vehicles and pedestrians. The reduction in drive aisle widths would push more activity into a smaller amount of space creating an increased likelihood of hazards for customers. We respectfully ask to maintain the drive aisle dimensions proposed to reduce the chances of unwanted issues.

8. Revise the proposed planting plan to reflect proper screening at the corner of Mink Street and Innovation Campus Way. Resubmit updated plan for review

Response: We feel that we meet the requirements for Ordinance-required buffer landscaping, as the appropriate number of trees per-linear-foot for each frontage have been provided. However, we do not see a requirement in the Ordinance for even disbursement of the buffer landscaping across each frontage.

9. Replace the proposed River Birch with an approved deciduous shade tree.

Response: The 'River Birch' has been replaced with 'Common Hackberry'.

10. Skyrocket Juniper is highly susceptible to Phomopsis. Replace the use of Skyrocket Juniper with updated plant material(s) that meets screening requirements.

Response: The 'Skyrocket Juniper' has been replaced with 'Hicks Yew'.

11. Remove the proposed grasses at the stormwater basin. Provide a 2' mow strip along the outside edge of the basin, maintaining the proposed seed mix on its interior.

Response: Shrubs and grasses have been removed and 2' mow strip has been updated and shown on landscape plan.

12. Provide approved deciduous shade trees along the northwestern edge of the proposed drive access.

Response: Trees have been added to landscape plan.

13. American Sycamore is highly susceptible to Anthracnose. Replace the use of American Sycamore with an approved deciduous shade tree(s).

Response: The 'American Sycamore' has been replaced with 'American Beech'.

Engineering Comments (1/24/25):

14. As commented on previously please add site distance triangles at each curb cut shown on sheet L1.0 and remove impediments to motorist view

Response: Sight distance triangles have been added to the landscape plan.

15. We will evaluate storm water management, sanitary sewer collection and roadway construction related details once detailed construction plans become available.

Response: Acknowledged

Thank you for your review and assistance throughout this process. Please let us know if any of our modifications require additional attention. Furthermore, we will continue to address additional comments as they arise.

Sincerely,



J. Carter Bean



THE NEW ALBANY COMPANY

December 18, 2024

Mr. Steve Mayer
City of New Albany
Community Development Partner
99 W. Main Street
New Albany, Ohio 43054

Re: New Construction of Convenience store, unleaded fuel canopy & diesel fuel canopy
Parcel: 093-107478-00.002 (parcel to be split)
Smith's Mill Road, New Albany, Ohio 43056
Final Development Plan Application

Mr. Mayer,

This letter will serve to confirm MJB Holdings LLC, an affiliate of The New Albany Company, has entered into a contract to sell a portion of Parcel 093-107478-00.002 (parcel to be split), a +/- 7.38 acre site located northwest of the Innovation Campus Way & Mink Road intersection, for the development of a 5,450 square foot, one-story, convenience store, unleaded fuel canopy, diesel fuel canopy and trash enclosure with enclosed storage. Site improvements include vehicular access, parking, landscape, hardscape, monument signs and horse fence. Gallas Zadeh Development, or an affiliate, will be acquiring the property from MJB Holdings LLC.

Pursuant to the terms of the contract, J. Carter Bean Architects, as the architect for Gallas Zadeh Development is authorized to submit a Final Development Plan Application to the City of New Albany Planning Commission pertaining to the land under contract and the proposed development thereon.

Thank you for your consideration and please don't hesitate to contact me with any questions.

Sincerely,

Tom Rubey
Director of Development

J. CARTER BEAN

A R C H I T E C T

December 20, 2024

Ms. Sierra Saumenig
Planner I

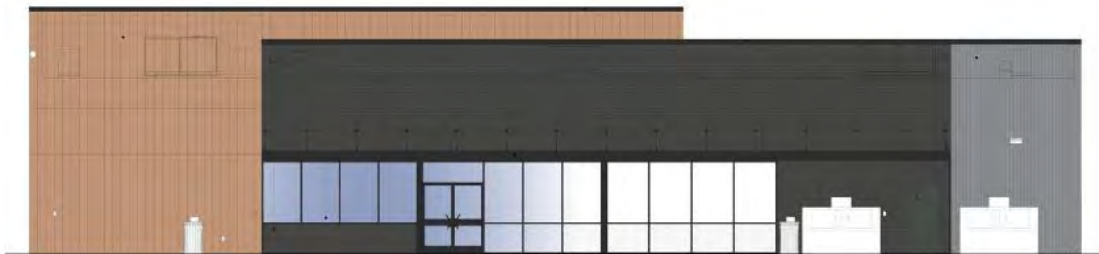
City of New Albany – Community Development
7815 Walton Parkway
New Albany, Ohio 43054

Re: 7-Eleven New Albany North
Design Concept Review

Dear Sierra,

For your consideration, please find our Final Development Plan application for a proposed 7-Eleven / Speedway at Mink Road & Innovation Campus Way attached herein. The following is our design justification for this development:

While utilizing the prototypical massing and composition of a standard Speedway facility as our starting point, we've referenced design vocabulary of the Axiom Packaging facility to begin our alterations.



PROTOTYPICAL ELEVATION



AXIUM PACKAGING

Given the asymmetrical and contemporary style of Axium, the composition of a prototypical Speedway seemed appropriate. However, we have introduced additional detailing to the façades to add interest and break up uninterrupted elevations. Such moves include:

- a. Smaller, punched window openings, as opposed to large storefront;
- b. Added brick detailing, such as pilasters, banding and paneling;
- c. Parapet height has been increased to ensure full screening of rooftop equipment.

Furthermore, we have applied a similar design ‘story’ that we’ve previously used in New Albany. This is one of an older, existing building (the brick element) that has been adaptively renovated for modern-day use. In said renovation, the more contemporary wood element would have been added at a later date.

For our material selections, we intend to use a soft-edged charcoal-colored brick and mortar along with natural, thermally-modified wood siding.

In addition to these building design modifications, we’ve also addressed typical site concerns, such as:

- d. Outdoor merchandising of ice and propane have been located at the rear (west) side of the store and masonry wing walls are included;
- e. A curbed condition has been created on the north, west and south sides of the building to eliminate protective bollards on those three sides. The east elevation does retain a flush condition for ADA and ease of access, so bollards have been included accordingly;
- f. The ‘islands’ at the four corners of the building have been landscaped;
- g. Foundation plantings have been introduced at the southeast corner of the c-store;
- h. Leisure trail has been included on both frontages;
- i. Horse fence has been included on both frontages. Please note: The Innovation Way Design Guidelines do require that monument signs be oriented parallel to the horse fence. However, we have shown them to be perpendicular, as is typical with fuel uses. Visibility of the pricers is, of course, of utmost importance and legally required. We have also deviated from the standard association of leisure trail and horse fence, in that the separation between the two exceeds requirements. This deviation is a result of placing the monument signs such that they are outside of multiple utility easements running along each frontage combined with the need to maintain sightlines to the monument signage.
- j. Landscape buffers have been included along both frontages as required by the Innovation Way Design Guidelines at a rate of 10 trees per 100 linear feet of frontage.

At this time, we respectfully request Staff review of this package so that we may address comments and define needed variances.

Please do not hesitate to reach out to discuss our submission during your review. Thank you, in advance, for your assistance.

Best regards,



J. Carter Bean

**Mink Street Land Company, LLC
8000 Walton Parkway, Suite 200
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**City of New Albany
Community Development Dept.
Attn: Ms. Sierra Saumenig
7815 Walton Parkway
New Albany, Ohio 43054**

**Mark L. Lester Sr.
Revocable Living Trust
1838 Mink Street
Johnstown, Ohio 43031**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**COI New Albany 525 LLC
950 Goodale Blvd., Ste. 100
Columbus, Ohio 43212**

**GZD Development
Attn: Mr. Jason Zadeh
1317 West Third Avenue
Columbus, Ohio 43212**

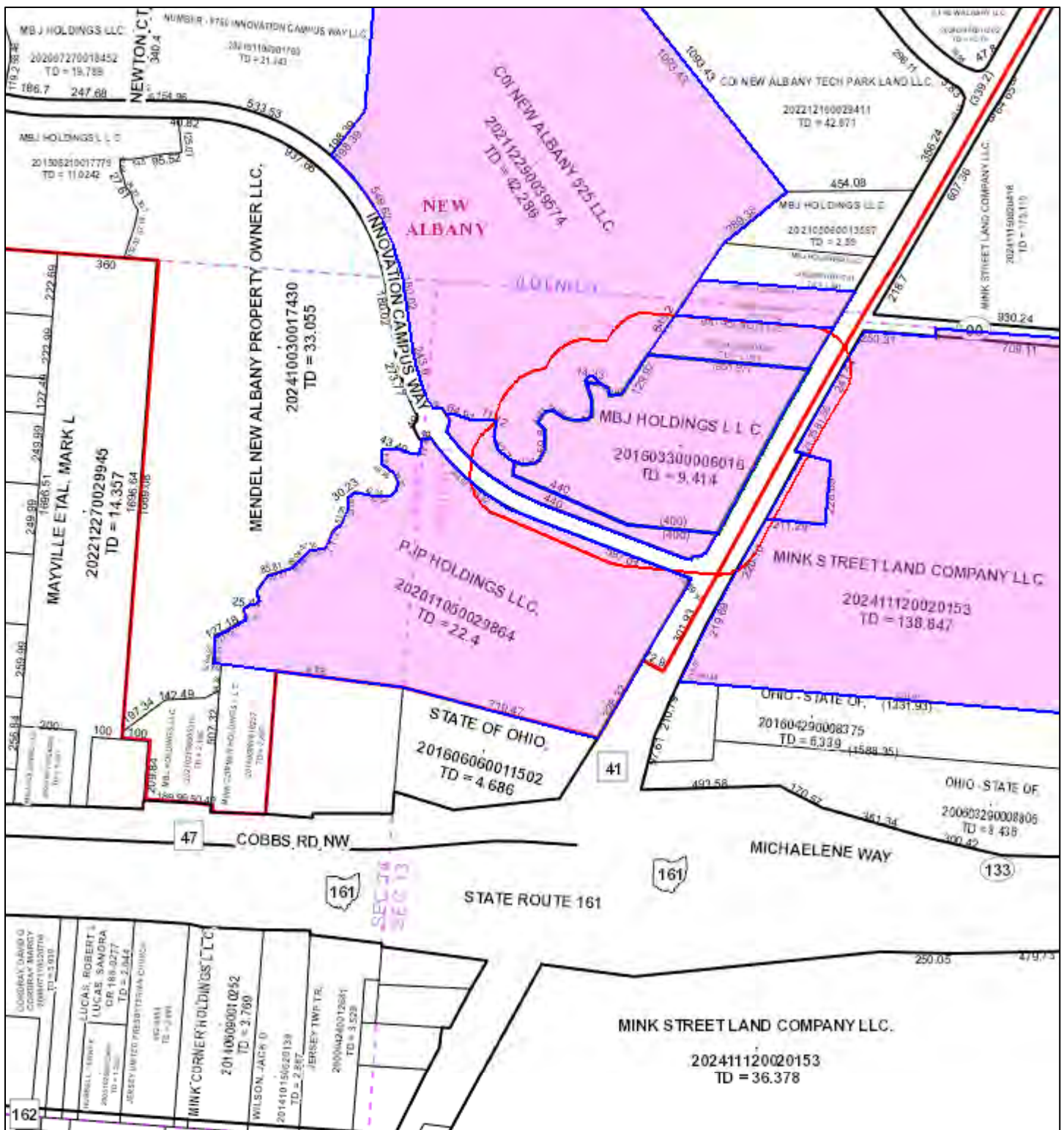
**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

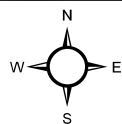
**PJP Holdings LLC
9005 Smiths Mill Road
New Albany, Ohio 43054**

**Carter Bean
J. Carter Bean Architect
4400 N. High St., Ste. 401
Columbus, Ohio 43214**

Parcel Number	Engineer PIN	OWNER1	OWNER2	Address	City	State	Zip Code
035-106518-00.000"	021500007000000003000""	MINK STREET LAND COMPANY LLC,	,	8000 WALTON PKWY STE 200	NEW ALBANY	OH	43054
035-107490-01.004"	021511050000000006000""	MARK L LESTER SR REVOCABLE LIVING TRUST,	,	1838 MINK ST	JOHNSTOWN	OH	43031
093-107478-00.002"	0215000050000000050200""	MBJ HOLDINGS L L C,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107478-00.000"	0215000050000000050000""	MBJ HOLDINGS L L C,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107490-00.000"	021500004000000106000""	MBJ HOLDINGS L L C,	MB J HOLDINGS L L C,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
095-112080-02.001"	021500004000000099100""	C01 NEW ALBANY 525 LLC,	,	950 GOODALE BLVD STE 100	COLUMBUS	OH	43212
093-107478-00.001"	0215000050000000050300""	PIP HOLDINGS LLC,	,	9005 SMITHS MILL RD	NEW ALBANY	OH	43054
093-107490-03.001"	02151105000000001000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107490-03.003"	0215000050000000052100""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054



December 18, 2024

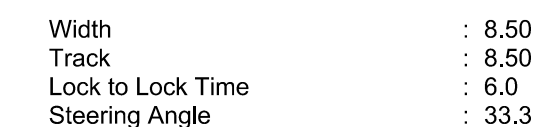


0 500 Feet
0.09 Miles

LICKING COUNTY TAX MAP

Property Report

Address		
N/A MBJ HOLDINGS L L C -- MINK ST NW		
Engineer's Pin	Owner	Auditor's PIN
02150000500000050200	N/A MBJ HOLDINGS L L C	093-107478-00.002
Tax Acreage	Deed Acreage	Official Record
9.414	11.62	201603300006016



feet

NOTES:
ALL CURB HEIGHT SHALL BE 0.5' FROM PAVEMENT GRADE
UNLESS OTHERWISE NOTED ON THE GRADING PLAN.
ALL DIMENSIONS GIVEN ARE MEASURED FROM FACE TO FACE
OF CURB.
ALL RADIUS DIMENSIONS GIVEN ARE MEASURED ALONG THE
FACE OF CURB.

PROJECT DESCRIPTION
THE GAS STATION DEVELOPMENT INCLUDES THE CONSTRUCTION OF A 4,900 SQUARE FEET SINGLE STORY BUILDING WITH FUEL PUMPS.

STORMWATER MANAGEMENT
THE STORM WATER FOR THIS PROJECT WILL BE CONTROLLED BY AN AT-GRADE DRY DETENTION BASIN TO THE WEST OF THE SITE. FINAL CALCULATIONS WILL BE SUBMITTED DURING THE FINAL ENGINEERING APPROVAL PROCESS.

MONUMENTATION
MONUMENTATION IN COMPLIANCE WITH C.O. 1159.07 (3) WILL
BE SET PRIOR TO COMPLETION OF CONSTRUCTION.

SITE DEVELOPMENT INFORMATION

ZONING:

EX. PROPERTY OWNER:	MBJ HOLDINGS LLC
EX. PROPERTY USE:	AGRICULTURE
EX. TOTAL SITE ACREAGE:	11.10 AC.
EX. ZONING	IPUD, INFILL PLANNED UNITY DEVELOPMENT
PROP. PROPERTY USE:	CONVENIENCE STORE / RESTAURANT WITH FUEL SERVICE
PROP. 7-ELEVEN SITE ACREAGE:	7.38± AC.
PROP. FUTURE DEVELOPMENT ACREAGE:	3.72± AC.

EXISTING 7-ELEVEN SITE LOT COVERAGE: 0.26 ACRES (3.52%)
 PROPOSED 7-ELEVEN BUILDING COVERAGE: 0.11 ACRES (14.9%) (4900 SF)
 PROPOSED 7-ELEVEN SITE LOT COVERAGE: 3.15 ACRES (42.70%)

ADJACENT ZONING NORTH: AG, AGRICULTURAL DISTRICT
ADJACENT ZONING SOUTH: IPUD, INFILL PLANNED UNITY DEVELOPMENT
ADJACENT ZONING WEST: IPUD, INFILL PLANNED UNITY DEVELOPMENT

MBJ HOLDINGS LLC
AGRICULTURE
11.10 AC.
IPUD, INFILL PLANN
CONVENIENCE STO
7.38± AC.
3.72± AC.

CULTURAL DISTRICT
LL PLANNED UNITY DEVELOPMENT
LL PLANNED UNITY DEVELOPMENT

PARKING CALCULATIONS

AREA	SQUARE FOOTAGE	MIN. PARKING REQ'D*	TOTAL PARKING PROVIDED	PARKING RATIO
PROPOSED FUEL CENTER	4,816± S.F.	35	36	7.48/1000 S.F. 1/134 S.F.

*PER CHAPTER 1167.05 OF THE NEW ALBANY CODIFIED ORDINANCES, FOR A GASOLINE SERVICE STATION, ONE PARKING SPOT IS REQUIRED FOR EVERY 200 SF OF BUILDING AREA, (25 SPACES) ONE FOR EACH TWO GASOLINE DISPENSING UNITS, (5 SPACES) PLUS ONE FOR EACH EMPLOYEE DURING MAIN SHIFT (5 TOTAL). THERE ARE TEN DISPENSING UNITS, AND ESTIMATED 5 EMPLOYEES DURING MAIN SHIFT.

*PER ADA ACCESSIBILITY REQUIREMENTS, 2 ACCESSIBLE SPACES ARE REQUIRED AND PROVIDED.

1 ENCROACHMENT OF THE 75' STREAM PROTECTION ZONE IS PERMITTED BY SECTION C2 OF ZONING ORDINANCE O-21-2016 FOR THE FUTURE ROADWAY CROSSING


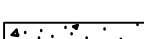
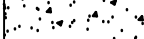


SITE STANDARDS CHART

KEY	Dimension Element	7-Eleven Standard	Site 1056127
A	Center of bollard to center of dispenser	62'	62'
B	Center of dispenser to edge of front curb with tanks	47'	N/A
C	Center of dispenser to edge of front curb without tanks	39'	39'
D	Edge of dispenser to side curb with tanks	54'	N/A
E	Edge of dispenser to side curb without tanks	46'	46'
F	Drive aisle width between the face of dispensers (in stacked position)	34'	N/A
G	Centerline dispenser spacing (in stacked position)	27'	N/A
H	Drive aisle width between the face of dispensers (in starting gate position)	25'	25'
I	Sidewalk width	8'	8'
J	Dimensions of typical parking spots	9'x20'	9'x20'
K	Dimensions of ADA parking spots	11'x20'	11'x20'
L	Dimension of ADA aisle	5'	5'
M	Ingress and egress dimension	40'	40'
N	Drive aisle width	35'	24'
	MPDs	6 MIN.	6
	Parking with restaurant	40	52
	Parking without restaurant	25	N/A
	Building prototype	SELECT OPTION	104x51 (SIPS)

SITE STANDARDS CHART

KEY	CFL Dimension Element	7-Eleven Standard	Site 1056127
O	Edge of dispenser island to edge of curb (bypass lane)	24'	24'
P	Edge of canopy slab to stopbar	80'	80'
Q	Minimum clearance from curb to truck path	8'	5'
R	Minimum clearance from inside curb to truck path with tight turn	10'	10'
S	Dimensions of typical CFL parking spots	12'x70	N/A
T	Edge of 90° straight parking to edge of curb	65'	N/A
U	Edge of 45° angled parking to edge of curb	55'	N/A
V	Sidewalk or crosswalk width to CFL area	5'	8'
W	Minimum CFL driveway	35'	35'
X	Minimum combined CFL ingress/egress	55'	55'
Y	Distance from center of stopbar to the closest store door	<175'	175'
Z	CFL canopy column spacing	19'	19'
	Number of lanes	1-6	3
	CFL parking amount	Site Specific	0

LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT
	EXISTING BIKE PATH ASPHALT
	PROPOSED BIKE PATH ASPHALT

APPROVALS:

PLANNING COMMISSION CHAIR

VICE CHAIR OR DESIGNEE

PROFESSIONAL ENGINEER

PROFESSIONAL SURVEYOR

REVISIONS

ORIGINAL ISSUE DATE: 02/04/2025

PROJECT NO.: 0045

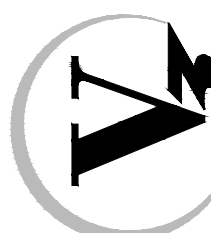
SITE PLAN

7-ELEVEN

S04

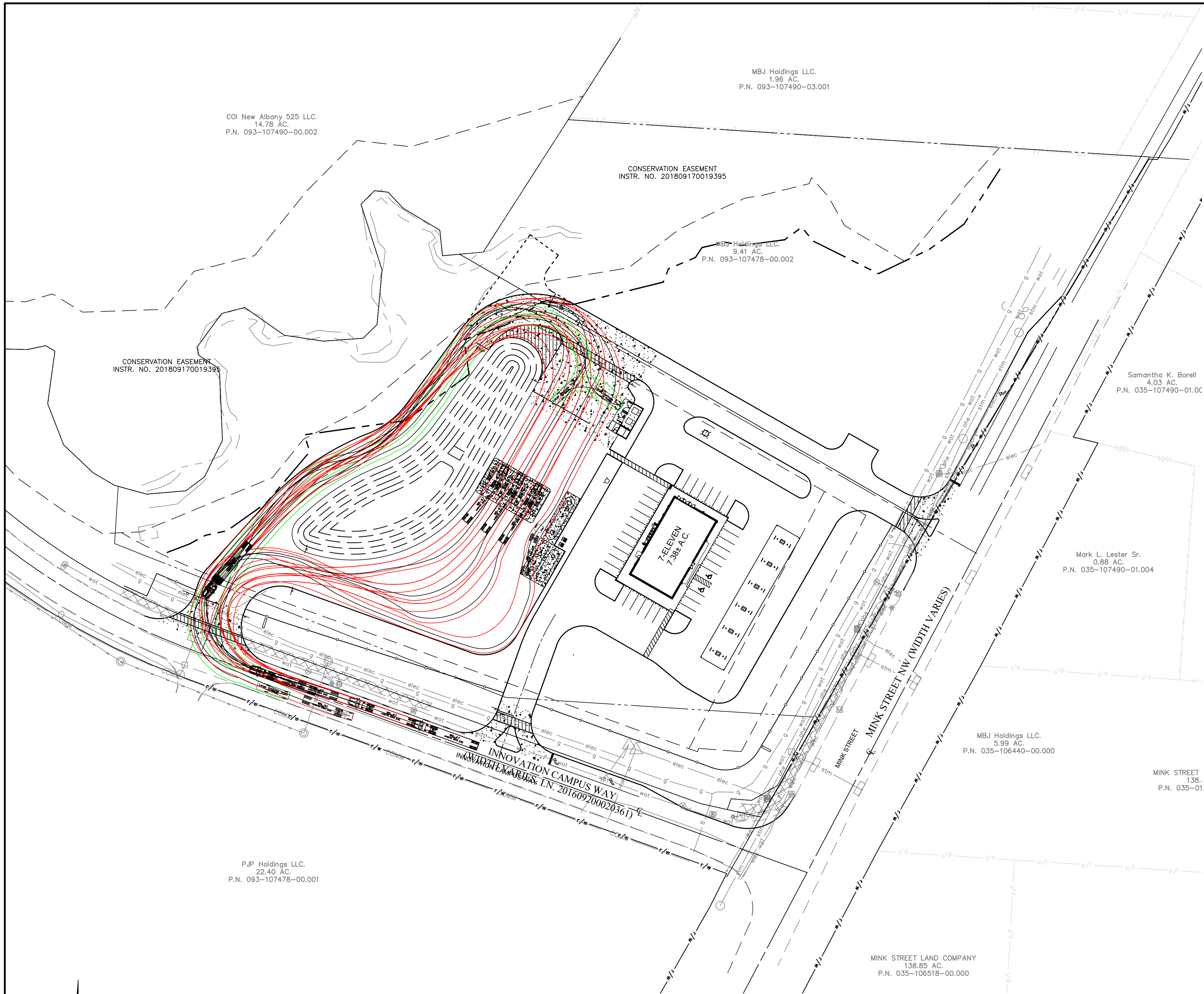
NEW ALBANY

550 Polaris Parkway,
Suite 250
Westerville, OH 43082
614.761.1661 phone
www.v3co.com



DRAWING NO.

C1.1



SITE DEVELOPMENT INFORMATION

ZONING:

EX. PROPERTY OWNER: MBJ HOLDINGS LLC
EX. PROPERTY USE: AGRICULTURE
EX. TOTAL SITE ACREAGE: 11.10 AC.
EX. ZONING: IPUD, INFILL PLANNED UNITY DEVELOPMENT
PROP. PROPERTY USE: CONVENIENCE STORE / RESTAURANT WITH FUEL SERVICE
PROP. 7-ELEVEN SITE ACREAGE: 7.38± AC.
PROP. FUTURE DEVELOPMENT ACREAGE: 3.72± AC.

EXISTING 7-ELEVEN SITE LOT COVERAGE: 0.26 ACRES (3.52%)
PROPOSED 7-ELEVEN BUILDING COVERAGE: 0.11 ACRES (14.9%) (4900 SF)
PROPOSED 7-ELEVEN SITE LOT COVERAGE: 3.15 ACRES (42.70%)

ADJACENT ZONING NORTH: AG, AGRICULTURAL DISTRICT
ADJACENT ZONING SOUTH: IPUD, INFILL PLANNED UNITY DEVELOPMENT
ADJACENT ZONING WEST: IPUD, INFILL PLANNED UNITY DEVELOPMENT

PARKING CALCULATIONS

AREA	SQUARE FOOTAGE	MIN. PARKING REQ'D*	TOTAL PARKING PROVIDED	PARKING RATIO
PROPOSED FUEL CENTER	4,816± S.F.	35	36	7.48/1000 S.F. 1/134 S.F.

*PER CHAPTER 1167.05 OF THE NEW ALBANY CODIFIED ORDINANCES, FOR A GASOLINE SERVICE STATION, ONE PARKING SPOT IS REQUIRED FOR EVERY 200 SF OF BUILDING AREA, (25 SPACES) ONE FOR EACH TWO GASOLINE DISPENSING UNITS, (5 SPACES) PLUS ONE FOR EACH EMPLOYEE DURING MAIN SHIFT (5 TOTAL). THERE ARE TEN DISPENSING UNITS, AND ESTIMATED 5 EMPLOYEES DURING MAIN SHIFT.

*PER ADA ACCESSIBILITY REQUIREMENTS, 2 ACCESSIBLE SPACES ARE REQUIRED AND PROVIDED.

DEVELOPER/APPLICANT: ENGINEER/SURVEYOR
GALLAS ZADEH DEVELOPMENT, LLC
1371 W. 3RD AVENUE
COLUMBUS, OHIO 43212
PHONE: 614-893-2346
CONTACT: JASON ZADEH
E-MAIL: JZADEH@GZDDEV.COM

V3 COMPANIES
550 POLARIS PARKWAY, STE. 250
WESTERVILLE, OHIO 43082
PHONE: 614-761-1661
FAX: 614-761-1328
CONTACT: ANDREW GARDNER, P.E.
E-MAIL: AGARDNER@V3CO.COM

TRUCK ROUTING

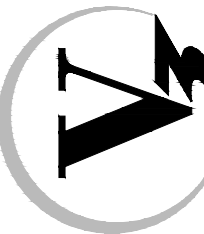
7-ELEVEN

NEW ALBANY

S04

OHIO

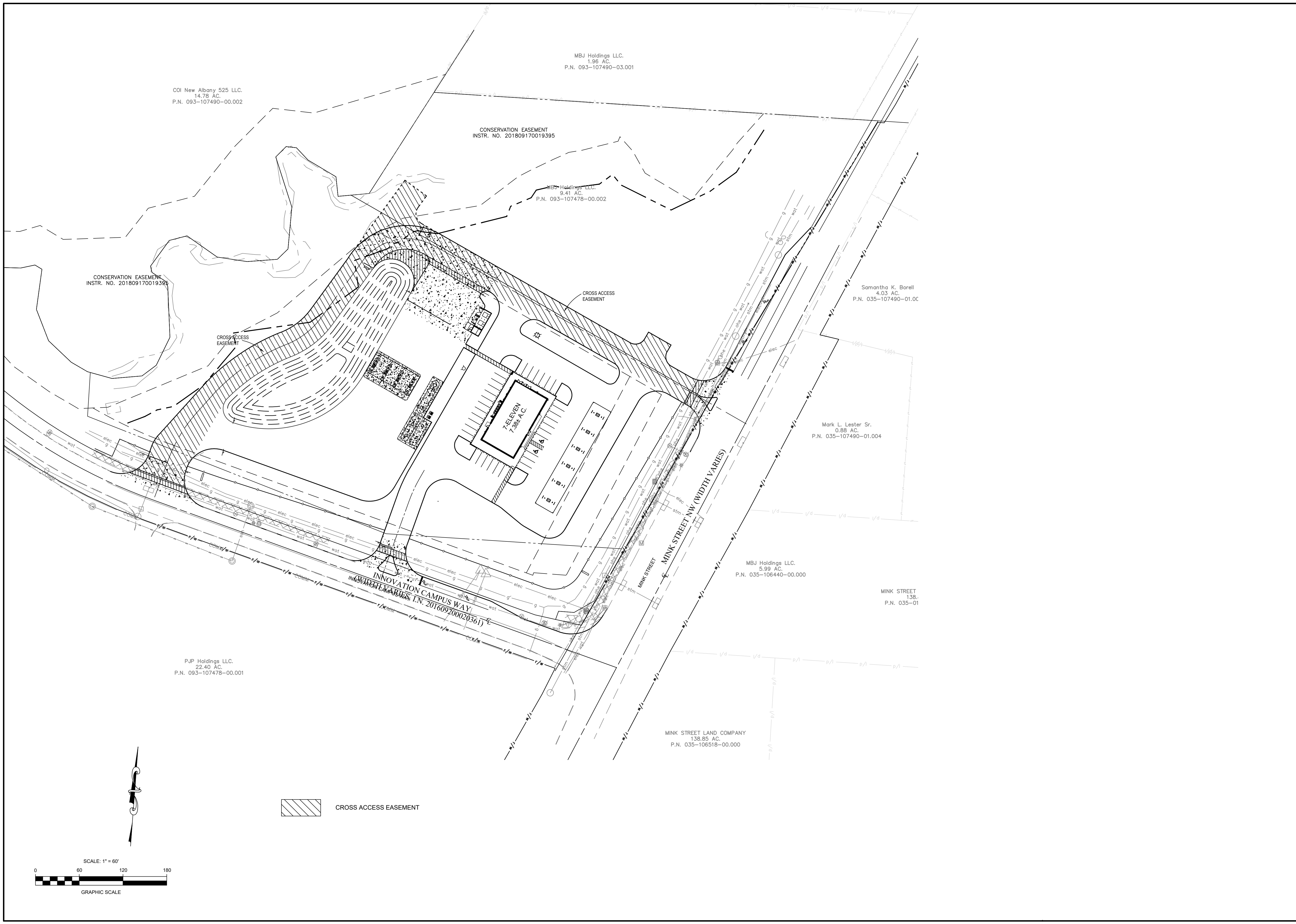
550 Polaris Parkway,
Suite 250
Westerville, OH 43082
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www.v3co.com



DRAWING NO.

C1.2

PROJECT NO.:	231359	ORIGINAL ISSUE DATE: 02/04/2025				REVISIONS			
		DESCRIPTION		NO.		DATE		DESCRIPTION	
PROJECT MANAGER:	AAG	#####		##		##		##	
DESIGNED BY:	AAG	#####		#		#		#	
DRAWN BY:	KMM	#####		#		#		#	



PROJECT NO.: 231359
PROJECT MANAGER: AAG
DESIGNED BY: AAG
DRAWN BY: KMM

ORIGINAL ISSUE DATE: 02/04/2025

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
##	#####	#####	##	#####	#####
##	#####	#####	##	#####	#####
##	#####	#####	##	#####	#####
##	#####	#####	##	#####	#####
##	#####	#####	##	#####	#####
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CROSS ACCESS EASEMENT

7-ELEVEN

NEW ALBANY

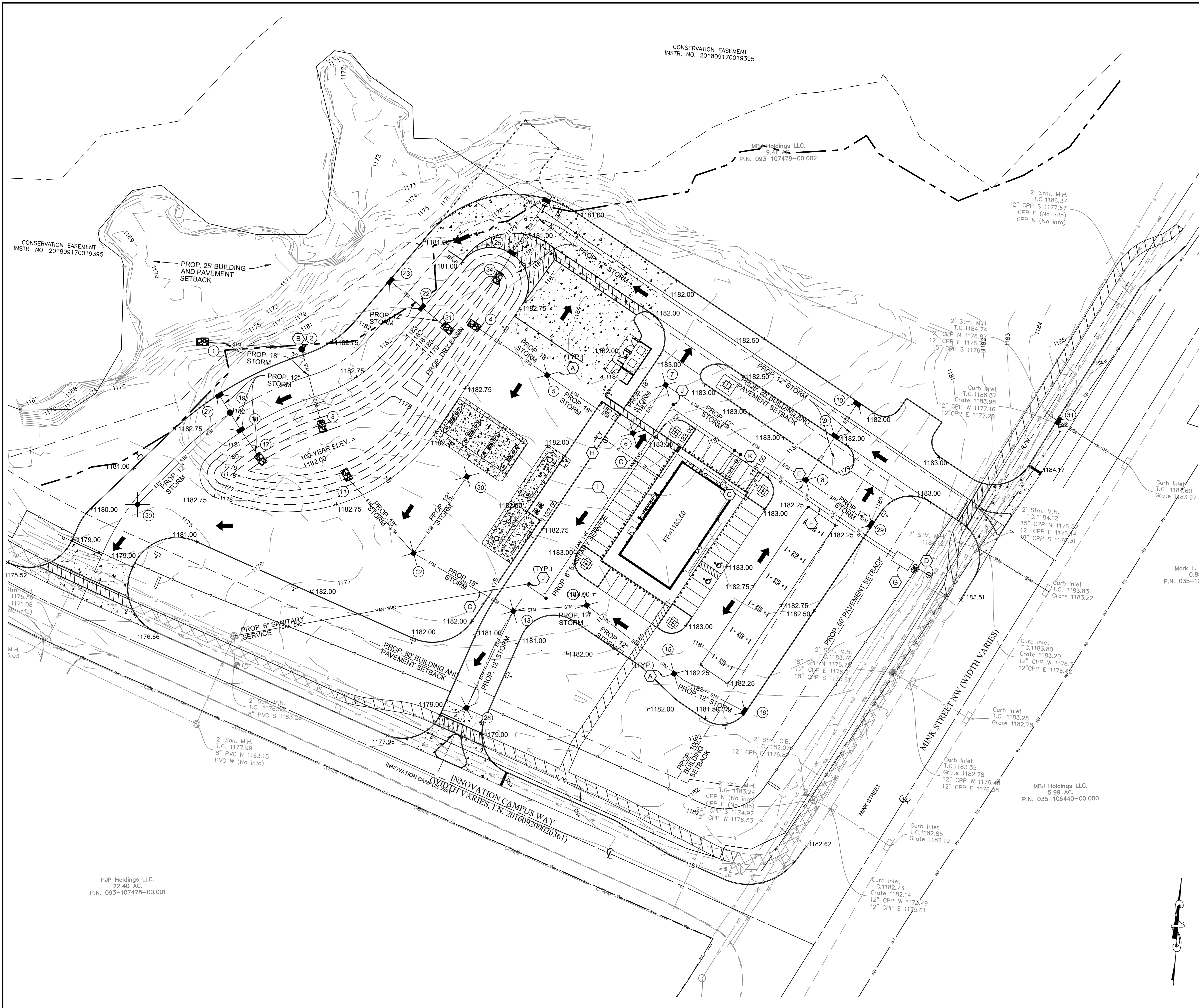
OHIO

S04

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Suite 250
Westerville, OH 43082
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DRAWING NO.

C1.3



LEGEND

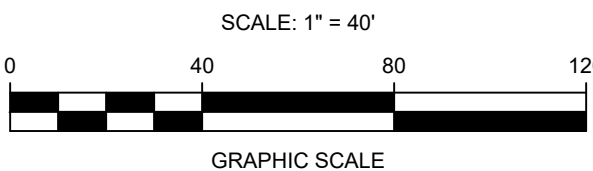
- 667 EXISTING CONTOUR
- 68 PROPOSED CONTOUR
- x 1178.50 EXISTING SPOT ELEVATION
- +1178.00 PROPOSED SPOT ELEVATION
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING CURB INLET
- PROPOSED CURB INLET
- ⊙ EXISTING SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- ⊗ EXISTING VALVE
- ⊗ PROPOSED VALVE

CODED NOTES

- PROPOSED PAVEMENT SURFACE
- PROPOSED SUBGRADE
- NO. 8 OR NO. 57 AGGREGATE
- 4" PERFORATED P.V.C. UNDERDRAIN

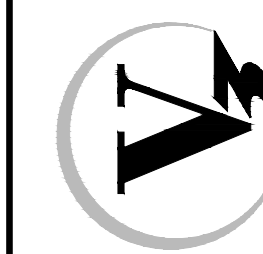
- (A) INSTALL 10 FOOT LENGTHS (WHERE ALLOWABLE) OF 4" PERFORATED P.V.C. UNDERDRAIN AT ALL STRUCTURES WITHIN PAVEMENT AREAS PER THE ABOVE DETAIL. THE UNDERDRAIN IS TO BE INSTALLED AT A 1.00% GRADE TOWARD THE STRUCTURE, WITH THE UPSTREAM END PLUGGED, AND THE INVERT AT THE STRUCTURE 18" BELOW THE PROPOSED RIM ELEVATION. THE UNDERDRAIN SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AFTER INSTALLATION.
- (B) PROPOSED OUTLET CONTROL STRUCTURE LOCATED HERE.
- (C) MAINTAIN 18" OF VERTICAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN PROPOSED STORM SEWER AND SPECIFIED UTILITY.
- (D) PROPOSED 6" WATER SERVICE TAP.
- (E) PROPOSED 6" FIRE WATER SERVICE LINE.
- (F) PROPOSED 2" DOMESTIC WATER SERVICE LINE.
- (G) PROPOSED HEATED ENCLOSURE WITH 2" AND 6" METERS AND 2" BACKFLOW PREVENTER.
- (H) PROPOSED FIRE HYDRANT.
- (I) PROPOSED 6" SANITARY SERVICE LINE
- (J) PROPOSED SANITARY CLEANOUT.
- (K) PROPOSED GREASE INTERCEPTOR.

NOTE:
ALL ELEVATIONS ARE PAVEMENT GRADES
UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP
OF CURB.



PRELIMINARY GRADING &
UTILITY PLAN
7-ELEVEN

550 Polaris Parkway,
Suite 250
Westerville, OH 43082
614.761.1661 phone
www.v3co.com

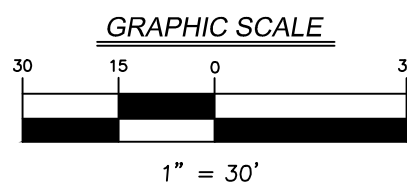
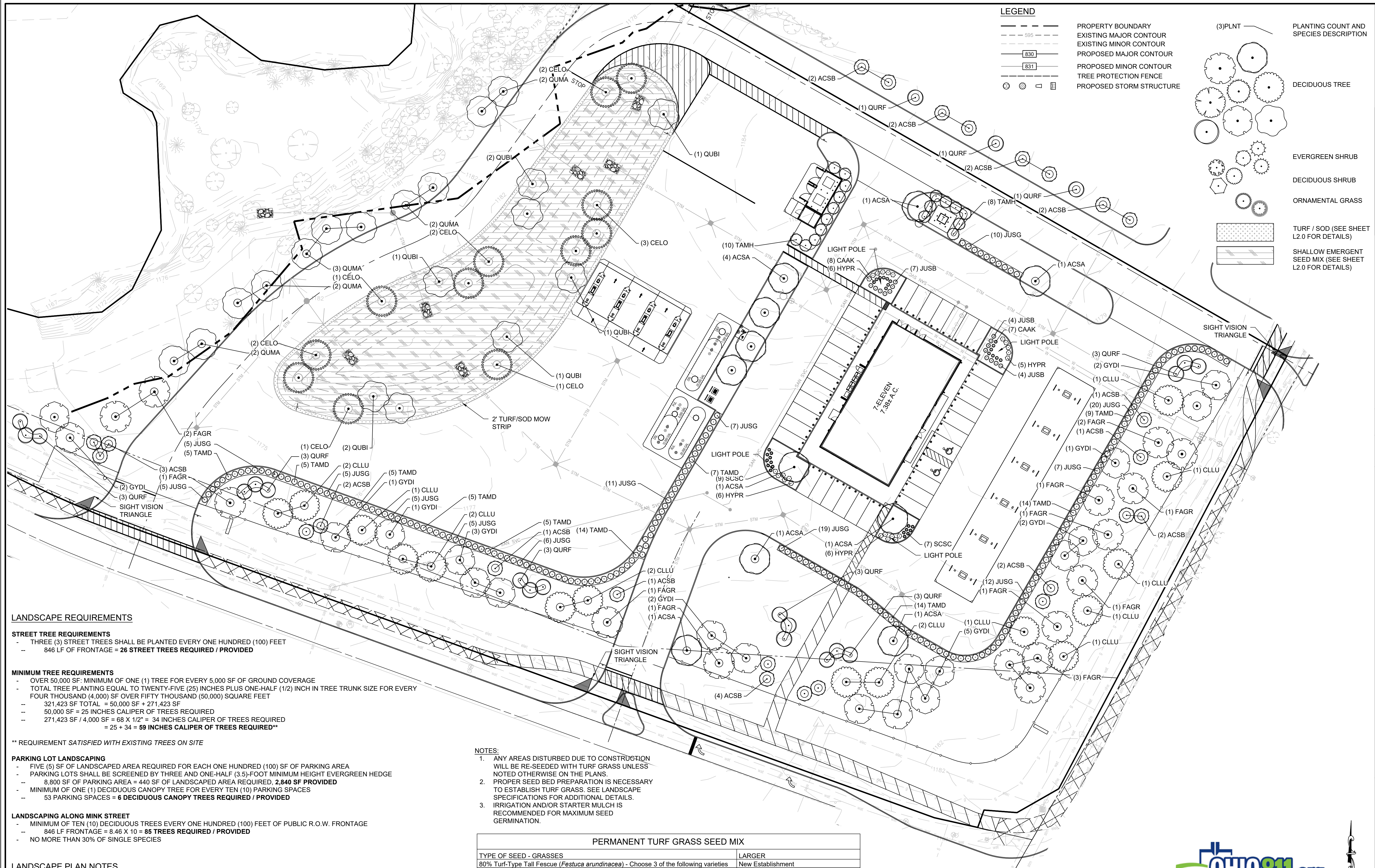



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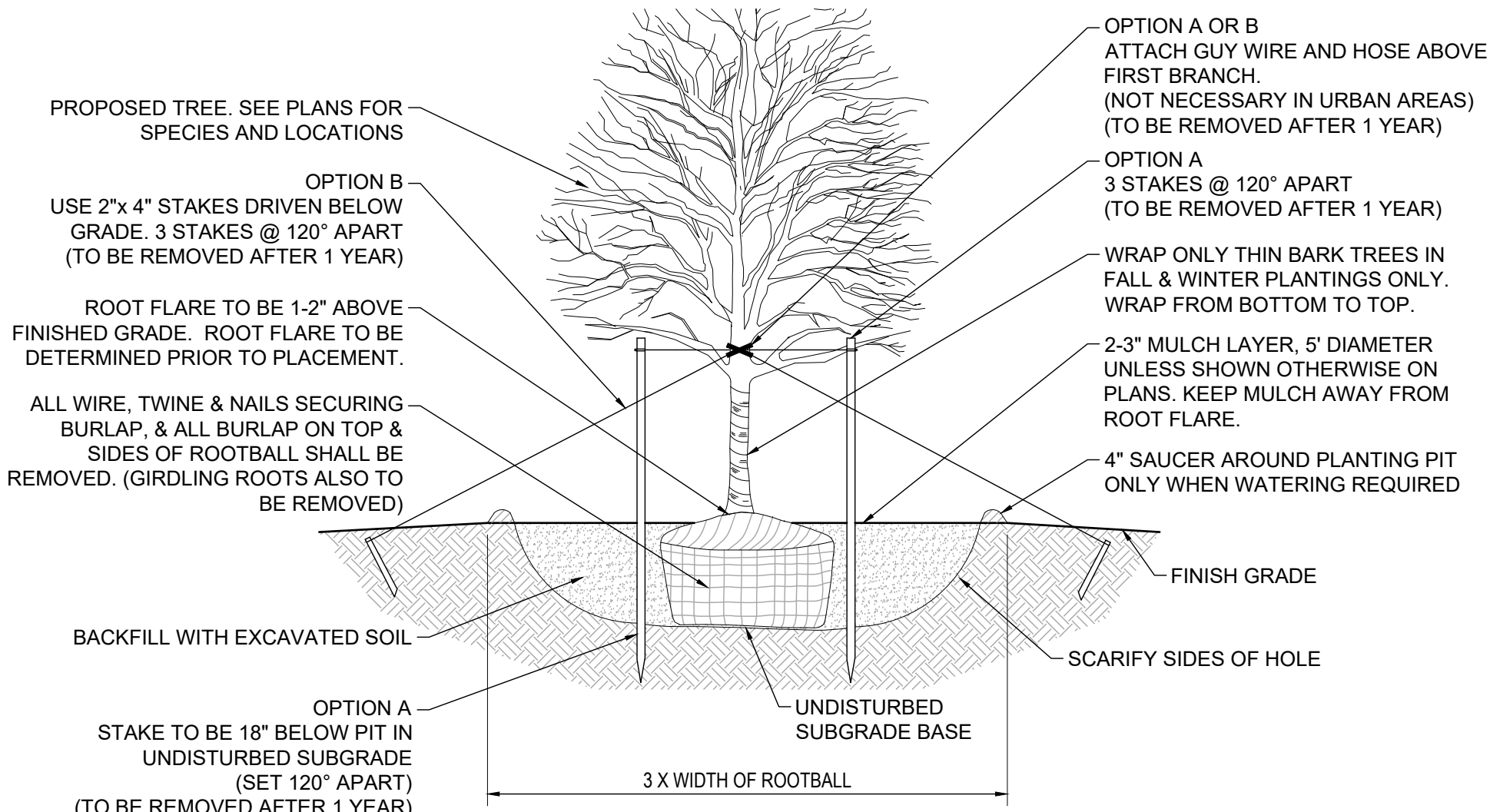
C1.4

REVISIONS		DESCRIPTION	NO.	DATE
ORIGINAL	ISSUE DATE: 12/11/24			
PROJECT NO.:	231359			
PROJECT MANAGER:	AAG			
DESIGNED BY:	AAG			
DRAWN BY:	KMM			

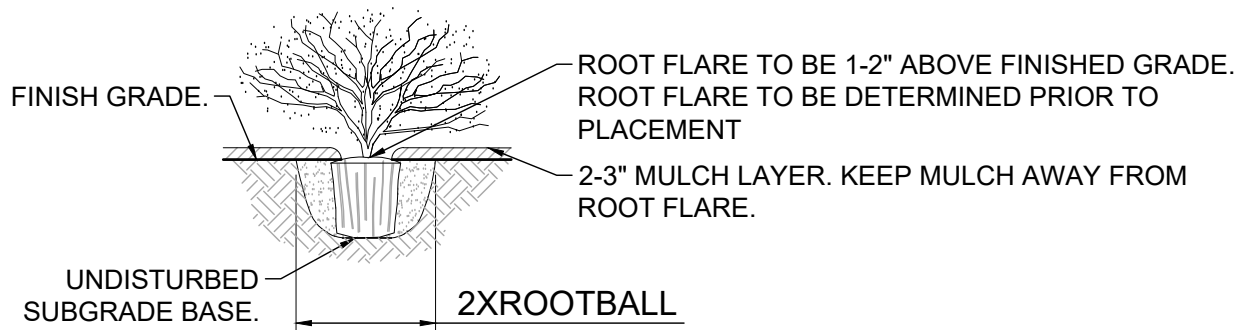
OHIO
S04
NEW ALBANY



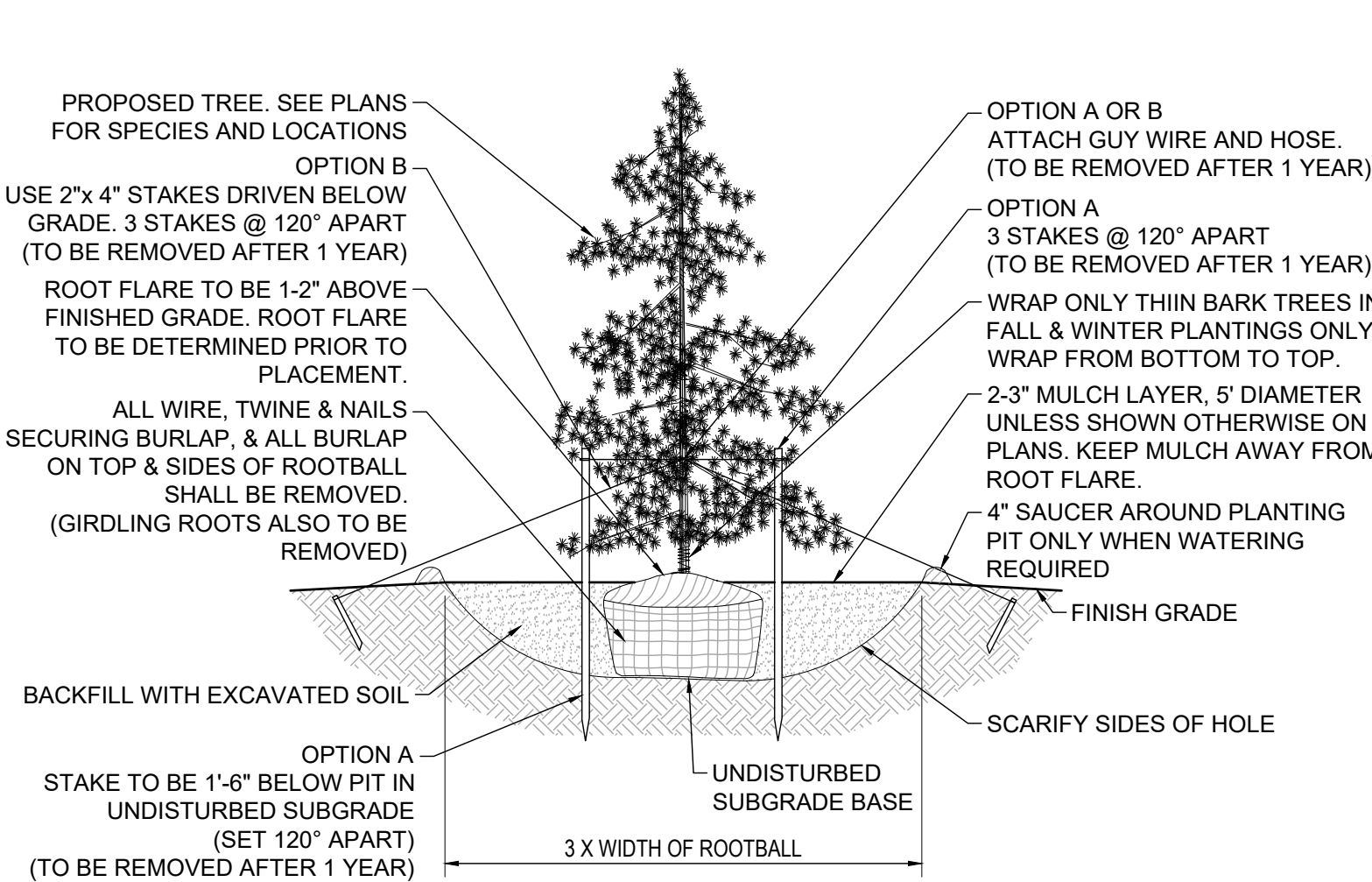
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			DESIGNED BY: AAG		DD	MM	YYYY			
			DRAWN BY: AAG							



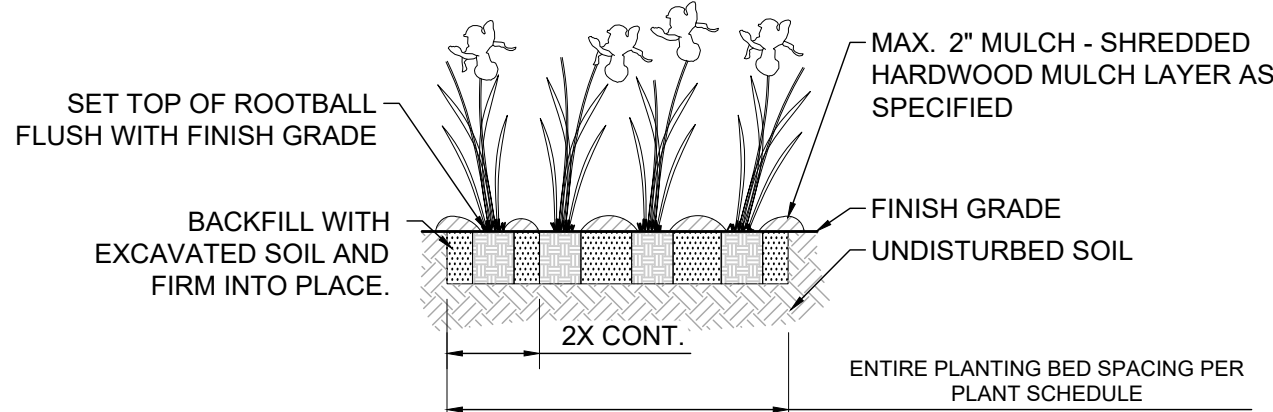
01 SHADE TREE PLANTING DETAIL
SCALE: 1/4" = 1'-0"



02 SHRUB PLANTING DETAIL
SCALE: 1/4" = 1'-0"



04 EVERGREEN PLANTING DETAIL
SCALE: 1/4" = 1'-0"



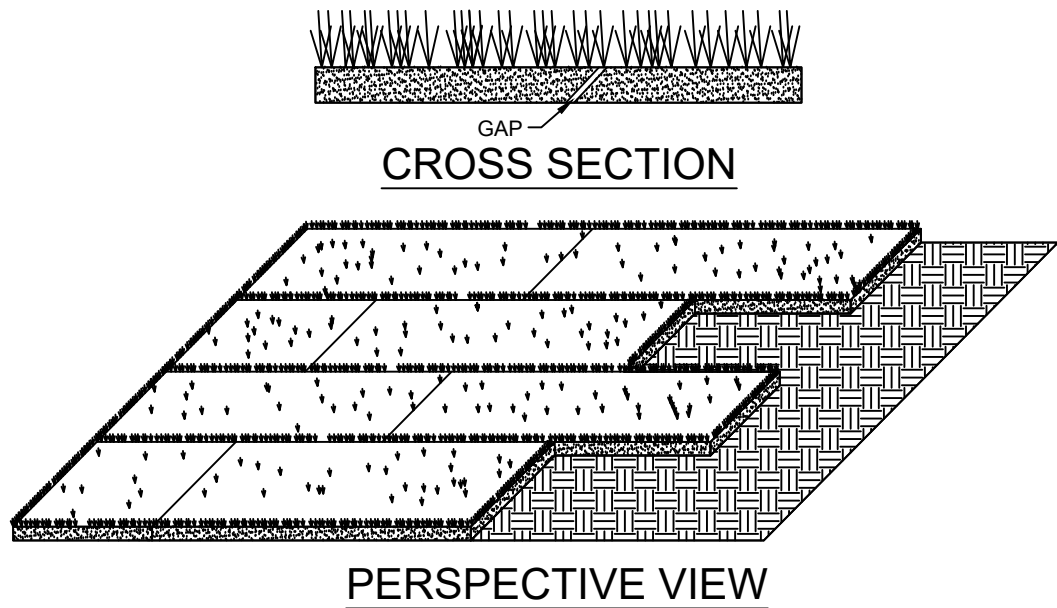
05 ORNAMENTAL GRASS PLANTING DETAIL
SCALE: 1/2" = 1'-0"

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CAL	HT
TREES							
	ACSA	11	ACER SACCHARUM	SUGAR MAPLE	B & B	3" MIN.	
	ACSB	25	ACER SACCHARUM 'BARRETT COLE'	APOLLO® SUGAR MAPLE	B & B	3" MIN.	
	CELO	12	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	3" MIN.	
	CLLU	15	CLADRASTIS LUTEA	AMERICAN YELLOWWOOD	B & B	3" MIN.	
	FAGR	15	FAGUS GRANDIFOLIA	AMERICAN BEECH	B & B	3" MIN.	
	GYDI	19	GYMNOCLADUS DIOICA	KENTUCKY COFFEETREE	B & B	3" MIN.	
	QUBI	8	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	3" MIN.	
	QUMA	11	QUERCUS MACROCARPA	BURR OAK	B & B	3" MIN.	
	QURF	21	QUERCUS ROBUR 'FASTIGIATA'	NORTHERN RED OAK	B & B	3" MIN.	
	TAMH	18	TAXUS X MEDIA 'HICKSII'	HICKS ANGLO-JAPANESE YEW	B & B	6" MIN.	
DECIDUOUS SHRUB							
	HYPR	23	HYPERICUM PROLIFICUM	SHRUBBY ST. JOHN'S WORT	CONT.	18" MIN.	
EVERGREEN SHRUB							
	JUSB	15	JUNIPERUS SQUMATA 'BLUE STAR'	BLUE STAR JUNIPER	CONT.	18" MIN.	
	JUSG	117	JUNIPERUS SQUMATA 'GREY OWL'	GREY OWL JUNIPER	CONT.	4' MIN.	
	TAMD	83	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	CONT.	4' MIN.	
GRASSES							
	CAAK	15	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	18" MIN.	
	SCSC	16	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	CONT.	18" MIN.	

03 PLANT SCHEDULE
SCALE: NTS

SHALLOW EMERGENT SEED MIX			
Type	Species	Common Name	Seeding Rate (lbs/ac)
Forbs	<i>Asclepias incarnata</i>	Swamp Milkweed	0.312500
	<i>Bidens cernua</i>	Nodding Bur Marigold	0.125000
	<i>Boltonia asteroides</i>	False Aster	0.062500
	<i>Epilobium coloratum</i>	Cinnamon Willow Herb	0.062500
	<i>Eupatorium perfoliatum</i>	Common Boneset	0.062500
	<i>Euthamia graminifolia</i>	Grass-Leaved Goldenrod	0.031250
	<i>Helenium autumnale</i>	Sneezeweed	0.125000
	<i>Liatris pycnostachya</i>	Prairie Blazing Star	0.250000
	<i>Labella cardinalis</i>	Cardinal Flower	0.062500
	<i>Labella siphilitica</i>	Blue Lobelia	0.031250
	<i>Lythrum alatum</i>	Winged Loosestrife	0.005000
	<i>Mimulus ringens</i>	Monkey Flower	0.015625
	<i>Monarda fistulosa</i>	Wild Bergamot	0.062500
	<i>Oligoneuron riddellii</i>	Riddell's Goldenrod	0.125000
	<i>Penstemon digitalis</i>	Foxglove Beard Tongue	0.312500
	<i>Physostegia virginiana</i>	Obedient Plant	0.250000
	<i>Pycnanthemum virginianum</i>	Mountain Mint	0.062500
	<i>Rudbeckia hirta</i>	Black-eyed Susan	0.125000
	<i>Symphyotrichum novae-angliae</i>	New England Aster	0.125000
	<i>Verbena hastata</i>	Blue Vervain	0.187500
Grasses & Sedges	<i>Veronicastrum virginicum</i>	Culvers Root	0.031250
	<i>Zizia aurea</i>	Golden Alexanders	0.500000
	sub total		2.926875
	<i>Calamagrostis canadensis</i>	Blue Joint Grass	0.062500
	<i>Carex bicknellii</i>	Copper-shouldered Oval Sedge	0.125000
	<i>Carex cristatella</i>	Crested Oval Sedge	0.125000
	<i>Carex lupulina</i>	Common Hop Sedge	0.500000
	<i>Carex scoparia</i>	Lance-fruited Oval Sedge	0.125000
	<i>Carex tribuloides</i>	Awl-fruited Oval Sedge	0.062500
	<i>Carex vulpinoidea</i>	Brown Fox Sedge	0.062500
	<i>Uniola latifolia</i>	River Oats	0.500000
	<i>Elymus riparius</i>	Riverbank Wild Rye	2.000000
	<i>Elymus virginicus</i>	Virginia Wild Rye	3.000000
	<i>Glyceria striata</i>	Fowl Manna Grass	0.062500
	<i>Juncus nodosus</i>	Knotted Rush	0.015625
	<i>Leersia oryzoides</i>	Rice Cut Grass	0.500000
	<i>Panicum virgatum</i>	Switch Grass	0.500000
	<i>Scirpus atrovirens</i>	Dark-green Bulrush	0.015625
	<i>Scirpus cyperinus</i>	Wool Grass	0.015625
	<i>Scirpus pendulus</i>	Rufous Bulrush	0.015625
	sub total		7.687500
	Total Permanent Species:		10.614375
Cover	<i>Avena sativa</i>	Seed Oats	32.000

06 SHALLOW EMERGENT SEED MIX
SCALE: NTS



SOD NOTES


- INSTALLATION**
SOD SHOULD NOT BE INSTALLED DURING HOT WEATHER, ON DRY SOIL, FROZEN SOIL, COMPACTED CLAY, LOOSE SAND OR GRAVELLY SUBSTRATE SOILS, AGGREGATE, OR PESTICIDE TREATED SOIL. THE IDEAL TIME TO LAY SOD IS MAY 1 TO JUNE 1 OR SEPTEMBER 1 TO SEPTEMBER 30, ALTHOUGH IT CAN BE INSTALLED AS EARLY AS MARCH 15 IF AVAILABLE OR JUNE 1 TO SEPTEMBER 1 IF IRRIGATED.
- SITE PREPARATION**
1. APPLY TOPSOIL IF EXISTING SOIL CONDITIONS ARE UNSUITABLE FOR ESTABLISHING VEGETATION.
 2. GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE AND CREATE A SMOOTH, FIRM SOIL SURFACE.
 3. WHERE APPLICABLE, USE A CHISEL PLOW, DISK, HARROW, OR RAKE TO BREAK UP COMPACTED SOILS AND CREATE A FAVORABLE ROOTING DEPTH OF SIX TO EIGHT INCHES.
- SOD BED PREPARATION**
1. TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.
 2. IF SOIL PH IS TOO ACIDIC FOR THE GRASS SOD TO BE INSTALLED, APPLY LIME ACCORDING TO SOIL TEST RESULTS OR AT THE RATE RECOMMENDED BY THE SOD SUPPLIER.
 3. APPLY FERTILIZER AS RECOMMENDED BY THE SOIL TEST. IF TESTING WAS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
 4. WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF SOIL WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.
 5. RAKE OR HARROW THE AREA TO ACHIEVE A SMOOTH FINAL GRADE AND THEN ROLL OR CULTIPACK THE SOIL SURFACE TO CREATE A FIRM SURFACE ON WHICH TO LAY THE SOD.
- LAYING THE SOD**
1. INSTALL SOD WITHIN THIRTY-SIX HOURS OF ITS CUTTING.
 2. STORE THE SOD IN A SHADED LOCATION DURING INSTALLATION.
 3. IMMEDIATELY BEFORE LAYING THE SOD, RAKE THE SOIL SURFACE TO BREAK ANY CRUST. (IF THE WEATHER IS HOT, LIGHTLY IRRIGATE THE SOIL SURFACE PRIOR TO LAYING THE SOD.)
 4. LAY SOD STRIPS IN A BRICK-LIKE PATTERN.
 5. BUTT ALL JOINTS TIGHTLY AGAINST EACH OTHER (DO NOT STRETCH OR OVERLAP THEM), USING A KNIFE OR MASON'S TROWEL TO TRIM AND FIT SOD INTO IRREGULARLY SHAPED AREAS.
 6. ROLL THE SOD LIGHTLY AFTER INSTALLATION TO ENSURE FIRM CONTACT BETWEEN THE SOD AND SOIL.
 7. IRRIGATE NEWLY SODDED AREAS UNTIL THE UNDERLYING SOIL IS WET TO A DEPTH OF FOUR INCHES, AND THEN KEEP MOIST UNTIL THE GRASS TAKES ROOT.

- SLOPE APPLICATION**
1. INSTALL THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO THE SLOPE.
 2. WHERE SLOPES EXCEED A RATIO OF 3:1, STAPLE OR STAKE EACH STRIP AT THE CORNERS AND IN THE MIDDLE.
- CHANNEL APPLICATION**
(SODDING PROVIDES QUICKER PROTECTION THAN SEEDING AND MAY REDUCE THE RISK OF EARLY WASHOUT.)
1. EXCAVATE THE CHANNEL, ALLOWING FOR THE FULL THICKNESS OF THE SOD.
 2. LAY THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO CHANNEL FLOW.
 3. STAPLE OR STAKE EACH STRIP OF SOD AT THE CORNERS AND IN THE MIDDLE.
 4. STAPLE JUTE OR BIODEGRADABLE POLYPROPYLENE NETTING OVER THE SODDED AREA TO MINIMIZE THE POTENTIAL FOR WASHOUT DURING ESTABLISHMENT.
- MAINTENANCE**
1. INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS UNTIL SOD IS WELL ROOTED.
 2. KEEP SOD MOIST UNTIL FULLY ROOTED.
 3. AFTER SOD IS WELL-ROOTED (TWO TO THREE WEEKS), MAINTAIN A PLANT HEIGHT OF TWO TO THREE INCHES.
 4. TIME MOWING TO AVOID RUTS IN TURF.
 5. FERTILIZE TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION. FOR COOL SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASON GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING AND ONE-THIRD IN MID-SUMMER.

08 SOD PLANTING DETAIL AND SPECIFICATIONS

1. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
2. NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BID IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT I.D. AT NURSERY OR CONTRACTORS OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY THE LANDSCAPE ARCHITECT.
3. ALL PLANTS SHALL MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, AS SET FORTH BY AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
4. PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
5. ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR THEIR PORTION OF WORK.
7. LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS THEY FEEL MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
8. BACKFILL FOR TREE PLANTING SHALL BE NATIVE SOIL FROM TREE PIT AND INCORPORATE A 5-10-5 ANALYSIS SLOW-RELEASE FERTILIZER AT APPROVED RATES.
9. AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
10. TREE STAKING IS NOT REQUIRED AS PART OF INITIAL PLANTING. HOWEVER, STAKING WILL BE REQUIRED TO MAINTAIN ANY TREES WHICH BECOME OUT OF PLUMB.
11. LANDSCAPE CONTRACTOR IS TO COORDINATE ALL WORK WITH OTHER TRADES TO MINIMIZE RISK OF DAMAGE TO SITE UTILITIES.
12. PRIOR TO THE INSTALLATION OF LANDSCAPING, LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER, AND ANY OTHER AFFECTED PARTY TO DISCUSS PROPER SEPARATIONS FROM UTILITIES.
13. A MINIMUM OF TEN (10) FOOT HORIZONTAL DISTANCE FROM LATERALS OR ANY OTHER SANITARY OR STORM SEWER FACILITIES (AS MEASURED FROM THE DRIP LINE OF THE MATURE TREE TO THE CENTER OF SEWER FACILITIES) MUST BE MAINTAINED. ANY TREES OR LANDSCAPING PLACED WITHIN EASEMENTS OR RIGHTS-OF-WAY ARE AT RISK OF BEING DAMAGED OR REMOVED WITHOUT THE OBLIGATION OF REPLACEMENT.
14. THE TOE OF SLOPE OF EARTHEN MOUNDING CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.
15. RETAINING/DECORATIVE/ENTRANCE WALLS CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.

LANDSCAPE CONSTRUCTION NOTES

<div><div>550 Polaris Parkway Westerville, Ohio 43082 614.761.1661 phone www.v3co.com</div></div>	<div>DRAWING NO. <div>L2.0</div></div>	<div>NEW ALBANY</div> <div>S04</div> <div>OHIO</div>	REVISIONS									
			PROJECT NO.: 231359		ORIGINAL ISSUE DATE:		NO.		DATE		DESCRIPTION	
			PROJECT MANAGER: AAG		DD		MM		YYYY			
			DESIGNED BY: AAG									
			DRAWN BY: KAT									
LANDSCAPE DETAILS												
7-ELEVEN												

STORMWATER MANAGEMENT AREAS & LANDSCAPE SPECIFICATIONS

1.1 SITE PREPARATION

When feasible, prior to mass earthwork operations, stake the limits of the proposed stormwater management areas & landscape planting areas and do not allow heavy equipment to run over the soil in these locations. Soil compaction is very critical in the functioning of stormwater management areas.

Do not clear vegetation until necessary to help minimize site erosion.

Place tree protection barriers around the drip line of all trees that are to remain. There shall be no storage of materials, heavy equipment or vehicles within the drip line of trees.

1.2 MATERIALS

1.2.1 SUBMITTAL REQUIREMENTS

Contractors shall submit to engineer/landscape architect for review and approval all proposed materials to be used within the stormwater management areas and landscape areas prior to purchase. Submittals include but are not limited to:

- Planting soil composition
- Compost/Mulch
- River Cobble
- Turf Grass Sod and Seed
- Plant lists (Woody and herbaceous materials)
- Herbicides and Pre-Emergent Herbicides

1.2.2 PLANTING SOIL

The soil shall be a uniform, well blended mix, free of stones, slumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bio-retention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The soil mix shall be free of Bermuda grass, Quack grass, Johnson grass, or other noxious weeds. The planting soil for bio-retention facilities shall consist of a mixture of sand or crushed glass cullet of equivalent grade, topsoil, and compost components, to obtain an engineered soil mix meeting the following specifications:

USDA Texture class: sandy loam or loamy sand. Mineral fraction consists of no less than 40% well-graded sand or glass cullet and no greater than 10% clay (dry weight basis)
Organic content: 20% (dry weight basis)
pH: 5.5 - 7.0
Soluble Salts (Salinity): less than 500 mg/kg (500ppm)
Phosphorus: soil p-index should be between 15 and 40
Permeability: Minimum 0.50 inches/hour

Volmetric proportions of the components making up the bio-retention soil mix shall be as follows:

- Sand: 50% by volume
- Compost: 20% by volume
- Topsoil: 30% by volume

Compost shall be finished (aged), and composted material shall be of plant origin. Compost shall have a C:N ratio < 25:1.

If the planting soil does not meet the above characteristics, then it shall either be adjusted to meet the criteria or removed and replaced with an acceptable planting soil. See 1.3 Testing Requirements.

Existing topsoil or site may be amended to meet the specifications of the planting soil mix. The existing topsoil shall be tested for organic content, grain size analysis and permeability to identify necessary amendments.

1.2.3 MULCH MATERIAL

A much layer shall be provided on top of the planting areas, to the depth OF 2-3 inches. The material shall consist of finished (aged) leaf compost mulch, and shall be well mixed and homogenous, uniform in color and free of foreign material and viable plant seeds. The mulch material shall have no visible free water and produce no dust when handled. It shall meet the following criteria:

90% of material passing 1/2" screen
Organic content: 35- 65% (dry weight basis)
pH: 6.0 - 8.0

1.2.4 TURF GRASS SOD AND SEED

1.2.4.1 TURF GRASS SOD

See plans for locations. Turf grass sod shall be a mixture within the following ranges:

Kentucky Bluegrass: 50-100%
Fine Fescue: 0-30%
Turf Type or *Bicoloratus* Tall Fescue: 50-100%
Turf grass sod shall be of good quality, free of weeds, disease and insects and of good color and density. Turf grass sod shall be machine-cut at a minimum uniform soil thickness and grown in central Indiana.

1.2.4.2 TURF GRASS SEED / COVER CROP

See plans for seed mixture(s) and rate(s). No substitutions shall be allowed without approval from the ecological consultant.

Seed shall be clean, delivered in original unopened packages, and bearing an analysis of the contents. Guaranteed 98 percent pure and to have a minimum germination rate of 90 percent within 1 year of test.

Temporary cover shall be Seed Oats (*Avena sativa*) and annual ryegrass (*Lolium multiflorum*). Under no circumstances shall the site be stabilized with winter rye, grain rye, or winter wheat. These plants produce roots that inhibit prairie seed germination.

1.2.5 LIVE PLANT MATERIAL

1.2.5.1 TREES & SHRUBS

General: Furnish nursery-grown plants true to genus, species, variety, cultivar, stem form, shearing, and other features indicated in Plant Schedule or Plant Legend shown on Drawings and complying with ANSI Z60.1, and with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock, densely foliated when in leaf and free of disease, pests, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and discoloration.

Root-Ball Depth: Furnish trees and shrubs with root balls measured from top of root ball, which shall begin at root flare according to ANSI Z60.1. Root flare shall be visible before planting.

No bare root material shall be used unless specified on the plans.

Containerized Plant Material: Provide healthy, disease-free plants of species and variety shown or listed, with well-established root systems reaching to sides of the container to maintain a firm ball, but not with excessive root growth encircling the container. Provide only plants that are acclimated to outdoor conditions before delivery.

Plant material and quantities for stormwater management areas and landscape areas shall be taken from the plans. Any plant material substitutions shall require approval from the engineer/landscape architect.

1.2.6 HERBICIDES AND PRE-EMERGENTS

Herbicide to be used in stormwater management areas consist of glyphosate herbicides approved for use around water, such as Rodeo.

1.3 TESTING REQUIREMENTS

1.3.1 PLANTING SOIL TESTING

Soil tests shall be performed for every 500 cubic yards of planting soil, with the exception of pH and organic content tests, which are required only once per stormwater management BMP.

The planting soil shall be tested and shall meet the following criteria:

- pH range: 5.5 - 7.0
- organic matter: 5 - 10% (dry weight basis)
- magnesium: minimum 35 lbs/acre
- phosphorus (phosphate - P205, Bray I): shall not exceed 75 lbs./acre
- potassium (potash - K2O): minimum 85 lbs/acre
- soluble salts not to exceed 500 ppm

All stormwater management areas shall have a minimum of one test per bio retention basin and a minimum of one soil test per 500 cubic yards. Each test shall consist of both the standard soil test for pH, phosphorus, and potassium and additional tests of organic matter, and soluble salts. A textual analysis is required from the soil collected topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the top soil was excavated. Should the pH fall out of the acceptable range by no greater than 0.2, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

1.4 INSTALLATION

1.4.1 PLANTING SOIL

Installation of soils must be completed in a manner that will ensure preservation of the infiltrative capacity of the underlying soils. The moisture content of the soil shall be low enough to prevent clumping and compaction during placement.

To prevent compaction within the limits of the basins, only hand laborers, small excavation hoses with wide tracks, light equipment with turf tires, marsh equipment or wide-track loaders may be used. No heavy equipment shall be used within the perimeter of the stormwater management BMP facility before, during, or after the placement of the planting soil.

It is very important to minimize compaction of both the base (in-situ soil) of the stormwater management areas and the required backfill. Re-fracture subgrade soils that have been compacted or smeared by raking, diskng or tilling to a minimum depth of 12 inches. Soil surfaces shall be scarified by manually raking to aerate and reduce soil compaction. Soil shall be placed in 6 inch loose depth lifts. Lifts are performed in order to reduce the possibility of excessive settlement. Soil shall be placed lightly hand-tamped or compacted with a water-filled landscape roller, to reduce potential for excessive settling. No other mechanical equipment shall be used to compact the planting soil or underlying soils. Lifts may also be watered to encourage natural compaction. Overfill to allow for natural settlement.

Uniformly grade planting soil to achieve a smooth surface, free of irregular surface changes. Do not over-work or excessively compact planting soil. Grade to cross sections, thickness and elevations indicated on plans. Settling of soil by walking on surface and working with hand equipment is acceptable.

1.4.2 TURF GRASS

1.4.2.1 SEQUENCING AND SCHEDULING

Turf grass shall be installed following final grading activities and all other planting installations.

1.4.2.2 SITE PREPARATION

Verify the depth and quality of the topsoil and that the topsoil has been placed according to specifications or exists as a current site condition.

Restore areas if eroded or otherwise disturbed after finish grading and before installation. Proceed with installation only after unsatisfactory conditions have been corrected.

All weeds and grasses shall be dug out by the roots and disposed of off-site.

Rake so all areas drain and are of uniform slope.

Remove all trash and stones exceeding 1/2" in diameter from area to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.2.3 PLANTING

Turf grass shall be placed on prepared soil that has been watered and is still moist. Turf grass sod shall be laid with tight joints, rolled, and thoroughly watered. River water, where available and allowed by federal, state and local authorities, is suitable for irrigation.

When installation occurs on a sloping surface where erosion may be a problem, turf grass sod shall be laid with staggered joints and secured by pegging.

1.4.3 PERMANENT TURF GRASS SEED

1.4.3.1 SEQUENCING AND SCHEDULING

Perform the seeding work and at such times that the seeding will not be damaged by freezing temperatures, rain, or high winds.

Optimum Seeding Dates:

- Northern Indiana/Illinois: August 15 through September 15
- Southern Indiana/Illinois: September 1 through September 30

Dormant seeding can be done from Thanksgiving through March, when no snow is present, but before the ground has thawed.

Spring seeding is often difficult but is acceptable from April through June if site conditions and construction schedules warrant the need for spring seeding.

Summer seeding should be avoided when possible.

Permanent seeding done between May and August may require irrigation.

1.4.3.2 SITE PREPARATION

Verify the depth and quality of the topsoil and that the topsoil has been placed according to specifications or exists as a current site condition.

Restore areas if eroded or otherwise disturbed after finish grading and before installation. Proceed with installation only after unsatisfactory conditions have been corrected.

All weeds and grasses shall be dug out by the roots and disposed of off-site.

Rake topsoil thoroughly by running in two directions at right angles over the entire surface to be planted. Rake so all areas drain and are of uniform slope.

Remove all trash and stones exceeding 1/2" in diameter from area to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.3.3 PLANTING

Sow grassed areas evenly with a mechanical spreader at the minimum rate as specified on the plans, roll to cover seed and water with fine spray. Wet soil at a rate of approximately 120 gallons per 1,000 square feet. River water, where available and allowed by federal, state and local authorities, is suitable for irrigation.

Method of seeding may be varied at discretion of Contractor on his own responsibility to establish a smooth, uniformly grassed area.

1.4.4 TREES, SHRUBS AND VINES

1.4.4.1 SEQUENCING AND SCHEDULING

Planting Time: Proceed with, and complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required.

Planting seasons shall be as follows:

Deciduous Trees: Primary Planting Time March 15th to June 30th, and Secondary Planting Time September 1st to December 1st, unless noted otherwise on drawings.

Shrubs: Primary Planting Time March 15th to June 30th, and Secondary Planting Time September 1st to November 1st, unless noted otherwise on drawings.

If weather conditions within these seasons are not favorable to plant health and establishment at the time of planting (e.g. drought), planting shall be delayed until favorable conditions resume or further actions shall be taken to ensure healthy establishment (e.g. irrigation). It is the responsibility of the contractor to ensure survivability during the warranty period.

1.4.4.2 SITE PREPARATION

Planting Pits and Trenches: Excavate circular planting pits with sides sloping inward at a 45-degree angle. Excavations with vertical sides are not acceptable. Trim perimeter of bottom leaving center area of bottom raised slightly to support root ball and assist in drainage away from center. Do not further disturb base. Ensure that root ball will sit on undisturbed base soil to prevent settling. Scarily sides of planting pit smeared or smoothed during excavation.

Excavate approximately two times as wide as ball diameter for shrubs and three times as wide for trees.

Do not excavate deeper than depth of the root ball, measured from the root flare to the bottom of the root ball.

1.4.4.3 PLANTING

Before planting, verify that root flare is visible at top of root ball according to ANSI Z60.1.

Remove stem girdling, broken or kinked roots. Remove injured roots by cutting cleanly at the root ball.

Set stock plants and in center of planting pit or trench with root flare 1-2 inches above adjacent finish grades. To prevent settling of the root ball, root ball should be placed on undisturbed soil only.

Use planting soil as specified in 1.4.2 for backfill.

Balled and Burlapped: After placing some backfill around root ball to stabilize plant, carefully cut and remove burlap, rope, and wire baskets from tops of root balls and from sides. Where practical, remove burlap, rope and wire baskets from under root balls. Remove pallets, if any, before setting. Do not use planting stock if root ball is cracked or broken before or during planting operation.

Container-Grown: Carefully remove root ball from container without damaging root ball or plant.

Fabric Bag-Grown Stock: Carefully remove root ball from fabric bag without damaging root ball or plant. Do not use planting stock if root ball is cracked or broken before or during planting operation.

Loosen pot-bound roots and remove or cut any circling and girdling roots.

Do not place root ball directly on any underdrain structures. If root ball is larger than soil depth, adjust root ball such that it is adjacent to but not resting on any underdrain structures.

Backfill around root ball in layers, tamping to settle soil and eliminate voids and air pockets. When planting pit is approximately one-half filled, water thoroughly before placing remainder of backfill. Repeat watering until no more water is absorbed.

Continue backfilling process. Water again after placing and tamping final layer of soil.

2-3 inches of mulch material (per 1.2.3) to be placed uniformly on top of soil after plant material is installed.

See details on plans for plant installation.

1.4.4.4 SITE PREPARATION

Place 4" perforated corrugated plastic pipe (CPP) around tree for protection from deer. Cut length to height of tree from root flare to first branch and slice lengthwise. (Not necessary in urban areas) Contractor shall be responsible for replacement of any plant material damaged by wildlife if protective CPP is not installed.

1.4.5.3 PLANTING

Use an auger or other appropriate tool to excavate planting holes in a staggered pattern per the planting plan. Refer to landscape drawings for specific spacing requirements.

Plant plugs level with final soil grade. Be certain that soil is placed around the roots and firmed into place. Under no circumstances is soil to be mounded up to cover roots that are not planted at the appropriate depth.

1.5 QUALITY OF WORKMANSHIP

1.5.1 PERMANENT TURF GRASS SOD/SEED

All workmanship and finishes shall be first class in all respects, and in accordance with the best practice. The drawings and specifications describe the scope of work but do not show or describe all work or material that may be required for full performance and completion of the contract documents. On the basis of the scope shown herein, Contractor shall furnish and install all parts required for the proper execution and completion of the work. Any item included will require the Contractor to furnish and install all parts needed for a complete installation.

1.5.2 TREES & SHRUBS

All workmanship and finishes shall be first class in all respects, and in accordance with the best practice. The drawings and specifications describe the scope of work but do not show or describe all work or material that may be required for full performance and completion of the contract documents. On the basis of the scope shown herein, Contractor shall furnish and install all parts required for the proper execution and completion of the work. Any item included will require the Contractor to furnish and install all parts needed for a complete installation.

1.6 GUARANTEE AND WARRANTY

1.6.1 PERMANENT TURF GRASS SOD

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all site work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

Evaluate establishment of permanent turf grass sod for percent survivability thirty days prior to the end of the first complete growing season and prior to the release of any maintenance or guarantee obligations.

Success Criteria: Survivability must be 95% or greater. Dead material in excess of 5% of all sodded areas shall be replaced by the Contractor prior to the end of the warranty period without additional expense to the Owner.

1.6.2 PERMANENT TURF GRASS SEED

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all site work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

Evaluate establishment of permanent turf grass seed for percent survivability thirty days prior to the end of the first complete growing season and prior to the release of any maintenance or guarantee obligations.

Success Criteria: 75% of seeded area shall be covered with vegetation. 25% of the vegetation shall be permanent matrix, and less than 5% invasive species. 50% of the species within the permanent matrix shall be present.

1.6.3 TREES & SHRUBS

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all installation work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

1.6.4 NATIVE HERBACEOUS PLUGS

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all installation work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

All plugs shall exhibit vigorous growth and be thoroughly rooted by the end of first complete growing season and prior to the release of any maintenance or guarantee obligations. For installations occurring prior to June 1 the end of the first complete growing season would be in October (or at the first hard freeze) of the installation year. For installations occurring on and after June 1 the end of the first complete growing season would be in October (or at the first hard freeze) of the following year.

Success Criteria: Survivability must be 95% or greater. Dead plant material in excess of 5% of all plugged material shall be replaced by the Contractor prior to the end of the warranty period without additional expense to the Owner.

1.7 MAINTENANCE REQUIREMENTS

1.7.1 PERMANENT TURF GRASS SOD

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below.

Begin maintenance of lawns immediately after sod is installed in each area and continue until acceptable lawn is established, but not less than 60 days after date of Substantial Completion.

If full maintenance period has not elapsed before the end of planting season, or if lawn is not fully established, continue maintenance during the next planting season.

Maintenance includes watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to provide a uniform, weed free, smooth lawn.

Watering

- Week 1: In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of at least four (4) inches.
- Week 2 and beyond: Water turf grass sod as required to maintain adequate moisture in the upper four (4) inches of soil. Avoid application of too much water - turf grass sod should not be continually saturated.

Mowing

Turf grass sod height shall be maintained between two (2) and six (6) inches or as specified by the Owner. Not more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings.

1.7.2 PERMANENT TURF GRASS SEED

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below.

Begin maintenance of lawns immediately after each area is planted and continue until acceptable lawn is established, but not less than 60 days after date of Substantial Completion.

If full maintenance period has not elapsed before the end of planting season, or if lawn is not fully established, continue maintenance during the next planting season.

Maintenance includes watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to provide a uniform, weed free, smooth lawn. Ensure cover crop seed germinates within two (2) weeks of planting. If dormant seeding, ensure cover crop germinates at the start of the growing season.

Watering

Thoroughly water all permanently seeded areas after the seed has germinated for a period of one (1) month.

Apply a total rate of 120 gallons per 1000 square feet (12.2 m3/1000 m2) in at least two (2) applications spread over seven (7) days. Apply the water under pressure with a nozzle that produces a spray that will not dislodge the seed, seedlings, or mulch material. If 1/4 inch (13 mm) or greater of rainfall has occurred within the first seven (7) day period, the Installer may delay or omit the secondary application, depending on weather conditions.

Mowing

Once established, turf grass height shall be maintained between two (2) and six (6) inches or as specified by the Owner. Not more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings.

1.7.3 TREES & SHRUBS

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below. Begin maintenance immediately after plants are installed and continue until plantings are acceptably healthy and well established but for not less than maintenance period below.

Maintenance Period for Trees and Shrubs: one year

Maintain plantings by pruning, watering, weeding, mulching, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings. Spray or treat as required to keep trees and shrubs free of insects and disease.

Prune trees, shrubs, and vines according to standard professional horticultural and arboricultural practices. Do not cut tree leaders; remove only injured, dying, or dead branches from trees and shrubs; and prune to retain natural character.

Irrigate the plants as necessary to maintain rootball moisture throughout the first growing season. Surrounding soil moisture is not a suitable substitute for rootball moisture evaluation. Use of river water, where available and allowed by federal, state and local authorities, is acceptable for irrigation purposes.

Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of subsidence or where moved by stormwater flows from large rainfall events.

Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease. Use practices to minimize the use of pesticides and reduce hazards.

Protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings.

After the first growing season, evaluate the health and structure of the plant and provide structural pruning only as necessary.

CONSTRUCTION AND VEGETATION

This section details construction and revegetation of the native stormwater basins and BMP areas.

CONSTRUCTION, SOILS AND TOPDRESSING SPECIFICATIONS

Grading and excavation of the native stormwater basins and BMPs shall be completed in accordance with the engineering plans in order to achieve the requisite storage volumes. The following specifications shall be followed to minimize impacts to the naturalized areas and provide a suitable medium for native vegetation establishment:

- All areas to be planted or seeded with native vegetation shall be over-excavated a minimum of 1 foot below final grade to allow for the placement of topdress material, unless a one-foot thick topsoil layer is present following excavation to proposed final grade.
- Topdress material for the proposed naturalized vegetation areas shall originate from on-site. These soils are adequate to promote native vegetation establishment. If additional topdress material is needed, the topdress material shall contain an organic matter content of 3% or more and a clay content of 27% or less.
- Wheel-based vehicles (scrappers, endloaders, etc.) shall not be used for topdressing work. Only low ground pressure wide-track equipment (quadtrack tractor, wide track dozer, backhoe, or approved by Engineer) shall haul, move and spread topdress material.
- Following the 1-foot of topdress placement, the surface shall be thoroughly disked using a small farm type disc (not a large construction disc) and/or Harley rake. Topdress material shall not be handled or the surface disked when wet.
- No wheeled traffic shall occur in the naturalized planting areas after the final diskng is complete, with the exception of a small farm type tractor if used for seeding.
- All construction activities in the naturalized areas must be done under dry conditions.

SEEDING SPECIFICATIONS

- The seeding contractor shall furnish, transport, and install the native seed mixes as specified for the respective areas shown on the Landscape Plan.
- Seeding activities of the permanent matrices shall be performed after the seed bed has been properly prepared, as applicable, between November 1 after the first frost and ending when snow cover exceeds 2-inches in depth or areas are covered with ice and June 15th of the following year.
- If construction activities are finished outside the permanent seeding window, the area can be stabilized with a temporary cover crop or permanent seeded with a supplemental seeding during the prescribed window the following year.
- Seed shall be surface sown with a broadcast seeder and lightly raked in or with a native drop seeder.
- All seed sources shall be within a 200-mile radius of the project site and be true to name and variety.
- Seeding shall only occur in areas that will receive erosion blanket installation within 48 hours and/or prior to forecasted rain.
- All native seed shall be provided on a pure live seed (PLS) basis. Actual seed amounts used on the project will vary with the actual percent of PLS in the seed lot. Seed supplied to the site shall contain documentation of PLS testing and, if required, adjustment of the seed weights to provide 100% PLS standards. If rounding is required during PLS calculation calculations, the adjustment shall always be rounded up. Minimum PLS percentage for any species shall be 70%.
- All seed shall be furnished in sealed containers. Seed that has become wet (unless as primarily intended for a result of stratification), moldy, or otherwise damaged in transit or storage shall not be acceptable.
- Over-seeding or re-planting may be necessary for compliance with the performance section of this document.

EMERGENT PLANTING SPECIFICATIONS

- The planting contractor shall furnish, transport and install all container grown plants for all planting zones as specified on Landscape Plans.
- Herbaceous planting activities shall be performed no earlier than May 15th and no later than August 1st under favorable conditions (i.e., proper hydrology).
- All plugs shall be container grown in open bottom pots with the following minimum dimensions: 2 3/8 inches square by 3-inches deep or a minimum root area of 11 cubic inches. At time of planting, all plant plugs shall have minimum shoot heights of 12-inches and well-developed root systems that hold planting soil together when removed from the container. Soil saturation shall be maintained for all container plants until installation.
- Plant material shall not be provided as dormant (i.e., sprouted tubers, sprouted rhizomes or bare root) unless specified in the planting plan.
- Plugs shall be installed at random in small species groupings.
- It is the responsibility of the landscape contractor to ensure that proper hydrology is maintained during the first growing season following installation to ensure proper conditions for establishment. Irrigation or pumping of the basin may need to take place in order to ensure proper hydrology.

PRE-SEEDING AND PLANTING WEED CONTROL

Any areas within the mesic prairie, swale bottom or emergent planting zones that are not disturbed as a result of grading activities shall be treated for non-native invasive species including but not limited to: reed canary grass (*Phalaris arundinacea*), cattails (*Typha* spp.), common reed (*Phragmites australis*) and purple loosestrife (*Lythrum salicaria*) prior to any seeding or planting activities. Additionally, if following grading the native areas lie below low enough for non-native species to establish, they shall be treated prior to seeding or planting.

- Following any herbicide applications, allow 10-14 days prior to cultivating for seed bed preparation. If weed growth persists after the initial application, reapply herbicide and delay cultivation for at least 10 days.
- In order to prepare an adequate seed bed areas that were not disturbed as a result of grading may need to be mowed, scraped and/or burned following spray out of the fallow vegetation in order to remove all the dead plant material to allow the native seed mix to get good seed/soil contact and ensure germination.

EROSION CONTROL BLANKET SPECIFICATIONS

North American Green (NAG) S75 BioNet shall be installed over all seeding areas (mesic prairie and swale bottom) as shown on the Landscape Plan. The blanket shall be installed within 48 hours and/or prior to forecasted rain, so no seeded area remains unprotected. Therefore, the area seeded shall be based on whatever can be blanketed within 48 hours. Installation of all erosion control materials shall be in accordance with the manufacturer's specifications.

PREDATOR CONTROL

A predator control system may need to be installed to help achieve the site goals and performance standards by discouraging herbivores such as but not limited to geese, muskrats, and carp from consuming and uprooting newly planted native plugs. It is the responsibility of the landscape contractor to monitor and assess the site for herbivores and install a predator control system in a timely manner if identified to ensure the successful establishment of native planted material. If a predator control system is need then the following is recommended:

- The materials shall include: 1-inch X 1-inch X 4-foot wood stakes with one end pointed, chicken wire fencing fabric or wire hardware cloth with mesh openings not to exceed 2-inches, 6-inch wire landscape staples, masons string and UV rated zip ties.
- All areas receiving native plant plugs shall be protecting by a predator control structure. The fence, consisting of three-foot-high chicken wire fence mounted securely on 1-inch X 1-inch X 4-foot wood stakes in such a manner that one foot of wood stake with pointed end will extend below the fence fabric. The wood stakes will be no greater than 6 feet apart and installed approximately one foot deep into the soil so that the bottom of the fence fabric rests firmly on the soil surface. This fence shall be installed in conjunction with site seeding and native plug installation.
- It is the responsibility of the installation contractor to remove the predator control system once the native plants have established and/or once the performance standards are met and sign off is achieved.

VEGETATION MANAGEMENT

Proper management is critical for successful establishment of the proposed plant communities. Periodic mowing and selective herbicide application are commonly used as management techniques for natural plant communities. The following management activities are recommended to ensure that the site develops in relation to pre-established goals and achieve the set performance standards.

First and Second Year Mowing During the first two growing seasons after installing the mesic prairie and swale bottom seed mixes, mowing or selective weed whipping the vegetation should occur as needed to maintain a plant height of no greater than 18 to 20 inches. To accomplish this, cutting the vegetation to a height of 6 to 9 inches several times during the growing season will be needed. Cutting the vegetation will aid new plant growth as to allow more sunlight to reach young prairie seedlings. Cutting the vegetation will also aid in the control of annual weeds, which can undermine seeding efforts. Selective weed whipping can be used instead of a mower if conditions are unfit (i.e., too wet or no access) for a tractor or if only small, isolated areas of undesirable vegetation require cutting. In addition, cutting the inflorescence prior to seed set of many biennial species including tassel and sweet clover is an effective control method that can be utilized.

Herbicide Application Management of the vegetation in all areas should include selective application of herbicide to control aggressive plant species, such as, but not limited to, reed canary grass (*Phalaris arundinacea*), cattails (*Typha* spp), purple loosestrife (*Lythrum salicaria*), common reed (*Phragmites australis*), thistles (*Cirsium* spp.), tassel (*Oxycoccus* spp.), and sand spitters (*Melilotus* spp.). These species, including others, can displace desirable species, thereby reducing foristic diversity in the naturalized areas. Controlling these species will be required to achieve the performance standards for the project.

Natural regeneration of cattails Natural reed and reed canary grass in the stormwater basin will likely occur following construction. A pre-planting control shall be conducted if any of these species or other weeds are present. Hand pulling cattails can be conducted when the cattails are small enough to ensure that the entire root is removed. Off-site disposal of cattails will be required. Larger cattails will require herbicide applications. Cattail and common reed coverage can be no greater than 5% in aggregate prior to plant installation. Aggressive control of these species will be required after planting throughout the management period to ensure plant establishment. After planting, the hand-wick application method to control these species will likely be required.

A determination regarding the type of herbicide to be used should be made when it is known which nuisance species are present on the site. Depending on the target weed species, a selective herbicide may be available. The choice of herbicide and timing of herbicide application will be made by a trained, experienced professional based on the target weed species and conditions. Care should be taken to monitor site weather conditions to limit herbicide drift, over-spray, and ensure it is rainfast.

It is recommended that a minimum of four annual weed control application periods are conducted throughout the three-year period. Below is a general guideline on the suggested schedule and target species for the application periods:

- Application Period One (early spring - April/May):** problematic species such as, but not limited to, reed canary grass, red/white clover, cool season adventive grasses.
- Application Period Two (late spring to early summer - May/June):** problematic species such as, but not limited to, tassel, white/yellow sweet clover, thistle.
- Application Period Three (mid to late summer - July/August):** problematic species such as, but not limited to, tall goldenrod, hairy aster, ragweed, cattails, purple loosestrife.
- Application Period Four (late summer and fall - September/October):** problematic species such as, but not limited to, reed canary grass, thistle, common reed, red/white clover, cool season grasses.

Prescribed Burning Prescribed burning may be conducted in the naturalized areas during the management period. If deemed safe by the contractor, the prescribed burn should be scheduled in the spring or fall of the third growing season. Prescribed burning can reduce exotic weed species that may establish from seeds or rootstock material in the topsoil that is in situ or placed in these areas. Additionally, burning encourages the growth of native plant species from the established plant mix, and existing seedbank, and inhibits the growth of non-indigenous vegetation.

Long-Term Mowing in Lieu of Prescribed Burning If burning is deemed unsafe, end of growing season mowing can be conducted instead. Mowing the vegetation at the end of the growing season around November would be conducted annually after the vegetation has established (after year 2). This end of growing season mowing will partially replace some of the benefits provided by fire, in an area where prescribed burning is not feasible, mowing will be to a height of 6 inches. The mowing will only occur under dry or frozen ground conditions, so that soil disturbance from wheel ruts is avoided.

PERFORMANCE STANDARDS

Performance standards are established for all proposed projects involving naturalized areas so that the relative success may be evaluated. If the performance standards are not achieved by the end of the management and monitoring program, the permittee is responsible for correction of any deficiencies through further management activities, which may include replanting.

Native BMP Performance Standards (three-years):

- Within 3 months of seed installation (and/or three months after the start of the growing season if dormant seeded), at least 90% of the native seeding zones, as measured by aerial coverage, shall be vegetated. A minimum 90% vegetative coverage shall be maintained throughout, and at the end of, the three-year period for this area.
- Throughout the second and third year of monitoring, no area $\geq 1m^2$ shall be unvegetated.
- At the end of the first year of the monitoring period, all vegetated native areas shall achieve a minimum 10% native vegetative coverage. None of the three most dominant species can be non-native and/or invasive.
- At the end of the second year of the monitoring period, all vegetated native areas shall achieve a minimum 25% native vegetative coverage. None of the three most dominant species can be non-native and/or invasive.
- At the end of the third year of the monitoring period, all vegetated native areas shall achieve a minimum 75% native vegetative coverage. None of the three most dominant species can be non-native and/or invasive.

MONITORING

Vegetation Monitoring Annual vegetation monitoring in the naturalized areas shall be conducted for the native BMP (3-years) areas beginning immediately following planting/seeding. The vegetation monitoring inspections shall be conducted twice per year (May/June and August/September). Monitoring shall be conducted using the meander method and/or transects in accordance with the procedures set forth by the U.S. Army Corps of Engineers Rock Island District.

Annual Monitoring Report An annual monitoring report shall be submitted by the landscape contractor to the property owner by February 15th of each year during the three-year period or until performance standards are met and signoff is achieved.

The annual report must include a review of site progression towards meeting the performance standards and propose any necessary remedial actions. More specifically, the monitoring report must contain the following information, which will be based on data collected during the monitoring inspections.

- A summary of management activities conducted during the year.
- Representative photographs depicting general site conditions and work completed.
- Provide the top three dominant species, absolute vegetative coverage and relative vegetative coverage estimates as needed to evaluate the performance standards.
- Evaluate the status of the areas relative to the performance standards.
- Recommend management activities for the following year to address any issues related to site success.

550 Polaris Parkway
Westerville, Ohio 43082
614.761.1661 phone
www.v3jco.com








7-ELEVEN

S04

NEW ALBANY

DRAWING NO.

L3.0

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	40	CPY-FLAT-13L	SINGLE	1.000	13750	86	CPY250-C-13L-57K7-F-UL-DM-WH-HZ
	7	CPY-FLAT-4L	SINGLE	1.000	4590	29	CPY250-C-4L-57K7-F-UL-DM-BK-HZ
	7	OSQW	SINGLE	1.000	4020	27	OSQW-C-4L-57K7-3M-UL-WM-BK
	5	XSPLG-3ME-BLS	SINGLE	1.000	16900	184	XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N w/XA-SP2BLS
	4	XSPLG-4ME	SINGLE	1.000	23800	184	XSPLG-D-HT-4ME-24L-57K7-UL-BK-N
	4	XSPLG-4ME-4	4 @ 90°	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BK-N
	6	XSPLG-4ME-BLS	SINGLE	1.000	17400	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N w/XA-SP2BLS



Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	1.77	45.2	0.0	N.A.	N.A.
Commerical PL	Fc	0.44	1.2	0.0	N.A.	N.A.
Diesel Canopy	Fc	58.26	70	36	1.62	1.94
Gas Canopy	Fc	46.19	52	30	1.54	1.73
Residential PL	Fc	0.00	0.0	0.0	N.A.	N.A.
ROW PL	Fc	0.03	0.2	0.0	N.A.	N.A.
Car Side Parking	Fc	21.02	52.0	0.2	105.10	260.00
Truck Side Parking	Fc	7.43	70.0	0.3	24.77	233.33

Fixture Mounting Height: 20' AFG (17' Pole + 3.0' Concrete Base)
30' AFG (30' Pole + 0.0' Concrete Base)

Pole Schedule
(8) SSS-4-11-17-CW-BS-OT-N-BK (17' X 4" X 11ga STEEL SQUARE POLE)
(11) SSS-4-11-30-CW-BS-OT-N-BK (30' X 4" X 11ga STEEL SQUARE POLE)

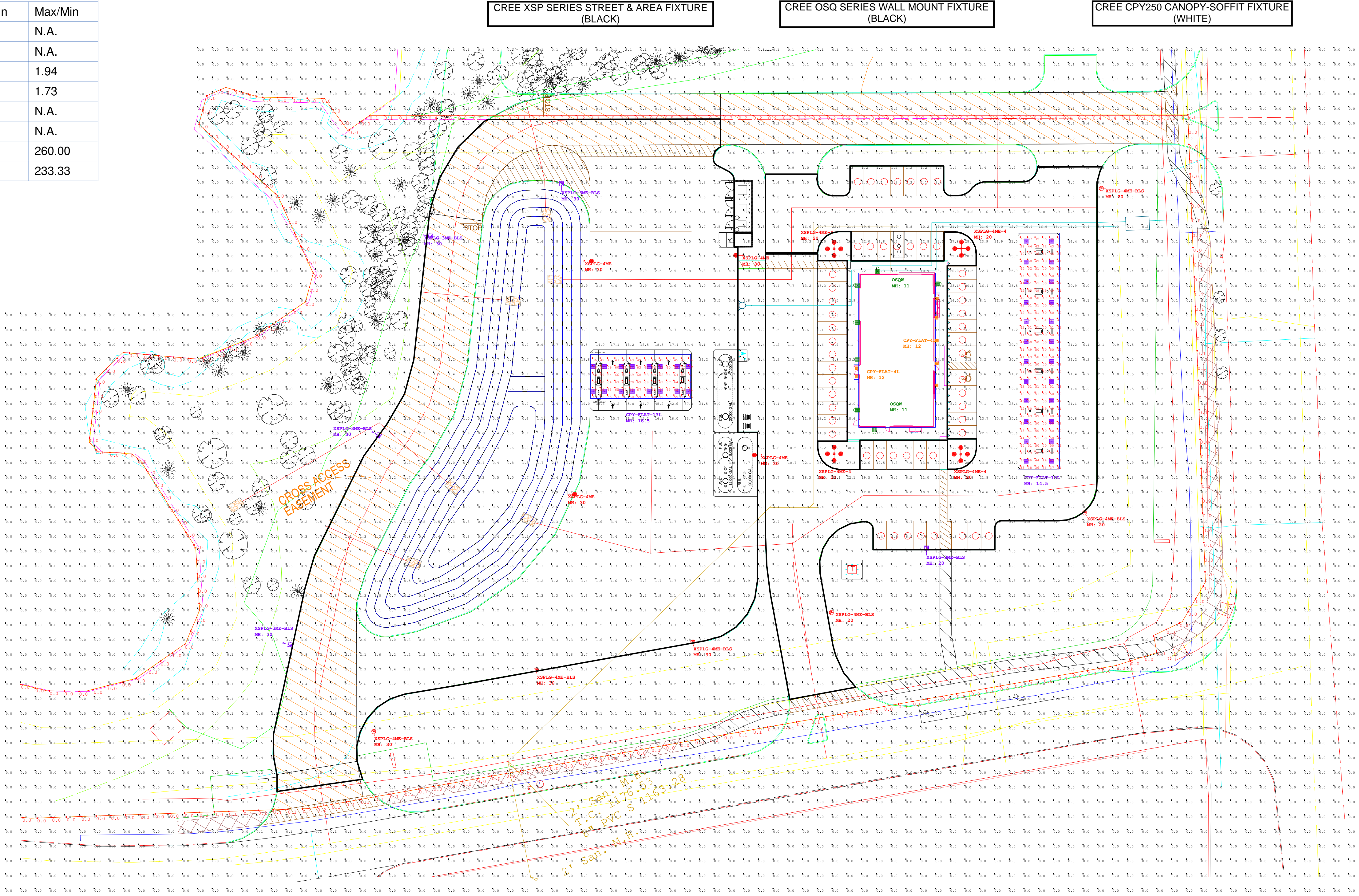
Proposed poles meet 120 MPH sustained winds. ALL POLES AND FIXTURES ARE SPECIFIED TO BE 'BLACK'

Additional Equipment:
(15) PD-1H4BK(90) - (Horizontal Tenon - 1@90°)
(4) PD-4H4BK(90) - (Horizontal Tenon - 4@90°)
(11) XA-SP2BLS - (Backlight Shield)

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

BOM: Complete Part Description

- 40 CPY250-C-13L-57K7-F-UL-DM-WH-HZ
- 07 CPY250-C-4L-57K7-F-UL-DM-BK-HZ
- 07 OSQW-C-4L-57K7-3M-UL-WM-BK
- 05 XSPLG-D-HT-3ME-24L-57K-UL-BK-N
- 26 XSPLG-D-HT-4ME-24L-57K-UL-BK-N
- 08 SSS-4-11-17-CW-BS-OT-N-BK
- 11 SSS-4-11-30-CW-BS-OT-N-BK
- 15 PD-1H4BK(90)
- 04 PD-4H4BK(90)
- 11 XA-SP2BLS



9201 Washington Ave, Racine, WI 53406 - (800) 236-6800
https://www.creelighting.com - Email: applications@creelighting.com

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: 7-Eleven #1056127 - Mink St. & Innovation Campus Way New Albany, OH - EXT

CASE #: 00633164

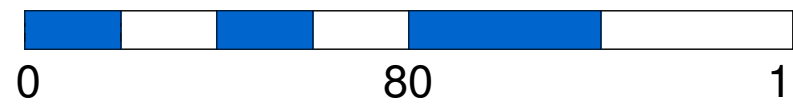
Footcandles calculated at grade

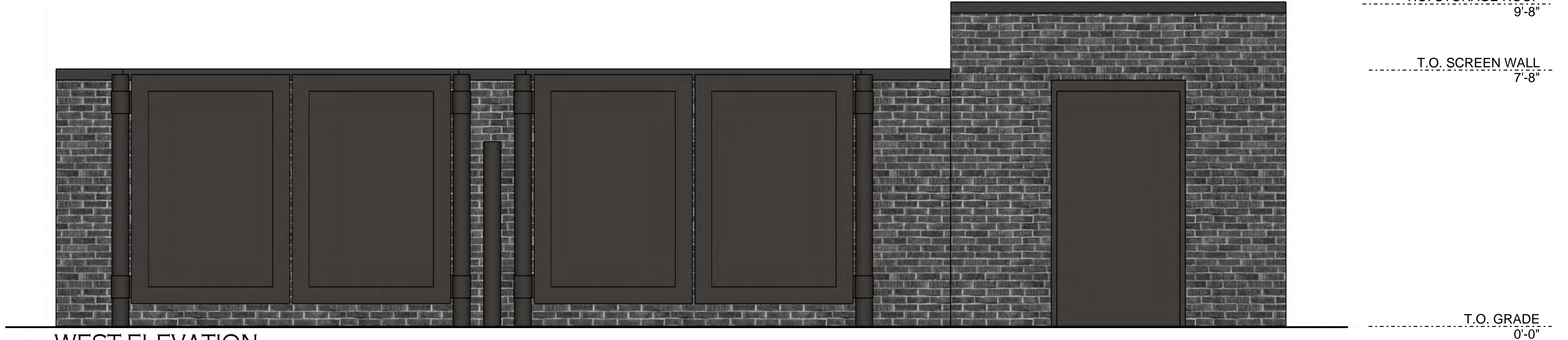
Filename: 711-241216NAOHCW.AGI

Layout By:
Collin Witherow

Date:12/16/2024

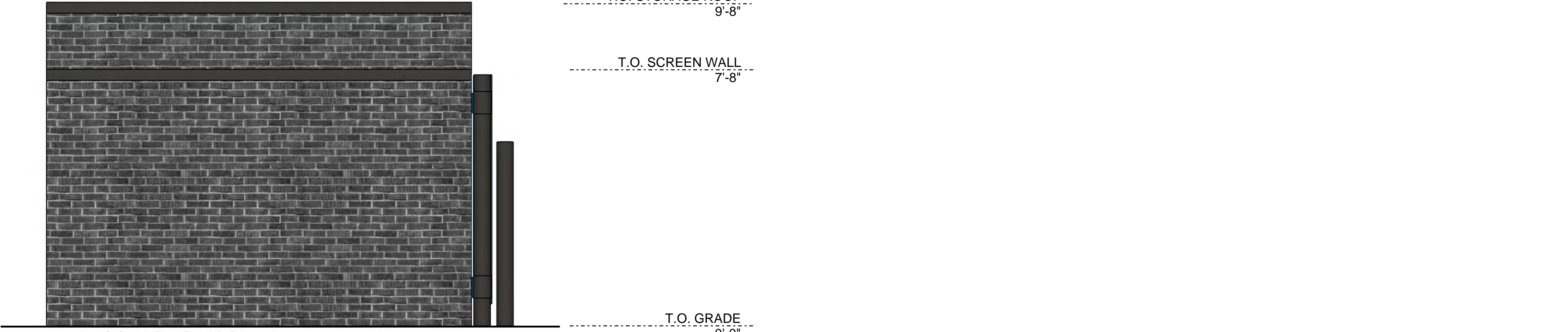
Scale 1" = 40'





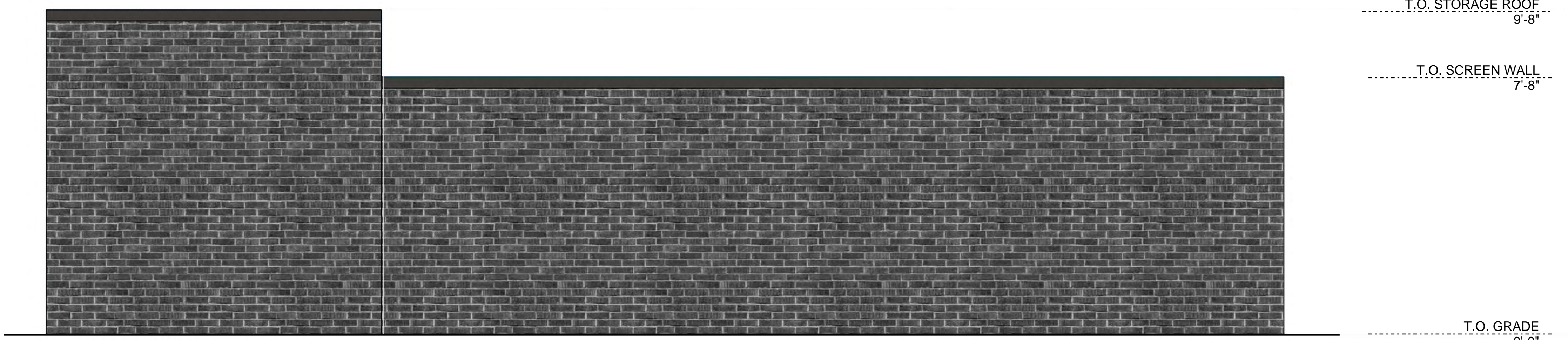
A WEST ELEVATION

SCALE: 1/2" = 1'-0"



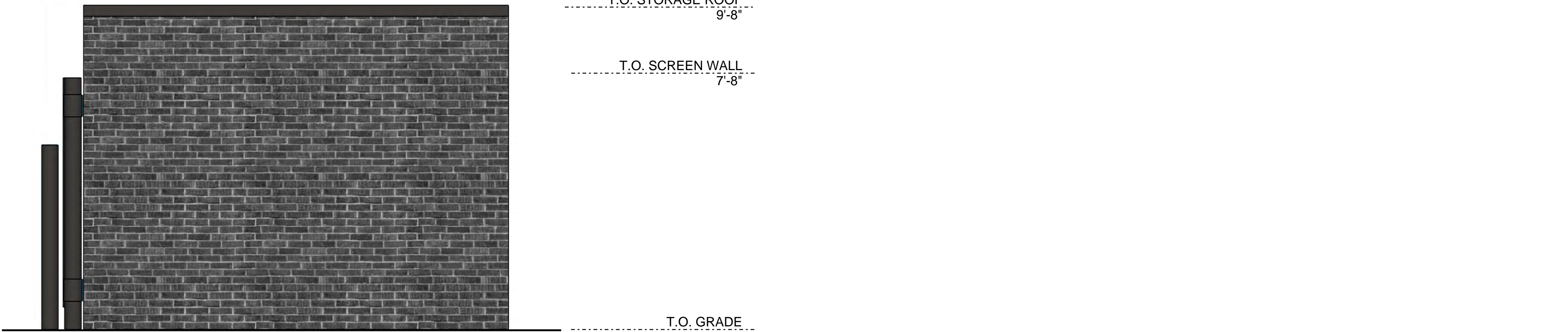
B NORTH ELEVATION

SCALE: 1/2" = 1'-0"



C EAST ELEVATION

SCALE: 1/2" = 1'-0"



D SOUTH ELEVATION

SCALE: 1/2" = 1'-0"

BEAN

J. CARTER BEAN ARCHITECT
4400 NORTH HIGH STREET
SUITE 401 • COLUMBUS
OHIO • 43214
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FAX 614 262 2329

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7-ELEVEN NEW ALBANY NORTH

MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054

FOR
GALLAS ZADEH DEVELOPMENT
1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

DRAWING STATUS		
STATUS		DATE
FIN. DEV. PLAN		DEC. 20, 2024
FDP REV. 2		FEB. 4, 2025

DRAWING TITLE

TRASH ENCLOSURE

DRAWING NUMBER

SD-1.1

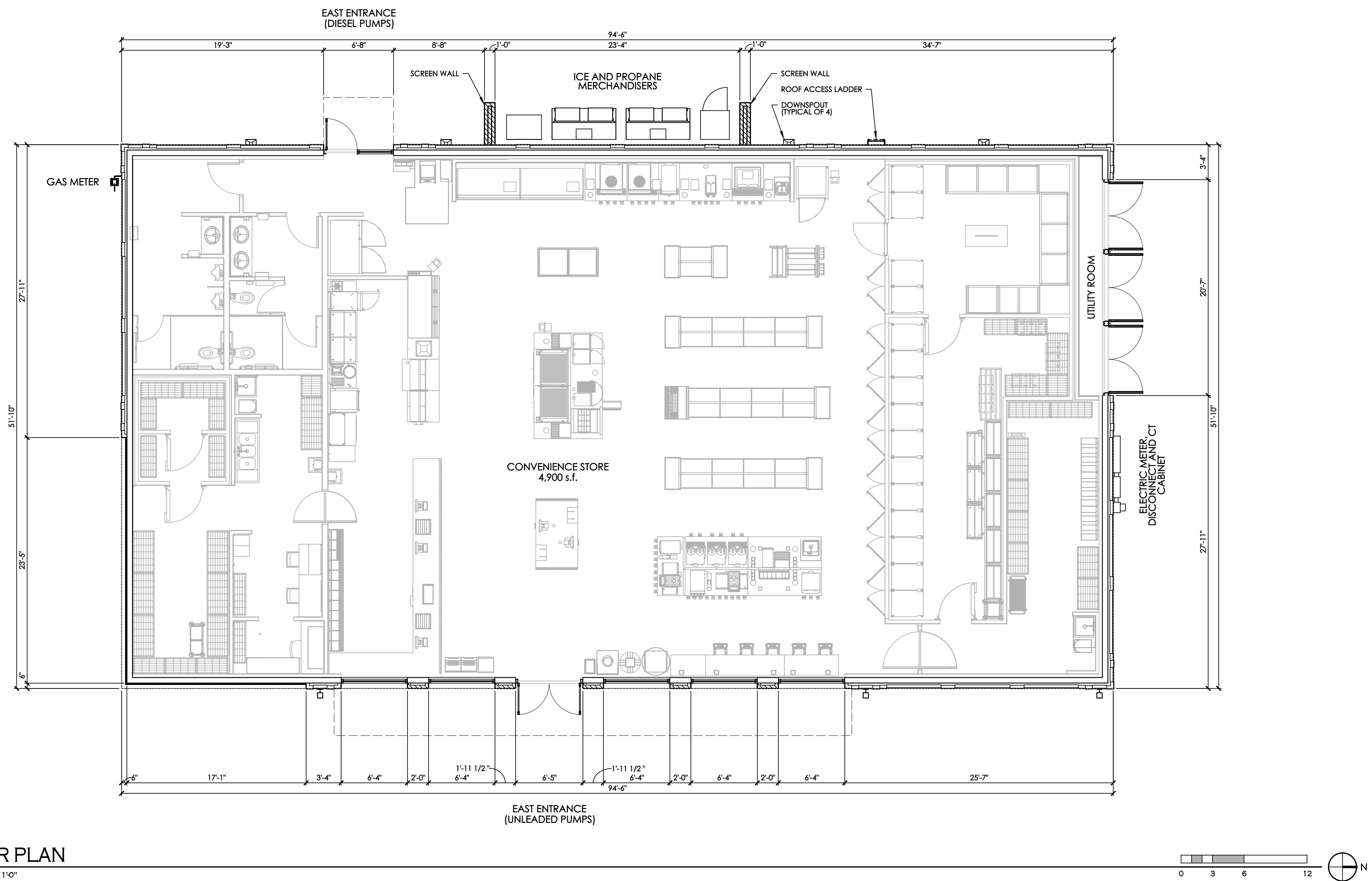
BEAN #000000.00

7-ELEVEN NEW ALBANY NORTH

MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054

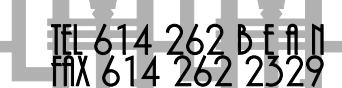
FOR
GALLAS ZADEH DEVELOPMENT
1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

DRAWING STATUS	
STATUS	DATE
FIN. DEV. PLAN	DEC-20, 2024
FIN. DEV. PLAN REV.	JAN-17, 2025
DRAWING TITLE	
FLOOR PLAN	
DRAWING NUMBER	
A-1.1	
BEAN #000000.00	



A FLOOR PLAN

SCALE: 3/16" = 1'-0"



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ELEVEN NEW ALBANY NORTH
MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054
FOR
GALLAS ZADEH DEVELOPMENT

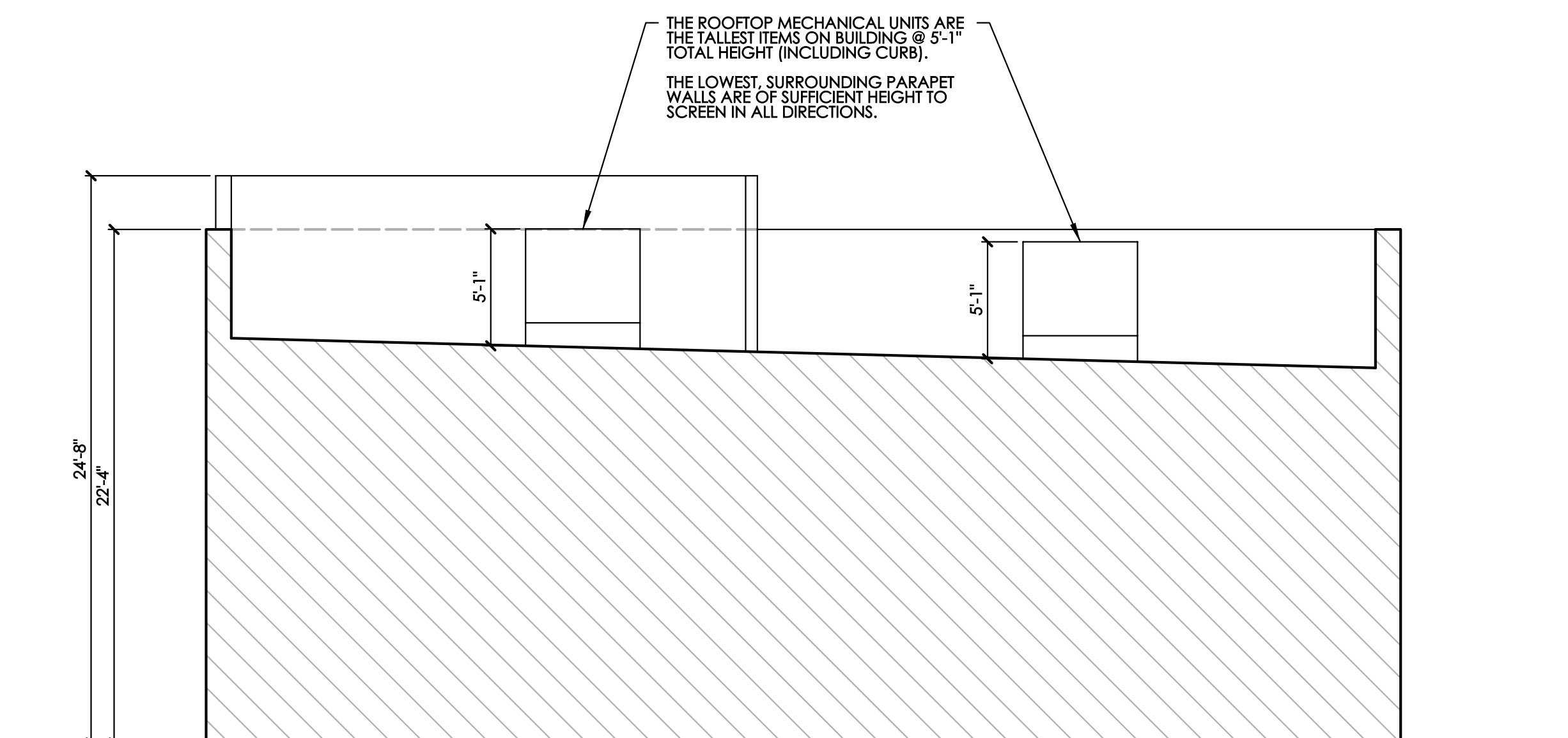
DRAWING TITLE

ROOF PLAN
AND
BUILDING SECTION

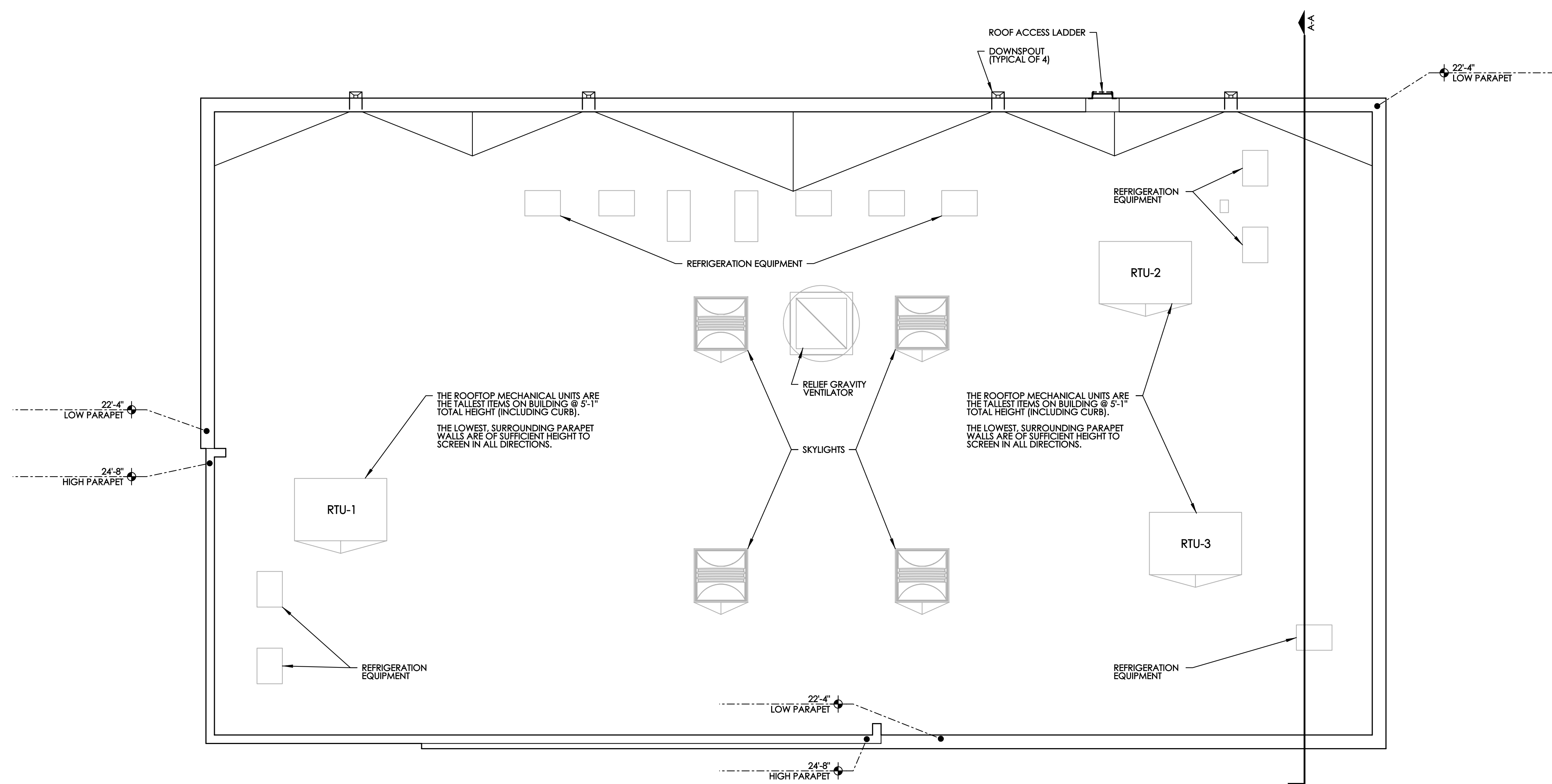
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A-1.2

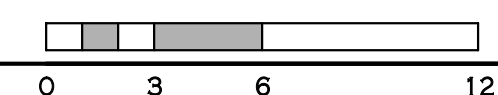
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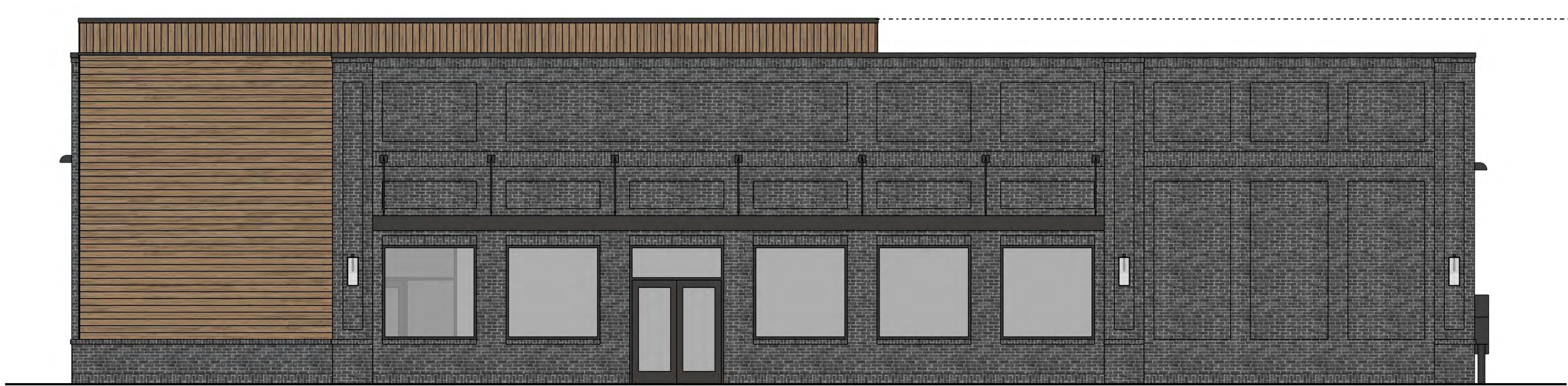
BUILDING SECTION A-A
SCALE: 3/16" = 1'-0"



B ROOF PLAN
SCALE: 3/16" = 1'0"



BEAN #00000.00



A EAST ELEVATION
SCALE: 3/16" = 1'-0"

T.O. HIGH PARAPET
24'-8"
T.O. LOW PARAPET
22'-4"

T.O. STOREFRONT
9'-4"

T.O. WATERTABLE
3'-0"
T.O. GRADE
0'-0"



B SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

T.O. HIGH PARAPET
24'-8"
T.O. LOW PARAPET
22'-4"

B.O. CANOPY
10'-4"
T.O. SCREEN WALL
6'-4"
T.O. WATERTABLE
3'-0"
T.O. GRADE
0'-0"

NOTE:
ALL STOREFRONT WINDOWS AND ENTRANCE
DOORS SHALL UTILIZE BE CLEAR,
NON-REFLECTIVE, NON-TINTED GLAZING



C WEST ELEVATION
SCALE: 3/16" = 1'-0"

T.O. HIGH PARAPET
24'-8"
T.O. LOW PARAPET
22'-4"

T.O. STOREFRONT
9'-4"
T.O. SCREEN WALL
6'-4"
T.O. WATERTABLE
3'-0"
T.O. GRADE
0'-0"



D NORTH ELEVATION
SCALE: 3/16" = 1'-0"

T.O. HIGH PARAPET
24'-8"
T.O. LOW PARAPET
22'-4"

T.O. STOREFRONT
9'-4"
T.O. DOOR FRAME
7'-4"
T.O. WATERTABLE
3'-0"
T.O. GRADE
0'-0"



MANUFACTURER: THERMORY
PRODUCT: THERMALLY-MODIFIED RADIATA PINE
COLOR: VIVID GOLDEN BROWN



MANUFACTURER: BELDEN BRICK
PRODUCT: METALLIC BLACK SANDMOLD (STANDARD MODULAR)
MORTAR: MIAMI MASONRY CEMENT STANDARD GREY



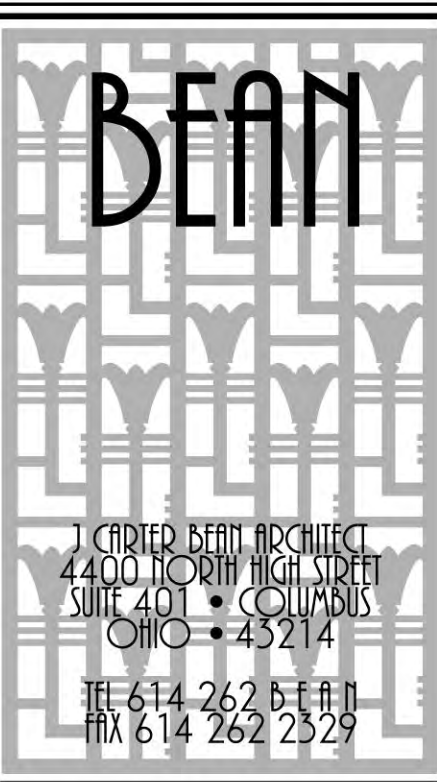
MANUFACTURER: DIMENSIONAL METALS INC.
PRODUCT: 24 GA. PREFINISHED METAL
COLOR: MATTE BLACK



MANUFACTURER: NORWELL LIGHTING
PRODUCT: CAPTURE SERIES, 1-LIGHT, 21 INCH
MORTAR: MATTE BLACK



MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW6258 'TRICORN BLACK'



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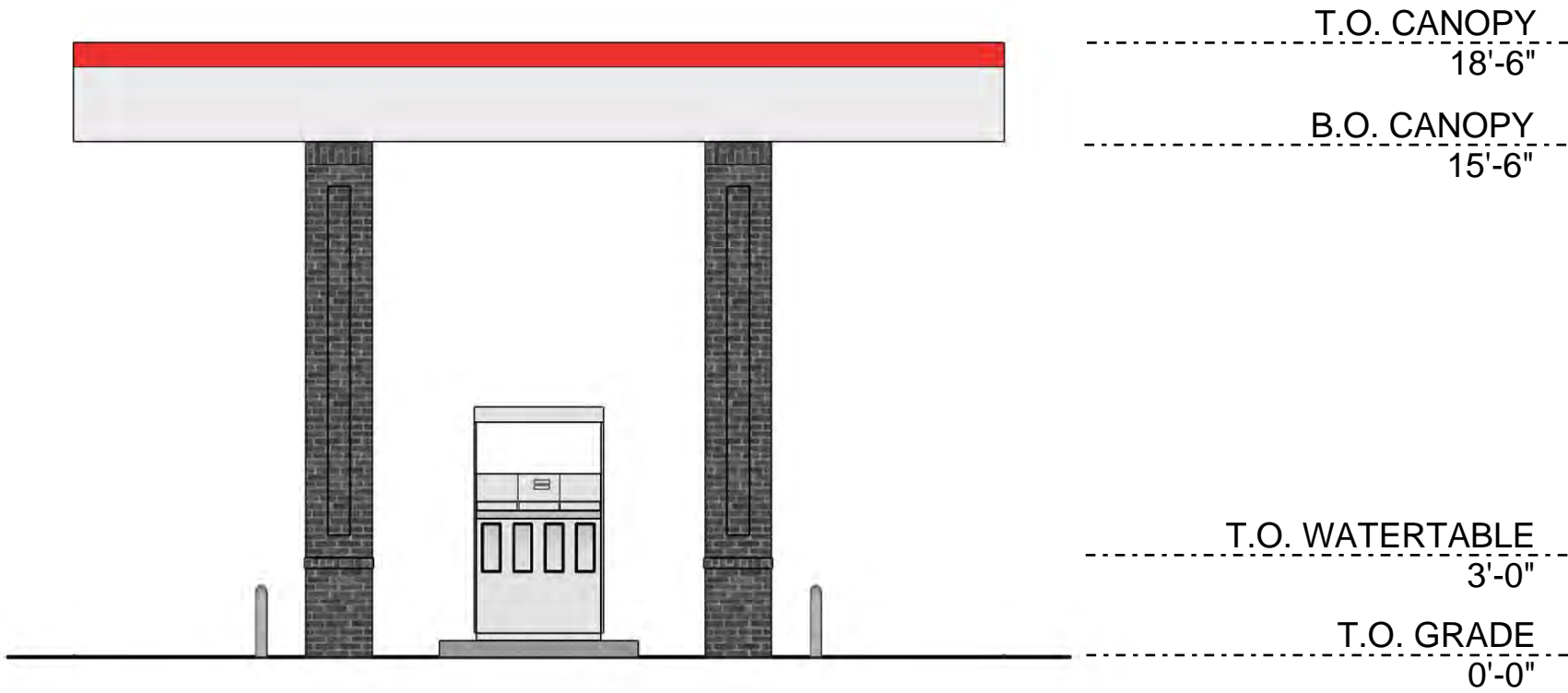
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7-ELEVEN NEW ALBANY NORTH
MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054
FOR
GALLAS ZADEH DEVELOPMENT
1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

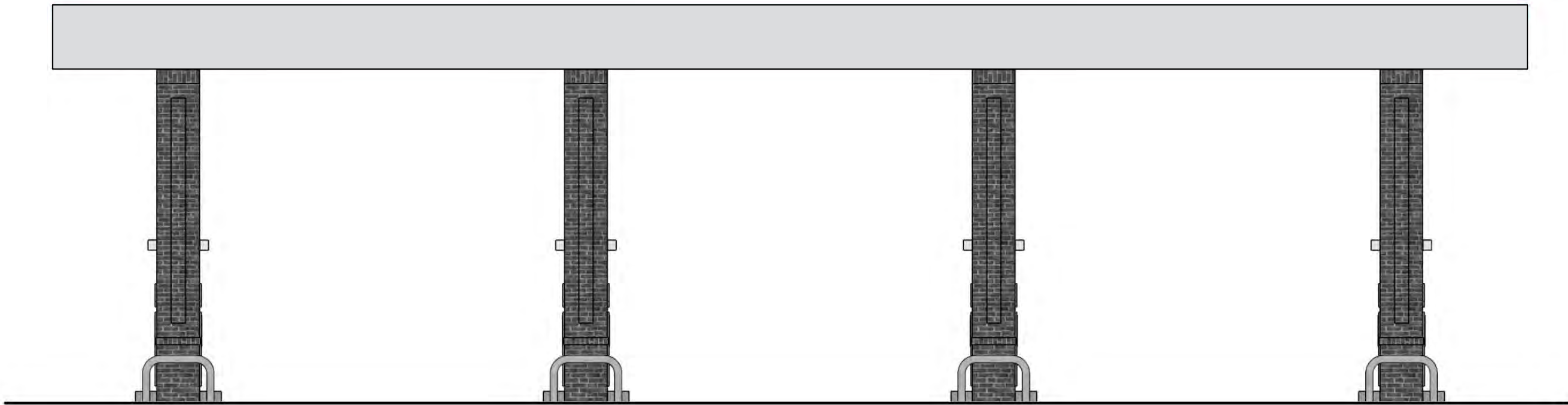
DRAWING STATUS		
STATUS		DATE
FIN. DEV. PLAN		DEC. 20, 2024
FDP REVISION 1		JAN. 17, 2025
DRAWING TITLE		
BUILDING ELEVATIONS		
DRAWING NUMBER		
A-2.1		
BEAN #000000.00		



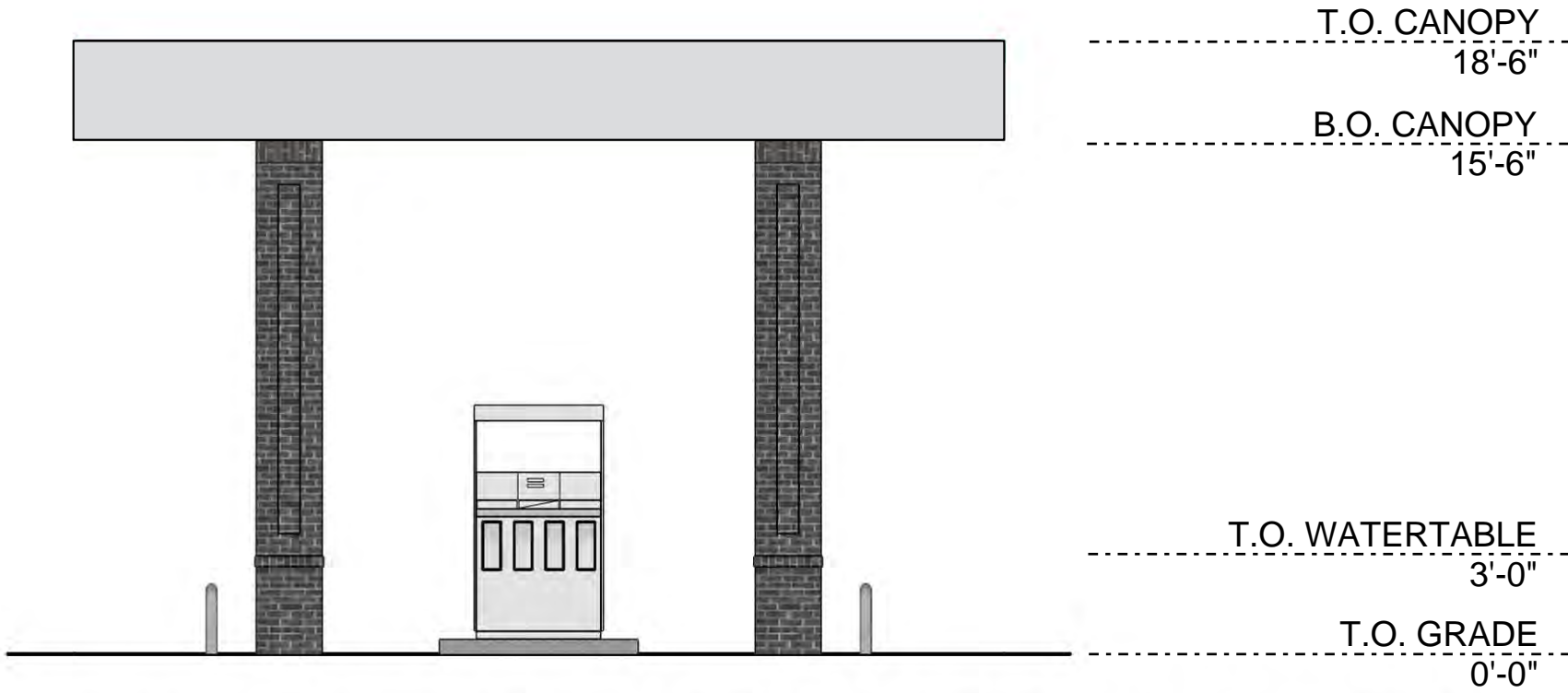
A UNLEADED CANOPY ELEVATIONS (EAST/WEST)
SCALE: 3/16" = 1'-0"



B UNLEADED CANOPY ELEVATIONS (NORTH/SOUTH)
SCALE: 3/16" = 1'-0"



C DIESEL CANOPY ELEVATIONS (NORTH/SOUTH)
SCALE: 3/16" = 1'-0"



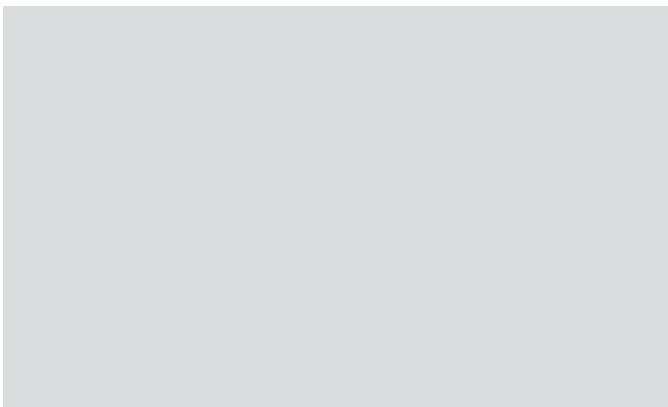
D DIESEL CANOPY ELEVATIONS (EAST/WEST)
SCALE: 3/16" = 1'-0"



MANUFACTURER: BELDEN BRICK
PRODUCT: METALLIC BLACK SANDMOLD (STANDARD MODULAR)
MORTAR: MIAMI MASONRY CEMENT STANDARD GREY



CANOPY RED: 3M 3630-53



CANOPY GRAY: PMS 428C



CANOPY BLACK: DMI MATTE BLACK

BEAN

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OHIO • 43214
TEL 614 262 5111
FAX 614 262 2329

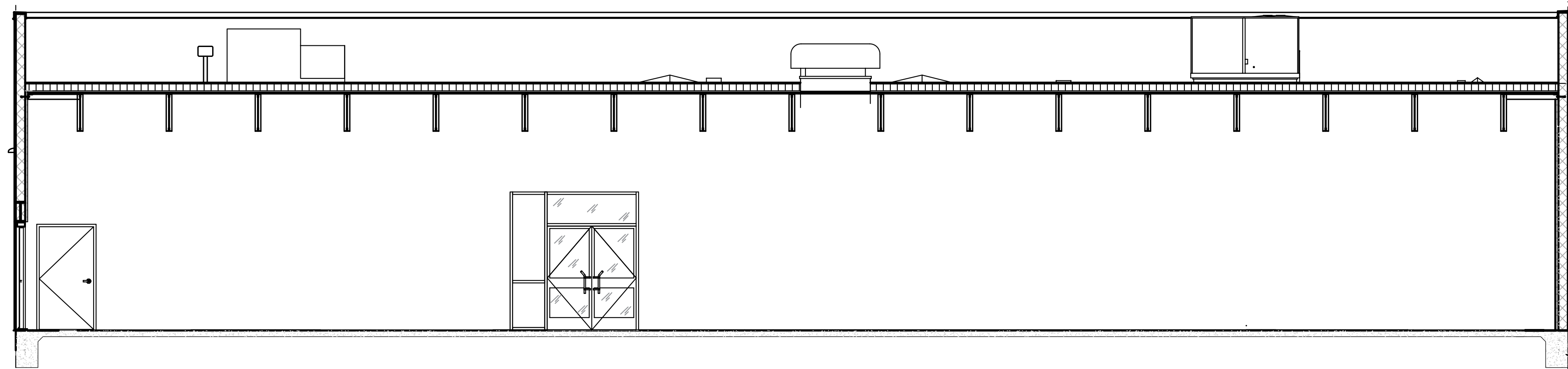
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7-ELEVEN NEW ALBANY NORTH
MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054
FOR
GALLAS ZADEH DEVELOPMENT
1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

DRAWING STATUS		
STATUS		DATE
FIN. DEV. PLAN		DEC. 20, 2024
FDP REVISION 1		JAN. 17, 2025
DRAWING TITLE		
FUEL CANOPY ELEVATIONS		
DRAWING NUMBER		
A-2.2		
BEAN #000000.00		

THE LOWEST, SURROUNDING
PARAPET WALLS ARE OF
SUFFICIENT HEIGHT TO SCREEN
IN ALL DIRECTIONS.

THE LOWEST, SURROUNDING
PARAPET WALLS ARE OF
SUFFICIENT HEIGHT TO SCREEN
IN ALL DIRECTIONS.



124'-8"
HIGH PARAPE

122'-4"
LOW PARAPET

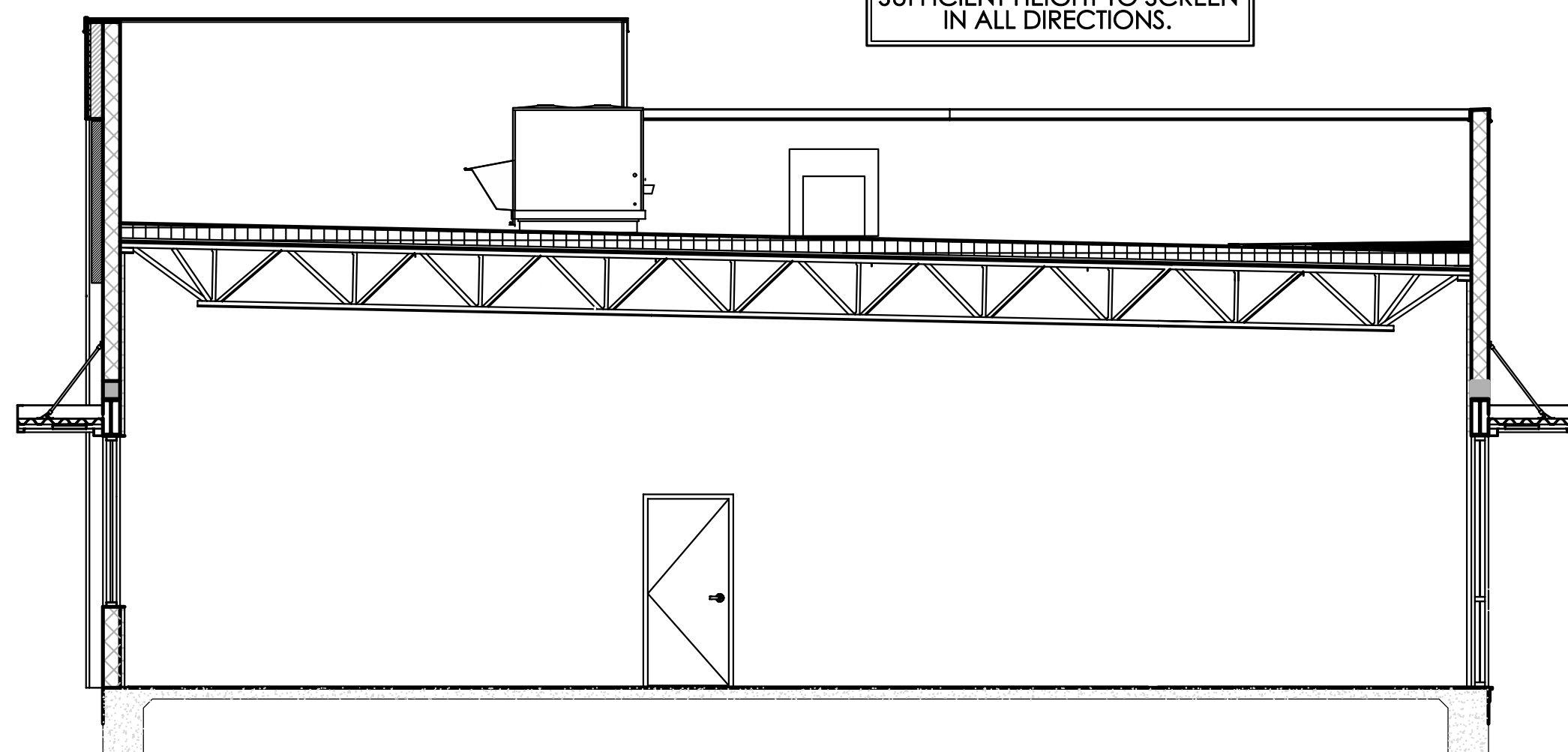
100'-0"
FINISHED GRADE

LONGITUDINAL BUILDING SECTION
SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"

THE LOWEST, SURROUNDING
PARAPET WALLS ARE OF
SUFFICIENT HEIGHT TO SCREEN
IN ALL DIRECTIONS.

THE LOWEST, SURROUNDING
PARAPET WALLS ARE OF
SUFFICIENT HEIGHT TO SCREEN
IN ALL DIRECTIONS.



124'-8"
HIGH PARAPET

122'-4"
LOW PARAPET

100'-0"
FINISHED GRADE

(B) LATITUDINAL BUILDING SECTION
SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"

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/-EVEN NEW ALBANY NORTH

MINK STREET AT INNOVATION CAMPUS WAY

4, OHIO 43054

FOR
GAIL AS ZADEH DEVELOPMENT

1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

DRAWING STATUS		
TUS		
DEV. PLAN		DEC
DEV. PLAN REV.		JAN

DRAWING TITLE

BUILDING SECTIONS

DRAWING NUMBER

A-3.1

BEAN #00000.00



AERIAL VIEW LOOKING NORTHWEST



AERIAL VIEW LOOKING NORTHEAST

BEAN

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7-ELEVEN NEW ALBANY NORTH
MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054
FOR
GALLAS ZADEH DEVELOPMENT
1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

DRAWING STATUS	
STATUS	DATE
FIN. DEV. PLAN	DEC. 20, 2024
FDP REV. 1	JAN. 17, 2025
FDP REV. 2	FEB. 4, 2025

DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-1

BEAN #000000.00



AERIAL VIEW LOOKING SOUTHEAST



VIEW LOOKING SOUTHWEST

7-ELEVEN NEW ALBANY NORTH
MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054
FOR
GALLAS ZADEH DEVELOPMENT
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FDP REV. 2	FEB. 4, 2025

DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-2

BEAN #000000.00



VIEW LOOKING NORTHWEST



VIEW LOOKING EAST

BEAN

J. CARTER BEAN ARCHITECT
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OHIO • 43214
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FAX 614 262 2329

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STATUS	DATE
FIN. DEV. PLAN	DEC. 20, 2024
FDP REV. 1	JAN. 17, 2025
FDP REV. 2	FEB. 4, 2025

DRAWING TITLE
RENDERINGS

DRAWING NUMBER
R-3
BEAN #000000.00



VIEW LOOKING SOUTHWEST



VIEW LOOKING NORTHWEST

BEAN

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DRAWING STATUS

STATUS	DATE
FIN. DEV. PLAN	DEC. 20, 2024
FDP REV. 1	JAN. 17, 2025
FDP REV. 2	FEB. 4, 2025

DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-4

BEAN #000000.00



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTHEAST

BEAN

1 CHARTER BEAN ARCHITECT
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NEW ALBANY, OHIO 43054

FOR
GALLAS ZADEH DEVELOPMENT
1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

DRAWING STATUS	
STATUS	DATE
FIN. DEV. PLAN	DEC. 20, 2024
FDP REV. 1	JAN. 17, 2025
FDP REV. 2	FEB. 4, 2025

DRAWING TITLE

RENDERINGS

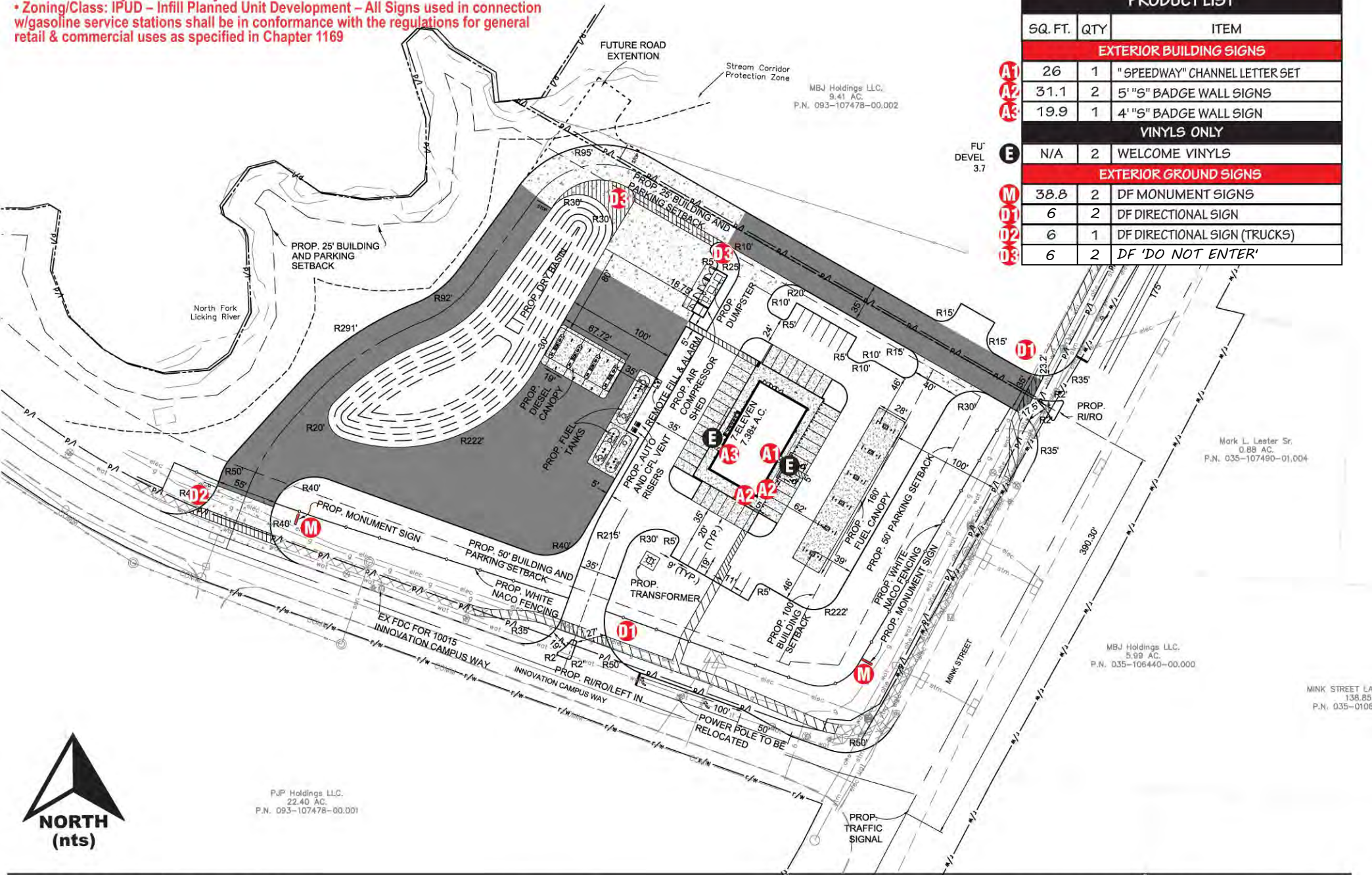
DRAWING NUMBER

R-5

BEAN #00000.00

• Jurisdiction: City of New Albany
• Zoning/Class: IPUD – Infill Planned Unit Development – All Signs used in connection w/gasoline service stations shall be in conformance with the regulations for general retail & commercial uses as specified in Chapter 1169

PRODUCT LIST		
SQ. FT.	QTY	ITEM
EXTERIOR BUILDING SIGNS		
A1 26	1	"SPEEDWAY" CHANNEL LETTER SET
A2 31.1	2	5' "S" BADGE WALL SIGNS
A3 19.9	1	4' "S" BADGE WALL SIGN
VINYL ONLY		
E N/A	2	WELCOME VINYL
EXTERIOR GROUND SIGNS		
M 38.8	2	DF MONUMENT SIGNS
D1 6	2	DF DIRECTIONAL SIGN
D2 6	1	DF DIRECTIONAL SIGN (TRUCKS)
D3 6	2	DF 'DO NOT ENTER'



Job Location: Site # 1056127
Mink St. & Innovations Parkway,
New Albany, OH
Date: January 16, 2025



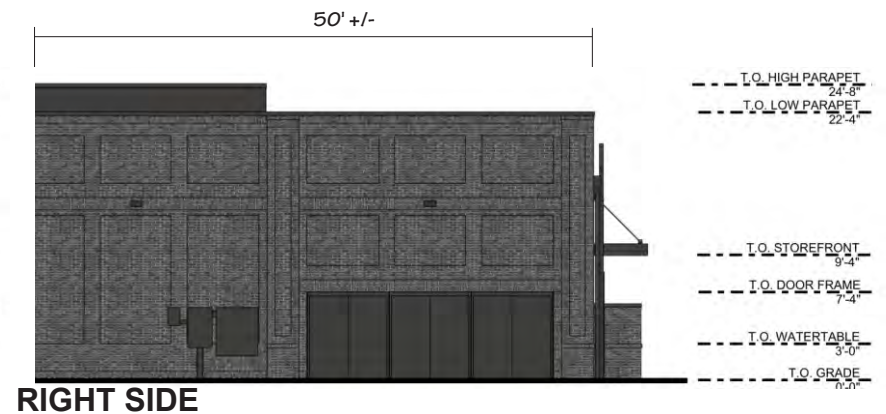
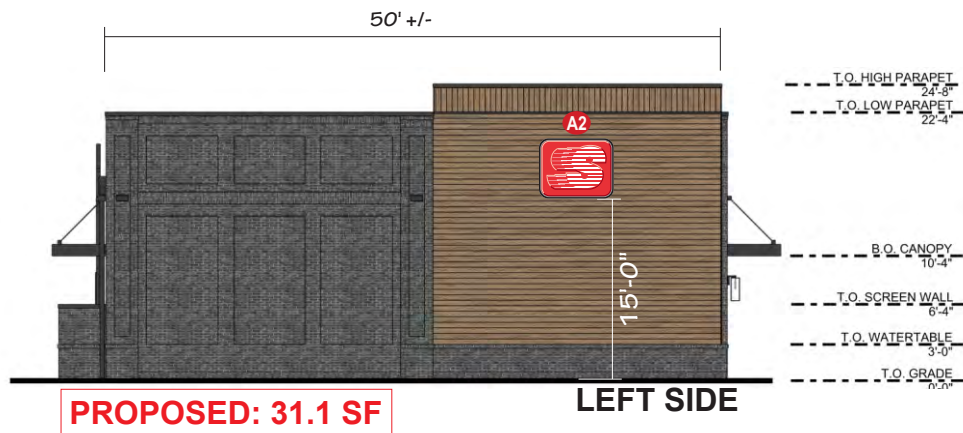
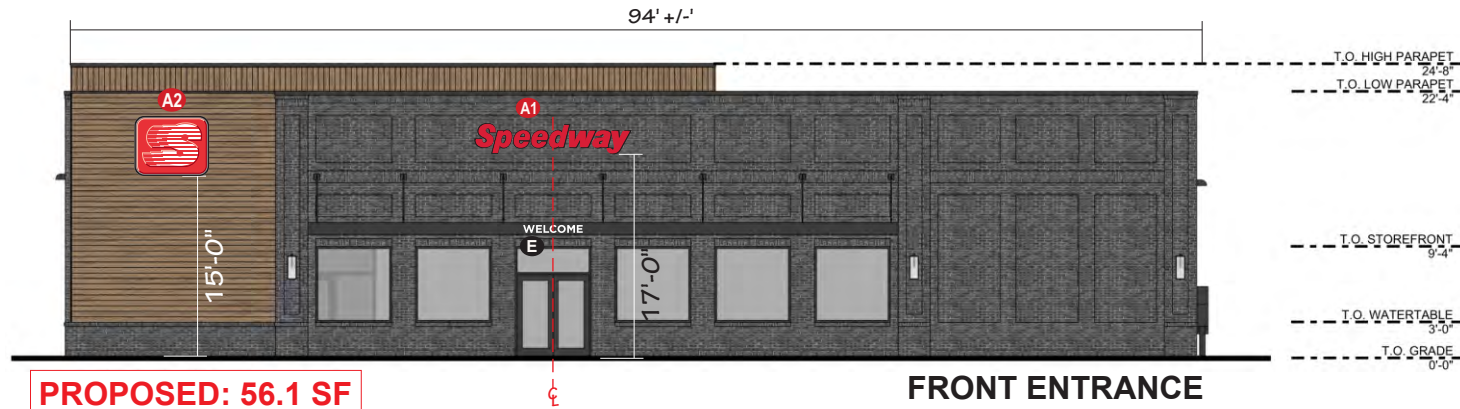
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michelle.hoffman@cummingsigns.com
Page: 1 of 12

SCALE: 1/16" = 1'-0"

ELEVATION - WALL SIGNAGE

Code = 1 SF per linear ft of building frontage, not to exceed 50sf./Max Letter height for building sign is 24"

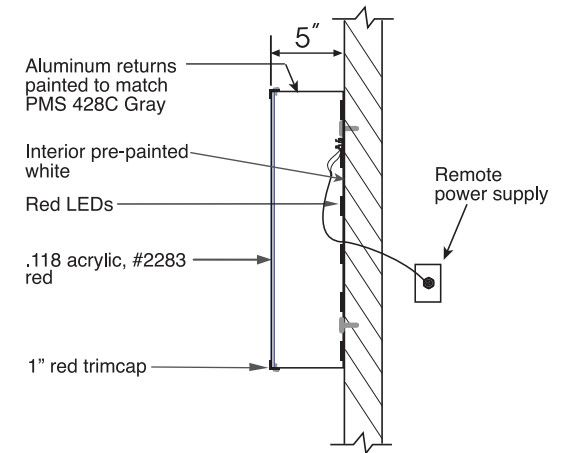


Job Location: Site # 1056127
Mink St. & Innovations Parkway,
New Albany, OH
Date: January 16, 2025



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A1

**GENERAL SPECIFICATIONS:**

Depth: 5" returns
 Trimcap: 1" red
 Face: .118 flat red acrylic, #2283
 Area Squared: 24.55 Sq. Ft.
 Weight: (tbd) (crated)
 Wind Load: 35 psf/90 mph

ELECTRICAL

Illumination: (92) Red LEDs
 Power Supply: (1) LED 60 WATT; 12VOLT
 Line Load:
 • 0.80 AMPS each (input)
 • Total (0.80 AMPS) @ 100-277 VAC
 • (1) 20 AMP circuit

COLOR:

PMS 428C Gray returns
 #2283 Red Acrylic Faces
 Red trimcap to match faces

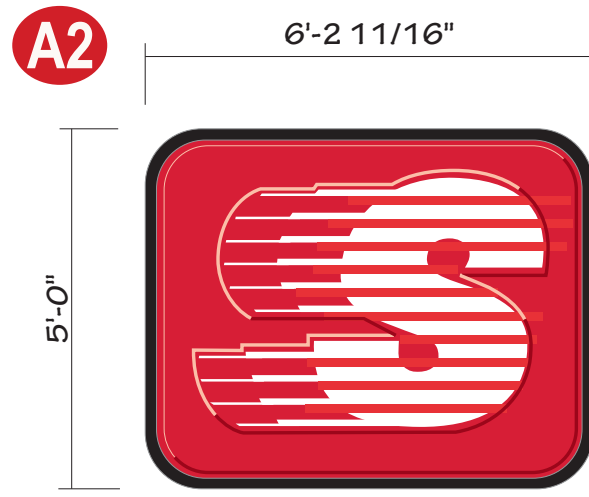
Job Location: Site # 1056127

Mink St. & Innovations Parkway,
 New Albany, OH

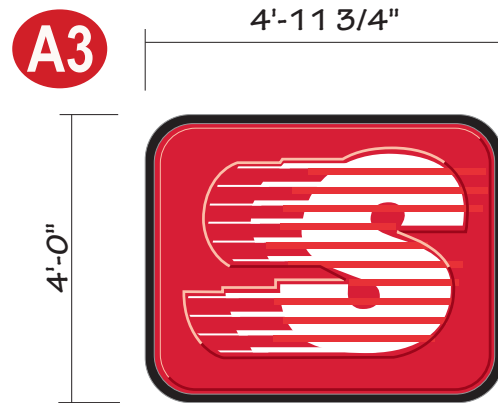
Date: January 16, 2025**CUMMINGS****D-ORDER# 1466309071.04****Project Mgr.: Michelle Hoffman**

michelle.hoffman@cummingssigns.com

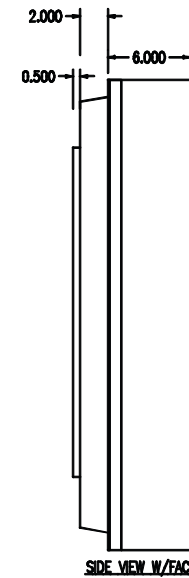
Page: 3 of 12



31.1 S.F.



19.9 S.F.



"S" SIGN BADGE

CABINET: 6" DEPTH, SF, FABRICATED ALUMINUM. CABINET & RETAINERS PAINTED TRICORN BLACK SW 6258

FACE: PAN-FORMED & EMBOSSSED' CLEAR POLYCARBONATE W/2ND SURFACE VINYL, HAND CUT & BACK SPRAYED WHITE.

ILLUMINATION: WHITE LEDs

COLORS:



E



OPAQUE WHITE WELCOME VINYL LETTERS FOR
FIRST SURFACE IN FIELD APPLICATION TO NEW
BLDG. CANOPY FACE.

Job Location: Site # 1056127

Mink St. & Innovations Parkway,
New Albany, OH

Date: January 16, 2025



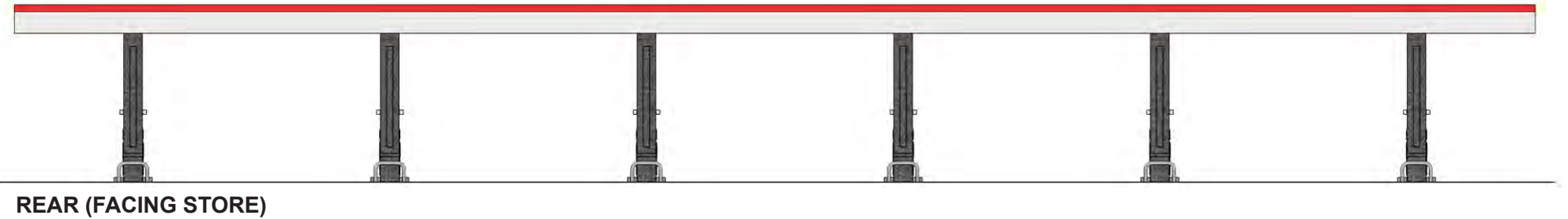
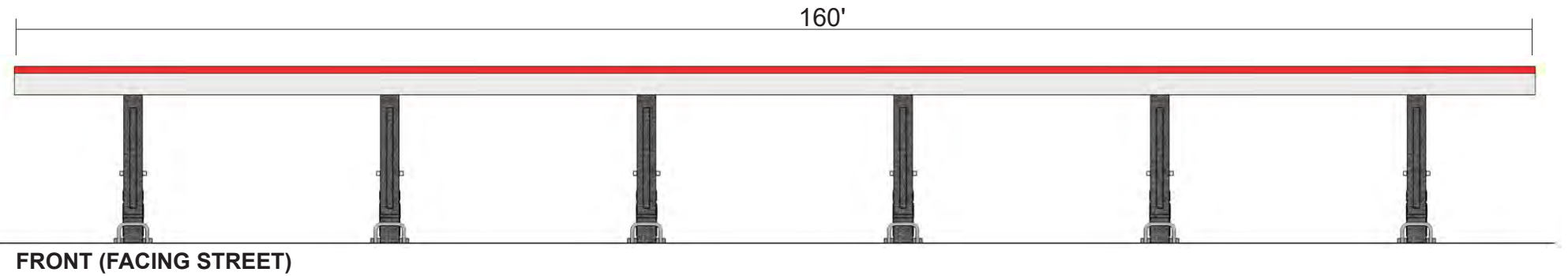
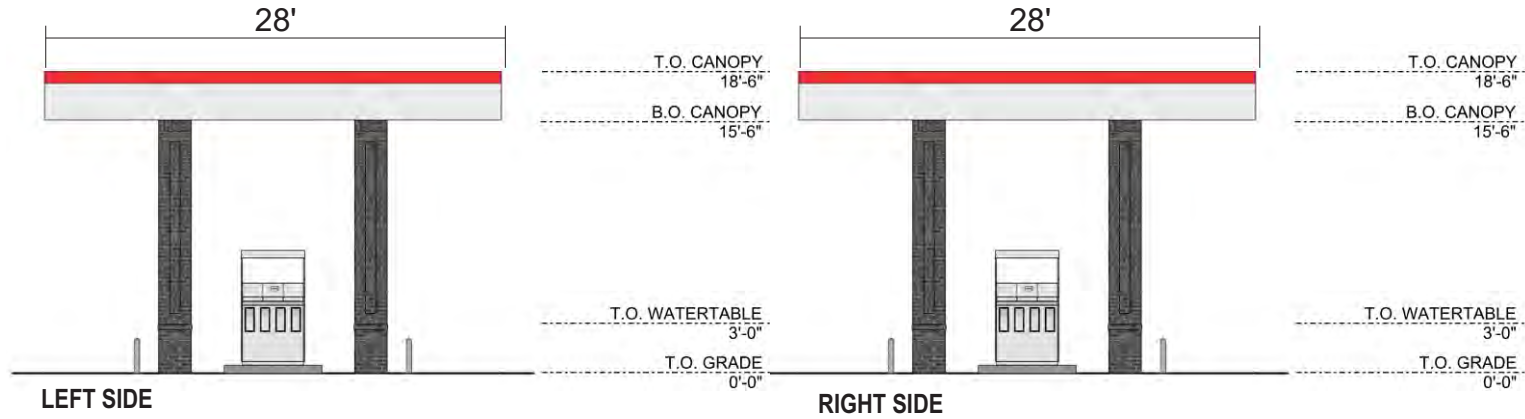
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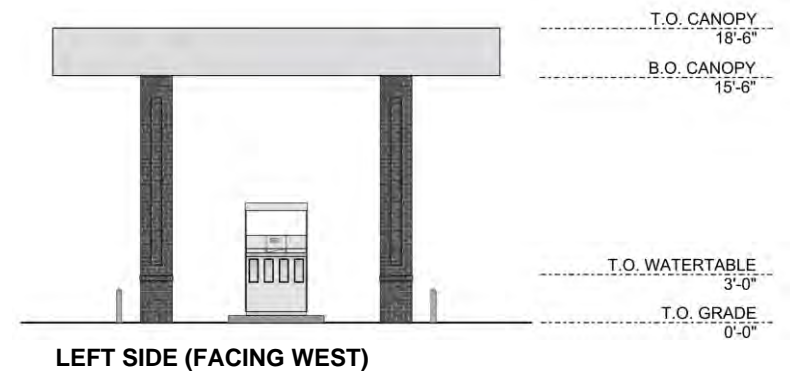
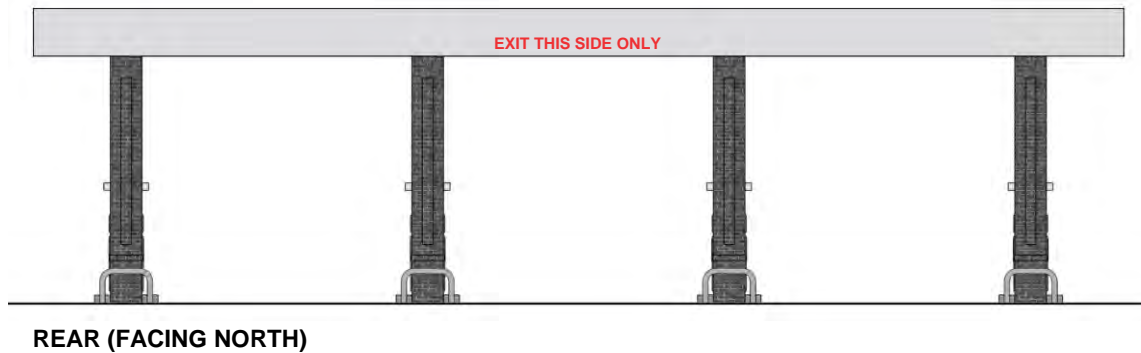
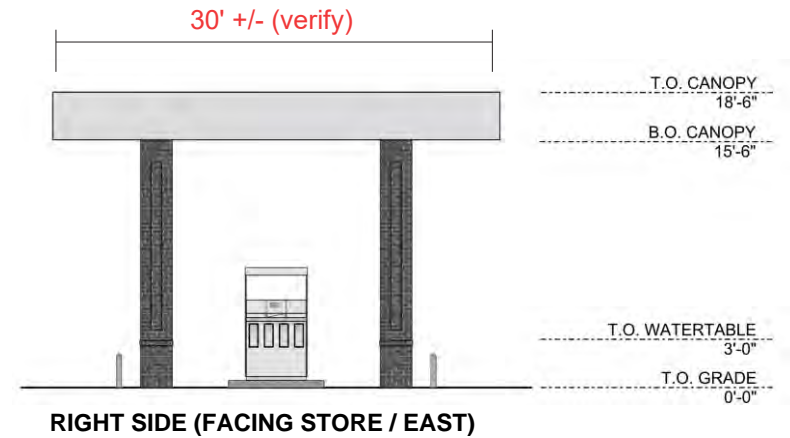
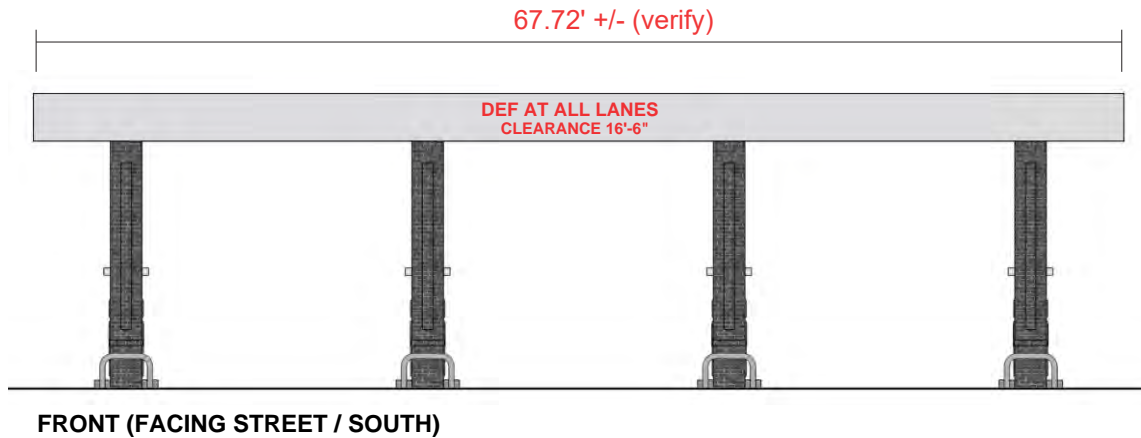
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Page: 5 of 12





NOTE: SEE FOLLOWING PAGES FOR MORE INFORMATION.

Page: 8 of 12

I. All electrical / lighting is shown for design intent purposes only.

II. All means / method / mounting / connections / etc. shall conform to all applicable state and local codes.



PROPERTY ENTRANCE SIGN_SECTION B

21



D-ORDER# 1466309071.04
Project Mgr.: Michelle Hoffman
 michelle.hoffman@cummingssigns.com
Page: 9 of 12



CE-5829 LINEAR LED FLOOD

DESCRIPTION

Hydrel's CE-5829 Linear LED Flood series is a knuckle mount, versatile and distinct LED-based range of linear floodlights, providing designers unlimited options to illuminate and enhance the architecture for interior and exterior applications. Clean, sophisticated lines blend seamlessly with architectural elements and create dramatic washes of light for spectacular effects. Luminaire designs balance day form with function while incorporating the smallest surface mountable power LED's available today. Designed to optimize thermal management, Rhythm luminaires deliver industry best lumen maintenance of 50,000 hours life at 615 mA with 70% lumen maintenance. CE-5829 unique custom finish includes a complete white finish scheme including cord, all external housing and attachment components.

Enclosure Construction: Designed to marry the day-form of the Rhythm wall mount plate, the SSBR power supply enclosure is a wat location housing suitable for surface mounting.

FEATURES & SPECIFICATIONS

MATERIAL: **FIXTURE** - Extruded 6063-T4 aluminum with die cast A360 aluminum mounting. All fasteners are stainless steel.

SSBR - Copper-free cast aluminum A360. All aluminum materials treated prior to anodizing.

LENS: High strength optical grade clear acrylic.

MOUNTING: Knuckle Mount (KM).

SOURCE: Quantity six (6) Rebel™ LED's per linear foot, driven at 615 mA, with maximum power consumption of 13 watts per linear foot. Lumen Maintenance of individual LED light sources have been independently tested to IESNA LM-80 standards. (NOTE: LM-80 does not cover measurement of luminaire.)

POWER SUPPLY: 60W power supply is provided standard with NEMA rated enclosure, and may be remotely located up to 20' (w/ 18AWG). Two (2) 60W power supplies and two (2) NEMA rated enclosures required for 6' luminaires.

VOLTAGE: MVOLT (120-277V) 60HZ.

DISTRIBUTION: 55° Wall Wash Distribution. All photometry tested to IESNA LM-79 Standards.

OPTIONS: EARM12 - Extended Arm 12" (Included)

FASTENERS: Stainless Steel.

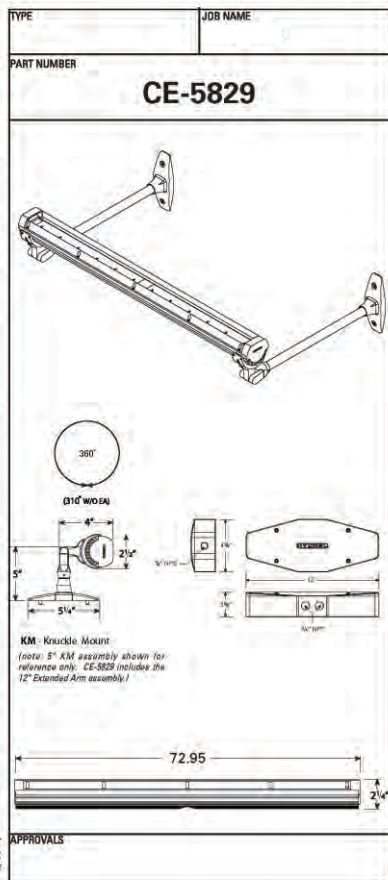
FINISH: : WH - White

WARRANTY: Five (5) year limited warranty. Consult factory for details.

NOTE: HYDREL RESERVES THE RIGHT TO MODIFY SPECIFICATION WITHOUT NOTICE. Any dimension on this sheet is to be assumed as a reference dimension. *Used for information purposes only. It does not govern manufacturing or inspection requirements. (ANSI Y145-1973)

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2/8/12
CE 5829 LED

IP66



20860 Northhoff St., Suite B
Chattsworth, CA 91311
Phone: 866.533.9901
Fax: 866.533.5291
www.hydrel.com

LIGHTING CUT SHEET #1



IP66

RHYTHM ORDERING INFORMATION

60-50 Hz Application

Choose the boldface catalog nomenclature that best suits your needs.

PART NO.

EXAMPLE:

RHY6 SSBR	WHT41K	MVOLT	WWD	ASM	EARM-12"	HVSR	CSL20	RAL9003
Model	LED Color	Mounting Options	Cord Length¹	Accent Finish	Power Supply	Distributions	Finish	
<input type="checkbox"/> RHY2 <input type="checkbox"/> RHY3 <input type="checkbox"/> RHY4 <input type="checkbox"/> RHY6 <input type="checkbox"/> RHY8	<input type="checkbox"/> WHT53K White <input type="checkbox"/> WHT41K White <input type="checkbox"/> WHT30K White <input type="checkbox"/> RED Red <input type="checkbox"/> GRN Green <input type="checkbox"/> BLU Blue	<input type="checkbox"/> EARM Extended Arm Specify length: 6", 12" <input type="checkbox"/> EASRM Extended Arm with Strut 12", 18", 24", 36"	<input type="checkbox"/> CSL20 20' of cord (18 AWG)	Optional <input type="checkbox"/> CRA Red Account <input type="checkbox"/> GRN Green Account <input type="checkbox"/> BLU Blue Account	<input type="checkbox"/> CSSBR Surface Box Rhythm <input type="checkbox"/> CNRPS NEMA Power Supply <input type="checkbox"/> LPS Less Power Supply <input type="checkbox"/> CBPCA Polymeric Combo Box Aluminum Lid <input type="checkbox"/> CBPCB Polymeric Combo Box Bronze Lid	<input type="checkbox"/> NSP Narrow Spot <input type="checkbox"/> MFL Medium Road <input type="checkbox"/> FL Road <input type="checkbox"/> WFL Wide Road <input type="checkbox"/> WWD Wall Wash Distribution	<input type="checkbox"/> CBLA Black Anodized <input type="checkbox"/> RAL9003 White (custom color) *Note: Entire fixture, cord & end caps to be RAL9003. 20' power cord is 18AWG.	
Voltage	Mounting²	Accessories	Options	Listing				
<input type="checkbox"/> MVOLT 20-277VAC <input type="checkbox"/> 12 12VDC	<input type="checkbox"/> ASM Adjustable External <input type="checkbox"/> SASM Surface Mount Side Adjustable Surface Mount <input type="checkbox"/> KM Knuckle Mount	<input type="checkbox"/> HVSR Half Visor <input type="checkbox"/> FVSR Full Visor	<input type="checkbox"/> LDIM* 0-10V Dimming <input type="checkbox"/> ETE End-to-End	<input type="checkbox"/> IEC International Electrotechnical Commission				

*SSBR notes: 1/2" NPT
watertight conduit connect to
SSBR conduit hub. (2) SSBR
power supplies per 6' fixture

LIGHT ENGINE SPECIFICATIONS

COLOR	TYPE	SOURCE	CF	DTY (LINEAR FOOT)	CURRENT (WATT)	LUMENS (LUMEN FOOT)	INPUT WATTS (LUMEN FOOT)
White (WHT53K)	REBEL	5300° K	70	6	75.64	950	12.56
White (WHT41K)	REBEL	4100° K	70	6	75.64	950	12.56
White (WHT30K)	REBEL	3000° K	85	6	84.18	1000	12.56
Red (RED)	REBEL	627 nm		6	23.42	440	13.16
Green (GRN)	REBEL	530 nm		6	75.64	950	12.56
Blue (BLU)	REBEL	470 nm		6	19.90	250	12.56

Notes:

¹ LPS requires remote 12V +/- 5% DC Power Supply at Site. If LPS then 12 required.

² Quantity (2) Two Power Supplies provided with RHY6 & RHY8 models.

³ Two (2) horizontally adjustable mounting arms provided with RHY2, RHY3, and RHY4. Thru (3) arms provided with RHY6 and RHY8.

⁴ If LDIM is chosen, SSBR required.

⁵ All fixtures shipped with 20' cord (18 AWG).

⁶ For ground mount applications only.

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10/25/11
Rhythm

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LIGHTING CUT SHEET #2

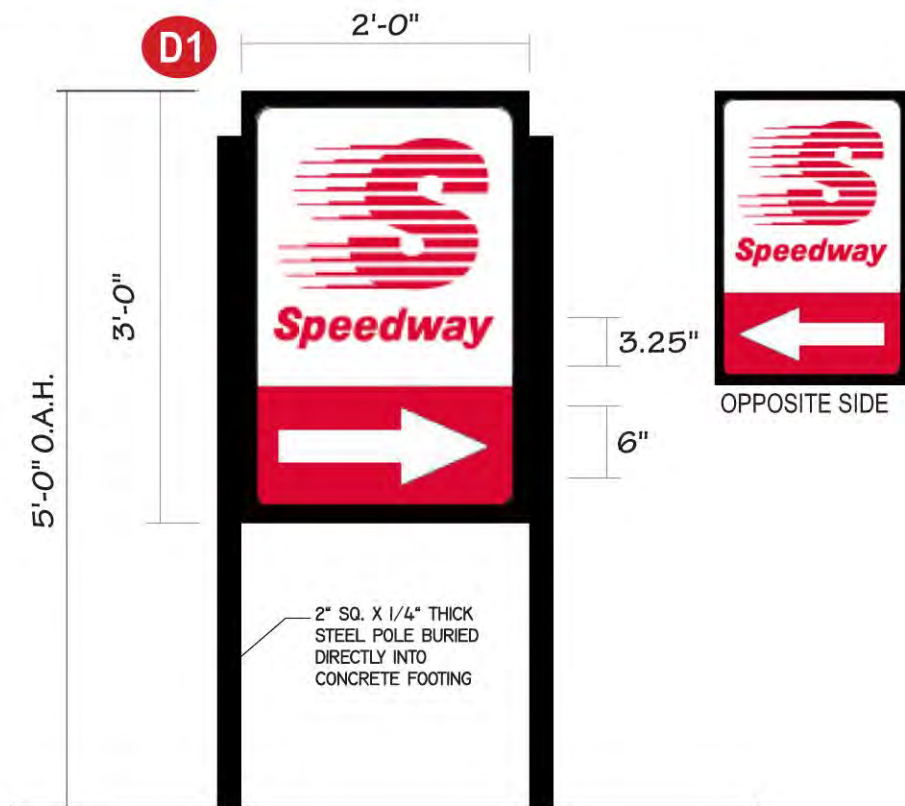
23

Job Location: Site # 1056127
Mink St. & Innovations Parkway,
New Albany, OH
Date: January 16, 2025



CUMMING'S

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Project Mgr.: Michelle Hoffman
michelle.hoffman@cummingssigns.com
Page: 10 of 12



DF INTERNALLY ILLUMINATED DIRECTIONAL SIGN

- 6" DEEP DF LED ILLUMINATED CABINET 1" X 1" X 1/8" ANGLED IRON FRAME W/1.5" ALUM. RETAINERS. CABINET & RETAINERS PAINTED TRICORN BLACK.
- PAN-FORMED CLEAR POLYCARBONATE FACES
W/2ND SURFACE FLAT DECORATION.
- 2" SQ. X 1/4" THICK STEEL POLES, PAINTED TRICORN BLACK, BURIED DIRECTLY INTO CONCRETE FOOTING.

SPEEDWAY COLORS

- RED 2283 □ WHITE
- SAFETY RED (TBD)

DIRECTIONAL SIGNAGE:

Code= Directional signage is permitted at 4sf Max and 3' OAH. The site is allowed (1) per lot access. Code indicates a logo is allowed. The base of the sign must be landscaped on all sides w/defined bed and all-season plant material. Can be internal or externally lit.

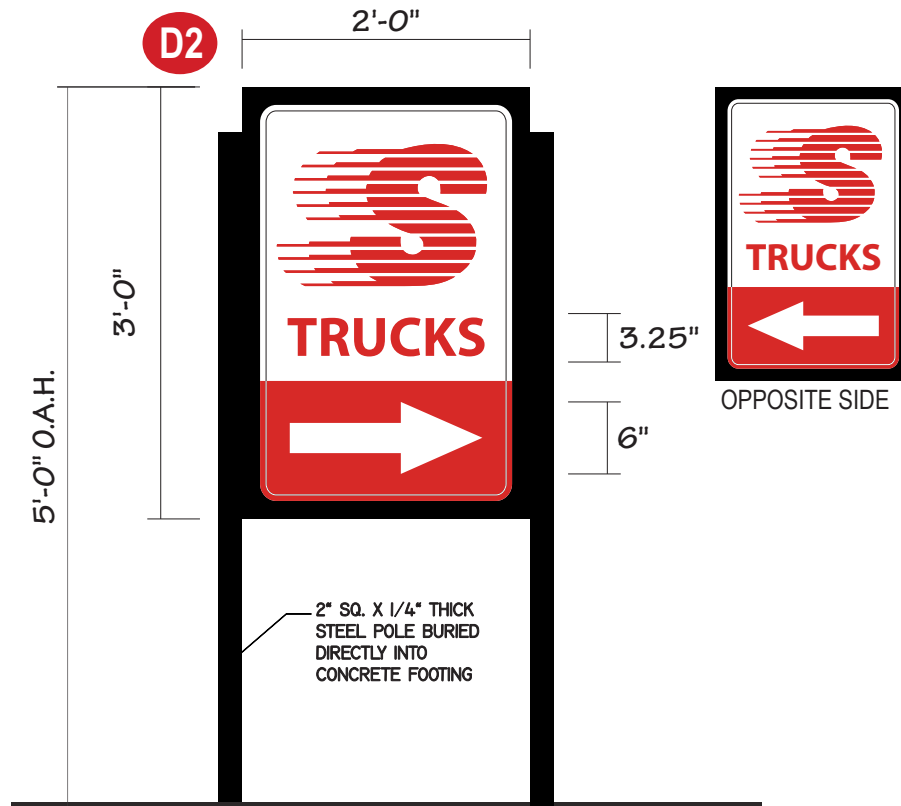
6 SQ. FT.**Job Location:** Site # 1056127

Mink St. & Innovations Parkway,
New Albany, OH

Date: January 16, 2025**CUMMINGS****D-ORDER# 1466309071.04****Project Mgr.: Michelle Hoffman**

michelle.hoffman@cummingsigns.com

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DF INTERNALLY ILLUMINATED DIRECTIONAL SIGN

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- PAN-FORMED CLEAR POLYCARBONATE FACES
W/2ND SURFACE FLAT DECORATION.
- 2" SQ. X 1/4" THICK STEEL POLES, PAINTED TRICORN BLACK, BURIED DIRECTLY INTO CONCRETE FOOTING.

SPEEDWAY COLORS

- RED 2283 □ WHITE
- SAFETY RED (TBD)

**NOTE: STANDARD AUTO SIZE DIRECTIONAL
USED AS TRUCK DIRECTIONAL PER CUSTOMER.**

DIRECTIONAL SIGNAGE:

Code= Directional signage is permitted at 4sf Max and 3' OAH. The site is allowed (1) per lot access. Code indicates a logo is allowed. The base of the sign must be landscaped on all sides w/defined bed and all-season plant material. Can be internal or externally lit.

6 SQ. FT.

Job Location: Site # 1056127

Mink St. & Innovations Parkway,
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Date: January 16, 2025

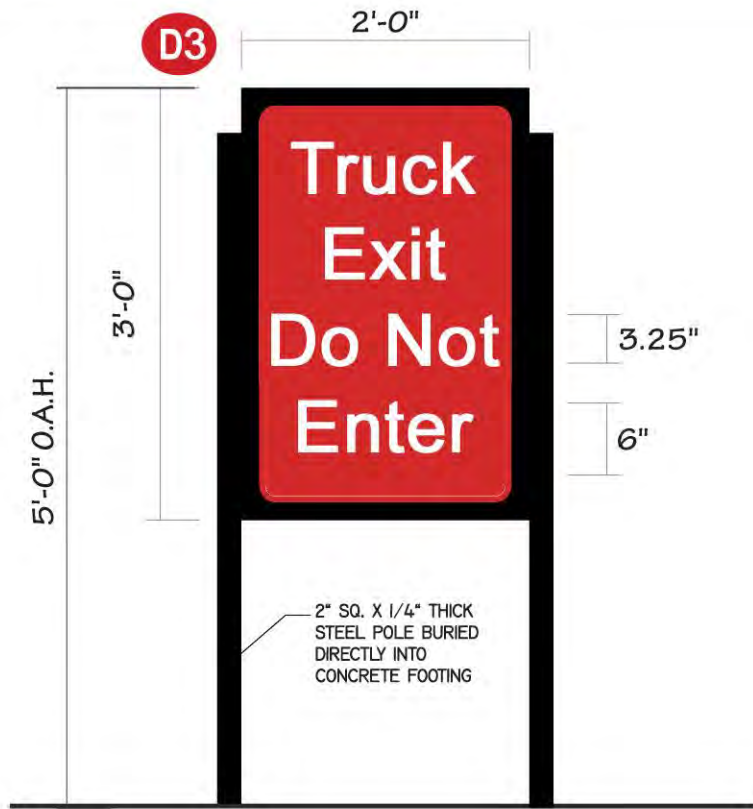


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DF INTERNALLY ILLUMINATED DIRECTIONAL SIGN

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- PAN-FORMED CLEAR POLYCARBONATE FACES **W/2ND SURFACE** FLAT DECORATION.
- 2" SQ. X 1/4" THICK STEEL POLES, PAINTED TRICORN BLACK, BURIED DIRECTLY INTO CONCRETE FOOTING.

SPEEDWAY COLORS

- RED 2283 WHITE
- SAFETY RED **(TBD)**

DIRECTIONAL SIGNAGE:
 Code= Directional signage is permitted at 4sf Max and 3' OAH. The site is allowed (1) per lot access. Code indicates a logo is allowed.
 The base of the sign must be landscaped on all sides w/defined bed and all-season plant material. Can be internal or externally lit.

6 SQ. FT.



**Planning Commission Staff Report
February 19, 2025 Meeting**

**SPEEDWAY
VARIANCES**

LOCATION: Generally located at the northwest intersection of Mink Street and Innovation Campus Way (PID: 093-107478-00.002)

APPLICANT: J. Carter Bean Architect LLC c/o Carter Bean

REQUEST: (A) Variance to Design Guidelines and Requirements Section 6(I)(A)(12) to eliminate the requirement for active and operable front doors on the Innovation Campus Way elevation.
(B) Variance to C.O. 1169.16(d) to allow four wall signs where code only permits two and to allow a wall sign to be installed on a building elevation that does not front a street.
(C) Variance to C.O. 1169.18(d) to allow directional signs to be 6 sq. ft. where code permits up to 4 sq. ft.
(D) Variance to C.O. 1169.18(b) to allow directional signs to be 5 feet in height where code permits up to 3 feet.

ZONING: Mink Interchange I-PUD

STRATEGIC PLAN: Retail

APPLICATION: VAR-04-2025

Review based on: Application materials received February 4, 2025

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

This application includes four (4) variance requests related to a final development plan for a proposed This development includes a gas station/convenience store, an unleaded field canopy, and a diesel fuel canopy for semi-trucks.

The applicant requests the following variances:

- (A) Variance to Design Guidelines and Requirements Section 6(I)(A)(12) to eliminate the requirement for active and operable front doors on the Innovation Campus Way elevation.
- (B) Variance to C.O. section 1169.16(d) to allow four wall signs where code only permits two and to allow a wall sign to be installed on a building elevation that does not front a street.
- (C) Variance to C.O. 1169.18(d) to allow directional signs to be 6 sq. ft. where code permits up to 4 sq. ft.
- (D) Variance to C.O. 1169.18(b) to allow directional signs to be 5 feet in height where code permits up to 3 feet.

II. SITE DESCRIPTION & USE

The 9.39-acre site is generally located north of Innovation Campus Way and west of Mink Street. It is bordered by commercial properties to the north (New Albany 525), west (AmplifyBio), and south (Axium Building 6), with residential areas in Jersey Township to the east.

III. EVALUATION

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the “practical difficulties” standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (Section 1113.06):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

III. ASSESSMENT

Considerations and Basis for Decision

(A) Variance to Design Guidelines and Requirements Section 6(I)(A)(12) to eliminate the requirement for active and operable front doors on the Innovation Campus Way elevation.

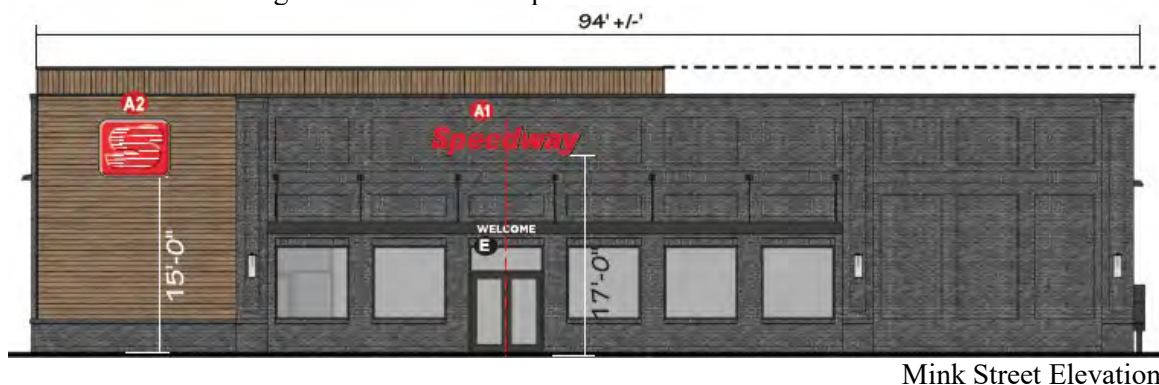
The following should be considered in the Commission's decision:

1. The applicant requests a variance to eliminate the requirement that buildings have operable and active front doors along all public and private roads. The building has two frontages: Mink Street (public street) and Innovation Campus Way (public street).
 - a. The commercial building has active doors on the Mink Street frontage but not on the Innovation Campus Way frontage, therefore a variance is required.
2. As required by the DGRs, the building is designed with the same caliber of finish on all sides of the building using the same building materials.
3. The design and function of auto-oriented development makes it difficult to locate active and operable doors along multiple roadways. The Planning Commission has granted variances for similar retail uses in the past.
4. The variance appears to preserve the "spirit and intent" of the zoning requirement. The intent of this requirement is to ensure that buildings maintain a presence on the street and not contain blank or "empty" building elevations so there is architectural vibrancy and interest on all sides of a building. This site is auto-oriented by design therefore it does not appear that maintaining an entrance on every street is as important in this development scenario. All sides of the building are designed with the same caliber of finish using the same building materials so none of the elevations appear as a "lesser" side of the building.
5. While there isn't an active and operable door along the all of public streets and private road elevations, the applicant is providing a strong architectural features and materials so the building adequately addresses the primary street (Mink Street) architecturally. The building is designed so the front door architectural elements such as the architectural canopy and retail storefront windows front Mink street, making this entrance more identifiable.
6. It does not appear that the essential character of the neighborhood will be altered if the variance request is granted. As stated, this same variance request has been granted for other retail developments in New Albany.

(B) Variance to C.O. 1169.16(d) to allow four wall signs where code only permits two and to allow a wall sign to be installed on a building elevation that does not front a street.

The following should be considered in the decision of the board:

- C.O. 1169.16(d) states that one wall sign, up to 50 sq. ft. in size, is permitted to be installed per building frontage. The building has two frontages (Mink and Innovation), therefore two wall signs are permitted to be installed. The applicant proposes to install four wall signs therefore, a variance is required.
 - The signs are all under 50 sq. ft.





Innovation Campus Way Elevation



Rear Elevation

- The variance does not appear to be substantial for the wall sign on the rear elevation. While this elevation does not front a street, it is the elevation where semitruck drivers will enter and exit the convenience store. It is also the smallest sign at 19.9 sq. ft.
- The variance does appear to be substantial for the additional wall sign on the Mink Street elevation. The signs include a “Speedway” sign and the Speedway logo which is repeated functionality. The applicant proposes multiple signs that indicate the development is a Speedway gas station.
- It does not appear that the essential character of the neighborhood will be altered if the variance request is granted as there is limited retail in the area. However, if other retail developments with similar signage were developed, granting this variance request may set a precedent for future cases.
- Granting the variance will not adversely affect the health, safety, or general welfare of persons living in the immediate vicinity.
- Granting the variance will not adversely affect the delivery of government services.

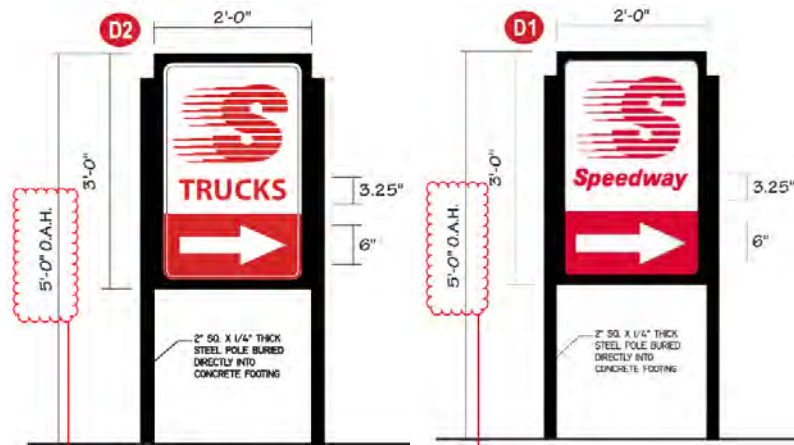
Considerations and Basis for Decision

(C)Variance to C.O. 1169.18(d) to allow directional signs to be 6 sq. ft. where code permits up to 4 sq. ft.

(D)Variance to C.O. 1169.18(b) to allow directional signs to be 5 feet in height where code permits up to 3 feet.

The following should be considered in the Commission’s decision:

1. C.O. 1169.18 states that directional signage should have a maximum area of 4 sq. ft. and a maximum height of 3 feet.
 - a. The applicant proposes three directional signs which is permitted as the site has three lot access points. Both signs are 5 feet in height and 6 sq. ft., therefore requiring a variance.



2. The applicant states it can be difficult for semitrucks drivers to see smaller signs due to the elevated driving position.
3. The variance request does not seem substantial given the need to accommodate both semitrucks and regular vehicles for fueling. Properly sized directional signage will necessary to guide patrons to the appropriate access points.
4. The variance meets the spirit and intent of the zoning requirement which is to ensure a consistent design for directional signage is achieved for similar retail uses. While the signs are slightly larger than the permitted size, they generally align with the established standards. However, the applicant is not providing the required landscaping on all sides of the sign with a defined bed and all-season plant material. To ensure the spirit and intent of the requirement is met, staff recommends a condition of approval that the applicant meets the landscaping requirements for directional signs found in 1169.18(b)(1) of the Codified Ordinance (condition #1).
5. It does not appear that the essential character of the neighborhood will be altered if the variance request is granted as the applicant adheres to the permitted number of directional signs and the proposed signs are not significantly larger than what is allowed.
6. Granting the variance will not adversely affect the health, safety, or general welfare of persons living in the immediate vicinity.
7. Granting the variance will not adversely affect the delivery of government services.

II. SUMMARY

Given the auto-oriented and commercial nature of this zoning district, requiring active and operable front doors on every elevation seems unnecessary. The applicant has thoughtfully included a door on both the Mink Street frontage and the rear elevation, where semitruck drivers would enter. Additionally, the proposal includes a pedestrian connection from Innovation Campus Way, providing direct access for patrons to the primary entrance.

Allowing wall signs to be installed on the three building elevations does not appear to be substantial. However, having two wall signs on the Mink Street frontage seems redundant, as the property already includes multiple signs clearly identifying it as a Speedway gas station. There are multiple signs on the property that allude to the use being a Speedway gas station. Lastly, while the applicant is meeting the directional signage quantity, the proposed size of the signs is larger than code permits. Nevertheless, given the dual focus on semitruck and vehicular drivers, the larger signs are a reasonable accommodation to ensure clear and effective navigation and do not appear to be substantial in terms of visual or aesthetic impact.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application VAR-04-2025, subject to the following conditions:

1. That the applicant must meet the landscaping requirements for directional signs found in 1169.18(b)(1) of the Codified Ordinance.

Approximate Site Location:



Source: Nearmap

Permit # _____
Board _____
Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>T.B.D. N.W.C. Mink Road at Innovation Campus Way, New Albany, Ohio 43056</u>																																																																								
	Parcel Numbers <u>093-107478-00.002 (To be split)</u>																																																																								
	Acres <u>7.38</u> # of lots created _____																																																																								
	<table border="1"><thead><tr><th>Choose Application Type</th><th colspan="5">Circle all Details that Apply</th></tr></thead><tbody><tr><td><input type="checkbox"/> Appeal</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Certificate of Appropriateness</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Conditional Use</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Development Plan</td><td>Preliminary</td><td>Final</td><td>Comprehensive</td><td>Amendment</td><td></td></tr><tr><td><input type="checkbox"/> Plat</td><td>Preliminary</td><td>Final</td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td>Combination</td><td>Split</td><td>Adjustment</td><td></td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Vacation</td><td>Easement</td><td></td><td>Street</td><td></td><td></td></tr><tr><td><input checked="" type="checkbox"/> Variance</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Extension Request</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Zoning</td><td>Amendment (rezoning)</td><td></td><td>Text Modification</td><td></td><td></td></tr></tbody></table>	Choose Application Type	Circle all Details that Apply					<input type="checkbox"/> Appeal						<input type="checkbox"/> Certificate of Appropriateness						<input type="checkbox"/> Conditional Use						<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment		<input type="checkbox"/> Plat	Preliminary	Final				<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment			<input type="checkbox"/> Minor Commercial Subdivision						<input type="checkbox"/> Vacation	Easement		Street			<input checked="" type="checkbox"/> Variance						<input type="checkbox"/> Extension Request						<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification		
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<input type="checkbox"/> Extension Request																																																																									
<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification																																																																						
	Description of Request: <u>Request for six (6) variances related to active and operable entrance facing public frontage (Innovation Campus Way) and multiple signage related variances.</u>																																																																								
Contacts	Property Owner's Name: <u>MBJ Holdings LLC, c/o Jamie McNally</u>																																																																								
	Address: <u>8000 Walton Parkway, Suite 120</u>																																																																								
	City, State, Zip: <u>New Albany, Ohio 43054</u>																																																																								
	Phone number: <u>614-939-8000</u> Fax: _____																																																																								
	Email: <u>jmcnally@newalbanycompany.com</u>																																																																								
	Applicant's Name: <u>Carter Bean / J. Carter Bean Architect LLC</u>																																																																								
	Address: <u>4400 N. High St., Ste. 401</u>																																																																								
	City, State, Zip: <u>Columbus, Ohio 43214</u>																																																																								
	Phone number: <u>614-595-2285</u> Fax: _____																																																																								
	Email: <u>carter@beanarchitects.com</u>																																																																								
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																																																																								
	Signature of Owner <u>J. J. Regan, Director of Development</u> Date: <u>12-18-25</u> Signature of Applicant <u>[Signature]</u> Date: <u>12-20-24</u>																																																																								

January 17, 2025

Revised February 7, 2025

Ms. Sierra Saumenig
Planner I
City of New Albany
Community Development Department
7815 Walton Parkway
New Albany, Ohio 43054

Re: 7-Eleven New Albany North
NWC Mink Street and Innovation Campus Way
New Albany, Ohio 43054

Dear Ms. Saumenig,

This letter is to formally request four (4) variances for the subject development, as related to our Final Development Plan application:

1. New Albany Design Guidelines and Requirements Section 6(I)(A)(12) states that buildings shall have operable and active front doors along all public and private roads.

- a. We respectfully request a variance from this requirement on the south elevation of the building, which faces Innovation Campus Way. Given the internal function of this building, most of the exterior walls are occupied by interior storage, walk-in coolers/freezers, bathrooms, and utility spaces, so that the center of the building is open for customer sales. The functional ingress and egress for this building then face east, toward the unleaded fuel canopy / Mink Street, and west, toward the diesel canopy.

Additionally, for the purposes of safety and security, all exterior doors must be visible from a singular, central cash/wrap station, where staff will be positioned to monitor all activities.

In lieu of providing an active and operable door facing Innovation Campus Way yet achieve pedestrian engagement, we have provided an access walk connecting the building island to the leisure trail along Innovation Campus Way, with a break in the horse fence. This walk will guide pedestrians from Innovation Campus Way to the primary entrance on the east side of the building.

2. Per Codified Ordinance Section 1169.16(d) – Retail uses may have one wall sign per business frontage on a public or private road.

- a. As proposed, we are requesting two (2) wall signs on the east elevation; one (1) wall sign on the south elevation, and; one (1) wall sign on the west elevation. As such, there are a total of four (4) wall signs, where two (2) total wall signs are allowable (two frontages).
- b. We respectfully request a variance from this limitation to allow for the installation of two (2) additional wall signs so as to present toward all active areas on the site. Furthermore, on the primary Mink Street frontage, it is important for the business to display, both, their brand lettering and brand logo, independently.

3. **Per Codified Ordinance Section 1169.18(b), directional signs may be a maximum of 4 square feet in area.**
 - a. Due to the elevated driving position of semi-trucks and active nature of fuel oriented businesses, small directional signs are difficult to identify by drivers. We respectfully request a variance to increase the allowable sign area by 2 square feet (total 6 square feet) to more safely guide semi-trucks to the appropriate entrance.
4. **Per Codified Ordinance Section 1169.18(b), directional signs may be a maximum of 3' tall.**
 - a. Due to the elevated driving position of semi-trucks and active nature of fuel-oriented businesses, short directional signs are difficult to identify by driver. We respectfully request a variance to increase the allowable sign height by 2' (total 5') to more safely guide semi-trucks to the appropriate entrance.

Thank you for your consideration of these items.

Sincerely,

A handwritten signature in blue ink, consisting of a large, stylized 'C' followed by a horizontal line extending to the right.

J. Carter Bean

**Mink Street Land Company, LLC
8000 Walton Parkway, Suite 200
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**City of New Albany
Community Development Dept.
Attn: Ms. Sierra Saumenig
7815 Walton Parkway
New Albany, Ohio 43054**

**Mark L. Lester Sr.
Revocable Living Trust
1838 Mink Street
Johnstown, Ohio 43031**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**COI New Albany 525 LLC
950 Goodale Blvd., Ste. 100
Columbus, Ohio 43212**

**GZD Development
Attn: Mr. Jason Zadeh
1317 West Third Avenue
Columbus, Ohio 43212**

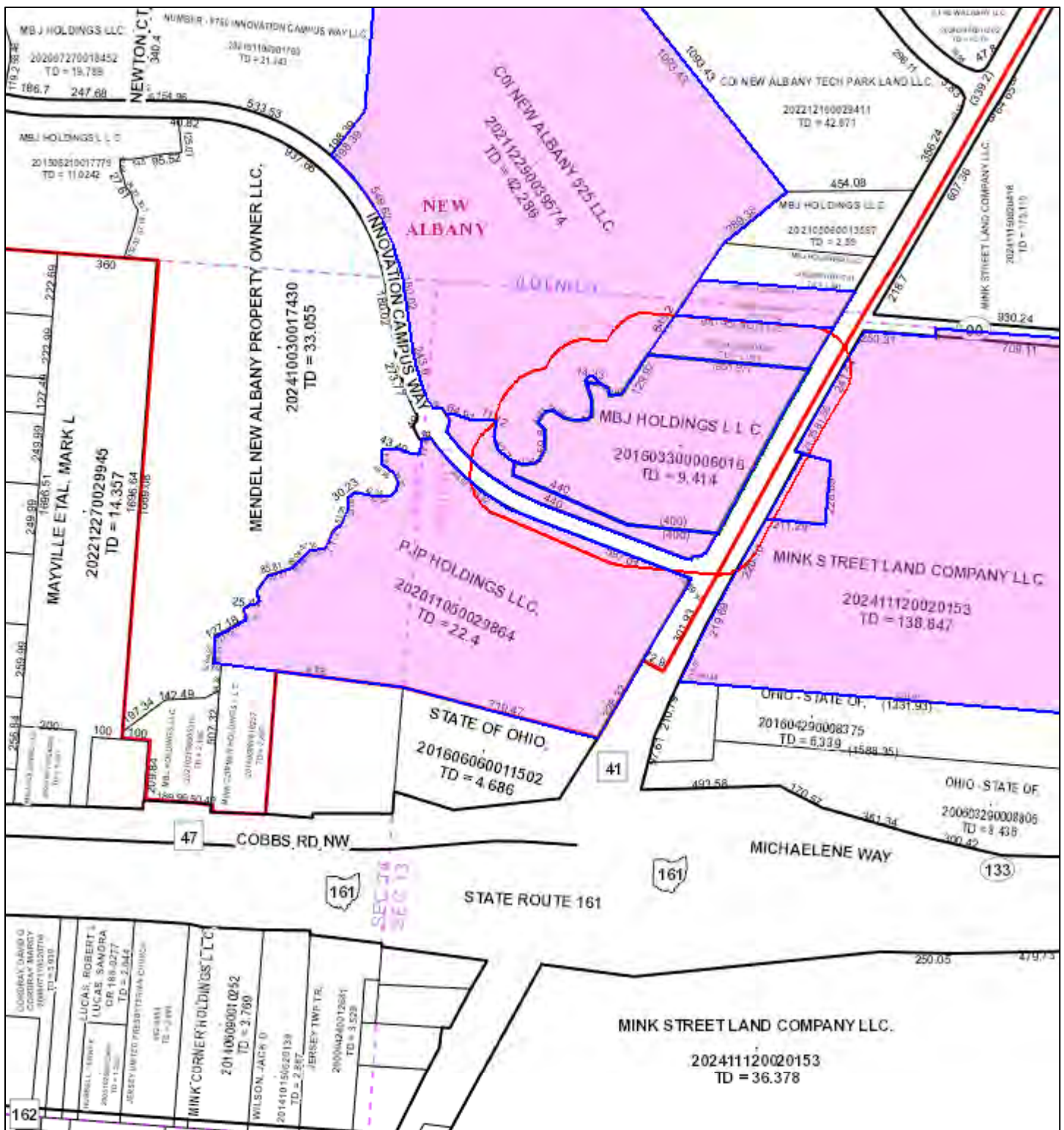
**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

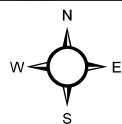
**PJP Holdings LLC
9005 Smiths Mill Road
New Albany, Ohio 43054**

**Carter Bean
J. Carter Bean Architect
4400 N. High St., Ste. 401
Columbus, Ohio 43214**

Parcel Number	Engineer PIN	OWNER1	OWNER2	Address	City	State	Zip Code
035-106518-00.000"	02150000700000003000""	MINK STREET LAND COMPANY LLC,	,	8000 WALTON PKWY STE 200	NEW ALBANY	OH	43054
035-107490-01.004"	02151105000000006000""	MARK L LESTER SR REVOCABLE LIVING TRUST,	,	1838 MINK ST	JOHNSTOWN	OH	43031
093-107478-00.002"	021500005000000050200""	MBJ HOLDINGS L L C,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107478-00.000"	021500005000000050000""	MBJ HOLDINGS L L C,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107490-00.000"	021500004000000106000""	MBJ HOLDINGS L L C,	MB J HOLDINGS L L C,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
095-112080-02.001"	021500004000000099100""	C01 NEW ALBANY 525 LLC,	,	950 GOODALE BLVD STE 100	COLUMBUS	OH	43212
093-107478-00.001"	021500005000000050300""	PIP HOLDINGS LLC,	,	9005 SMITHS MILL RD	NEW ALBANY	OH	43054
093-107490-03.001"	0215110500000001000""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107490-03.003"	021500005000000052100""	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054



December 18, 2024

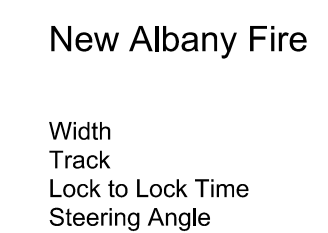


0 500 Feet
0.09 Miles

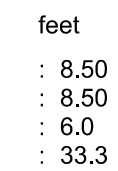
LICKING COUNTY TAX MAP

Property Report

Address		
N/A MBJ HOLDINGS L L C -- MINK ST NW		
Engineer's Pin	Owner	Auditor's PIN
02150000500000050200	N/A MBJ HOLDINGS L L C	093-107478-00.002
Tax Acreage	Deed Acreage	Official Record
9.414	11.62	201603300006016



COI New Albany 525 LLC.
14.78 AC.
P.N. 093-107490-00.002



NOTE:
SIGNAGE SHALL BE POSTED TO
PROHIBIT OVERNIGHT TRUCK PARKING

DEVELOPER/APPLICANT:
GALLAS ZADEH DEVELOPMENT, LLC
1371 W. 3RD AVENUE
COLUMBUS, OHIO 43212
PHONE: 614-893-2346
CONTACT: JASON ZADEH
E-MAIL: JZADEH@GZDDEV.COM

ENGINEER/SURVEYOR
V3 COMPANIES
550 POLARIS PARKWAY, STE. 250
WESTERVILLE, OHIO 43082
PHONE: 614-761-1661
FAX: 614-761-1328
CONTACT: ANDREW GARDNER, P.E.
E-MAIL: AGARDNER@V3CO.COM

PROJECT DESCRIPTION
THE GAS STATION DEVELOPMENT INCLUDES THE
CONSTRUCTION OF A 4,900 SQUARE FEET SINGLE STORY
BUILDING WITH FUEL PUMPS.

STORMWATER MANAGEMENT
THE STORM WATER FOR THIS PROJECT WILL BE CONTROLLED BY AN AT-GRADE DRY DETENTION BASIN TO THE WEST OF THE SITE. FINAL CALCULATIONS WILL BE SUBMITTED DURING THE FINAL ENGINEERING APPROVAL PROCESS

MONUMENTATION
MONUMENTATION IN COMPLIANCE WITH C.O. 1159.07 (3) WILL
BE SET PRIOR TO COMPLETION OF CONSTRUCTION.

NOTES:
ALL CURB HEIGHT SHALL BE 0.5' FROM PAVEMENT GRADE
UNLESS OTHERWISE NOTED ON THE GRADING PLAN.
ALL DIMENSIONS GIVEN ARE MEASURED FROM FACE TO FACE
OF CURB.
ALL RADIUS DIMENSIONS GIVEN ARE MEASURED ALONG THE
FACE OF CURB

SITE DEVELOPMENT INFORMATION

ZONING:

EX. PROPERTY OWNER:	MBJ HOLDINGS LLC
EX. PROPERTY USE:	AGRICULTURE
EX. TOTAL SITE ACREAGE:	11.10 AC.
EX. ZONING	IPUD, INFILL PLANNED UNITY DEVELOPMENT
PROP. PROPERTY USE:	CONVENIENCE STORE / RESTAURANT WITH FUEL SERVICE
PROP. 7-ELEVEN SITE ACREAGE:	7.38± AC.
PROP. FUTURE DEVELOPMENT ACREAGE:	3.72± AC.

EXISTING 7-ELEVEN SITE LOT COVERAGE:	0.26 ACRES (3.52%)
PROPOSED 7-ELEVEN BUILDING COVERAGE:	0.11 ACRES (14.9%) (4900 SF)
PROPOSED 7-ELEVEN SITE LOT COVERAGE:	3.15 ACRES (42.70%)

ADJACENT ZONING NORTH: AG, AGRICULTURAL DISTRICT
ADJACENT ZONING SOUTH: IPUD, INFILL PLANNED UNITY DEVELOPMENT
ADJACENT ZONING WEST: IPUD, INFILL PLANNED UNITY DEVELOPMENT

MBJ HOLDINGS LLC
AGRICULTURE
11.10 AC.
IPUD, INFILL PLANNED UNITY DEVELOPMENT
CONVENIENCE STORE / RESTAURANT WITH FUEL SERVICE
7.38± AC.
3.72± AC.

AGRICULTURAL DISTRICT
 FILL PLANNED UNIT DEVELOPMENT
 FILL PLANNED UNIT DEVELOPMENT

PARKING CALCULATIONS				
AREA	SQUARE FOOTAGE	MIN. PARKING REQ'D*	TOTAL PARKING PROVIDED	PARKING RATIO
PROPOSED FUEL CENTER	4,816± S.F.	35	36	7.48/1000 S.F. 1/134 S.F.

*PER CHAPTER 1167.05 OF THE NEW ALBANY CODIFIED ORDINANCES, FOR A GASOLINE SERVICE STATION, ONE PARKING SPOT IS REQUIRED FOR EVERY 200 SF OF BUILDING AREA, (25 SPACES) ONE FOR EACH TWO GASOLINE DISPENSING UNITS, (5 SPACES) PLUS ONE FOR EACH EMPLOYEE DURING MAIN SHIFT (5 TOTAL). THERE ARE TEN DISPENSING UNITS, AND ESTIMATED 5 EMPLOYEES DURING MAIN SHIFT.

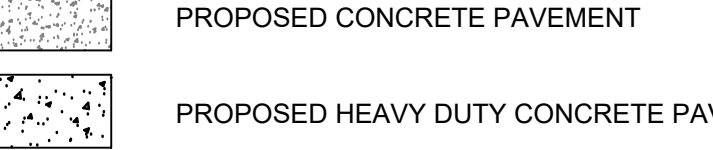
*PER ADA ACCESSIBILITY REQUIREMENTS, 2 ACCESSIBLE SPACES ARE REQUIRED AND PROVIDED.






1 ENCROACHMENT OF THE 75' STREAM PROTECTION ZONE IS PERMITTED BY SECTION C2 OF ZONING ORDINANCE O-21-2016 FOR THE FUTURE ROADWAY CROSSING

SITE STANDARDS CHART			
KEY	Dimension Element	7-Eleven Standard	Site 1056127
A	Center of bollard to center of dispenser	62'	62'
B	Center of dispenser to edge of front curb with tanks	47'	N/A
C	Center of dispenser to edge of front curb without tanks	39'	39'
D	Edge of dispenser to side curb with tanks	54'	N/A
E	Edge of dispenser to side curb without tanks	46'	46'
F	Drive aisle width between the face of dispensers (in stacked position)	34'	N/A
G	Centerline dispenser spacing (in stacked position)	27'	N/A
H	Drive aisle width between the face of dispensers (in starting gate position)	25'	25'
I	Sidewalk width	8'	8'
J	Dimensions of typical parking spots	9'x20'	9'x20'
K	Dimensions of ADA parking spots	11'x20'	11'x20'
L	Dimension of ADA aisle	5'	5'
M	Ingress and egress dimension	40'	40'
N	Drive aisle width	35'	24'
	MPDs	6 MIN.	6
	Parking with restaurant	40	52
	Parking without restaurant	25	N/A
	Building prototype	SELECT OPTION	104x51 (SIPS)

SITE STANDARDS CHART			
KEY	CFL Dimension Element	7-Eleven Standard	Site 1056127
O	Edge of dispenser island to edge of curb (bypass lane)	24'	24'
P	Edge of canopy slab to stopbar	80'	80'
Q	Minimum clearance from curb to truck path	8'	5'
R	Minimum clearance from inside curb to truck path with tight turn	10'	10'
S	Dimensions of typical CFL parking spots	12'x70	N/A
T	Edge of 90° straight parking to edge of curb	65'	N/A
U	Edge of 45° angled parking to edge of curb	55'	N/A
V	Sidewalk or crosswalk width to CFL area	5'	8'
W	Minimum CFL driveway	35'	35'
X	Minimum combined CFL ingress/egress	55'	55'
Y	Distance from center of stopbar to the closest store door	<175'	175'
Z	CFL canopy column spacing	19'	19'
	Number of lanes	1-6	3
	CFL parking amount	Site Specific	0

LEGEND



	PROPOSED CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT
	EXISTING BIKE PATH ASPHALT
	PROPOSED BIKE PATH ASPHALT

APPROVALS:

PLANNING COMMISSION CHAIR

VICE CHAIR OR DESIGNEE

PROFESSIONAL ENGINEER

PROFESSIONAL SURVEYOR

REVISIONS

ORIGINAL ISSUE DATE: 02/04/2025

PROJECT NO.: 2313

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SITE PLAN

SITE PLAN

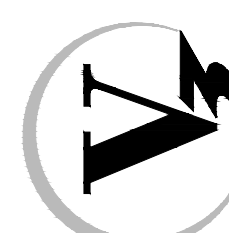
7-ELEVEN

OHIO

S04

NEW ALBANY

550 Polaris Parkway,
Suite 250
Westerville, OH 43082
614.761.1661 phone
www.v3co.com



DRAWING NO.

C1.1

7-ELEVEN NEW ALBANY NORTH

MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054

FOR
GALLAS ZADEH DEVELOPMENT
1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

DRAWING STATUS	
STATUS	DATE
FIN. DEV. PLAN	DEC-20, 2024
FIN. DEV. PLAN REV.	JAN. 17, 2025

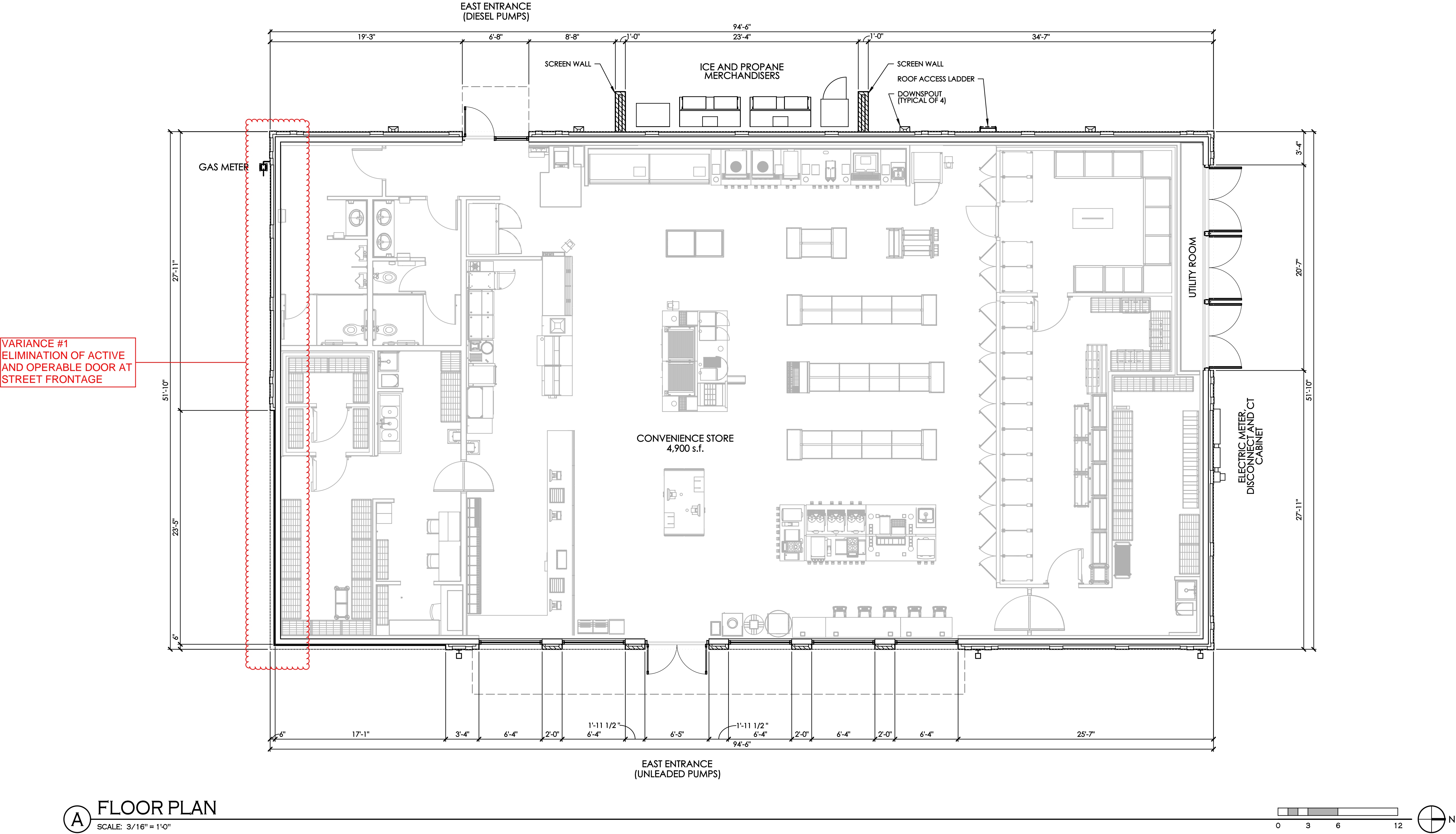
DRAWING TITLE

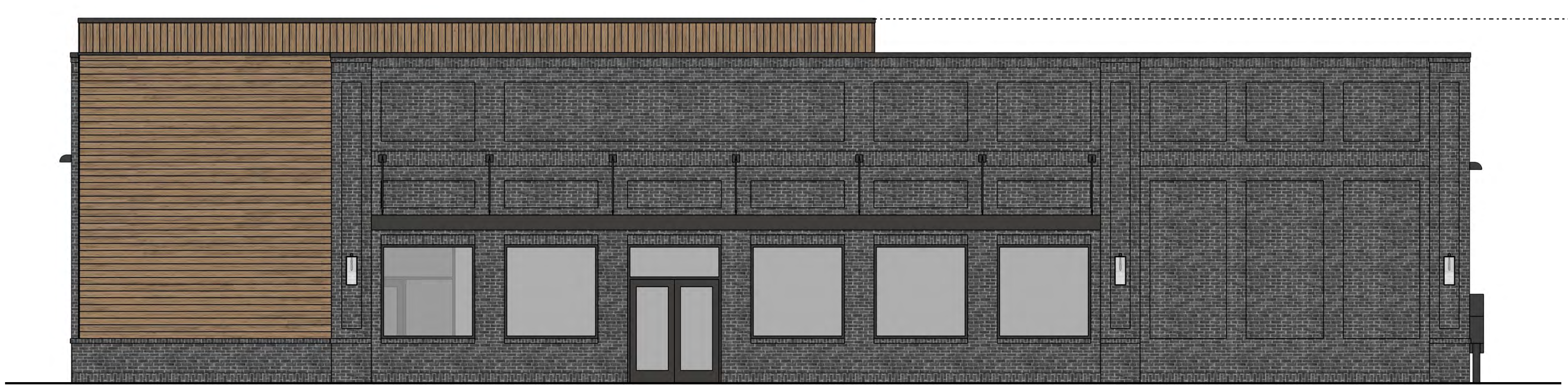
FLOOR PLAN

DRAWING NUMBER

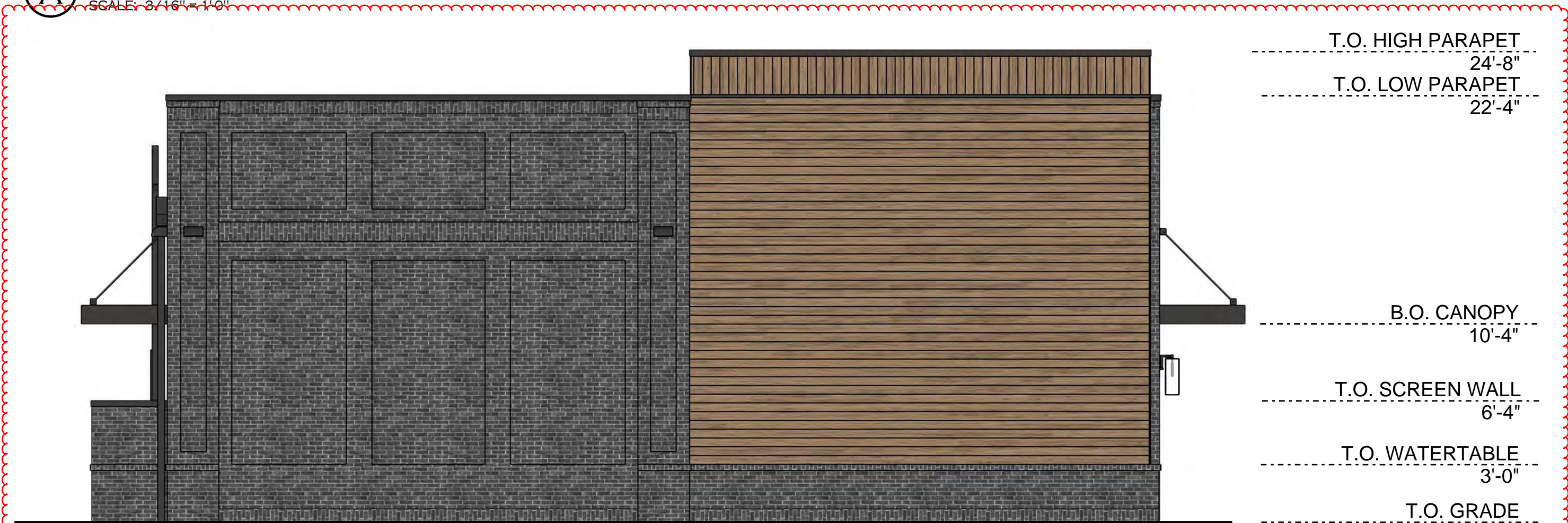
A-1.1

BEAN #000000.00





A EAST ELEVATION
SCALE: 3/16" = 1'-0"



B SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



C WEST ELEVATION
SCALE: 3/16" = 1'-0"



D NORTH ELEVATION
SCALE: 3/16" = 1'-0"

VARIANCE #1
ELIMINATION OF ACTIVE
AND OPERABLE DOOR AT
STREET FRONTAGE



MANUFACTURER: THERMORY
PRODUCT: THERMALLY-MODIFIED RADIATA PINE
COLOR: VIVID GOLDEN BROWN



MANUFACTURER: BELDEN BRICK
PRODUCT: METALLIC BLACK SANDMOLD (STANDARD MODULAR)
MORTAR: MIAMI MASONRY CEMENT STANDARD GREY



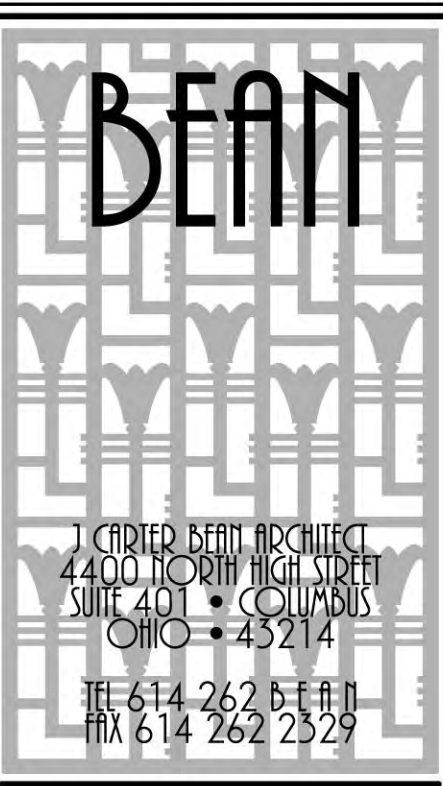
MANUFACTURER: DIMENSIONAL METALS INC.
PRODUCT: 24 GA. PREFINISHED METAL
COLOR: MATTE BLACK



MANUFACTURER: NORWELL LIGHTING
PRODUCT: CAPTURE SERIES, 1-LIGHT, 21 INCH
MORTAR: MATTE BLACK



MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW6258 'TRICORN BLACK'



J. CARTER BEAN ARCHITECT
4400 NORTH HIGH STREET
SUITE 401 • COLUMBUS
OHIO • 43214
TEL 614 262 5111
FAX 614 262 2329

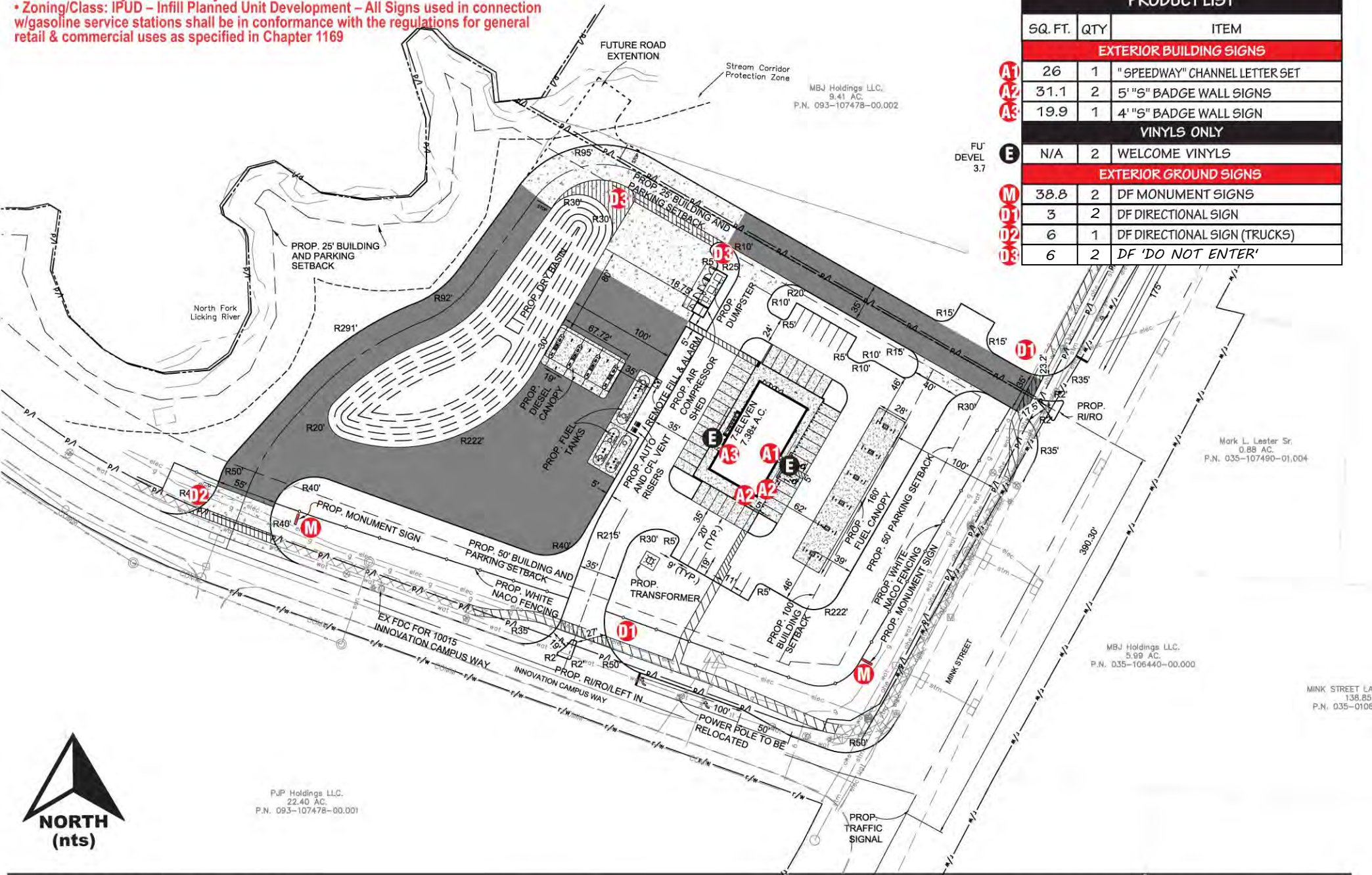
COPYRIGHT 2024
ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF
J. CARTER BEAN ARCHITECT
AND MAY NOT BE USED, DUPLICATED OR ALTERED
WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

7-ELEVEN NEW ALBANY NORTH
MINK STREET AT INNOVATION CAMPUS WAY
NEW ALBANY, OHIO 43054
FOR
GALLAS ZADEH DEVELOPMENT
1371 W. THIRD AVENUE, COLUMBUS, OHIO 43212

DRAWING STATUS		
STATUS		DATE
FIN. DEV. PLAN		DEC. 20, 2024
FDP REVISION 1		JAN. 17, 2025
DRAWING TITLE		
BUILDING ELEVATIONS		
DRAWING NUMBER		
A-2.1		
BEAN #00000.00		

• Jurisdiction: City of New Albany
• Zoning/Class: IPUD – Infill Planned Unit Development – All Signs used in connection w/gasoline service stations shall be in conformance with the regulations for general retail & commercial uses as specified in Chapter 1169

PRODUCT LIST		
SQ. FT.	QTY	ITEM
EXTERIOR BUILDING SIGNS		
A1 26	1	"SPEEDWAY" CHANNEL LETTER SET
A2 31.1	2	5' "S" BADGE WALL SIGNS
A3 19.9	1	4' "S" BADGE WALL SIGN
VINYL ONLY		
E N/A	2	WELCOME VINYL
EXTERIOR GROUND SIGNS		
M 38.8	2	DF MONUMENT SIGNS
D1 3	2	DF DIRECTIONAL SIGN
D2 6	1	DF DIRECTIONAL SIGN (TRUCKS)
D3 6	2	DF 'DO NOT ENTER'



Job Location: Site # 1056127
Mink St. & Innovations Parkway,
New Albany, OH
Date: January 16, 2025

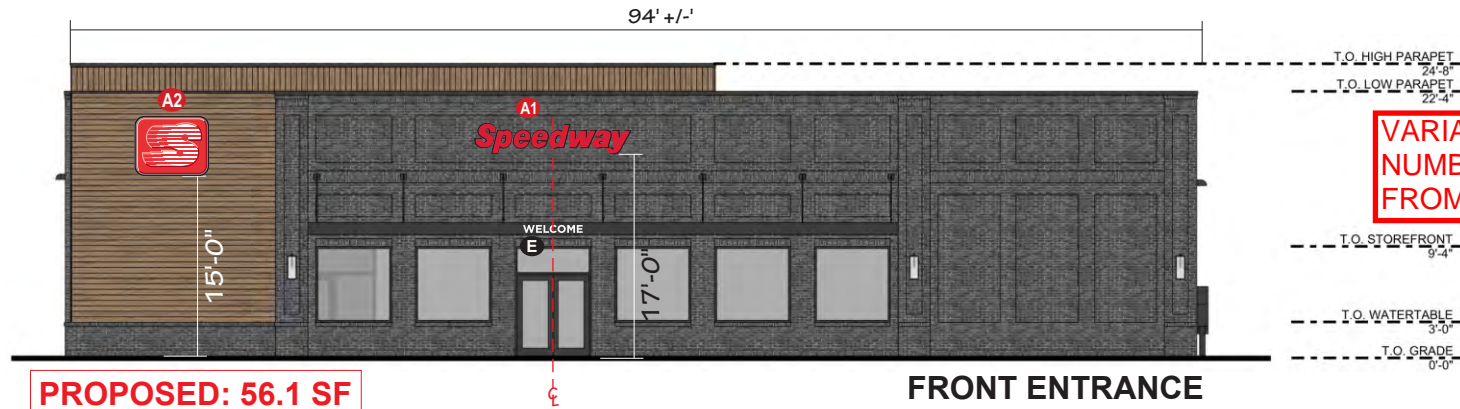


D-ORDER# 1466309071.04
Project Mgr.: Michelle Hoffman
michelle.hoffman@cummingsigns.com
Page: 1 of 12

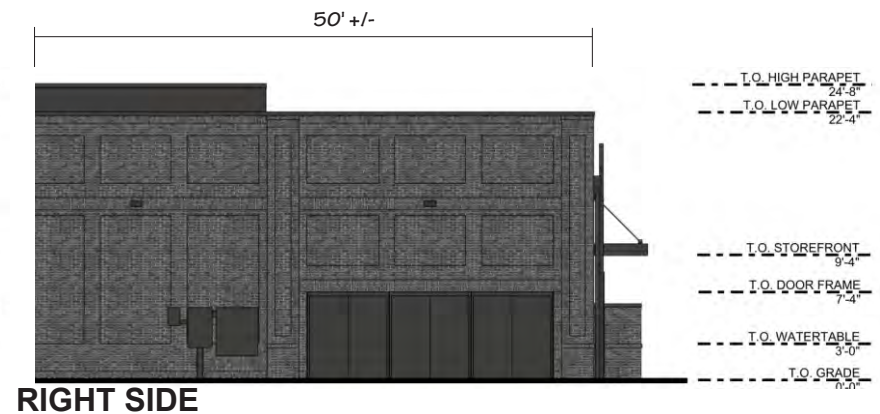
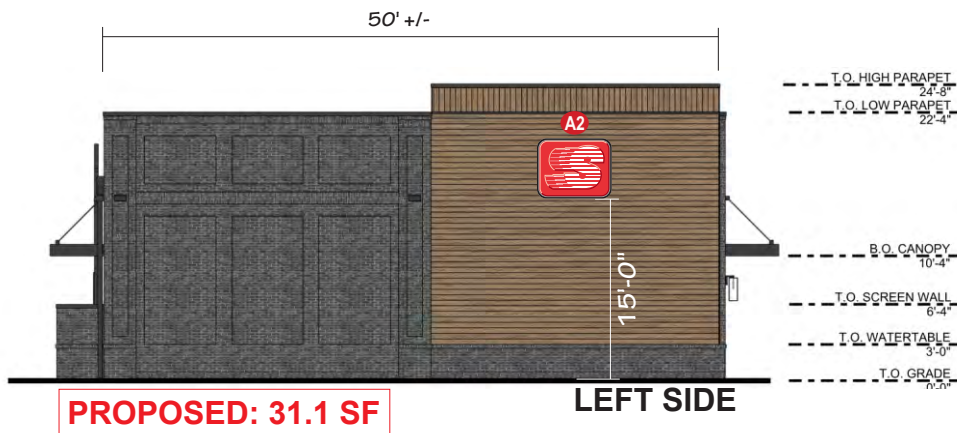
SCALE: 1/16" = 1'-0"

ELEVATION - WALL SIGNAGE

Code = 1 SF per linear ft of building frontage, not to exceed 50sf./Max Letter height for building sign is 24"



VARIANCE #2:
NUMBER OF WALL SIGNS
FROM TWO (2) TO FOUR (4)

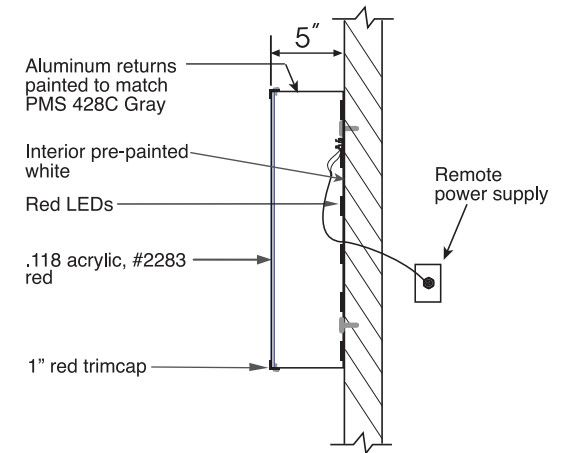


Job Location: Site # 1056127
Mink St. & Innovations Parkway,
New Albany, OH
Date: January 16, 2025



D-ORDER# 1466309071.04
Project Mgr.: Michelle Hoffman
michelle.hoffman@cummingsigns.com
Page: 2 of 12

A1

**GENERAL SPECIFICATIONS:**

Depth: 5" returns
 Trimcap: 1" red
 Face: .118 flat red acrylic, #2283
 Area Squared: 24.55 Sq. Ft.
 Weight: (tbd) (crated)
 Wind Load: 35 psf/90 mph

ELECTRICAL

Illumination: (92) Red LEDs
 Power Supply: (1) LED 60 WATT; 12VOLT
 Line Load:
 • 0.80 AMPS each (input)
 • Total (0.80 AMPS) @ 100-277 VAC
 • (1) 20 AMP circuit

COLOR:

PMS 428C Gray returns
 #2283 Red Acrylic Faces
 Red trimcap to match faces

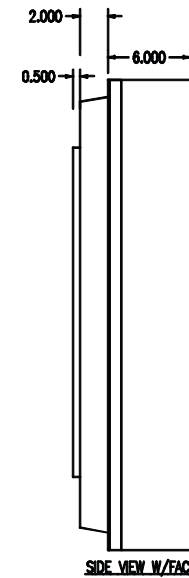
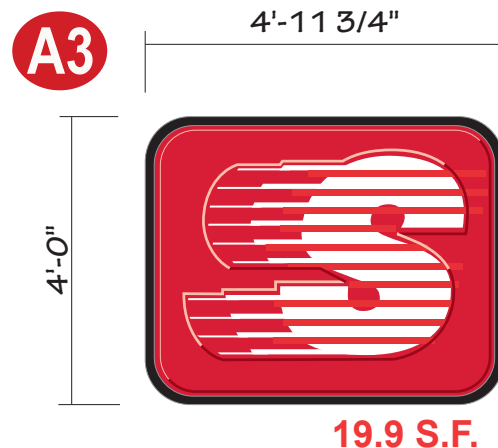
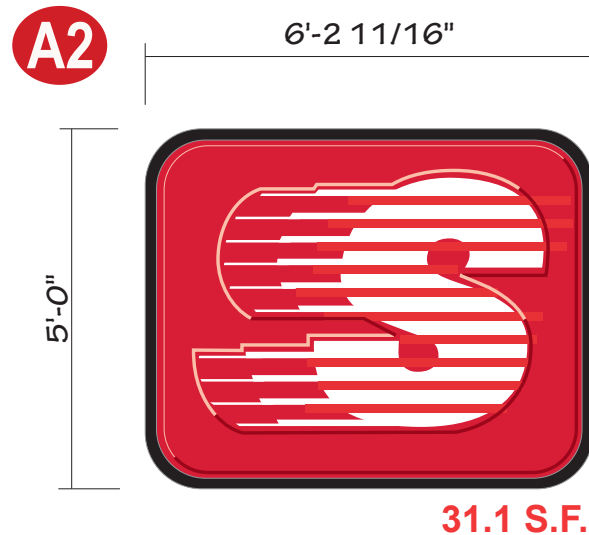
Job Location: Site # 1056127

Mink St. & Innovations Parkway,
 New Albany, OH

Date: January 16, 2025**CUMMINGS****D-ORDER#** 1466309071.04**Project Mgr.:** Michelle Hoffman

michelle.hoffman@cummingssigns.com

Page: 3 of 12



"S" SIGN BADGE

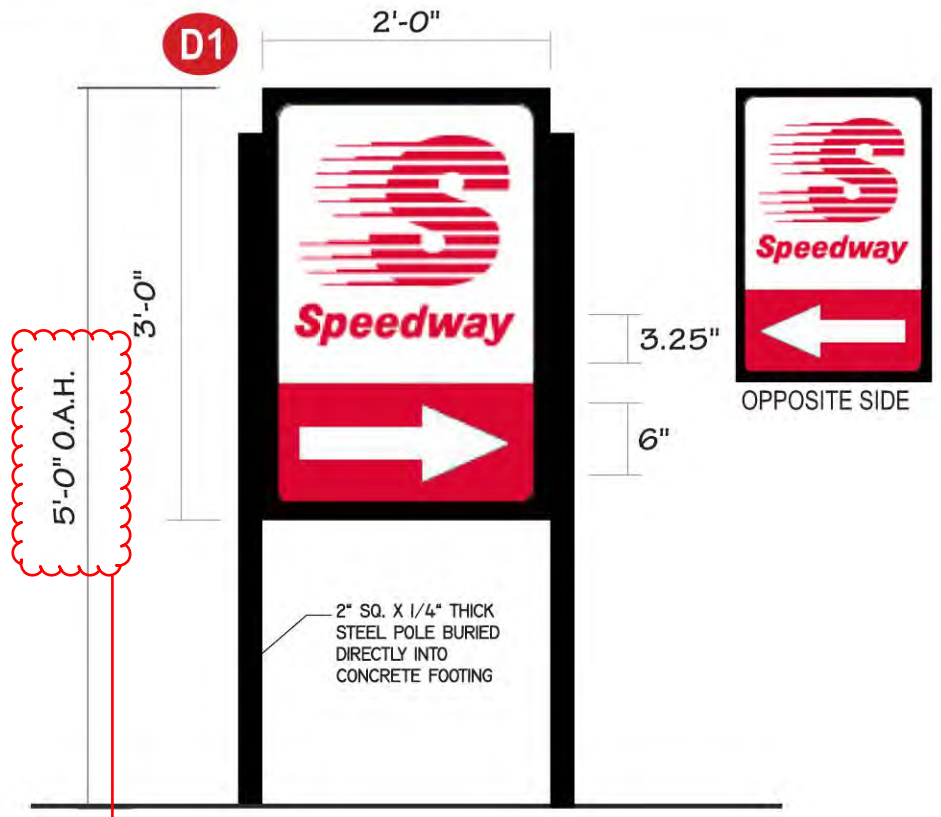
CABINET: 6" DEPTH, SF, FABRICATED ALUMINUM. CABINET & RETAINERS PAINTED TRICORN BLACK SW 6258

FACE: PAN-FORMED & EMBOSSSED' CLEAR POLYCARBONATE W/2ND SURFACE VINYL, HAND CUT & BACK SPRAYED WHITE.

ILLUMINATION: WHITE LEDs

COLORS:





DF INTERNALLY ILLUMINATED DIRECTIONAL SIGN

- 6" DEEP DF LED ILLUMINATED CABINET 1" X 1" X 1/8" ANGLED IRON FRAME W/1.5" ALUM. RETAINERS. CABINET & RETAINERS PAINTED TRICORN BLACK.
- PAN-FORMED CLEAR POLYCARBONATE FACES W/2ND SURFACE FLAT DECORATION.
- 2" SQ. X 1/4" THICK STEEL POLES, PAINTED TRICORN BLACK, BURIED DIRECTLY INTO CONCRETE FOOTING.

SPEEDWAY COLORS

- RED 2283 □ WHITE
- SAFETY RED (TBD)

VARIANCE #4
DIRECTIONAL HEIGHT
FROM 3' TO 5'

VARIANCE #3
DIRECTIONAL SIZE
FROM 4 s.f. TO 6 s.f.

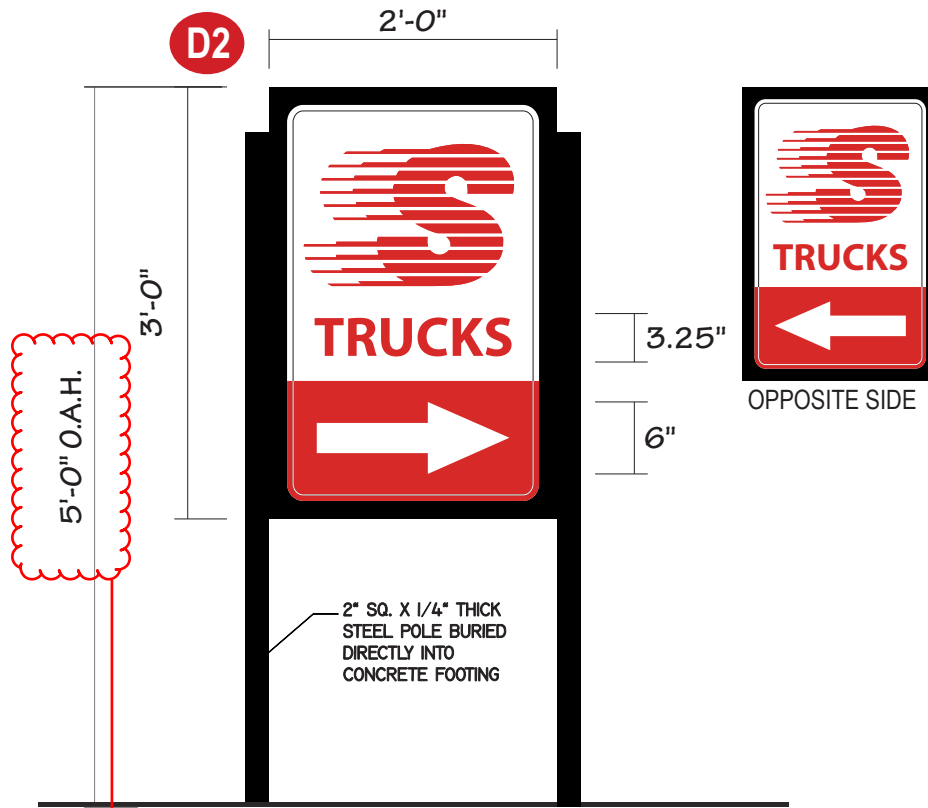
6 SQ. FT.

DIRECTIONAL SIGNAGE:
Code= Directional signage is permitted at 4sf Max and 3' OAH. The site is allowed (1) per lot access. Code indicates a logo is allowed. The base of the sign must be landscaped on all sides w/defined bed and all-season plant material. Can be internal or externally lit.

Job Location: Site # 1056127
Mink St. & Innovations Parkway,
New Albany, OH
Date: January 16, 2025



D-ORDER# 1466309071.04
Project Mgr.: Michelle Hoffman
michelle.hoffman@cummingsigns.com
Page: 12 of 12



VARIANCE #4
DIRECTIONAL HEIGHT
FROM 3' TO 5'

VARIANCE #3
DIRECTIONAL SIZE
FROM 4 s.f. TO 6 s.f.

NOTE: STANDARD AUTO SIZE DIRECTIONAL
USED AS TRUCK DIRECTIONAL PER CUSTOMER.

6 SQ. FT.

DIRECTIONAL SIGNAGE:

Code= Directional signage is permitted at 4sf Max and 3' OAH. The site is allowed (1) per lot access. Code indicates a logo is allowed. The base of the sign must be landscaped on all sides w/defined bed and all-season plant material. Can be internal or externally lit.

Job Location: Site # 1056127
Mink St. & Innovations Parkway,
New Albany, OH
Date: January 16, 2025



D-ORDER# 1466309071.04
Project Mgr.: Michelle Hoffman
michelle.hoffman@cummingssigns.com
Page: 12 of 12



**Planning Commission Staff Report
February 19, 2025 Meeting**

**AEP SUBSTATION
FINAL DEVELOPMENT PLAN**

LOCATION: 7375 Souder Road (PID: 222-004891)
APPLICANT: AEP, Ohio Transmission Company, Inc. c/o Amy Toohey
REQUEST: Final Development Plan
ZONING: Souder East Office, Research, & Information District I-PUD
STRATEGIC PLAN: Employment Center
APPLICATION: FDP-05-2025

Review based on: Application materials received January 23, 2025

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST AND BACKGROUND

This final development plan application is for a proposed AEP electrical substation located at 7375 Souder Road.

The property in question is zoned I-PUD and is located within the Souder East Office, Research, & Information District Subarea 4. The proposed use (electrical substation) is permitted as this use is identified as an essential service which is permitted in all zoning districts.

It's important to note as this use is a public utility and essential service, the applicant has broader flexibility and does not need to seek variances if a zoning requirement cannot be met per the city law director. Overall the plan is meeting the applicable zoning requirements however there is flexibility for the number of curb cuts, stormwater basin design, and street trees within a utility corridor.

II. SITE DESCRIPTION & USE

The site is generally located north of New Albany Road on the west side of Souder Road. The site is 9.50 acres and is currently undeveloped. Surrounding uses include Canine Companions to the west, undeveloped and commercial uses to the east, commercial to the south, and residential to the north.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*

- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan lists the following development standards for the Employment Center future land use category:

1. No freeway/pole signs are allowed.
2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
3. Plan office buildings within the context of the areas, not just the site, including building heights within development parcels.
4. Sites with multiple buildings should be well organized and clustered if possible.
5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
6. All office developments should plan for regional stormwater management.
7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of the road.
9. Combined curb cuts and cross-access easements are encouraged.
10. The use of materials, colors and textures to break up large scale facades is required.

A. Use, Site and Layout

1. The applicant proposes to develop an AEP electrical substation that is named Souder Station. The existing total site size is 9.50 acres. The proposed use is appropriate for this location in the New Albany Business Park. It will satisfy an existing and future electrical need in the area. The use is permitted as it is an essential service that is permitted in all of the city's zoning districts.
2. The station will contain electrical equipment that is installed on a gravel pad and secured by fencing. Additionally, there are two transmission poles that connect to the station. These poles are situated on the east side, outside the station fence, and are linked to the equipment within the station, as well as AEP's existing transmission network.
3. The applicant will install a leisure trail and horse fence along Souder Road.
4. The PUD zoning text requires the following setbacks from these perimeter boundaries. Since the site does not consist of pavement or a building, these setbacks do not apply.

Perimeter Boundary	Required Setback
Souder Road	30-foot building and pavement
Western Boundary	50-foot building and pavement
Northern Boundary	50-foot building and pavement
Southern Boundary	25-foot building and pavement

5. The applicant indicates that the onsite stormwater will be conveyed to an onsite stormwater basin on the south end of the site.

B. Access, Loading, Parking

1. The site is proposed to be accessed from two curb cuts along Souder Road including:
 - a. One full-service curb cut on the northern part of the site.
 - b. One full-service curb cut on the southern part of the site.
2. Parking is not applicable for this site as the site is not regularly occupied or staffed.

C. Parkland, Buffering, Landscaping, Open Space, Screening

1. The applicant is providing street trees along Souder Road in the tree lawn between the leisure trail and road pavement with the exception of the utility corridor.
2. The New Albany Business Park Research and Information Campus Design Guidelines require 15 trees per 100 linear feet to be planted along Souder Road however, the applicant is not able to do so due to the utility corridor. In lieu of providing this landscaping on Souder Road, staff recommend a condition of approval that the applicant

include naturalized plantings in the northwest corner of the site to provide additional screening (condition #1)

3. Zoning text section H(4) requires an earthmound with landscaping along the northern property line that is shared with Parcel Number 222-000596. The earthmound shall be a minimum of 6 feet in height at its crest and shall be planted with evergreen or deciduous trees at an average rate of 12 trees per 100 lineal feet. This has already been installed and will remain in place.
4. The applicant is providing naturalized trees around the basin to help with screening.

D. Lighting & Signage

1. Zoning text section V(I) requires all parking lot lights to be cut-off and downcast, not exceeding 30 feet in height, and be black or New Albany Green.
 - o The applicant submitted a photometrics plan showing no light spillage from property lines and the mounting height of poles to be 29 feet.
2. The applicant proposes to install two address placards along the horse fence at the proposed entrances that meet the New Albany Business Park Research and Information Campus Design Guidelines.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition #2).

1. Engineering staff will evaluate storm water management, water distribution, sanitary sewer collection and roadway construction related details once construction plans become available.

V. SUMMARY

Since the substation is an essential service, it will contribute economic value by meeting current and future electrical demands in the area, which is essential for the expanding business park. The proposed development is in an appropriate location given the context of the surrounding area and serves as an important resource for the New Albany Business Park.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application FDP-05-2025, subject to the following conditions:

1. That the applicant includes naturalized plantings in the northwest corner of the site to provide additional screening
2. Engineering staff will evaluate storm water management, water distribution, sanitary sewer collection and roadway construction related details once construction plans become available.

Approximate Site Location



Source: NearMap



Community Development Planning Application

Project Information	Site Address <u>7375 Souder Road New Albany Ohio 43054</u> Parcel Numbers <u>222-004891</u> Acres <u>9.50 acres-calculated</u> # of lots created <u>None</u>																																																												
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: left; padding: 2px;">Choose Application Type</th> <th colspan="4" style="text-align: left; padding: 2px;">Circle all Details that Apply</th> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Appeal</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Certificate of Appropriateness</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Conditional Use</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td style="padding: 2px;"><input checked="" type="checkbox"/> Development Plan</td> <td style="padding: 2px;">Preliminary</td> <td style="padding: 2px;">Final</td> <td style="padding: 2px;">Comprehensive</td> <td style="padding: 2px;">Amendment</td> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Plat</td> <td style="padding: 2px;">Preliminary</td> <td style="padding: 2px;">Final</td> <td></td><td></td> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Lot Changes</td> <td style="padding: 2px;">Combination</td> <td style="padding: 2px;">Split</td> <td colspan="2" style="padding: 2px;">Adjustment</td> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Minor Commercial Subdivision</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Vacation</td> <td colspan="2" style="padding: 2px;">Easement</td> <td colspan="2" style="padding: 2px;">Street</td> </tr> <tr> <td style="padding: 2px;"><input checked="" type="checkbox"/> Variance</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Extension Request</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td style="padding: 2px;"><input type="checkbox"/> Zoning</td> <td colspan="2" style="padding: 2px;">Amendment (rezoning)</td> <td colspan="2" style="padding: 2px;">Text Modification</td> </tr> </table>	Choose Application Type	Circle all Details that Apply				<input type="checkbox"/> Appeal					<input type="checkbox"/> Certificate of Appropriateness					<input type="checkbox"/> Conditional Use					<input checked="" type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment	<input type="checkbox"/> Plat	Preliminary	Final			<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment		<input type="checkbox"/> Minor Commercial Subdivision					<input type="checkbox"/> Vacation	Easement		Street		<input checked="" type="checkbox"/> Variance					<input type="checkbox"/> Extension Request					<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification	
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<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification																																																										
Description of Request: <u>AEP, a public utility provider, is proposing to construct a new electrical station at 7375 Souder Road.</u>																																																													
Contacts	Property Owner's Name: <u>AEP, Ohio Transmission Company, Inc.</u> Address: <u>8500 Smiths Mill Road</u> City, State, Zip: <u>New Albany, Ohio 43054</u> Phone number: <u>614 477-5410</u> Fax: _____ Email: <u>jlwalker2@aep.com</u>																																																												
	Applicant's Name: <u>Jennifer Walker/Amy Toohey</u> Address: <u>8500 Smiths Mill Road</u> City, State, Zip: <u>New Albany, Ohio 43054</u> Phone number: <u>614 477-5410/614 565 1480</u> Fax: _____ Email: <u>jlwaker2@aep.com/ajtoohey@aep.com</u>																																																												
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																																																												
	<table style="width: 100%;"> <tr> <td style="width: 30%;">Signature of Owner</td> <td style="width: 40%; text-align: center;"><u>Jennifer Walker</u></td> <td style="width: 30%;">Date: <u>2-7-2025</u></td> </tr> <tr> <td>Signature of Applicant</td> <td style="text-align: center;"><u>Jennifer Walker</u></td> <td>Date: <u>2-7-25</u></td> </tr> </table>	Signature of Owner	<u>Jennifer Walker</u>	Date: <u>2-7-2025</u>	Signature of Applicant	<u>Jennifer Walker</u>	Date: <u>2-7-25</u>																																																						
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Signature of Applicant	<u>Jennifer Walker</u>	Date: <u>2-7-25</u>																																																											

Fees & Submittal Information

Appeal		250.00	
Certificate of Appropriateness			
ARB – single and two family residential		100.00	
ARB – All other residential or commercial		300.00	
ARB - Signage		75.00	
Conditional Use		600.00	
Development Plan – Preliminary PUD or Comprehensive			
Planning fee	First 10 acres	750.00	
	Each additional 5 acres or part thereof	50.00 / each	
Engineering fee	1-25 lots	155.00 / each	
	Minimum fee	1000.00	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Final PUD			
Planning fee	First 10 acres	650.00	X
	Each additional 5 acres or part thereof	50.00	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Non-PUD		300.00	
Development Plan / Text Amendment		600.00	
Plat – Road Preliminary			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Road Final			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Subdivision Preliminary			
Planning		650.00	
	Plus each lot	50.00 / each	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each lot over 51	50.00 / each	

Fees & Submittal Requirements

Plat – Subdivision Final			
Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 /each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____
Lot Changes		200.00	_____
Minor Commercial Subdivision		200.00	_____
Vacation (Street or Easement)		1200.00	_____
Variance			
	Non-single family, commercial, subdivision, multiple properties	600.00	_____
	Single Family residence	250.00	_____
	In conjunction with Certification of Appropriateness	100.00	_____
Extension Request		0.00	_____
Zoning			
	Rezoning - First 10 acres	700.00	_____
	Each additional 5 acres or part thereof	50.00 / each	_____
	Rezoning to Rocky Fork Blacklick Accord	250.00	_____
	Text Modification	600.00	_____
Easement Encroachment		800.00	_____

DRAWING INDEX:

CU-CS01-S01	COVER SHEET	SHEET 1 OF 11
CU-EC02-S01	EXISTING CONDITIONS	SHEET 2 OF 11
CU-EC02-S02	DEMOLITION PLAN	SHEET 3 OF 11
CU-SL01-S01	SITE DIMENSION PLAN	SHEET 4 OF 11
CU-GP01-S01	GRADING / EROSION & SEDIMENT CONTROL PLAN	SHEET 5 OF 11
CU-GS01-S01	CROSS SECTIONS & DETAILS	SHEET 6 OF 11
CU-RP01-S01	ACCESS ROAD PROFILES & DETAILS	SHEET 7 OF 11
CU-ED02-S01	EROSION & SEDIMENT CONTROL DETAILS - SHEET 1	SHEET 8 OF 11
CU-ED02-S02	EROSION & SEDIMENT CONTROL DETAILS - SHEET 2	SHEET 9 OF 11
CU-GN02-S01	CITY OF NEW ALBANY STANDARD NOTES - SHEET 1	SHEET 10 OF 11
CU-GN02-S02	CITY OF NEW ALBANY STANDARD NOTES - SHEET 2	SHEET 11 OF 11

OWNER / APPLICANT:

AMERICAN ELECTRIC POWER
OHIO TRANSMISSION COMPANY
8500 SMITHS MILL ROAD
NEW ALBANY, OHIO 43054
CIVIL ENGINEER: KOKOU EKLOU
216-804-6741 CELL
KEKLOU@AEP.COM

SURVEY:

BAIR, GOODIE AND ASSOCIATES, INC.
153 NORTH BROADWAY STREET
NEW PHILADELPHIA, OHIO 44663
330-343-3499 OFFICE
330-343-9505 FAX

BENCHMARKS:

BM-300
1-1/2-INCH ALUMINUM MONUMENT IN CONCRETE (FOUND)
ELEV.: 1051.13'
NORTHING: 767,905.37'
EASTING: 1,882,961.68'

GEOTECHNICAL REPRESENTATIVE:

S&ME, INC.
6190 ENTERPRISE COURT
DUBLIN, OHIO 43016
614-793-2226 OFFICE
614-980-1093 MOBILE
WWW.SMEINC.COM

FLOODPLAIN NOTE:

SUBJECT PROPERTY IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE FEMA FLOOD INSURANCE RATE MAP: FRANKLIN COUNTY, OHIO (AND INCORPORATED AREAS), PANEL 206 OF 465, MAP NUMBER: 39049C0206K, EFFECTIVE DATE: JUNE 17, 2008.

CITY OF NEW ALBANY APPROVALS

THE SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSE OF THIS PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER AT BAIR, GOODIE & ASSOCIATES. THE EXTENT OF THE CITY ENGINEER REVIEW AND APPROVAL IS BASED ONLY ON COMPLIANCE WITH CITY ORDINANCE 1181, 1183, 1187, AND OTHER APPLICABLE CITY POLICIES.

FINANCE DIRECTOR, CITY OF NEW ALBANY, OHIO _____ DATE _____

CITY ENGINEER, CITY OF NEW ALBANY, OHIO _____ DATE _____

CITY MANAGER, CITY OF NEW ALBANY, OHIO _____ DATE _____

AMERICAN ELECTRIC POWER SOUDER STATION

7375 SOUDER ROAD
NEW ALBANY, OH 43054

LOCATED IN
LOT 16, SECTION 8, FIRST QUARTER OF T-2, R-16,
UNITED STATES MILITARY LANDS,
CITY OF NEW ALBANY,
COUNTY OF FRANKLIN,
STATE OF OHIO



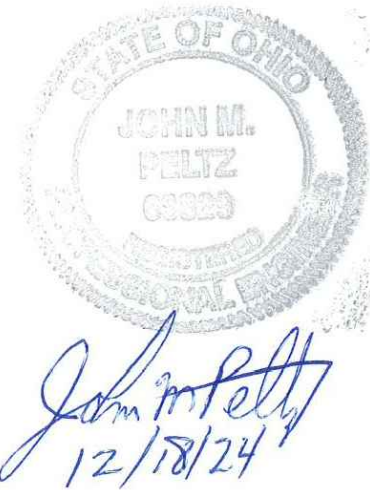
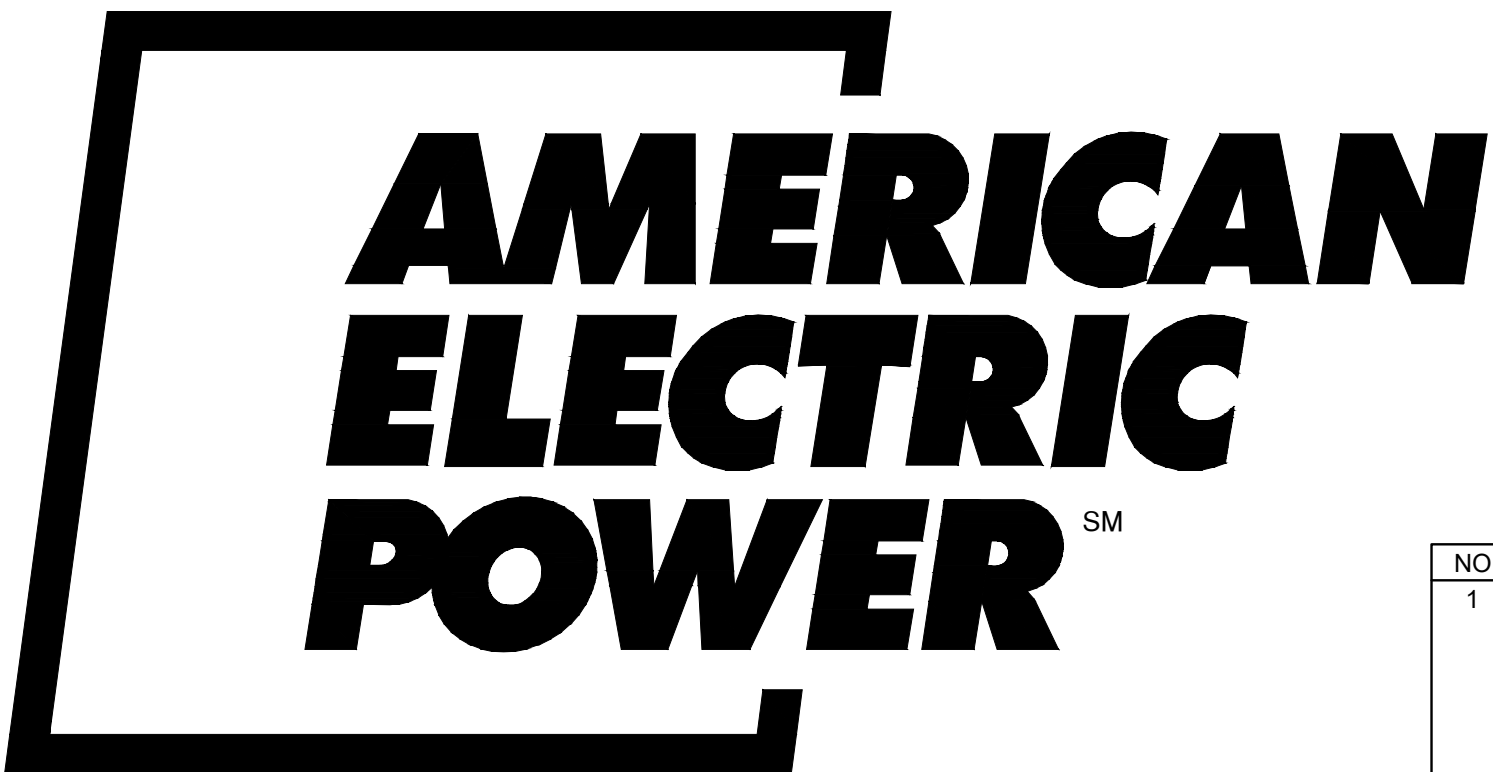
LOCATION MAP

0 1/2 1
SCALE: 1" = 1/2 MILE

POST CONSTRUCTION WATER QUALITY

A PERMANENT DRY EXTENDED DETENTION BASIN WILL BE CONSTRUCTED AS PART OF THIS PROJECT TO PROVIDE WATER QUALITY TREATMENT ONCE ALL DISTURBED AREAS HAVE BEEN SUCCESSFULLY VEGETATED .

WO # T10593117002



NO	DATE	REVISION DESCRIPTION	APPR	DR	ENG	CK	ISSUE#
1	12/18/2024	ADDED POST CONSTRUCTION WATER QUALITY NOTE AND UPDATED QUANTITIES ON SHEET CU-CS01-S01. ADDED NOTE TO SHEET CU-EC02-S01 AND SHEET CU-EC02-S02. ADDED IMPERVIOUS AREAS TABLE TO SHEET CU-SL01-S01. ADDED POST CONSTRUCTION BMP TABLE. ADDED MAJOR FLOOD ROUTING PATH. ADDED 100 FOOT MINIMUM CONSTRUCTION ENTRANCE NOTE, AND LABELED THE 100 YEAR WATER SURFACE ELEVATION OF THE BASIN ON SHEET CU-GP01-S01. ADDED EMERGENCY SPILLWAY CENTERLINE PROFILE TO SHEET CU-GS01-S01. ADDED CULVERTS AND HEADWATER ELEVATIONS TO ACCESS ROAD B PROFILE AND ADDED TYPICAL CULVERT C UNDER ACCESS ROAD B DETAIL ON SHEET CU-RP01-S01. UPDATED DITCH DIMENSION TABLE TO PROVIDE 100 YEAR STORM MAXIMUM WATER DEPTH ON SHEET CU-ED02-S01. UPDATED CULVERT DATA CHART TO PROVIDE VELOCITIES AND ADDED CONSTRUCTION ENTRANCE AS PART OF THIS PROJECT ON SHEET CU-ED02-S02.					

GENERAL NOTES:

- (1.) All work shall be performed in accordance with the appropriate articles of the AEP "Technical Specification for Substation and Switching Station Construction" #SS-160102 (Specification) and "Site Preparation Guidelines" #SS-710000.
- (2.) The Cut and Fill Earthwork Quantities shown below reflect the minimum earthwork required. This calculation does not include 4" of #57 stone (by others) above the station pad or the removal of topsoil. The actual depth of stripping may increase under the station pad depending on site conditions.
- (3.) All soft, wet, organic, or otherwise unsuitable material shall be removed and replaced in accordance with the Specification.
- (4.) All disturbed areas that will not be stoned shall be seeded in accordance with the Specification.
- (5.) Side slopes shall have a maximum gradient of three horizontal to one vertical unless otherwise noted.
- (6.) The station pad area shall be covered with 8 inches of ODOT #304 aggregate to 5 feet outside the station fence followed by 4 inches of #57 stone (by others) to 4 feet outside the station fence.
- (7.) The elevations shown for all graded areas are final elevations (top of pad #304). The contour interval shown is one foot.
- (8.) All trees and shrubs located within the construction limits shall be removed. Trees and shrubs are not shown on the grading plan for clarity.
- (9.) All debris shall be removed from the site.
- (10.) All grading work shall be within property lines or the right of way line. Do not disturb adjacent properties.
- (11.) Contractor is responsible for construction and maintenance of all erosion control measures.
- (12.) Contractor initiated changes shall be submitted in writing to the owners representative for approval prior to fabrication or construction.
- (13.) Scales as noted on the details are shown for 30"x46" size sheets.
- (14.) Locations of all existing utilities shown on the plan are approximate. Contractor shall verify all existing utility locations prior to construction. Repair of any damaged utility shall be the responsibility of the contractor. Prior to excavation work, contractor shall have all utilities marked in the field.
- (15.) The delineated wetlands as shown on these plans were provided by AEP.
- (16.) A pre-construction meeting with the City of New Albany is required prior to any earth moving activity.
- (17.) All concrete culverts to be tested per City of Columbus Construction and Material Specifications (CMSC) standards.

CONSTRUCTION LIMIT AREA / DISTURBED AREA = 7.09 ACRES (308,869 SQ. FT.)
STATION PAD AREA = 5.08 ACRES (221,375 SQ. FT.)

ESTIMATED QUANTITIES:

NOTE: QUANTITIES SHOWN ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL PERFORM THEIR OWN QUANTITY ESTIMATES.

EARTHWORK:

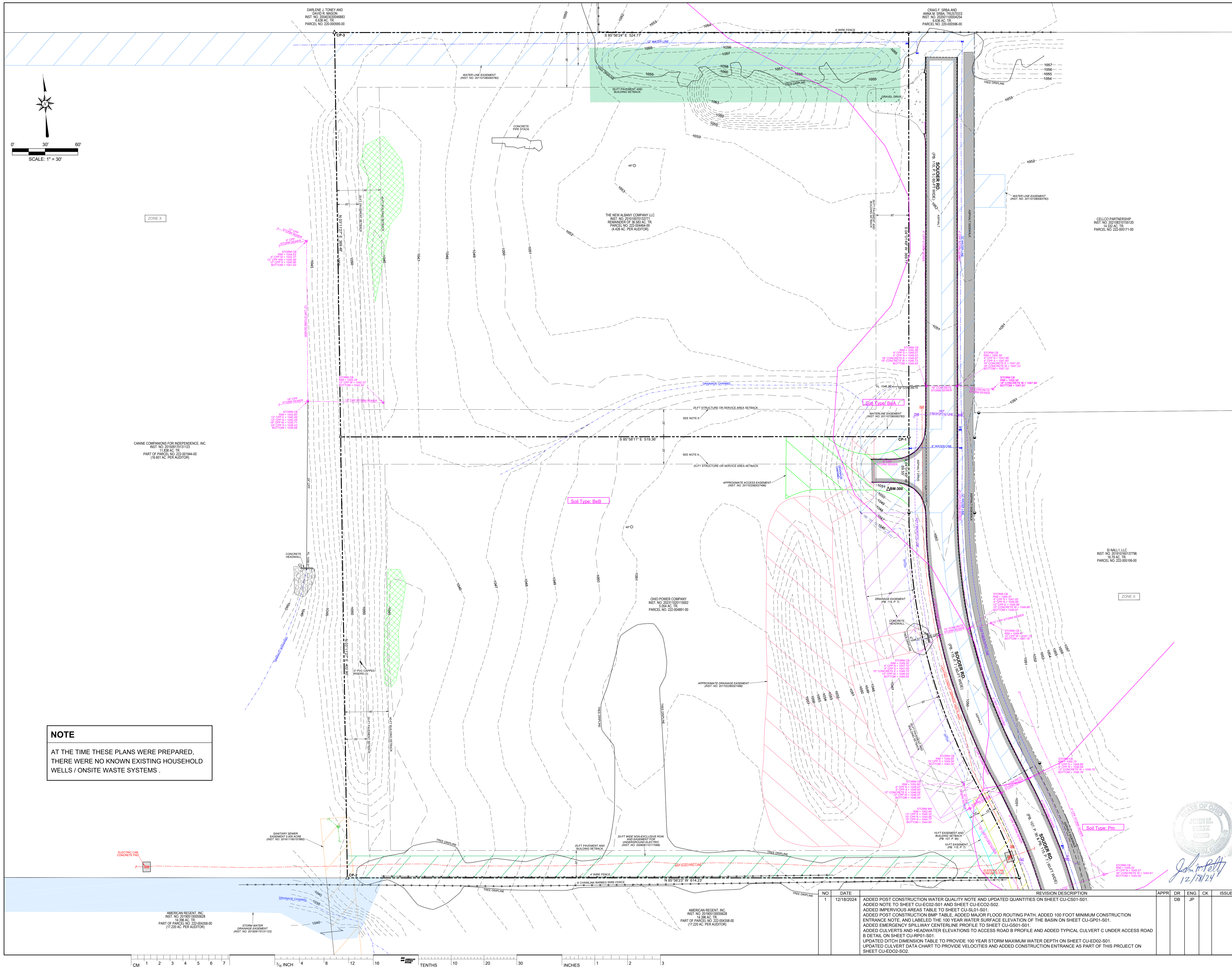
AREA OF DISTURBANCE	7.09 AC.
CLEARING AND GRUBBING	7.09 AC.
TOPSOIL REMOVAL (ASSUMED 12" THICK)	11,400 C.Y.
TOPSOIL PLACEMENT (4" TO BE SPREAD IN AREAS TO BE SEEDED)	560 C.Y.
TOPSOIL (EXCESS)	10,840 C.Y.
CUT* (INCLUDES 20% SWELL FACTOR)	20,700 C.Y.
FILL* (INCLUDES 30% COMPACTION)	12,000 C.Y.
EXPORT CUT	8,700 C.Y.

*CUT / FILL QUANTITIES DO NOT INCLUDE STRIPPING OR PLACEMENT OF TOPSOIL.

















MATERIALS:

ODOT #304 AGGREGATE, 8" THICK FOR STATION PAD AND ASPHALT ACCESS ROADS AND 4-1/2" THICK FOR STONE ACCESS ROADS	11,200 TONS
AASHTO #57 WASHED LIMESTONE, 4" THICK FOR STATION PAD (BY OTHERS)	4,060 TONS
ODOT #2 AGGREGATE, 4-1/2" THICK FOR STONE ACCESS ROADS	50 TONS
ASPHALT PAVEMENT, 6" THICK FOR ACCESS ROADS (INSTALL PER ODOT SPECIFICATIONS)	55 C.Y.
ODOT TYPE (D) RIPRAP	2,100 TONS
AAHHTO #57 WASHED STONE FOR CULVERT INSTALLATION	560 TONS
ITEM 912 BACKFILL (TYPE I), 8" THICK OVER CULVERT C	3 C.Y.
CHAIN LINK FENCE & APPURTENANCES	1,840 LIN. FT.
MIRAFI 600X GEOTEXTILE FABRIC FOR ACCESS ROAD	590 S.Y.
30 MIL HDPE OR PVC GEOMEMBRANE LINER	2,760 S.Y.
ODOT TYPE B GEOTEXTILE FABRIC FOR ROCK-LINED DITCHES	1,290 S.Y.
FILTER SOCK (12"Ø MIN.)	2,340 LIN. FT.
24' SWINGING GATE	2 EA.
4' X 4' AA-S133B CATCH BASIN	1 EA.
12" HDPE PIPE	80 LIN. FT.
12" REINFORCED CONCRETE PIPE (RCP)	80 LIN. FT.
18" REINFORCED CONCRETE PIPE (RCP)	60 LIN. FT.
FAIRCLOTH SKIMMER	1 EA.
SEEDING & MULCHING	1.05 AC.
CONCRETE WASHOUT	1 EA.
CONSTRUCTION ENTRANCE	1 EA.

BAIR GOODIE	BAIR, GOODIE AND ASSOCIATES, INC. 153 NORTH BROADWAY STREET NEW PHILADELPHIA, OH 44663 TEL: 330.343.3499 FAX: 330.343.9505 WWW.BAIRGOODIE.COM	UNDERGROUND UTILITIES TWO WORKING DAYS CALL BEFORE YOU DIG Call: 800-362-2754 (Toll Free) OHIO UTILITIES PROTECTION SERVICE
OLD DWG #: NEW ALBANY		
DATE: 09/11/2024		
AEP OHIO TRANSMISSION COMPANY, INC. SOUDER STATION OHIO		
COVER SHEET		
SCALE: AS NOTED	DR: DB/BGA WOF: T10593117002 1 RIVERSIDE PLAZA COLUMBUS, OH 43215	ENG: JP/BGA APPD: JP/BGA DWG. NO.: CU-CS01-S01 R E V 1



LEGEND - EXISTING FEATURES

	DELINATED WETLAND
	RIPRAP
	GRAVEL
	CONCRETE
	ASPHALT
	
<p>WATER LINE EASEMENT (INST. NO. 201107280093782)</p>	
	
<p>APPROXIMATE ACCESS EASEMENT (INST. NO. 201702280027486)</p>	
	
<p>APPROXIMATE DRAINAGE EASEMENT (INST. NO. 201702280027486)</p>	
	
<p>10-FT EASEMENT (PB. 115, P. 7)</p>	
	
<p>44-FT DRAINAGE EASEMENT (PB. 115, P. 7)</p>	
	
<p>15-FT EASEMENT AND BUILDING SETBACK (PB. 107, P. 90)</p>	
	
<p>SANITARY SEWER EASEMENT 0.005 ACRE (INST. NO. 20161110571860)</p>	
	
<p>20-FT WIDE NON-EXCLUSIVE ROW AND EASEMENT FOR UNDERGROUND ELECTRIC (INST. NO. 20090811017068)</p>	
	
<p>LANDSCAPING IN SETBACK FROM NORTHERN PROPERTY LINE: SEE SOUTHER EAST RAIL DISTRICT SUBAREA 4 ZONING TEXT ITEM H(4) DATED JULY 9, 2008.</p>	
	
<p>STORM WATER DRAINAGE EASEMENT (INST. NO. 201508197131122)</p>	
	

LEGEND - SOIL TYPES

BeA	Bennington silt loam, 0 to 2 percent slopes
BeB	Bennington silt loam, 2 to 6 percent slopes
Pm	Pewamo silty clay loam, low carbonate till, 0 to 2 percent slopes

1) BEARINGS ARE ORIENTED TO THE STATE PLANE COORDINATE SYSTEM: OHIO SOUTH (2402);
HORIZONTAL DATUM: NAD83 (2011); U.S. SURVEY FOOT; VERTICAL DATUM: NAVD83.

2) UTILITIES LOCATED IN THE FIELD BY OBSERVED EVIDENCE COMBINED WITH SOURCE INFORMATION
FROM PLANS AND MARKINGS (IF PROVIDED); HOWEVER, LACKING EVIDENCE, THE EXACT LOCATION
AND DEPTH OF ANY UNDERGROUND FEATURES ARE NOT GUARANTEED, UTILITIES ARE RELIABLY DERIVED
IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM
SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE.

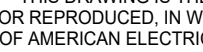
3) DOCUMENTS USED: TAX MAPS, RECORDS AS NOTED, AND PLATS OF SURVEYS.

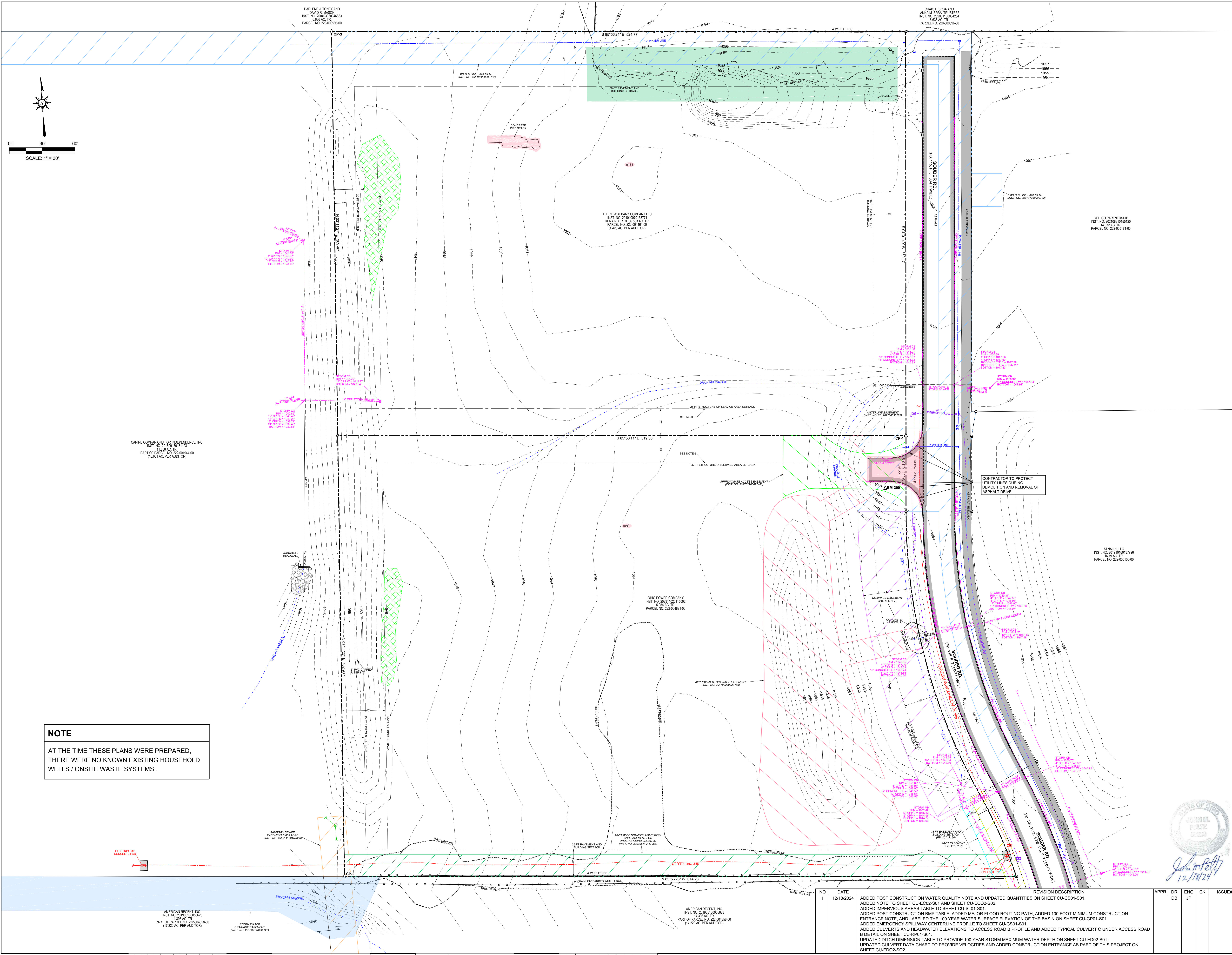
4) SUBJECT PROPERTY IS LOCATED IN ZONE A (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL
CHANCE FLOODING RAIN IN ACCORDANCE WITH THE FEMA FLOOD INSURANCE RATE MAP IN FRANKLIN COUNTY,
OHIO AND INCORPORATED AREAS); PANEL 29 OF 455; MAP NUMBER: 3054050206; EFFECTIVE DATE:
JUNE 17, 2024.

5) THE APPROXIMATE LOCATION OF AN ACCESS EASEMENT AND DRAINAGE EASEMENT ARE DEPICTED AS
SHOWN ON EXHIBITS A-1 AND A-2 OF INST. NO. 20170220027486.

6) THE CITY OF NEW ALBANY HAS CONFIRMED THAT IN THE EVENT THE TWO PARCELS SHOWN AS THE
"SUBJECT PROPERTY" COME UNDER COMMON OWNERSHIP OR CONTROL, THE MINIMUM SETBACKS SHALL NO
LONGER APPLY TO THE COMMON PARCEL LINE AS NOTED AND SHOWN HEREIN.

7) EXISTING CONDITIONS SURVEY COMPLETED ON FEBRUARY 13, 2024.

	BAIR, GOODIE AND ASSOCIATES, INC. 133 NORTH BROADWAY STREET NEW PHILADELPHIA, OH 44663 TEL: 330.343.3343 FAX: 330.343.9555 WWW.BAIRGOODIE.COM	<div>UNDERGROUND UTILITIES</div> <div>TWO WORKING DAYS</div> <div>CALL BEFORE YOU DIG</div> <div>CHL 800-362-2724 (Toll Free)</div> <div>OHIO UTILITIES PROTECTION SERVICE</div>
	<div>OLD DWMG: _____</div> <div>STD DWMG: _____</div>	
<div>*THIS DRAWING IS THE PROPERTY OF AMERICAN ELECTRIC POWER AND IS LOANED UPON THE CONDITION THAT IT IS NOT TO BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, OR USED FOR FURNISHING INFORMATION TO ANY PERSON WITHOUT THE WRITTEN CONSENT OF AMERICAN ELECTRIC POWER. ANY UNAUTHORIZED REPRODUCTION OR USE WILL BE RETURNED UNLESS OTHERWISE NOTED.</div> <div>AEP OHIO TRANSMISSION COMPANY, INC.</div> <div>SOULDER STATION</div> <div>OHIO</div>		
<div>EXISTING CONDITIONS</div>		
<div>SCALE: 1" = 30'</div> <div></div>	<div>DR: DB/BA</div> <div>DWG. NO. T105931/117002</div> <div>1 RIVERSIDE PLAZA</div> <div>COLUMBUS, OH 43215</div>	<div>ENG: JB/BCA</div> <div>APP'D: JB/BA</div> <div>DWG. NO. CU-EC02-S01</div> <div><div>CH: JB/BA</div><div>DATE: 09/11/2024</div><div>R</div><div>V</div><div>1</div></div>



NOTE

AT THE TIME THESE PLANS WERE PREPARED, THERE WERE NO KNOWN EXISTING HOUSEHOLD WELLS / ONSITE WASTE SYSTEMS .

SURVEY CONTROL POINT DATA			
POINT NO.	DESCRIPTION	NORTHING	EASTING
BM-300	1-1/2-INCH ALUMINUM MONUMENT IN CONCRETE (FOUND)	767905.37	1882061.68
CP-1	IRON PIN WITH "CENTRAL SURV. CO. LTD" CAP (FOUND)	767902.99	1882063.94
CP-2	IRON PIN WITH "CENTRAL SURV. CO. LTD" CAP (FOUND)	767586.38	1882443.43
CP-3	13/16-INCH ID IRON PIPE WITH "EMHT INC." CAP (FOUND)	768357.51	1882486.40

LEGEND - EXISTING FEATURES	
---	SUBJECT PROPERTY
---	PROPERTY LINE PER COUNTY
---	PARCEL LINE
---	MINIMUM SETBACK LINE (AS NOTED)
---	EDGE OF ROAD
---	CONCRETE CURB
---	EDGE OF GRAVEL / DRIVE
---	FENCE
---	1FT CONTOUR
---	5FT CONTOUR
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND FIBEROPTIC LINE
---	ELECTRIC VAULT (UNLESS OTHERWISE NOTED)
---	UNDERGROUND FIBEROPTIC VAULT
---	FIBEROPTIC MARKER
---	UNDERGROUND PIPELINE
---	PIPELINE MARKER
---	UNDERGROUND WATER LINE
---	WATER VALVE
---	FIRE HYDRANT
---	UNDERGROUND SANITARY SEWER
---	SANITARY MANHOLE
---	UNDERGROUND STORM SEWER
---	STORM MANHOLE
---	CATCH BASIN
---	CORRUGATED PLASTIC PIPE
---	CULVERT
---	FLOW LINE ELEVATION
---	DRAINAGE CHANNEL / DITCH
---	EDGE OF WATER
---	TREE DRIFLINE
---	CONTROL POINT / BENCHMARK (AS NOTED)
---	13/16-INCH ID IRON PIPE WITH "EMHT INC." CAP (FOUND)
---	IRON PIN WITH "CENTRAL SURV. CO. LTD" CAP (FOUND)
---	DELINEATED WETLAND
---	RIPRAP
---	GRAVEL
---	CONCRETE
---	ASPHALT
---	WATER LINE EASEMENT (INST. NO. 20107280093782)
---	APPROXIMATE ACCESS EASEMENT (INST. NO. 201702280027486)
---	APPROXIMATE DRAINAGE EASEMENT (INST. NO. 201702280027486)
---	10-FT EASEMENT (PB. 115, P. 7)
---	44-FT DRAINAGE EASEMENT (PB. 115, P. 7)
---	15-FT EASEMENT AND BUILDING SETBACK (PB. 107, P. 90)
---	SANITARY SEWER EASEMENT 0.005 ACRE (INST. NO. 201611160157860)
---	20-FT WIDE NON-EXCLUSIVE ROW AND EASEMENT FOR UNDERGROUND ELECTRIC (INST. NO. 200908110117086)
---	LANDSCAPING IN SETBACK FROM NORTHERN PROPERTY LINE: SEE SOUDER EAST R&I DISTRICT SUBAREA 4 ZONING TEXT ITEM H(4) DATED JULY 9, 2008.
---	STORM WATER DRAINAGE EASEMENT (INST. NO. 201509107131122)

LEGEND - PROPOSED FEATURES	
---	PROPOSED DEMOLITION / REMOVE ITEMS

- NOTES**
- 1.) BEARINGS ARE ORIENTED TO THE STATE PLANE COORDINATE SYSTEM: OHIO SOUTH (3402); HORIZONTAL DATUM: NAD83 (2011); U.S. SURVEY FOOT; VERTICAL DATUM: NAVD83.
 - 2.) UTILITIES LOCATED IN THE FIELD BY OBSERVED EVIDENCE COMBINED WITH SOURCE INFORMATION FROM PLANS AND MARKINGS (IF PROVIDED); HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE.
 - 3.) DOCUMENTS USED: TAX MAPS, RECORDS AS NOTED, AND PLATS OF SURVEYS.
 - 4.) SUBJECT PROPERTY IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE FEMA FLOOD INSURANCE RATE MAP: FRANKLIN COUNTY, OHIO (AND INCORPORATED AREAS), PANEL 206 OF 465, MAP NUMBER: 30049C0205K, EFFECTIVE DATE: JUNE 17, 2008.
 - 5.) THE APPROXIMATE LOCATION OF AN ACCESS EASEMENT AND DRAINAGE EASEMENT ARE DEPICTED AS SHOWN ON EXHIBITS A-1 AND A-2 OF INST. NO. 201702280027486.
 - 6.) THE CITY OF NEW ALBANY HAS CONFIRMED THAT IN THE EVENT THE TWO PARCELS SHOWN AS THE "SUBJECT PROPERTY" COME UNDER COMMON OWNERSHIP OR CONTROL, THE MINIMUM SETBACKS SHALL NO LONGER APPLY TO THE COMMON PARCEL LINE AS NOTED AND SHOWN HEREON.
 - 7.) EXISTING CONDITIONS SURVEY COMPLETED ON FEBRUARY 13, 2024.

BAIR
GOODIE

BAIR, GOODIE AND ASSOCIATES, INC.
153 NORTH BROADWAY STREET
NEW PHILADELPHIA, OH 44663
TEL: 330.343.3400 FAX: 330.343.3405
WWW.BAIRGOODIE.COM

UNDERGROUND UTILITIES
TWO WORKING DAYS
CALL BEFORE YOU DIG
Call: 800-362-2754 (Toll Free)
OHIO UTILITIES PROTECTION SERVICE

OLD DWG #:

STD DWG #:

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AEP OHIO TRANSMISSION COMPANY, INC.

NEW ALBANY

OHIO

DEMOLITION PLAN

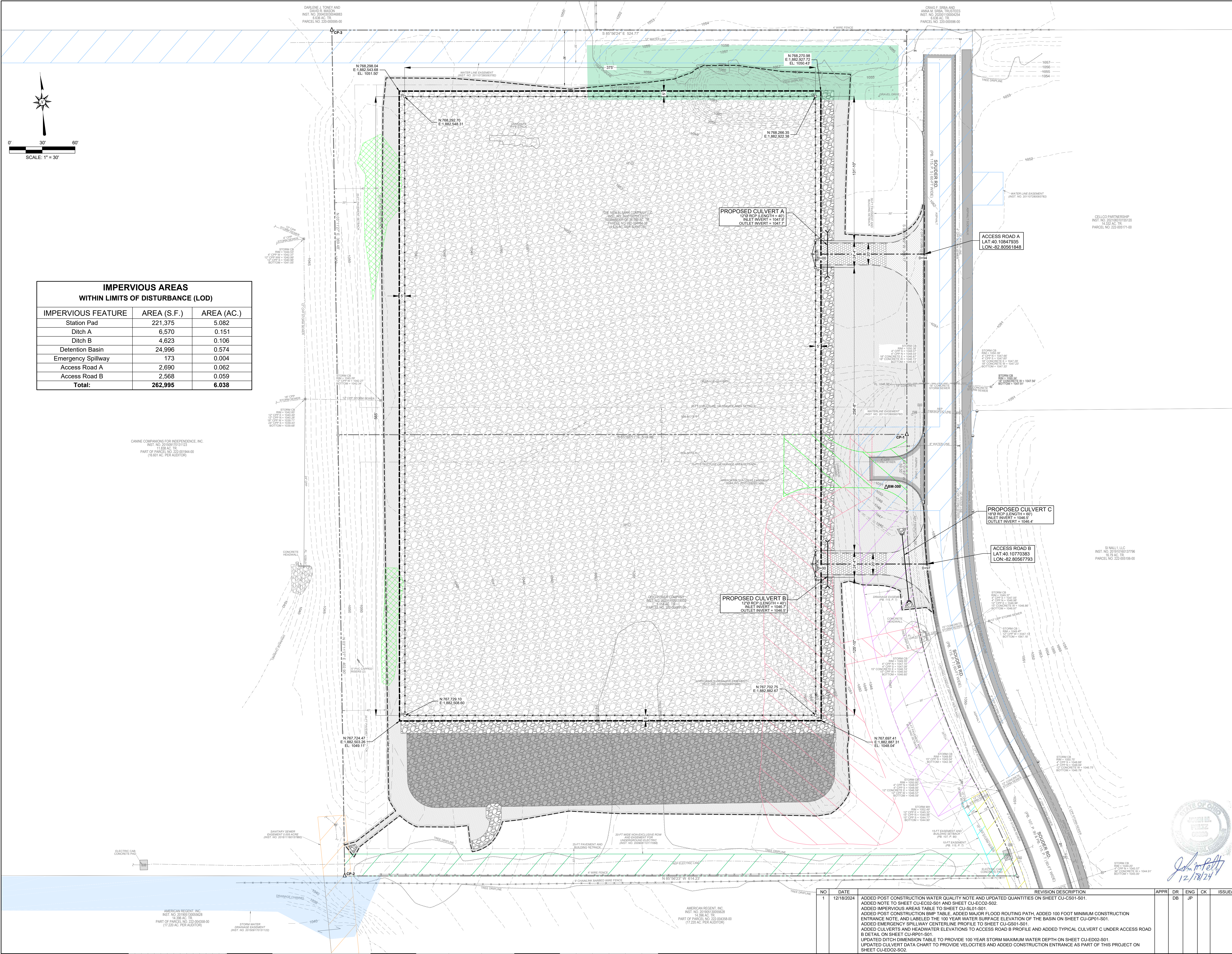
SCALE: 1" = 30'

DR: JB/GA
WOF: T10593117002
1 RIVERSIDE PLAZA
COLUMBUS, OH 43215

ENG: JP/GA
APPD: JP/GA
DWG. NO.: CU-EC02-S02

CH: JP/GA
DATE: 09/11/2024
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E
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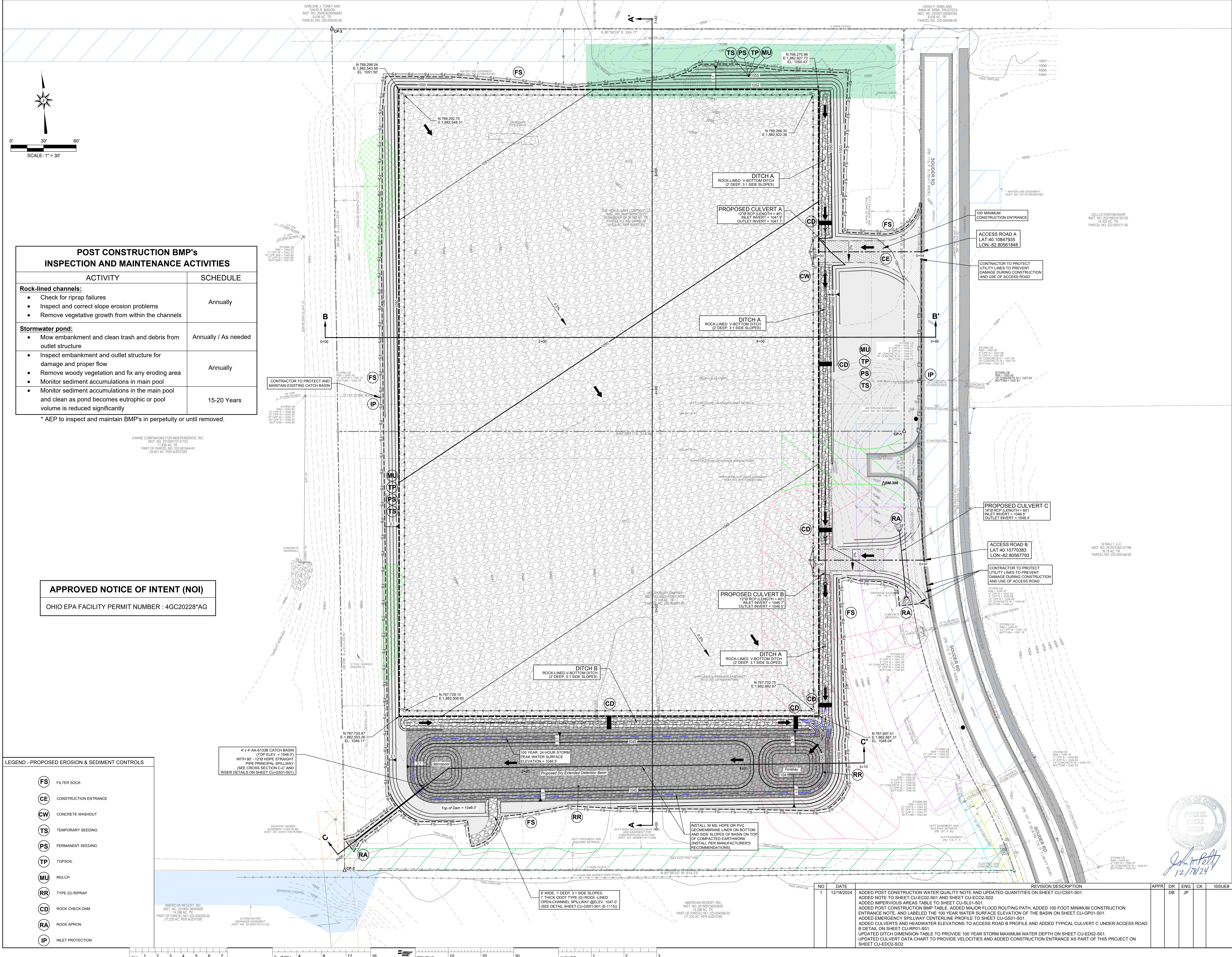
NO.	DATE	REVISION DESCRIPTION
1	12/18/2024	ADDED POST CONSTRUCTION WATER QUALITY NOTE AND UPDATED QUANTITIES ON SHEET CU-CS01-S01. ADDED NOTE TO SHEET CU-EC02-S01 AND SHEET CU-S01-S01. ADDED IMPERVIOUS AREAS TABLE TO SHEET CU-S01-S01. ADDED POST CONSTRUCTION BMP TABLE AND MAJOR FLOOD ROUTING PATH. ADDED 100 FOOT MINIMUM CONSTRUCTION ENTRANCE NOTE, AND LABELED THE 100 YEAR WATER SURFACE ELEVATION OF THE BASIN ON SHEET CU-GP01-S01. ADDED EMERGENCY SPILLWAY CENTERLINE PROFILE TO SHEET CU-GS01-S01. ADDED CULVERTS AND HEADWATER ELEVATIONS TO ACCESS ROAD B PROFILE AND ADDED TYPICAL CULVERT C UNDER ACCESS ROAD B DETAIL ON SHEET CU-RP01-S01. UPDATED DITCH DIMENSION TABLE TO PROVIDE 100 YEAR STORM MAXIMUM WATER DEPTH ON SHEET CU-ED02-S01. UPDATED CULVERT DATA CHART TO PROVIDE VELOCITIES AND ADDED CONSTRUCTION ENTRANCE AS PART OF THIS PROJECT ON SHEET CU-ED02-S02.



IMPERVIOUS AREAS WITHIN LIMITS OF DISTURBANCE (LOD)		
IMPERVIOUS FEATURE	AREA (S.F.)	AREA (AC.)
Station Pad	221,375	5.082
Ditch A	6,570	0.151
Ditch B	4,623	0.106
Detention Basin	24,996	0.574
Emergency Spillway	173	0.004
Access Road A	2,690	0.062
Access Road B	2,568	0.059
Total:	262,995	6.038

SURVEY CONTROL POINT DATA				
POINT NO.	DESCRIPTION	NORTHING	EASTING	ELEVATION
BM-300	1.12-INCH ALUMINUM MONUMENT IN CONCRETE (FOUND)	787953.37	1882961.68	1051.13
CP-1	IRON PIN WITH "CENTRAL SURV. CO. LTD" CAP (FOUND)	787952.09	1882963.94	N/A
CP-2	IRON PIN WITH "CENTRAL SURV. CO. LTD" CAP (FOUND)	787586.38	1882443.43	N/A
CP-3	13/16-INCH IRON PIPE WITH "EMT INC." CAP (FOUND)	788357.51	1882486.40	N/A

LEGEND - EXISTING FEATURES	
	SUBJECT PROPERTY
	PROPERTY LINE
	PROPERTY LINE PER COUNTY
	PARCEL LINE
	MINIMUM SETBACK LINE (AS NOTED)
	EDGE OF ROAD
	CONCRETE CURB
	EDGE OF GRAVEL / DRIVE
	FENCE
	1049 FT CONTOUR
	1050 FT CONTOUR
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POST CONSTRUCTION BMP's INSPECTION AND MAINTENANCE ACTIVITIES	
ACTIVITY	SCHEDULE
Rock-lined channels: <ul style="list-style-type: none">Check for riprap failuresInspect and correct slope erosion problemsRemove vegetative growth from within the channels	Annually
Stormwater pond: <ul style="list-style-type: none">Mow embankment and clean trash and debris from outlet structureInspect embankment and outlet structure for damage and proper flowRemove woody vegetation and fix any eroding areaMonitor sediment accumulations in main poolMonitor sediment accumulations in the main pool and clean as pond becomes eutrophic or pool volume is reduced significantly	Annually / As needed
	Annually
	15-20 Years

APPROVED NOTICE OF INTENT (NOI)
OHIO EPA FACILITY PERMIT NUMBER : 4GC20228*AG

LEGEND - PROPOSED EROSION & SEDIMENT CONTROLS	
FS	FILTER SOCK
CE	CONSTRUCTION ENTRANCE
CW	CONCRETE WASHOUT
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
TP	TOPSOIL
MU	MULCH
RR	TYPE (D) RIPRAP
CD	ROCK CHECK DAM
RA	ROCK APRON
IP	INLET PROTECTION

SURVEY CONTROL POINT DATA			
POINT NO.	DESCRIPTION	NORTHING	EASTING
BM-300	1-1/2-INCH ALUMINUM MONUMENT IN CONCRETE (FOUND)	767905.37	1862061.88
CP-1	IRON PIN WITH "CENTRAL SURV. CO. LTD" CAP (FOUND)	767962.05	1862863.94
CP-2	IRON PIN WITH "CENTRAL SURV. CO. LTD" CAP (FOUND)	767966.36	1862443.43
CP-3	1-3/16-INCH ID IRON PIPE WITH "EMT INC." CAP (FOUND)	768027.31	1862466.40

LEGEND - EXISTING FEATURES	
---	SUBJECT PROPERTY
---	PROPERTY LINE PER COUNTY
---	PARCEL LINE
---	MINIMUM SETBACK LINE (AS NOTED)
---	EDGE OF ROAD
---	CONCRETE CURB
---	EDGE OF GRAVEL / DRIVE
---	FENCE
---	1FT CONTOUR
---	5FT CONTOUR
---	UNDERGROUND ELECTRIC LINE
---	ELECTRIC VAULT (UNLESS OTHERWISE NOTED)
---	UNDERGROUND FIBEROPTIC LINE
---	FIBEROPTIC VAULT
---	FIBEROPTIC MARKER
---	UNDERGROUND PIPELINE
---	PIPELINE MARKER
---	UNDERGROUND WATER LINE
---	WATER VALVE
---	FIRE HYDRANT
---	UNDERGROUND SANITARY SEWER
---	SANITARY MANHOLE
---	UNDERGROUND STORM SEWER
---	STORM MANHOLE
---	CATCH BASIN
---	CORRUGATED PLASTIC PIPE
---	CULVERT
---	FLOW LINE ELEVATION
---	DRAINAGE CHANNEL / DITCH
---	EDGE OF WATER
---	TREE DRIPLINE
---	TREE
---	CONTROL POINT / BENCHMARK (AS NOTED)
---	13/16-INCH ID IRON PIPE WITH "EMT INC." CAP (FOUND)
---	IRON PIN WITH "CENTRAL SURV. CO. LTD" CAP (FOUND)
---	DELINEATED WETLAND
---	RIPRAP
---	GRAVEL
---	CONCRETE
---	ASPHALT
---	WATER LINE EASEMENT (INST. NO. 20110728003782)
---	APPROXIMATE ACCESS EASEMENT (INST. NO. 201702280027486)
---	APPROXIMATE DRAINAGE EASEMENT (INST. NO. 201702280027486)
---	10-FT EASEMENT (PB. 115, P. 7)
---	44-FT DRAINAGE EASEMENT (PB. 115, P. 7)
---	15-FT EASEMENT AND BUILDING SETBACK (PB. 107, P. 90)
---	SANITARY SEWER EASEMENT 0.005 ACRE (INST. NO. 201611160157860)
---	20-FT WIDE NON-EXCLUSIVE ROW AND EASEMENT FOR UNDERGROUND ELECTRIC (INST. NO. 200908110117068)
---	LANDSCAPING IN SETBACK FROM NORTHERN PROPERTY LINE: SEE SOUDER EAST RAI DISTRICT SUBAREA 4 ZONING TEXT ITEM H(4) DATED JULY 9, 2008.
---	STORM WATER DRAINAGE EASEMENT (INST. NO. 201509170131122)

LEGEND - PROPOSED FEATURES	
---	PROPOSED 1" CONTOUR
---	PROPOSED 5" CONTOUR
---	PROPOSED EDGE OF PAD
---	PROPOSED FENCE
---	PROPOSED CORNER POST / GATE POST
---	PROPOSED CENTERLINE OF ACCESS ROAD
---	PROPOSED EDGE OF ACCESS ROAD
---	PROPOSED ROCK-LINED DITCH
---	PROPOSED CONSTRUCTION LIMITS - 7.09 ACRES
---	PROPOSED CULVERT
---	PROPOSED SWINGING GATE
---	PROPOSED ROCK CHECK DAM
---	PROPOSED SLOPE INDICATOR
---	PROPOSED FILTER SOCK
---	PROPOSED CONSTRUCTION ENTRANCE AHEAD SIGN
---	MAJOR FLOOD ROUTING PATH
---	PROPOSED STATION PAD STONE
---	PROPOSED STONE ACCESS ROAD
---	PROPOSED ASPHALT ACCESS ROAD
---	PROPOSED SEEDING AREA
---	PROPOSED 30 MIL HDPE OR PVC GEOMEMBRANE LINER
---	PROPOSED ODOT TYPE (D) RIPRAP

- NOTES**
- 1) BEARINGS ARE ORIENTED TO THE STATE PLANE COORDINATE SYSTEM: OHIO SOUTH (3402), HORIZONTAL DATUM: NAD83 (2011), U.S. SURVEY FOOT; VERTICAL DATUM: NAVD83.
 - 2) UTILITIES LOCATED IN THE FIELD BY OBSERVED EVIDENCE COMBINED WITH SOURCE INFORMATION FROM PLANS AND MARKINGS (IF PROVIDED); HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE.
 - 3) DOCUMENTS USED: TAX MAPS, RECORDS AS NOTED, AND PLATS OF SURVEYS.
 - 4) SUBJECT PROPERTY IS LOCATED IN ZONE X AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN IN ACCORDANCE WITH THE FEMA FLOOD INSURANCE RATE MAP: FRANKLIN COUNTY, OHIO (AND INCORPORATED AREAS), PANEL 206 OF 465, MAP NUMBER: 39040C0206K, EFFECTIVE DATE: JUNE 17, 2008.
 - 5) THE APPROXIMATE LOCATION OF AN ACCESS EASEMENT AND DRAINAGE EASEMENT ARE DEPICTED AS SHOWN ON EXHIBITS A-1 AND A-2 OF INST. NO. 201702280027486.
 - 6) THE CITY OF NEW ALBANY HAS CONFIRMED THAT IN THE EVENT THE TWO PARCELS SHOWN AS THE "SUBJECT PROPERTY" COME UNDER COMMON OWNERSHIP OR CONTROL, THE MINIMUM SETBACKS SHALL NO LONGER APPLY TO THE COMMON PARCEL LINE AS NOTED AND SHOWN HEREON.
 - 7) EXISTING CONDITIONS SURVEY COMPLETED ON FEBRUARY 13, 2024.
 - 8) FILTER SOCK WILL BE PLACED AT THE ACTUAL CONSTRUCTION LIMITS AND IS SHOWN OFFSET ON THE PLANS FOR CLARITY ONLY.
 - 9) IF REGULATORY AGENCIES REQUIRE SILT FENCE INSTEAD OF FILTER SOCK, INSTALL PER STANDARD DETAILS.

BAIR
GOODIE

BAIR, GOODIE AND ASSOCIATES, INC.
453 NEW BROADWAY STREET
NEW PHILADELPHIA, OH 44663
TEL. 330.343.3469 FAX. 330.343.9505
WWW.BAIRGOODIE.COM

UNDERGROUND UTILITIES
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CALL BEFORE YOU DIG
Call 800-362-7264 (Toll Free)
OHIO UTILITIES PROTECTION SERVICE

OLD DWG #:
NEW ALBANY

STD DWG #:
SOUDE STATION

DATE: 09/11/2024

DATE: 12/18/24

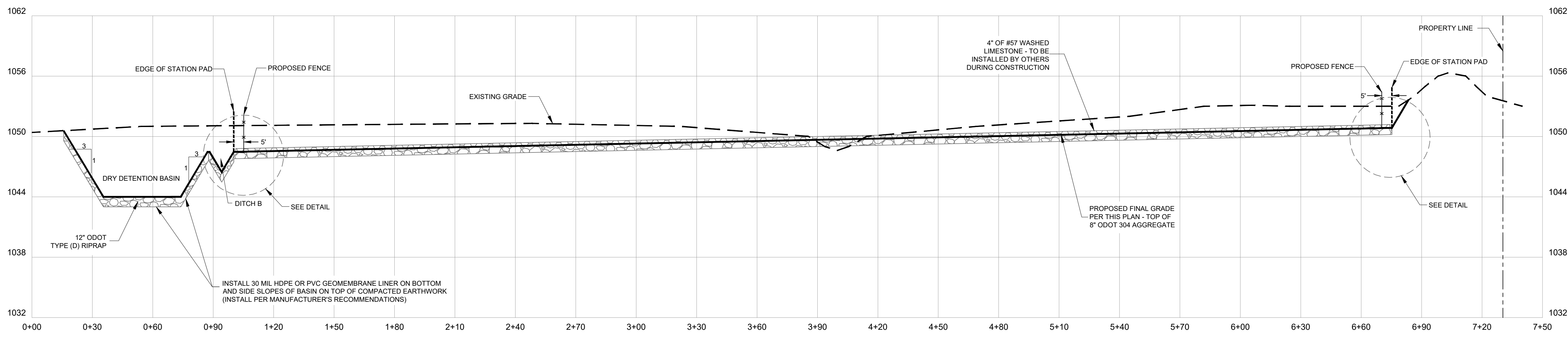
GRADING / EROSION & SEDIMENT CONTROL PLAN

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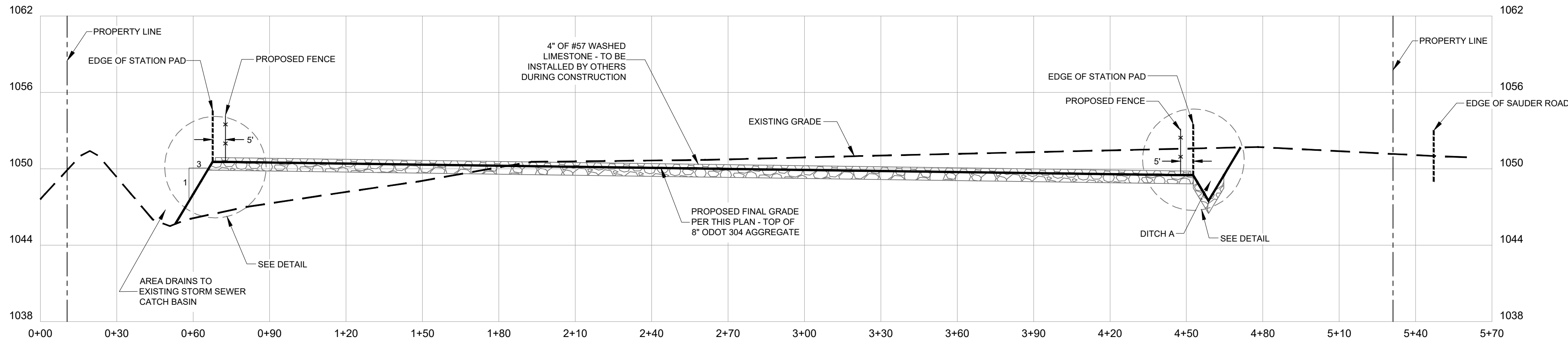
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WOF: T10593117002
1 RIVERSIDE PLAZA
COLUMBUS, OH 43215

ENG: JP/GA
APPD: JP/GA
DWG. NO.:
CU-GP01-S01

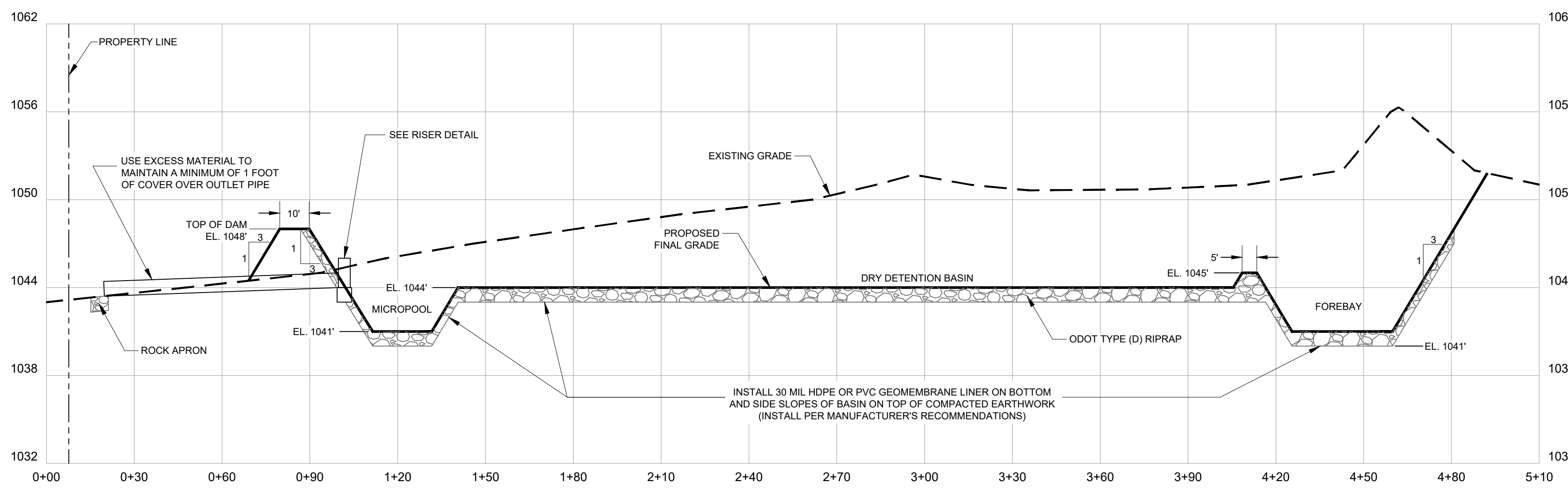
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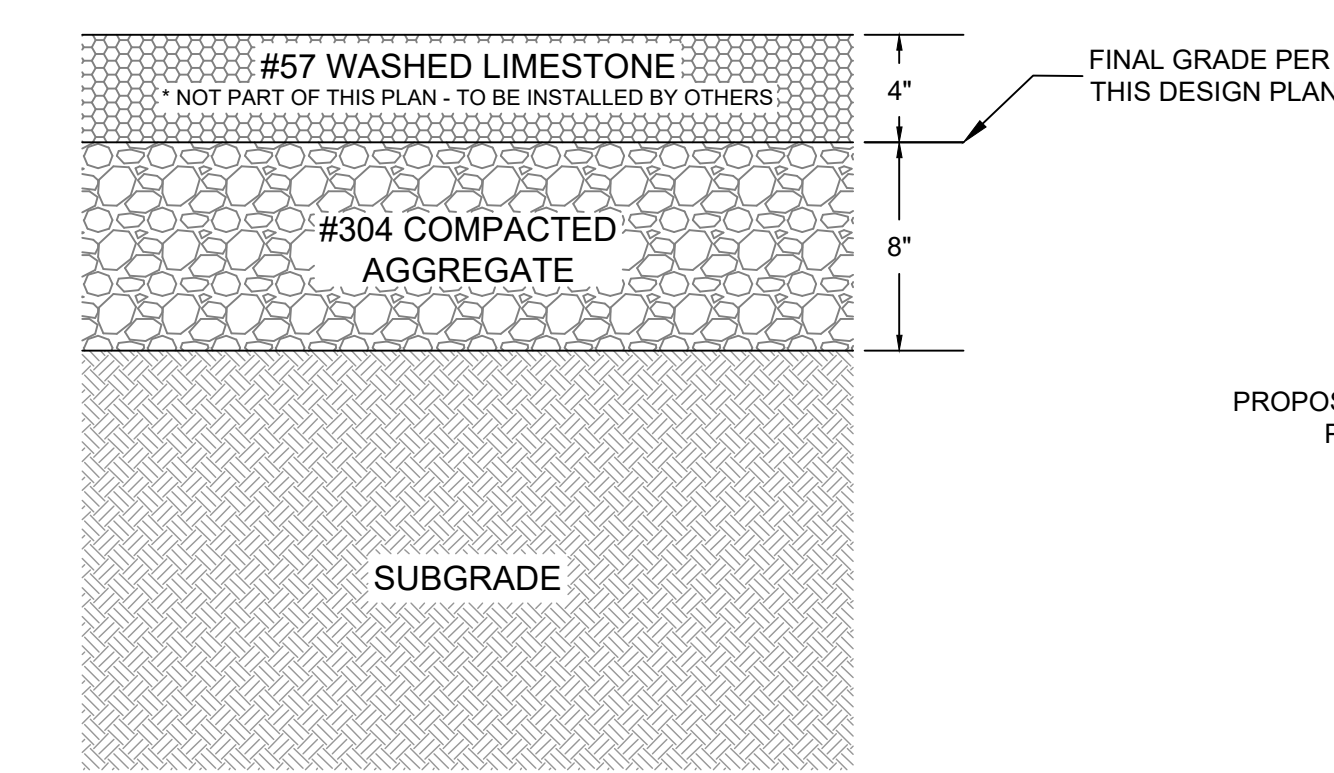
CROSS-SECTION A-A'
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 6'



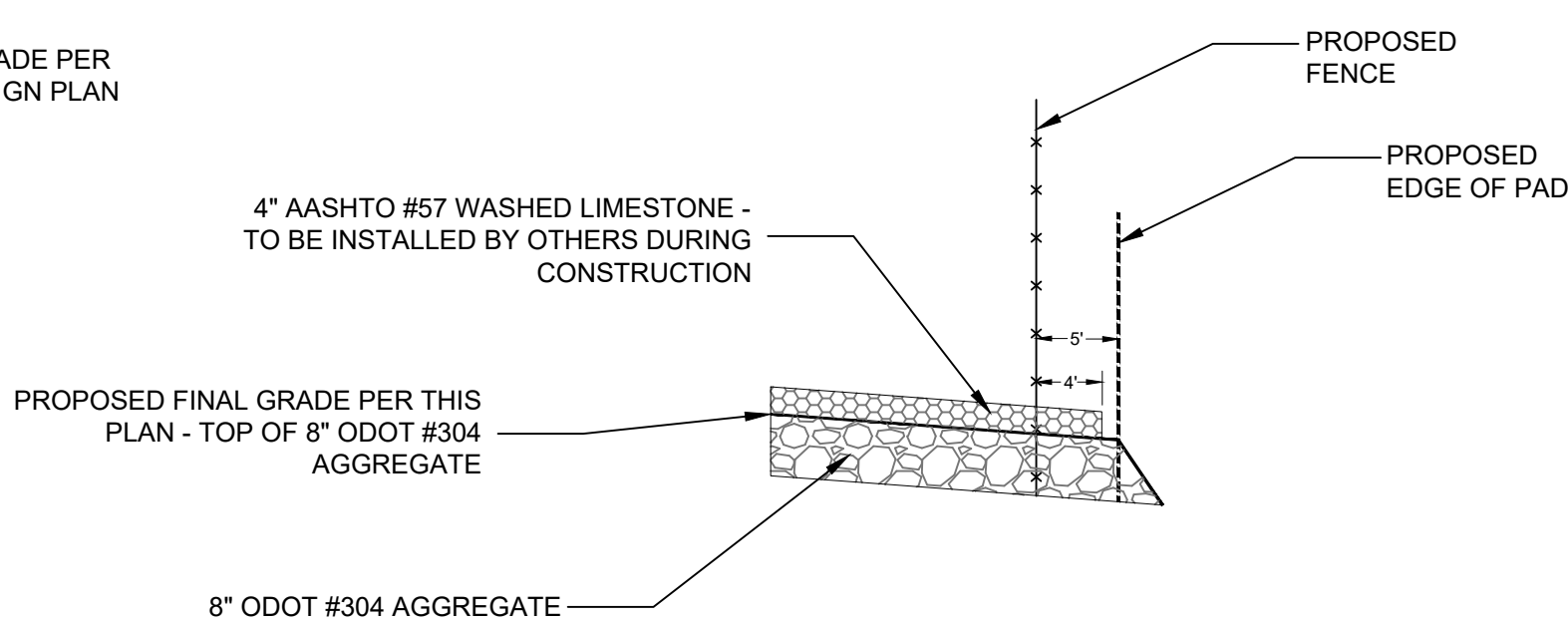
CROSS-SECTION B-B'
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 6'



CROSS-SECTION C-C'
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VERTICAL SCALE: 1" = 6'



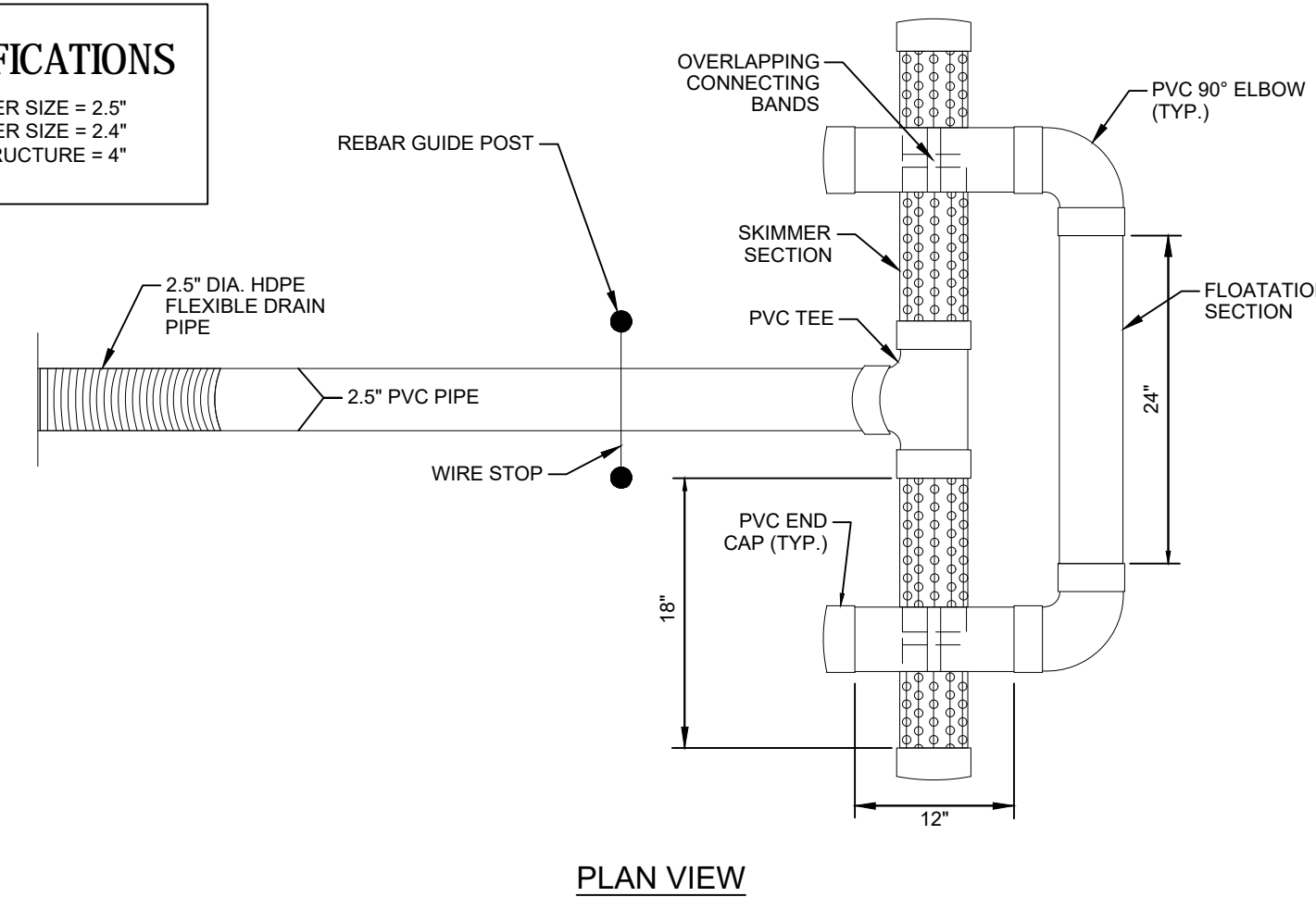
TYPICAL STATION PAD DETAIL
NOT TO SCALE



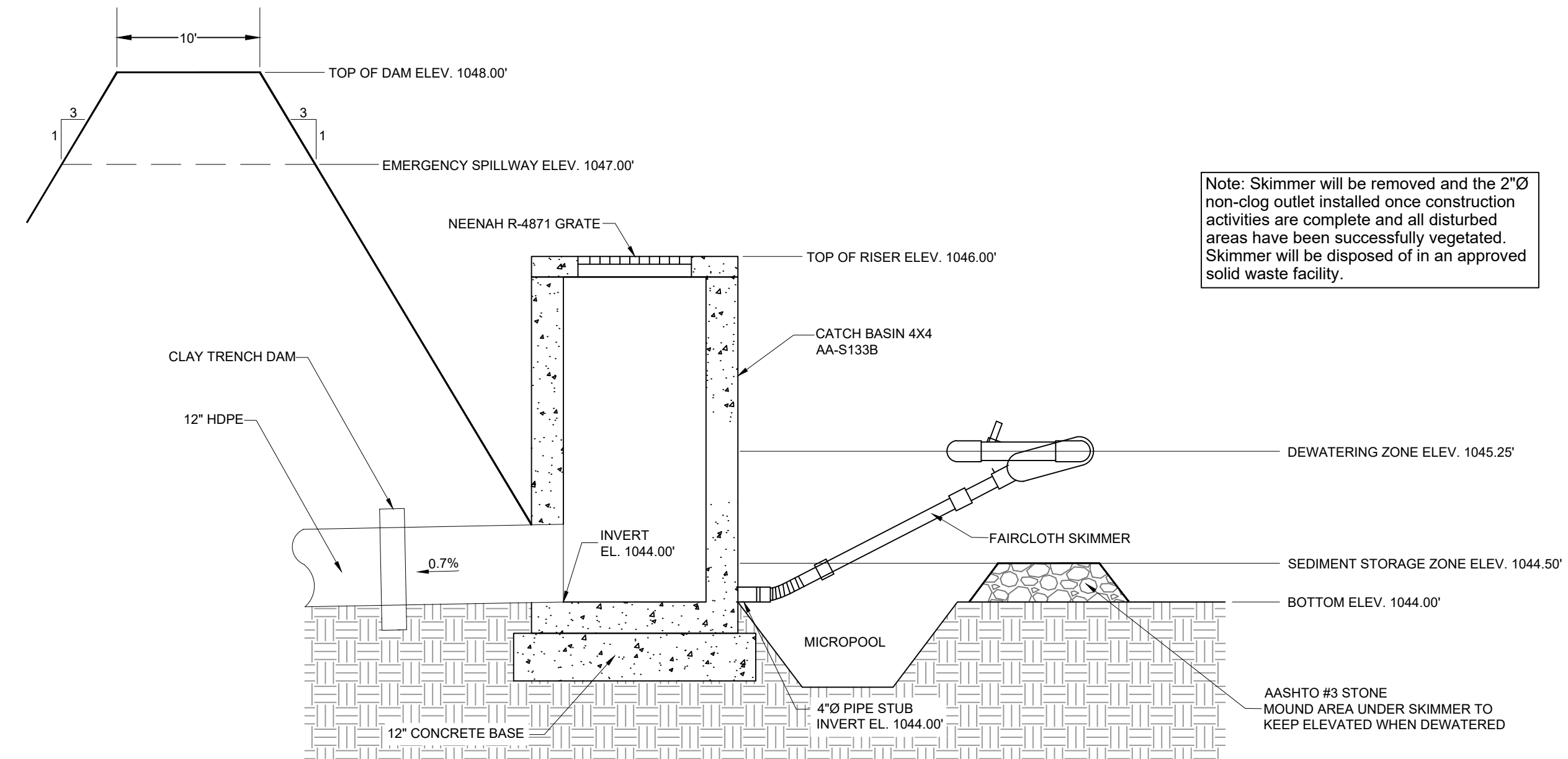
TYPICAL EDGE OF STATION PAD DETAIL
NOT TO SCALE

SKIMMER SPECIFICATIONS
FAIRCLOTH SKIMMER SIZE = 2.5"
ORIFICE DIAMETER SIZE = 2.4"
STUB SIZE ON OUTLET STRUCTURE = 4"

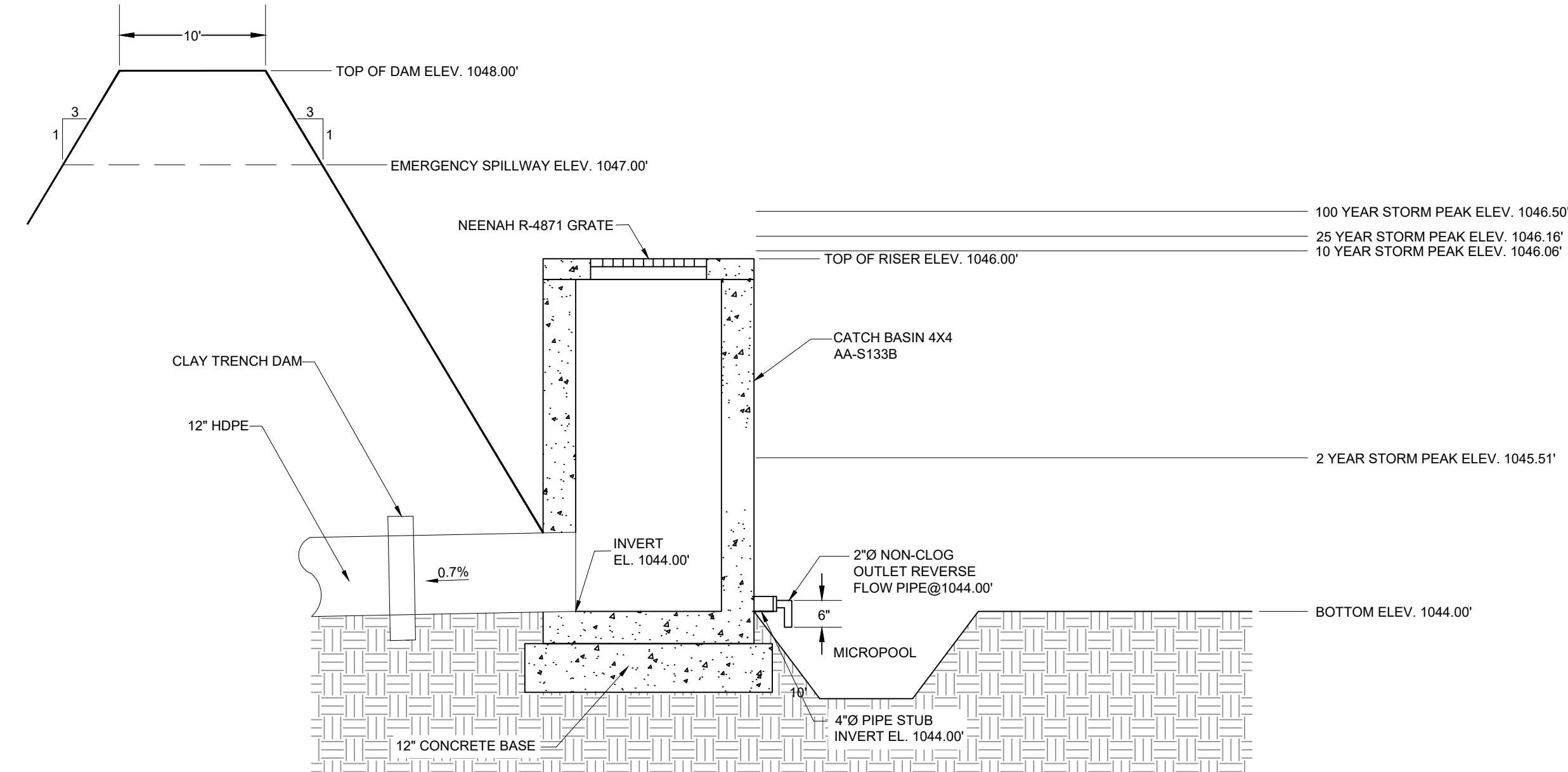
Note: If an alternative skimmer is to be used the Contractor is required to submit for review and approval to the Engineer shop drawings and supporting calculations which show the specified skimmer meets the required 48-hour drawdown time.



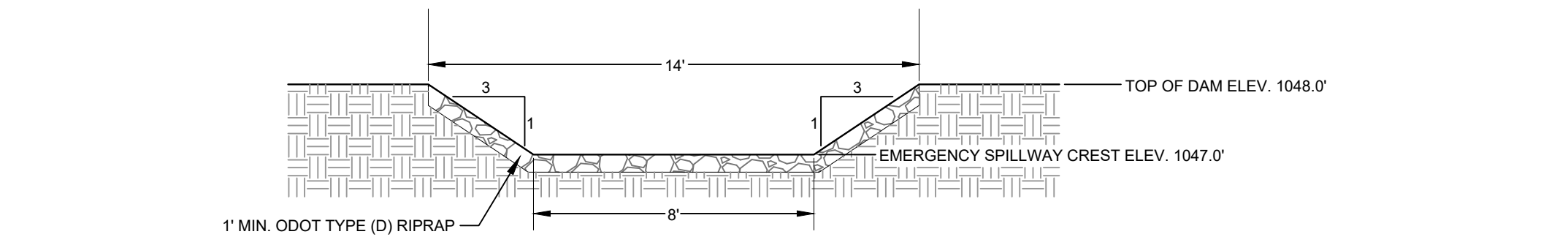
SKIMMER DETAIL
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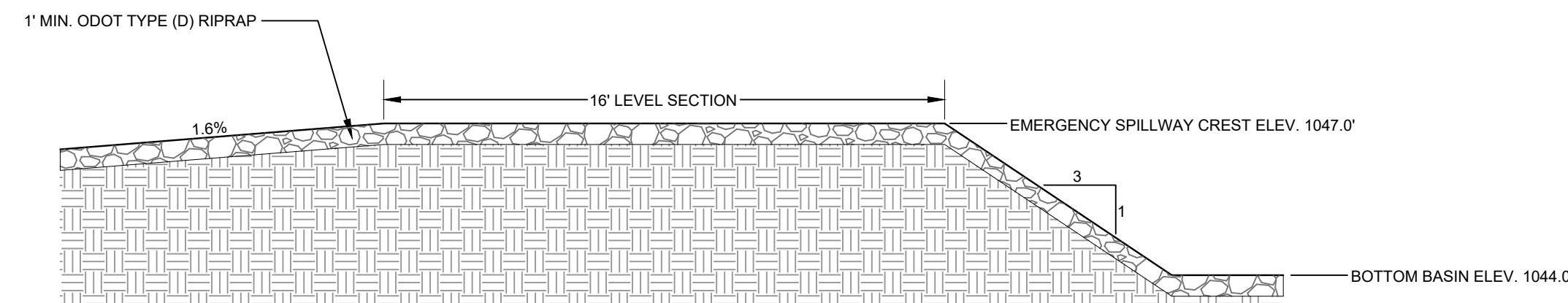
TEMPORARY SEDIMENT BASIN RISER DETAIL
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PERMANENT DRY DETENTION BASIN RISER DETAIL
NOT TO SCALE



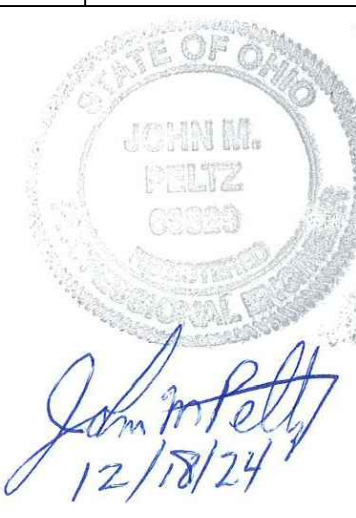
EMERGENCY SPILLWAY DETAIL
NOT TO SCALE



EMERGENCY SPILLWAY CENTERLINE PROFILE
NOT TO SCALE

DETENTION BASIN - TEMPORARY SEDIMENT CONTROL STRUCTURE SCHEDULE					
TRIBUTARY ACREAGE (AC)	DISTURBED ACREAGE (AC)	REQUIRED BASIN DEWATERING VOLUME (1800 C.F./AC) (AC-FT)	PROVIDED BASIN DEWATERING VOLUME (AC-FT)	REQUIRED SEDIMENT STORAGE VOLUME (1000 C.F./DISTURBED A.C.) (AC-FT)	PROVIDED SEDIMENT STORAGE VOLUME (AC-FT)
6.38	6.27	0.26	0.57	0.14	0.16

Sediment Basin Required Dewatering Volume Drawdown = 48 Hrs.
Sediment Basin Provided Dewatering Volume Drawdown > 48Hrs.



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OHIO UTILITIES PROTECTION SERVICE

OLD DWG #:
NEW ALBANY

STD DWG #:
DATE: 09/11/2024

AEP OHIO TRANSMISSION COMPANY, INC.
SOUDER STATION

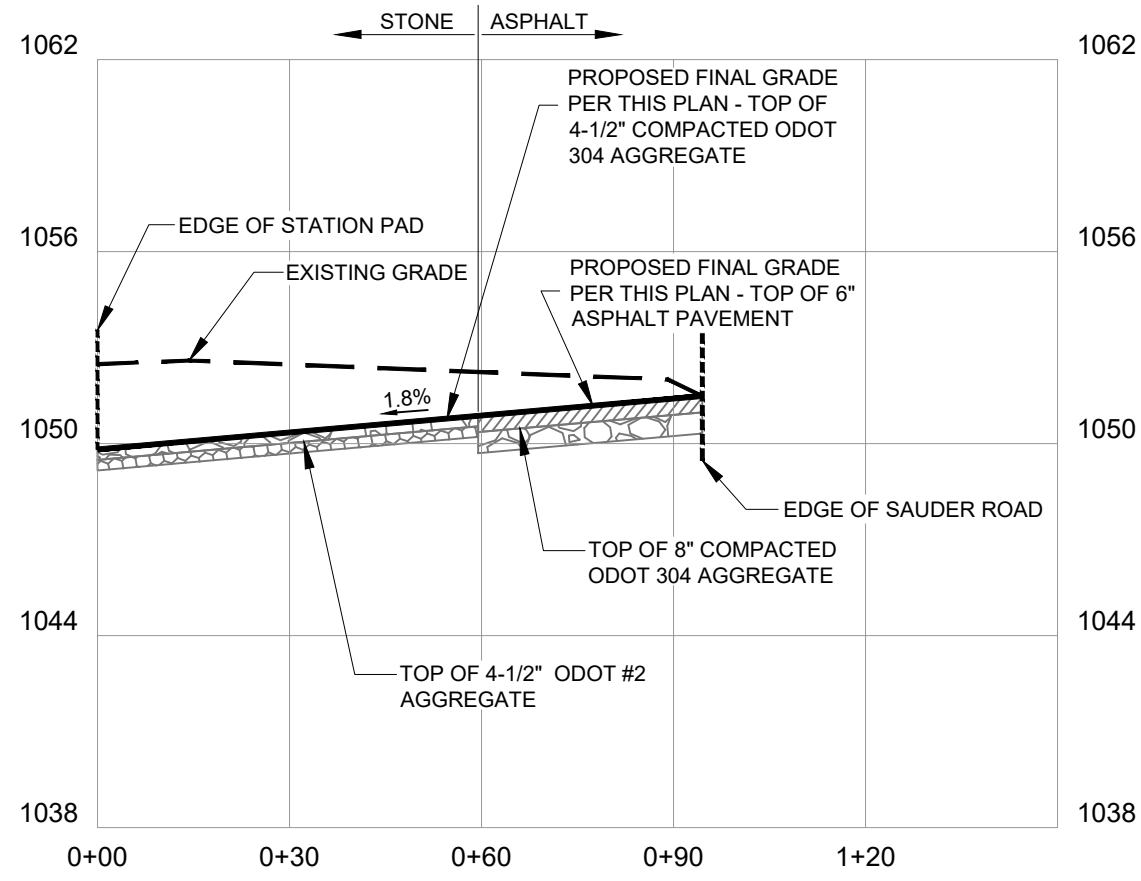
OHIO

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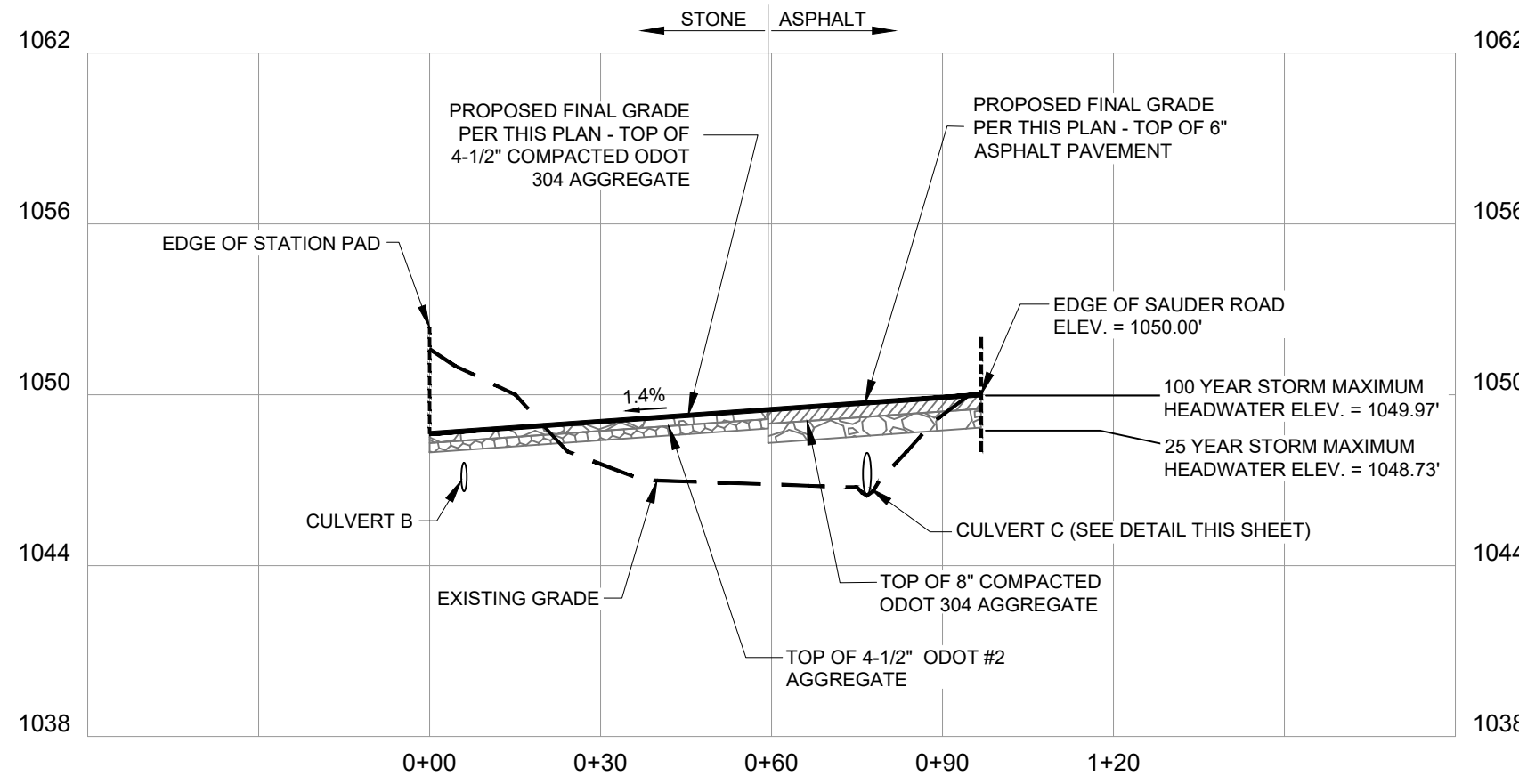
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WOF: T10593117002
1 RIVERSIDE PLAZA
COLUMBUS, OH 43215

ENG: JP/BGA
APPD: JP/BGA
DWG. NO.: CU-GS01-S01

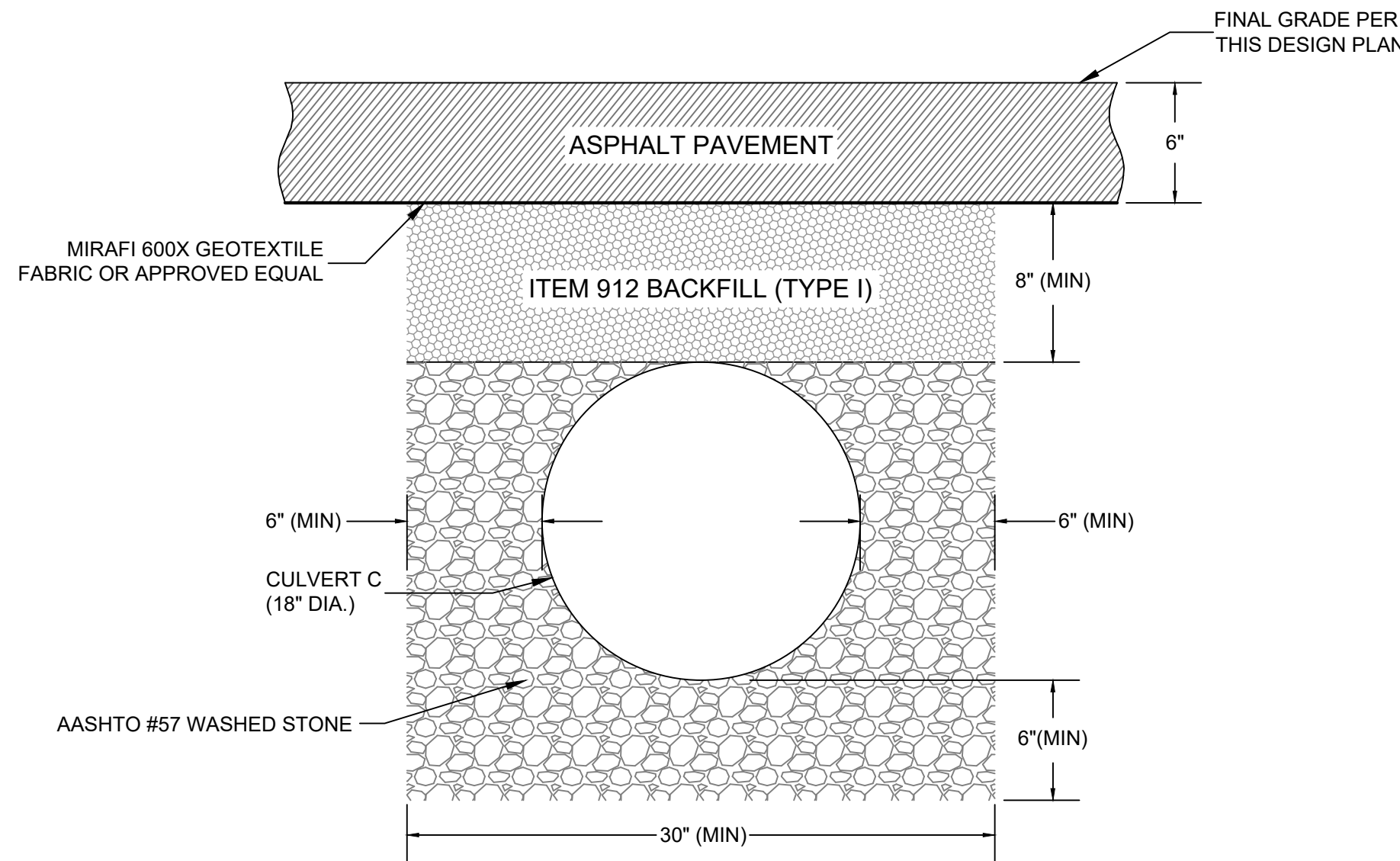
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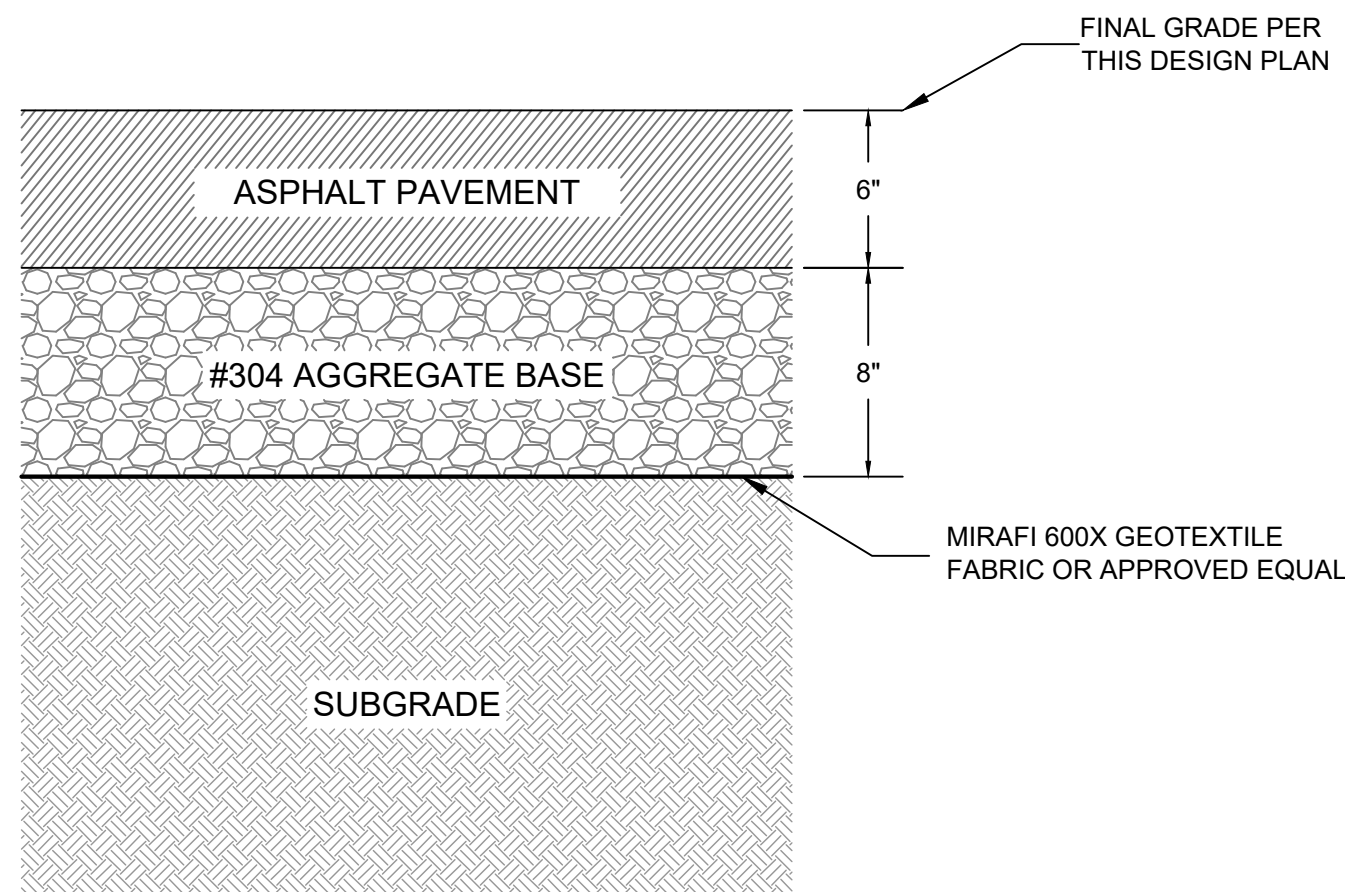
ACCESS ROAD A
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 6'



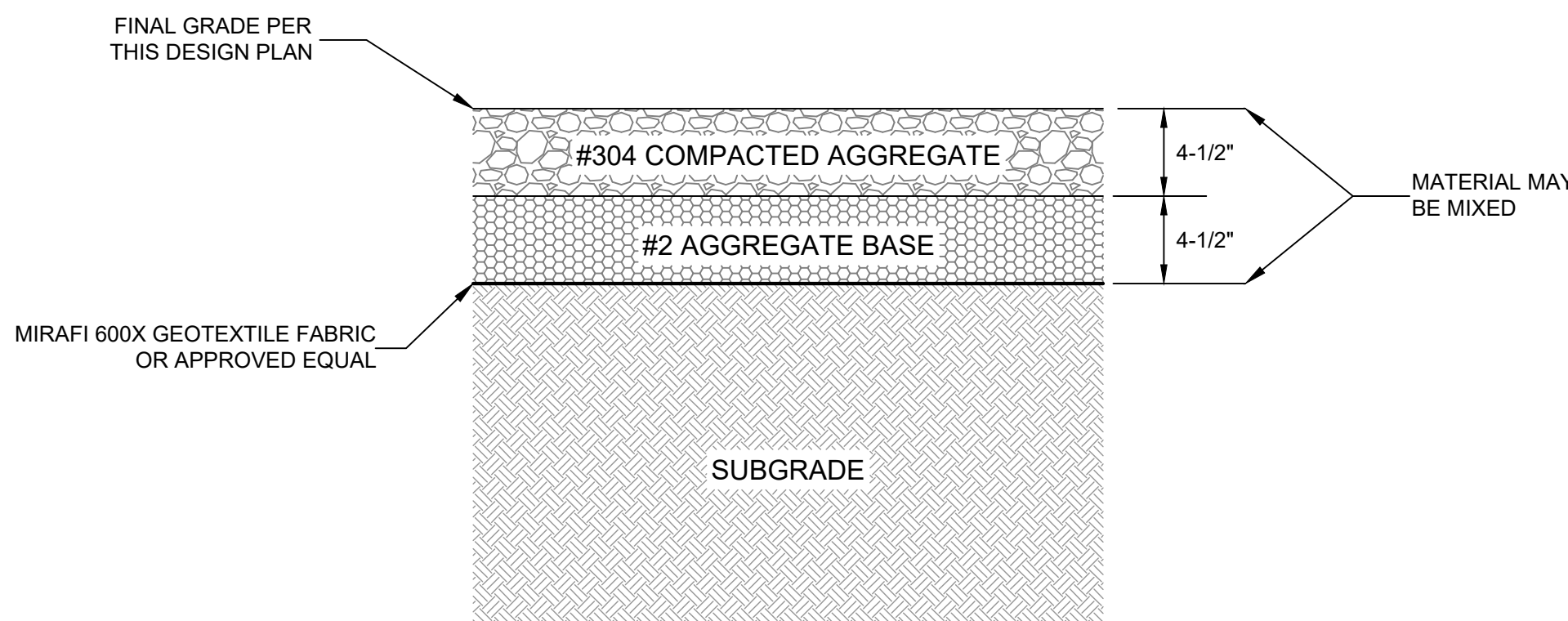
ACCESS ROAD B
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 6'



**TYPICAL CULVERT C UNDER
ACCESS ROAD DETAIL**
NOT TO SCALE



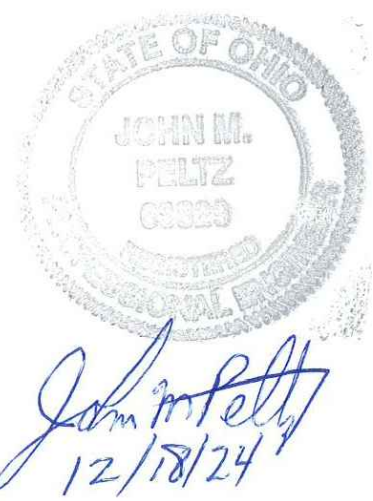
**TYPICAL ASPHALT
ACCESS ROAD DETAIL**
NOT TO SCALE



**TYPICAL STONE
ACCESS ROAD DETAIL**
NOT TO SCALE



NO	DATE	REVISION DESCRIPTION	APPR	DR	ENG	CK	ISSUE#
1	12/18/2024	ADDED POST CONSTRUCTION WATER QUALITY NOTE AND UPDATED QUANTITIES ON SHEET CU-CS01-S01. ADDED NOTE TO SHEET CU-EC02-S01 AND SHEET CU-EC02-S02. ADDED IMPERVIOUS AREAS TABLE TO SHEET CU-SL01-S01. ADDED POST CONSTRUCTION BMP TABLE. ADDED MAJOR FLOOD ROUTING PATH. ADDED 100 FOOT MINIMUM CONSTRUCTION ENTRANCE NOTE. AND LABELED THE 100 YEAR WATER SURFACE ELEVATION OF THE BASIN ON SHEET CU-GP01-S01. ADDED EMERGENCY SPILLWAY CENTERLINE PROFILE TO SHEET CU-GS01-S01. ADDED CULVERTS AND HEADWATER ELEVATIONS TO ACCESS ROAD B PROFILE AND ADDED TYPICAL CULVERT C UNDER ACCESS ROAD B DETAIL ON SHEET CU-RP01-S01. UPDATED DITCH DIMENSION TABLE TO PROVIDE 100 YEAR STORM MAXIMUM WATER DEPTH ON SHEET CU-ED02-S01. UPDATED CULVERT DATA CHART TO PROVIDE VELOCITIES AND ADDED CONSTRUCTION ENTRANCE AS PART OF THIS PROJECT ON SHEET CU-ED02-S02.		DB	JP		



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ACCESS ROAD PROFILES & DETAILS

SCALE: 1" = 30'

DR: DB/BGA

WOF: T10593117002

1 RIVERSIDE PLAZA
COLUMBUS, OH 43215

ENG: JP/BGA

APPD: JP/BGA

DWG. NO.: CU-RP01-S01

CH: JP/BGA

DATE: 09/11/2024

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1

ADDITIONAL BMP'S

OPEN BURNING

NO MATERIALS MAY BE BURNED WHICH CONTAIN RUBBER, GREASE, ASPHALT, OR PETROLEUM PRODUCTS SUCH AS TIRES, CARS, AUTO PARTS, PLASTICS OR PLASTIC COATED WIRE (SEE OAC 3745-9). OPEN BURNING IS NOT ALLOWED IN RESTRICTED AREAS. RESTRICTED AREAS ARE DEFINED AS:

1. WITHIN CORPORATION LIMITS.
2. WITHIN 1,000 FEET OF A MUNICIPAL CORPORATION.
3. WITHIN A ONE MILE ZONE OUTSIDE OF A CORPORATION OF 10,000 OR MORE.

OUTSIDE THE RESTRICTED AREA, NO OPEN BURNING CAN TAKE PLACE WITHIN 1,000 FEET OF AN INHABITED BUILDING LOCATED OFF THE PROPERTY WHERE THE FIRE IS SET. OPEN BURNING IS PERMISSIBLE IN A RESTRICTED AREA FOR THE FOLLOWING ACTIVITIES: HEATING TAR, WELDING AND ACETYLENE TORCHES, SMUDGE POTS AND SIMILAR OCCUPATIONAL NEEDS, AND HEATING OR WARMTH FOR OUTDOOR BARBECUES. OUTSIDE OF RESTRICTED AREAS, OPEN BURNING IS PERMISSIBLE FOR LANDSCAPE WASTES (PLANT MATERIAL, WITH PRIOR WRITTEN PERMISSION FROM OHIO EPA), AND AGRICULTURAL WASTES (MATERIAL GENERATED BY CROP, HORTICULTURAL, OR LIVESTOCK PRODUCTION PRACTICES).

DUST CONTROL / SUPPRESSANTS

DUST CONTROL IS REQUIRED TO PREVENT NUISANCE CONDITIONS. DUST CONTROLS MUST BE USED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND NOT BE APPLIED IN A MANNER WHICH WOULD RESULT IN A DISCHARGE TO WATERS OF THE STATE. ISOLATION DISTANCES FROM BRIDGES, CATCH BASINS, AND OTHER DRAINAGEWAYS MUST BE OBSERVED (EXCLUDING WATER) AND NOT OCCUR WHEN PRECIPITATION IS IMMINENT. AS NOTED IN THE SHORT TERM FORECAST, USE OF OIL MAY NOT BE APPLIED FOR DUST CONTROL. CHEMICAL STABILIZERS MAY ONLY BE USED WITH AEP PERMISSION.

AIR PERMITTING REQUIREMENTS

ALL CONTRACTORS AND SUB CONTRACTORS MUST BE MADE AWARE THAT CERTAIN ACTIVITIES ASSOCIATED WITH CONSTRUCTION WILL REQUIRE AIR PERMITS. ACTIVITIES INCLUDING BUT NOT LIMITED TO MOBILE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS, CONCRETE CRUSHERS, LARGE GENERATORS, ETC., WILL REQUIRE SPECIFIC OHIO EPA AIR PERMITS FOR INSTALLATION AND OPERATION. NOTIFICATION FOR RESTORATION AND DEMOLITION MUST BE SUBMITTED TO OHIO EPA FOR ALL COMMERCIAL SITES TO DETERMINE IF ASBESTOS CORRECTIVE ACTIONS ARE REQUIRED.

WASTE DISPOSAL

THE CONTRACTOR SHALL PROVIDE LITTER CONTROL AND COLLECTION OF MATERIALS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. ALL FERTILIZER, HYDROCARBON, OR OTHER CHEMICAL CONTAINERS SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH THE EPA'S STANDARD PRACTICES. NO SOLID MATERIAL INCLUDING BUILDING AND CONSTRUCTION MATERIAL SHALL BE DISPOSED OF, DISCHARGED OR BURIED ON-SITE.

OFFSITE VEHICLE TRACKING

LOADED HAUL TRUCKS SHALL BE COVERED WITH A TARP/BLANKET EXCESS DIRT MATERIAL ON THE ROADS SHALL BE REMOVED IMMEDIATELY. HAULING ON UNPAVED SURFACES SHALL BE MONITORED TO MINIMIZE DUST AND CONTROL EROSION. HAUL ROADS SHALL BE WATERED OR OTHER CONTROLS PROVIDED AS NECESSARY TO REDUCE DUST AND CONTROL SEDIMENTS.

SANITARY WASTE

THE CONTRACTOR SHALL PROVIDE PORTABLE SANITARY WASTE FACILITIES. THESE FACILITIES SHALL BE COLLECTED OR EMPTIED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE REGULATIONS.

FERTILIZERS AND PESTICIDES

FERTILIZERS SHALL BE APPLIED AT A RATE SPECIFIED BY THE SPECIFICATIONS OR THE MANUFACTURER. THE APPLICATION OF FERTILIZERS SHALL BE ACCOMPLISHED IN A MANNER AS DESCRIBED BY THE SPECIFICATION OR MANUFACTURER TO ENSURE THE PROPER INSTALLATION AND TO AVOID OVER FERTILIZING. PESTICIDES ARE NOT ANTICIPATED FOR THIS PROJECT.

ESTABLISH PROPER EQUIPMENT/VEHICLE FUELING AND MAINTENANCE PRACTICES

EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM THE WATERCOURSES, DITCHES, OR STORM DRAINS. IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS. SECONDARY CONTAINMENT SHALL BE PROVIDED FOR ALL FUEL OIL STORAGE TANKS. THESE AREAS MUST BE INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A 1/8 INCH OR GREATER RAIN EVENT TO ENSURE THERE ARE NO EXPOSED MATERIALS WHICH WOULD CONTAMINATE STORM WATER.

SPILL PREVENTION CONTROL PLAN

SITE OPERATORS MUST BE AWARE THAT SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) REQUIREMENTS APPLY. AN SPCC PLAN IS REQUIRED FOR SITES WITH ONE SINGLE ABOVE GROUND STORAGE TANK OF 1,320 GALLONS OR MORE, OR 42,000 GALLONS OF UNDERGROUND STORAGE. SITES THAT HAVE BEEN CONTAMINATED MUST BE DISPOSED OF IN ACCORDANCE WITH SECTION "CONTAMINATED SOILS" FOUND BELOW.

SPILLS ON PAVEMENT SHALL BE ABSORBED WITH SAWDUST, CAT LITTER OR OTHER ABSORBENT MATERIAL AND DISPOSED OF WITH THE TRASH AT A LICENSED SANITARY LANDFILL. HAZARDOUS OR INDUSTRIAL WASTES SUCH AS MOST SOLVENTS, GASOLINE, OIL-BASED PAINTS, AND CEMENT CURING COMPOUNDS REQUIRE SPECIAL HANDLING. SPILLS SHALL BE REPORTED TO THE OHIO EPA (1-800-368-6070). SPILLS OF 25 GALLONS OR MORE OF PETROLEUM PRODUCTS SHALL BE REPORTED TO THE OHIO EPA, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE DISCOVERY OF THE RELEASE. ALL SPILLS WHICH RESULT IN CONTACT WITH WATERS OF THE STATE MUST BE REPORTED TO OHIO EPA'S HOTLINE.

CONTAMINATED SOILS

IF SUBSTANCES SUCH AS OIL, DIESEL FUEL, HYDRAULIC FLUID, ANTIFREEZE, ETC., ARE SPILLED, LEAKED, OR RELEASED ONTO THE SOIL, THE SOIL SHOULD BE DUG UP AND DISPOSED OF AT A LICENSED SANITARY LANDFILL OR OTHER APPROVED PETROLEUM CONTAMINATED SOIL REMEDIATION FACILITY (NOT A CONSTRUCTION/DEMOLITION DEBRIS LANDFILL). PLEASE BE AWARE THAT STORM WATER RUN OFF ASSOCIATED WITH CONTAMINATED SOILS ARE NOT BEING AUTHORIZED UNDER OHIO EPA'S GENERAL STORMWATER PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITIES. IN THE EVENT THERE ARE LARGE EXTENSIVE AREAS OF CONTAMINATED SOILS, ADDITIONAL MEASURES ABOVE AND BEYOND THE CONDITIONS OF OHIO EPA'S GENERAL CONSTRUCTION STORMWATER PERMIT WILL BE REQUIRED. DEPENDING ON THE EXTENT OF CONTAMINATION, ADDITIONAL TREATMENT AND/OR CORRECTIVE DISPOSAL MAY BE REQUIRED. ALL STORMWATER DISCHARGES ASSOCIATED WITH CONTAMINATED SOILS MUST BE AUTHORIZED UNDER AN ALTERNATIVE NPDES PERMIT.

FILTER SOCK (FS)

DESCRIPTION

FILTER SOCKS ARE SEDIMENT-TRAPPING DEVICES USING COMPOST INSERTED INTO A FLEXIBLE, PERMEABLE TUBE WITH A PNEUMATIC BLOWER DEVICE OR EQUIVALENT. FILTER SOCKS TRAP SEDIMENT BY FILTERING WATER PASSING THROUGH THE BERM AND ALLOWING WATER TO POND, CREATING A SETTLING OF SOILS.

SPECIFICATIONS FOR FILTER SOCK

MATERIALS: COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY RESIDUE. CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF A PARTICLE RANGING FROM 3/8" TO 2".

2. FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HOPE 3/8" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.

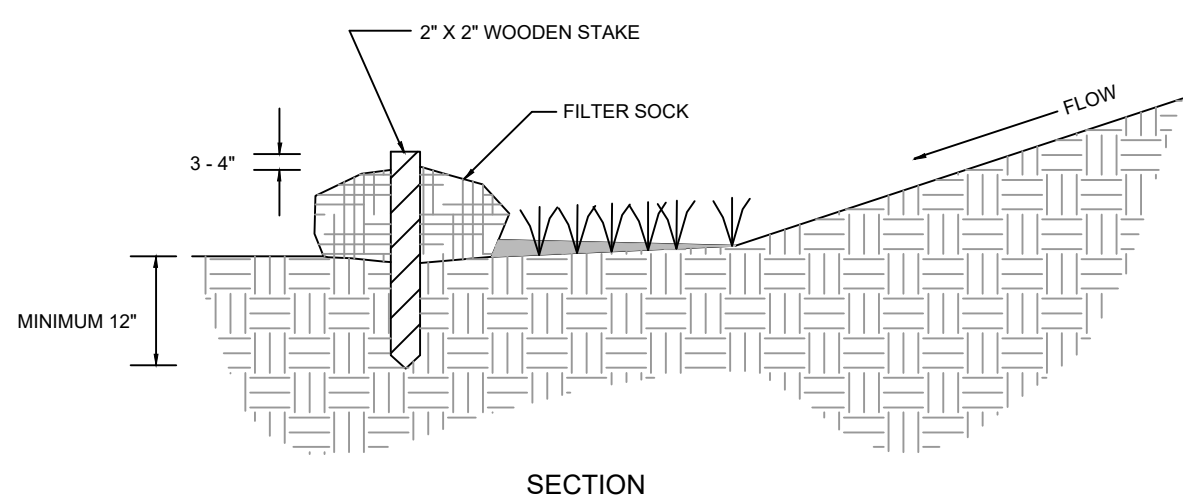
INSTALLATION:

3. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA, ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
4. FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
5. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF CHANNELS.

MAINTENANCE:

6. ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
7. REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE PRACTICE.
8. WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
9. REMOVAL - FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO FACILITATE AND NOT OBSTRUCT SEEDINGS.

NOTE: IF REGULATORY AGENCIES REQUIRE SALT FENCE INSTEAD OF FILTER SOCK, INSTALL PER STANDARD DETAILS.



TEMPORARY ROLLED EROSION CONTROL PRODUCTS (EROSION CONTROL MATTING) (EM)

DESCRIPTION

A TEMPORARY ROLLED EROSION CONTROL PRODUCT (RECP) IS A DEGRADABLE MANUFACTURED MATERIAL USED TO STABILIZE EASILY ERODED AREAS WHILE VEGETATION BECOMES ESTABLISHED. TEMPORARY ROLLED EROSION CONTROL PRODUCTS ARE DEGRADABLE PRODUCTS COMPOSED OF BIOLOGICALLY, PHOTO-CHEMICALLY OR OTHERWISE DEGRADABLE MATERIALS. TEMPORARY RECPs CONSIST OF EROSION CONTROL NETTING, OPEN WEAVE TEXTILES, AND EROSION CONTROL, BLANKETS AND MATTINGS. THESE PRODUCTS REDUCE SOIL EROSION AND ASSIST VEGETATIVE GROWTH BY PROVIDING TEMPORARY COVER FROM THE EROSION ACTION OF RAINFALL AND RUNOFF WHILE PROVIDING SOIL-SEED CONTACT.

SPECIFICATIONS FOR TEMPORARY ROLLED EROSION CONTROL PRODUCT

1. CHANNEL/SLOPE SOIL PREPARATION: GRADE AND COMPACT AREA OF INSTALLATION, PREPARING SEEDED BY COVERING 2" OF TOPSOIL ABOVE FINAL GRADE. INCORPORATE AMENDMENTS SUCH AS LIME AND FERTILIZER INTO SOIL, REMOVE ALL ROCKS, CLODS, VEGETATION OR OTHER DEBRIS SO THAT INSTALLED RECP WILL HAVE DIRECT CONTACT WITH THE SOIL SURFACE.

2. CHANNEL/SLOPE SEEDING: APPLY SEED TO SOIL SURFACE PRIOR TO INSTALLATION, ALL CHECK SLOTS, ANCHOR TRENCHES, AND OTHER DISTURBED AREAS MUST BE RESEED. REFER TO THE PERMANENT SEEDING SPECIFICATION FOR SEEDING RECOMMENDATIONS.

SLOPE INSTALLATION

3. EXCAVATE TOP AND BOTTOM TRENCHES (12"X6"). INTERMITTENT EROSION CHECK SLOTS (8"X6") MAY BE REQUIRED BASED ON SLOPE LENGTH. EXCAVATE TOP ANCHOR TRENCH 2'X2' OVER CREST OF THE SLOPE.

4. IF INTERMITTENT EROSION CHECK SLOTS ARE REQUIRED, INSTALL RECP IN 6"X6" SLOT AT A MAXIMUM OF 30' CENTERS ON THE MID POINT OF THE SLOPE. RECP SHOULD BE STAPLED INTO TRENCH ON 12' CENTERS.

5. INSTALL RECP IN TOP ANCHOR TRENCH, ANCHOR ON 12' SPACINGS, BACKFILL AND COMPACT SOIL.

6. UNROLL RECP DOWN SLOPE WITH ADJACENT ROLLS OVERLAPPING A MINIMUM OF 3". ANCHOR THE BEAM EVERY 18' UP THE RECP LOOSE TO MAINTAIN DIRECT SOIL CONTACT, DO NOT PULL TAUGHT.

7. OVERLAP ROLL ENDS A MINIMUM OF 12" WITH UP-SLOPE RECP ON TOP FOR A SINGLE EFFECT. BEGIN ALL NEW ROLLS IN AN INTERMITTENT CHECK SLOT IF REQUIRED. DOUBLE ANCHOR-ACROSS ROLL EVERY 12'.

8. INSTALL RECP IN BOTTOM ANCHOR TRENCH (12"X6"), ANCHOR EVERY 12'. PLACE ALL OTHER STAPLES THROUGH SLOPE AT 1 TO 2.5 PER SQUARE YARD DEPENDENT ON SLOPE. REFER TO MANUFACTURER'S ANCHOR GUIDE.

CHANNEL INSTALLATION

9. EXCAVATE INITIAL ANCHOR TRENCH (12"X6") ACROSS THE LOWER END OF THE PROJECT AREA.

10. EXCAVATE INTERMITTENT CHECK SLOTS (8"X6") ACROSS THE CHANNEL AT 30' INTERVALS ALONG THE CHANNEL.

11. EXCAVATE LONGITUDINAL CHANNEL ANCHOR SLOTS (4"X4") ALONG BOTH SIDES OF THE CHANNEL TO BURY THE EDGES. WHENEVER POSSIBLE EXTEND THE RECP 2'-3' ABOVE THE CREST OF CHANNEL SIDE SLOPES.

12. INSTALL RECP IN INITIAL ANCHOR TRENCH (DOWNSTREAM) ANCHOR EVERY 12', BACKFILL AND COMPACT SOIL.

13. ROLL OUT RECP BEGINNING IN THE CENTER OF THE CHANNEL TOWARD THE INTERMITTENT CHECK SLOT. DO NOT PULL TAUGHT. UNROLL ADJACENT ROLLS UPSTREAM WITH A 3" MINIMUM OVERLAP (ANCHOR EVERY 18') AND UP EACH CHANNEL SIDE SLOPE.

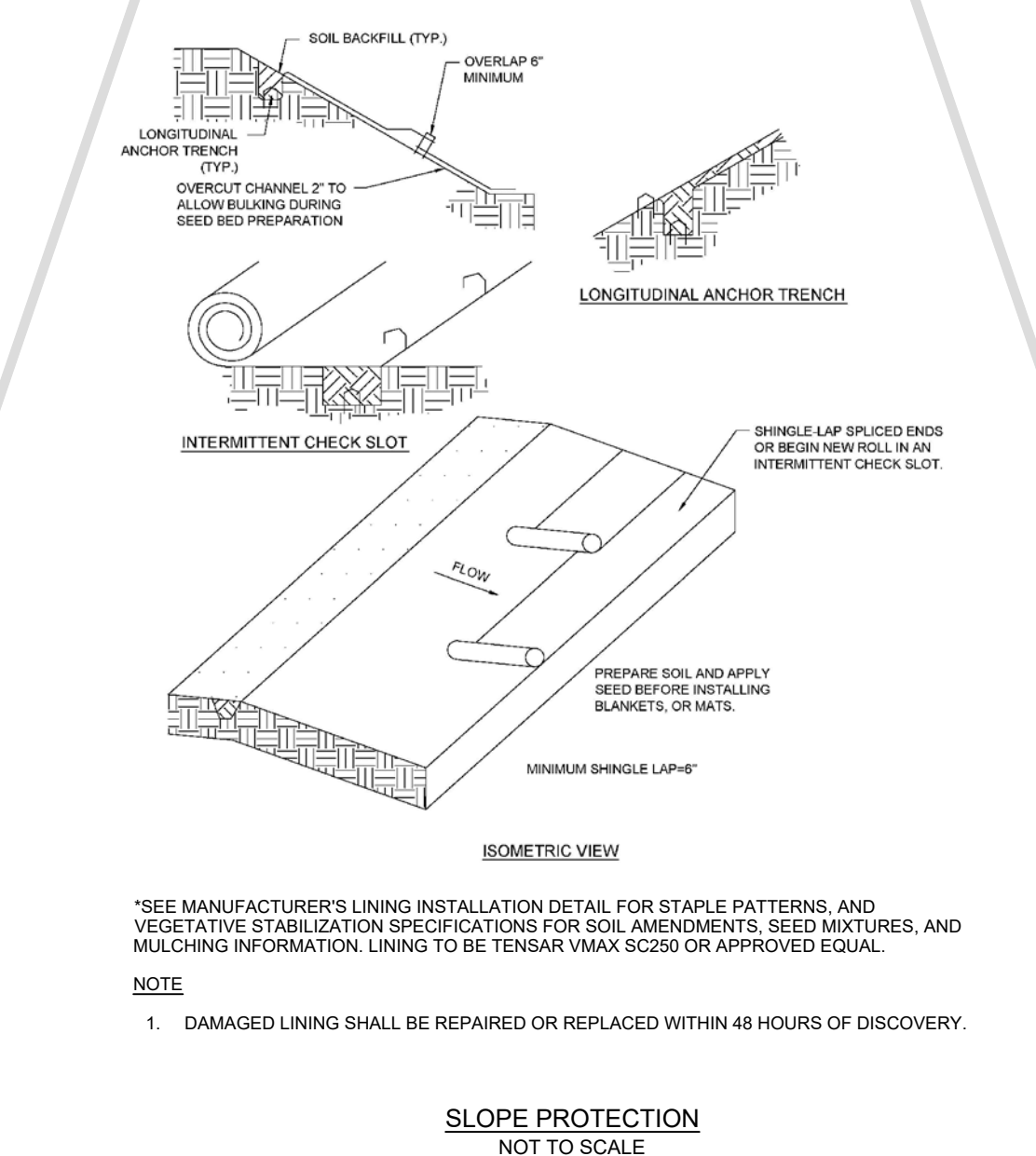
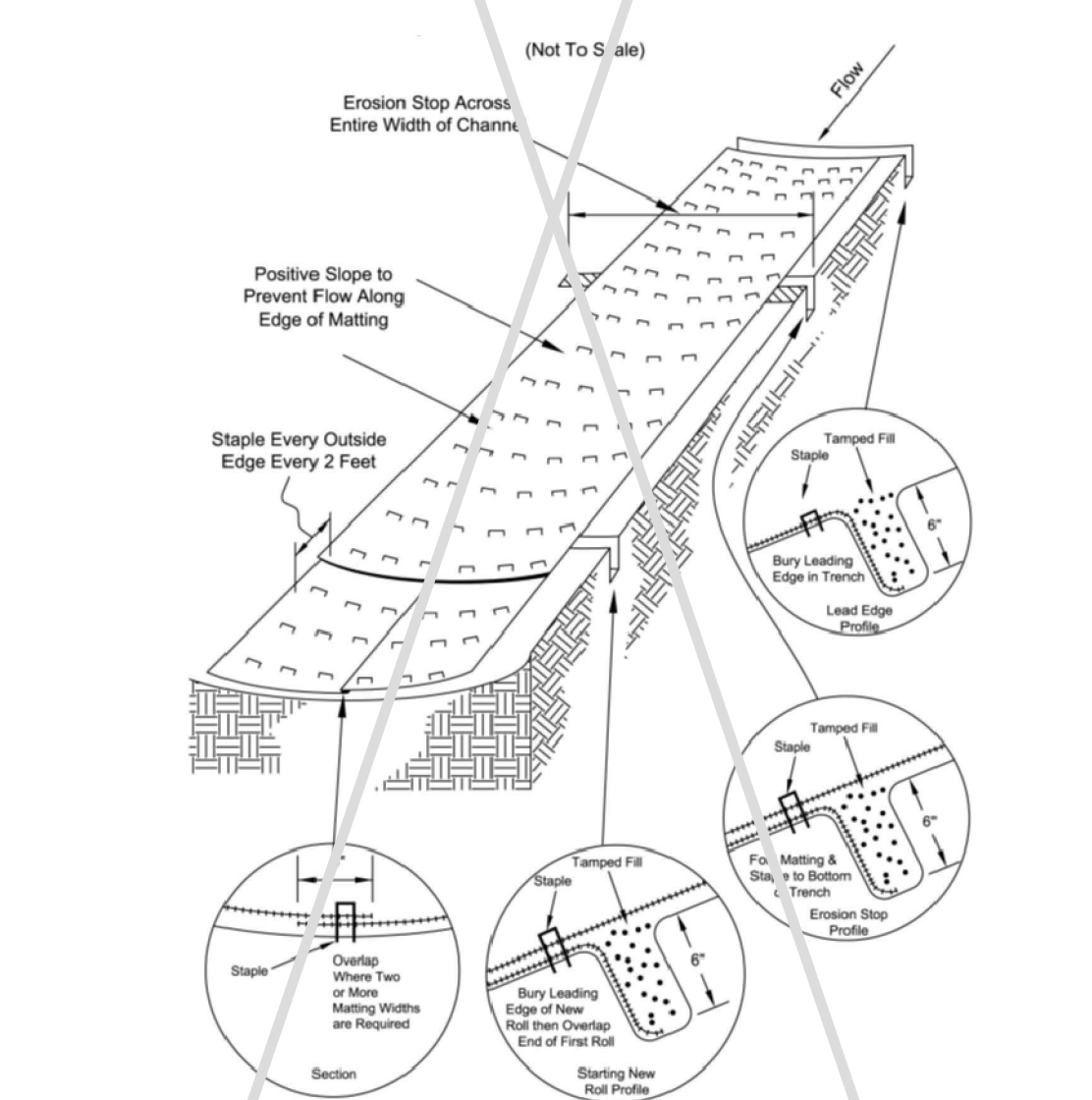
14. AT TOP OF CHANNEL SIDE SLOPES INSTALL RECP IN THE LONGITUDINAL ANCHOR SLOTS, ANCHOR EVERY 18'.

15. INSTALL RECP IN INTERMITTENT CHECK SLOTS. LAY INTO TRENCH AND SECURE WITH ANCHORS EVERY 12', BACKFILL WITH SOIL AND COMPACT.

16. OVERLAP ROLL ENDS A MINIMUM OF 12" WITH UPSTREAM RECP ON TOP FOR SINGLING EFFECT. BEGIN ALL NEW ROLLS IN AN INTERMITTENT CHECK SLOT, DOUBLE ANCHORED EVERY 12'.

17. INSTALL UPSTREAM END IN A TRENCH ANCHOR TRENCH (12"X6"), ANCHOR EVERY 12', BACKFILL AND COMPACT.

18. COMPLETE ANCHORING THROUGHOUT CHANNEL AT 2.5 PER SQUARE YARD USING SUITABLE GROUND ANCHORING DEVICES (SHAPED WIRE STAPLES, METAL GEOTEXTILE (U.S. PLASTIC STAPLES, AND TRIANGULAR WOODEN STAPLES). ANCHORS SHOULD BE OF SUFFICIENT LENGTH TO EASILY PULL OUT. LONGER ANCHORS MAY BE REQUIRED IN LOOSE SANDY OR CLAYEY SOILS.

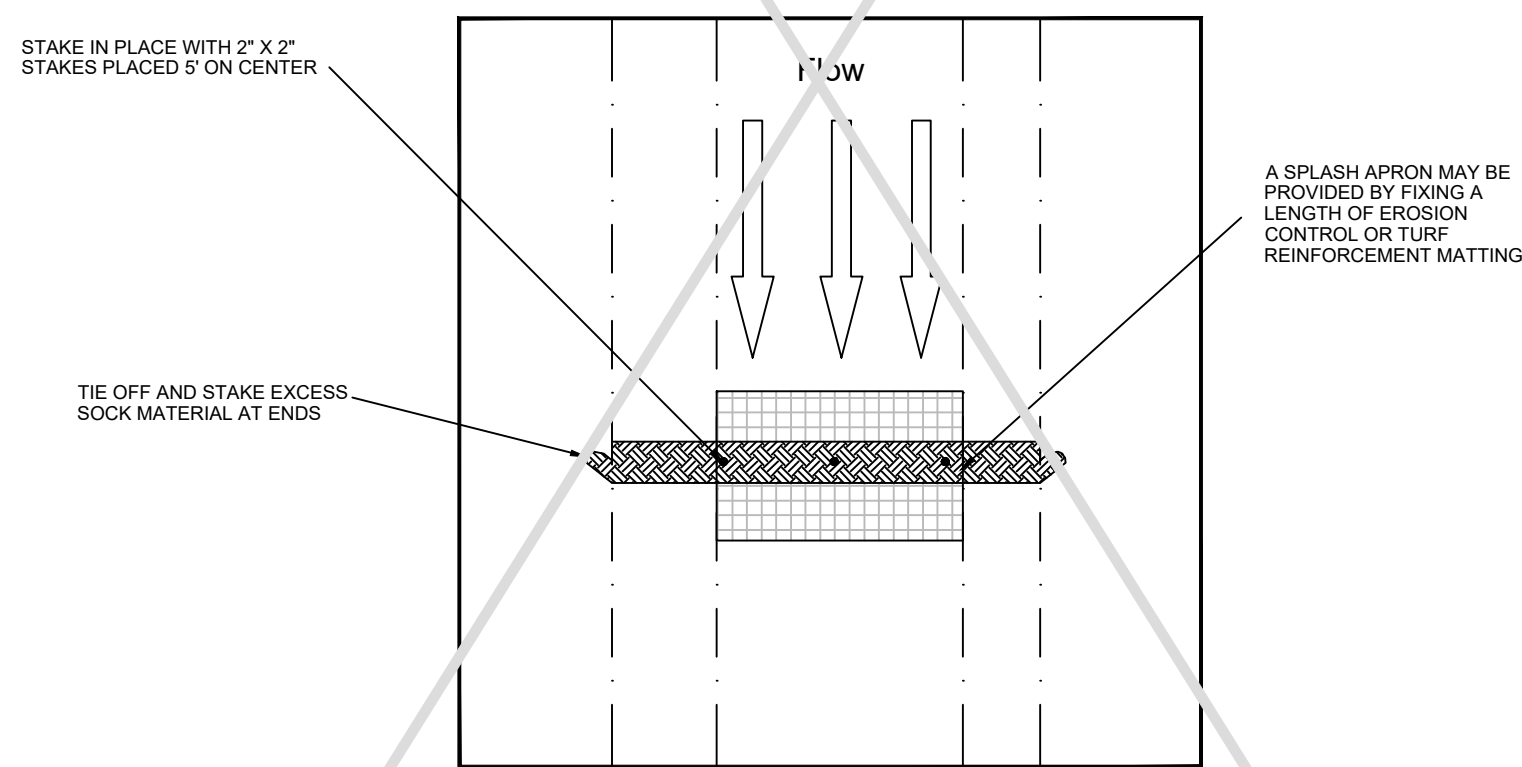


"SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, AND VEGETATIVE STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES, AND MULCHING INFORMATION. LINING TO BE TENSAR VMA5 SC250 OR APPROVED EQUAL.

1. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.

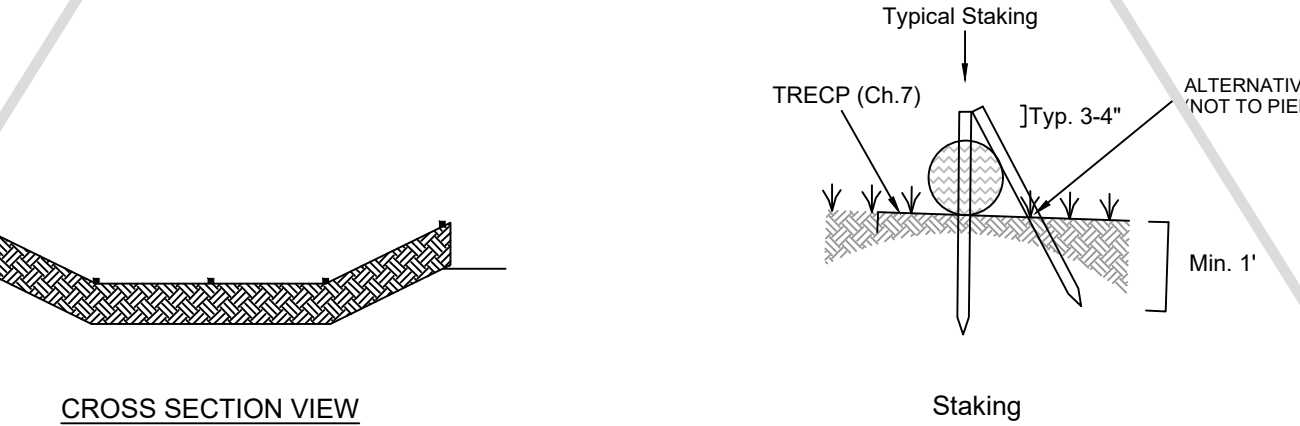
TYPICAL COMPOST SOCK CHECK DAM (CS)

1. COMPOST SOCK NETTING SHALL USE A KNITTED MESH FABRIC WITH 18 - 38 INCH OPENINGS, AND COMPOST MEDIA WITH PARTICLE SIZES 90% + 3 INCHES, AND 60% + 3/8 INCHES (CONFORMING TO MEDIA DESCRIBED IN CHAPTER 6 OF THE CONR RAINWATER AND LAND DEVELOPMENT MANUAL).
2. COMPOST SOCK CHECK DAMS SHALL BE USED IN AREAS THAT DRAIN 5 ACRES OR LESS.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SOCK WHEN IT REACHES 1/2 THE HEIGHT OF THE CHECK DAM.
4. COMPOST SOCK CHECK DAMS SHALL BE CONSTRUCTED WITH 12, 18, OR 24 INCH DIAMETER COMPOST SOCKS, AND SHALL COMPLETELY COVER THE WIDTH OF THE CHANNEL. THE MIDPOINT OF THE COMPOST SOCK CHECK DAM SHALL BE A MINIMUM OF 6 INCHES LOWER THAN THE SIDES IN ORDER TO DIRECT FLOW ACROSS THE CENTER AND AWAY FROM THE CHANNEL SIDES. FILTER SOCK CHECK DAMS SHALL BE FILLED TO A DENSITY SUCH THAT THEY SHALL REACH THEIR INTENDED HEIGHT (DIAMETER) AFTER INSTALLATION AND USE. THEY SHALL BE CONSIDERED UNSUITABLE AND IN NEED OF REPLACEMENT AFTER FALLING BELOW 80% OF THEIR MINIMUM REQUIRED HEIGHT (DIAMETER).
5. ALTHOUGH NO TRENCHING IS NECESSARY, COMPOST SOCK CHECK DAMS SHALL BE PLACED ON A GRADE, SURFACE WHERE CONSISTENT CONTACT WITH THE SOIL SURFACE IS MADE WITHOUT BIDDING/OVER GAPS, RILLS, GULLIES, STONES OR OTHER IRREGULARITIES.
6. PLACE COMPOST SOCK CHECK DAMS SO THAT THE ENDS EXTEND TO THE TOP OF BANK, STAKING FOR COMPOST SOCK CHECK DAMS SHALL USE 2 INCH X 2 INCH WOODEN STAKES, PLACED 5 FOOT ON CENTER. STAKE LENGTH SHALL ALLOW THEM TO BE DRIVEN 12 INCHES INTO EXISTING SOIL AND ALLOW AT LEAST 2 INCHES ABOVE THE SOCK.
7. SPACE COMPOST SOCK CHECK DAMS SO THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION OR LOWER (ELEVATION AS THE TOP OF THE DOWNSTREAM COMPOST SOCK CHECK DAM AT THE CENTER OF THE CHANNEL). THIS WILL BE INFLUENCED BY THE HEIGHT OF THE SOCK AND GRADIENT OF THE WATERWAY.
8. A SPLASH APRON MAY BE NEEDED WHERE FLOWS OVER THE SOCK MAY ERODE THE CHANNEL AND UNDERCUT THE COMPOST SOCK CHECK DAM. CREATE THE APRON BY DRAGGING A LENGTH OF TEMPORARY ROLLED EROSION CONTROL PRODUCT (RECP - EROSION CONTROL MATTING) OR TURF REINFORCEMENT MATTING STARTING UPSTREAM OF THE SOCK A DISTANCE EQUAL TO THE SOCK HEIGHT AND EXTENDING A LENGTH 10 TIMES THE HEIGHT OF THE COMPOST SOCK CHECK DAM. SEE CHAPTER 7 OF THE CONR RAINWATER AND LAND DEVELOPMENT MANUAL FOR INFORMATION REGARDING THESE MATERIALS. MATERIALS USED SHOULD BE ABLE TO BE LEFT IN PLACE (E.G. BIODEGRADABLE/PHOTODEGRADABLE TRIP) WITHOUT CREATING PROBLEMS FOR FUTURE MOVING OR MAINTENANCE OF THE CHANNEL.



PLAN VIEW

NOT TO SCALE

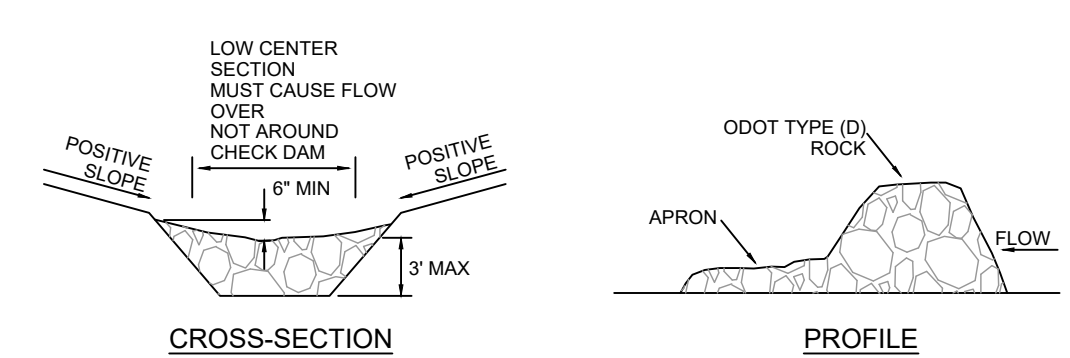


CROSS SECTION VIEW

NOT TO SCALE

TYPICAL ROCK CHECK DAM (CD)

1. THE CHECK DAM SHALL BE CONSTRUCTED OF 4-8 INCH DIAMETER STONE, PLACED SO THAT IT COMPLETELY COVERS THE WIDTH OF THE CHANNEL. ODOT TYPE (D) STONE IS ACCEPTABLE, BUT SHOULD BE UNDERLAIN WITH A GRAVEL FILTER CONSISTING OF ODOT NO. 10 OR 14 OR SUITABLE FILTER FABRIC.
2. MAXIMUM HEIGHT OF CHECK DAM SHALL NOT EXCEED 3.0 FEET.
3. THE MIDPOINT OF THE ROCK CHECK DAM SHALL BE A MINIMUM OF 6 INCHES LOWER THAN THE SIDES IN ORDER TO DIRECT FLOW ACROSS THE CENTER AND AWAY FROM THE CHANNEL SIDES.
4. THE BASE OF THE CHECK DAM SHALL BE ENTRENCHED APPROXIMATELY 6 INCHES.
5. SPACING OF CHECK DAMS SHALL BE IN A MANNER SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
6. A SPLASH APRON SHALL BE CONSTRUCTED WHERE CHECK DAMS ARE EXPECTED TO BE IN USE FOR AN EXTENDED PERIOD OF TIME. A STONE APRON SHALL BE CONSTRUCTED IMMEDIATELY DOWNSTREAM OF THE CHECK DAM TO PREVENT FLOWS FROM UNDERCUTTING THE STRUCTURE. THE APRON SHOULD BE 6 INCHES THICK AND ITS LENGTH TWO TIMES THE HEIGHT OF THE DAM.
7. STONE PLACEMENT SHALL BE PERFORMED EITHER BY HAND OR MECHANICALLY AS LONG AS THE CENTER OF CHECK DAM IS LOWER THAN THE SIDES AND EXTENDS ACROSS ENTIRE CHANNEL.
8. SIDE SLOPES SHALL BE A MINIMUM OF 2:1.



TYPICAL ROCK CHECK DAM

NOT TO SCALE

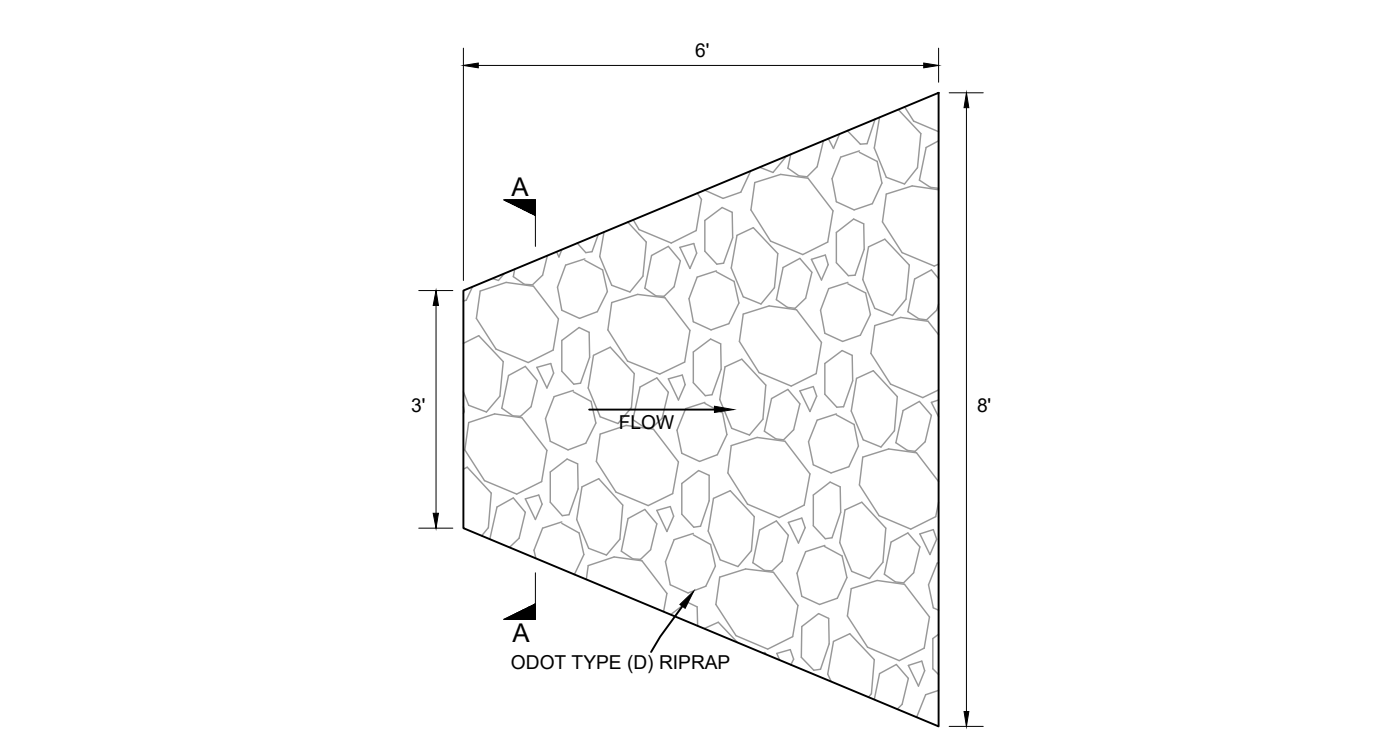
INLET PROTECTION (IP)

STORM DRAIN INLET PROTECTION DEVICES REMOVE SEDIMENT FROM STORM WATER BEFORE IT ENTERS STORM SEWERS AND UNDERGROUND AREAS. INLET PROTECTION DEVICES ARE SEDIMENT BARRIERS THAT MAY BE CONSTRUCTED OF WASHED GRAVEL, OR CRUSHED STONE, GEOTEXTILE FABRICS AND OTHER MATERIALS THAT ARE SUPPORTED AROUND OR ACROSS STORM DRAIN INLETS.

INLET PROTECTION IS INSTALLED TO CAPTURE SOME SEDIMENT AND REDUCE THE MAINTENANCE OF STORM SEWERS AND OTHER UNDERGROUND PIPING SYSTEMS PRIOR TO THE SITE BEING STABILIZED. DUE TO THEIR POORER EFFECTIVENESS, INLET PROTECTION IS CONSIDERED A SECONDARY SEDIMENT CONTROL. TO BE USED IN CONJUNCTION WITH OTHER MORE EFFECTIVE CONTROLS.

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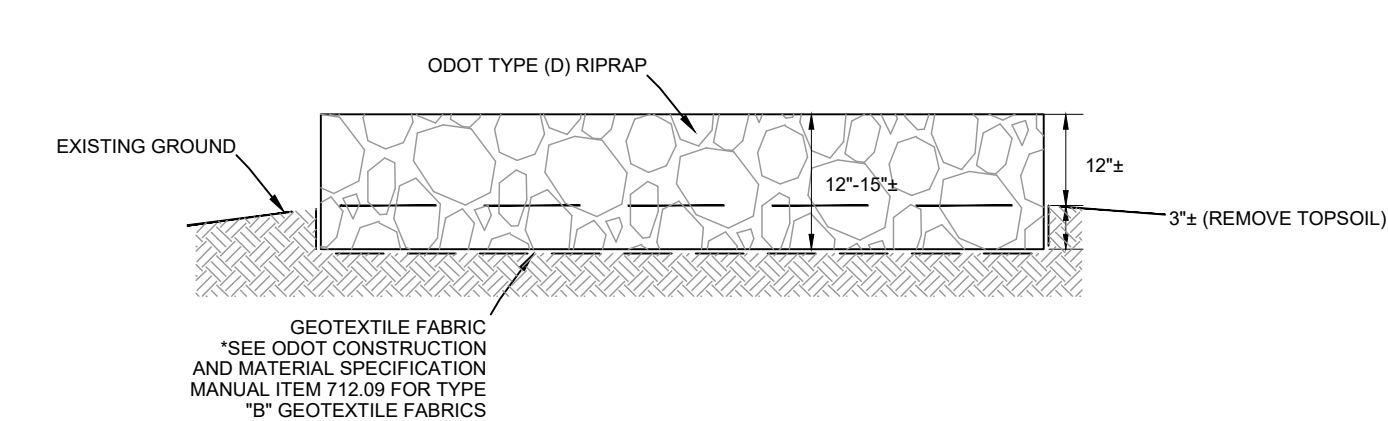
TYPICAL ENERGY DISSIPATING ROCK APRON (RA)



TYPICAL ENERGY DISSIPATING ROCK APRON

PLAN VIEW

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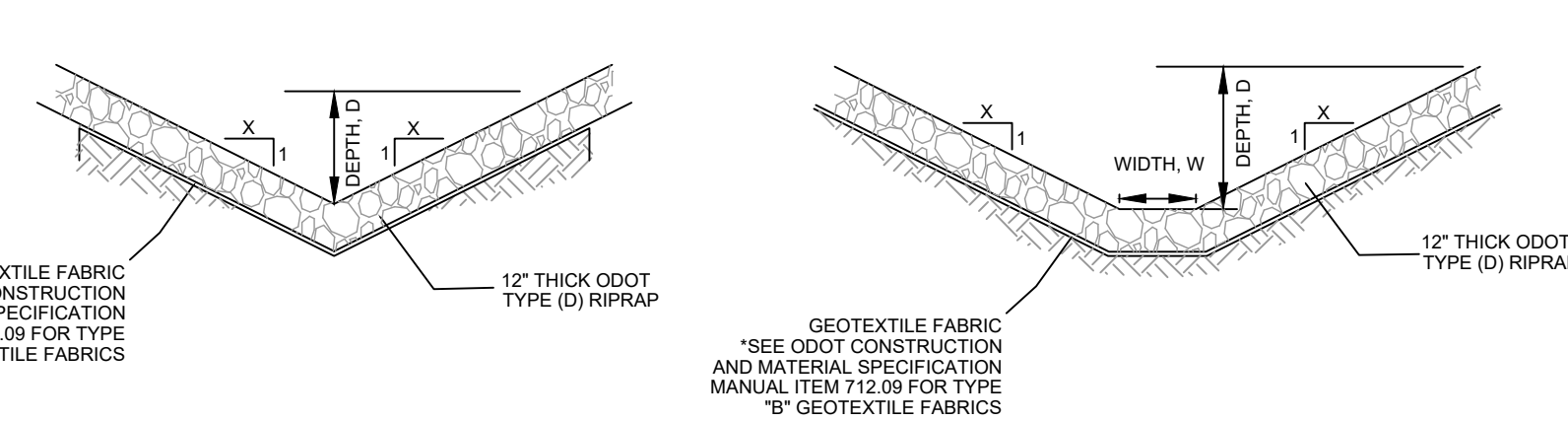


TYPICAL ENERGY DISSIPATING ROCK APRON

SECTION A-A

NOT TO SCALE

TYPICAL ROCK-LINED DITCH



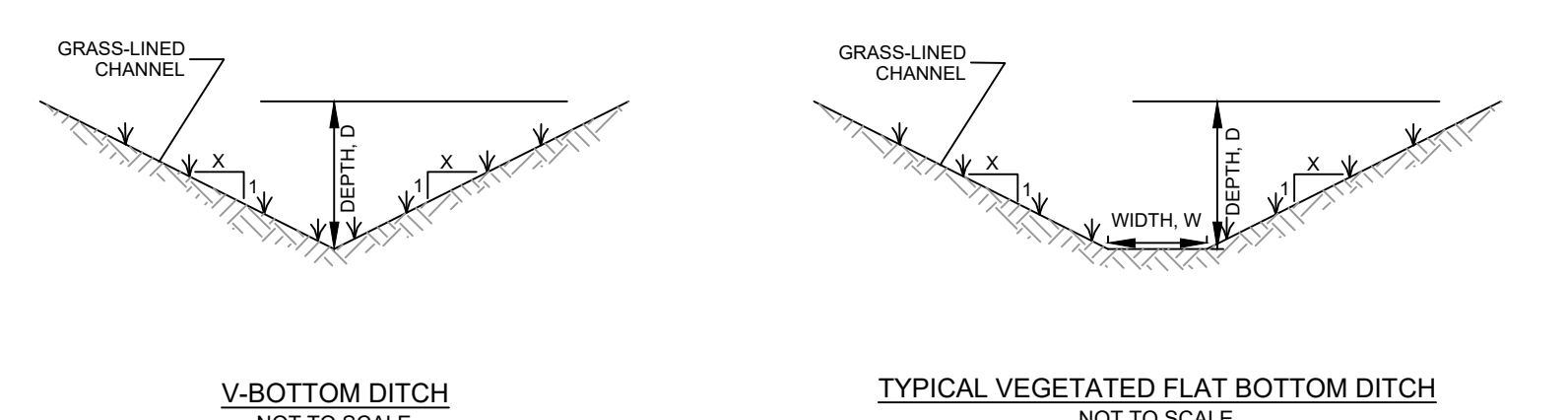
V-BOTTOM DITCH

NOT TO SCALE

FLAT BOTTOM DITCH

NOT TO SCALE

TYPICAL VEGETATED DITCH



V-BOTTOM DITCH

NOT TO SCALE

TYPICAL VEGETATED FLAT BOTTOM DITCH

NOT TO SCALE

DITCH DIMENSION TABLE

DITCH	SLOPE	MIN. DEPTH, D (ft.)	MIN. WIDTH, W (ft.)	MIN. SIDE SLOPES (H : V)	CHANNEL LINING	100 YEAR, 24 HOUR STORM MAXIMUM WATER DEPTH (ft.)
A	0.4%	2.0	0.0	3 : 1	ODOT TYPE (D) RIPRAP	1.25
B	0.3%	2.0	0.0	3 : 1	ODOT TYPE (D) RIPRAP	1.26

BAIR GOODIE	BAIR, GOODIE AND ASSOCIATES, INC. 433 NORTH BROADWAY STREET NEW PHILADELPHIA, OH 44663 TEL: 330.343.3499 FAX: 330.343.3505 WWW.BAIRGOODIE.COM	UNDERGROUND UTILITIES TWO WORKING DAYS CALL BEFORE YOU DIG Call 800-362-2754 (Toll Free) OHIO UTILITIES PROTECTION SERVICE
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OLD DWG #: STD DWG #:

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AEP OHIO TRANSMISSION COMPANY, INC.

NEW ALBANY, OHIO

EROSION & SEDIMENT CONTROL DETAILS - SHEET 1

SCALE AS NOTED	DR: DB/IGA	ENG: JPB/GA	CH: JPB/GA
WOF: T10593117002	APPR: JPB/GA	DATE: 09/11/2024	
1 RIVERSIDE PLAZA COLUMBUS, OH 43215	DWG. NO.: CU-ED02-S01	R/V: 1	

(E-117)

TEMPORARY SEEDING



DESCRIPTION

TEMPORARY SEEDINGS ESTABLISH TEMPORARY COVER ON DISTURBED AREAS BY PLANTING APPROPRIATE RAPIDLY GROWING ANNUAL GRASSES OR SMALL GRASSES. TEMPORARY SEEDING PROVIDES EROSION CONTROL ON AREAS BETWEEN CONSTRUCTION OPERATIONS. GRASSES, WHICH ARE QUICK GROWING, ARE SEEDING AND USUALLY MULCHED TO PROVIDE PROMPT, TEMPORARY SOIL STABILIZATION. IT EFFECTIVELY MINIMIZES THE AREA OF A CONSTRUCTION SITE PRONE TO EROSION AND SHOULD BE USED EVERYWHERE THE SEQUENCE OF CONSTRUCTION OPERATIONS ALLOWS VEGETATION TO BE ESTABLISHED.

SPECIFICATIONS FOR TEMPORARY SEEDING		
LBS / AC	BOTANICAL NAME	COMMON NAME
32	AVENA SATIVA	SEED OATS
10	LULIUM MULTIFLORUM	ANNUAL RYEGRASS

- STRUCTURAL, EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR GREATER. THESE IDLE AREAS SHALL BE SEEDING WITHIN 7 DAYS AFTER GRADING.
- THE SEEDING SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY SEEDING SHOULD NOT BE POSTPONED IF IDEAL SEEDING PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS-TEMPORARY VEGETATION SEEDING RATES SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION, WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. BASE RATES FOR LIME AND FERTILIZER SHALL BE USED.
- SEEDING METHOD-SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SPREADER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR BRACING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH, WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDING MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE, VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS:
 - STRAW-IF STRAW IS USED, IT SHALL BE UNRITTED SMALL-GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 LBS/1,000-SQ. FT. (24 BALES)
 - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LBS./AC OR 496 LB./1,000-SQ.-FT.
 - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 1 TON/AC.
- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS:
 - MECHANICAL-A DISK, CRUMPER, OR SIMILAR TYPE TOOL, SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT LEFT TO A LENGTH OF APPROXIMATELY 8 INCHES.
 - MULCH NETTING-NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
 - SYNTHETIC BINDERS-SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TRACK OR EQUIVALENT MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 - WOOD-CELLULOSE FIBER-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WT. 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL.

DUST CONTROL



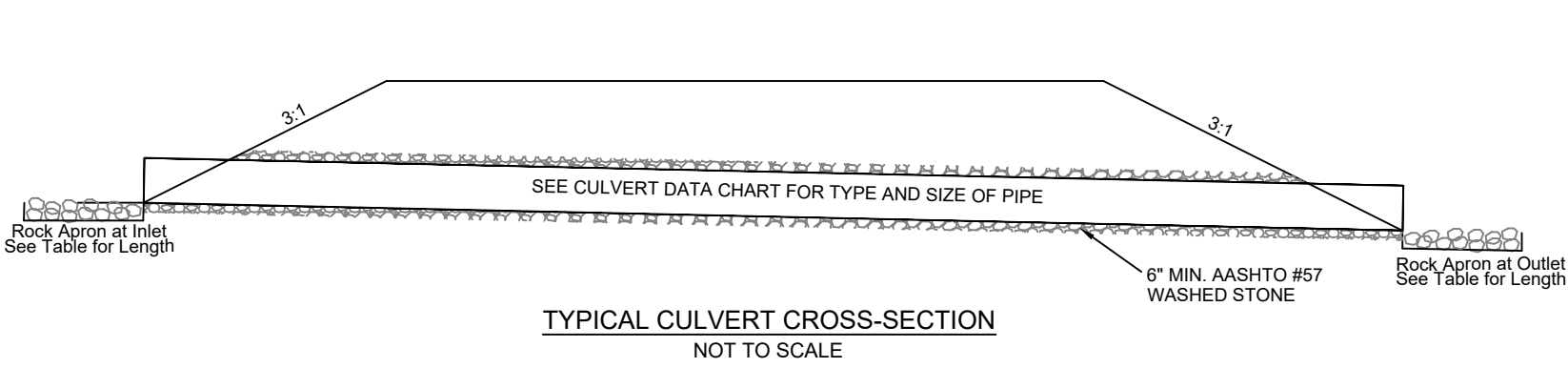
DESCRIPTION

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIR-BORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL, OR PLANT LIFE.

SPECIFICATIONS FOR DUST CONTROL

- VEGETATIVE COVER AND MULCH-APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 14 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES, AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- WATERING-SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON PAVED ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. NETTING AREAS SHALL BE UTILIZED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- SPRAY-ON ADHESIVES-APPLY ADHESIVE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- STONE-GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS-EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- OPERATION AND MAINTENANCE-WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.
- STREET CLEANING-PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED USING A STREET SWEEPER OR BUCKET-TYPE HAND LOADER OR SCRAPER.

TYPICAL CULVERT CROSS-SECTION



PERMANENT SEEDING



DESCRIPTION

PERENNIAL VEGETATION IS ESTABLISHED ON AREAS THAT WILL NOT BE RE-DISTURBED FOR PERIODS LONGER THAN 12 MONTHS. PERMANENT SEEDING INCLUDES SITE PREPARATION, SEEDING PREPARATION, PLANTING SEED, MULCHING, IRRIGATION AND MAINTENANCE. PERMANENT VEGETATION IS USED TO STABILIZE SOIL, REDUCE EROSION, PREVENT SEDIMENT POLLUTION, REDUCE RUNOFF BY PROMOTING INFILTRATION, AND PROVIDE STORMWATER QUALITY BENEFITS OFFERED BY DENSE GRASS COVER.

SPECIFICATIONS FOR PERMANENT SEEDING

SITE PREPARATION

- SUBSOILER PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION, MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION AND SEEDING.
- TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

SEEDING PREPARATION

- LIME-AGRICULTURAL GRADE LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST. IN LBS/1,000-SQ. FT. TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000-SQ. FT. OR 2 TONS PER ACRE.
- FERTILIZER-FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN PLACE OF SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 POUNDS PER 1,000-SQ. FT. OR 1000 POUNDS PER ACRE OF A 10-10-10 OR 12-12-12 ANALYSIS.
- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARP, SPRING-TOOTH HARP, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES ON SLOPING LAND. THE SOIL SHALL BE WORKED ON THE CONTOUR.

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE-SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION. TILLAGE FOR SEEDING PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

DORMANT SEEDING

- SEEDING SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":
 - FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE SEEDING.
 - FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE. APPLY THE SELECTED SEED MIXTURE. MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER. SURRY MAY INCLUDE SEED AND FERTILIZER ON A FIRM MOIST SEEDBED.
 - WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FURROW FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG, ON SLOPING LAND. SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

MULCHING

- MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE MULCHED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
- MATERIALS:
 - STRAW-IF STRAW IS USED IT SHALL BE UNRITTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 POUNDS (TWO TO THREE BALES) PER 1,000-SQ. FT. THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY APPLIED SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-BROADCAST MULCH. DITCH AREA INTO APPROXIMATELY 1,000-SQ. FT. SECTIONS AND SPREAD TWO-6LB BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE APPLIED AT 2,000 LB./AC. OR 46 LB./1,000-SQ. FT.
 - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BURLAPETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
- STRAW AND MULCH ANCHORING METHODS:
 - STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
 - MECHANICAL-A DISK, CRUMPER, OR SIMILAR TYPE TOOL, SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 8 INCHES.
 - MULCH NETTING-NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
 - ASPHALT EMULSION-ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURE OR AT THE RATE OF 160 GALLONS PER ACRE.
 - SYNTHETIC BINDERS-SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TRACK OR EQUIVALENT MAY BE USED AT RATES SPECIFIED BY THE MANUFACTURER.
 - WOOD CELLULOSE FIBER-WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 POUNDS CELLULOSE PER 100 GALLONS OF WATER.

IRRIGATION

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISHED VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH. IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDING AREAS FROM EXCESSIVE RUNOFF.

PERMANENT SEED MIXES

NATIVE SLOPE SEED MIX*					
GRASSES					
OZ / AC	LB / AC	SCIENTIFIC NAME	COMMON NAME		
4	3	ANDROPOGON GERARDI	INDIAN BUSH		
16	1	BOUTELOUA CURTIPENDULA	SIDE OATS GRAMA		
16	1	ELMUS VIRGINICUS	VIRGINIA WILD RYE		
32	2	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM		
32	2	SORGHASTRUM NUTANS	INDIAN GRASS		
TOTAL		8			
NURSE CROP					
OZ / AC	LB / AC	32	AVENA SATIVA	OATS	
FORBES					
OZ / AC	LB / AC	4	0.25	BIDENS AESTIVUS	SHOWY (SUNFLOWER) TICKSEED
10	0.625	CASSIA FASCICULATA	PAWBEED PEA		
6	0.30	ECRHINACEA PURPUREA	PURPLE CONEFLOWER		
0.75	0.047	MONARDA FISTULOSA	WILD BERGAMOT		
2	0.125	RATIBIDA PINNATA	GREYHEADED CONEFLOWER		
2	0.125	RUDEBECKIA HIRTA	BLACK-EYED SUSAN		
0.5	0.031	SOLIDAGO MEMORIALIS	GRAY GOLDENROD		
TOTAL		1.79			

*The AEP Native Slope Mix #2023 is based on pure live seed and per acre. It should not exceed \$390.00 per acre. If the price exceeds \$350.00 per acre, please contact Amy Torkey, ajtorkey@epa.com or (614) 955-1486 for clarification or modification. Do not revise seed mix without approval of AEP permit lead (WEBS-TDT). Seed mix can be adjusted for Hydro Seeding application - please contact AEP permit lead (WEBS-TDT).

LAWN MIX - SUN TO PARTIAL SHADE			
LBS / AC	GRASSES	SEED OATS	
20	LULIUM MULTIFLORUM	ANNUAL RYEGRASS	
100	POLYTRICHUM	KENTUCKY BLUEGRASS	
100	LULIUM PERSENE	PERENNIAL RYEGRASS	

LAWN MIX - SHADE			
LBS / AC	GRASSES	SEED OATS	
20	LULIUM MULTIFLORUM	ANNUAL RYEGRASS	
100	POLYTRICHUM	KENTUCKY BLUEGRASS	
100	FESTUCA RUBRA	CREEPING RED FESCUE	

SWALE AND RETENTION AREA SEED MIX			
OZ / AC	GRASSES	SEED OATS	
8	CAREX FRANKII	FRANK'S SEDGE	
2	ELEOCHARIS ORTUBA	BLUNT SPINE RUSH	
8	CAREX VULPINODEA	FOX SEDGE	
32	PANICUM VIRGATUM	SWITCHGRASS	
2	SCIRPUS ACUTUS	HARD STEM RUSH	
OZ / AC	FORBES	SEED OATS	
2	ASCLERPIAS INCARNATA	NEW ENGLAND ASTER	
2	ASTER NOVAE-ANGLIAE	ROSENET	
1	EUPATORIUM PERFOROLIATUM	ROSENET	
2	HELENIUM AUTUMNALE	YELLOW ANEMONE	
2	MONARDO FISTULOSA	BERGAMOT	
2	RATIBIDA PINNATA	YELLOW CONEFLOWER	
2	RUDEBECKIA SUBMENTOSA	SWEET BLACK-EYED SUSAN	

FARM LAKE AREA SEED MIX			
OZ / AC	GRASSES	SEED OATS	
512	AVENA SATIVA	SEED OATS	
160	LULIUM MULTIFLORUM	ANNUAL RYEGRASS	

OZ / AC	GRASSES	SEED OATS	
64	TRIFOLIUM PRATENSE	RED CLOVER	
32	TRIFOLIUM REPENS	WHITE CLOVER	

OZ / AC	GRASSES	SEED OATS	
512	AVENA SATIVA	SEED OATS	
160	LULIUM MULTIFLORUM	ANNUAL RYEGRASS	

OZ / AC	GRASSES	SEED OATS	
64	TRIFOLIUM PRATENSE	RED CLOVER	
32	TRIFOLIUM REPENS	WHITE CLOVER	

OZ / AC	GRASSES	SEED OATS	
512	AVENA SATIVA	SEED OATS	
160	LULIUM MULTIFLORUM	ANNUAL RYEGRASS	

OZ / AC	GRASSES	SEED OATS	
64	TRIFOLIUM PRATENSE	RED CLOVER	
32	TRIFOLIUM REPENS	WHITE CLOVER	

OZ / AC	GRASSES	SEED OATS	
512	AVENA SATIVA	SEED OATS	
160	LULIUM MULTIFLORUM	ANNUAL RYEGRASS	

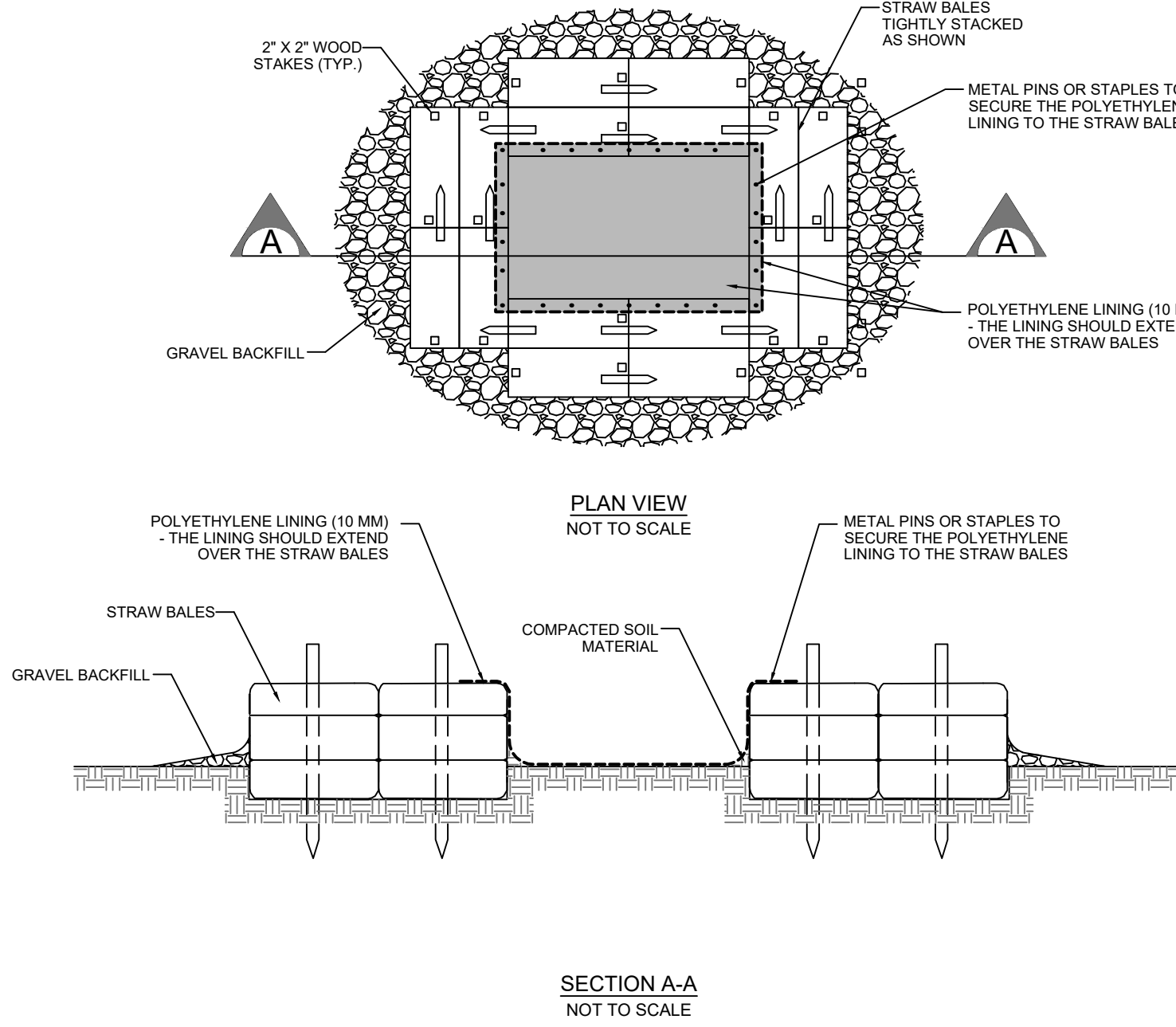
OZ / AC	GRASSES	SEED OATS	
64	TRIFOLIUM PRATENSE	RED CLOVER	
32	TRIFOLIUM REPENS	WHITE CLOVER	

CONCRETE WASHOUT



DESCRIPTION

- THE RESIDUE OR CONTENTS OF ALL CONCRETE MIXERS, DUMP TRUCKS, OTHER CONVEYANCE EQUIPMENT AND FINISHING TOOLS SHALL BE WASHED INTO CONCRETE CLEAN-OUT STRUCTURES CONSISTING OF A POLYETHYLENE LINED STRAW BALE BARRIER WITH GRAVEL BACKFILL. THE LENGTH AND WIDTH OF THESE STRUCTURES SHALL BE AS DETERMINED BY THE CONTRACTOR TO FACILITATE THE PARTICULAR EQUIPMENT USED. THESE STRUCTURES SHALL BE CONSTRUCTED ON LEVEL GROUND AT LEAST 100' FROM THE NEAREST WATERCOURSE. DRAINAGE SHALL BE TO A STORM DRAIN. AT NO TIME SHALL THE STRUCTURE BE ALLOWED TO BE MORE THAN 50% FULL. THE CONTRACTOR SHALL MAINTAIN THESE PONDS UNTIL ALL CONCRETE PLACEMENT IS COMPLETE FOR THE PROJECT.
- EMBED THE STRAW BALES 4" INTO THE SOIL. PROVIDE TWO ROWS OF BALES, AS SHOWN ON THE DETAIL, WITH ENDS AND CORNERS TIGHTLY BUTTING. ORIENT THE STRAW BALES LENGTHWISE WITH BINDINGS AROUND THE SIDES OF THE BALES SO THE WIRE DOES NOT CONTACT THE SOIL. DRIVE 2" X 2" WOOD STAKES THROUGH EACH BALE TO SECURELY ANCHOR THE BALE AND CONNECT ADJACENT BALES. GRAVEL BACKFILL SHALL BE PROVIDED AND TAMPED AROUND THE OUTSIDE PERIMETER OF THE BALES TO PREVENT EROSION AND FLOW AROUND THE BALES.
- THE INTENT OF THESE STRUCTURES IS TO COLLECT ALL CONCRETE WASH OUT WATER AND ALLOW IT TO DRY TO A SOLID MATERIAL. AFTER DRYING, THE SOLID MATERIAL CAN BE REMOVED WITH A LOADER OR EXCAVATOR FOR PROPER DISPOSAL. WASH OUT WILL NOT BE PERMITTED IN ANY OTHER AREAS.
- USE THE MINIMUM AMOUNT OF WATER TO WASH THE VEHICLES AND EQUIPMENT. NEVER DISPOSE OF WASH OUT INTO THE STREET, STORM INLET, DRAINAGE SWALE OR WATERCOURSE. DISPOSE OF SMALL AMOUNTS OF EXCESS DRY CONCRETE, GROUT AND MORTAR IN THE TRASH. ANY SOAPS THAT ARE UTILIZED SHALL BE PHOSPHATE-FREE AND BIODEGRADABLE.
- ADDITIONAL CONCRETE CLEAN-OUT STRUCTURES SHALL BE CONSTRUCTED WITHIN THE SPECIFIED AREA AS NEEDED BASED UPON THE VOLUME OF WASH OUT GENERATED DAILY.



CONSTRUCTION ENTRANCE



DESCRIPTION

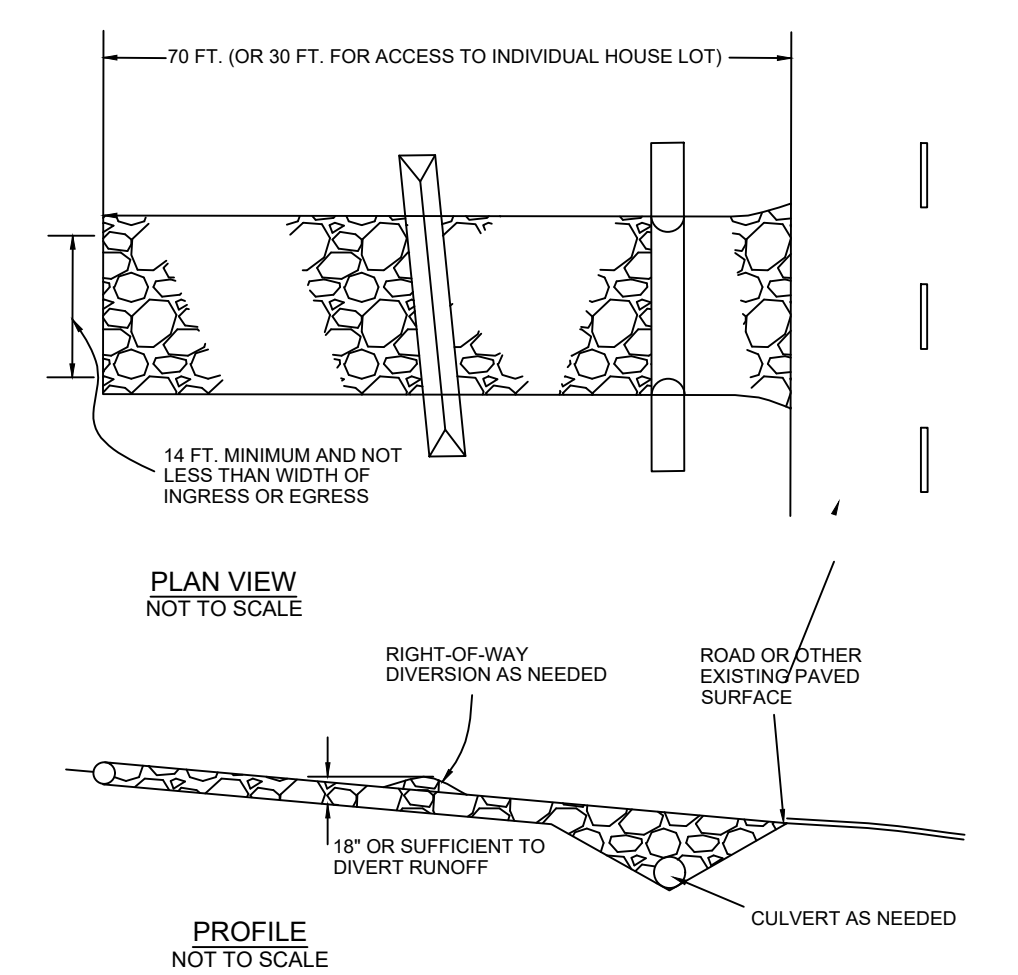
A CONSTRUCTION ENTRANCE IS A STABILIZED PAD OF STONE UNDERLAIN WITH A GEOTEXTILE AND IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF-SITE WITH CONSTRUCTION TRAFFIC. LOCATED AT POINTS OF INGRESS/EGRESS, THE PRACTICE IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF-SITE WITH CONSTRUCTION TRAFFIC.

SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

- STONE SIZE-ODOT #21 (5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH-THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS.)
- THICKNESS-THE STONE LAYER SHALL BE AT LEAST 8 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
- WIDTH-THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- GEOTEXTILE-A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG, NOT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

GEOTEXTILE SPECIFICATIONS FOR CONSTRUCTION ENTRANCE		
MINIMUM TENSILE STRENGTH	200 LBS	
MINIMUM PUNCTURE STRENGTH	80 PSI	
MINIMUM TEAR STRENGTH	50 LBS	
MINIMUM BURST STRENGTH	300 PSI	
MINIMUM ELONGATION	20%	
EQUIVALENT OPENING SIZE	EQS-0.6 MM	
PERMITTIVITY	1X10-3 CM/SEC	
- TIMING-THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
- CULVERT-IF PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- WATER BAR-A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FOLLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- MAINTENANCE-TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENTATION CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPPING OR SWEEPING.
- CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
- REMOVAL-THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

NOTE: FOR THIS PROJECT THE CONSTRUCTION ENTRANCE WILL HAVE A MINIMUM LENGTH OF 100 FEET.



TEMPORARY SILT FENCE



DESCRIPTION

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISAPPEARED ALONG ITS LENGTH.
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDING AT THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT AT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.

CITY OF NEW ALBANY
STANDARD NOTES

Revised
February 21, 2023

1 GENERAL
1.1 Standards

1.1.1 The City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, together with the City of New Albany specifications including all supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items of these plans unless otherwise noted. If conflict between specifications is noted, the more strict specification will apply as decided by the City Engineer. CMSC Item numbers listed refer to the City of Columbus Construction and Material Specifications.

1.2 Plan Modifications

1.2.1 Any modifications to the work as shown on these drawings must have prior written approval by the City Engineer, City of New Albany. Inspectors have no authority to approve revisions in the field.

1.3 Preconstruction Conference

1.3.1 A pre-construction conference involving a representative of the City of New Albany, the Owner, the Principal Contractor, and all available Sub-Contractors will be held prior to the start of construction.

1.3.2 All easements shall be recorded and submitted to the City Engineer prior to the pre-construction conference.

1.3.3 During the conference the Contractor shall submit his construction schedule, proposed schedule for controlling siltation and erosion, and for temporary and permanent seeding for the project.

1.4 Working Hours

1.4.1 City Ordinance 521.12 restricts the hours of work to 7:30 am to 7:00 pm.

1.4.2 Work will not be permitted on Sundays unless otherwise approved by the City Manager.

1.5 Inspection

1.5.1 Inspection on this project will be provided by the representatives of the City of New Albany.

1.5.2 The Owner shall deposit with the City of New Albany the total estimated costs for construction inspection prior to any construction operations.

1.5.3 The Contractor shall notify the City Engineer at least 48 hours prior to construction.

1.6 Work Within Public Right of Ways

1.6.1 All trenches within public right-of-way shall be backfilled according to the approved construction drawings or securely plated during non-working hours. Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during non-working hours. Clean up shall follow closely behind the trenching operation. Trenches within City right of way shall be backfilled per item 911.1 (Type 1) of Columbus Construction and Material Specification. Item 912 (Type 1 Only) compacted granular backfill shall be used within the 45 degree influence plane of paved surfaces.

1.6.2 The contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of 2 (two) years from the final acceptance of the work, and shall make any necessary repairs at no cost to the City of New Albany. The Developer/Contractor shall provide a letter to the City indicating any settlement of the trenches will be repaired at their expense for a period of 5 (five) years from the date of acceptance of the subdivision or site (whichever applicable).

1.6.3 Non-rubber tired vehicles shall not be moved on public streets. The City Engineer may grant exceptions where short distances and special circumstances are involved. Granting exceptions must be in writing, and any damages must be repaired to the satisfaction of the City of New Albany.

1.6.4 No materials, including pipe, shall be stored within the public right-of-way or within one hundred (100) feet of any intersecting street or driveway. During non-working hours, storage of equipment shall comply with these same requirements. Compliance with these requirements along with additional provisions of the contract specifications shall not relieve the contractor of their legal responsibility to maintain job safety.

1.6.5 Any deteriorated pavement due to construction operations shall be saw cut and removed and replaced as per City of Columbus Standard Drawing 2130 Dr.A. The location of the saw cut shall be determined by the City Engineer in the field.

1.6.6 When a new roadway is to adjoin an existing roadway any existing underdrain is to be maintained, or replaced if not functional. A relief joint shall be constructed at the intersection of the existing and new road.

1.6.7 Ingress and egress shall be maintained at all times to public and private property. Access to all adjoining properties shall be maintained at all times.

1.6.8 Access to the site shall be provided through the construction access drive (only) as shown on the erosion control plan.

1.6.9 When mail boxes, road or street name signs and supports interfere with construction, the contractor shall remove and erect them in temporary locations during construction in a manner satisfactory to the City Engineer and U.S. Postal Service. After completion of the construction and before final acceptance of the project the contractor shall erect the mailboxes, road or street name signs and supports in a permanent location in accordance with the plans unless otherwise directed by the City Engineer. Removal, temporary erection and permanent erection of mailboxes shall be in accordance with U.S. Postal regulations. This work shall be performed at no cost to the City or the property owners.

1.6.10 Trenches along roadways shall be protected in accordance with the ODOT "Drop offs in Work Zones" policy manual of which are available from the Ohio Department of Transportation, Bureau of Traffic, 1980 E. Broad Street, Columbus, Ohio 43215.

1.7 Equipment on Public Roads

1.7.1 Non-rubber tired vehicles shall not be moved on public streets. The City Engineer may grant exceptions where short distances and special circumstances are involved. Granting exceptions must be in writing, and any damages must be repaired to the satisfaction of the City of New Albany.

1.8 Traffic Maintenance

1.8.1 All traffic control devices shall be furnished, erected, maintained and removed by the Contractor in accordance with the Ohio Manual of Uniform Traffic Control Devices for Construction and Maintenance Operations (current edition), copies of which are available from the Ohio Department of Transportation, Bureau of Traffic, 1980 West Broad Street, Columbus, Ohio 43215.

1.8.2 All traffic lanes shall be fully open to traffic on all public roadways. Any lane closings must be coordinated with the City Engineer at least 48 hours prior to the lane closure.

1.8.3 Steady-burning Type "C" lights shall be required on all barricades, drums, and similar devices in use at night.

1.8.4 Manual control of traffic by anyone other than a police officer is not permitted.

1.8.5 The maintenance of traffic should follow Typical Application (TA)-6 "Shoulder Work with Minor Encroachment" from the Ohio Manual of Uniform Traffic Control Devices (OMUTCD) current edition and ODOT SCD MT-101.90 for drop off requirements.

1.8.6 The minimum lane width of 10 feet must be maintained if the work zone encroaches in to the traveled lane. If this requirement cannot be met, the lane must be closed and flaggers employed following Typical Application (TA)-10 "Lane Closure on a Two-Lane Road Using Flaggers" from the Ohio Manual of Uniform Traffic Control Devices (OMUTCD) current edition.

1.16.5 General Requirements

(a) Street lighting illumination and installation shall meet the New Albany Standards.

Luminaire supports shall be a Holophane brand Hallbrook Series, with a 15' pole plus goose arm(s).

- Reference for single head pole is Model HLBK ALN 15 1A QSM CMC AGB.
- Double Head pole (twin Goosenecks) shall be Model HLBK ALN 15 2A QSM CMC AGB.
- Lam Shell Pole Base shall be Model GWBAS128P99P335.
- Pole and Base shall be factory painted New Albany Green (Paint Reference PMS 5535).

Luminaires shall be:

- Holophane Brand Glaswerks LED Hallbrook Model GSLF3 P40 40K MVOLT ASY QSM CMC
- Color Temperature 3000K.
- Photocontrol receptacle reference PR3.
- 120-277V.
- Luminaire housing shall be factory painted New Albany Green (Paint Reference PMS 5535).

- (1) This work shall consist of furnishing and installing electrical materials and equipment, complete and ready for service, in conformity with the locations, dimensions, and grades shown on the plans or as ordered by the Engineer. This work shall also include necessary excavation and backfill, and disposal of discarded materials, and restoration of disturbed areas.
- (2) Foundations shall have a sleeve for the grounding electrode conductor. The connection to the ground rod shall be by exothermic welding or listed pressure connector. The ground rod shall be driven 8 feet into undisturbed earth next to the pole base.
- (3) Trenches adjacent to the pavement shall be excavated in a manner that will prevent the curb from moving or separating from the road base. Minimum distance from the curb to the ditch shall be 2 feet.
- (4) Where conduit crosses the street, a pull-box shall be installed on both sides of the street and at directional changes more than 45 degrees. No conduit runs to exceed 20' between junction points.
- (5) Conduit shall be schedule 40 PVC and shall be at a depth of at least 24".
- (6) Where, in the opinion of the Engineer, an excavation for a foundation has revealed an unstable condition at the bottom of the excavation, the foundation shall be deepened or enlarged in size as directed by the Engineer. Payment for additional quantities of excavation and foundation concrete required by the Engineer for this purpose shall be made by the Contractor. If a cave-in should occur during the excavation, the Contractor may continue excavation with use of a casing, sleeves, or other methods, with the approval of the Engineer.
- (7) Anchor bolts for light poles shall be installed in the foundations in accordance with approved shop drawings and anchor bolt setting templates. The tops of foundations shall be finished smooth and level. Anchor bolt settings for light poles shall provide that light poles predominantly illuminating a mainline roadway shall be positioned with the arm of the pole perpendicular to the longitudinal centerline of the roadway at that location. After forms have been removed, excavated spaces around the foundations shall be backfilled with suitable materials placed and tamped in thin layers as directed by the Engineer.
- (8) When pull boxes are installed in paved areas, an adequate area shall be removed by saw cutting on drawings, or by removal back to an expansion joint. The cover surface shall be adjusted to be slightly above the surrounding pavement.

2.8 Manhole Coring

2.8.1 The contractor shall furnish all material, equipment, and labor to make connections to existing manholes. The sewer pipe to manhole connections for all sanitary sewers shall be flexible and watertight. All holes shall be neatly cored. The sewer pipe barrel at the springline shall not extend more than 1-inch beyond the inside face of the manhole. Any metal that is used shall be Type 300 Series Stainless Steel. The connection may be any of the following:

1. Rubber Sleeve with Stainless Steel Banding.
 - a. Kor-N-Seal as manufactured by National Pollution Control Systems, Inc.
 - b. Lock Joint Flexible Manhole Sleeve as manufactured by Intertec Corporation.
 - c. Or equal as approved by the City Engineer.

2. Rubber Gasket Compression.
 - a. Press Wedge II as manufactured by Press-Seal Gasket Corporation.
 - b. Dura Seal III as manufactured by Dura Tech, Inc.
 - c. Link-Seal as manufactured by Thunderbolt Corporation.
 - d. Or equal as approved by the City Engineer.

2.9 Sewer Inspection

2.9.1 See note block 4.14 for inspection requirements.

3 STREETS

3.1 Concrete Base Construction

3.1.1 In addition to the requirements set forth in the City of Columbus Specifications, the following shall apply:

- a) No water shall be added to the concrete while in the mixers unless specifically authorized by the City Engineer or his representative.
- b) Subgrade shall be at proper moisture content prior to base construction. Water shall be added to the subbase if necessary.
- c) Concrete exceeding a 4' slump or being on the truck for 60 minutes or more will be rejected from the project.

3.2 Street Pre-Construction Conference

3.2.1 Prior to street construction a pre-construction conference shall be held at the City Hall with the owner and superintendent/foreman of the base, curb and asphalt sub-contractors. The pre-construction conference shall be scheduled by the contractor for 48 hours prior to the pouring of the curb. The purpose of the meeting is to ensure a 6" curb height is provided upon the completion of the street system.

3.3 Transverse & Longitudinal Joints

3.3.1 Transverse contraction and longitudinal joints shall be constructed as per 305.01 paragraph (C) & (D). (Including 26' pavement)

1.8.7 This operation may be performed at any time, except during peak hours (7am – 9am and 4pm-6pm).

1.8.8 If in the opinion of the City Engineer, the Contractor fails to comply with these requirements and the provisions of the approved maintenance of traffic plan, the City Engineer shall suspend work until all requirements are met. Any costs or delays incurred as a result of the failure shall be the full responsibility of the Contractor.

1.8.9 The following devices must meet NCHRP 350 or MASH-08 before the devices are installed on the project: drums, cones, vertical panels and the panel support, portable sign supports, temporary impact attenuators, temporary concrete barrier, and barricades.

1.8.10 Payment for all traffic maintenance items shall be included within the price bid for the project improvements.

1.8.11 All permanent traffic controls not in conflict with the temporary controls shall be maintained throughout this project by the Contractor. Permanent traffic controls may be temporarily relocated, as approved by the Engineer. The Contractor shall assume all liability for missing, damaged and improperly placed signs.

1.8.12 The Contractor shall be responsible for the reinstallation and/or replacement of all permanent traffic control devices damaged or removed during the construction. Permanent traffic control no longer in conflict with temporary traffic control shall be replaced immediately.

1.9 Existing Traffic Sign Maintenance

1.9.1 Special care shall be taken to maintain existing signs. If necessary, the contractor shall relocate these signs out of the way of construction, but in conformance with OMUTCD. Any damaged signs shall be replaced at the expense of the contractor.

1.10 Local Access

1.10.1 Ingress and egress shall be maintained to all residential and commercial properties. Driveway closure may be necessary to enable work on or in front of a drive. The contractor will be responsible for notifying owners, residents, or business operators in writing at least 48 hours but not more than 72 hours prior to closure. The engineer shall be given a list of the persons that were given notices with the date of notice issued. Closure is permitted only during work hours and access must be returned at the end of each working day. Properties with multiple drives may have one drive closed at a time, while work is performed in the area of the closed drive. Individual drive closures shall be kept to the minimum time needed for construction activities. Every effort must be made to accommodate the owner's need for access.

shall not be applied until after the first coat has adequately dried. Poles having major scratches or defects in the painted surfaces will not be accepted.

- (4) The contractor shall furnish all of the materials in accordance with the listed specifications. The equipment list and receipts shall be delivered to the Service Department. A copy of the receipt shall be provided to the City Engineer.
- (5) The contractor shall provide the required number of poles complete with light fixture, bulb, wiring, and pedestal to the City. The equipment shall be delivered to the Service Department and a copy of the receipt shall be provided to the City Engineer.
- (6) Street fixtures shall be controlled to operate at the same time when in close proximity or on the same street in the areas they serve. Some areas may require a single photocell for each light, while others may be joined to one photocell. In no case shall there be more than 6 lights on a photocell. The photo controller shall be placed near the disconnect box.

1.16.6 Material Specifications

- (a) Disconnect box for a 120 rated current circuit shall be mounted to a 4x6 treated lumber pole containing a circuit breaker and have a lockable door. The box needs to be a minimum of 24 inches above final grade. Disconnect box for a 480 volt circuit shall be stainless steel in material and mounted to a concrete footer. The box shall be a minimum of 30 inches tall, 18 inches wide, and 15 inches deep. The concrete footer shall exceed 4 inches in all directions beyond base of disconnect box. The access door on disconnect shall be a minimum of 16 inches wide by 23 inches tall. The door shall have a latching handle that can be locked by padlock and hinged on one side.
- (b) Wiring for a 120 volt circuit to the pole and/or disconnect shall be 6 gauge in size, copper conductor, and have a USE jacketing or equivalent thickness. Wiring for a 480 volt circuit to the pole and/or disconnect shall be 4 gauge in size, copper conductor, and have a USE jacketing or equivalent thickness. Wiring going up all poles to the load shall be 10 gauge stranded copper wire. The hot lead shall have a black jacket, neutral lead shall have a white jacket, and the ground lead shall have a green jacket.
- (c) Each electrical circuit shall have a fuse in the pole base. The fuse holder must be capable of accepting #6 awg on line side and 10 gauge on load side. 480 volt circuits must be capable of passing power to another pole on the line side of the holder.
- (d) Pull boxes in residential areas shall be 18 inches long, 12 inches wide and 18 inches deep in size or equivalent. All 480 volt circuit pull boxes shall be traffic rated. The 480 volt boxes shall be 25 inches long, 16 inches wide, and 18 inches deep in size or equivalent. All pull boxes must have the word "electrical" embossed on the cover of the box. Plates attached to the cover will not be accepted. All pull boxes must be a minimum of curb height or final grade.

3.3.2 No transverse joints shall be permitted adjacent to a new pavement surface which is more than 24 hours old, weather permitting, except for joints which have existed over weekends and holidays. The surface course shall be continuous to the existing pavement surface.

3.3.3 The contractor shall provide a written procedure on how he/she intends to construct the lowest two courses of asphalt prior to construction for approval by the City Engineer. The procedure should include specifics for construction of intersections.

3.4 Curb Height

3.4.1 When constructing the pavement (concrete base to asphalt courses) the contractor shall ensure that a 6" height curb is available upon completion of street construction. The City may require this curb to be removed and reconstructed if this height deviates more or less than 1/2" of the 6" required height. All costs associated with the above shall be borne by the contractor.

3.5 Crack Sealing

3.5.1 The contractor, thirty (30) days prior to project acceptance by City Council or as directed by the City Engineer and weather permitting shall crack seal all pavement cracks as directed by the City Engineer. The crack seal shall be in accordance with item 423. If acceptance occurs in winter months, crack seal may be delayed until weather permits.

3.6 Pavement Relief Joints

3.6.1 Asphalt shall not be placed in the pavement relief joints until permanent or temporary street signs are erected.

3.7 Curb Stamps

3.7.1 During installation, curb shall be stamped with the following symbols at the noted utilities:

- "X" – Utility Crossing
- "T" – Sump Pump Junction Box
- "W" – Water Service
- "WV" – Water Valve
- "S" – Sanitary Sewer Crossing

3.8 Detectable Warnings

3.8.1 Type A detectable warning shall be installed as per COC Std. Dwg. 2319. Material shall be pre-cast manufactured 4'x8'x2.25" red clay brick.

4 STORM SEWER

4.1 Storm Sewer Pipe and Structures

4.1.1 Pipe specification for the plan improvements may be in accordance with the following (Except as designated within the profiles.)

1.14.5 If during construction of the sewer, the water wells belonging to nearby residences are dewatered, the contractor shall provide the potable water to the residents. Bottled water will be provided in 4 hours and a 500 gallon water tank hooked up to the existing plumbing system will be provided within 48 hours should well service become dewatered. If the well is to be re-positioned after construction, a tap to a water line shall be provided if available or another well dug, at no extra cost to the residents.

1.15 Blasting

1.15.1 If the contractor intends to use blasting during excavation, the blasting shall be in accordance with the City of New Albany Ordinance 1505.

1.16 Street Lighting

1.16.1 Contractor Requirements

- (a) The contractor must register with the City of New Albany and show evidence of liability insurance and a copy of their State of Ohio license.
- (b) Obtain required permits through the New Albany Service Department and Community Development Department.

1.16.2 Street Light Submittals

(a) A site development plan must be submitted by Ohio Registered Engineer to the City of New Albany Service Department for preliminary review. The plans need to show the following information:

- (1) Property lines.
 - (2) Utility and drainage easements.
 - (3) Storm drains and catch basins.
 - (4) Street light layout.
- (b) Submit three (3) copies of the standard construction drawings to Community Development for review to receive approval. Permit must be issued prior to beginning work.
- (c) Information on the construction drawings are to include:
- (1) Location of light poles, disconnect switch, and power source.
 - (2) Voltage drop calculations, loads, wire size, and over-current protection.
 - (3) Photo cell location shown near or at disconnects.
 - (4) Foundation and rebar placement details for pole bases.

1.16.3 Inspection Requirements

- (a) The Contractor must conduct inspections through the Community Development.
- (b) The following inspections from the Community Development Department are required:
 - (1) Rough inspections
 - (1) Conduit Depth. (100% of conduit must be inspected before burial)
 - (2) Ground rod and rebar connections
 - (3) Rebar reinforcement of light pole foundation

1.19.2 Silt Fence or Snow Fence shall be used, if deemed necessary, to preserve the maximum amount of existing trees and vegetation.

1.20 Aggregate Base and Backfill Material

1.20.1 Aggregate base and backfill material shall be free of recycled concrete, reclaimed asphalt pavement, brick, wood or any other deleterious material that would prevent proper compaction from being achieved.

1.21 Prohibited Construction Activities

1.21.1 The contractor shall not use construction proceedings, activities or operations that may unnecessarily impact the natural environment or the public health and safety. Prohibited construction proceedings, activities or operations include, but are not limited to:

- (a) Disposing of excess or unsuitable excavated material in wetlands or floodplains, even with the permission of the property owner.
- (b) Indiscriminate, arbitrary, or capricious operation of equipment in any stream corridors, any wetlands, any surface waters, or outside the easement limits.
- (c) Pumping of sediment-laden water from trenches or other watercourses into any surface waters, any stream corridors, any wetlands or storm drains.
- (d) Discharging pollutants such as chemicals, fuel, lubricants, bituminous materials, raw sewage, and other harmful waste into or alongside of rivers, streams, impoundments or into natural or man-made channels leading thereto.
- (e) Permanent or unspecified alteration of flow line of a stream.
- (f) Damaging vegetation outside of the construction area.
- (g) Disposal of trees, brush and other debris in any stream corridors, an wetlands, and surface water, or at unspecified locations.
- (h) Open burning of project debris without a permit.
- (i) Storing construction equipment and vehicles and/or stock piling construction materials on property, public or private, not previously specified by the City Engineer for said purpose.

2 SANITARY SEWER

2.1 Clean Water Connections Prohibited

2.1.1 Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited on this project.

2.2 Risers

2.2.1 Service risers, item 914, shall be installed where depth from the wye fitting to the existing or proposed surface elevation exceeds 10 feet. Top of riser shall be no more than 9 feet +/- below existing or proposed surface elevation, whichever is higher.

2.3 Sanitary Services

2.3.1 All sanitary services shall be a minimum of 2.08% grade (1/4" per foot).

Final inspection

- (1) Final connections at disconnect and light poles.
- (2) Demonstrate 25 OHMS or less to the ground or add a second ground rod.
- (3) Light pole finish (scratches, dents or paint defects) shall be repaired if damaged.
- (4) Final inspection demonstrating the operation of all lights

1.16.4 Installation Requirements

- (a) This work shall consist of furnishing and installing electrical materials and equipment complete and ready for service, in reasonably close conformity with locations, dimensions, and grades shown on the plans or as ordered by the City Engineer. This work shall also include necessary excavation and backfill, and disposal of discarded materials, and restoration of disturbed areas.
- (b) Foundations shall have a sleeve for the grounding electrode conductor. The connection to the ground rod shall be by exothermic welding or listed pressure connector. The ground rod shall be driven 8 feet into undisturbed earth next to the pole base.
- (c) Trenches adjacent to the pavement shall be excavated in a manner that will prevent the curb from moving or separating from the road base. Minimum distance from the curb to the ditch shall be 2 feet.
- (4) Where conduit crosses the street, a pull-box shall be installed on both sides of the street and at directional changes more than 45 degrees. No conduit runs to exceed 20' between junction points.
- (5) Conduit shall be schedule 40 PVC and shall be at a depth of at least 24".
- (6) Where, in the opinion of the Engineer, an excavation for a foundation has revealed an unstable condition at the bottom of the excavation, the foundation shall be deepened or enlarged in size as directed by the Engineer. Payment for additional quantities of excavation and foundation concrete required by the Engineer for this purpose shall be made by the Contractor. If a cave-in should occur during the excavation, the Contractor may continue excavation with use of a casing, sleeves, or other methods, with the approval of the Engineer.
- (7) Anchor bolts for light poles shall be installed in the foundations in accordance with approved shop drawings and anchor bolt setting templates. The tops of foundations shall be finished smooth and level. Anchor bolt settings for light poles shall provide that light poles predominantly illuminating a mainline roadway shall be positioned with the arm of the pole perpendicular to the longitudinal centerline of the roadway at that location. After forms have been removed, excavated spaces around the foundations shall be backfilled with suitable materials placed and tamped in thin layers as directed by the Engineer.
- (8) When pull boxes are installed in paved areas, an adequate area shall be removed by saw cutting on drawings, or by removal back to an expansion joint. The cover surface shall be adjusted to be slightly above the surrounding pavement.

2.3.2 All sanitary sewer lines installed on this project shall be in accordance with CMSC Item 901 & ASTM D-2321, or approved equal. Minimum requirements for sanitary sewer on the project shall be PVC sewer pipe ASTM D-3034 or High Density HDPP ASTM F-2736 & F-2764. All joints shall be gasketed integral bell & spigot in accordance with ASTM D-3212.

2.3.3 All sanitary sewer including service lines shall be subject to and pass infiltration or ex-filtration tests according to CMSC Item 901.20 and must be approved for use by the City Engineer before any service connections are tapped into sewers. Refer to item 901.20 (3) for sanitary manhole testing requirements. All public sanitary sewer lids shall be stamped NEW ALBANY OHIO SANITARY SEWER. Private sewers shall be stamped SANITARY SEWER.

2.3.4 Existing manhole shall be core cut to accept proposed sanitary sewer. All manholes shall be tested in accordance with CMSC Item 901.20.

2.3.5 All precast products shall be inspected at the location of manufacture (refer to Note Block 4).

2.3.6 Provide cut sheets in digital format to the City's inspection agency.

2.4 Deflection Testing

2.4.1 All sewer lines installed on this project using P.V.C., HDPE or HDPP pipe will be deflection tested by pulling an approved Mandrel equal in diameter to 95% of the pipe diameter through the pipe after pipe is backfilled and a sufficient amount of time is allowed for weight transfer of the backfill to the pipe and bedding, as required under CMSC item 901.21. Testing shall be performed no sooner than 30 days after installation and backfilling.

2.5 Trench Dams

2.5.1 Cut off trench dams, in accordance with item 901.11, shall be constructed between each pair of manholes.

2.6 Temporary Bulkheads

2.6.1 Temporary bulkheads shall be placed where indicated on the plans, and shall remain in place until removal is directed by the City Engineer.

2.7 Wye Poles

2.7.1 Wye poles shall be placed at the end of sanitary service laterals and at the end of sub mainlines ending 5 feet or more from a manhole. The wye pole shall be placed from the pipe to at least three feet above the proposed grade. A 2 foot long minimum section of rebar shall be placed vertically alongside the wye pole 6 inches below the proposed grade. The rebar shall not be fastened in any way to the wye pole.

NO		DATE	REVISION DESCRIPTION	APPR	DR	ENG	CK	ISSUE#
1	12/18/2024	ADDED POST CONSTRUCTION WATER QUALITY NOTE AND UPDATED QUANTITIES ON SHEET CU-CS01-S01.						
		ADDED NOTE TO SHEET CU-EC02-S01 AND SHEET CU-EC02-S02.						
		ADDED IMPERVIOUS AREAS TABLE TO SHEET CU-SL01-S01.						
		ADDED POST CONSTRUCTION BMP TABLE AND ADDED MAJOR FLOOD ROUTING PATH. ADDED 100 FOOT MINIMUM CONSTRUCTION ENTRANCE NOTE, AND LABELED THE 100 YEAR WATER SURFACE ELEVATION OF THE BASIN ON SHEET CU-GP01-S01.						
		ADDED EMERGENCY SPILLWAY CENTERLINE PROFILE TO SHEET CU-GS01-S01.						
		ADDED CULVERTS AND HEADWATER ELEVATIONS TO ACCESS ROAD B PROFILE AND ADDED TYPICAL CULVERT CULVERT UNDER ACCESS ROAD B DETAIL ON SHEET CU-RP01-S01.						
		UPDATED DITCH DIMENSION TABLE TO PROVIDE 100 YEAR STORM MAXIMUM WATER DEPTH ON SHEET CU-ED02-S01.						
		UPDATED CULVERT DATA CHART TO PROVIDE VELOCITIES AND ADDED CONSTRUCTION ENTRANCE AS PART OF THIS PROJECT ON SHEET CU-ED02-S02.						

BAIR GOODIE		BAIR, GOODIE AND ASSOCIATES, INC. 153 NORTH BROADWAY STREET NEW PHILADELPHIA, OH 44663 TEL: 330.343.3499 FAX: 330.343.3505 WWW.BAIRGOODIE.COM		UNDERGROUND UTILITIES TWO WORKING DAYS CALL BEFORE YOU DIG OHIO UTILITIES PROTECTION SERVICE	
OLD DWG #:		STD DWG #:			
THIS DRAWING IS THE PROPERTY OF AMERICAN ELECTRIC POWER AND IS LOANED UPON CONDITION THAT IT IS NOT TO BE COPIED OR REPRODUCED IN ANY MANNER, OR USED FOR PURPOSES OTHER THAN THAT FOR WHICH IT WAS ISSUED WITHOUT THE WRITTEN CONSENT OF AMERICAN ELECTRIC POWER, OR FOR ANY PURPOSE DETRIMENTAL TO THEIR INTEREST, AND IS TO BE RETURNED UPON REQUEST.					
AEP OHIO TRANSMISSION COMPANY, INC.					
NEW ALBANY OHIO					
CITY OF NEW ALBANY STANDARD NOTES - SHEET 1					
SCALE AS NOTED	DR: DB/EGA	ENG: JPB/GA	CH: JPB/GA		
	WOB: T10593117002	APPD: JPB/GA	DATE: 09/11/2024		
	1 RIVERSIDE PLAZA COLUMBUS, OH 43215	DWG. NO.	CU-GN02-S01	R	1

- A) Reinforced concrete pipe ASTM C-76 (CMSC 706.02). Concrete classification shall be in conformance with the following unless otherwise referenced by the profiles.
- 12" -15" diameter Class IV -18" – 24" diameter Class III
- 27" and larger diameter Class II, or
- B) High Density Polypropylene, HDPP 12" – 60" Polypropylene Double Wall ASTM F 2736 12" thru 30" and ASTM F- 2881 36" thru 60" with integral bell & spigot meeting the watertight requirements of ASTM D 3212 (CMSC 720.13 & ODOT 707.65), or

C) Smooth-lined corrugated polyethylene pipe (CMSC Item 720.12) (Hancor HI-Q, ADS N-12, or equal). Except any sewers within Public R/W or as directed by the City Engineer, or

D) P.V.C. sewer pipe ASTM D3034 with joints as per ASTM D3212. PVC sewer pipe placement shall be limited to sewers through 10" diameter.

4.2 The Contractor shall provide written certification to the Engineer reflecting the pipe material to be used along with the current City consignment list identifying the approved pipe material specification.

4.3 All bedding shall be in accordance with Standard Drawing AA-S149 for rigid pipe sewer and in accordance with Standard Drawing AA-S149 for flexible pipe sewer.

4.4 The cost of compacted backfill shall be included in unit price bid for Item 901. Concrete encasement will be required (CMCS 901.12) where 30" of cover is not maintained. Cost to be included in unit price bid for Item 901.

4.5 All public manhole castings shall be stamped NEW ALBANY OHIO STORM. Temporary casting tops may be used until such are made available. Private manhole lids shall be stamped Storm Sewer.

4.6 All pre-cast concrete products shall be inspected at the location of manufacture. Approved pre-cast concrete products must be stamped or have such identification noting that inspection has been performed by the City of Columbus. Pre-cast concrete products without proof of inspection shall not be approved for installation.

4.7 The contractor shall submit a copy of the plans and a list of proposed pre-cast concrete product manufacturers to the City of Columbus Construction Inspection Division before commencing construction. Send the information to the following address:
Construction Inspection Division
City of Columbus
1800 East 17th Avenue
Columbus, Ohio 43219

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coordinates are required on the water main every 200' where no fitting or other water main structure is being installed within that length of the improvement.

5.12.2 All survey coordinates shall be referenced to the applicable County Engineer's Monuments, and shall be based on the North American Datum of 1983 (NAD 83) with the NSRS2007 adjustment, with further reference made to the Ohio State Plane South Coordinate System, South Zone, with elevations based on NAVD 88 datum. All coordinates (Northing, Easting, Elevation) shall be referenced to the nearest hundredth (NXXXXXX.XX, EXXXXXX.XX, Elev. XXXXX). All survey coordinates shall be accurate to within 1.0 foot horizontal and a tenth of a foot (0.10) or less vertical.

5.12.3 The coordinates shall be documented to the Municipality Engineer or designated Representative in digital spreadsheet form and shall include the applicable Item, Station, Northing, Easting, and elevation. Coordinates shall be submitted to the Municipality Engineer or designated Representative on a bi-weekly basis. Coordinates shall also be submitted to the Division of Power and Water as part of the request for chlorination (See Note Block 5.6).

5.12.4 Lump sum payment is full compensation for all work involved in obtaining and documenting the survey coordinates as described in this specification.

5.13 The Contractor must receive pre-approval from the Division of Water and City Engineer 48 hours in advance if elimination of bends is proposed and joint deflection is utilized instead.

5.14 Special Notes (If Applicable)

5.14.1 All water line valve boxes, service boxes, test stations, pitometer tap structures, meter pit covers, and other surface utility structures within the disturbed area shall be adjusted to grade. Any of these structures located within pavement, driveways, or other traveled areas, whether existing or proposed, shall be equipped with a traffic rated, heavy duty valve box and/or cover in accordance with the Standard Drawings. Existing water service boxes to remain that are encountered within the project limits shall be cleaned out, centered over the curb stop, and adjusted to the proposed grade.

5.14.2 Where new conduit is proposed to cross an existing or proposed water main or water service, a minimum of 12-inch of vertical clearance shall be maintained between the conduit and the water main or service. A minimum of 3-feet of horizontal clearance (out to out) is required at locations where the conduit is parallel to the water main and at locations of water line thrust blocks.

5.14.3 A minimum of 3 feet horizontal clearance (out to out) shall be maintained between all existing water mains and foundations for poles, pull boxes, push button pedestals, and any other miscellaneous electrical structure.

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Storm Sewer, Water & Fiber Optic Cable (FOC)
Service Department
7800 Bevelhymmer Road
New Albany, OH 43054

Water Facilities
City of Columbus (Division of Power & Water)
Water Distribution Center
910 Dublin Road
Columbus, OH 43215
(614) 645-7788

Telephone
AT&T
111 North 4th Street, Room 802
Columbus, OH 43215
Contact: Rob Harrison
(614) 223-4362

Gas
Columbia Gas of Ohio, Inc.
3550 Johnny Appleseed Court
Columbus, OH 43231
(614) 280-7500

11 TREES

11.1 All branches or growth from trees that are to be saved and which are interfering with the grading operation may be removed by the use of pruning tools. All pruning tools used and methods employed shall meet with the approval of the City Arborist. The branches shall be removed with a good clean cut made flush with the parent trunk or if having a good healthy lateral branch, the cut shall be a good clean slanting cut close to and beyond the healthy branch. All pruning cuts shall be painted with an accepted pruning preservative. All branches removed shall be at the direction of the City Arborist (614) 855-0076. The cost of all work and expenses connected with the removal of trees and/or branches shall be included in the price bid for clearing and grubbing. No extra payment shall be made therefore.

12 Benchmarks and Survey Monuments

12.1 Do not disturb any Franklin County or Licking County certified benchmarks (vertical and/or horizontal) located within the working limits of this project. The Contractor shall contact either the Franklin County Survey Department (614) 462-3028 or Licking County Survey Department (740) 670-5280, prior to construction, to coordinate the proper procedures for resetting, relocation, or replacement of any Franklin County Certified Benchmark or Survey Monument.

12.2 The Contractor shall reference all iron pins and monuments before excavating at or near said iron pins or monuments. The contractor shall not disturb existing right-of-way or property corner markers that are required to remain after construction. If any pins or monuments are disturbed, destroyed, or damaged by the Contractor that have not been designated to be removed in these plans, they shall be accurately replaced by a Registered Surveyor at the completion of the project or at the direction of the City

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4.8 Openings shall be provided in the drainage structures to accommodate underdrain outlets.

4.9 All storm structures with a depth greater than four feet shall have steps (AA-S119) installed at 16" intervals maximum.

4.10 All standard catch basins and curb inlets within paved areas are to have bicycle safe grates.

4.11 When a new roadway is to adjoin an existing roadway any existing underdrain is to be maintained, or replaced if not functional. A relief joint shall be constructed at the intersection of the existing and new road.

4.12 All existing inverts along with the proposed top of casting elevations shall be verified by the Contractor prior to construction of the sewer.

4.13 Within proposed roadway sections that include straight 18" concrete curb, all frames and grates for curb and gutter inlets shall be per East Jordan 7505 Series or approved equal.

4.14 Sewer Inspection

4.14.1 The Contractor shall ensure there is a surveyor's level and rod on the project for use in performing grade checks whenever sewer line structures or pipe are being installed. The Contractor shall make this equipment available for the use of and assist the City Inspector in performing grade checks when requested by the inspector. The Inspector will make all reasonable attempts to confine requests for assistance in performing grade checks to times convenient to the Contractor.

4.14.2 These checks will be performed to ensure the following:

1. Proper placement of cast structures.
2. Proper installation of initial runs of pipe from a structure.
3. Grade, after an overnight or longer shutdown.
4. Grade, at any other time the Inspector has reason to question grade of installation.

4.14.3 Grade checks performed by the City Inspector in no way relieve the Contractor for the ultimate responsibility to ensure construction to the plan grade.

4.14.4 At the request of the City Engineer, the contractor shall remove 36" storm sewer castings for inspection during construction and for final inspection.

4.14.5 Deflection Testing

All sewer lines installed on this project using P.V.C., HDPP, or H.D.P.E. pipe will be deflection tested by pulling an approved Mandrel equal in diameter to 95% of the pipe

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5.14.4 A minimum of 4 feet of cover is required prior to pressure testing any water main. A sufficient amount of backfill shall be installed to provide the adequate restraint in areas where required.

5.14.5 Proposed water mains shall be located a minimum distance of twenty (20) feet away from any structure, overhang or footer.

5.14.6 No two (2) adjacent fire hydrants shall be taken out of service concurrently.

5.14.7 Relocated fire hydrants shall be put back in service as soon as possible.

5.14.8 The Contractor shall coordinate his work such that no water customer will have their service disrupted more than two (2) times throughout the duration of this project.

5.14.9 Fire hydrant relocations shall conform to applicable sections of Item 809 of the Columbus Construction and Material Specifications. Work shall consist of removing the existing hydrant, installing new 6" pipe and fitting as required to locate the fire hydrant 2 feet from back of proposed curb or 8 feet off edge of pavement, resetting hydrant and blocking as required. All 6" pipe shall be installed at 40' minimum cover. Hydrant extensions shall be provided per Item 810, as required. Relocated fire hydrants shall be adjusted to proper grade and faced in proper direction. When a hydrant is relocated fifteen (15) feet or more from the "Typical Hydrant Setting" valve location (see L-8409 & L-6637), an additional valve shall be installed, and restrained, within two (2) feet of the relocated hydrant. Payment is to be included under Item 809, Fire Hydrant Relocated.

6 OWNERS NOTES IF APPLICABLE

7 EROSION CONTROL

7.1 Control of erosion and sedimentation shall be in accordance with the City of New Albany Codified Ordinance chapter 1183.

7.2 Temporary Soil Erosion and Sediment Control

7.2.1 Erosion and sediment control measures are required as a part of this project. The erosion and sediment control plan reflects a schematic diagram of the intended measures for compliance with the required standards. General practice and/or site field conditions may warrant variation in the placement or use of the specific controls. Any variations shall be approved by the City Engineer.

7.2.2 The contractor in compliance with the NPDES General Permit for Storm Water Discharge associated with construction activity and in accordance with the City of New

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Engineer and at the contractor's expense as per the City of Columbus Construction and Material Specifications. Sedimentation and erosion control measures shall be required, the Engineer, Developer, or Contractor shall provide an exhibit during the final punch list inspection verifying that monuments have been placed at all property corners.

diameter through the pipe after pipe is backfilled and a sufficient amount of time is allowed for weight transfer of the backfill to the pipe and bedding, as required under CMSC Item 901.21. Testing shall be performed no sooner than 30 days after installation and backfilling.

4.14.6 Adjustments of manholes that would result in a chimney section greater than 24" high shall require adding another barrel section. Adjustments of manholes shall include the use of HDPE or concrete grade rings in addition to the requirements of CMS Section 804. Grade rings are not acceptable if the top of casting change in elevation exceeds nine inches. Use of brick to adjust the heights of castings is unacceptable. Payment shall be included within Item 604-Manhole Reconstructed to Grade, As Per Plan where depths of adjustments are greater than 9" and Item 604-Manhole Adjusted to Grade where depths of adjustments are less than 9".

5 WATER LINE

5.1 All water line and fire hydrant construction, material and specification shall be in accordance with "City of Columbus Construction and Material Specifications", 2018 edition and all revisions, including supplements and City of New Albany requirements including Chapter 539 of the City Code. Water main materials and installations shall be in accordance with the current rules, regulations and standard drawings of the City of Columbus, Division of Water with the exception of utilization of C900 PVC pipe. Use of C900 PVC pipe will not be permitted in New Albany unless otherwise approved by the City Engineer.

5.2 For any emergencies involving the water distribution system, please contact the Division of Water Distribution Maintenance Office at 614-645-7788.

5.3 Each fire hydrant shall be acceptable to the City of New Albany with two (2) 2-1/2" size nozzles and one (1) 5" integrated Storz fitting in place of pumper nozzle (no add-on fittings) in accordance with New Albany Fire specifications. Hydrants shall be in accordance with the CMCS. All public hydrants and nozzles shall receive 2 coats of New Albany Red (Federal Color Book 595, Color 11105). Private fire hydrants shall be painted red with white caps and bonnets. An additional fire hydrant for future maintenance purposes shall be delivered to the Public Service Department Building located at 7800 Bevelhymmer Road, New Albany, OH 43054 (Residential Subdivision Projects Only). Prior to final acceptance, fire hydrants shall be inspected and accepted by the Plain Township Fire Chief and the Public Service Department Building located at 7800 Bevelhymmer Road, New Albany, OH 43054. These inspections will be scheduled by contacting the New Albany Building Department at (614) 939-2254. All brass fittings associated with water work, including repairs to the existing system, shall conform to the revised allowable lead extraction limit per the updated NSF/ANSI 61 Standard. The Division of Water's Approved Materials List has been updated to reflect this requirement.

5.4 No water service construction before or after the water meter shall begin until permits are issued by the City of Columbus Division of Water. It shall be unlawful for

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Albany's Ordinance 1183, will be responsible for providing adequate erosion and sediment control measures along with proper maintenance and inspection. An erosion control maintenance log shall be kept on site in compliance with OEPA regulations. The log shall be available for public inspection.

7.3 Seeding

7.3.1 "Temporary seeding" No area for which grading has been completed shall be left unseeded or un-mulched for longer than 14 days. If permanent seed is not applied at this time, temporary seeding shall be done at the following rates:

March 1 to August 15		
Seed:	Oats	2 lbs./1,000 sq. ft.
Fertilizer:	(12:12:12)	12-½ lbs./1,000 sq. ft.
Mulch:	(Straw or Hay)	2 tons/acre

August 15 to November 1		
Seed:	Annual Rye	2 lbs./1,000 sq. ft.
Fertilizer:	(12:12:12)	12-½ lbs./1,000 sq. ft.
Mulch:	(Straw or Hay)	2 tons/acre

November 1 to March 1		
Mulch (ONLY):	(Straw or Hay)	2 tons/acre

7.3.2 "Permanent seeding" shall be done between March 15 and September 15. If seeding is done between September 15 and March 15, it shall be classified as "Temporary Seeding". Permanent seed shall be 40% Kentucky Bluegrass, 40% Creeping Red Fescue, 20% Annual Ryegrass.

7.3.3 Permanent seeding shall consist of fertilizing, watering and seeding rates indicated under Item 659. Seeding shall be applied within two (2) days after final grading or following seed bed preparation.

Rates of application of Item 659:		
Seed:	(12:12:12)	2 lbs./1,000 sq. ft.
Fertilizer:	(12:12:12)	25 lbs./1,000 sq. ft.
Mulch:	(Straw or Hay)	2 tons/acre

7.4 Stabilization of Denuded Areas

7.4.1 Denuded areas shall have soil stabilization applied within seven days if they are to remain dormant for more than fourteen - days.

7.4.2 Sheet flow runoff from denuded areas shall be filtered or diverted to a setting facility.

any person to perform any work on City of Columbus water line systems without first securing license to engage in such work, as indicated in Columbus City Code Section 1103.02 and 1103.06. This work includes any attachments, additions to or alterations in any city service pipe or appurtenances (including water service lines and taps). This requirement may be met by utilization of a subcontractor who holds a City of Columbus Water Contractor License or a Combined Water/Sewer Contractor License to perform this work. Utilization of a subcontractor must meet the licensing requirements of City of Columbus Building Code, in particular Section 414.119 and 414.529.

5.5 Water service taps 2" and smaller shall be Type K, soft temper copper tubing conforming with the requirements of 805.03 of the CMSC. The Contractor shall obtain the proper hydrant permits, and pay any applicable fees, for any approved hydrant usage deemed necessary for work under this improvement. Permits must be obtained from the New Albany Building Department prior to contacting the Division of Water Permit Office (645-7330). The Contractor shall adhere to all rules & regulations governing said permit and must have the original permit on site anytime in which the hydrant is in use. Cost to be included in the various bid items.

5.6 All water mains shall be disinfected in accordance with Section 801.15 of the City of Columbus Construction and Material Specifications. Special attention is directed to applicable sections of AWWA C-651. When water mains are ready for disinfection, the Contractor shall submit the survey coordinates to the Design Engineer for preparation of digital as-built drawings. The Design Engineer shall then submit three (3) SETS OF THE RED LINED "As-Built" plans (with survey coordinates) to the City Engineer. The City of New Albany Shall submit a letter stating that the waterlines have been pressure tested and need to be disinfected to the City of Columbus, Division of Water. The Contractor shall be responsible for all costs associated with the disinfection of all water mains constructed under this plan. All water mains shall be cleaned and flushed, and any water main 12-inch and larger must be properly pigged, in accordance with section 801.13 of the City of Columbus, Construction, and Material Specifications. Only one connection to an existing water line is permitted before disinfection of a new water line has been completed. All other connections must be made after the line has been disinfected.

The contractor and representatives from the City of New Albany shall meet with CCCCOW staff prior to installing blow-offs and taps to obtain pre-approval.

5.6.1.1 Any section of water main that is longer than 20 feet in length shall be chlorinated. Hand swabbing methods will only be permitted for sections less than or equal to 20 feet in length. Use unscented household bleach for hand swabbing of pipe and fittings. Please note that cut-in tees, sleeves, and any other required fittings or piping shall be taken into account and are included in the total length of the section (cut to cut).

5.6.1.2 Contractor shall adhere to the requirements of the Ohio Administrative Code Chapter 3745-63.02 Water Disruption of Service Rule. Excavate pits sufficiently below

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7.4.3 Sediment Barriers such as sediment fence or diversions to settling facilities shall protect adjacent properties and water resources from sediment transportation by sheet flow.

7.4.4 Prior to Construction Operations in a particular area, all sedimentation and erosion control features shall be in place. Field adjustments with respect to locations and dimensions may be made by the Engineer.

7.4.5 The Contractor shall place inlet protection for the erosion control immediately after construction of the catch basins or inlets, which are not tributary to a sediment basin or dam.

7.4.6 It may become necessary to remove portions of the barrier during construction to facilitate the grading operations in certain areas. However, the barrier shall be in place in the evening or during any inclement weather.

7.5 Maintenance

7.5.1 It is the Contractor's responsibility to maintain the sediment control features used on this project. The site shall be inspected periodically and within 24 hours of a significant rainfall. Records of these inspections shall be kept and made available to jurisdictional agencies if requested. Any sediment or debris which has reduced the efficiency of a structure shall be removed immediately. Should a structure or feature become damaged, the Contractor shall repair or replace at no additional cost to the Owner.

7.5.2 All Erosion & Sediment Control practices are subject to Field Modification at the direction of the City Engineer and/or Ohio EPA.

8 RIGHT OF WAY PERMITS

8.1 The contractor shall have all necessary permits before beginning construction. A permit is required to bury in public right-of-way. Permits may be required from more than one governing agency. The contractor shall notify the appropriate governing agency at least forty-eight hours in advance of commencement of work. On state right-of-way, call Ohio Department of Transportation, division of Highways Permit Expediter forty-eight hours in advance.

9 PAVEMENT REPLACEMENT

9.1 If any street or road within the City is damaged as a result of construction traffic related to Construction as determined by the City Engineer, all requested repairs shall be made by the Contractor. Existing pavement surfaces shall be video taped prior to

the area to be connected in order to maintain water levels below the water main. If water from the pit enters the existing main, contact the Division of Water immediately. Ensure that sufficiently sized pumps are utilized to remove water from the trench and back-up pumps are kept on site for redundancy.

5.7 All water mains shall be pressure tested in accordance with section 801.14 of the City of Columbus Construction and Material Specifications, with the following exception: 150 psi of pressure shall be maintained for at least two hours in any tested section. The City may not approve any test lasting less than two hours regardless of the amount of leakage.

5.8 Where indicated on the plans, the existing water main shall be abandoned; and any existing water services off this main shall be transferred to the new water main. Prior to abandonment of the existing water main, the proposed water main shall be pigged (if required), tested, chlorinated and put in service and then the existing water services shall be transferred. The Contractor shall maintain water services to all properties during construction of the new water main and shall notify all customers affected by the transfer of services. To ensure that all existing services are transferred to the new main, no water main shall be abandoned until the new water main has been put in service; all affected water services have been transferred; and the existing water main to be abandoned has been shut down for 24 hours. All visible valve boxes, fire hydrants, and service boxes on the water main to be abandoned, which will no longer be in service, shall be removed. All water mains to be abandoned shall be made water tight. The required surface restoration shall be paid for under the appropriate bid item(s).

5.9 Water service boxes shall be placed 1' from the edge of the proposed or existing sidewalk between the sidewalk and the curb, or 2 feet inside the right-of-way or easement line when no sidewalk is present or proposed. Refer to Standard Drawing L-9901 for additional information.

5.9 Maintain eighteen (18) inches vertical and ten (10) feet horizontal separation between any sanitary or storm sewer piping and all proposed water mains.

5.10 When Controlled Density Fill (Item 613, Type 3 Only within Public R/W) is to be used as backfill, the Contractor shall provide Size No. 57 Crushed Carbonate Stone (CCS) 1 foot below to 1 foot above the existing free water line.

5.11 All water lines installed within a 45 degree incline plain of pavement shall be backfilled with Item 912 (Type 1 Only) compacted granular backfill.

5.12 Survey Coordinates

5.12.1 Survey Coordinates shall include all material, equipment, and labor necessary to obtain horizontal and vertical (Northing, Easting, and Elevation) survey coordinates for the water main improvements. The survey coordinates shall be obtained for the completed water main construction and shall include all valves, tees, crosses, bends, deflections, plugs, reducers, tapping sleeves, blow offs, chlorination taps, fire hydrants, air releases, curb stops, casing pipe termini, and other fittings. Additional survey

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the pre-construction meeting by the Contractor and a copy of the tape is to be furnished to the City Engineer.

10 EXISTING UTILITIES

10.1 The identity and location of the existing underground utility facilities know to be located in the construction area have been shown on the plans as accurately as provided by the Owner of the underground utility. The City of New Albany and/or Engineer assumes no responsibility to the accuracy or the depths of the underground facilities shown on the plans.

10.2 Investigation, location, support, protection and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor. This work includes maintenance of adequate depth on all existing utility facilities. The Contractor is responsible to identify and coordinate field stakes out of all locations of possible grade conflicts with existing utilities prior to construction.

10.3 The Contractor is responsible for coordinating the relocation and/or protection of any utilities as required by the plan with the owner of the affected utility. Private utility manholes within the limits of the work shall be adjusted to grade by the respective utility. The cost of this work shall be included in the price bid for the project improvements.

10.4 Utility poles within the influence of the earthwork operations shall be reinforced by the utility company prior to these construction activities. Notification of the utility company prior to construction shall be the responsibility of the Contractor.

10.5 Abandonment (Capping, Etc.) of existing utility facilities (Amentech, Columbia Gas, American Electric Power) shall be performed by the respective utility company. Upon completion of same, the Contractor shall be responsible to remove any or all the necessary utility as required to complete the plan improvements. The cost of all removal along with the proper disposal thereof should be included in the price bid for the project improvement.

10.6 The Contractor shall cause notice to be given to the Ohio Utilities Protection Service (Telephone 800-382-2754, toll-free) and to the owner of the underground protection service if utilities who are not members of a registered underground protection service in accordance with Section 153.04 of the Revised Code. The above mentioned notice shall be given at least 48 hours prior to start of construction. The following utilities and Owners are located within the work limits of this project:

UTILITY	OWNER	TELEPHONE
Electric/FOC	AEP 880 Tech Center Drive Columbus, OH 43260	(614) 277-2177/ (614) 634-1007-Mike Fraley
Sanitary Sewer, &	City of New Albany	(614) 855-0076

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Storm Sewer, Water & Fiber Optic Cable (FOC)
Service Department
7800 Bevelhymmer Road
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City of Columbus (Division of Power & Water)
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Engineer and at the contractor's expense as per the City of Columbus Construction and Material Specifications. Sedimentation and erosion control measures shall be required, the Engineer, Developer, or Contractor shall provide an exhibit during the final punch list inspection verifying that monuments have been placed at all property corners.

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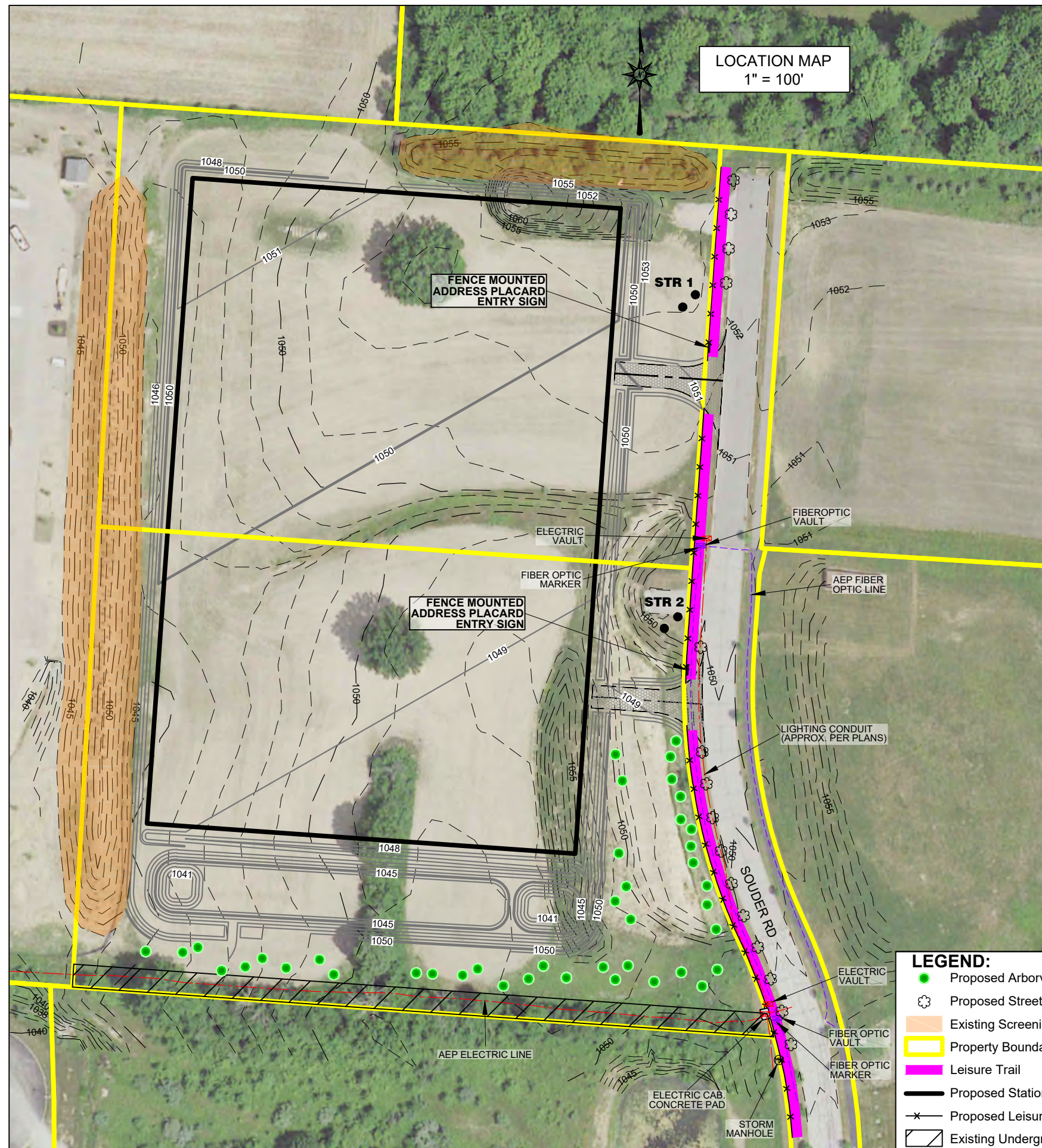
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NO	DATE	REVISION DESCRIPTION	APPR	DR	ENG	CK	ISSUE#
1	12/18/2024	ADDED POST CONSTRUCTION WATER QUALITY NOTE AND UPDATED QUANTITIES ON SHEET CU-GN01-S01. ADDED NOTE TO SHEET CU-EC02-S01 AND SHEET CU-EC02-S02. ADDED IMPERVIOUS AREAS TABLE TO SHEET CU-SL01-S01. ADDED POST CONSTRUCTION BMP TABLE ADDED MAJOR FLOOD ROUTING PATH, ADDED 100 FOOT MINIMUM CONSTRUCTION ENTRANCE NOTE, AND LABELED THE 100 YEAR WATER SURFACE ELEVATION OF THE BASIN ON SHEET CU-GP01-S01. ADDED EMERGENCY SPILLWAY CENTERLINE PROFILE TO SHEET CU-GS01-S01. ADDED CULVERTS AND HEADWATER ELEVATIONS TO ACCESS ROAD B PROFILE AND ADDED TYPICAL CULVERT C UNDER ACCESS ROAD B DETAIL ON SHEET CU-RP01-S01. UPDATED DITCH DIMENSION TABLE TO PROVIDE 100 YEAR STORM MAXIMUM WATER DEPTH ON SHEET CU-ED02-S01. UPDATED CULVERT DATA CHART TO PROVIDE VELOCITIES AND ADDED CONSTRUCTION ENTRANCE AS PART OF THIS PROJECT ON SHEET CU-ED02-S02.					

BAIR GOODIE		BAIR, GOODIE AND ASSOCIATES, INC. 153 NORTH BROADWAY STREET NEW PHILADELPHIA, OH 44663 TEL: 330-343-3499 FAX: 330-343-3505 WWW.BAIRGOODIE.COM		UNDERGROUND UTILITIES TWO WORKING DAYS CALL BEFORE YOU DIG Call: 800-362-2754 (Toll Free) OHIO UTILITIES	
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Green Giant Western Arborvitae
Quantity: 41
Height at planting: 6'±

4' Diameter at time of planting
7' Diameter after 5 years
10' Diameter after 10 years

Notes:

1. Plant spacing of 7' on center should provide approximately 100% opacity after 5 years. Tree rows should be planted 12' apart (if needed).
2. Plants expected to grow 1' per year.
3. Mature size: 25' height, 10' diameter
4. Trees to be planted 6' off of property line and easement.
5. Growth projections are approximate and require typical growing conditions.
6. Arborvitae or equivalent, depending on local nursery availability.

Quercus Rubra (Northern Red Oak)
Quantity: 15
Height at planting: 6'±

30' spacing center to center

Notes:

1. Shall be planted no less than thirty (30) feet apart
2. Shall be planted in the tree lawn (between the leisure trail and the road pavement)
3. Shall be planted a minimum of three (3) inches caliper dbh (trunk diameter at breast height)
4. Tree species on the list of undesirable species in the New Albany Code of Ordinances shall not be planted
5. Shall be planted in locations to maintain a twenty-five (25) foot sight triangle at street intersections
6. Shall be maintained by developer for one (1) year after planting. Replacing any tree which dies during this period

**BAIR
GOODIE**

NAD 83 Ohio State
Plane South

February 3, 2025



**CONCEPTUAL LANDSCAPE
PLAN
SHEET 1 OF 3**



Souder
Station

General Notes

1. Plant Materials. Plant materials include all trees, shrubs, perennial and vines, and plants required as part of the Work. Provide plant materials that are sourced from nurseries licensed by the Ohio Department of Agriculture or state equivalent, healthy specimens, typical of their species or variety, and that exhibit a normal habit of growth as set forth in the most current edition of the American Standard for Nursery Stock (ANSI Z60).

1.1. Location and Source of Supply. Supply the Engineer with complete and detailed information concerning the source of supply for each item of required plant material within 15 days after receiving the notice of award of the Contract. Ensure that all plant materials have been grown in the same hardiness zone or 1 zone colder than the project.

1.2. Transportation, Storage, and Handling. Transport all plants from nursery sources to the project site with the entire load completely covered for protection from drying winds. Thoroughly water all plants that cannot be immediately planted so as to keep the roots in a continually moist and protected condition. The TCR may reject plants that are not adequately protected during transportation and storage. Immediately remove all rejected plant materials from the project site. Handle all plant materials by the root ball or container.

1.3. Labeling. Attach legible labels to all specimens, or boxes, bundles, and other containers, indicating detailed information including, but not limited to, the botanical genus and the species name, the common name, the size or age of each species or variety and the quantity contained in the individual bundles or boxes. Remove all labels no more than two weeks prior to the completion of the establishment period. Notify the TCR prior to removing the plant material labels. Provide AEP copies.

1.4. Acceptance. Prior to acceptance by the Engineer, notify the Engineer when plant materials are delivered to the project site. Ensure that the plant species delivered are as described in the plans and are healthy, vigorous, and free from harmful plant diseases, and insect pests. Stockpiled materials can be inspected by ODA with advanced notice. Species substitutions must have written approval from the project engineer prior to delivery to the project. Do not install any plant materials until the TCR provides the Contractor with notification that the plant materials have been accepted.

1.5. Scheduling. Install all plant materials after March 15 and before June 1 or after September 15 and before November 30. Do not install plant materials in frozen or saturated soil conditions. Ensure a sufficient water supply is available to satisfy the requirements of 1. Plant Materials and 2. Watering.

1.6. Layout of Plant Materials. Before installation, use suitable staking to lay out the locations of all planting holes and beds. Provide the TCR with a scaled drawing that indicates the location, species, and size of plant materials required in the plan. Obtain the Engineer's approval of these locations before installation.

1.7. Backfill Mix. For all plantings, use backfill mix consisting of the following:
A. One part soil.
B. One part sphagnum peat moss, shredded pine bark, or EPA rated Class IV compost.
C. One part sand.

Do not use backfill mix that is frozen or muddy.

1.8. Planting
A. Planting Holes: Dig planting holes that have sloping side walls and are 'bowl shaped'. Slope the side walls to approximately 45 degrees. Dig the planting hole so that the diameter at the top is at least two times the diameter of the root ball. Dig the planting hole to the same depth as the root ball structure. Dig planting holes for vines and perennials to a minimum depth and diameter of 6 inches (150 mm). Make planting holes for rooted cuttings and tree seedlings large enough to accommodate the root system.

B. Planting Trees & Shrubs: Set each plant in the center of the planting hole, plumb, and straight at a level such that the top of the root structure (i.e., trunk flare or root collar) is 1 inch (25 mm) above the surrounding soil. Set the root ball on compacted or unexcavated soil to prevent settlement. Prior to backfilling the hole, remove all twine, bags, and roping. For trees shipped with wire baskets supporting the root structure, remove the top two-third of the wire basket from root balls. Remove all rot-proof burlap. Remove or fold down the top one-third of standard (biodegradable) burlap. Take care not to separate the soil of the root ball from the plant's root system. Cut or remove circling roots before planting. Backfill the planting hole with the backfill mix. Fill the hole gradually and settle the backfill with water to the top of the root structure. Do not place backfill mix in direct contact with the trunks or stems. Add backfill mix around the root structure up to the plant's root collar is at the soil surface.

1.9. Landscape Mulch. Provide Landscape Mulch that consists of shredded bark and shredded wood. The length of any individual component cannot exceed 2 inches (50 mm). Ensure that at least 75 percent of the mulch can pass a 1 inch (25 mm) screen. Landscape Mulch may contain up to 50 percent shredded wood. Wood chips are not acceptable. Provide mulch that is free of soil, rocks, and weeds, and that has been aged at least one year before installation.

Smooth and shape the backfill mix to form a shallow basin slightly larger than the planting hole. Mulch these areas with a 4 inch (100 mm) layer of Landscape Mulch uniform in texture and size. Do not place mulch in direct contact with the trunks of any trees. Rake and smooth all planting beds upon completion of the work.

1.10. Bracing. Use only flexible, biodegradable ties when bracing trees. Use bracing only in areas where mower damage, vandalism, or windy conditions are a concern or as directed by the Engineer. Install loose fitting ties that will not girdle the trunk. Ensure that the tie will allow trunk movement and growth. Install all bracing as shown on the standard construction drawing SCD 1.10-1

1.11. Period of Establishment. Before final inspection, install all plants and care for them for a period of establishment. The period of establishment begins immediately upon completion of the planting operations and continues until October 1.

The minimum period of establishment is one complete growing season, beginning June 1 and ending the following October 1. During the period of establishment, follow standard horticultural practices to ensure the vigor and growth of the transplanted material including watering (according to 2. Watering), re-mulching, re-staking, and cultivating as necessary. Prune branches of deciduous plants to preserve the natural characteristics of the species according to ANSI Pruning Standards (ANSI A300). Remove broken, damaged, and dead branches. Do not trim the central leader of trees. Completely remove weeds and grasses from the planted and mulched areas by weeding and mowing (around trees, shrubs, and bed edges) at least two times during the growing season. Weed and mow the first time on or about June 15 and again approximately 8 weeks later.

1.12. Final Acceptance. On or about October 1 at the end of the establishment period, the TCR, in coordination with the AEP's Environmental Services, will inspect the plantings and supply the Contractor with a list of plant materials that do not comply with the contract requirements. Install all replacement plantings in accordance with the contract requirements. Replacement plants are subject to a new establishment period. Care for, water and maintain the replacement plant materials throughout the new establishment period at no additional cost to AEP.

1.13. Removal of Stakes and Wrapping. After receiving notification from the Department of the date of the final inspection, remove all stakes and wrapping material from all plants not more than 14 days before the final inspection, with the exception of the replacement plantings that have not been in place for a full growing season.

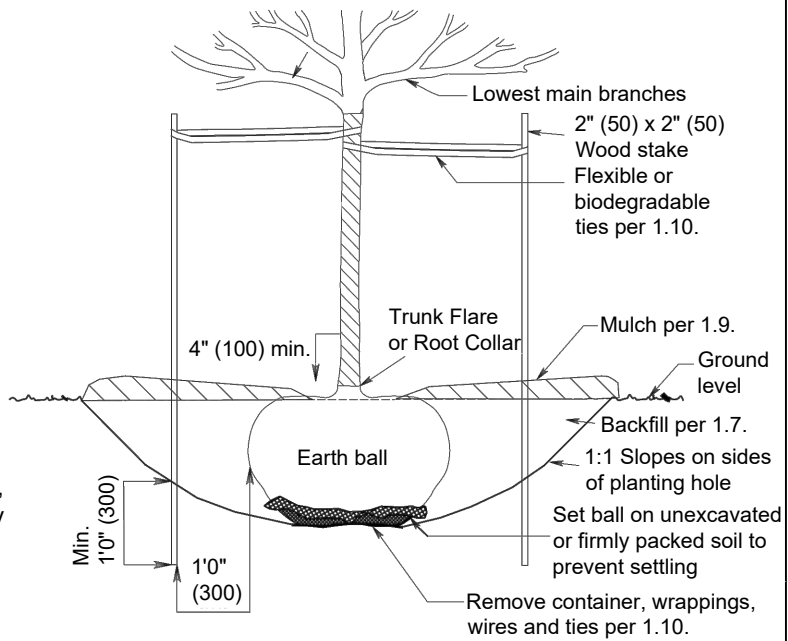
2. Watering. This work consists of furnishing, delivering, applying, measuring, and scheduling a sufficient amount of water necessary to keep each plant included in 1. Plant Materials in a healthy growing condition throughout the period of establishment and the Contract.

Furnish the water used in watering landscape plants. Thoroughly water all plant material at the time of planting regardless of soil moisture content. Continue to water throughout the period of establishment. Saturate the root zone and mulched area of each plant without causing run-off according to Table 2.1-1. During fall planting, continue to water until the ground is frozen and recommence watering after the spring thaw. Furnish a rain gauge approved by the Engineer.

2.1. Method of Measurement. The AEP TCR will measure Landscape Watering by the number of gallons (liters) delivered to plants from approved metered tanks or individually measured containers as follows:

Table 2.1-1	
Plant Description	Gallons (L)
Shrubs:	
12 to 36 inches (300 to 900 mm), height	4 (15)
36 inches to 5 feet (900 mm to 1.5 m), height	7 (25)
Trees:	
5 to 8 feet (1.5 to 2.5 m), height	15 (55)
2 to 3 inches (50 to 75 mm), caliper	25 (95)
3 to 4 inches (75 to 100 mm), caliper	30 (115)
Greater than 4 inches (100 mm), caliper	35 (130)

SCD 1.10-1



Top of hole shall be minimum of 2 x width of root ball

TREE PLANTING AND BRACING
PLANTING ON LEVEL GROUND

NAD 83 Ohio State Plane South

February 3, 2025

OVERVIEW MAP

CONCEPTUAL LANDSCAPE PLAN
SHEET 2 OF 3

Souder Station



SOUDER STATION LIGHTING STUDY

Design/Check

JHL/CML

Date

12/18/2024

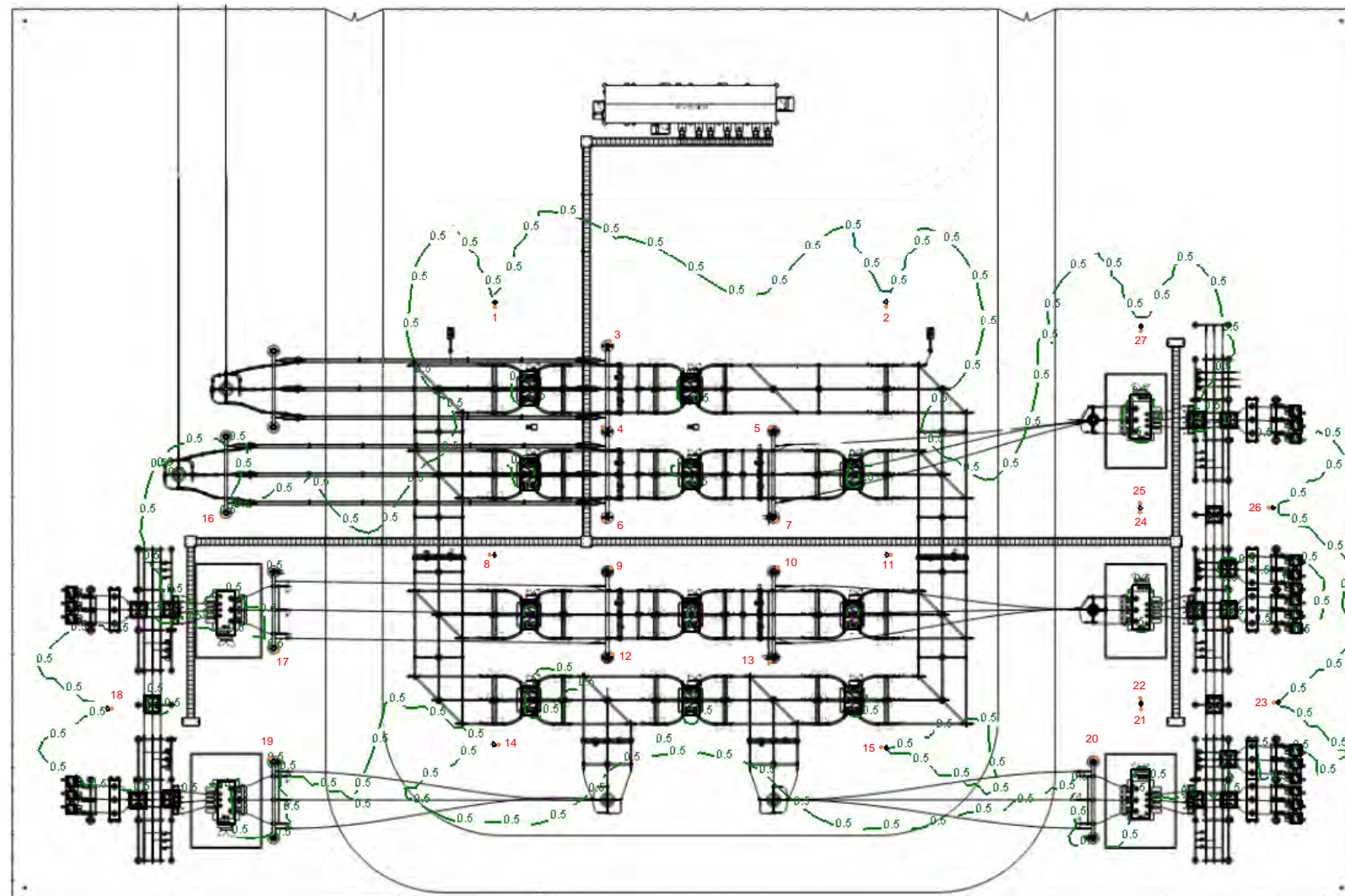
BPID

DP22C18B0/
DP22C18Z0

BOM

LED-004:(27) 57W

LED Lights



Default mounting height is 29'

PRELIMINARY

1155.01 - GENERAL PROVISIONS

- (a) Constitutional and Statutory Authority. The City of New Albany is a home rule charter municipality with the authority that has all powers possible for a municipality to have under the Constitution and laws of the State of Ohio (New Albany Charter Section 2.01). This authority includes the authority to hear appeals and variances in accordance with Chapter 1113 of the New Albany Codified Ordinances.
- (b) Findings of Fact. The City of New Albany has special flood hazard areas that are subject to periodic inundation which may result in loss of life and property, health and safety hazards, disruption of commerce and governmental services, extraordinary public expenditures for flood protection and relief, and impairment of the tax base. Additionally, structures that are inadequately elevated, floodproofed, or otherwise protected from flood damage also contribute to the flood loss. In order to minimize the threat of such damages and to achieve the purposes hereinafter set forth, these regulations are adopted.
- (c) Statement of Purpose. It is the purpose of these regulations to promote the public health, safety and general welfare, and to:
- (1) Protect human life and health;
 - (2) Minimize expenditure of public money for costly flood control projects;
 - (3) Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the general public;
 - (4) Minimize prolonged business interruptions;
 - (5) Minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in areas of special flood hazard;
 - (6) Help maintain a stable tax base by providing for the proper use and development of areas of special flood hazard so as to protect property and minimize future flood blight areas;
 - (7) Ensure that those who occupy the areas of special flood hazard assume responsibility for their actions;
 - (8) Minimize the impact of development on adjacent properties within and near flood prone areas;
 - (9) Ensure that the flood storage and conveyance functions of the floodplain are maintained;
 - (10) Minimize the impact of development on the natural, beneficial values of the floodplain;
 - (11) Prevent floodplain uses that are either hazardous or environmentally incompatible; and
 - (12) Meet community participation requirements of the National Flood Insurance Program.
- (d) Methods of Reducing Flood Loss. In order to accomplish its purposes, these regulations include methods and provisions for:
- (1) Restricting or prohibiting uses which are dangerous to health, safety, and property due to water hazards, or which result in damaging increases in flood heights or velocities;
 - (2) Requiring that uses vulnerable to floods, including facilities, which serve such uses, be protected against flood damage at the time of initial construction;
 - (3) Controlling the alteration of natural floodplains, stream channels, and natural protective

- barriers, which help accommodate or channel flood waters;
- (4) Controlling filling, grading, dredging, excavating, and other development which may increase flood damage; and,
 - (5) Preventing or regulating the construction of flood barriers, which will unnaturally divert flood, waters or which may increase flood hazards in other areas.
- (e) Lands to Which These Regulations Apply. These regulations shall apply to all areas of special flood hazard within the jurisdiction of the City of New Albany as identified in chapter 1155.01(f), including any additional areas of special flood hazard annexed by the City of New Albany.
- (f) Basis for Establishing the Areas of Special Flood Hazard. Any revisions to the maps and/or studies are hereby adopted by reference and declared to be a part of these regulations. Such maps and/or studies are on file at the city of New Albany, 7800 Bevelhymer Road, New Albany, Ohio 43054. For the purposes of these regulations, the following studies and/or maps are adopted:
- (1) Flood Insurance Rate Map for Franklin County, Ohio and Incorporated Areas, dated June 17, 2008.
 - (2) Flood Insurance Rate Map for Licking County, Ohio and Incorporated Areas, dated July 31, 2024.
 - (3) Flood Insurance Study for Franklin County, Ohio and Incorporated Areas, dated June 17, 2008.
 - (4) Flood Insurance Study for Licking County, Ohio and Incorporated Areas, dated July 31, 2024.
 - (5) Other studies and/or maps published by federal or state agencies, which may be relied upon for establishment of the flood protection elevation, delineation of the 100-year floodplain, floodways or delineation of other areas of special flood hazard, as designated for this purpose by the City Manager.
 - (6) Any hydrologic and hydraulic engineering analysis authored by a registered Professional Engineer in the State of Ohio which has been approved by the City of New Albany as required by chapter 1155.04(c) Subdivisions and Other New Developments.
- (g) Abrogation and Greater Restrictions. These regulations are not intended to repeal any existing ordinances including subdivision regulations, zoning or building codes. In the event of a conflict between these regulations and any other ordinance, the more restrictive shall be followed. These regulations are not intended to repeal, abrogate or impair any existing easements, covenants or deed restrictions. However, where this ordinance and another ordinance, easement, covenant or deed restriction conflict or overlap, whichever imposes the more stringent restrictions shall prevail.
- (h) Interpretation. In the interpretation and application of these regulations, all provisions shall be:
- (1) Considered as minimum requirements;
 - (2) Liberally construed in favor of the governing body; and,
 - (3) Deemed neither to limit nor repeal any other powers granted under state statutes.

Where a provision of these regulations may be in conflict with a state or federal law, such state or federal law shall take precedence over these regulations.

- (i) Warning and Disclaimer of Liability. The degree of flood protection required by these regulations is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. Larger floods can and will occur on rare occasions. Flood heights may be increased by man-made or natural causes. These regulations do not imply that land outside the areas of special flood hazard or uses permitted within such areas will be free from flooding or flood damage. These regulations shall not create liability on the part of the city of New Albany, any officer or employee thereof, or the Federal Emergency Management Agency, for any flood damage that results from reliance on these regulations or any administrative decision lawfully made thereunder.
- (j) Severability. Should any section or provision of these regulations be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the regulations as a whole, or any part thereof, other than the part so declared to be unconstitutional or invalid.

1155.02 - DEFINITIONS

Unless specifically defined below, words or phrases used in these regulations shall be interpreted so as to give them the meaning they have in common usage and to give these regulations the most reasonable application.

- (a) “Accessory Structure” means a structure on the same lot with, and of a nature customarily incidental and subordinate to, the principal structure.
- (b) “Appeal” means a request for review of the floodplain administrator’s interpretation of any provision of these regulations or a request for a variance.
- (c) “Base Flood” means the flood having a one percent chance of being equaled or exceeded in any given year. The base flood may also be referred to as the 1% chance annual flood or one-hundred (100) year flood.
- (d) “Base (100-Year) Flood Elevation (BFE)” means the water surface elevation of the base flood in relation to a specified datum, usually the National Geodetic Vertical Datum of 1929 or the North American Vertical Datum of 1988, and usually expressed in Feet Mean Sea Level (MSL). In Zone AO areas, the base flood elevation is the lowest adjacent natural grade elevation plus the depth number (from 1 to 3 feet).
- (e) “Basement” means any area of the building having its floor subgrade (below ground level) on all sides.
- (f) “Compensatory storage” means a design practice to ensure that an equivalent or greater amount of storage volume is provided to offset the loss of existing flood storage volume due to development.

- (g) “Development” means any manmade change to improved or unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations or storage of equipment or materials.
- (h) “Enclosure Below the Lowest Floor” see “Lowest Floor.”
- (i) “Executive Order 11988 (Floodplain Management)” means the issue by President Carter in 1977, this order requires that no federally assisted activities be conducted in or have the potential to affect identified special flood hazard areas, unless there is no practicable alternative.
- (j) “Federal Emergency Management Agency (FEMA)” means the agency with the overall responsibility for administering the National Flood Insurance Program.
- (k) “Fill” means a deposit of earth material placed by artificial means.
- (l) “Flood” or “Flooding” means a general and temporary condition of partial or complete inundation of normally dry land areas from:
1. The overflow of inland or tidal waters, and/or
 2. The unusual and rapid accumulation or runoff of surface waters from any source.
- (m) “Flood Insurance Rate Map (FIRM)” means an official map on which the Federal Emergency Management Agency or the U.S. Department of Housing and Urban Development has delineated the areas of special flood hazard.
- (n) “Flood Insurance Risk Zones” means zone designations on FHBMs and FIRMs that indicate the magnitude of the flood hazard in specific areas of a community. Following are the zone definitions:
- (1) “Zone A” means special flood hazard areas inundated by the 100-year flood in any given year; base flood elevations are not determined.
 - (2) “Zone AE” means special flood hazard areas inundated by the 100-year flood in any given year; base flood elevations are determined.
 - (3) “Zone AO” means special flood hazard areas inundated by the 100-year flood in any given year; with flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths are determined.
 - (4) Zone AH: Special flood hazard areas inundated by the 100-year flood in any given year; flood depths of 1 to 3 feet (usually areas of ponding); base flood elevations are determined.
 - (5) “Zone X (shaded)” means areas of 500-year flood; areas subject to the 100-year flood with average depths of less than 1 foot or with contributing drainage area less than 1 square mile; and areas protected by levees from the base flood.
 - (6) “Zone X (unshaded)” areas determined to be outside the 500-year floodplain.
- (o) “Flood Insurance Study (FIS)” means the official report in which the Federal Emergency Management Agency or the U.S. Department of Housing and Urban Development has provided flood profiles, floodway boundaries, and the water surface elevations of the base flood.

- (p) “Floodproofing” means any combination of structural and non-structural additions, changes, or adjustments to structures which reduce or eliminate flood damage to real estate or improved real property, water and sanitary facilities, structures and their contents.
- (q) “Flood Protection Elevation” means the Flood Protection Elevation, or FPE, is the base flood elevation plus two (2) feet of freeboard. In areas where no base flood elevations exist from any authoritative source, the flood protection elevation can be historical flood elevations, or base flood elevations determined and/or approved by the floodplain administrator.
- (r) “Floodway” means a floodway is the channel of a river or other watercourse and the adjacent land areas that have been reserved in order to pass the base flood discharge. A floodway is typically determined through a hydraulic and hydrologic engineering analysis such that the cumulative increase in the water surface elevation of the base flood discharge is no more than a designated height. In no case shall the designated height be more than one foot at any point within the community. The floodway is an extremely hazardous area, and is usually characterized by any of the following: Moderate to high velocity flood waters, high potential for debris and projectile impacts, and moderate to high erosion forces.
- (s) “Freeboard” means a factor of safety usually expressed in feet above a flood level for the purposes of floodplain management. Freeboard tends to compensate for the many unknown factors that could contribute to flood heights greater than the height calculated for a selected size flood and floodway conditions, such as wave action, obstructed bridge openings, debris and ice jams, and the hydrologic effect of urbanization in a watershed.
- (t) “Historic structure” means any structure that is:
- (1) Listed individually in the National Register of Historic Places (a listing maintained by the U.S. Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listings on the National Register;
 - (2) Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;
 - (3) Individually listed on the State of Ohio's inventory of historic places maintained by the Ohio Historic Preservation Office; or
 - (4) Individually listed on the inventory of historic places maintained by the City of New Albany, which program is certified by the Ohio Historic Preservation Office.
- (u) “Hydrologic and hydraulic engineering analysis” means an analysis performed by a professional engineer, registered in the State of Ohio, in accordance with standard engineering practices as accepted by FEMA, used to determine flood elevations and/or floodway boundaries.
- (v) “Letter of Map Change (LOMC)” means a Letter of Map Change is an official FEMA determination, by letter, to amend or revise effective Flood Insurance Rate Maps, Flood Boundary and Floodway Maps, and Flood Insurance Studies. LOMCs are broken down into the following categories:

- (w) “Letter of Map Amendment (LOMA)” means a revision based on technical data showing that a property was incorrectly included in a designated special flood hazard area. A LOMA amends the current effective Flood Insurance Rate Map and establishes that a specific property is not located in a special flood hazard area.
- (x) “Letter of Map Revision (LOMR)” means a revision based on technical data that, usually due to manmade changes, shows changes to flood zones, flood elevations, floodplain and floodway delineations, and planimetric features. One common type of LOMR, a LOMR-F, is a determination concerning whether a structure or parcel has been elevated by fill above the base flood elevation and is, therefore, excluded from the special flood hazard area.
- (y) “Conditional Letter of Map Revision (CLOMR)” means a comment by FEMA regarding a proposed project that would, upon construction, affect the hydrologic or hydraulic characteristics of a flooding source and thus result in the modification of the existing regulatory floodway, the effective base flood elevations, or the special flood hazard area. A CLOMR does not amend or revise effective Flood Insurance Rate Maps, Flood Boundary and Floodway Maps, or Flood Insurance Studies.
- (z) “Lowest floor” means the lowest floor of the lowest enclosed area (including basement or window wells) of a structure. This definition excludes an “enclosure below the lowest floor” which is an unfinished or flood resistant enclosure usable solely for parking of vehicles, building access or storage, in an area other than a basement area, provided that such enclosure is built in accordance with the applicable design requirements specified in these regulations for enclosures below the lowest floor.
- (aa) “Manufactured home” means a structure, transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. The term "manufactured home" does not include a "recreational vehicle". For the purposes of these regulations, a manufactured home includes manufactured homes and mobile homes as defined in Chapter 4781 of the Ohio Revised Code.
- (bb) “Manufactured home park” means as specified in the Ohio Adm. Code 4781-12-01(K), a manufactured home park means any tract of land upon which three or more manufactured homes, used for habitation are parked, either free of charge or for revenue purposes, and includes any roadway, building, structure, vehicle, or enclosure used or intended for use as part of the facilities of the park. A tract of land that is subdivided and the individual lots are not for rent or rented, but are for sale or sold for the purpose of installation of manufactured homes on the lots, is not a manufactured home park, even though three or more manufactured homes are parked thereon, if the roadways are dedicated to the local government authority. Manufactured home park does not include any tract of land used solely for the storage or display for sale of manufactured homes.
- (cc) “Mean sea level” means, for purposes of the National Flood Insurance Program, the National Geodetic Vertical Datum (NGVD) of 1929 or other datum, to which base flood elevations shown on a community's Flood Insurance Rate Map are referenced.

- (dd) “National Flood Insurance Program (NFIP)” means a Federal program enabling property owners in participating communities to purchase insurance protection against losses from flooding. This insurance is designed to provide an insurance alternative to disaster assistance to meet the escalating costs of repairing damage to buildings and their contents caused by floods. Participation in the NFIP is based on an agreement between local communities and the Federal government that states if a community will adopt and enforce floodplain management regulations to reduce future flood risks to all development in special flood hazard areas, the Federal government will make flood insurance available within the community as a financial protection against flood loss.
- (ee) “New construction” means structures for which the "start of construction" commenced on or after the effective date of a floodplain regulation adopted by the city of New Albany and includes any subsequent improvements to such structures.

For the purposes of determining insurance rates, structures for which the “start of construction” commenced on or after the effective date of an initial FIRM [August 2, 1995] and includes any subsequent improvements to such structures.

- (ff) “Person” means and includes any individual or group of individuals, corporation, partnership, association, or any other entity, including state and local governments and agencies. An agency is further defined in the Ohio Rev. Code §111.15(A)(2) as any governmental entity of the state and includes, but is not limited to, any board, department, division, commission, bureau, society, council, institution, state college or university, community college district, technical college district, or state community college. “Agency” does not include the general assembly, the controlling board, the adjutant general’s department, or any court.
- (gg) “Recreational vehicle” means a vehicle which is (1) built on a single chassis, (2) 400 square feet or less when measured at the largest horizontal projection, (3) designed to be self-propelled or permanently towable by a light duty truck, and (4) designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.
- (hh) “Registered Professional Architect” means a person registered to engage in the practice of architecture pursuant to Ohio Rev. Code §4703.01 and 4703.19.
- (ii) “Registered Professional Engineer” a person registered as a professional engineer pursuant to Ohio Rev. Code Chapter 4733.
- (jj) “Registered Professional Surveyor” means a person registered as a professional surveyor pursuant to Ohio Rev. Code Chapter 4733.
- (kk) “Riparian Area” means a transitional area between flowing water and land covered by terrestrial vegetation that provides a continuous exchange of nutrients and woody debris between land and water. This area is at least periodically influenced by flooding. Riparian areas, if appropriately sized and managed, help to stabilize banks, limit erosion, reduce flood size floes and/or filter and settle out runoff pollutants, or perform other functions consistent with the purposes of these regulations.

- (ll) “Special Flood Hazard Area” means also known as “Areas of Special Flood Hazard”, it is the land in the floodplain subject to a one percent or greater chance of flooding in any given year. Special flood hazard areas are designated by the Federal Emergency Management Agency on Flood Insurance Rate Maps and Flood Insurance Studies as Zones A, AE, AH, or AO. Special flood hazard areas may also refer to areas that are flood prone and designated from other federal state or local sources of data including but not limited to historical flood information reflecting high water marks, previous flood inundation areas, and flood prone soils associated with a watercourse.
- (mm) “Start of construction” means the date the building permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement, or other improvement was within 180 days of the permit date. The actual start means either the first placement of permanent construction of a structure on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond the stage of excavation; or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading, and filling; nor does it include the installation of streets and/or walkways; nor does it include excavation for a basement, footings, piers, or foundations or the erection of temporary forms; nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For a substantial improvement, the actual start of construction means the first alteration of any wall, ceiling, floor, or other structural part of a building, whether or not that alteration affects the external dimensions of a building.
- (nn) “Structure” means a walled and roofed building, manufactured home, or gas or liquid storage tank that is principally above ground.
- (oo) “Substantial Damage” means damage of any origin sustained by a structure whereby the cost of restoring the structure to the ‘before damaged’ condition would equal or exceed 50 percent of the market value of the structure before the damage occurred.
- (pp) “Substantial Improvement” means any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the "start of construction" of the improvement. This term includes structures, which have incurred "substantial damage," regardless of the actual repair work performed. The term does not, however, include:
- (1) Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions; or
 - (2) Any alteration of a "historic structure," provided that the alteration would not preclude the structure's continued designation as a "historic structure".
- (qq) “Variance” means a grant of relief from the standards of these regulations.
- (rr) “Violation” means the failure of a structure or other development to be fully compliant with these regulations.

1155.03 - ADMINISTRATION

- (a) Designation of the Floodplain Administrator. The City Manager or designee is hereby appointed to administer and implement these regulations and is referred to herein as the Floodplain Administrator.
- (b) Duties and Responsibilities of the Floodplain Administrator. The duties and responsibilities of the Floodplain Administrator shall include but are not limited to:
- (1) Evaluate applications for permits to develop in special flood hazard areas.
 - (2) Interpret floodplain boundaries and provide flood hazard and flood protection elevation information.
 - (3) Issue permits to develop in special flood hazard areas when the provisions of these regulations have been met, or refuse to issue the same in the event of noncompliance.
 - (4) Inspect buildings and lands to determine whether any violations of these regulations have been committed.
 - (5) Make and permanently keep all records for public inspection necessary for the administration of these regulations including Flood Insurance Rate Maps, Letters of Map Amendment and Revision, records of issuance and denial of permits to develop in special flood hazard areas, determinations of whether development is in or out of special flood hazard areas for the purpose of issuing floodplain development permits, elevation certificates, floodproofing certificates, variances, and records of enforcement actions taken for violations of these regulations.
 - (6) Enforce the provisions of these regulations.
 - (7) Provide information, testimony, or other evidence as needed during variance hearings.
 - (8) Coordinate map maintenance activities and FEMA follow-up.
 - (9) Conduct substantial damage determinations to determine whether existing structures, damaged from any source and in special flood hazard areas identified by FEMA, must meet the development standards of these regulations.
- (c) Floodplain Development Permits. It shall be unlawful for any person to begin construction or other development activity including but not limited to filling, grading, construction, alteration, remodeling, or expanding any structure; or alteration of any watercourse wholly within, partially within or in contact with any identified special flood hazard area, as established in chapter 1155.01(f), until a floodplain development permit is obtained from the Floodplain Administrator. Such floodplain development permit shall show that the proposed development activity is in conformity with the provisions of these regulations. No such permit shall be issued by the Floodplain Administrator until the requirements of these regulations have been met.
- (d) Application Required. An application for a floodplain development permit shall be required for all development activities located wholly within, partially within, or in contact with an identified special flood hazard area. Such application shall be made by the owner of the property or his/her authorized agent, herein referred to as the applicant, prior to the actual commencement of such construction on a form furnished for that purpose. Where it is

unclear whether a development site is in a special flood hazard area, the Floodplain Administrator may require an application for a floodplain development permit to determine the development's location. Such applications shall include, but not be limited to:

- (1) Site plans drawn to scale showing the nature, location, dimensions, and topography of the work area to be covered by the proposed floodplain development permit; the location of existing or proposed structures, fill, storage of materials, drainage facilities, and the location of the foregoing.
- (2) Elevation of the existing, natural ground where structures are proposed.
- (3) Elevation of the lowest floor, including basement, of all proposed structures.
- (4) Such other material and information as may be requested by the Floodplain Administrator to determine conformance with, and provide enforcement of these regulations.
- (5) Technical analyses conducted by the appropriate design professional registered in the State of Ohio and submitted with an application for a floodplain development permit when applicable:
 - A. Floodproofing certification for non-residential floodproofed structure as required in chapter 1155.04(e).
 - B. Certification that fully enclosed areas below the lowest floor of a structure not meeting the design requirements of chapter 1155.04(d)(5) are designed to automatically equalize hydrostatic flood forces.
 - C. Description of any watercourse alteration or relocation that the flood carrying capacity of the watercourse will not be diminished, and maintenance assurances as required in chapter 1155.04(i)(3).
 - D. A hydrologic and hydraulic analysis demonstrating that the cumulative effect of proposed development, when combined with all other existing and anticipated development will not increase the water surface elevation of the base flood by more than one foot in special flood hazard areas where the Federal Emergency Management Agency has provided base flood elevations but no floodway as required by chapter 1155.04(i)(2).
 - E. A hydrologic and hydraulic engineering analysis showing impact of any development on flood heights in an identified floodway as required by chapter 1155.04(i)(1).
 - F. Generation of base flood elevation(s) for subdivision and other new developments as required by chapter 1155.04(c).
 - G. Documentation of meeting the compensatory floodplain volume requirement per chapter 1155.04(j).
- (6) A Floodplain Development Permit Application Fee established by the City.

(e) Review and Approval of a Floodplain Development Permit Application.

- (1) Review.
 - A. After receipt of a complete application, the Floodplain Administrator shall review the application to ensure that the standards of these regulations have been met. No floodplain development permit application shall be reviewed until all information required in chapter 1155.03(d) has been received by the Floodplain Administrator.

B. The Floodplain Administrator shall review all floodplain development permit applications to assure that all necessary permits have been received from those federal, state or local governmental agencies from which prior approval is required. The applicant shall be responsible for obtaining such permits as required including permits issued by the U.S. Army Corps of Engineers under Section 10 of the Rivers and Harbors Act and Section 404 of the Clean Water Act, and the Ohio Environmental Protection Agency under Section 401 of the Clean Water Act.

(2) Approval.

Within thirty (30) days after the receipt of a complete application, the Floodplain Administrator shall either approve or disapprove the application. If the Floodplain Administrator is satisfied that the development proposed in the floodplain development application conforms to the requirements of this ordinance, the Floodplain Administrator shall issue the permit. All floodplain development permits shall be conditional upon the commencement of work within 180 days. A floodplain development permit shall expire 180 days after issuance unless the permitted activity has been substantially begun and is thereafter pursued to completion.

- (f) Inspections. The Floodplain Administrator shall make periodic inspections at appropriate times throughout the period of construction in order to monitor compliance with permit conditions.
- (g) Post-Construction Certifications Required. The following as-built certifications are required after a floodplain development permit has been issued:
- (1) For new or substantially improved residential structures, or nonresidential structures that have been elevated, the applicant shall have a *Federal Emergency Management Agency Elevation Certificate* completed by a registered professional surveyor to record as-built elevation data. For elevated structures in Zone A and Zone AO areas without a base flood elevation, the elevation certificate may be completed by the property owner or owner's representative.
 - (2) For all development activities subject to the standards of chapter 1155.03(k)(1), a Letter of Map Revision.
 - (3) For new or substantially improved nonresidential structures that have been floodproofed in lieu of elevation, where allowed, the applicant shall supply a completed *Floodproofing Certificate for Non-Residential Structures* completed by a registered professional engineer or architect together with associated documentation.
- (h) Revoking a Floodplain Development Permit. A floodplain development permit shall be revocable, if among other things, the actual development activity does not conform to the terms of the application and permit granted thereon. In the event of the revocation of a permit, an appeal may be taken to the Appeals Board in accordance with chapter 1155.05 of these regulations.
- (i) Exemption from Filing a Development Permit. An application for a floodplain development permit shall not be required for maintenance work such as roofing, painting, and basement

sealing, or for small nonstructural development activities (except for filling and grading) valued at less than \$2,500.

(j) State and Federal Development.

- (1) Development that is funded, financed, undertaken, or preempted by state agencies shall comply with minimum NFIP criteria.
- (2) Before awarding funding or financing or granting a license, permit, or other authorization for a development that is or is to be located within a 100-year floodplain, a state agency shall require the applicant to demonstrate to the satisfaction of the agency that the development will comply with minimum NFIP criteria and any applicable local floodplain management resolution or ordinance as required by Ohio Revised Code Section 1521.13. This includes, but is not limited to:
 - A. Development activities in an existing or proposed manufactured home park that are under the authority of the Ohio Department of Commerce and subject to the flood damage reduction provisions of the Ohio Administrative Code Section 4781-12.
 - B. Major utility facilities permitted by the Ohio Power Siting Board under Section 4906 of the Ohio Revised Code.
 - C. Hazardous waste disposal facilities permitted by the Hazardous Waste Siting Board under Section 3734 of the Ohio Revised Code.
- (3) Development activities undertaken by a federal agency and which are subject to Federal Executive Order 11988 – Floodplain Management.
 - A. Each federal agency has a responsibility to evaluate the potential effects of any actions it may take in a floodplain; to ensure that its planning programs and budget request reflect consideration of flood hazards and floodplain management; and to prescribe procedures to implement the policies and requirements of EO 11988.

(k) Map Maintenance Activities. To meet National Flood Insurance Program minimum requirements to have flood data reviewed and approved by FEMA, and to ensure that the city of New Albany's flood maps, studies and other data identified in chapter 1155.01(f) accurately represent flooding conditions so appropriate floodplain management criteria are based on current data, the following map maintenance activities are identified:

(1) Requirement to Submit New Technical Data.

- A. For all development proposals that impact floodway delineations or base flood elevations, the community shall ensure that technical data reflecting such changes be submitted to FEMA within six months of the date such information becomes available. These development proposals include:
 1. Floodway encroachments that increase or decrease base flood elevations or alter floodway boundaries;
 2. Fill sites to be used for the placement of proposed structures where the applicant desires to remove the site from the special flood hazard area;
 3. Alteration of watercourses that result in a relocation or elimination of the special flood hazard area, including the placement of culverts; and
 4. Subdivision or other new development proposals requiring the establishment of base flood elevations in accordance with chapter 1155.04(c).

- B. It is the responsibility of the applicant to have technical data, required in accordance with chapter 1155.03(k)(1), prepared in a format required for a Conditional Letter of Map Revision or Letter of Map Revision, and submitted to FEMA. Submittal and processing fees for these map revisions shall be the responsibility of the applicant.
- C. The Floodplain Administrator shall require a Conditional Letter of Map Revision prior to the issuance of a floodplain development permit for:
 - 1. Proposed floodway encroachments that increase the base flood elevation;
and
 - 2. Proposed development which increases the base flood elevation by more than one foot in riverine areas where FEMA has provided base flood elevations but no floodway.
- D. Floodplain development permits issued by the Floodplain Administrator shall be conditioned upon the applicant obtaining a Letter of Map Revision from FEMA for any development proposal subject to chapter 1155.03(k)(1)(A).

(2) Right to Submit New Technical Data.

The Floodplain Administrator may request changes to any of the information shown on an effective map that does not impact floodplain or floodway delineations or base flood elevations, such as labeling or planimetric details. Such a submission shall include appropriate supporting documentation made in writing by the City Manager (or designee) of the city of New Albany, and may be submitted at any time.

(3) Annexation / Detachment.

Upon occurrence, the Floodplain Administrator shall notify FEMA in writing whenever the boundaries of the City of New Albany have been modified by annexation or the community has assumed authority over an area, or no longer has authority to adopt and enforce floodplain management regulations for a particular area. In order that the city's Flood Insurance Rate Map accurately represent the city's boundaries, include within such notification a copy of a map of the city suitable for reproduction, clearly showing the new corporate limits or the new area for which the City has assumed or relinquished floodplain management regulatory authority.

(1) Data Use and Flood Map Interpretation. The following guidelines shall apply to the use and interpretation of maps and other data showing areas of special flood hazard:

- (1) In areas where FEMA has not identified special flood hazard areas, or in FEMA identified special flood hazard areas where base flood elevation and floodway data have not been identified, the Floodplain Administrator shall review and reasonably utilize any other flood hazard data available from a federal, state, or other source.
- (2) Base flood elevations and floodway boundaries produced on FEMA flood maps and studies shall take precedence over base flood elevations and floodway boundaries by any other source that reflect a reduced floodway width and/or lower base flood elevations. Other sources of data, showing increased base flood elevations and/or larger floodway areas than are shown on FEMA flood maps and studies, shall be reasonably used by the

Floodplain Administrator.

- (3) The Floodplain Administrator shall make interpretations, where needed, as to the exact location of the flood boundaries and areas of special flood hazard. A person contesting the determination of the location of the boundary shall be given a reasonable opportunity to appeal the interpretation as provided in chapter 1155.05, Appeals and Variances.
- (4) Where an existing or proposed structure or other development is affected by multiple flood zones, by multiple base flood elevations, or both, the development activity must comply with the provisions of this ordinance applicable to the most restrictive flood zone and the highest base flood elevation affecting any part of the existing or proposed structure; or for other developments, affecting any part of the area of the development.

(m) Use of Preliminary Flood Insurance Rate Map and/or Flood Insurance Study Data.

(1) Zone A:

- A. Within Zone A areas designated on an effective FIRM, data from the preliminary FIRM and/or FIS shall reasonably utilized as best available data.
- B. When all appeals have been resolved and a notice of final food elevation determination has been provided in a Letter of Final Determination (LFD), BFE and floodway data from the preliminary FIRM and/or FIS shall be used for regulating development.

(2) Zones AE, AH, and AO:

- A. BFE and floodway data from a preliminary FIS or FIRM restudy are not required to be used in lieu of BFE and floodway data contained in an existing effective FIS and FIRM. However:
 1. Where BFEs increase in a restudied area, communities have the responsibility to ensure that new or substantially improved structures are protected. Communities are encouraged to reasonably utilize preliminary FIS or FIRM data in instances where BFEs increase and floodways are revised to ensure that the health, safety, and property of their citizens are protected.
 2. Where BFEs decrease, preliminary FIS or FIRM data should not be used to regulate floodplain development until the LFD has been issued or until all appeals have been resolved.
- B. If a preliminary FIRM or FIS has designated floodways where none had previously existed, communities should reasonably utilize this data in lieu of applying the encroachment performance standard of chapter 1155.04(i)(2) since the data in the draft or preliminary FIS represents the best data available.

(3) Zone X:

- A. Use of BFE and floodway data from a preliminary FIRM or FIS are not required for areas designated as Zone X on the effective FIRM which are being revised to Zone AE, AH, or AO. Communities are encouraged to reasonably utilize preliminary FIS or FIRM data to ensure that the health, safety, and property of their citizens are protected.

- (n) Substantial Damage Determinations. Damages to structures may result from a variety of causes including flood, tornado, wind, heavy snow, fire, *etc.* After such a damage event, the Floodplain

Administrator shall:

- (1) Determine whether damaged structures are located in special flood hazard areas;
- (2) Conduct substantial damage determinations for damaged structures located in special flood hazard areas; and
- (3) Require owners of substantially damaged structures to obtain a floodplain development permit prior to repair, rehabilitation, or reconstruction.
- (4) Additionally, the Floodplain Administrator may implement other measures to assist with the substantial damage determination and subsequent repair process. These measures include issuing press releases, public service announcements, and other public information materials related to the floodplain development permits and repair of damaged structures; coordinating with other federal, state, and local agencies to assist with substantial damage determinations; providing owners of damaged structures materials and other information related to the proper repair of damaged structures in special flood hazard areas; and assist owners of substantially damaged structures with Increased Cost of Compliance insurance claims.

1155.04 - USE AND DEVELOPMENT STANDARDS FOR FLOOD HAZARD REDUCTION

The following use and development standards apply to development wholly within, partially within, or in contact with any special flood hazard area as established in chapter 1155.01(f), 1155.03(l)(1), or 1155.03(m):

(a) Use Regulations.

- (1) Permitted Uses. All uses not otherwise prohibited in this section or any other applicable land use regulation adopted by the City of New Albany are allowed provided they meet the provisions of these regulations.

(b) Water and Wastewater Systems. The following standards apply to all water supply, sanitary sewerage and waste disposal systems in the absence of any more restrictive standard provided under the Ohio Revised Code or applicable state rules:

- (1) All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems;
- (2) New and replacement sanitary sewerage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharge from the systems into flood waters; and,
- (3) On-site waste disposal systems shall be located to avoid impairment to or contamination from them during flooding.

(c) Subdivisions and Other New Developments.

- (1) All subdivision proposals and all other proposed new development shall be consistent with the need to minimize flood damage and are subject to all applicable standards in these regulations;
- (2) All subdivision proposals and all other proposed new development shall have public

- utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize or eliminate flood damage;
- (3) All subdivision proposals and all other proposed new development shall have adequate drainage provided to reduce exposure to flood damage; and
 - (4) In all areas of special flood hazard where base flood elevation data are not available, the applicant shall provide a hydrologic and hydraulic engineering analysis that generates base flood elevations for all subdivision proposals and other proposed developments containing at least 50 lots or 5 acres, whichever is less.
 - (5) The applicant shall meet the requirement to submit technical data to FEMA in chapter 1155.03(k)(1)(A)(4) when a hydrologic and hydraulic analysis is completed that generates base flood elevations as required by chapter 1155.04(c)(4).
- (d) Residential Structures. The requirements of chapter 1155.04(d) apply to new construction of residential structures and to substantial improvements of residential structures in zones A, AE, AO, and AH, when designated on the community's effective FIRM, and when designated on a preliminary or final FIRM issued by FEMA under the circumstances provided in chapter 1155.03(m).
- (1) New construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy. Where a structure, including its foundation members, is elevated on fill to or above the flood protection elevation, the requirements for anchoring (1155.04(d)(1)) and construction materials resistant to flood damage (1155.04(d)(2)) are satisfied.
 - (2) New construction and substantial improvements shall be constructed with methods and materials resistant to flood damage.
 - (3) New construction and substantial improvements shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or elevated so as to prevent water from entering or accumulating within the components during conditions of flooding.
 - (4) New construction and substantial improvement of any residential structure, including manufactured homes, shall have the lowest floor, including basement, elevated to or above the flood protection elevation.
 - (5) New construction and substantial improvements, including manufactured homes, that do not have basements and that are elevated to the flood protection elevation using pilings, columns, posts, or solid foundation perimeter walls with openings to allow the automatic equalization of hydrostatic pressure may have an enclosure below the lowest floor provided the enclosure meets the following standards:
 - A. Be used only for the parking of vehicles, building access, or storage; and
 - B. be designed and certified by a registered professional engineer or architect to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters; or
 - C. have a minimum of two openings on different walls having a total net area not less than one square inch for every square foot of enclosed area, and the bottom of all such openings being no higher than one foot above grade. The openings may be equipped with screens, louvers, or other coverings or devices provided that they permit the

automatic entry and exit of floodwaters.

- (6) Manufactured homes shall be affixed to a permanent foundation and anchored to prevent flotation, collapse or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy. Methods of anchoring may include, but are not limited to, use of over-the-top or frame ties to ground anchors.
- (7) Repair or rehabilitation of historic structures upon a determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and is the minimum necessary to preserve the historic character and design of the structure, shall be exempt from the development standards of chapter 1155.04(d).

(e) Nonresidential Structures. The requirements of chapter 1155.04(e) apply to new construction and to substantial improvements of nonresidential structures in zones A, AE, AO, and AH, when designated on the community's effective FIRM, and when designated on a preliminary or final FIRM issued by FEMA under the circumstances provided in chapter 1155.03(m).

- (1) New construction and substantial improvement of any commercial, industrial or other nonresidential structure shall meet the requirements of chapter 1155.04(d)(1)-(3) and (5)-(7).
- (2) New construction and substantial improvement of any commercial, industrial or other nonresidential structure shall either have the lowest floor, including basement, elevated to or above the level of the flood protection elevation; or, together with attendant utility and sanitary facilities, shall meet all of the following standards:

- A. Be dry floodproofed so that the structure is watertight with walls substantially impermeable to the passage of water to the level of the flood protection elevation;
- B. Have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy; and,
- C. Be certified by a registered professional engineer or architect, through the use of a *Federal Emergency Management Agency Floodproofing Certificate*, that the design and methods of construction are in accordance with chapter 1155.04(e)(2)(A) and (B).

(f) Accessory Structures. Structures that are 600 square feet or less which are used for parking and storage only are exempt from elevation or dry floodproofing standards within zones A, AE, AO, and AH designated on the community's FIRM. Such structures must meet the following standards:

- (1) They shall not be used for human habitation;
- (2) They shall be constructed of flood resistant materials;
- (3) They shall be constructed and placed on the lot to offer the minimum resistance to the flow of floodwaters;
- (4) They shall be firmly anchored to prevent flotation;
- (5) Service facilities such as electrical and heating equipment shall be elevated or floodproofed to or above the level of the flood protection elevation; and
- (6) They shall meet the opening requirements of chapter 1155.04(d)(5)(C);

(g) Recreational Vehicles. Recreational vehicles on sites within zones A, AE, AO, or AH must meet at least one of the following standards:

- (1) They shall not be located on sites in special flood hazard areas for more than 180 days, or
- (2) They must be fully licensed and ready for highway use, or
- (3) They must be placed on the site pursuant to a floodplain development permit issued under chapters 1155.03(c) and chapter 1155.03(d), and meet all standards of chapter 1155.04(d).

(h) Gas or Liquid Storage Tanks. Within zone A, AE, AO, or AH, new or substantially improved above ground gas or liquid storage tanks shall be anchored to prevent flotation or lateral movement resulting from hydrodynamic and hydrostatic loads.

(i) Assurance of Flood Carrying Capacity. Pursuant to the purpose and methods of reducing flood damage stated in these regulations, the following additional standards are adopted to assure that the reduction of the flood carrying capacity of watercourses is minimized:

(1) Development in Floodways

A. In floodway areas, development shall cause no increase in flood levels during the occurrence of the base flood discharge. Prior to issuance of a floodplain development permit, the applicant must submit a hydrologic and hydraulic analysis, conducted by a registered professional engineer, demonstrating that the proposed development would not result in any increase in the base flood elevation; or

B. Development in floodway areas causing increases in the base flood elevation may be permitted provided all of the following are completed by the applicant:

1. Meet the requirements to submit technical data in chapter 1155.03(k)(1);
2. An evaluation of alternatives, which would not result in increased base flood elevations and an explanation why these alternatives are not feasible;
3. Certification that no structures are located in areas that would be impacted by the increased base flood elevation;
4. Documentation of individual legal notices to all impacted property owners within and outside the community, explaining the impact of the proposed action on their property; and
5. Concurrence of the City Manager (or their designee) of the City of New Albany and the Chief Executive Officer (or their designee) of any other communities impacted by the proposed actions.
6. Submittal to and approval of a CLOMR by FEMA.

(2) Development in Riverine Areas with Base Flood Elevations but No Floodways

A. In riverine special flood hazard areas identified by FEMA where base flood elevation data are provided but no floodways have been designated, the cumulative effect of any proposed development, when combined with all other existing and anticipated development, shall not increase the base flood elevation more than 1.0 (one) foot at any point. Prior to issuance of a floodplain development permit, the applicant must submit a hydrologic and hydraulic analysis, conducted by a registered professional engineer, demonstrating that this standard has been met; or,

B. Development in riverine special flood hazard areas identified by FEMA where base

flood elevation data are provided but no floodways have been designated causing more than one foot increase in the base flood elevation may be permitted provided all of the following are completed by the applicant:

1. An evaluation of alternatives which would result in an increase of one foot or less of the base flood elevation and an explanation why these alternatives are not feasible;
2. chapter 1155.04(i)(1)(B), items (1) and (3)-(5).

(3) Alterations of a Watercourse. For the purpose of these regulations, a watercourse is altered when any change occurs within its banks. The extent of the banks shall be established by a field determination of the “bankfull stage.” The field determination of “bankfull stage” shall be based on methods presented in Chapter 7 of the *USDA Forest Service General Technical Report RM-245, Stream Channel Reference Sites: An Illustrated Guide to Field Technique* or other applicable publication available from a Federal, State, or other authoritative source. For all proposed developments that alter a watercourse, the following standards apply:

- A. The bankfull flood carrying capacity of the altered or relocated portion of the watercourse shall not be diminished. Prior to the issuance of a floodplain development permit, the applicant must submit a description of the extent to which any watercourse will be altered or relocated as a result of the proposed development, and certification by a registered professional engineer that the bankfull flood carrying capacity of the watercourse will not be diminished.
- B. Adjacent communities, the U.S. Army Corps of Engineers, and the Ohio Department of Natural Resources, Division of Water, must be notified prior to any alteration or relocation of a watercourse. Evidence of such notification must be submitted to the Federal Emergency Management Agency.
- C. The applicant shall be responsible for providing the necessary maintenance for the altered or relocated portion of said watercourse so that the flood carrying capacity will not be diminished. The Floodplain Administrator may require the permit holder to enter into an agreement with the City of New Albany specifying the maintenance responsibilities. If an agreement is required, it shall be made a condition of the floodplain development permit.
- D. The applicant shall meet the requirements to submit technical data in chapter 1155.03(k)(1)(A)(3) when an alteration of a watercourse results in the relocation or elimination of the special flood hazard area, including the placement of culverts.

(j) Compensatory Storage Required for Development. Development (including the placement of fill) within the area of special flood hazard shall result in no net loss of natural flood storage volume.

- (1) The volume of the loss of floodwater storage due to development (including the placement of fill) in the special flood hazard area shall be offset by providing additional flood storage volume by excavation or other compensatory measures at or adjacent to the development site. The additional flood storage volume provided shall be one hundred five percent (105%) or greater than the volume of floodwater storage loss due to development.

- (2) The compensation area must have an unrestricted hydraulic connection to the affected watercourse. First consideration shall be applied to expanding the existing 100-year floodplain of the watercourse.

- (k) Riparian Area Protection. Refer to the requirements of chapter 1171.03 of the New Albany Codified Ordinances.

1155.05: APPEALS AND VARIANCES

- (a) Appeals Board Established. The City of New Albany Planning Commission shall serve as the Appeals Board for matters relating to administration of this Chapter. Records of the Appeals Board shall be kept and filed at Village Hall, 99 W. Main Street, New Albany, Ohio.

- (b) Powers and Duties.

- (1) The Appeals Board shall hear and decide appeals where it is alleged there is an error in any order, requirement, decision or determination made by the Floodplain Administrator in the administration or enforcement of these regulations.

- (2) Authorize variances in accordance with chapter 1155.05(d) of these regulations.

- (c) Appeals.

Any person affected by any notice and order, or other official action of the Floodplain Administrator may request a hearing on the matter before the Appeals Board, following the process established in Chapter 1113 of the New Albany Codified Ordinances, provided however that such appeal shall be heard and decided by the Appeals Board as established in chapter 1155.05(a) of these regulations.

- (d) Variances.

Any person believing that the use and development standards of these regulations would result in unnecessary hardship may file an application for a variance as set forth in Chapter 1113 of the New Albany Codified Ordinances, provided however that such appeal shall be heard and decided by the Appeals Board established in chapter 1155.05(a) of these regulations. The Appeals Board shall have the power to authorize, in specific cases, such variances from the standards of these regulations, not inconsistent with Federal regulations, and as otherwise set forth in Chapter 1113 of the New Albany Codified Ordinances. Hearings shall be conducted as outlined in Chapter 159 of the New Albany Codified Ordinances.

- (1) Application for a Variance.

- A. Any owner, or agent thereof, of property for which a variance is sought shall make an application for a variance by filing it with the Floodplain Administrator, who upon receipt of the variance shall transmit it to the Appeals Board.
- B. Such application at a minimum shall contain the following information: Name, address, and telephone number of the applicant; legal description of the property; parcel map; description of the existing use; description of the proposed use; location of the floodplain; description of the variance sought; and reason for the variance

request.

(2) Public Hearing.

At such hearing the applicant shall present such statements and evidence as the Appeals Board requires. In considering such variance applications, the Appeals Board shall consider and make findings of fact on all evaluations, all relevant factors, standards specified in other sections of these regulations and the following factors (supporting factors):

- A. The danger that materials may be swept onto other lands to the injury of others.
- B. The danger to life and property due to flooding or erosion damage.
- C. The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner.
- D. The importance of the services provided by the proposed facility to the community.
- E. The availability of alternative locations for the proposed use that are not subject to flooding or erosion damage.
- F. The necessity to the facility of a waterfront location, where applicable.
- G. The compatibility of the proposed use with existing and anticipated development.
- H. The relationship of the proposed use to the comprehensive plan and floodplain management program for that area.
- I. The safety of access to the property in times of flood for ordinary and emergency vehicles.
- J. The expected heights, velocity, duration, rate of rise, and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site.
- K. The costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.

Variances shall only be issued upon (evaluation criteria):

- 1. A showing of good and sufficient cause.
- 2. A determination that failure to grant the variance would result in exceptional hardship due to the physical characteristics of the property. Increased cost or inconvenience of meeting the requirements of these regulations does not constitute an exceptional hardship to the applicant.
- 3. A determination that the granting of a variance will not result in increased flood heights beyond that which is allowed in these regulations; additional threats to public safety; extraordinary public expense, nuisances, fraud on or victimization of the public, or conflict with existing local laws.
- 4. A determination that the structure or other development is protected by methods to minimize flood damages.
- 5. A determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.

Upon consideration of the above factors and the purposes of these regulations, the Appeals Board may attach such conditions to the granting of variances, as it deems

necessary to further the purposes of these regulations.

(e) Other Conditions for Variances

- A. Variances shall not be issued within any designated floodway if any increase in flood levels during the base flood discharge would result.
- B. Generally, variances may be issued for new construction and substantial improvements to be erected on a lot of one-half acre or less in size contiguous to and surrounded by lots with existing structures constructed below the base flood level, providing items in chapter 1155.05(d)(2)(A) to (K) have been fully considered. As the lot size increases beyond one-half acre, the technical justification required for issuing the variance increases.
- C. Any applicant to whom a variance is granted shall be given written notice that the structure will be permitted to be built with a lowest floor elevation below the base flood elevation and the cost of flood insurance will be commensurate with the increased risk resulting from the reduced lowest floor elevation.

(f) Appeal to the Court.

Those aggrieved by the decision of the Appeals Board may appeal such decision to the Franklin County or Licking County Court of Common Pleas, pursuant to Ohio Rev. Code Chapter 2506.

1155.06 - ENFORCEMENT

(a) Compliance Required.

- (1) No structure or land shall hereafter be located, erected, constructed, reconstructed, repaired, extended, converted, enlarged or altered without full compliance with the terms of these regulations and all other applicable regulations which apply to uses within the jurisdiction of these regulations, unless specifically exempted from filing for a development permit as stated in chapter 1155.03(i).
- (2) Failure to obtain a floodplain development permit shall be a violation of these regulations and shall be punishable in accordance with chapter 1155.06(c).
- (3) Floodplain development permits issued on the basis of plans and applications approved by the Floodplain Administrator authorize only the use, and arrangement, set forth in such approved plans and applications or amendments thereto. Use, arrangement, or construction contrary to that authorized shall be deemed a violation of these regulations and punishable in accordance with chapter 1155.06(c).

(b) Notice of Violation. Whenever the Floodplain Administrator determines that there has been a violation of any provision of these regulations, he shall give notice of such violation to the person responsible therefore and order compliance with these regulations as hereinafter provided. Such notice and order shall:

- (1) Be put in writing on an appropriate form;
- (2) Include a list of violations, referring to the section or sections of these regulations that have been violated, and order remedial action, which, if taken, will affect compliance with the provisions of these regulations;

- (3) Specify a reasonable time for performance;
- (4) Advise the owner, operator, or occupant of the right to appeal;
- (5) Be served on the owner, occupant, or agent in person. However, this notice and order shall be deemed to be properly served upon the owner, occupant, or agent if a copy thereof is sent by registered or certified mail to the person's last known mailing address, residence, or place of business, and/or a copy is posted in a conspicuous place in or on the dwelling affected.

(c) Violations and Penalties.

Violation of the provisions of these regulations or failure to comply with any of its requirements shall be deemed to be a strict liability offense, and shall constitute a fourth degree misdemeanor. Any person who violates these regulations or fails to comply with any of its requirements shall upon conviction thereof be fined or imprisoned as provided by the laws of the city of New Albany. Each day such violation continues shall be considered a separate offense. Nothing herein contained shall prevent the city from taking such other lawful action as is necessary to prevent or remedy any violation. The city shall prosecute any violation of these regulations in accordance with the penalties stated herein.

CHAPTER 1171 LANDSCAPING¹

1171.03 PRESERVATION OF NATURAL FEATURES.

- (a) Good faith effort shall be made to preserve natural vegetation areas. Streets, lots, structures and parking areas shall be laid out to avoid unnecessary destruction of heavily wooded areas or outstanding tree specimens.
- (b) If an area is determined to be a wetland, it shall be preserved or mitigated in compliance with Federal regulations.
- (c) All streams designated as either perennial or intermittent on a publication of the United States Geological Survey (ex. The National Map) with a drainage area greater than fifty (50) acres and their riparian corridors shall be preserved to the extent practicable. Impacts to these areas are prohibited, except as authorized herein.
 - 1. Proposed stream impacts under the jurisdiction of state and/or federal agencies shall be subject to permit conditions issued by the applicable agencies and all associated mitigation requirements. The project owner shall submit evidence of all such permits obtained for the proposed work to the City Engineer.
 - 2. The riparian corridor to be preserved shall be established as follows:
 - a. The corridor width shall be a minimum of one hundred (100) feet, with at least twenty-five (25) feet on each side of the centerline of the stream.
 - 3. The following activities are permissible to occur within the riparian corridor:
 - a. Passive uses including hiking, fishing, picnicking, and similar uses. Construction of paved trails to further such passive recreation uses is permitted.
 - b. Vegetation removal on existing levees and dikes.
 - c. Activities by City personnel that are necessary to maintain the function of any open watercourse.
 - d. Removal of damaged or diseased trees.
 - e. Revegetation and/or reforestation with plantings of native species.
 - f. Public utility crossings (Those utilities owned by the City or any entity contracting with the City).
 - g. Street crossings that are perpendicular, or as perpendicular to the riparian corridor as feasible.
 - h. Private drive crossings.

¹Cross reference(s)—Injury to trees and growing products - see GEN. OFF. 541.06

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- i. Excavation for providing compensatory floodplain volume immediately adjacent to the channel.
 - j. Storm sewer pipe outfalls where level spreaders located outside of the riparian protected corridor are determined to be not feasible.
 - k. Construction activities associated with properly permitted stream restoration projects.
 - l. Disturbances resulting from permitted stream and/or wetland mitigation projects provided the mitigation is to offset impacts to local protected wetlands.
 - m. Activities related to enhancement of existing wetlands
 - n. Encroachments into the riparian corridor that existed prior to April 18, 2025, and
 - o. Other activities determined to be in the interests of the City of New Albany, as determined by the City Engineer.

Commented [AS1]: Effective date of this code revision

(d) Floodplain areas should be incorporated into the open spaces and is encouraged to be made publicly accessible.

(Ord. 30-2007. Passed 8-21-07.)