



New Albany Planning Commission Meeting Agenda
Monday, April 21, 2025 at 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comments at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes: April 7, 2025

IV. Additions or corrections to the agenda

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

V. Hearing of visitors for items not on tonight's agenda

VI. Cases:

FDP-05-2025 AEP Substation

Final development plan to allow for construction of an AEP electrical substation on 9.50 acres located at 7375 Souder Road (PID: 222-002282).

Applicant: AEP Ohio Transmission Company Inc.

Motion of acceptance of staff reports and related documents into the record for FDP-05-2025.

Motion of approval for application FDP-05-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FDM-19-2025 Speedway FDP Amendment

Modification to the approved final development plan to allow 5 additional parking spaces for an approved Speedway gas station located at the northwest corner of Mink Street and Innovation Campus Way (PID: 093-107478-00.002).

Applicant: J. Carter Bean Architect LLC

Motion of acceptance of staff reports and related documents into the record for FDM-19-2025.

Motion of approval for application FDM-19-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FDM-21-2025 Courtyards at Haines Creek

Modification to the approved final development plan for review and approval of a private clubhouse on 1.5 acres located at the northwest corner of Central College Road and Jug Street Rd NW (PID: 222-005497).

Applicant: EC New Vision Ohio LLC

Motion of acceptance of staff reports and related documents into the record for FDM-21-2025.

Motion of approval for application FDM-21-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FDP-20-2025 Canini Medical Office Building

Final development plan to allow for the construction of two medical office buildings on 2.06 acres located on Forest Drive (PID: 222-004888).

Applicant: Canini & Associates LLC

Motion of acceptance of staff reports and related documents into the record for FDP-20-2025.

Motion of approval for application FDP-20-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VAR-24-2025 Canini Lot Split

Variance to codified ordinance 1153.04(b) to allow the creation of a lot that does not front on a public or private street located on Forest Drive (PID: 222-004888).

Applicant: Canini & Associates LLC

Motion of acceptance of staff reports and related documents into the record for VAR-24-2025.

Motion of approval for application VAR-24-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FPL-23-2025 Final Plat

Final Plat for the dedication of public right-of-way for Ganton Parkway West Phase 3B located west of Beech Road, south of Worthington Road, and east of Babbitt Road.

Applicant: City of New Albany

Motion of acceptance of staff reports and related documents into the record for FPL-23-2025.

Motion of approval for application FPL-23-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VII. Other business

1. FDP Major/Minor Modifications Workshop
2. Annual Organizational Meeting
 - Elect Chairperson
 - Elect Vice-Chairperson
 - Elect Secretary
 - Establish date, time, and location for 2025 informal and regular meetings

*Attendance is defined as in-person presence during the hearing and consideration of applications without a conflict of interest before that commission/board at that meeting. Attendance of all currently serving members of the commission/board is encouraged, and three (3) consecutive absences by any member or four (4) absences in any 12-month period shall be considered grounds for the forfeiture of the membership to the commission/board. The forfeiture would occur unless the commission/board member's absence is "excused," as determined in the sole discretion of City Council, due to an illness, injury, or other emergency circumstance of the member, or an immediate family member. Upon the occurrence of the absence that creates the grounds for forfeiture, the applicable department designee and/or a council member will then notify the clerk of council who will inform the full council that action concerning the appointment is required. C.O. 159.02(d).

VIII. Poll members for comment

IX. Adjournment



New Albany Planning Commission
April 7, 2025 Meeting Minutes - DRAFT

I. Call to order

The New Albany Planning Commission held an informal meeting on Monday, April 7, 2025 in the New Albany Village Hall. Chair Kirby called the meeting to order at 7:01 p.m. and asked to hear the roll.

Those answering the roll:

Mr. Kirby	present
Mr. Wallace	absent
Mr. Schell	present
Ms. Briggs	present
Mr. Larsen	absent
Council Member Wilttrout	present

Having three voting members present, the commission had a quorum to transact business.

Staff members present: Law Director Albrecht, Development Engineer Albright, Planner Bennett, Planner Blackburn, Planning Manager Christian, Planner Henderson, Deputy Clerk Madriguera.

II. Action on minutes: March 3, 2025

Chair Kirby asked if there were any corrections to the minutes from the March 3, 2025 meeting.

Hearing none, commissioner Schell moved to approve the March 3, 2025 meeting minutes. Chair Kirby seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll. Upon roll call: Mr. Schell yes, Mr. Kirby yes, Ms. Briggs yes. Having three yes votes, the motion passed and the March 3, 2025 meeting minutes were approved as submitted.

IV. Additions or corrections to the agenda

Chair Kirby asked whether there were any additions or corrections to the agenda.

Planning Manager Christian answered yes, the Community Development Department had hired two new city planners. The new planners would be reviewing development applications and presenting them to the commission.

Planners Bennett and Henderson introduced themselves to the commission.

The commission welcomed the new planners.

Chair Kirby administered the oath to all present who would be addressing the commission.

V. Hearing of visitors for items not on tonight's agenda

Chair Kirby asked whether there were any visitors present who wished to address the commission for an item not on the agenda.

Hearing none, Chair Kirby introduced the first and only case on the agenda and asked to hear the staff report.

VI. Cases:

ZC-10-2025 Clover Valley Expansion Zoning District

Request to rezone approximately 15.5+/- acres located at 12525 Jug Street Road from Infill Planned Unit Development (I-PUD) to Limited General Employment (L-GE) for an area to be known as the Clover Valley Expansion Zoning District (Parcel ID: 095-112056-00.006 and 095.112188-00.000).

Applicant: Jack Reynolds

Planner Blackburn delivered the staff report.

Chair Kirby asked for comments from engineering.

Development Engineer Albright delivered the engineering report.

Applicant Jack Reynolds, counsel for the property owners, EdgeConneX MCN, New Albany South Propco 1 LLC spoke in support of the application. He explained that the existing use of the property was used by the Kennel Club and used as a dog kennel which was rezoned to the I-PUD zoning classification in 2022. The current property owner would like to use the property for further development of the property to the south so the request is to re-zone to the L-GE district in accordance with the abutting properties. Rezoning the property to L-GE will have no impact on adjacent nor proximate properties as they are all zoned L-GE and the proposed use will compliment the existing uses in the area. The applicants had been in discussion with DRC. Further there will be no impact on the student population as there is no residential use associated with the proposed L-GE district. He stated that they agree with the engineering comments and staff recommendations. AEP has inadequate resources to serve this site, as a result the developer will be using gas to power the development to the south and there is a proposal to provide gas meter area of about 75x75 around the 50 foot setback along the Jug Street Road frontage. Within that area will be meters and piping to serve the meters. The meters will be enclosed by a 8-10 foot wall. The roofless utility structure will not be infringing on the 50-foot pavement setback but will be infringing on the 100-foot building setback. It is not a building but it is a structure. He asked whether that was adequate for staff.

Planning Manager Christian thanked him and said the additional context was helpful. He further stated that it was common for screening to be located in the building setback. He further clarified that this structure did not meet the criteria for a building so staff was satisfied that it was not a building and that the language as proposed meets code requirements.

Commissioner Schell asked whether there would be additional screening.

Planning Manager Christian said it was possible depending on what it was for and that there likely would be additional screening required during the permitting process. He further stated that staff would be comfortable modifying the text to say that all utility screening and that structures that are not buildings could be permitted subject to staff approval.

Commissioner Schell requested that Mr. Reynolds indicate the location of the proposed structure on the site plan.

Mr. Reynolds indicated the location – away from Clover Grove and toward the AEP substation. He reiterated that the equipment would be screened by a wall.

Planning Manager Christian stated that staff would be comfortable modifying the language to provide for permitted structures.

Chair Kirby agreed and stated that there would be no buildings in the setback area where the allowed structures are. It would be like a one bedroom structure.

Mr. Reynolds said yes, and added that it would not have a roof on it.

Commissioner Briggs asked whether there is a newer roundabout at this intersection, or whether it has it been widened.

Planning Manager Christian responded that there is not a roundabout at this intersection, but it had recently been improved.

Engineer Albright added that the section of Clover Valley is completely new and that Clover Valley has been widened.

Commissioner Briggs noted that Mr. Reynolds had mentioned DRC a number of times and asked what DRC is.

Mr. Reynolds responded that DRC is the Design Review Committee.

Chair Kirby remarked that it is the business park's design regulatory body.

Chair Kirby asked whether there was anyone from the public who wished to comment on the application. Hearing none, he asked whether there were any further questions.

Mr. Reynolds remarked that they might want to work on the language stating that all utilities are underground as this was a utility that would be above ground. Thus it would be helpful to distinguish this project.

Planning Manager Christian responded that that language does not apply to Power Siting Board utility projects.

Chair Kirby reviewed the conditions:

1. That the applicant comply with the engineering comments.
2. That there are no buildings in the setback.
3. That structures in the setback must be approved by staff, and the intent of the commission is that they are located in the northwest area of the property.

Chair Kirby moved to accept the staff reports and related documents into the record for ZC-10-2025. Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Ms. Briggs yes, Mr. Schell yes. Having three yes votes, the motion passed and the staff reports and related documents were accepted into the record for ZC-10-2025.

Chair Kirby moved for approval of application ZC-10-2025 based on the findings in the staff report with the conditions in the staff report, subject to staff approval and the following conditions:

1. That the applicant comply with the engineering comments.
2. That there are no buildings in the setback area where the structure will be permitted.
3. That structures in the setback must be approved by staff, and the intent of the commission is that they are located in the northwest area of the property.

Planning Manager Christian clarified that staff's recommendation was the location of the structure be subject to staff approval.

Chair Kirby remarked that the condition seeks to place limits on the exception, thus comment three would be that the structure would be in the setback where it would not otherwise be permitted.

Mr. Reynolds added that it was his belief that there would not be a structure along Clover Valley.

Chair Kirby stated that the commission's intent is that it was in the northwest corner, but the language would provide that placement of the structure would be subject to staff approval.

Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll. Upon roll call: Mr. Kirby yes, Ms. Briggs yes, Mr. Schell yes. Having three yes votes, the motion passed and the ZC-10-2025 was favorably recommended to council for passage.

VII. Other business

1. City Code Amendment: C.O. 1154 Technology Manufacturing District

Planning Manager Christian delivered the staff report. The proposed amendment, if enacted, will apply to residential setbacks for primary projects, and will provide development standards for Advanced Fabric Structures. Currently, the Bermuda residential subdivision is the only area that will be affected.

Commissioner Schell asked how many lots are in the Bermuda residential subdivision.

Planning Manager Christian answered that there are less than 30.

Commissioner Briggs asked what size they are.

Tom Rubey, New Albany Company, approached the lectern and said that the lots vary in size, some are as big as a five acres.

Planning Manager Christian explained the second change involved regulations for advanced fabric structures are already being constructed in New Albany for use as data centers. The Kegler-Brown law firm assisted in the drafting of this language. New Albany's current code is silent on these structures. The proposed regulations

address how they will be used. Staff does not want these structures to pop up everywhere.

Commissioner Schell asked whether a change in the code such as this required neighbor notification, and whether the residents of the Bermuda residential subdivision had been notified.

Planning Manager Christian answered no. There was no neighbor notification requirement for the change to the code and to this change in the setback. The structures are already being used, these regulations establish criteria for use. The proposed regulations are consistent with the regulations for the rest of the business park.

Chair Kirby asked whether anyone from the public wished to comment on the proposed code amendment.

Hearing none, Commissioner Briggs moved to favorably recommend the proposed code amendment to the New Albany City Council. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Ms. Briggs yes, Mr. Schell yes, Mr. Kirby yes. Having three yes votes, the motion passed and the proposed code amendment was favorably recommended to the New Albany City Council.

VIII. Poll members for comment

Having no further cases or other business, Chair Kirby polled the commissioners for comment.

IX. Adjournment

Hearing no comment and having no further business, Chair Kirby adjourned the April 7, 2025 informal meeting of the New Albany Planning Commission at 7:38 p.m. without objection.

Submitted by: Deputy Clerk Madriguera, Esq.

Appendix

ZC-10-2025

Staff Report

Record of Action

**NEW
ALBANY**
COMMUNITY CONNECTS US
Planning Commission Staff Report
April 07, 2025 Meeting

**CLOVER VALLEY EXPANSION ZONING DISTRICT
ZONING AMENDMENT**

LOCATION: 15.504 +/- acres located at 12525 Jug Street Rd in Licking County (PIDs: 095-1112056-00.006 & 095-112188-00.000).
APPLICANT: EdgeConneX MCN c/o Jack Reynolds
REQUEST: Zoning Change
ZONING: Infill Planned Development (I-PUD) to Limited General Employment (L-GE).
STRATEGIC PLAN: Employment Center
APPLICATION: ZC-10-2025

Review based on: Application materials received on February 02, 2025

Staff report completed by Kylie Blackburn, Planner

I. REQUEST AND BACKGROUND

The applicant requests a review for the rezoning of 15.504 +/- acres. The request proposes to create a new zoning district to be known as the “Clover Valley Expansion Zoning District” by zoning the area to Limited General Employment (L-GE) from Infill Planned Development (I-PUD).

The proposed zoning text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts, such as the Mink Street West Zoning District, which is located directly to the east and southeast of this site.

II. SITE DESCRIPTION & USE

The overall site consists of two parcels located within Licking County. The zoning district is generally located to the south of Jug Street and west of Clover Valley Road. The neighboring uses and zoning districts include L-GE and TMD (Technology Manufacturing District). The site is developed, currently home to the Kennel Club USA site.

III. PLAN REVIEW

Planning Commission’s review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.10. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to the city council. The staff review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.

- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

Engage New Albany Strategic Plan

The 2020 Engage New Albany strategic plan designates the area as the Employment Center District future land use category. The strategic plan lists the following development standards for the Employment Center District land use category:

1. No freeway / pole signs are allowed.
2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
4. Sites with multiple buildings should be well organized and clustered if possible.
5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
6. All office developments should plan for regional stormwater management.
7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
9. Combined curb cuts and cross-access easements are encouraged.
10. The use of materials, colors, and texture to break up large-scale facades is required.

A. Use, Site, and Layout

1. The proposed text permits both permitted and conditional uses outlined in the GE, General Employment District. Permitted uses include a mix of industrial and other employment-generating activities.
2. In addition, the following uses shall be prohibited:
 - a. Industrial product sales (See Section 1153.03 (a)(1))
 - b. Industrial services (See Section 113.03(a)(2))
 - c. Mini-warehouses (See Section 1153.03(a)(4)(c)) For purposes of clarification, this prohibition only applies to such facilities that are made available for rental to the general public
 - d. Personal service (See Section 1153.03(b)(2)) and retail product sales and service (See Section 1153.03(b)(3)), except that such uses shall be allowed as accessory uses to a permitted use;
 - e. Vehicle services (See Section 1153.03(b)(4));
 - f. Radio/television broadcast facilities (See Section 1153.03(c)(1));
 - g. Sexually-oriented businesses (See Section 1153.03(c)(3)); and
 - h. Off-premises signs (See Section 1153.03(c)(2)).
3. The proposed L-GE text requires the following setbacks:
 - a. Jug Street: There shall be a minimum pavement setback of 50 feet and a minimum building setback of 100 feet from the Jug Street right-of-way.
 - b. Clover Valley Road: There shall be a minimum pavement setback of 25 feet and a minimum building setback of 50 feet from the Clover Valley Road right-of-way.
 - c. Perimeter Boundaries: There shall be a minimum pavement and building setback of 25 feet from all perimeter boundaries for which another setback requirement is not provided in the text.
 - d. Elimination of Setbacks: In the event that a parcel located within this Zoning District and an adjacent parcel located within or outside of this Zoning District (i) come under common ownership or control, (ii) are zoned to allow compatible non-residential uses, and (iii) are combined into a single parcel, then any minimum building, pavement or landscaping setbacks set forth in this text as they apply to common property lines shall no longer apply with respect to these parcels.

4. The zoning text states that utilities and utility related screening and/or structures may be located within the building setbacks along Clover Valley Road and Jug Street. Staff recommends that the Planning Commission get clarity on the utility related structures that are proposed to be located within these setbacks. It is common for utilities and screening to be located in setback areas but it is unclear what the applicant means by “utility related structures”.

B. Access, Loading, Parking

1. Access: Subject to other provisions in the text, on public rights-of-way which exist on the date of this text the number, locations, and spacing of curb cuts shall be determined and approved by the City Manager or their designee in consultation with the developer at the time that a Certificate of Appropriateness is issued for a project in this Zoning District.
2. Parking and Loading: Parking and loading spaces shall be provided for each use per Chapter 1167 of the Codified Ordinances of the City of New Albany.

C. Architectural Standards

1. The proposed rezoning seeks to implement many of the same or improved standards and limitations set forth in the New Albany Architectural Design Guidelines and Requirements (Chapter 1157).
2. The proposed text states that the maximum building height in this zoning district is 65 feet, which is consistent with other L-GE zoning districts in the immediate area.
3. The proposed text contains the same architectural requirements as the surrounding business park zoning districts.
4. The City’s Design Guidelines and Requirements do not provide architectural standards for warehouse and distribution-type facilities. Due to the inherent size and nature of these facilities, careful attention must be paid to their design to ensure they are appropriately integrated into the rest of the business park. This zoning text contains specific design requirements for uses not governed by the DGRs, which will ensure the quality design of these buildings.
5. The proposed text contains a requirement for complete, four-sided screening of all roof-mounted equipment for sight and sound. This provision does not apply to solar panels.
6. The proposed text requires all accessory structures, generators, storage tanks, trash receptacles, or any other similar improvement to be located behind a building façade that does not front onto a public road.

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. Maximum lot coverage for this subarea is 75%. This matches the surrounding zoning districts.
2. The proposed zoning text contains the same tree preservation language as the neighboring approved Mink Street West Zoning District zoning text. The text states that standard tree preservation will be in place to preserve and protect trees during all phases of construction.
3. The proposed text states that a landscaping plan shall be reviewed as part of the city’s review of a Certificate of Appropriateness application within the proposed zoning.
4. The proposed zoning text contains the same parking area language as the neighboring approved Mink Street West Zoning District zoning text. The text states that there shall be no less than one (1) tree planted for every ten (10) parking spaces located therein.
5. The proposed zoning text has minimum on-site tree sizes for newly installed trees on site.

E. Lighting & Signage

1. All signage shall conform to the standards set forth in Codified Ordinance Section 1169.
2. All lighting shall be cut-off type fixtures and downcast to minimize light spilling beyond the boundaries of the site. The maximum height is 30 feet.
3. The proposed zoning text requires landscaping lighting details to be included in the landscape plan, which is subject to review and approval by the City Landscape Architect.

IV. ENGINEER'S COMMENTS

The City Engineer, E.P. Ferris reviewed the proposed rezoning application and provided the following comments.

1. Revise Section F.2. on sheet 5 of the text to reference Section 1181 Stormwater Management and Runoff Control and Section 1183 Soil Erosion and Sediment Pollution.
2. We recommend that a Professional Landscape Architect stamp/seal all landscape plans.
3. We recommend that private streets constructed within the zoning district be built to public street standards.
4. When available, provide verification that all Ohio EPA and Army Corps of Engineers permitting requirements have been met.

V. SUMMARY

This zoning district facilitates the development of industrial and other employment-generating activity that matches that of the surrounding area. The proposed zoning text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts, such as the Mink Street West Zoning District, which is located generally to the east of this site. The proposed text is appropriate given the type of general employment type of uses that are envisioned for this area in the 2020 Engage New Albany Strategic Plan.

V. ACTION

Suggested Motion for ZC-10-2025:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application ZC-10-2025, based on the findings in the staff report (conditions of approval may be added)

Approximate site Location:



Source: NearMap



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																									
	<p>Site Address <u>12525 Jug Street Road</u></p> <p>Parcel Numbers <u>095-112056-00.006 & 095.112188-00.000</u></p> <p>Acres <u>12.604 & 2.9</u> # of lots created <u>1</u></p>																									
Project Information	<table border="1"><thead><tr><th>Choose Application Type</th><th>Description of Request:</th></tr></thead><tbody><tr><td><input type="checkbox"/> Appeal</td><td rowspan="8">To rezone subarea A & B from I-PUD to L-G-E as a new user desires to remove the dog kennel use and provide for new development on the property</td></tr><tr><td><input type="checkbox"/> Extension Request</td></tr><tr><td><input type="checkbox"/> Certificate of Appropriateness</td></tr><tr><td><input type="checkbox"/> Variance</td></tr><tr><td><input type="checkbox"/> Conditional Use</td></tr><tr><td><input type="checkbox"/> Vacation</td></tr><tr><td><input type="checkbox"/> Development Plan</td></tr><tr><td><input type="checkbox"/> Plat</td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td></tr><tr><td><input checked="" type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr><tr><td><input type="checkbox"/> Zoning Text Modification</td><td></td></tr></tbody></table>	Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	To rezone subarea A & B from I-PUD to L-G-E as a new user desires to remove the dog kennel use and provide for new development on the property	<input type="checkbox"/> Extension Request	<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Variance	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Vacation	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Plat	<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input checked="" type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification							
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Contacts	<table border="1"><thead><tr><th colspan="2">Applicant Information</th><th colspan="2">Property Owner Information</th></tr></thead><tbody><tr><td>Name</td><td>EdgeConneX MCN New Albany South Propco 1</td><td>Name</td><td>EdgeConneX MCN New Albany South Propco 1</td></tr><tr><td>Address</td><td>2201 Cooperative Way, Suite 400 LLC</td><td>Address</td><td>2201 Cooperative Way, Suite 400</td></tr><tr><td>City, State, Zip</td><td>Herndon, VA 20171</td><td>City, State, Zip</td><td>Herndon, VA 20171</td></tr><tr><td>Phone Number</td><td>703-880-1610</td><td>Phone Number</td><td>703-880-1610</td></tr><tr><td>Email</td><td>balperstein@edgeconnex.com</td><td>Email</td><td>balperstein@edgeconnex.com</td></tr></tbody></table>	Applicant Information		Property Owner Information		Name	EdgeConneX MCN New Albany South Propco 1	Name	EdgeConneX MCN New Albany South Propco 1	Address	2201 Cooperative Way, Suite 400 LLC	Address	2201 Cooperative Way, Suite 400	City, State, Zip	Herndon, VA 20171	City, State, Zip	Herndon, VA 20171	Phone Number	703-880-1610	Phone Number	703-880-1610	Email	balperstein@edgeconnex.com	Email	balperstein@edgeconnex.com	EEC
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City, State, Zip	Herndon, VA 20171	City, State, Zip	Herndon, VA 20171																							
Phone Number	703-880-1610	Phone Number	703-880-1610																							
Email	balperstein@edgeconnex.com	Email	balperstein@edgeconnex.com																							
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner <u>[Signature]</u> Date: <u>03/13/2025</u></p> <p>Signature of Applicant <u>[Signature]</u> Date: <u>03/13/2025</u></p>																									

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

AFFIDAVIT

STATE OF OHIO
COUNTY OF FRANKLIN

Jackson B. Reynolds, III, 37 West Broad Street, Suite 460, Columbus, OH 43215 being first duly cautioned and sworn, deposes and states that he is the applicant or duly authorized attorney for same and the following is a list of the names and mailing addresses of all the owners of the record of the property located at 12525 Jug Street Road, Johnstown, Ohio 43031 for which the application for a rezoning, variance or special permit was filed for with the City of New Albany on February 5, 2025.

SUBJECT PROPERTY OWNER'S NAMES: EdgeConneX MCN
New Albany South Propco 1 LLC

MAILING ADDRESS: 12525 Jug Street Road, Johnstown, Ohio 43031

PROPERTY OWNER'S NAME(S)	ADDRESS OF PROPERTY	COMPLETE MAILING ADDRESS OF PROPERTY OWNER, INCLUDING ZIP CODE
-----------------------------	------------------------	--

See attached list

SIGNATURE OF APPLICANT

Subscribed and sworn to me in my presence and before me on this 13 day of March,
20 25.

SIGNATURE OF NOTARY PUBLIC

edgeconnex-newalbany.aff (nct)
3/6/25 S:Docs



Jeffrey L. Brown, Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec. 147.03 R.C.

City of New Albany
99 West Main Street
New Albany, OH 43054

Rusmiser LLC
11950 Wildwood Lane
Sunbury, OH 43074

C1 New Albany LLC
2850 North Harwood Street, Suite 2200
Dallas, TX 75201

AEP Ohio Transmission Company Inc
P.O. Box 16428
Columbus, OH 43216

Amazon Data Services Inc
P.O. Box 80416
Seattle, WA 98108

BC Mink Street LLC
8000 Walton Parkway, Suite 200
New Albany, OH 43054

Campus Way LLC
P.O. Box 847
Carlsbad, CA 92018

Mendel New Albany
Property Owner LLC
7200 Wisconsin Avenue, Suite 960
Bethesda, MD 20814

PJP Holdings LLC
9005 Smiths Mill Road North
New Albany, OH 43054

COI New Albany Tech Park Land
LLC VTRE
4900 Main Street, Suite 400
Kansas City, MO 64112

EXHIBIT A

LEGAL DESCRIPTION

Situated in the State of Ohio, County of Licking, City of New Albany, in Lots 2 and 15, Quarter Township 2, Township 2, Range 15, United States Military District, being comprised of all of the remainder of that 22.453 acre tract of land conveyed to Nine Properties, Limited by deed of record in Instrument Number 200505250015574 and all of that 0.535 acre tract of land conveyed to Nine Properties, Limited by deed of record in Instrument Number 202212060028640 (all references refer to the records of the Recorder's Office, Licking County, Ohio) and more particularly bounded and described as follows:

Beginning, for reference, at a magnetic nail set at the centerline intersection of Jug Street Road and Clover Valley Road, as shown on the dedication plat of record in Instrument Number 202212160029345;

Thence South 20° 12' 26" East, with the centerline of said Clover Valley Road, a distance of 54.01 feet to a point;

Thence South 69° 47' 34" West, crossing the right-of-way of said Clover Valley Road, a distance of 39.63 feet to an iron pin set in the westerly right-of-way line of said Clover Valley Road, the TRUE POINT OF BEGINNING for this description;

Thence with said westerly right-of-way line the following courses and distances:

South 20° 12' 26" East, a distance of 84.85 feet to an iron pin set at a point of curvature to the left;

With the arc of said curve, having a central angle of 09° 31' 03", a radius of 940.00 feet, an arc length of 156.14 feet, a chord bearing of South 25° 06' 44" East and chord distance of 155.96 feet to a permanent marker set; and

South 29° 52' 15" East, a distance of 676.19 feet to an iron pin set at the northeasterly corner of that 42.671 acre tract conveyed to COI New Albany Tech Park Land, LLC by deed of record in Instrument Number 202212160029411;

Thence South 50° 55' 15" West, with the northerly line of said 42.671 acre tract, a distance of 674.30 feet to an iron pin set in the easterly line of that 104.589 acre tract conveyed to Amazon Data Services, Inc. by deed of record in Instrument Number 201911140025165;

Thence North 39° 22' 09" West, with said easterly line, a distance of 329.87 feet to an iron pin set;

Thence North 04° 24' 16" East, with said easterly line and the easterly line of that 10.247 acre tract conveyed to AEP Ohio Transmission Company, Inc., by deed of record in Instrument Number 202209160022655, a distance of 1012.40 feet to an iron pin set in the southerly right-of-way line of said Jug Street Road;

Thence South 86° 36' 02" East, with said southerly right-of-way line, a distance of 194.91 feet to an iron pin set in the westerly right of way line of said Clover Valley Road;

Thence South 53° 46' 18" East, with said westerly right-of-way line, a distance of 34.84 feet to the TRUE POINT OF BEGINNING, containing 12.604 acres of land, more or less, of which 12.069 acres is Parcel Number 095-112056-00.001 and 0.535 acre is Parcel Number 095-112080-02.004.

ZONING EXHIBIT
2.9 ACRES

Situated in the State of Ohio, County of Licking, City of New Albany, in Lots 2 and 15, Quarter Township 2, Township 2, Range 15, United States Military District, being part of that 22.453 acre tract of land conveyed to Nine Properties Limited by deed of record in Instrument Number 200505250015574, (all references are to the records of the Recorder's Office, Licking County, Ohio) and more particularly bounded and described as follows:

Beginning, for reference, at the northeasterly corner of said 22.453 acre tract, the northwesterly corner of that 5.003 acre tract conveyed as Tract I to MBJ Holdings, LLC by deed of record in Instrument Number 202109080027199, in the centerline of Jug Street Road;

Thence South 03° 58' 03" West, with the westerly line of said 5.003 acre tract and the westerly line of that 16.631 acre tract conveyed as Tract II to MBJ Holdings, LLC by deed of record in Instrument Number 202109080027199, a distance of 941.43 feet to the TRUE POINT OF BEGINNING for this description;

Thence the following courses and distances:

South 03° 58' 03" West, a distance of 706.04 feet to a point;

North 39° 22' 09" West, a distance of 515.98 feet to a point; and

North 50° 55' 15" East, a distance of 484.55 feet to the TRUE POINT OF BEGINNING, containing 2.9 acres of land, more or less.

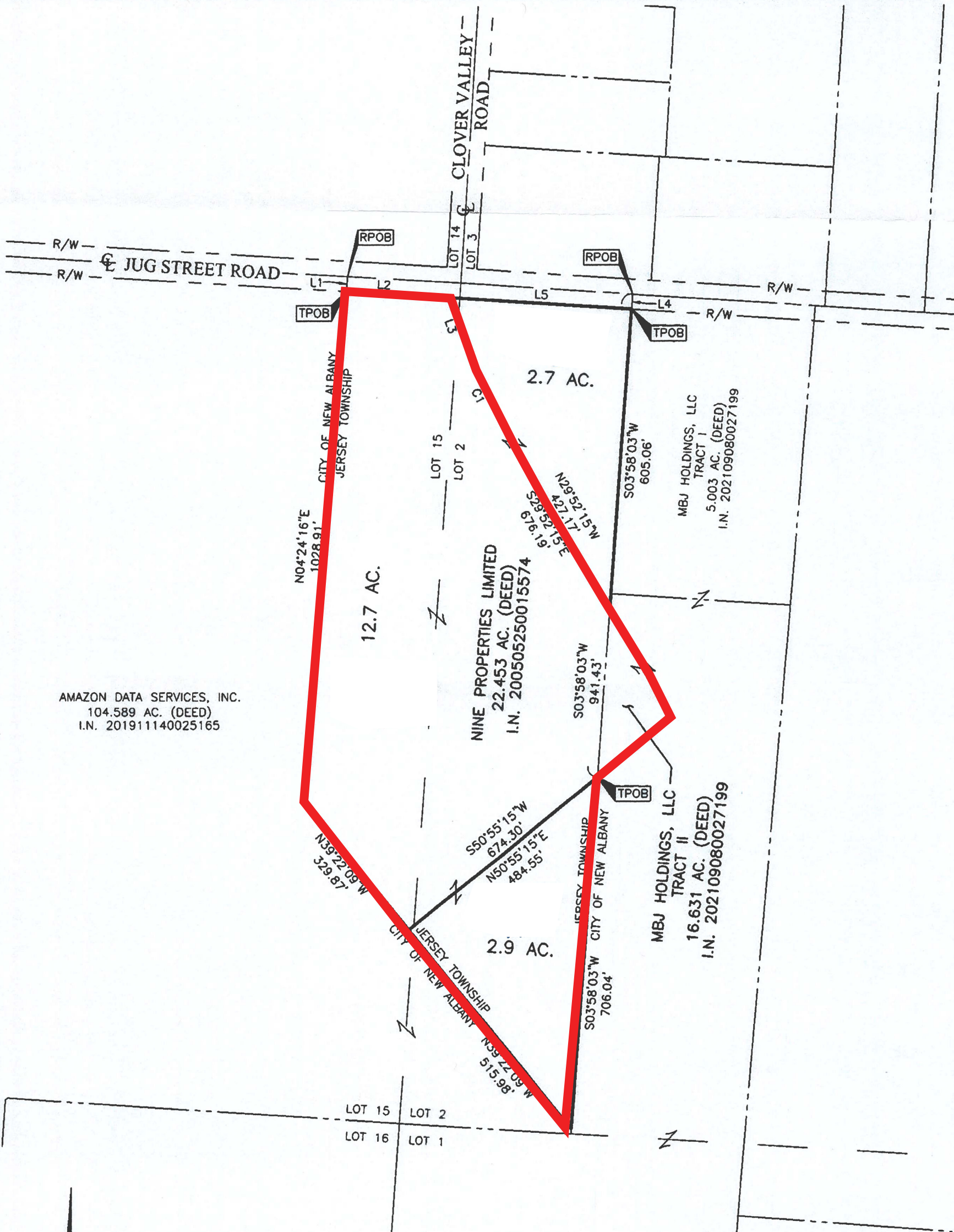


Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

ZONING EXHIBIT

LOTS 2 AND 15, QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 15
UNITED STATES MILITARY DISTRICT
TOWNSHIP OF JERSEY AND CITY OF NEW ALBANY
COUNTY OF LICKING, STATE OF OHIO

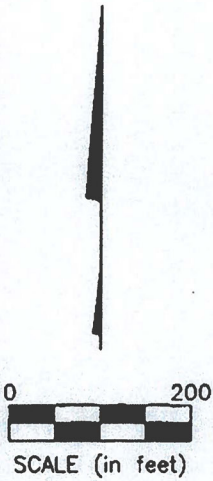
Date: August 12, 2022 Scale: 1" = 200' Job No: 2022-0778 Sheet No: 1 of 1



AMAZON DATA SERVICES, INC.
104.589 AC. (DEED)
I.N. 201911140025165

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S04°24'16"W	30.00'
L2	S86°36'02"E	208.42'
L3	S20°12'26"E	123.46'
L4	S03°58'03"W	30.00'
L5	S86°14'22"E	364.23'

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CH. BEARING	CH. DIST.
C1	9°31'03"	940.00'	156.14'	S25°06'44"E	155.96'



Rezoning Statement
12525 Jug Street Road

The existing use of the property is a dog kennel which was rezoned to the I-PUD district in 2022. The new property owner would like to use the property for further development of the property to the south so the request is to rezone to the L-GE district in accordance with the abutting properties.

The proposed rezoning to the L-GE district will have no impact on adjacent nor proximate properties as they are all zoned L-GE and the proposed use will compliment the existing uses in the area. Further there will be no impact on the student population of the local school district as there is no residential use associated with the proposed L-GE district.

edgeconnex-newalbany.ste (nct)
1/30/25 S:Docs

CLOVER VALLEY EXPANSION ZONING DISTRICT

LIMITED GENERAL EMPLOYMENT (L-GE) TEXT

March 19, 2025

I. INTRODUCTION: The existing Clover Valley I-PUD Zoning District included 18.3 ± acres of real property located immediately to the south of the intersection of Clover Valley Road and Jug Street.

This new Clover Valley Expansion Zoning District (hereinafter, the “Zoning District”) rezones 15.504± acres of the original I-PUD zoning district (Subareas A and B) to allow L-GE, Limited General Employment uses to be developed in accordance with the standards of this limitation text.

II. DEVELOPMENT STANDARDS: Unless otherwise specified in the submitted drawings or in this written text, the development standards of Part Eleven of the Codified Ordinances of the City of New Albany shall apply to this Zoning District. Where there is a conflict between the provisions in this text and the Codified Ordinances, the provisions in this text shall govern. Basic development standards are being provided regarding proposed density, site planning, traffic, circulation, landscaping, and architecture.

A. Permitted Uses: Permitted and conditional uses in this zoning district shall include those set forth in the Codified Ordinances of the City of New Albany, GE General Employment District (Sections 1153.02 and 1153.03), provided that conditional uses are approved in accordance with Chapter 1115, Conditional Uses. The following uses shall be prohibited:

1. Industrial product sales (See Section 1153.03(a)(1));
2. Industrial service (See Section 1153.03(a)(2));
3. Mini-warehouses (See Section 1153.03(a)(4)(c)). For purposes of clarification, this prohibition only applies to such facilities that are made available for rental to the general public;
4. Personal service (See Section 1153.03(b)(2)) and retail product sales and service (See Section 1153.03(b)(3)), except that such uses shall be allowed as accessory uses to a permitted use;
5. Vehicle services (See Section 1153.03(b)(4));
6. Radio/television broadcast facilities (See Section 1153.03(c)(1));
7. Sexually-oriented businesses (See Section 1153.03(c)(3)); and
8. Off-premises signs (See Section 1153.03(c)(2)).

B. Lot and Setback Commitments:

1. Lot Coverage: There shall be a maximum lot coverage of 75%.
2. Setbacks:
 - a. Jug Street: There shall be a minimum pavement setback of 50 feet and a minimum building setback of 100 feet from the Jug Street right-of-way. All utilities and utility-related screening and/or structures may be located within the building setback.
 - b. Clover Valley Road: There shall be a minimum pavement setback of 25 feet and a minimum building setback of 50 feet from the Clover Valley Road right-of-way. All utilities and utility-related screening and/or structures may be located within the building setback.

- c. Perimeter Boundaries: There shall be a minimum pavement and building setback of 25 feet from all perimeter boundaries for which another setback requirement is not provided in this text.
- d. Elimination of Setbacks: In the event that a parcel located within this Zoning District and an adjacent parcel located within or outside of this Zoning District (i) come under common ownership or control, (ii) are zoned to allow compatible non-residential uses, and (iii) are combined into a single parcel, then any minimum building, pavement or landscaping setbacks set forth in this text as they apply to common property lines shall no longer apply with respect to these parcels.

D. Architectural Standards:

1. Building Height: The maximum building height for structures shall be 65 feet, subject to Section 1165.03 of the Codified Ordinances.
2. Service and Loading Areas: Service areas and loading areas shall be screened in accordance with the Codified Ordinances.
3. Building Design:
 - a. Building designs shall not mix architectural elements or ornamentation from different styles.
 - b. Buildings shall be required to employ a comparable use of materials on all elevations.
 - c. The number, location, spacing, and shapes of windows and door openings shall be carefully considered. Primary entrances to buildings shall be made sufficiently prominent that they can be easily identified from a distance.
 - d. For office buildings and complexes, achieving a human or pedestrian scale is of less concern. When achieving such a scale is desired, it may be achieved by careful attention to width of facades, size and spacing of window and door openings, and floor to floor heights on exterior walls.
 - e. All elevations of a building that are visible from a public right-of-way shall receive similar treatment in terms of style, materials, and design so that such elevations are not of a lesser visual character than any other.
 - f. Use of elements such as shutters, cupolas, dormers, and roof balustrades shall be avoided in building designs that are not based on traditional American architectural styles. Such elements may be employed only when they are common elements of a specific style, and this style shall be replicated in its entirety. When shutters are employed, even if they are non-operable, they must be sized and mounted in a way that gives the appearance of operability.
 - g. Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, basement window enclosures, and trash containers shall be designed, located, or screened so as to minimize their visibility and visual impact from off-site. Solar energy systems shall be excluded from the requirements of this section.

h. Accessory or ancillary buildings, whether attached or detached, shall be of similar design, materials and construction as the nearest primary structure. Fenestration themes that employ windows, panels and piers that are consistent with the architectural vocabulary of the building are encouraged. Accessory structures, generators, storage tanks, trash receptacles or any other similar improvement must be located behind a building façade that does not front on a public right-of-way.

4. Building Form:

- a. All building elevations shall be designed to be compatible with each other and to reflect a consistent design approach.
- b. Gable or hip roofs shall be avoided unless a building design replicates a traditional American architectural style that employs such roof forms. In non-stylistic contemporary designs, low or flat roofs may be employed. Roof visibility shall be minimized.

5. Materials:

- a. Exterior building materials shall be appropriate for contemporary suburban designs and shall avoid overly reflective surfaces. Traditional materials such as, but not limited to, wood, stone, brick, and concrete shall be permitted, and contemporary materials such as, but not limited to, aluminum, metal, glass, stucco, or cementitious fiberboard (e.g., hardiplank or equivalent) shall be permitted on buildings not employing traditional styles. Architectural precast concrete panels and/or poured-in-place concrete tilt-up panels be permitted. The use of reflective or mirrored glass shall be prohibited.
- b. Prefabricated metal buildings and untreated masonry block structures are prohibited. Notwithstanding the foregoing, ancillary structures built and operated for the purpose of enclosing equipment and which are not occupied by tenants or persons on a regular basis may be constructed using pre-engineered metal.
- c. Generally, the quantity of materials selected for a building shall be minimized.
- d. Loading docks are not required to have same degree of finish as a main entry unless they are visible from a public right-of-way.

6. Additional Standards for Uses Not Governed by DGRs: Buildings that are constructed to accommodate certain uses are not governed by the City's Design Guidelines and Requirements (DGRs). For example, buildings that are constructed for the operation of warehousing and/or distribution uses are not subject to the DGRs and can present challenges in meeting the community standard for architectural design. Such buildings are necessarily large and typically include long walls that together form a square or rectangle box. The goal for the development of buildings that are not subject to the DGRs is to balance the practical needs of these buildings with the desire to provide exterior designs that are attractive and complimentary to the non-residential architecture for buildings that are located in the general vicinity of this Zoning District.

Architecture by its nature is a subjective medium, meaning that the adoption of strict objective standards in all instances may not provide the best means for achieving appropriate design. In recognition of this fact, the standards set forth herein provide guidelines and suggestions for designing buildings that are not subject to the DGRs in an effort to set expectations for the quality of architecture that will be expected for these structures. On the other hand, these standards are

meant to allow for some flexibility to encourage innovative design provided that the spirit and intent of these provisions are met.

In conjunction with an application for a certificate of appropriateness for each building or structure in this Zoning District that is not subject to or governed by the DGRs, the applicant shall be required to submit to the City illustrations of the proposed exterior design of the building or structure for review and approval by the Design Review Committee contemplated in Section 1157.08(a)(1)(D) of the City Code. In designing such buildings, the user or applicant shall take into account the following, which are intended to set a level of expectation for the quality of design:

A. Architectural design for all portions of a building or structure that are visible from a public right-of-way (excluding public rights-of-way whose primary purpose is to accommodate truck traffic or service loading areas) shall meet the community standard in terms of quality while taking into account the unique nature of the use(s) that will be found therein.

B. Uninterrupted blank wall facades shall be prohibited to the extent that they are visible from a public right-of-way. Design variations on long exterior walls shall be employed in order to create visual interest. Examples of such design variations include, but are not limited to, the use of offsets, recesses and/or projections, banding, windows, and/or reveals; scoring of building facades; color changes; texture or material changes; and variety in building height.

C. The use of one or more architectural or design elements may be used to soften the aesthetics of the building, such as but not limited to canopies, porticos, overhangs, arches, outdoor patios, community spaces, or similar devices.

D. Contemporary exterior designs, while not required, shall be encouraged in order to create architecture that does not look aged or dated even many years after the facility is built.

E. Landscaping and/or the use of existing vegetation shall be utilized where appropriate to enhance the aesthetics of the building and to lessen its visual impact when viewed from public rights-of-way.

7. Roof-Mounted Equipment: Complete screening of all roof-mounted equipment shall be required on all four sides of buildings with materials that are consistent and harmonious with the building's façade and character. Such screening shall be provided in order to screen the equipment from off-site view and to buffer sound generated by such equipment.

E. Access, Parking, Site Circulation, and Traffic Commitments:

1. Access: Subject to other provisions in this text, on public rights-of-way which exist on the date of this text the number, locations, and spacing of curb cuts shall be determined and approved by the City Manager or their designee in consultation with the developer at the time that a certificate of appropriateness is issued for a project in this Zoning District.

2. Parking and Loading: Parking and loading spaces shall be provided for each use per Chapter 1167 of the Codified Ordinances of the City of New Albany.

F. Buffering, Landscaping, Open Space, and Screening: A landscaping plan shall be reviewed as part of the City's review of a certificate of appropriateness application within this zoning. The following landscaping requirements shall apply:

1. Tree Preservation: Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.
2. Stormwater Management: Wet and dry stormwater basins shall conform to the standards set forth in Section 1171.08 of the Codified Ordinances of the City of New Albany.
3. Parking Areas: There shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or treed areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles.
4. Minimum On-Site Tree Sizes: Unless otherwise set forth herein, minimum tree size at installation shall be no less than two and one half (2 ½) inches in caliper for shade trees, six (6) feet in height for evergreen trees, two (2) inches in caliper for ornamental trees, and thirty (30) inches in height for shrubs. Caliper shall be measured six (6) inches above grade.

G. Lighting:

1. All parking lot and private driveway lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spillage beyond the boundaries of the site.
2. All parking lot lighting shall be of the same light source type and style.
3. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed 30 feet in height.
4. Lighting details shall be included in the landscape plan which is subject to review and approval by the City Landscape Architect.
5. No permanent colored lights or neon lights shall be used on the exterior of any building.
6. All other lighting on the site shall be in accordance with City Code.
7. Street lighting must meet the City standards and specifications.

H. Signage: All signage shall conform to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany.

I. Utilities: All new utilities installed solely to serve this zoning district shall be installed underground.

edgeconnex.txt
1/30/25 S:Docs/s&htexts/2025



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear EdgeConneX,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Wednesday, April 09, 2025

The New Albany Planning Commission took the following action on 04/07/2025 .

Zoning Amendment

Location: 2675 Clover Valley Road

Applicant: EdgeConneX,

Application: PLZC20250010

Request: Rezoning

Motion: To Approve with Conditions

Commission Vote: Motion Approved with Conditions, 3-0

Result: Zoning Amendment, PLZC20250010 was Approved with Conditions, by a vote of 3-0.

Recorded in the Official Journal this April 09, 2025

Condition(s) of Approval:

1. That the applicant comply with the engineering comments.
2. That there are no buildings in the setback.
3. That structures in the setback must be approved by staff, and the intent of the commission is that they are located in the northwest area of the property.

Staff Certification:

Kylie Blackburn
Planner

CHAPTER 1154 TMD TECHNOLOGY MANUFACTURING DISTRICT

1154.01 CONFLICT.

Technology Manufacturing Zoning Districts may be established by application in accordance with Chapter 1111. Once property is designated in the TMD classification, the provisions of this chapter and the requirements contained herein, including the provisions of the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan, which are incorporated by reference (see Section 1154.09), shall take precedence over all other conflicting regulations contained in the Codified Ordinances as it pertains to that property.

(Ord. O-46-2021. Passed 12-14-21.)

1154.02 PURPOSE.

These regulations are established to provide for a range of manufacturing, production, industrial and other employment-generating activity contained within or supporting at least one (1) significant use or user. The TMD is intended to further the economic vitality of the City while protecting the health, safety and welfare of the users of the district and residents of the Municipality. It is also intended to streamline review procedures for new development, redevelopment, and expansions of existing development in order to efficiently address market demands, provide certainty of processes, and foster economic growth.

(Ord. O-46-2021. Passed 12-14-21.)

1154.03 ELIGIBILITY.

In order for property to be eligible to be classified with the TMD designation, it must be included within a zoning application pertaining to a minimum of five hundred (500) contiguous acres. Alternatively, a property will be so eligible if, when zoned with the TMD designation, its acreage plus the acreage contained within the continuous perimeter of contiguous property that is already zoned in the TMD classification together will equal at least five hundred (500) acres. Properties separated by a public right-of-way shall be considered to be contiguous for purposes of this provision.

Upon a rezoning of property into the TMD zoning classification, it shall be designated as "TMD" on the City's zoning map. The Community Development Director or his/her designee shall determine which of the project categories set forth in Section 1154.04 applies to an application for a permit for construction or improvements for development of property with a TMD classification. The review of the application shall be undertaken using the standards that apply to such category as provided in this Chapter.

(Ord. O-46-2021. Passed 12-14-21.)

1154.04 PROJECT CATEGORIES.

- (a) Flagship Project. A Flagship Project shall be any development proposal on a single parcel or multiple contiguous parcels containing at least five hundred (500) acres which are under common ownership or control by a single person or business entity (and, if applicable, its affiliated persons or business entities). This category also shall include modifications to or expansions of an existing Flagship Project. Properties separated by a public right-of-way shall be considered to be contiguous for purposes of this provision.

-
- (b) Primary Project. A Primary Project shall be any development proposal that is not a Flagship Project and which contains, as its primary use, at least one (1) use which is permitted in the TMD.

(Ord. O-46-2021. Passed 12-14-21.)

1154.05 PERMITTED USES.

- (a) Any use specified as a permitted use or conditional use in the LI, Limited Industrial District under Section 1153 shall be a permitted use within the TMD, except that personal service (Section 1153.03(b)(2)) and retail product sales and service (Section 1153.03(b)(3)), shall be allowed only as accessory uses to a permitted use in this Zoning District and in accordance with Section 1154.07(a).
- (b) A park-and-ride facility providing daily parking as the principal use which may include accessory shelters for mass transit passengers or carpooling that typically includes parking lots and associated structures located along or near public transit routes.
- (c) Off-site parking.
- (d) Parking structures.
- (e) Agriculture.
- (f) Bulk storage tanks, pads and distribution consisting of tanks, containers, and other similar structures used for the storage and eventual distribution of large quantities of liquids, chemicals, fuels, oils, or similar items to be used in, or are a waste byproduct of, manufacturing processes. Bulk storage tanks and pads may be located above ground and/or below ground, provided that above ground storage tanks and pads shall be subject to the required minimum building setbacks as provided in this Chapter 1154.
- (g) Essential services which for purposes of this Chapter 1154 shall mean the erection, construction, alteration, or maintenance, by public utilities or municipal or other governmental agencies, of underground or overhead gas, electrical, steam, or water transmission or distribution systems; collection, communication, supply, or disposal systems, including poles, wires, mains, drains, sewers, pipes, conduits, cables, traffic signals, hydrants and other similar equipment and accessories in connection therewith, reasonably necessary for the furnishing of adequate service by such public utilities or municipal or other governmental agencies or for the public health, safety, or general welfare.
- (h) Water/wastewater treatment facilities consisting of private or public facilities and related infrastructure for the treatment of water and/or wastewater that serve a Flagship Project and are intended to and have projected capacity also to serve one (1) or more Primary Projects. These facilities shall be required to utilize processes and infrastructure that provide environmental benefits such as (but not limited to) conservation, reduction of pollution, and reuse of water.
- (i) Bulk gas yards including generation, storage, and distribution that consists of facilities for the creation, manufacturing, production, and distribution of bulk gases used in electronics manufacturing and other industries. Such facilities are necessary in order to scale such production and distribution and to reduce costs, ensure adequate supplies to nearby uses, and achieve consistent purity of product. Typical components of these facilities may include compressors, water cooling plants, pre-purification units, and bulk tanks for storage, among others.
- (j) Electric Switch Yards.
- (k) Concrete batch plants within a Flagship Project. These include the operation of a combination of equipment within and/or outside of a structure which bring together water, air, cementitious mixtures, and other aggregate materials to produce concrete for different application types, with the primary purpose of serving uses and users within the TMD.
- (l) Solar panels that are ground-mounted, on structures or over paved parking areas.

-
- (m) Truck cell phone lots. Characterized as short-term parking lots that are designated primarily for use by commercial trucks with drivers waiting to be alerted by cell phone or other means to pick up or drop off freight, supplies, and/or other materials and which may be used for overnight truck parking. Drivers of other vehicles also shall be permitted to use these lots. For purposes of this definition, the term "truck" shall include, but not be limited to: Semi-trailers, flatbeds, tankers, step deck trucks, box freight trucks, dump trucks, slinger trucks, tipper trucks, and cement trucks. These types of lots shall be paved if located within three hundred (300) feet of a public street right-of-way. Otherwise, they may be gravel, provided that (i) measures are taken to eliminate the migration of dust from the lot off-site and (ii) a wheel wash is provided for trucks when leaving a lot where wet or muddy conditions are present.
- (n) Similar uses, as provided in Section 1127.02(e), except that in the TMD, the Community Development Director or his/her designee shall be responsible for making this determination.

(Ord. O-46-2021. Passed 12-14-21.)

1154.06 CONDITIONAL USES.

Concrete batch plants located within a Primary Project shall be conditional uses within the TMD. The Planning Commission shall review these uses in accordance with the procedures and standards contained within Chapter 1115. In addition, in order to approve a concrete batch plant as a conditional use within a Primary Project, the Planning Commission must determine that the operation of the use will not materially negatively impact the operations, safety, or viability of any existing uses within a Flagship Project. No concrete batch plants located within one thousand five hundred (1,500) feet of any perimeter boundary of a Flagship Project shall be reviewed by the Planning Commission unless all owners of real property within the Flagship Project have been provided with written notice of the date, time, and location of the hearing on the conditional use application at least fifteen (15) days prior to the date of the hearing. The approval of a conditional use pursuant to this Section 1154.06 shall be effective through the fourth anniversary of the date of the Planning Commission's order to approve the same. The operation of a concrete batch plant beyond this time shall require the filing, review, and approval of an additional conditional use application which, if approved, also shall be effective for a period of four (4) years.

(Ord. O-46-2021. Passed 12-14-21.)

1154.07 ACCESSORY USES.

- (a) Personal service and retail product sales and services.
- (1) Characteristics. These uses involve the sale, leasing, or rental of products or goods by the property owner or tenant on a property, their affiliates, or third parties unrelated to the owner or tenant. They also include the provision of on-site product repair or services for consumer and business goods and/or on-site personal services or entertainment. Goods are displayed and sold on-site, and use or consumption is primarily on-site. Uses in this category are not permitted to be provided to the general public, but shall be provided to employees, contractors, and business visitors of the particular Flagship Project or Primary Project which they serve.
- (2) Examples. Examples include, but are not limited to, dry cleaning, restaurants (without drive-throughs) and cafeterias, medical, eye, and dental clinics, pharmacies, fitness centers (indoor and outdoor), child day cares, banks/credit unions.
- (b) Private or public security facilities.
- (c) Security check points and gate houses.
- (d) Public or private bus and shuttle transit stops.
- (e) Satellite dishes.

(f) Wireless telecommunications facilities.

(Ord. O-46-2021. Passed 12-14-21.)

1154.08 PARCEL AND YARD REQUIREMENTS.

The following requirements shall apply in the TMD to the exclusion of those found in Chapter 1165:

- (a) Minimum Parcel Area. There shall be a minimum parcel area of fifteen (15) acres for Flagship Projects and a minimum parcel area of five (5) acres for Primary Projects.
- (b) Parcel Frontage. All parcels shall abut a public street, or may instead abut a private drive if either (i) an adjacent parcel or parcels is under common ownership and has frontage on a public street, or (ii) a legally binding perpetual vehicular access easement over adjacent property(ies) that are not under common ownership is placed of record with the office of the recorder in the county in which the parcel is located or will be of record prior to the issuance of a Planning and Design Permit for that parcel, as contemplated in Section 1154.10.
- (c) Parcel Width. All parcels shall have adequate width to provide for yards and distances as required by this Chapter.
- (d) Setbacks from Public Rights-of-Way. The following minimum setbacks shall apply to developments that are adjacent to public rights-of-way **unless otherwise specifically provided elsewhere in this Chapter:**
 - (1) Principal Arterial Streets. Minimum three hundred (300) feet for pavement and five hundred (500) feet for buildings from the rights-of-way of Principal Arterial Streets, as identified in the City's Strategic Plan. A mound that is a minimum of six (6) feet in height and a maximum of eight (8) feet in height shall be provided within the required minimum pavement setback. Notwithstanding the foregoing, (A) the minimum pavement setback shall be reduced to two hundred (200) feet and the minimum building setback shall be reduced to four hundred (400) feet provided that a mound that is a minimum of ten (10) feet in height and a maximum of twelve (12) feet in height is provided within the required minimum pavement setback, and (B) the minimum pavement setback shall be reduced to one hundred (100) feet and the minimum building setback shall be reduced to three hundred (300) feet provided that a mound that is a minimum of thirteen (13) feet in height and a maximum of fifteen (15) feet in height is provided within the required minimum pavement setback. All mounds shall include plantings as detailed in the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan that is contemplated in Section 1154.09. The mounding requirements of this subsection may be waived by the Community Development Director or his/her designee where existing tree stands or forested areas achieve similar or better screening as would be present with the mounding. Accessory structures such as security facilities, gate houses, security checkpoints, solar panels, and bus and shuttle transit stops and related improvements may be located as close as one hundred (100) feet of the rights-of-way for Principal Arterial Streets and to the front or rear of required mounding.
 - (2) Major Collector, Other Public Streets, and Front Yards. Minimum twenty-five (25) feet pavement and fifty (50) feet building setbacks from (A) all rights-of-way other than those containing or planned to contain Principal Arterial Streets and (B) from any front property line that does not abut a public street right-of-way.
 - (3) Construction Site Setup. For Flagship Projects, during any phases of construction there shall be a minimum one hundred fifty (150) foot setback for pavement, material laydown and storage tanks and a minimum two hundred-foot setback for trailers, structures, buildings, and related items necessary for the construction of improvements. All construction site setup areas within Flagship Projects shall be screened so that they are not visible from adjacent public street rights-of-way.

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- (e) Side and Rear Yards. The required minimum setbacks from side and rear parcel lines which are not contiguous with a public street right-of-way shall be twenty-five (25) feet for buildings, structures, service areas, loading areas, and paved parking areas.
 - (f) Residential Setbacks. Subject to the requirements in Section 1154.14(b), there shall be a one hundred-foot building and pavement setback from any district where residences are a permitted use. **For Flagship projects,** ~~and~~ when the requirements of Section 1154.08(d)(1) do not apply, provided, however, that if a building ~~will exceed~~s sixty-five (65) feet in height, the minimum required building setback shall be three hundred (300) feet. The setback requirements in the immediately preceding sentence shall not apply when (i) the property located within the district where residences are a permitted use is under common ownership with the relevant property or (ii) the owner(s) of the property or properties that are protected by this minimum setback requirement sign an affidavit that waives this requirement, which shall be filed with the City. If two (2) contiguous properties have an intervening public street between them, they shall be considered to be abutting.
 - (g) Interior Setbacks. There shall be a zero minimum building and pavement setback requirement from interior parcel lines when the parcels on each side of a parcel line are under common ownership.
 - (h) Riparian Corridors. Development in the TMD shall comply with the provisions of Chapter 1155 unless expressly provided in this subsection (h). All streams with a drainage area greater than fifty (50) acres and their riparian corridors shall be preserved. The corridor width shall be a minimum of one hundred (100) feet, with at least twenty-five (25) feet on each side of the centerline of the stream. No pavement, structures, or other impermeable surfaces or improvements shall be permitted in riparian corridors, except for paved leisure trails, benches, and bridges. New vegetation shall be permitted to be planted within these corridors.
 - (i) Maximum Parcel Coverage. There shall be a maximum impervious parcel coverage of eighty-five percent (85%) on parcels containing Flagship Projects and seventy-five percent (75%) on parcels containing Primary Projects.
 - (j) Connectivity. Leisure trails shall be provided in accordance with the requirements in the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan which is referenced in Section 1154.09. The requirements of Section 1165.06 shall not apply in the TMD.
 - (k) Public Streets. The developer shall dedicate property to the City or other relevant political subdivision as necessary to provide a minimum of one hundred (100) feet of right-of-way for Principal Arterial Streets or Major Collector Streets, provided, however, that the minimum required right-of-way to be dedicated to the City or other political subdivision for a Major Collector Street may be reduced to eighty (80) feet if approved by the City Engineer. For public street typologies other than Principal Arterial Streets or Major Collector Streets, the developer shall dedicate property to the City or other relevant political subdivision as necessary to provide a minimum of sixty (60) feet of right-of-way. The property owner shall grant easements to the City which are adjacent to the aforementioned rights-of-way to the minimum extent necessary to provide for the installation and maintenance of streetscape improvements and/or utilities.

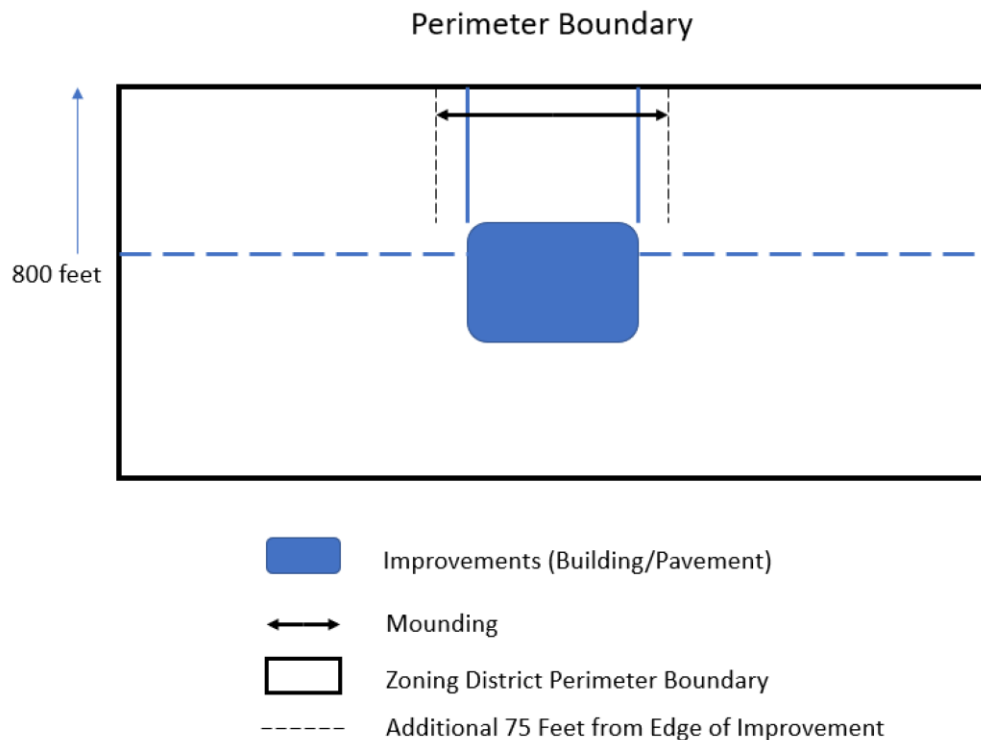
(Ord. O-46-2021. Passed 12-14-21.)

1154.09 DISTRICT LANDSCAPE AND ARCHITECTURE STANDARDS PLAN.

- (a) There is hereby adopted, and incorporated by reference, the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan, as if set out at length herein [and available at the following link: <https://municode.com/webcontent/15494/StandardsPlan.pdf>]. The New Albany Technology Manufacturing District Landscape and Architecture Standards Plan is meant to minimize references to other sections of the Planning and Zoning Code. The requirements contained therein shall take precedence over and supersede all other regulations contained in the Codified Ordinances, other than those contained in this Chapter 1154.

Without limiting the foregoing, the buffering and screening requirements of Section 1171.05 and 1171.06 shall not be required and Chapter 1175 shall not apply to the TMD.

- (b) Phasing of Screening: **Unless otherwise specifically provided elsewhere in this Chapter, r**Required mounding and landscaping as required by the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan shall be installed along the entirety of public street frontages and Residential Property (defined in ~~to~~ 1154.14(b)) lines abutting the TMD concurrent with building construction unless construction of multiple buildings is phased, in which case required mounding and landscaping may be installed in phases. For each phase of development in the TMD, such required mounding and landscaping shall be installed when it is anticipated (as provided in plans associated with relevant permits) that buildings, paved parking areas, or above-ground equipment or utility infrastructure, once constructed within that phase, will be located within eight hundred (800) feet of the relevant perimeter boundary line. At a minimum for each phase, this mounding and landscaping shall be installed along the portion of the relevant perimeter boundary line of the relevant property between two (2) points which are determined by extending two (2) straight lines from the perimeter boundary line of the property to the furthest distance on each side where planned improvements are to be constructed in that phase, and then adjusting those lines so that they are an additional distance of one hundred fifty (150) [feet] apart. The following illustration is being provided as an example of this requirement:



(Ord. O-46-2021. Passed 12-14-21.)

1154.10 SUBMITTAL CONTENT AND REQUIREMENTS.

- (a) A Planning and Design Permit is required for Flagship Projects and Primary Projects for any of the following:
- (1) Construction or structural alteration of any building, including accessory buildings, paved areas, and site improvements other than landscaping that are visible in whole or in part from the public right-of-way. For purposes of this Chapter 1154, (A) a building or accessory building shall be deemed to be "visible" if its first or second floor can be viewed from any public street right-of-way at a height of six (6) feet above the grade of any portion of that right-of-way, and (B) paved areas and site

improvements other than landscaping shall be deemed to be "visible" if they are located within five hundred (500) feet of a public street right-of-way and can be seen from that public street right-of-way at a height of six (6) feet above the grade of any portion of that right-of-way.

- (2) Change in use of an existing building or accessory building.
 - (b) At a minimum, an application for a Planning and Design Review Permit shall contain the following information in text or map form for the construction or structural alteration of any building, including accessory buildings, and/or other site improvements that are visible in whole or in part from the public right-of-way:
 - (1) Completed Planning and Design Permit Application;
 - (2) Memorandum of Understanding (MOU) for a traffic analysis detailing the potential impact of vehicular traffic to be generated from the proposed project unless the City waives this requirement;
 - (3) Dimensioned Site plan showing location of proposed improvements;
 - (4) Architectural renderings indicating building height, material, color palette and screening designs for each building façade;
 - (5) Master landscaping and grading plans including streetscape;
 - (6) Tree preservation plan where applicable;
 - (7) Sign plans indicating illustrations with height and area dimensions, lighting, dimensioned location on the site, materials, and colors; and
 - (8) Number and dimensions of existing and proposed off-street parking and/or loading spaces.
 - (c) Zoning Permits, as contemplated in Sections 1109.02 through 1109.09, shall not be required in the TMD.
 - (d) Any property zoned in the TMD classification shall not be considered to be located within the Architectural Review District as contemplated in Chapter 1157 and shall be exempt from all requirements contained in that Chapter.
- (Ord. O-46-2021. Passed 12-14-21.)

1154.11 PERMITTING PROCEDURE.

- (a) The developer of a Flagship Project or Primary Project shall submit separate application submittals for independent review by each respective discipline:
 - (1) Planning and Design Permit Application.
 - (2) Engineering Application.
 - (3) Commercial Building Permit Application.
- (b) The applicant shall have the option of filing the Planning and Design, engineering, and building permits as full or phased submittals. Under the phased plan review process, projects for construction may be broken into one (1) or more phases for construction permits and work.
- (c) The applications for Planning and Design, engineering, and building permits shall be made on such forms as prescribed by the staff of the City of New Albany along with such plans, drawings, specifications and other materials as required by this Chapter 1154 and as otherwise may be needed by staff.
- (d) Once the submittal has been made, the materials for each permit type shall be reviewed by relevant City departments for compliance with: Chapter 1154, the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan, uses, the submittal requirement checklists and all applicable codes and ordinances.

(Ord. O-46-2021. Passed 12-14-21.)

1154.12 STORAGE; HAZARDOUS MATERIALS.

- (a) Outdoor Storage. Outdoor storage of materials, equipment, and supplies shall be permitted. Outdoor storage areas for these items are not required to be screened if they are located so that they are not visible from a public street right-of-way or from ground level at a distance of two hundred (200) feet from any perimeter boundary line of a parcel that is not under common ownership. Otherwise, such outdoor storage areas shall be fully screened to a height of eight (8) feet. Outdoor storage areas (whether screened or unscreened) shall comply with minimum setback requirements for pavement.
- (b) Hazardous Materials. Due to the nature of the permitted uses in the TMD, hazardous waste and materials storage and processing is anticipated. When such storage and/or processing are desired:
 - (1) The nature of the storage and processing shall be described in a detailed written statement that shall be submitted as part of an application for a Planning and Design Permit. This statement also shall provide details regarding the safety measures and protocols that are proposed to prevent the migration of any hazardous materials outside of designated containment areas and procedures that will be implemented upon the occurrence of an event that does or has the potential to damage the environment, persons, or property. This information shall be provided so that relevant City departments and public safety providers will have notice of the presence of these storage and processing operations.
 - (2) All such storage and/or processing shall comply in all respects with state and federal law and regulations, and shall not be undertaken until such time as all necessary state and federal permits are received and copies of the same are provided to the City.
 - (3) No such storage and/or processing shall occur within the greater of (A) two hundred (200) feet of any perimeter boundary of a parcel that is not under common ownership and (B) an otherwise applicable minimum building setback.
 - (4) If such storage or processing is undertaken outside of a structure, then all exterior areas where these activities are occurring shall be surrounded by a masonry wall that is at least ten (10) feet in height, but only if they are wholly or partially visible in whole or in part from a public street right-of-way. Building facades may be used to meet this requirement. Any gates or doors shall include enhanced security features to ensure that unauthorized individuals cannot gain access to the area.

(Ord. O-46-2021. Passed 12-14-21.)

1154.13 ARCHITECTURE.

- (a) Flagship Projects. Flagship Projects shall not be subject to the requirements of the DGRs, provided that such projects meet the requirements of the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan.
- (b) Primary Projects. The requirements of this Section 1154.13(b) shall apply only to Primary Projects:
 - (1) General Regulations for all Primary Projects.
 - A. Service and Loading Areas: Service areas and loading docks shall be screened to limit visibility from off-site.
 - B. Building designs shall not mix architectural elements or ornamentation from different styles.
 - C. Buildings shall be required to employ a comparable use of materials on all elevations.

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- D. The number, location, spacing, and shapes of windows and door openings shall be carefully considered. Primary entrances to buildings shall be made sufficiently prominent that they can be easily identified from a distance.
- E. For office buildings and complexes, achieving a human or pedestrian scale is of less concern. When achieving such a scale is desired, it may be achieved by careful attention to width of facades, size and spacing of window and door openings, and floor to floor heights on exterior walls.
- F. Use of elements such as shutters, cupolas, dormers, and roof balustrades shall be avoided in building designs that are not based on traditional American architectural styles. Such elements may be employed only when they are common elements of a specific style, and this style shall be replicated in its entirety. When shutters are employed, even if they are non-operable, they must be sized and mounted in a way that gives the appearance of operability.
- G. Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, basement window enclosures, and trash containers shall be designed, located, or screened so as to minimize their visibility and visual impact from off-site. Solar energy systems shall be excluded from the requirements of this section to the extent the requirements prevent or limit functionality and/or accessibility to direct sunlight.
- H. Accessory or ancillary buildings, whether attached or detached, shall be of similar design, materials and construction as the nearest primary structure, if they are visible from a public street right-of-way. Fenestration themes that employ windows, panels and piers that are consistent with the architectural vocabulary of the building are encouraged. Notwithstanding the foregoing, the requirements of this subsection shall not apply to detached accessory structures serving or associated with Advanced Fabric Structures (as defined in Section 1164.14(b)(3)).
- I. Roof-Mounted Equipment. Complete screening of all roof-mounted equipment shall be required on all four (4) sides of buildings with materials that are consistent and harmonious with the building's façade and character. Such screening shall be provided in order to screen the equipment from off-site view and to buffer sound generated by such equipment. Solar energy systems shall be excluded from the requirements of this section to the extent the requirements prevent or limit functionality and/or accessibility to direct sunlight.
- J. All building elevations shall be designed to be compatible with each other and to reflect a consistent design approach.
- K. Gable or hip roofs shall be avoided unless a building design replicates a traditional American architectural style that employs such roof forms. In non-stylistic contemporary designs, low or flat roofs may be employed. Roof visibility shall be minimized.
- L. Exterior building materials for all buildings other than Advanced Fabric Structures shall be appropriate for contemporary suburban designs and shall avoid overly reflective surfaces. Traditional materials such as, but not limited to, wood, stone, brick, and concrete shall be permitted, along with contemporary materials such as, but not limited to, aluminum, metal, glass, stucco, or cementitious fiberboard (e.g., hardiplank or equivalent) shall be permitted on buildings not employing traditional styles. The use of reflective or mirrored glass shall be prohibited.
- M. Prefabricated metal buildings, untreated masonry block structures, and buildings featuring poured concrete exterior walls are prohibited. Notwithstanding the foregoing, ancillary structures built and operated for the purpose of enclosing equipment and which are not occupied by a tenants or persons on a regular basis may be constructed using pre-engineered metal.

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- N. Generally, the quantity of materials selected for a building shall be minimized. A single material selection for the independent building components of roof, wall and accents is permitted (i.e., Architectural Grade shingle roof with Brick Masonry wall and EIFS Cornice and Accents).
 - O. Loading docks are not required to have the same degree of finish as a main entry unless they are visible from a public right-of-way.
 - P. Buildings and structure shall be designed to be harmonious in character to other buildings and structures within the same Flagship project or Primary Project, as applicable. Façade colors shall be coordinated to complement each other.
- (2) Additional Standards for Non-Office Buildings within Primary Projects: Buildings that are constructed to accommodate certain uses are not governed by the City's Design Guidelines and Requirements (DGRs). For example, buildings that are constructed for the operation of data centers, manufacturing, warehousing and/or distribution uses are not subject to the DGRs and can present challenges in meeting the community standard for architectural design. Such buildings are necessarily large and typically include long walls that together form a square or rectangular box. The goal for the development of buildings that are not subject to the DGRs is to balance the practical needs of these buildings with the desire to provide exterior designs that are attractive and complimentary to the architecture that will be found elsewhere in the TMD.

Architecture by its nature is a subjective medium, meaning that the adoption of strict objective standards in all instances may not provide the best means for achieving appropriate design. In recognition of this fact, the standards set forth herein provide guidelines and suggestions for designing buildings that are not subject to the DGRs in an effort to set expectations for the quality of architecture that will be expected for these structures. On the other hand, these standards are meant to allow for some flexibility to encourage innovative design provided that the spirit and intent of these provisions are met.

In designing such buildings (**other than Advanced Fabric Structures**), the user or applicant shall take into account the following, which are intended to set a level of expectation for the quality of design:

- A. Architectural design for all portions of a building or structure that are visible from a public right-of-way (excluding public rights-of-way whose primary purpose is to accommodate truck traffic or service loading areas) shall meet the community standard in terms of quality while taking into account the unique nature of the use(s) that will be found therein.
- B. Uninterrupted blank wall facades shall be prohibited to the extent that they are visible from a public right-of-way. Design variations on long exterior walls shall be employed in order to create visual interest. Examples of such design variations include, but are not limited to, the use of offsets, recesses and/or projections, banding, windows, and/or reveals; scoring of building facades; color changes; texture or material changes; and variety in building height.
- C. The use of one (1) or more architectural or design elements may be used to soften the aesthetics of the building, such as, but not limited to, canopies, porticos, overhangs, arches, outdoor patios, community spaces, or similar devices.
- D. Contemporary exterior designs, while not required, shall be encouraged in order to create architecture that does not look aged or dated even many years after the facility is built.
- E. Landscaping and/or the use of existing vegetation shall be utilized where appropriate to enhance the aesthetics of the building and to lessen its visual impact when viewed from public rights-of-way.
- F. Utility yards, essential service areas, bulk storage areas and similar may be paved or gravel. HVAC, generators and similar equipment and associated gravel or concrete yards or pads shall be located subject to the minimum building setbacks.

3) Regulations for Advanced Fabric Structures: A Primary Project with a development proposal on a single parcel or multiple contiguous parcels containing at least one hundred (100) acres shall be permitted to include Advanced Fabric Structures as primary or accessory buildings. "Advanced Fabric Structures" shall be defined to mean "a clear-span building with a durable, tensioned fabric used as the primary exterior finish material for its roof, all or some its exterior facades, or both." Advanced Fabric Structures shall be permitted only within a Primary Project. Advanced Fabric Structures, when installed, shall:

- A. Utilize tensioned fabric that is certified by its manufacturer as having a useful life of at least 20 years and being able to withstand wind speeds of at least 100 miles per hour.
- B. Have a building substructure that consists of aluminum, steel, or some other metallic materials to ensure durability and longevity for the building.
- C. Have a climate-controlled interior.
- D. Not exceed 65 feet in height at the highest point of the roof.
- E. Not be required to include windows if the lack of windows is needed for security reasons and/or for temperature control.
- F. Have a minimum building setback of 100 feet from all perimeter boundary lines of the parcel on which it is located and of 200 feet from any public street right-of-way.

(Ord. O-46-2021. Passed 12-14-21.)

1154.14 LANDSCAPING.

- (a) Tree Preservation Zones shall be established within areas that will be preserved pursuant to applicable federal and state permits and determinations, once they are approved and issued by the Ohio Environmental Protection Agency and the U.S. Army Corps of Engineers. These Preservation Areas shall be maintained, protected, and preserved in accordance with such permits. If allowed under applicable permits, trees within Preservation Zones may be removed if they present a potential danger to persons or property. Preservation Zones shall not include those areas where trees and/or wetland areas are allowed to be removed or filled by relevant permits. The final boundaries of the Preservation Zones shall be the same as the boundaries of the portions of the site that will be required to be preserved under applicable federal and state permits, as may be amended from time-to-time.
- (b) Residential Buffering. For all perimeter boundaries where the minimum setbacks set forth in Section 1154.08(f) apply and which are not adjacent to a Principal Arterial Street (any real property meeting either of the foregoing criteria to be referred to herein as "Residential Property"), a minimum ten-foot high mound shall be installed along the property line which shall include a landscape buffer on the mound which shall consist of a mixture of deciduous trees, evergreens and bushes to provide an opacity of seventy-five percent (75%) on the date that is five (5) years after planting to a total height of fourteen (14) feet above the top of the mound. The plan for these areas must be reviewed and approved by the City's Landscape Architect. In areas where existing tree stands or forested areas are present, the City's Landscape Architect shall not require such mounding and landscaping where the height and opacity requirements can be met by preserving and/or supplementing the tree stands or forested areas.

(Ord. O-46-2021. Passed 12-14-21.)

1154.15 SIGNAGE.

- (a) All signage shall conform to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany unless otherwise included in the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan.

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- (b) Flagship Project Address and Directional Signs. The quantity, locations, and area dimensions of address, directional and wayfinding signage internal to Flagship Projects and not visible from a public street right-of-way shall be permitted without any City permits based on the needs of the project to ensure safe flow of pedestrian and vehicular traffic.
 - (c) Signage as required by other local, state, and federal governmental agencies and regulations shall be permitted by right.

(Ord. O-46-2021. Passed 12-14-21.)

1154.16 LIGHTING.

- (a) All parking lot and private drive lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site. All parking lot and private drive lighting shall be of the same light source type and style. All light poles within parking lots and along private drives shall be black or New Albany green and constructed of metal. Light poles shall not exceed thirty (30) feet in height, except that light poles located within three hundred (300) feet of properties where residential uses exist or are permitted shall be no more than eighteen (18) feet in height
- (b) No permanent colored lights or neon lights shall be used on the exterior of any building.
- (c) All lighting standards and requirements which are not addressed in this Chapter 1154 shall be in accordance with other applicable provisions of the Codified Ordinances.
- (d) Public street lighting must meet the City standards and specifications.
- (e) No light spillage onto properties which are adjacent to property which is zoned in the TMD classification shall be permitted from lighting sources within the TMD.

(Ord. O-46-2021. Passed 12-14-21.)

1154.17 PARKING AND LOADING.

- (a) Flagship Projects shall not have any requirement to provide a minimum or maximum amount of vehicular parking spaces or loading spaces. Drive aisles, parking space, and loading space quantity and dimensions shall conform to the standards set forth in the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan.
- (b) Primary Projects shall conform to the standards set forth in Chapter 1167 of the Codified Ordinances of the City of New Albany.

(Ord. O-46-2021. Passed 12-14-21.)

1154.18 VARIANCES, WAIVERS, AND DEVIATIONS.

- (a) Variances. Variances from the requirements of this Chapter 1154 or any other applicable provision of the Zoning Ordinance may be requested by an applicant with property that is zoned in the TMD classification. The Planning Commission shall hear and decide variance requests for property within the TMD. Any such variance shall be reviewed in accordance with the criteria, standards, and procedures set forth in Chapter 1113. Waivers or deviations from the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan shall not be considered to be variances, and instead shall be reviewed in accordance with Section 1154.18(b).
- (b) Waivers and Deviations. The Community Development Director or his/her designee shall decide requests for waivers or deviations from the requirements of the New Albany Technology Manufacturing District Landscape and Architecture Standards Plan in conjunction with review of a Planning and Design Permit

application, and such requests shall not be deemed to be variances. A waiver or deviation shall be approved if the Community Development Director or his/her designee finds:

- (1) The proposed waiver or deviation will result in a condition that is equal to or better than the condition or standard which was intended to be achieved by the strict application of the standard for which the request is made; and
- (2) The proposal will not cause adverse impacts to surrounding areas, or if such impacts may occur, they are reasonably mitigated.

(Ord. O-46-2021. Passed 12-14-21.)

**Planning Commission Staff Report
April 21, 2025 Meeting**

**AEP SUBSTATION
FINAL DEVELOPMENT PLAN**

LOCATION: 7375 Souder Road (PID: 222-004891)
APPLICANT: AEP, Ohio Transmission Company, Inc. c/o Amy Toohey
REQUEST: Final Development Plan
ZONING: Souder East Office, Research, & Information District I-PUD
STRATEGIC PLAN: Employment Center
APPLICATION: FDP-05-2025

Review based on: Application materials received January 23, 2025

Staff report prepared by Sierra Saumenig, Planner

I. REQUEST

City staff requests that this application be tabled to the May 5, 2025 or May 19, 2025, Planning Commission meeting.

II. ACTION

Move to table final development plan application FDP-05-2025 to the May 5, 2025 or May 19, 2025, Planning Commission meeting.

Approximate Site Location:



Source: NearMap



**Planning Commission Staff Report
April 21, 2025 Meeting**

**SPEEDWAY
FINAL DEVELOPMENT PLAN MODIFICATION**

LOCATION: Generally located at the northwest intersection of Mink Street and Innovation Campus Way (PID: 093-107478-00.002)
APPLICANT: J. Carter Bean Architect LLC c/o Carter Bean
REQUEST: Final Development Plan
ZONING: Mink Interchange I-PUD
STRATEGIC PLAN: Retail/Employment Center
APPLICATION: FDM-19-2025

Review based on: Application materials received March 13, 2025

Staff report prepared by Sierra Saumenig, Planner II

I. REQUEST AND BACKGROUND

The final development plan application was approved at the March 3, 2025 Planning Commission meeting. The applicant has submitted a final development plan modification application to be heard by the Planning Commission.

The proposed changes include:

1. ☐ The addition of five parking spaces increasing from 36 spaces to 41 spaces.
2. ☐ A minimal increase of lot coverage from 42.7% to 43.6%

II. SITE DESCRIPTION & USE

The site is generally located north of Innovation Campus Way and west of Mink Street. It is bordered by commercial properties to the north (New Albany 525), west (AmplifyBio), and south (Axium Building 6), with residential areas in Jersey Township to the east.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*

- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. ☐ *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

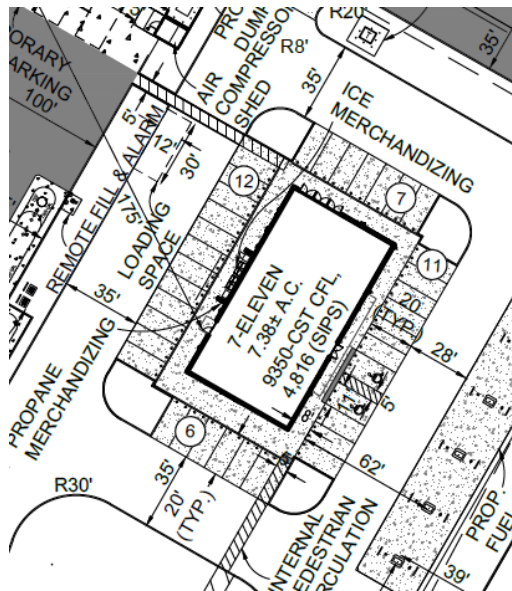
Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan recommends the following development standards for the Neighborhood Retail future land use category:

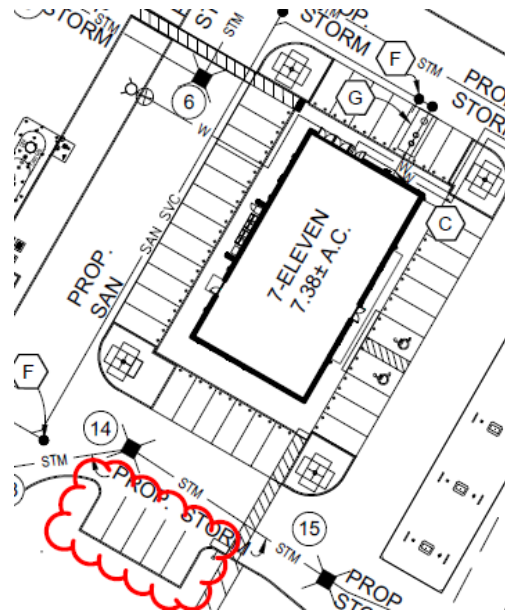
1. ☐ Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
2. ☐ Combined curb cuts and cross access easements are encouraged.
3. ☐ Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
4. ☐ Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
5. ☐ Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

1. ☐ The site layout generally remains the same as previously approved aside from the additional parking spaces.



Approved



Proposed

2. ☐ Zoning text section II(C)(9) requires that the total lot coverage, which includes areas of pavement and building, to not exceed 80%. The plan meets this requirement with a proposed 43.6% lot coverage amount.

B. Access, Loading, Parking

1. ☐ The city parking code does not have parking standards for convenience stores associated with a gasoline station use. The Planning Commission should evaluate the appropriateness of the number of parking spaces provided on site.
 - ☐ The applicant is providing 41 parking spaces on site.
 - ☐ Per Codified Ordinance 1167.05(d)(8) gasoline service stations require 2 for each service bay plus 1 for each 2 gasoline dispensing units, plus 1 for each employee during main shift. This site has 10 gasoline pumps and could have up to 5 employees during the main shift resulting in 10 parking spaces being required.
 - ☐ City code does not have specific parking space requirements for convenience stores associated with a gasoline station use. The closest use within the city parking code is retail shopping centers which require one parking space for each 200 square feet of gross floor area. The convenience store is 4,816 square feet which would require 25 parking spaces. The applicant is providing 41 parking spaces which appears to accommodate both the gasoline pump and convenience store uses. This is generally consistent with other gas stations in the city such as Duke and Duchess.

C. Architectural Standards

1. ☐ No architectural changes

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. ☐ No landscaping changes

E. Lighting & Signage

1. ☐ No changes to lighting or signage

IV. SUMMARY

The proposal is meeting many of the goals of the Engage New Albany Strategic Plan such as providing pedestrian access along roadways into the site and utilizing high quality building materials.

The additional parking and minimal coverage increase is not substantial. With the recommended condition of approval, the use is appropriate given the surrounding commercially zoned area.

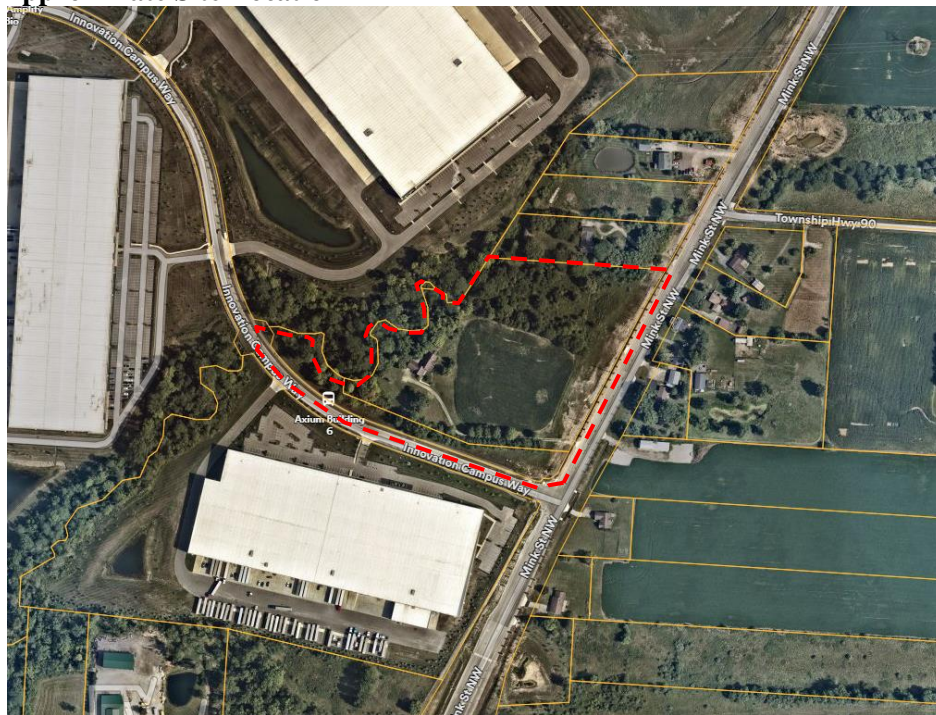
V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan modification application FDM-19-2025, subject to the following conditions:

1. ☐ All conditions from the approved final development plan application FDP-03-2025 shall be met.

Approximate Site Location



Source: NearMap

Permit # _____
Board _____
Mtg. Date _____



Community Development Planning Application

Project Information	Site Address <u>T.B.D. N.W.C. Mink Road at Innovation Campus Way, New Albany, Ohio 43056</u>																																																												
	Parcel Numbers <u>093-107478-00.002 (To be split)</u>																																																												
	Acres <u>7.38</u> # of lots created _____																																																												
	<table border="1"><thead><tr><th>Choose Application Type</th><th colspan="4">Circle all Details that Apply</th></tr></thead><tbody><tr><td><input type="checkbox"/> Appeal</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Certificate of Appropriateness</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Conditional Use</td><td></td><td></td><td></td><td></td></tr><tr><td><input checked="" type="checkbox"/> Development Plan</td><td>Preliminary</td><td>Final</td><td>Comprehensive</td><td><u>Amendment</u></td></tr><tr><td><input type="checkbox"/> Plat</td><td>Preliminary</td><td>Final</td><td></td><td></td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td>Combination</td><td>Split</td><td>Adjustment</td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Vacation</td><td>Easement</td><td></td><td>Street</td><td></td></tr><tr><td><input type="checkbox"/> Variance</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Extension Request</td><td></td><td></td><td></td><td></td></tr><tr><td><input type="checkbox"/> Zoning</td><td>Amendment (rezoning)</td><td></td><td>Text Modification</td><td></td></tr></tbody></table>	Choose Application Type	Circle all Details that Apply				<input type="checkbox"/> Appeal					<input type="checkbox"/> Certificate of Appropriateness					<input type="checkbox"/> Conditional Use					<input checked="" type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	<u>Amendment</u>	<input type="checkbox"/> Plat	Preliminary	Final			<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment		<input type="checkbox"/> Minor Commercial Subdivision					<input type="checkbox"/> Vacation	Easement		Street		<input type="checkbox"/> Variance					<input type="checkbox"/> Extension Request					<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification	
	Choose Application Type	Circle all Details that Apply																																																											
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<input type="checkbox"/> Extension Request																																																													
<input type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification																																																										
	Description of Request: <u>AMENDMENT TO PLFDP2025003: ADDITION OF FIVE (5) PARKING SPACES ON SOUTH SIDE OF PARKING AREA.</u>																																																												
Contacts	Property Owner's Name: <u>MBJ Holdings LLC, c/o Jamie McNally</u>																																																												
	Address: <u>8000 Walton Parkway, Suite 120</u>																																																												
	City, State, Zip: <u>New Albany, Ohio 43054</u>																																																												
	Phone number: <u>614-939-8000</u> Fax: _____																																																												
	Email: <u>jmcnally@newalbanycompany.com</u>																																																												
	Applicant's Name: <u>Carter Bean / J. Carter Bean Architect LLC</u>																																																												
	Address: <u>4400 N. High St., Ste. 401</u>																																																												
	City, State, Zip: <u>Columbus, Ohio 43214</u>																																																												
	Phone number: <u>614-595-2285</u> Fax: _____																																																												
	Email: <u>carter@beanarchitects.com</u>																																																												
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																																																												
	Signature of Owner <u>J. J. Bean, Director of Development</u> Date: <u>12-18-25</u> Signature of Applicant <u>[Signature]</u> Date: <u>12-20-24</u>																																																												



THE NEW ALBANY COMPANY

December 18, 2024

Mr. Steve Mayer
City of New Albany
Community Development Partner
99 W. Main Street
New Albany, Ohio 43054

Re: New Construction of Convenience store, unleaded fuel canopy & diesel fuel canopy
Parcel: 093-107478-00.002 (parcel to be split)
Smith's Mill Road, New Albany, Ohio 43056
Final Development Plan Application

Mr. Mayer,

This letter will serve to confirm MJB Holdings LLC, an affiliate of The New Albany Company, has entered into a contract to sell a portion of Parcel 093-107478-00.002 (parcel to be split), a +/- 7.38 acre site located northwest of the Innovation Campus Way & Mink Road intersection, for the development of a 5,450 square foot, one-story, convenience store, unleaded fuel canopy, diesel fuel canopy and trash enclosure with enclosed storage. Site improvements include vehicular access, parking, landscape, hardscape, monument signs and horse fence. Gallas Zadeh Development, or an affiliate, will be acquiring the property from MJB Holdings LLC.

Pursuant to the terms of the contract, J. Carter Bean Architects, as the architect for Gallas Zadeh Development is authorized to submit a Final Development Plan Application to the City of New Albany Planning Commission pertaining to the land under contract and the proposed development thereon.

Thank you for your consideration and please don't hesitate to contact me with any questions.

Sincerely,

Tom Rubey
Director of Development

**Mink Street Land Company, LLC
8000 Walton Parkway, Suite 200
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**City of New Albany
Community Development Dept.
Attn: Ms. Sierra Saumenig
7815 Walton Parkway
New Albany, Ohio 43054**

**Mark L. Lester Sr.
Revocable Living Trust
1838 Mink Street
Johnstown, Ohio 43031**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**COI New Albany 525 LLC
950 Goodale Blvd., Ste. 100
Columbus, Ohio 43212**

**GZD Development
Attn: Mr. Jason Zadeh
1317 West Third Avenue
Columbus, Ohio 43212**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

**MBJ Holdings L.L.C.
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054**

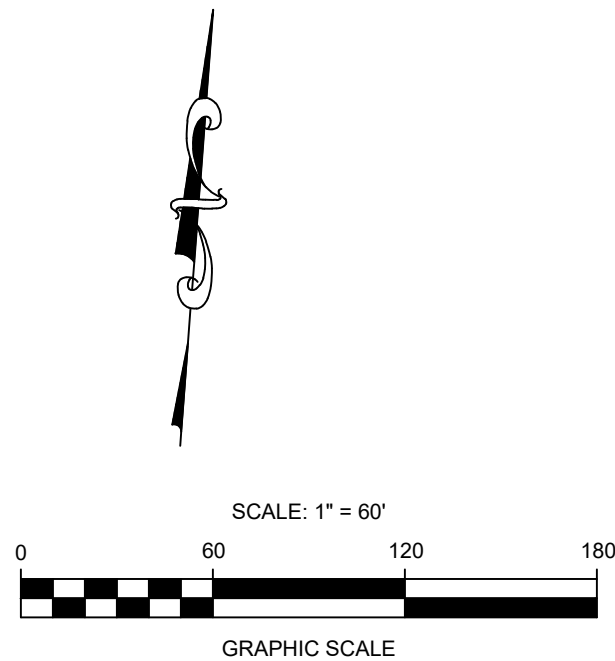
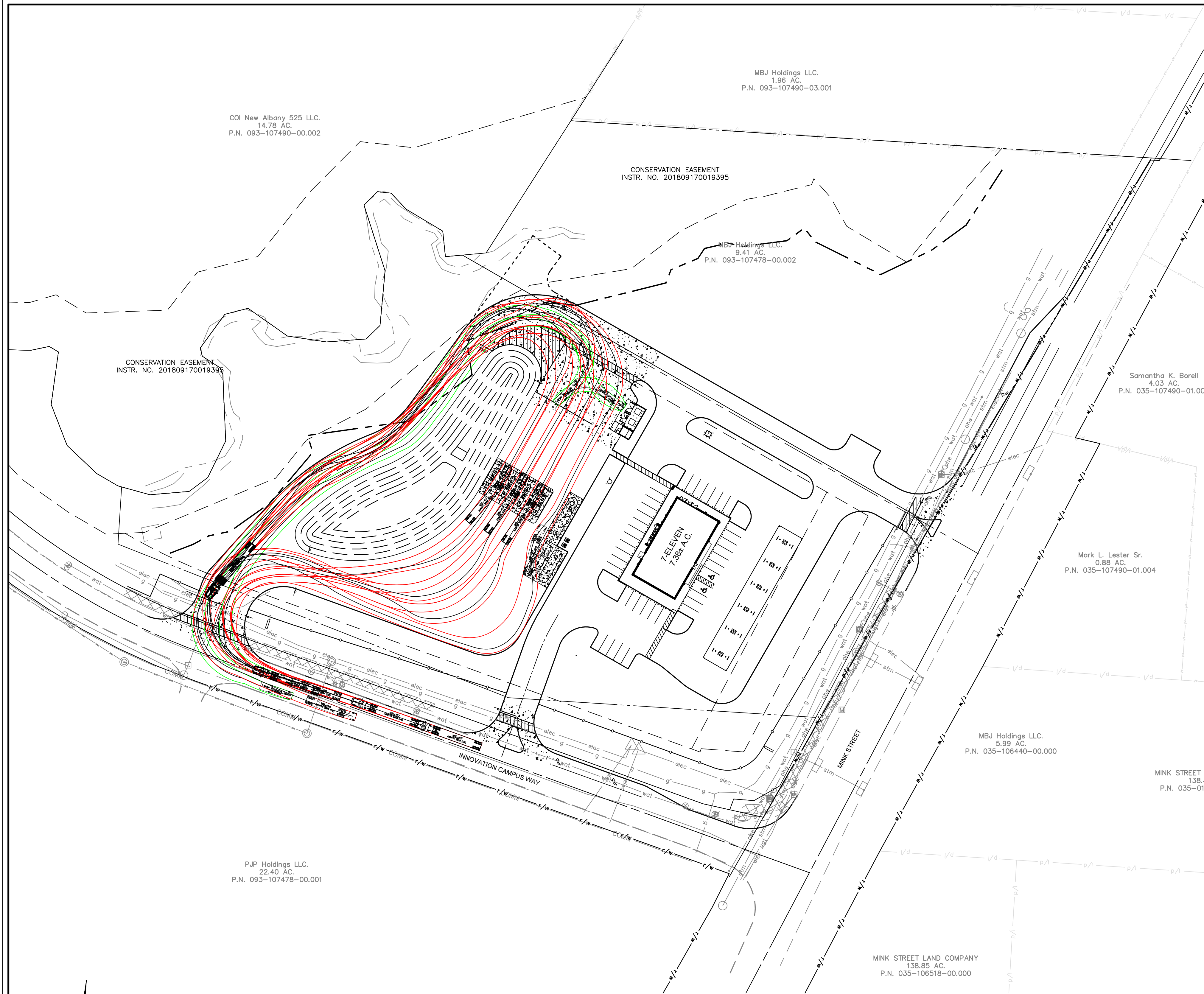
**PJP Holdings LLC
9005 Smiths Mill Road
New Albany, Ohio 43054**

**Carter Bean
J. Carter Bean Architect
4400 N. High St., Ste. 401
Columbus, Ohio 43214**

Parcel Number	Engineer PIN	OWNER1	OWNER2	Address	City	State	Zip Code
035-106518-00.000"	02150000700000003000"	MINK STREET LAND COMPANY LLC,	,	8000 WALTON PKWY STE 200	NEW ALBANY	OH	43054
035-107490-01.004"	021511050000000006000"	MARK L LESTER SR REVOCABLE LIVING TRUST,	,	1838 MINK ST	JOHNSTOWN	OH	43031
093-107478-00.002"	021500005000000050200"	MBJ HOLDINGS L L C,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107478-00.000"	021500005000000050000"	MBJ HOLDINGS L L C,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107490-00.000"	021500004000000106000"	MBJ HOLDINGS L L C,	MB J HOLDINGS L L C,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
095-112080-02.001"	021500004000000099100"	C01 NEW ALBANY 525 LLC,	,	950 GOODALE BLVD STE 100	COLUMBUS	OH	43212
093-107478-00.001"	021500005000000050300"	PIP HOLDINGS LLC,	,	9005 SMITHS MILL RD	NEW ALBANY	OH	43054
093-107490-03.001"	02151105000000001000"	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054
093-107490-03.003"	021500005000000052100"	MBJ HOLDINGS LLC,	,	8000 WALTON PKWY STE 120	NEW ALBANY	OH	43054

Property Report

Address		
N/A MBJ HOLDINGS L L C -- MINK ST NW		
Engineer's Pin	Owner	Auditor's PIN
02150000500000050200	N/A MBJ HOLDINGS L L C	093-107478-00.002
Tax Acreage	Deed Acreage	Official Record
9.414	11.62	201603300006016



SITE DEVELOPMENT INFORMATION

ZONING:

EX. PROPERTY OWNER: MBJ HOLDINGS LLC
EX. PROPERTY USE: AGRICULTURE
EX. TOTAL SITE ACREAGE: 11.10 AC.
EX. ZONING: IPUD, INFILL PLANNED UNITY DEVELOPMENT
PROP. PROPERTY USE: CONVENIENCE STORE / RESTAURANT WITH FUEL SERVICE
PROP. 7-ELEVEN SITE ACREAGE: 7.38± AC.
PROP. FUTURE DEVELOPMENT ACREAGE: 3.72± AC.

EXISTING 7-ELEVEN SITE LOT COVERAGE: 0.26 ACRES (3.52%)
PROPOSED 7-ELEVEN BUILDING COVERAGE: 0.11 ACRES (14.9%) (4900 SF)
PROPOSED 7-ELEVEN SITE LOT COVERAGE: 3.15 ACRES (42.70%)

ADJACENT ZONING NORTH: AG, AGRICULTURAL DISTRICT
ADJACENT ZONING SOUTH: IPUD, INFILL PLANNED UNITY DEVELOPMENT
ADJACENT ZONING WEST: IPUD, INFILL PLANNED UNITY DEVELOPMENT

PARKING CALCULATIONS

AREA	SQUARE FOOTAGE	MIN. PARKING REQ'D*	TOTAL PARKING PROVIDED	PARKING RATIO
PROPOSED FUEL CENTER	4,816± S.F.	35	41	8.51/1000 S.F. 1/118 S.F.

*PER CHAPTER 1167.05 OF THE NEW ALBANY CODIFIED ORDINANCES, FOR A GASOLINE SERVICE STATION, ONE PARKING SPOT IS REQUIRED FOR EVERY 200 SF OF BUILDING AREA, (25 SPACES) ONE FOR EACH TWO GASOLINE DISPENSING UNITS, (5 SPACES) PLUS ONE FOR EACH EMPLOYEE DURING MAIN SHIFT (5 TOTAL). THERE ARE TEN DISPENSING UNITS, AND ESTIMATED 5 EMPLOYEES DURING MAIN SHIFT.

*PER ADA ACCESSIBILITY REQUIREMENTS, 2 ACCESSIBLE SPACES ARE REQUIRED AND PROVIDED.

DEVELOPER/APPLICANT: ENGINEER/SURVEYOR
GALLAS ZADEH DEVELOPMENT, LLC
1371 W. 3RD AVENUE
COLUMBUS, OHIO 43212
PHONE: 614-893-2346
CONTACT: JASON ZADEH
E-MAIL: JZADEH@GZDDEV.COM

V3 COMPANIES
550 POLARIS PARKWAY, STE. 250
WESTERVILLE, OHIO 43082
PHONE: 614-761-1661
FAX: 614-761-1328
CONTACT: ANDREW GARDNER, P.E.
E-MAIL: AGARDNER@V3CO.COM

TRUCK ROUTING

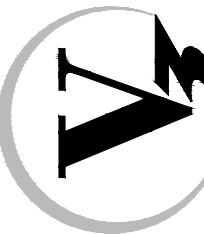
7-ELEVEN

NEW ALBANY

S04

OHIO

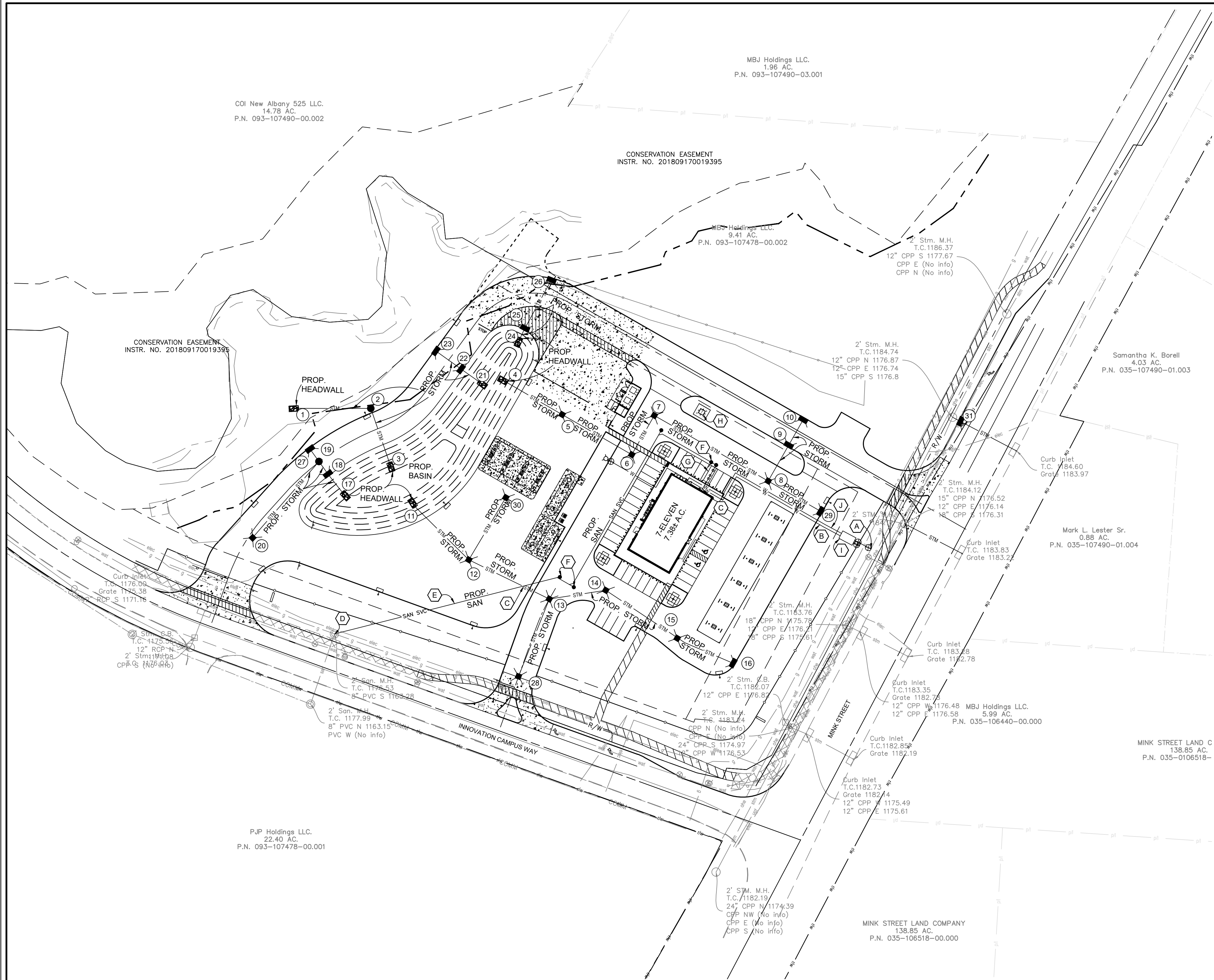
550 Polaris Parkway,
Suite 250
Westerville, OH 43082
614.761.1661 phone
www.v3co.com



DRAWING NO.

C1.2

PROJECT NO.:	231359		ORIGINAL ISSUE DATE: 03/06/2025		REVISIONS	
	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
PROJECT MANAGER:	AAG	###	#####	###	###	###
DESIGNED BY:	AAG	###	#####	###	###	###
DRAWN BY:	KMM	###	#####	###	###	###

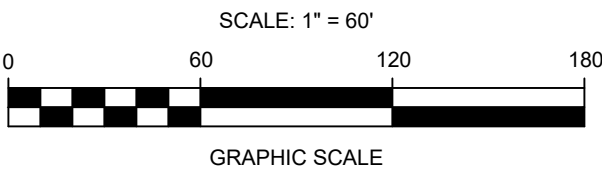


LEGEND


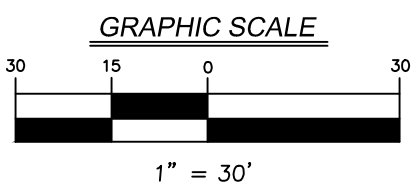
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- ① STORM STRUCTURE NUMBER
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT
- ⊗ EXISTING VALVE
- ⊗ PROPOSED VALVE
- ⊗ PROPOSED LIGHT POLE

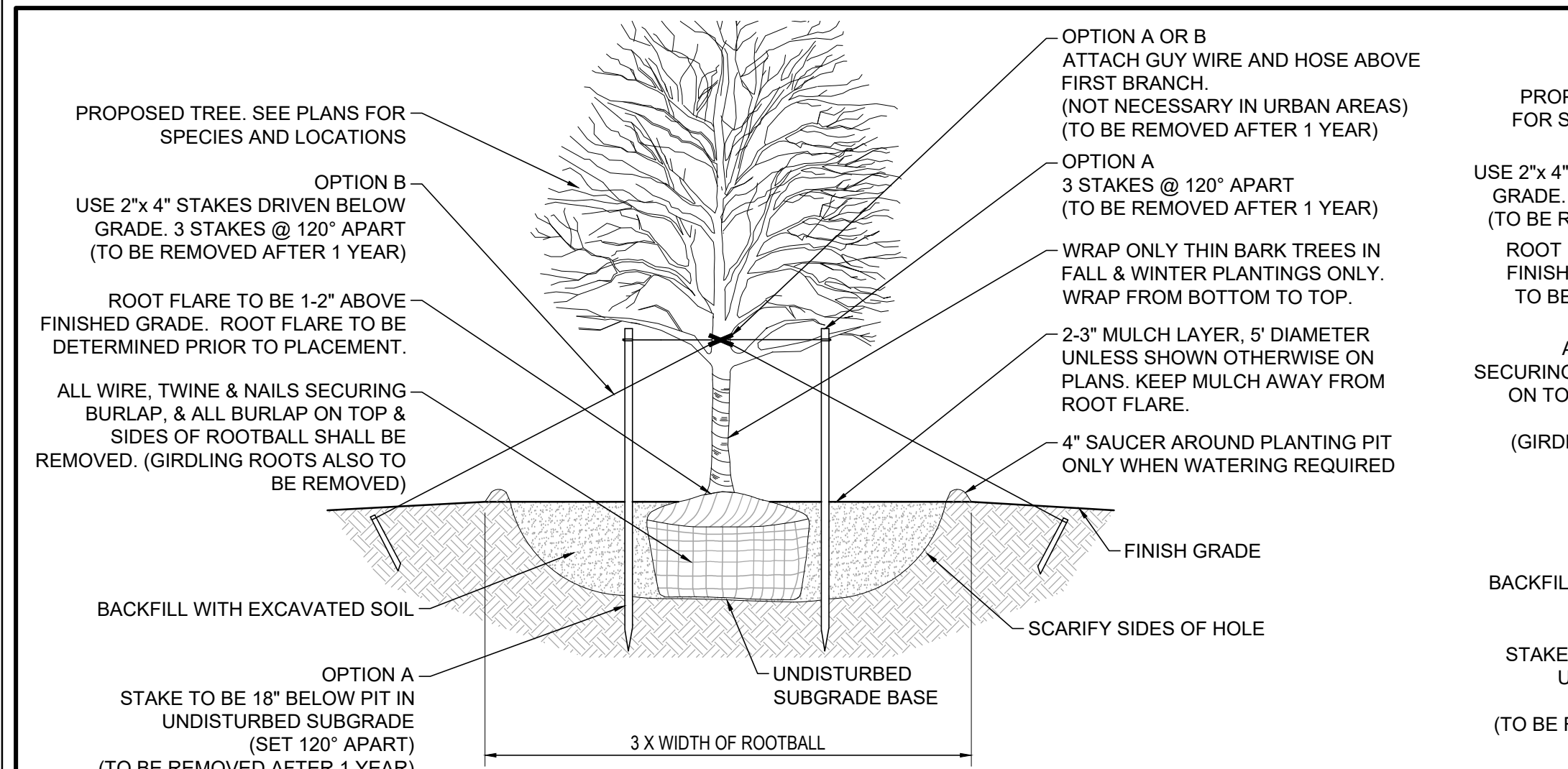
CODED NOTES

- (A) 12" x 6" TAPPING SLEEVE AND VALVE.
- (B) PROPOSED 2.0" AWWA C901, PE 4710, DR9, CTS ASTM D2737 DOMESTIC WATER SERVICE PIPE.
- (C) MAINTAIN 18" OF VERTICAL CLEARANCE (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN UTILITIES. WATERLINE TO BE DEFLECTED AS NECESSARY TO MAINTAIN MINIMUM CLEARANCE.
- (D) 6" SANITARY SEWER LATERAL TO CONNECT TO EXISTING MANHOLE. REFER TO SHEET C#.# FOR MORE INFORMATION.
- (E) PROPOSED SANITARY SEWER SERVICE. SERVICE SHALL BE RUN AT A MINIMUM SLOPE OF 2.08%. INSTALL WITHIN 5' OF BUILDING. SANITARY SERVICES SHALL BE 6" IN DIAMETER UNLESS OTHERWISE NOTED.
- (F) PROPOSED HEAVY DUTY SANITARY SERVICE CLEAN-OUT.
- (G) PROPOSED 2,000 GALLON PRECAST CONCRETE GREASE INTERCEPTOR.
- (H) PROPOSED TRANSFORMER TO BE PROVIDED BY AEP. CONTRACTOR TO PROVIDE CONCRETE PAD PER AEP SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH AEP.
- (I) PROPOSED WATER METER VAULT.
- (J) PROPOSED 6" FIRE SERVICE.

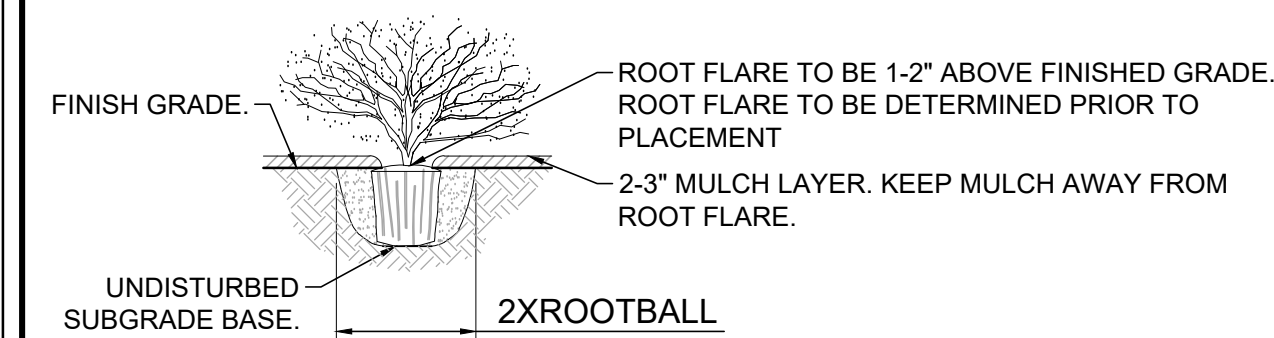


PROJECT NO.: 231359 PROJECT MANAGER: AAG DESIGNED BY: AAG DRAWN BY: KMM	ORIGINAL ISSUE DATE: 03/11/2025		REVISIONS	
	NO.	DATE	DESCRIPTION	DESCRIPTION
	DD			
UTILITY PLAN		OHIO		
7-ELEVEN		S04		
NEW ALBANY				
550 Polaris Parkway, Suite 250 Westerville, OH 43082 614.761.1661 phone www.v3co.com				
DRAWING NO. C#.#				

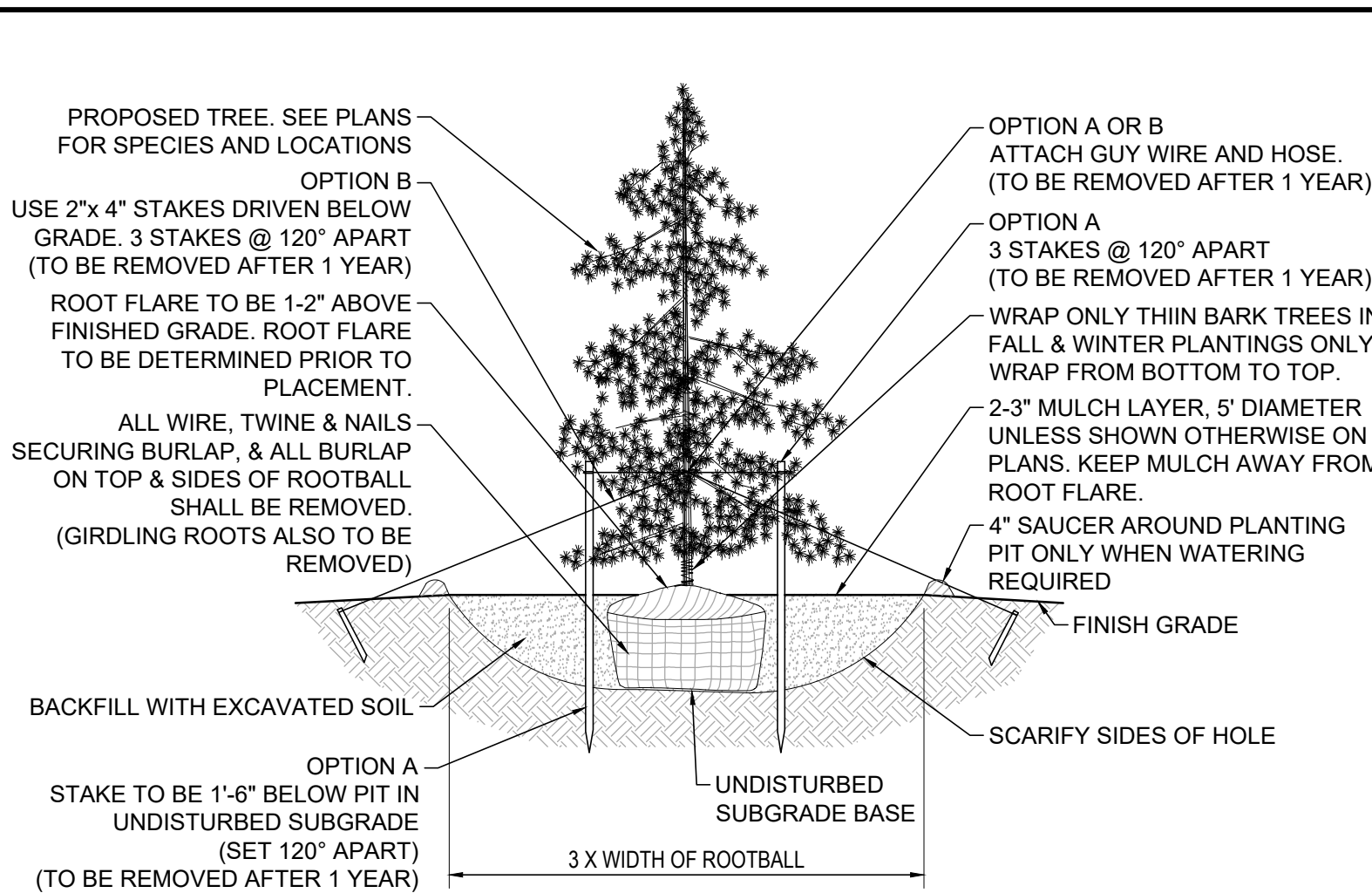




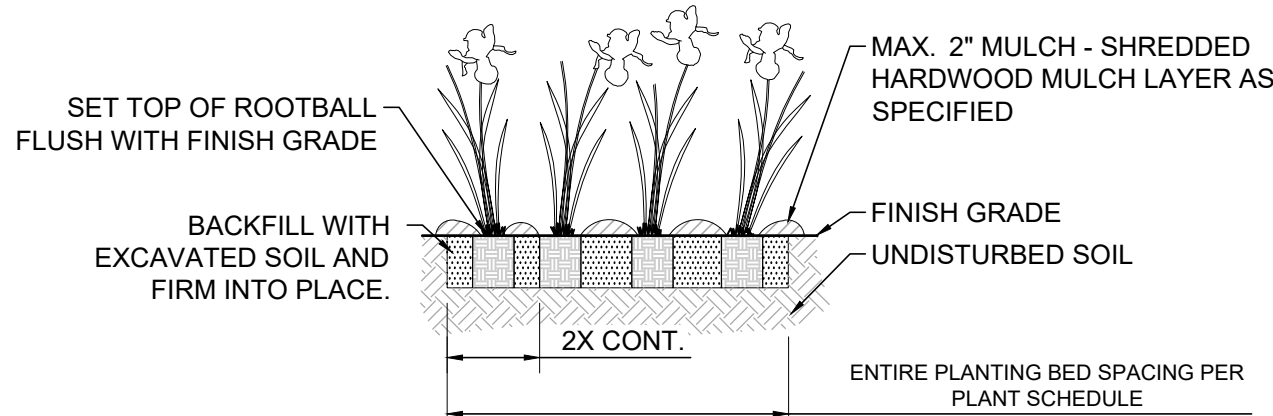
01 SHADE TREE PLANTING DETAIL
SCALE: 1/4" = 1'-0"



02 SHRUB PLANTING DETAIL
SCALE: 1/4" = 1'-0"



04 EVERGREEN PLANTING DETAIL
SCALE: 1/4" = 1'-0"



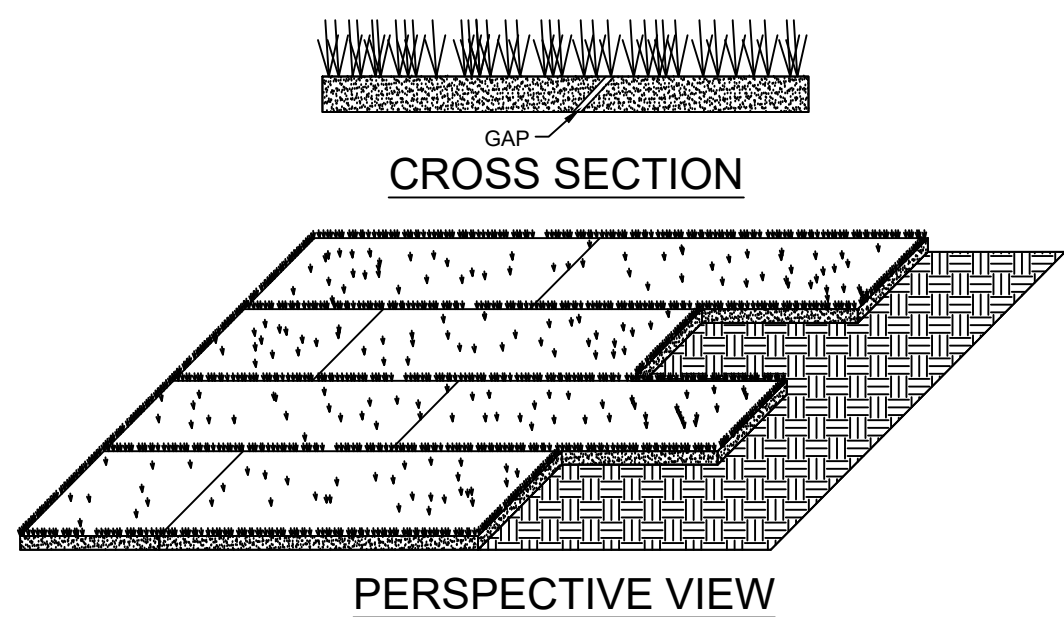
05 ORNAMENTAL GRASS PLANTING DETAIL
SCALE: 1/2" = 1'-0"

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CAL	HT
TREES							
	ACSA	11	ACER SACCHARUM	SUGAR MAPLE	B & B	3" MIN.	
	ACSB	25	ACER SACCHARUM 'BARRETT COLE'	APOLLO® SUGAR MAPLE	B & B	3" MIN.	
	CELO	12	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	3" MIN.	
	CLLU	15	CLADRASTIS LUTEA	AMERICAN YELLOWWOOD	B & B	3" MIN.	
	FAGR	15	FAGUS GRANDIFOLIA	AMERICAN BEECH	B & B	3" MIN.	
	GYDI	19	GYMNOCLADUS DIOICA	KENTUCKY COFFEETREE	B & B	3" MIN.	
	QUBI	8	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	3" MIN.	
	QUMA	11	QUERCUS MACROCARPA	BURR OAK	B & B	3" MIN.	
	QURF	21	QUERCUS ROBUR 'FASTIGIATA'	NORTHERN RED OAK	B & B	3" MIN.	
	TAMH	18	TAXUS X MEDIA 'HICKSII'	HICKS ANGLO-JAPANESE YEW	B & B	6" MIN.	
DECIDUOUS SHRUB							
	HYPR	23	HYPERICUM PROLIFICUM	SHRUBBY ST. JOHN'S WORT	CONT.	18" MIN.	
EVERGREEN SHRUB							
	JUSB	15	JUNIPERUS SQUMATA 'BLUE STAR'	BLUE STAR JUNIPER	CONT.	18" MIN.	
	JUSG	125	JUNIPERUS SQUMATA 'GREY OWL'	GREY OWL JUNIPER	CONT.	4" MIN.	
	TAMD	83	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	CONT.	4" MIN.	
GRASSES							
	CAAK	15	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	18" MIN.	
	SCSC	16	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	CONT.	18" MIN.	

03 PLANT SCHEDULE
SCALE: NTS

SHALLOW EMERGENT SEED MIX			
Type	Species	Common Name	Seeding Rate (lbs/ac)
Forbs	<i>Asclepias incarnata</i>	Swamp Milkweed	0.312500
	<i>Bidens cernua</i>	Nodding Bur Marigold	0.125000
	<i>Boltonia asteroides</i>	False Aster	0.062500
	<i>Epilobium coloratum</i>	Cinnamon Willow Herb	0.062500
	<i>Eupatorium perfoliatum</i>	Common Boneset	0.062500
	<i>Euthamia graminifolia</i>	Grass-Leaved Goldenrod	0.031250
	<i>Helenium autumnale</i>	Sneezeweed	0.125000
	<i>Liatris pycnostachya</i>	Prairie Blazing Star	0.250000
	<i>Lobelia cardinalis</i>	Cardinal Flower	0.062500
	<i>Lobelia siphilitica</i>	Blue Lobelia	0.031250
	<i>Lythrum alatum</i>	Winged Loosestrife	0.005000
	<i>Mimulus ringens</i>	Monkey Flower	0.015625
	<i>Monarda fistulosa</i>	Wild Bergamot	0.062500
	<i>Oligoneuron riddellii</i>	Riddell's Goldenrod	0.125000
	<i>Penstemon digitalis</i>	Foxglove Beard Tongue	0.312500
	<i>Physostegia virginiana</i>	Obedient Plant	0.250000
	<i>Pycnanthemum virginianum</i>	Mountain Mint	0.062500
	<i>Rudbeckia hirta</i>	Black-eyed Susan	0.125000
	<i>Symphyotrichum novae-angliae</i>	New England Aster	0.125000
	<i>Verbena hastata</i>	Blue Vervain	0.187500
	<i>Veronicastrum virginicum</i>	Culvers Root	0.031250
	<i>Zizia aurea</i>	Golden Alexanders	0.500000
		sub total	2.926875
Grasses & Sedges	<i>Calamagrostis canadensis</i>	Blue Joint Grass	0.062500
	<i>Carex bicknellii</i>	Copper-shouldered Oval Sedge	0.125000
	<i>Carex cristatella</i>	Crested Oval Sedge	0.125000
	<i>Carex lupulina</i>	Common Hop Sedge	0.500000
	<i>Carex scoparia</i>	Lance-fruited Oval Sedge	0.125000
	<i>Carex tribuloides</i>	Awl-fruited Oval Sedge	0.062500
	<i>Carex vulpinoidea</i>	Brown Fox Sedge	0.062500
	<i>Uniola latifolia</i>	River Oats	0.500000
	<i>Elymus riparius</i>	Riverbank Wild Rye	2.000000
	<i>Elymus virginicus</i>	Virginia Wild Rye	3.000000
	<i>Glyceria striata</i>	Fowl Manna Grass	0.062500
	<i>Juncus nodosus</i>	Knotted Rush	0.015625
	<i>Leersia oryzoides</i>	Rice Cut Grass	0.500000
	<i>Panicum virgatum</i>	Switch Grass	0.500000
	<i>Scirpus atrovirens</i>	Dark-green Bulrush	0.015625
	<i>Scirpus cyperinus</i>	Wool Grass	0.015625
	<i>Scirpus pendulus</i>	Rufous Bulrush	0.015625
		sub total	7.687500
		Total Permanent Species:	10.614375
Cover	<i>Avena sativa</i>	Seed Oats	32.000

06 SHALLOW EMERGENT SEED MIX
SCALE: NTS



SOD NOTES


- INSTALLATION
SOD SHOULD NOT BE INSTALLED DURING HOT WEATHER, ON DRY SOIL, FROZEN SOIL, COMPACTED CLAY, LOOSE SAND OR GRAVELLY SUBSTRATE SOILS, AGGREGATE, OR PESTICIDE TREATED SOIL. THE IDEAL TIME TO LAY SOD IS MAY 1 TO JUNE 1 OR SEPTEMBER 1 TO SEPTEMBER 30, ALTHOUGH IT CAN BE INSTALLED AS EARLY AS MARCH 15 IF AVAILABLE OR JUNE 1 TO SEPTEMBER 1 IF IRRIGATED.
- SITE PREPARATION
1. APPLY TOPSOIL IF EXISTING SOIL CONDITIONS ARE UNSUITABLE FOR ESTABLISHING VEGETATION.
 2. GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE AND CREATE A SMOOTH, FIRM SOIL SURFACE.
 3. WHERE APPLICABLE, USE A CHISEL PLOW, DISK, HARROW, OR RAKE TO BREAK UP COMPACTED SOILS AND CREATE A FAVORABLE ROOTING DEPTH OF SIX TO EIGHT INCHES.
- SOD BED PREPARATION
1. TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.
 2. IF SOIL PH IS TOO ACIDIC FOR THE GRASS SOD TO BE INSTALLED, APPLY LIME ACCORDING TO SOIL TEST RESULTS OR AT THE RATE RECOMMENDED BY THE SOD SUPPLIER.
 3. APPLY FERTILIZER AS RECOMMENDED BY THE SOIL TEST. IF TESTING WAS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
 4. WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF SOIL WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.
 5. RAKE OR HARROW THE AREA TO ACHIEVE A SMOOTH FINAL GRADE AND THEN ROLL OR CULPACK THE SOIL SURFACE TO CREATE A FIRM SURFACE ON WHICH TO LAY THE SOD.
- LAYING THE SOD
1. INSTALL SOD WITHIN THIRTY-SIX HOURS OF ITS CUTTING.
 2. STORE THE SOD IN A SHADED LOCATION DURING INSTALLATION.
 3. IMMEDIATELY BEFORE LAYING THE SOD, RAKE THE SOIL SURFACE TO BREAK ANY CRUST. (IF THE WEATHER IS HOT, LIGHTLY IRRIGATE THE SOIL SURFACE PRIOR TO LAYING THE SOD.)
 4. LAY SOD STRIPS IN A BRICK-LIKE PATTERN.
 5. BUTT ALL JOINTS TIGHTLY AGAINST EACH OTHER (DO NOT STRETCH OR OVERLAP THEM), USING A KNIFE OR MASON'S TROWEL TO TRIM AND FIT SOD INTO IRREGULARLY SHAPED AREAS.
 6. ROLL THE SOD LIGHTLY AFTER INSTALLATION TO ENSURE FIRM CONTACT BETWEEN THE SOD AND SOIL.
 7. IRRIGATE NEWLY SODDED AREAS UNTIL THE UNDERLYING SOIL IS WET TO A DEPTH OF FOUR INCHES, AND THEN KEEP MOIST UNTIL THE GRASS TAKES ROOT.

- SLOPE APPLICATION
1. INSTALL THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO THE SLOPE.
 2. WHERE SLOPES EXCEED A RATIO OF 3:1, STAPLE OR STAKE EACH STRIP AT THE CORNERS AND IN THE MIDDLE.
- CHANNEL APPLICATION
- (SODDING PROVIDES QUICKER PROTECTION THAN SEEDING AND MAY REDUCE THE RISK OF EARLY WASHOUT.)
1. EXCAVATE THE CHANNEL, ALLOWING FOR THE FULL THICKNESS OF THE SOD.
 2. LAY THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO CHANNEL FLOW.
 3. STAPLE OR STAKE EACH STRIP OF SOD AT THE CORNERS AND IN THE MIDDLE.
 4. STAPLE JUTE OR BIODEGRADABLE POLYPROPYLENE NETTING OVER THE SODDED AREA TO MINIMIZE THE POTENTIAL FOR WASHOUT DURING ESTABLISHMENT.
- MAINTENANCE
1. INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS UNTIL SOD IS WELL ROOTED.
 2. KEEP SOD MOIST UNTIL FULLY ROOTED.
 3. AFTER SOD IS WELL-ROOTED (TWO TO THREE WEEKS), MAINTAIN A PLANT HEIGHT OF TWO TO THREE INCHES.
 4. TIME MOWING TO AVOID RUTS IN TURF.
 5. FERTILIZE TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION. FOR COOL SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASON GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING AND ONE-THIRD IN MID-SUMMER.

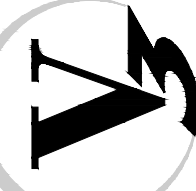
08 SOD PLANTING DETAIL AND SPECIFICATIONS

1. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
2. NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BID IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT I.D. AT NURSERY OR CONTRACTORS OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY THE LANDSCAPE ARCHITECT.
3. ALL PLANTS SHALL MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, AS SET FORTH BY AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
4. PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
5. ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR THEIR PORTION OF WORK.
7. LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS THEY FEEL MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
8. BACKFILL FOR TREE PLANTING SHALL BE NATIVE SOIL FROM TREE PIT AND INCORPORATE A 5-10-5 ANALYSIS SLOW-RELEASE FERTILIZER AT APPROVED RATES.
9. AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
10. TREE STAKING IS NOT REQUIRED AS PART OF INITIAL PLANTING. HOWEVER, STAKING WILL BE REQUIRED TO MAINTAIN ANY TREES WHICH BECOME OUT OF PLUMB.
11. LANDSCAPE CONTRACTOR IS TO COORDINATE ALL WORK WITH OTHER TRADES TO MINIMIZE RISK OF DAMAGE TO SITE UTILITIES.
12. PRIOR TO THE INSTALLATION OF LANDSCAPING, LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER, AND ANY OTHER AFFECTED PARTY TO DISCUSS PROPER SEPARATIONS FROM UTILITIES.
13. A MINIMUM OF TEN (10) FOOT HORIZONTAL DISTANCE FROM LATERALS OR ANY OTHER SANITARY OR STORM SEWER FACILITIES (AS MEASURED FROM THE DRIP LINE OF THE MATURE TREE TO THE CENTER OF SEWER FACILITIES) MUST BE MAINTAINED. ANY TREES OR LANDSCAPING PLACED WITHIN EASEMENTS OR RIGHTS-OF-WAY ARE AT RISK OF BEING DAMAGED OR REMOVED WITHOUT THE OBLIGATION OF REPLACEMENT.
14. THE TOE OF SLOPE OF EARTHEN MOUNDING CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.
15. RETAINING/DECORATIVE/ENTRANCE WALLS CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.

LANDSCAPE CONSTRUCTION NOTES

<div><div>550 Polaris Parkway Westerville, Ohio 43082 614.761.1661 phone www.v3co.com</div></div>	<div>LANDSCAPE DETAILS</div> <div>7-ELEVEN</div> <div>NEW ALBANY</div> <div>S04</div> <div>OHIO</div>	PROJECT NO. 231359		ORIGINAL ISSUE DATE:		REVISIONS													
		PROJECT MANAGER: AAG		DD		NO.		DATE		DESCRIPTION		NO.		DATE		DESCRIPTION			
		DESIGNED BY: AAG																	
		DRAWN BY: KAT																	
DRAWING NO.		L2.0																	

550 Polaris Parkway
Westerville, Ohio 43082
614.761.1601 Phone
www.v3co.com



DRAWING NO.

L2.0

STORMWATER MANAGEMENT AREAS & LANDSCAPE SPECIFICATIONS

1.1 SITE PREPARATION

When feasible, prior to mass earthwork operations, stake the limits of the proposed stormwater management areas & landscape planting areas and do not allow heavy equipment to run over the soil in these locations. Soil compaction is very critical in the functioning of stormwater management areas.

Do not clear vegetation until necessary to help minimize site erosion.

Place tree protection barriers around the drip line of all trees that are to remain. There shall be no storage of materials, heavy equipment or vehicles within the drip line of trees.

1.2 MATERIALS

1.2.1 SUBMITTAL REQUIREMENTS

Contractors shall submit to engineer/landscape architect for review and approval all proposed materials to be used within the stormwater management areas and landscape areas prior to purchase. Submittals include but are not limited to:

- Planting soil composition
- Compost/Mulch
- River Cobble
- Turf Grass Sod and Seed
- Plant lists (Woody and herbaceous materials)
- Herbicides and Pre-Emergent Herbicides

1.2.2 PLANTING SOIL

The soil shall be a uniform, well blended mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bio-retention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The soil mix shall be free of Bermuda grass, Quack grass, Johnson grass, or other noxious weeds. The planting soil for bio-retention facilities shall consist of a mixture of sand or crushed glass cullet of equivalent grade, topsoil, and compost components, to obtain an engineered soil mix meeting the following specifications:

USDA Texture class: sandy loam or loamy sand. Mineral fraction consists of no less than 40% well-graded sand or glass cullet and no greater than 10% clay (dry weight basis)

Organic content: 20% (dry weight basis)

pH: 5.5 - 7.0

Soluble Salts (Salinity): less than 500 mg/kg (500ppm)

Phosphorous: soil p-index should be between 15 and 40

Permeability: Minimum 0.50 inches/hour

Volumetric proportions of the components making up the bio-retention soil mix shall be as follows:

- Sand: 50% by volume
- Compost: 20% by volume
- Topsoil: 30% by volume

Compost shall be finished (aged), and composted material shall be of plant origin. Compost shall have a C:N ratio ≤ 25:1.

If the planting soil does not meet the above characteristics, then it shall either be adjusted to meet the criteria or removed and replaced with an acceptable planting soil. See 1.3 Testing Requirements.

Existing topsoil on site may be amended to meet the specifications of the planting soil mix. The existing topsoil shall be tested for organic content, grain size analysis and permeability to identify necessary amendments.

Planting soil shall not be incorporated into the Work until it is approved by the engineer/landscape architect.

1.2.3 MULCH MATERIAL

A mulch layer shall be provided on top of the planting areas, to the depth OF 2-3 inches. The material shall consist of finished (aged) leaf compost mulch, and shall be well mixed and homogeneous, uniform in color and free of foreign material and viable plant seeds. The mulch material shall have no visible free water and produce no dust when handled. It shall meet the following criteria:

90% of material passing 1/2" screen

Organic content: 35- 65% (dry weight basis)

pH: 6.0 - 8.0

1.2.4 TURF GRASS SOD AND SEED

1.2.4.1 TURF GRASS SOD

See plans for locations. Turf grass sod shall be a mixture within the following ranges:

Kentucky Bluegrass: 50-100%

Fine Fescue: 0-30%

Turf Type or Rhizomatous Tall Fescue: 50-100%

Turf grass sod shall be of good quality, free of weeds, disease and insects and of good color and density. Turf grass sod shall be machine-cut at a minimum uniform soil thickness and grown in central Indiana.

1.2.4.2 TURF GRASS SEED / COVER CROP

See plans for seed mixture(s) and rate(s). No substitutions shall be allowed without approval from the ecological consultant.

Seed shall be clean, delivered in original unopened packages, and bearing an analysis of the contents. Guaranteed 98 percent pure and to have a minimum germination rate of 90 percent; within 1 year of test.

Temporary cover shall be Seed Oats (Avena sativa) and annual ryegrass (Lolium multiflorum). Under no circumstances shall the site be stabilized with winter ryegrass, grain ryegrass, or winter wheat. These plants produce toxins that inhibit prairie seed germination.

1.2.5 LIVE PLANT MATERIAL

1.2.5.1 TREES & SHRUBS

General: Furnish nursery-grown plants true to genus, species, variety, cultivar, stem form, shearing, and other features indicated in Plant Schedule or Plant Legend shown on Drawings and complying with ANSI Z60.1, and with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock, densely foliated when in leaf and free of disease, pests, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and dieback.

Root-Ball Depth: Furnish trees and shrubs with root balls measured from top of root ball, which shall begin at root flare according to ANSI Z60.1. Root flare shall be visible before planting.

No bare root material shall be used unless specified on the plans.

Containerized Plant Material: Provide healthy, disease-free plants of species and variety shown or listed, with well-established root systems reaching to sides of the container to maintain a firm ball, but not with excessive root growth encircling the container. Provide only plants that are acclimated to outdoor conditions before delivery.

Plant material and quantities for stormwater management areas and landscape areas shall be taken from the plans. Any plant material substitutions shall require approval from the engineer/landscape architect.

1.2.6 HERBICIDES AND PRE-EMERGENTS

Herbicide to be used in stormwater management areas consist of glyphosate herbicides approved for use around water, such as Rodeo.

1.3 TESTING REQUIREMENTS

1.3.1 PLANTING SOIL TESTING

Soil tests shall be performed for every 500 cubic yards of planting soil, with the exception of pH and organic content tests, which are required only once per stormwater management BMP.

The planting soil shall be tested and shall meet the following criteria:

- pH range: 5.5 - 7.0
- organic matter: 5 - 10% (dry weight basis)
- magnesium: minimum 35 lbs/acre
- phosphorus (phosphate - P2O5, Bray I): shall not exceed 75 lbs./acre
- potassium (potash - K2O): minimum 85 lbs/acre
- soluble salts not to exceed 500 ppm

All stormwater management areas shall have a minimum of one test per bioretention basin and a minimum of one soil test per 500 cubic yards. Each test shall consist of both the standard soil test for pH, phosphorus, and potassium and additional tests of organic matter, and soluble salts. A textual analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the top soil was excavated. Should the pH fall out of the acceptable range by no greater than 0.2, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

1.4 INSTALLATION

1.4.1 PLANTING SOIL

Installation of soils must be completed in a manner that will ensure preservation of the infiltrative capacity of the underlying soils. The moisture content of the soil shall be low enough to prevent clumping and compaction during placement.

To prevent compaction within the limits of the basins, only hand laborers, small excavation hoes with wide tracks, light equipment with turf tires, marsh equipment or wide-track loaders may be used. No heavy equipment shall be used between the perimeter of the stormwater management BMP facility before, during, or after the placement of the planting soil.

It is very important to minimize compaction of both the base (in-situ soil) of the stormwater management areas and the required backfill. Re-fracture subgrade soils that have been compacted or smeared by raking, diskings or tilling to a minimum depth of 12 inches. Soil surfaces shall be scarified by manually raking to aerate and reduce soil compaction. Soil shall be placed in 6 inch loose depth lifts. Lifts are performed in order to reduce the possibility of excessive settlement. Soil shall be lightly hand-tamped or compacted with a water-filled landscape roller, to reduce potential for excessive settling. No other mechanical equipment shall be used to compact the planting soil or underlying soils. Limbs may also be watered to encourage natural compaction. Overfill to allow for natural settlement.

Uniformly grade planting soil to achieve a smooth surface, free of irregular surface changes. Do not over-work or excessively compact planting soil. Grade to cross sections, thickness and elevations indicated on plans. Settling of soil by walking on surface and working with hand equipment is acceptable.

1.4.2 TURF GRASS

1.4.2.1 SEQUENCING AND SCHEDULING

Turf grass shall be installed following final grading activities and all other planting installations.

1.4.2.2 SITE PREPARATION

Verify the depth and quality of the topsoil and that the topsoil has been placed according to specifications or exists as a current site condition.

Restore areas if eroded or otherwise disturbed after finish grading and before installation. Proceed with installation only after unsatisfactory conditions have been corrected.

All weeds and grasses shall be dug out by the roots and disposed of off-site.

Rake so all areas drain and are of uniform slope.

Remove all trash and stones exceeding 1/2" in diameter from area to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.2.3 PLANTING

Turf grass shall be placed on prepared soil that has been watered and is still moist. Turf grass sod shall be laid with tight joints, rolled, and thoroughly watered. River water, where available and allowed by federal, state and local authorities, is suitable for irrigation.

When installation occurs on a sloping surface where erosion may be a problem, turf grass sod shall be laid with staggered joints and secured by pegging.

1.4.3 PERMANENT TURF GRASS SEED

1.4.3.1 SEQUENCING AND SCHEDULING

Perform the seeding work and at such times that the seeding will not be damaged by freezing temperatures, rain, or high winds.

Optimum Seeding Dates:

- Northern Indiana/Illinois: August 15 through September 15
- Southern Indiana/Illinois: September 1 through September 30

Dormant seeding can be done from Thanksgiving through March, when no snow is present, but before the ground has thawed.

Spring seeding is often difficult but is acceptable from April through June if site conditions and construction schedules warrant the need for spring seeding.

Summer seed should be avoided when possible.

Permanent seeding done between May and August may require irrigation.

1.4.3.2 SITE PREPARATION

Verify the depth and quality of the topsoil and that the topsoil has been placed according to specifications or exists as a current site condition.

Restore areas if eroded or otherwise disturbed after finish grading and before installation. Proceed with installation only after unsatisfactory conditions have been corrected.

All weeds and grasses shall be dug out by the roots and disposed of off-site.

Rake topsoil thoroughly by running in two directions at right angles over the entire surface to be planted. Rake so all areas drain and are of uniform slope.

Remove all trash and stones exceeding 1/2" in diameter from area to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.3.3 PLANTING

Sow grassed areas evenly with a mechanical spreader at the minimum rate as specified on the plans, roll to cover seed and water with fine spray. Wet soil at a rate of approximately 120 gallons per 1,000 square feet. River water, where available and allowed by federal, state and local authorities, is suitable for irrigation.

Method of seeding may be varied at discretion of Contractor on his own responsibility to establish a smooth, uniformly grassed area.

1.4.4 TREES, SHRUBS AND VINES

1.4.4.1 SEQUENCING AND SCHEDULING

Planting Time: Proceed with, and complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required.

Planting seasons shall be as follows:

Deciduous Trees: Primary Planting Time March 15th to June 30th, and Secondary Planting Time September 1st to December 1st, unless noted otherwise on drawings.

Shrubs: Primary Planting Time March 15th to June 30th, and Secondary Planting Time September 1st to November 1st, unless noted otherwise on drawings.

If weather conditions within these seasons are not favorable to plant health and establishment at the time of planting (e.g. drought), planting shall be delayed until favorable conditions resume or further actions shall be taken to ensure healthy establishment (e.g. irrigation). It is the responsibility of the contractor to ensure survivability during the warranty period.

1.4.4.2 SITE PREPARATION

Planting Pits and Trenches: Excavate circular planting pits with sides sloping inward at a 45-degree angle. Excavations with vertical sides are not acceptable. Trim perimeter of bottom leaving center area of bottom raised slightly to support root ball and assist in drainage away from center. Do not further disturb base. Ensure that root ball will sit on undisturbed base soil to prevent settling. Scarify sides of planting pit smeared or smoothed during excavation.

Excavate approximately two times as wide as ball diameter for shrubs and to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.4.3 PLANTING

Before planting, verify that root flare is visible at top of root ball according to ANSI Z60.1.

Remove stem girdling, broken or kninked roots. Remove injured roots by cutting cleanly, do not break.

Set stock plumb and in center of planting pit or trench with root flare 1-2 inches above adjacent finish grades. To prevent settling of the root ball, root ball should be placed on undisturbed soil only.

Use planting soil as specified in 1.4.2 for backfill.

Balled and Burlapped: After placing some backfill around root ball to stabilize plant, carefully cut and remove burlap, rope, and wire baskets from tops of root balls and from sides. Remove burlap remove burlap, rope and wire baskets from under root balls. Remove pellets, if any, before setting. Do not use planting stock if root ball is cracked or broken before or during planting operation.

Container-Grown: Carefully remove root ball from container without damaging root ball or plant.

Fabric Bag-Grown Stock: Carefully remove root ball from fabric bag without damaging root ball or plant. Do not use planting stock if root ball is cracked or broken before or during planting operation.

Loosen pot-bound roots and remove or cut any circling and girdling roots.

Do not place root ball directly on any underdrain structures. If root ball is larger than soil depth, adjust root ball such that it is adjacent to but not resting on any underdrain structures.

Backfill around root ball in layers, tamping to settle soil and eliminate voids and air pockets. When planting pit is approximately one-half filled, water thoroughly before placing remainder of backfill. Repeat watering until no more water is absorbed.

Continue backfilling process. Water again after placing and tamping final layer of soil.

2-3 inches of mulch material (per 1.2.3) to be placed uniformly on top of soil after plant material is installed.

See details on plans for plant installation.

When planting on slopes, set the plant so the root flare on the uphill side is flush with the surrounding soil on the slope; the edge of the root ball on the downhill side will be above the surrounding soil. Apply enough soil to cover the downhill side of the root ball.

Water all trees and shrubs deeply and thoroughly upon installation and as described in section 1.7.3 to maintain health during the first year of establishment.

Stake tree in southwesterly direction. Tree should be loose fitting and allow for natural sway. Remove after one year.

Minimize pruning to dead or broken branches.

Place 4" perforated corrugated plastic pipe (CPP) around tree for protection from deer. Cut length to height of tree from root flare to first branch and slice lengthwise. (Not necessary in urban areas) Contractor shall be responsible for replacement of any plant material damaged by wildlife if protective CPP is not installed.

1.4.5.3 PLANTING

Use an auger or other appropriate tool to excavate planting holes in a staggered pattern per the planting plan. Refer to landscape drawings for specific spacing requirements.

Plant plugs level with final soil grade. Be certain that soil is placed around the roots and firmed into place. Under no circumstances is soil to be mounded up to cover roots that are not planted at the appropriate depth.

1.5 QUALITY OF WORKMANSHIP

1.5.1 PERMANENT TURF GRASS SOD/SEED

All workmanship and finishes shall be first class in all respects, and in accordance with the best practice. The drawings and specifications describe the scope of work but do not show or describe all work or material that may be required for full performance and completion of the contract documents. On the basis of the scope shown herein, Contractor shall furnish and install all parts required for the proper execution and completion of the work. Any item included will require the Contractor to furnish and install all parts needed for a complete installation.

1.5.2 TREES & SHRUBS

All workmanship and finishes shall be first class in all respects, and in accordance with the best practice. The drawings and specifications describe the scope of work but do not show or describe all work or material that may be required for full performance and completion of the contract documents. On the basis of the scope shown herein, Contractor shall furnish and install all parts required for the proper execution and completion of the work. Any item included will require the Contractor to furnish and install all parts needed for a complete installation.

1.6 GUARANTEE AND WARRANTY

1.6.1 PERMANENT TURF GRASS SOD

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all site work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

Evaluate establishment of permanent turf grass sod for percent survivability thirty days prior to the end of the first complete growing season and prior to the release of any maintenance or guarantee obligations.

Success Criteria: Survivability must be 95% or greater. Dead plant material in excess of 5% of all sodded areas shall be replaced by the Contractor prior to the end of the warranty period without additional expense to the Owner.

1.6.2 PERMANENT TURF GRASS SEED

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all site work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

Evaluate establishment of permanent turf grass seed for percent survivability thirty days prior to the end of the first complete growing season and prior to the release of any maintenance or guarantee obligations.

Success Criteria: 75% of seeded area shall be covered with vegetation. 25% of the vegetation shall be permanent matrix, and less than 5% invasive species. 50% of the species within the permanent matrix shall be present.

1.6.3 TREES & SHRUBS

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all installation work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

Evaluate establishment of permanent turf grass seed for percent survivability thirty days prior to the end of the first complete growing season and prior to the release of any maintenance or guarantee obligations.

Success Criteria: 75% of seeded area shall be covered with vegetation. 25% of the vegetation shall be permanent matrix, and less than 5% invasive species. 50% of the species within the permanent matrix shall be present.

1.6.4 NATIVE HERBACEOUS PLUGS

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all installation work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all installation work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

Success Criteria: Survivability must be 95% or greater. Dead plant material in excess of 5% of all plugged material shall be replaced by the Contractor prior to the end of the warranty period without additional expense to the Owner.

Maintenance includes watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to provide a uniform, weed free, smooth lawn.

Watering

Week 1: In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of at least four (4) inches.

Week 2 and beyond: Water turf grass sod as required to maintain adequate moisture in the upper four (4) inches of soil. Avoid application of too much water - turf grass sod should not be continually saturated.

Mowing

Turf grass sod height shall be maintained between two (2) and six (6) inches or as specified by the Owner. Not more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings.

1.7.2 PERMANENT TURF GRASS SEED

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below.

Begin maintenance of lawns immediately after sod is installed in each area land continue until acceptable lawn is established, but not less than 60 days after date of Substantial Completion.

If full maintenance period has not elapsed before the end of planting season, or if lawn is not fully established, continue maintenance during the next planting season.

Maintenance includes watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to provide a uniform, weed free, smooth lawn. Ensure cover crop seed germinates within two (2) weeks of planting. If dormant seeding, ensure cover crop germinates at the start of the growing season.

Watering

Thoroughly water all permanently seeded areas after the seed has germinated for a period of one (1) month.

Apply a total rate of 120 gallons per 1000 square feet (12.2 m3/1000 m2) in at least two (2) applications spread over seven (7) days. Apply the water under pressure with a nozzle that produces a spray that will not dislodge the seed, seedlings, or mulch material. If 1/2 inch (13 mm) or greater of rainfall has occurred within the first seven (7) day period, the Installer may delay or omit the secondary application, depending on weather conditions.

Mowing

Once established, turf grass height shall be maintained between two (2) and six (6) inches or as specified by the Owner. Not more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings.

1.7.3 TREES & SHRUBS

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below. Begin maintenance immediately after plants are installed and continue until plantings are acceptably healthy and well established but for not less than maintenance period below.

Maintenance Period for Trees and Shrubs: one year

Maintain plantings by pruning, watering, weeding, mulching, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings. Spray or treat as required to keep trees and shrubs free of insects and disease.

Prune trees, shrubs, and vines according to standard professional horticultural and arboricultural practices. Do not cut tree leaders; remove only injured, dying, or dead branches from trees and shrubs; and prune to retain natural character.

Irrigate the plants as necessary to maintain rootball moisture throughout the first growing season. Surrounding soil moisture is not a suitable substitute for rootball moisture evaluation. Use of river water, where available and allowed by federal, state and local authorities, is acceptable for irrigation purposes.

Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of subsidence or where moved by stormwater flows from large rainfall events.

Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease. Use practices to minimize the use of pesticides and reduce hazards.

Protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings.

After the first growing season, evaluate the health and structure of the plant and provide structural pruning only as necessary.

CONSTRUCTION AND REVEGETATION

This section details construction and revegetation of the native stormwater basins and BMP areas.

CONSTRUCTION, SOILS AND TOPDRESSING SPECIFICATIONS

Grading and excavation of the native stormwater basins and BMPs shall be completed in accordance with the engineering plans in order to achieve the requisite storage volumes. The following specifications shall be followed to minimize impacts to the naturalized areas and provide a suitable medium for native vegetation establishment:

1. All areas to be planted or seeded with native vegetation shall be over-excavated a minimum of 1 foot below final grade to allow for the placement of topdress material, unless a one-foot thick topsoil layer is present following excavation to proposed final grade.

2. Topdress material for the proposed naturalized vegetation areas shall originate from on-site. These soils are adequate to promote native vegetation establishment. If additional topdress material is needed, the topdress material shall contain an organic matter content of 3% or more and a clay content of 27% or less.

3. Wheel-based vehicles (scrappers, endloaders, etc.) shall not be used for topdressing work. Only front-end loaders, wheel-track equipment (quad-track tractor, wide track dozer, backhoe, or approved by Engineer) shall haul, move and spread topdress material.

4. Following the 1-foot of topdress placement, the surface shall be thoroughly disked using a small farm type disc (not a large construction disk) and/or Harley rake. Topdress material shall not be handled or the surface disked when wet.

5. No wheeled traffic shall occur in the naturalized planting areas after the final diskings is complete, with the exception of a small farm type tractor if used for seeding.

6. All construction activities in the naturalized areas must be done under dry conditions.

SEEDING SPECIFICATIONS

1. The seeding contractor shall furnish, transport, and install the native seed mixes as specified for the respective areas shown on the Landscape Plan.

2. Seeding activities of the permanent matrices shall be performed after the seed bed has been properly prepared, as applicable, between November 1 after the first frost and ending when snow cover exceeds 2-inches in depth or areas are covered with ice and June 15th of the following year.

3. If construction activities are finished outside the permanent seeding window, the area can be stabilized with a temporary cover crop or permanent seeded with a supplemental seeding during the prescribed window the following year.

4. Seed shall be surface sown with a broadcast seeder and lightly raked in or with a native drop seeder.

5. All seed sources shall be within a 200-mile radius of the project site and be true to name and variety.

6. Seeding shall only occur in areas that will receive erosion blanket installation within 48 hours and/or prior to forecasted rain.

7. All native seed shall be provided on a pure live seed (PLS) basis. Actual seed amounts used on the project will vary with the actual percent of PLS in the seed lot. Seed supplied to the site shall contain documentation of PLS testing and, if required, adjustment of the seed weights to provide 100% PLS standards. If rounding is required during PLS adjustment calculations, the adjustment shall always be rounded up. Minimum PLS percentage for any species shall be 70%.

8. All seed shall be furnished in sealed containers. Seed that has become wet (unless as properly intended as a result of stratification), moldy, or otherwise damaged in transit or storage shall not be acceptable.

9. Over-seeding or re-planting may be necessary for compliance with the performance section of this document.

EMERGENT PLANTING SPECIFICATIONS

1. The planting contractor shall furnish, transport and install all container grown plants for all planting zones as specified on Landscape Plans.

2. Herbaceous planting activities shall be performed not earlier than May 15th and no later than August 1st under favorable conditions (i.e., proper hydrology).

3. All plugs shall be container grown in open bottom pots with the following minimum dimensions: 2 3/8 inches square by 3-inches deep or a minimum root area of 11 cubic inches. At time of planting, all plant plugs shall have minimum shoot heights of 12-inches and well-developed root systems that hold the planting soil together when removed from the container. Soil saturation shall be maintained for all container plants until installation.

4. Plant material shall not be provided as dormant (i.e., sprouted tubers, sprouted rhizomes or bare root) unless specified in the planting plan.

5. Plugs shall be installed at random in small species groupings.

6. It is the responsibility of the landscape contractor to ensure that proper hydrology is maintained during the first growing season following installation to ensure proper conditions for establishment. Irrigation or pumping of the basin may need to take place in order to ensure proper hydrology.

PRE-SEEDING AND PLANTING WEED CONTROL

Any areas within the mesic prairie, swale bottom or emergent planting zones that are not disturbed as a result of grading activities shall be treated for non-native invasive species including but not limited to: reed canary grass (*Phalaris arundinacea*), cattails (*Typha* sp.), common reed (*Phragmites australis*) and purple loosestrife (*Lythrum salicaria*) prior to any seeding or planting activities. Additionally, if following grading the native areas lie fallow long enough for non-native species to establish, they shall be treated prior to seeding or planting.

1. Following any herbicide applications, allow 10-14 days prior to cultivating for seed bed preparation. If weed growth persists after the initial application, reapply herbicide and delay cultivation for at least 10 days.

2. In order to prepare an adequate seed bed areas that were not disturbed as a result of grading may need to be mowed, scraped and/or burned following spray out of the fallow vegetation in order to remove all the dead plant material to allow the native seed mix to get good seed-to-soil contact and foster germination.

EROSION CONTROL BLANKET SPECIFICATIONS

North American Green (NAG) S75 BioNet shall be installed over all seeding areas (mesic prairie and swale bottom) as shown on the Landscape Plan. The blanket shall be installed within 48 hours and/or prior to forecasted rain, so no seeded area remains unprotected. Therefore, the area seeded shall be based on whatever can be blanketed within 48 hours. Installation of all erosion control materials shall be in accordance with the manufacturer's specifications.

RECTOR CONTROL

A predator control system may need to be installed to help achieve the site goals and performance standards by discouraging herbivores such as but not limited to geese, muskrats, and carp from consuming and uprooting newly planted native plugs. It is the responsibility of the landscape contractor to monitor and assess the site for herbivores and install a predator control system in a timely manner if identified to ensure the successful establishment of native planted material. If a predator control system is need then the following is recommended:

1. The materials shall include: 1-inch X 1-inch X 4-foot wood stakes with one end pointed, chicken wire fencing fabric or wire hardware cloth with mesh openings not to exceed 2-inches, 6-inch wire landscape staples, masons string and UV rated zip ties.

2. All areas receiving native plant plugs shall be protected by a predator-control structure. The fence, consisting of three-foot-high chicken wire fence mounted securely on 1-inch X 1-inch X 4-foot wood stakes in such a manner that one foot of wood stake with pointed end will extend below the fence fabric. The wood stakes will be no greater than 6 feet apart and installed approximately one foot deep into the soil so that the bottom of the fence fabric rests firmly on the soil surface. This fence shall be installed in conjunction with site seeding and native plug installation.

3. It is the responsibility of the installation contractor to remove the predator control system once the native plants have established and/or once the performance standards are met and sign off is achieved.

VEGETATION MANAGEMENT

Proper management is critical for successful establishment of the proposed plant communities. Periodic mowing and selective herbicide application are commonly used as management techniques for natural plant communities. The following management activities are recommended to ensure that the site develops in relation to pre-established goals and achieve the set performance standards.

First and Second Year Mowing: During the first two growing seasons after installing the mesic prairie and swale bottom seed mixes, mowing or selective weed whipping the vegetation should occur as needed to maintain a plant height of no greater than 18 to 20 inches. To accomplish this, cutting the vegetation to a height of 6 to 9 inches several times during the growing season will be needed. Cutting the vegetation will aid new plant growth as to allow more sunlight to reach young prairie seedlings. Cutting the vegetation will also aid in the control of annual weeds, which can undermine seeding efforts. Selective weed whipping can be used instead of a mower if conditions are unfit (i.e., too wet or no access) for a tractor or if only small, isolated areas of undesirable vegetation require cutting. In addition, cutting the inflorescence prior to seed set of many biennial species including teasel and sweet clover is an effective control method that can be utilized.

Herbicide Application: Management of the vegetation in all areas should include selective application of herbicide to control aggressive plant species, such as, but not limited to, reed canary grass (*Phalaris arundinacea*), cattails (*Typha* spp), purple loosestrife (*Lythrum salicaria*), common reed (*Phragmites australis*), thistles (*Cirsium* spp.), teasel (*Oxopisus* spp.), and sweet clovers (*Melilotus* spp.). These species, including others, can displace desirable species, thereby reducing floristic diversity in the naturalized areas. Controlling these species will be required to achieve the performance standards for the project.

Natural regeneration of cattails, common reed and reed canary grass in the stormwater basin will likely occur following construction. A pre-planting control shall be conducted if any of these species or other weeds are present. Hand pulling cattails can be conducted when the cattails are small enough to ensure that the entire root is removed. Off-site disposal of cattails will be required. Larger cattails will require herbicide applications. Cattail and common reed coverage can be no greater than 5% in aggregate prior to plant installation. Aggressive control of these species will be required after planting throughout the management period to ensure plant establishment. After planting, the hand-wick application method to control these species will likely be required.

A determination regarding the type of herbicide to be used should be made when it is known which nuisance species are present on the site. Depending on the target weed species, a selective herbicide may be available. The choice of herbicide and timing of herbicide application will be made by a trained, experienced professional based on the target weed species and conditions. Care should be taken to monitor site weather conditions to limit herbicide drift, over-spray, and ensure it is rainfast.

It is recommended that a minimum of four annual weed control application periods are conducted throughout the three-year period, below is a general guideline on the suggested schedule and target species for the application periods:

Application Period One (early spring - April/May): problematic species such as, but not limited to, reed canary grass, red/white clover, cool season adventive grasses.

Application Period Two (late spring to early summer - May/June): problematic species such as, but not limited to, teasel, white/yellow sweet clover, thistle.

Application Period Three (mid to late summer - July/August): problematic species such as, but not limited to, tall goldenrod, hairy aster, ragweed, cattails, purple loosestrife.

Application Period Four (late summer and fall - September/October): problematic species such as, but not limited to, reed canary grass, thistle, common reed, red/white clover, cool season grasses.

Prescribed Burning: Prescribed burning may be conducted in the naturalized areas during the management period. If deemed safe by the contractor, the prescribed burn should be scheduled in the spring or fall of the third growing season. Prescribed burning can reduce exotic weed species that may establish from seeds or rootstock material in the topsoil that is in situ or placed in these areas. Additionally, burning encourages the growth of native plant species from the established plant mix, and existing seedbank, and inhibits the growth of non-indigenous vegetation.

Long-Term Mowing in Lieu of Prescribed Burning: If burning is deemed unsafe, end of growing season mowing can be conducted instead. Mowing the vegetation at the end of the growing season around November would be conducted annually after the vegetation has established (after year 2). This end of growing season mowing will partially replace some of the benefits provided by fire, in an area where prescribed burning is not feasible, mowing will be to a height of 6 inches. The mowing will only occur under dry or frozen ground conditions, so that soil disturbance from wheel ruts is avoided.

PERFORMANCE STANDARDS

Performance standards are established for all proposed projects involving naturalized areas so that the relative success may be evaluated. If the performance standards are not achieved by the end of the management and monitoring program, the permittee is responsible for correction of any deficiencies through further management activities, which may include replanting.

Native BMP Performance Standards (three-years):

1. Within 3 months of seed installation (and/or three months after the start of the growing season if dormant seeded), at least 90% of the native seeding zones, as measured by aerial coverage, shall be vegetated. A minimum 90% vegetative coverage shall be maintained throughout, and at the end of the three-year period for this area.

2. Throughout the second and third year of monitoring, no area ≥ 1m² shall be unvegetated.

3. At the end of the first year of the monitoring period, all vegetated native areas shall achieve a minimum 10% native vegetative coverage. None of the three most dominant species can be non-native and/or invasive.

4. At the end of the second year of the monitoring period, all vegetated native areas shall achieve a minimum 25% native vegetative coverage. None of the three most dominant species can be non-native and/or invasive.

5. At the end of the third year of the monitoring period, all vegetated native areas shall achieve a minimum 75% native vegetative coverage. None of the three most dominant species can be non-native and/or invasive.

MONITORING

Vegetation Monitoring: Annual vegetation monitoring in the naturalized areas shall be conducted for the native BMP (3-years) areas beginning immediately following planting/seeding. The vegetation monitoring inspections shall be conducted twice per year (May/June and August/September). Monitoring shall be conducted using the meander method and/or transects in accordance with the procedures set forth by the U.S. Army Corps of Engineers Rock Island District.

Annual Monitoring Report: An annual monitoring report shall be submitted by the landscape contractor to the property owner by February 15th of each year during the three-year period or until performance standards are met and signoff is achieved.

The annual report must include a review of site progression towards meeting the performance standards and propose any necessary remedial actions. More specifically, the monitoring report must contain the following information, which will be based on data collected during the monitoring inspections.

1. A summary of management activities conducted during the year.

2. Representative photographs depicting general site conditions and work completed.

3. Provide the top three dominant species, absolute vegetative coverage and relative vegetative coverage estimates as needed to evaluate the performance standards.

4. Evaluate the status of the areas relative to the performance standards.

5. Recommend management activities for the following year to address any issues related to site success.

LANDSCAPE SPECIFICATIONS

7-ELEVEN

NEW ALBANY

OHIO

S04

PROJECT NO.: 231359

PROJECT MANAGER: AAG

DESIGNED BY: AAG

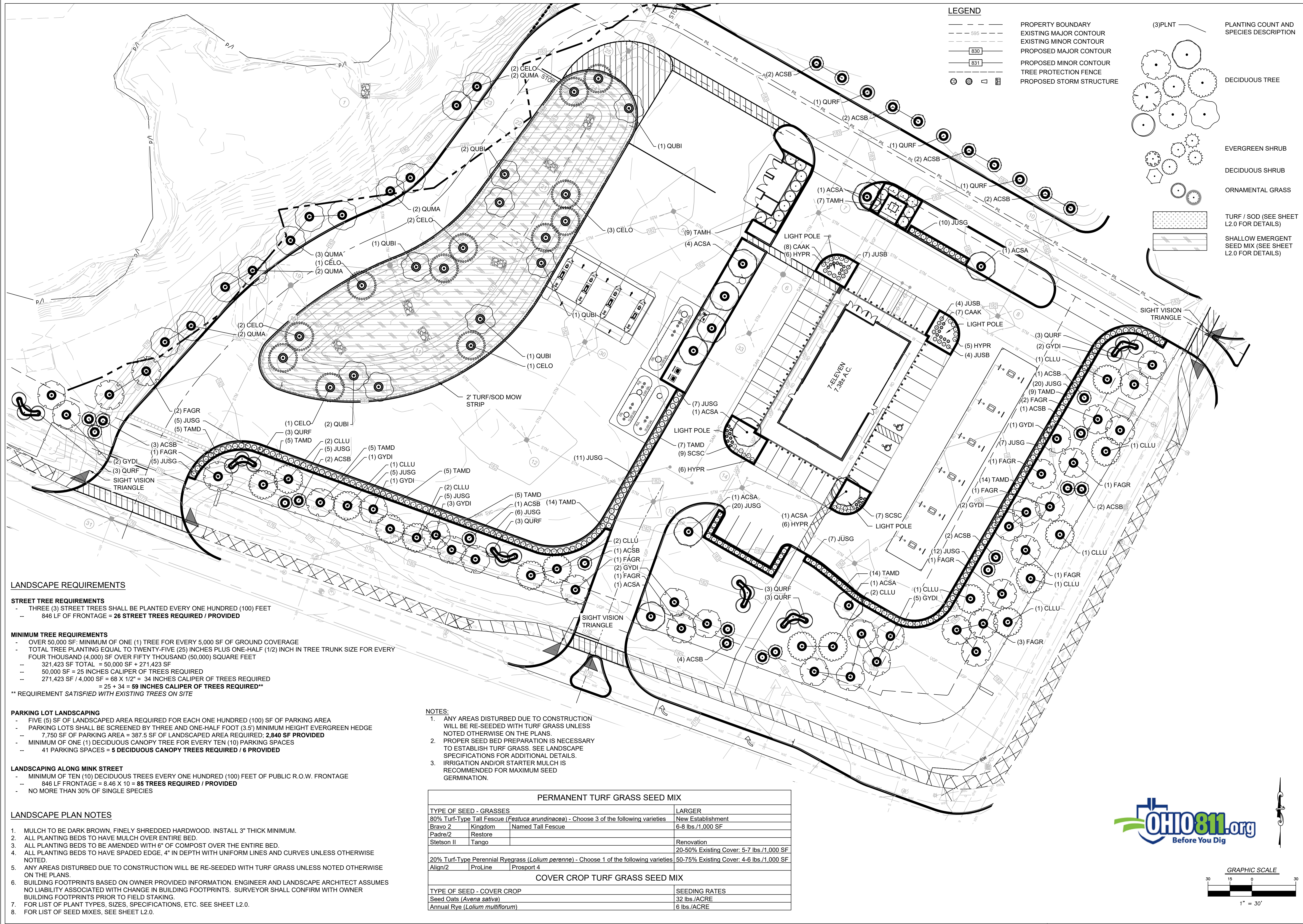
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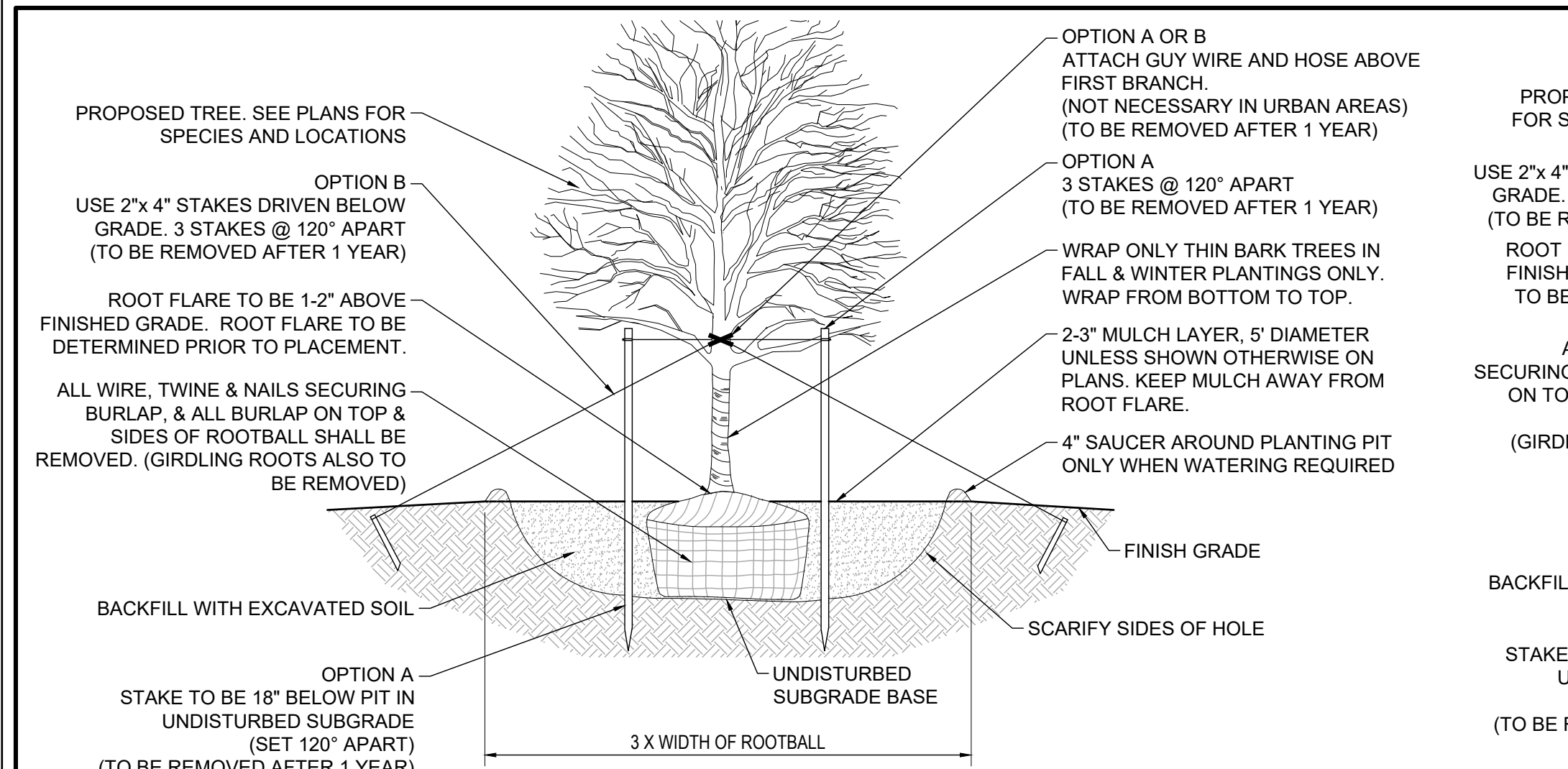
550 Polaris Parkway
Westerville, Ohio 43082
614.761.1661 Phone
www.v3co.com

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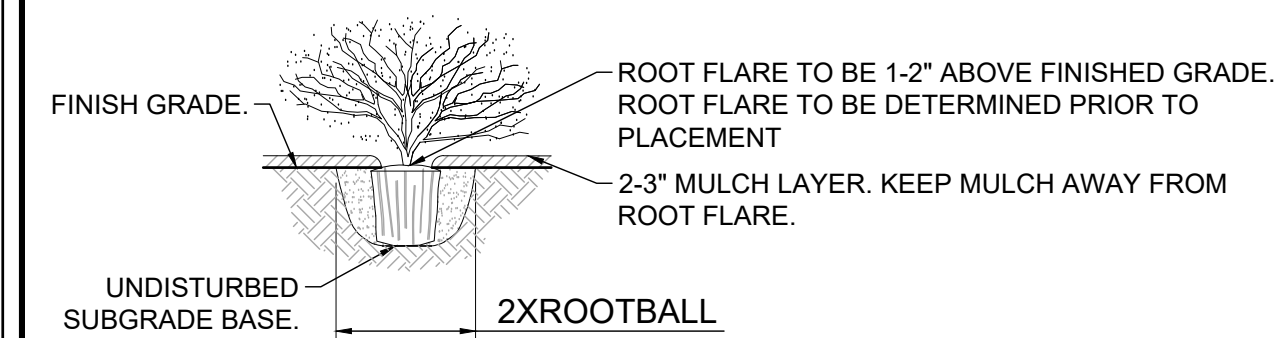
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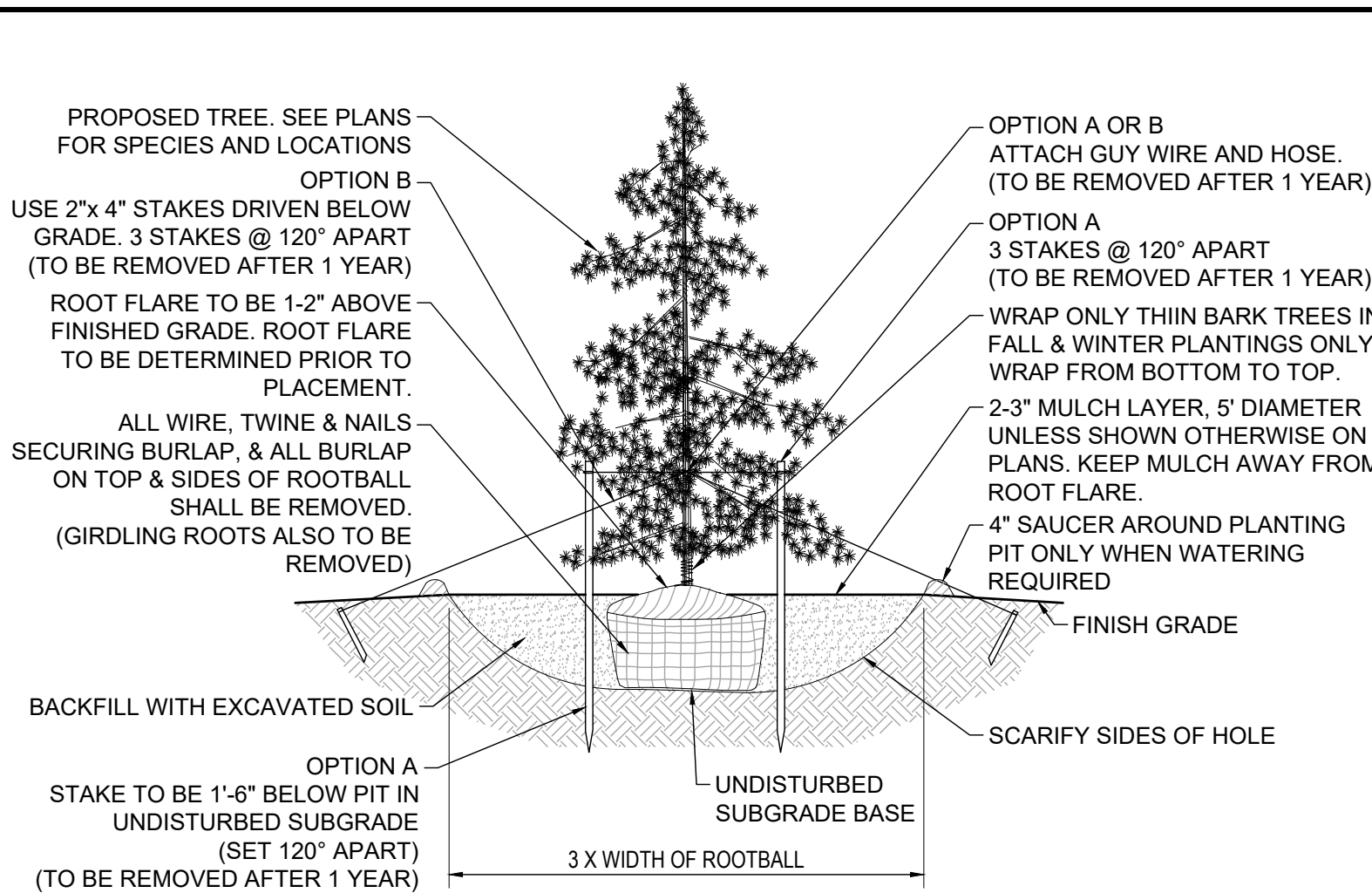




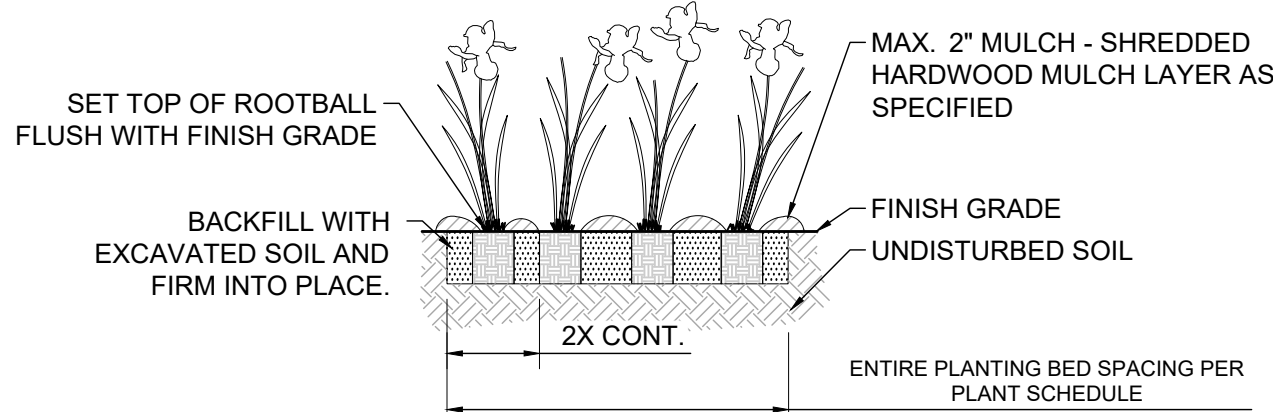
01 SHADE TREE PLANTING DETAIL
SCALE: 1/4" = 1'-0"



02 SHRUB PLANTING DETAIL
SCALE: 1/4" = 1'-0"



04 EVERGREEN PLANTING DETAIL
SCALE: 1/4" = 1'-0"



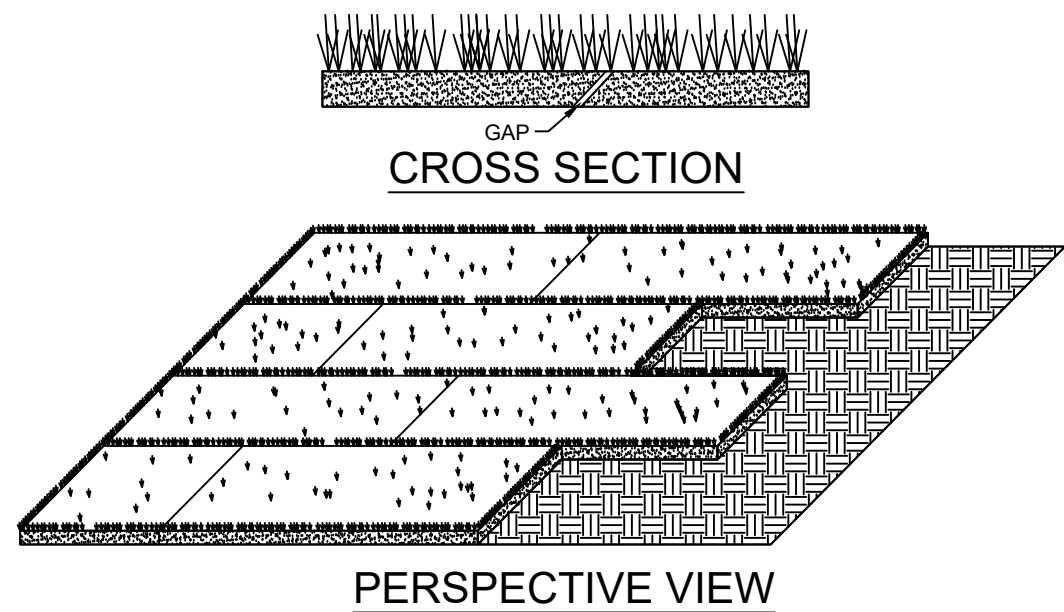
05 ORNAMENTAL GRASS PLANTING DETAIL
SCALE: 1/2" = 1'-0"

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CAL	HT
TREES							
	ACSA	11	ACER SACCHARUM	SUGAR MAPLE	B & B	3" MIN.	
	ACSB	25	ACER SACCHARUM 'BARRETT COLE'	APOLLO® SUGAR MAPLE	B & B	3" MIN.	
	CELO	12	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	3" MIN.	
	CLLU	15	CLADRASTIS LUTEA	AMERICAN YELLOWWOOD	B & B	3" MIN.	
	FAGR	15	FAGUS GRANDIFOLIA	AMERICAN BEECH	B & B	3" MIN.	
	GYDI	19	GYMNOCLADUS DIOICA	KENTUCKY COFFEETREE	B & B	3" MIN.	
	QUBI	8	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	3" MIN.	
	QUMA	11	QUERCUS MACROCARPA	BURR OAK	B & B	3" MIN.	
	QURF	21	QUERCUS ROBUR 'FASTIGIATA'	NORTHERN RED OAK	B & B	3" MIN.	
	TAMH	16	TAXUS X MEDIA 'HICKSII'	HICKS ANGLO-JAPANESE YEW	B & B	6" MIN.	
DECIDUOUS SHRUB							
	HYPR	23	HYPERICUM PROLIFICUM	SHRUBBY ST. JOHN'S WORT	CONT.	18" MIN.	
EVERGREEN SHRUB							
	JUSB	15	JUNIPERUS SQUMATA 'BLUE STAR'	BLUE STAR JUNIPER	CONT.	18" MIN.	
	JUSG	125	JUNIPERUS SQUMATA 'GREY OWL'	GREY OWL JUNIPER	CONT.	4" MIN.	
	TAMD	83	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	CONT.	4" MIN.	
GRASSES							
	CAAK	15	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	18" MIN.	
	SCSC	16	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	CONT.	18" MIN.	

03 PLANT SCHEDULE
SCALE: NTS

SHALLOW EMERGENT SEED MIX			
Type	Species	Common Name	Seeding Rate (lbs/ac)
Forbs	<i>Asclepias incarnata</i>	Swamp Milkweed	0.312500
	<i>Bidens cernua</i>	Nodding Bur Marigold	0.125000
	<i>Boltonia asteroides</i>	False Aster	0.062500
	<i>Epilobium coloratum</i>	Cinnamon Willow Herb	0.062500
	<i>Eupatorium perfoliatum</i>	Common Boneset	0.062500
	<i>Euthamia graminifolia</i>	Grass-Leaved Goldenrod	0.031250
	<i>Helenium autumnale</i>	Sneezeweed	0.125000
	<i>Liatris pycnostachya</i>	Prairie Blazing Star	0.250000
	<i>Lobelia cardinalis</i>	Cardinal Flower	0.062500
	<i>Lobelia siphilitica</i>	Blue Lobelia	0.031250
	<i>Lythrum alatum</i>	Winged Loosestrife	0.005000
	<i>Mimulus ringens</i>	Monkey Flower	0.015625
	<i>Monarda fistulosa</i>	Wild Bergamot	0.062500
	<i>Oligoneuron riddellii</i>	Riddell's Goldenrod	0.125000
	<i>Penstemon digitalis</i>	Foxglove Beard Tongue	0.312500
	<i>Physostegia virginiana</i>	Obedient Plant	0.250000
	<i>Pycnanthemum virginianum</i>	Mountain Mint	0.062500
	<i>Rudbeckia hirta</i>	Black-eyed Susan	0.125000
	<i>Symphyotrichum novae-angliae</i>	New England Aster	0.125000
	<i>Verbena hastata</i>	Blue Vervain	0.187500
Grasses & Sedges	<i>Veronicastrum virginicum</i>	Culvers Root	0.031250
	<i>Zizia aurea</i>	Golden Alexanders	0.500000
		sub total	2.926875
	<i>Calamagrostis canadensis</i>	Blue Joint Grass	0.062500
	<i>Carex bicknellii</i>	Copper-shouldered Oval Sedge	0.125000
	<i>Carex cristatella</i>	Crested Oval Sedge	0.125000
	<i>Carex lupulina</i>	Common Hop Sedge	0.500000
	<i>Carex scoparia</i>	Lance-fruited Oval Sedge	0.125000
	<i>Carex tribuloides</i>	Awl-fruited Oval Sedge	0.062500
	<i>Carex vulpinoidea</i>	Brown Fox Sedge	0.062500
	<i>Uniola latifolia</i>	River Oats	0.500000
	<i>Elymus riparius</i>	Riverbank Wild Rye	2.000000
	<i>Elymus virginicus</i>	Virginia Wild Rye	3.000000
	<i>Glyceria striata</i>	Fowl Manna Grass	0.062500
	<i>Juncus nodosus</i>	Knotted Rush	0.015625
	<i>Leersia oryzoides</i>	Rice Cut Grass	0.500000
	<i>Panicum virgatum</i>	Switch Grass	0.500000
	<i>Scirpus atrovirens</i>	Dark-green Bulrush	0.015625
	<i>Scirpus cyperinus</i>	Wool Grass	0.015625
	<i>Scirpus pendulus</i>	Rufous Bulrush	0.015625
		sub total	7.687500
		Total Permanent Species:	10.614375
Cover	<i>Avena sativa</i>	Seed Oats	32.000

06 SHALLOW EMERGENT SEED MIX
SCALE: NTS



SOD NOTES


- INSTALLATION**
SOD SHOULD NOT BE INSTALLED DURING HOT WEATHER, ON DRY SOIL, FROZEN SOIL, COMPACTED CLAY, LOOSE SAND OR GRAVELLY SUBSTRATE SOILS, AGGREGATE, OR PESTICIDE TREATED SOIL. THE IDEAL TIME TO LAY SOD IS MAY 1 TO JUNE 1 OR SEPTEMBER 1 TO SEPTEMBER 30, ALTHOUGH IT CAN BE INSTALLED AS EARLY AS MARCH 15 IF AVAILABLE OR JUNE 1 TO SEPTEMBER 1 IF IRRIGATED.
- SITE PREPARATION**
1. APPLY TOPSOIL IF EXISTING SOIL CONDITIONS ARE UNSUITABLE FOR ESTABLISHING VEGETATION.
 2. GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE AND CREATE A SMOOTH, FIRM SOIL SURFACE.
 3. WHERE APPLICABLE, USE A CHISEL PLOW, DISK, HARROW, OR RAKE TO BREAK UP COMPACTED SOILS AND CREATE A FAVORABLE ROOTING DEPTH OF SIX TO EIGHT INCHES.
- SOD BED PREPARATION**
1. TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.
 2. IF SOIL PH IS TOO ACIDIC FOR THE GRASS SOD TO BE INSTALLED, APPLY LIME ACCORDING TO SOIL TEST RESULTS OR AT THE RATE RECOMMENDED BY THE SOD SUPPLIER.
 3. APPLY FERTILIZER AS RECOMMENDED BY THE SOIL TEST. IF TESTING WAS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
 4. WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF SOIL WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.
 5. RAKE OR HARROW THE AREA TO ACHIEVE A SMOOTH FINAL GRADE AND THEN ROLL OR CULTIPACK THE SOIL SURFACE TO CREATE A FIRM SURFACE ON WHICH TO LAY THE SOD.
- LAYING THE SOD**
1. INSTALL SOD WITHIN THIRTY-SIX HOURS OF ITS CUTTING.
 2. STORE THE SOD IN A SHADED LOCATION DURING INSTALLATION.
 3. IMMEDIATELY BEFORE LAYING THE SOD, RAKE THE SOIL SURFACE TO BREAK ANY CRUST. (IF THE WEATHER IS HOT, LIGHTLY IRRIGATE THE SOIL SURFACE PRIOR TO LAYING THE SOD.)
 4. LAY SOD STRIPS IN A BRICK-LIKE PATTERN.
 5. BUTT ALL JOINTS TIGHTLY AGAINST EACH OTHER (DO NOT STRETCH OR OVERLAP THEM), USING A KNIFE OR MASON'S TROWEL TO TRIM AND FIT SOD INTO IRREGULARLY SHAPED AREAS.
 6. ROLL THE SOD LIGHTLY AFTER INSTALLATION TO ENSURE FIRM CONTACT BETWEEN THE SOD AND SOIL.
 7. IRRIGATE NEWLY SODDED AREAS UNTIL THE UNDERLYING SOIL IS WET TO A DEPTH OF FOUR INCHES, AND THEN KEEP MOIST UNTIL THE GRASS TAKES ROOT.

- SLOPE APPLICATION**
1. INSTALL THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO THE SLOPE.
 2. WHERE SLOPES EXCEED A RATIO OF 3:1, STAPLE OR STAKE EACH STRIP AT THE CORNERS AND IN THE MIDDLE.
- CHANNEL APPLICATION**
(SODDING PROVIDES QUICKER PROTECTION THAN SEEDING AND MAY REDUCE THE RISK OF EARLY WASHOUT.)
1. EXCAVATE THE CHANNEL, ALLOWING FOR THE FULL THICKNESS OF THE SOD.
 2. LAY THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO CHANNEL FLOW.
 3. STAPLE OR STAKE EACH STRIP OF SOD AT THE CORNERS AND IN THE MIDDLE.
 4. STAPLE JUTE OR BIODEGRADABLE POLYPROPYLENE NETTING OVER THE SODDED AREA TO MINIMIZE THE POTENTIAL FOR WASHOUT DURING ESTABLISHMENT.
- MAINTENANCE**
1. INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS UNTIL SOD IS WELL ROOTED.
 2. KEEP SOD MOIST UNTIL FULLY ROOTED.
 3. AFTER SOD IS WELL-ROOTED (TWO TO THREE WEEKS), MAINTAIN A PLANT HEIGHT OF TWO TO THREE INCHES.
 4. TIME MOWING TO AVOID RUTS IN TURF.
 5. FERTILIZE TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION. FOR COOL SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASON GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING AND ONE-THIRD IN MID-SUMMER.

08 SOD PLANTING DETAIL AND SPECIFICATIONS

1. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
2. NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BID IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT I.D. AT NURSERY OR CONTRACTORS OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY THE LANDSCAPE ARCHITECT.
3. ALL PLANTS SHALL MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, AS SET FORTH BY AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
4. PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
5. ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR THEIR PORTION OF WORK.
7. LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS THEY FEEL MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
8. BACKFILL FOR TREE PLANTING SHALL BE NATIVE SOIL FROM TREE PIT AND INCORPORATE A 5-10-5 ANALYSIS SLOW-RELEASE FERTILIZER AT APPROVED RATES.
9. AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
10. TREE STAKING IS NOT REQUIRED AS PART OF INITIAL PLANTING. HOWEVER, STAKING WILL BE REQUIRED TO MAINTAIN ANY TREES WHICH BECOME OUT OF PLUMB.
11. LANDSCAPE CONTRACTOR IS TO COORDINATE ALL WORK WITH OTHER TRADES TO MINIMIZE RISK OF DAMAGE TO SITE UTILITIES.
12. PRIOR TO THE INSTALLATION OF LANDSCAPING, LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER, AND ANY OTHER AFFECTED PARTY TO DISCUSS PROPER SEPARATIONS FROM UTILITIES.
13. A MINIMUM OF TEN (10) FOOT HORIZONTAL DISTANCE FROM LATERALS OR ANY OTHER SANITARY OR STORM SEWER FACILITIES (AS MEASURED FROM THE DRIP LINE OF THE MATURE TREE TO THE CENTER OF SEWER FACILITIES) MUST BE MAINTAINED. ANY TREES OR LANDSCAPING PLACED WITHIN EASEMENTS OR RIGHTS-OF-WAY ARE AT RISK OF BEING DAMAGED OR REMOVED WITHOUT THE OBLIGATION OF REPLACEMENT.
14. THE TOE OF SLOPE OF EARTHEN MOUNDING CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.
15. RETAINING/DECORATIVE/ENTRANCE WALLS CAN NOT BE PLACED WITHIN TEN (10) FEET HORIZONTAL DISTANCE OF SANITARY SEWER MAINS, LATERALS, OR MANHOLES.

LANDSCAPE CONSTRUCTION NOTES

<div><div>550 Polaris Parkway Westerville, Ohio 43082 614.761.1661 phone www.v3co.com</div></div>	LANDSCAPE DETAILS										PROJECT NO.: 231359				ORIGINAL ISSUE DATE:				REVISIONS										
	7-ELEVEN										PROJECT MANAGER: AAG				NO.				DATE				DESCRIPTION						
											DESIGNED BY: AAG				DD														
NEW ALBANY										S04				OHIO				DRAWN BY: KAT											
DRAWING NO.										L2.0																			

STORMWATER MANAGEMENT AREAS & LANDSCAPE SPECIFICATIONS

1.1 SITE PREPARATION

When feasible, prior to mass earthwork operations, stake the limits of the proposed stormwater management areas and landscape planting areas and do not allow heavy equipment to run over the soil in these locations. Soil compaction is very critical in the functioning of stormwater management areas.

Do not clear vegetation until necessary to help minimize site erosion.

Place tree protection barriers around the drip line of all trees that are to remain. There shall be no storage of materials, heavy equipment or vehicles within the drip line of trees.

1.2 MATERIALS

1.2.1 SUBMITTAL REQUIREMENTS

Contractors shall submit to engineer/landscape architect for review and approval all proposed materials to be used within the stormwater management areas and landscape areas prior to purchase. Submittals include but are not limited to:

- Planting soil composition
- Compost/Mulch
- River Cobble
- Turf Grass Sod and Seed
- Plant lists (Woody and herbaceous materials)
- Herbicides and Pre-Emergent Herbicides

1.2.2 PLANTING SOIL

The soil shall be a uniform, well blended mix, free of stones, slumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bio-retention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The soil mix shall be free of Bermuda grass, Quack grass, Johnson grass, or other noxious weeds. The planting soil for bio-retention facilities shall consist of a mixture of sand or crushed glass cullet of equivalent grade, topsoil, and compost components, to obtain an engineered soil mix meeting the following specifications:

USDA Texture class: sandy loam or loamy sand. Mineral fraction consists of no less than 40% well-graded sand or glass cullet and no greater than 10% clay (dry weight basis) Organic content: 20% (dry weight basis) pH: 5.5 - 7.0 Soluble Salts (Salinity): less than 500 mg/kg (500ppm) Phosphorus: soil p-index should be between 15 and 40 Permeability: Minimum 0.50 inches/hour

Volmetric proportions of the components making up the bio-retention soil mix shall be as follows:

- Sand: 50% by volume
- Compost: 20% by volume
- Topsoil: 30% by volume

Compost shall be finished (aged), and composted material shall be of plant origin. Compost shall have a C:N ratio ≤ 25:1.If the planting soil does not meet the above characteristics, then it shall either be adjusted to meet the criteria or removed and replaced with an acceptable planting soil. See 1.3 Testing Requirements.Existing topsoil or site mix are appended to meet the specifications of the planting soil mix. The existing topsoil shall be tested for organic content, grain size analysis and permeability to identify necessary amendments.Planting soil shall not be incorporated into the Work until it is approved by the engineer/landscape architect.

1.2.3 MULCH MATERIAL

A much layer shall be provided on top of the planting areas, to the depth OF 2-3 inches. The material shall consist of finished (aged) leaf compost mulch, and shall be well mixed and homogenous, uniform in color and free of foreign material and viable plant seeds. The mulch material shall have no visible free water and produce no dust when handled. It shall meet the following criteria:

- 90% of material passing 1/2" screen
- Organic content: 35- 65% (dry weight basis)
- pH: 6.0 - 8.0

1.2.4 TURF GRASS SOD AND SEED

1.2.4.1 TURF GRASS SOD

See plans for locations. Turf grass sod shall be a mixture within the following ranges:

- Kentucky Bluegrass: 50-100%
- Fine Fescue: 0-30%
- Turf Type or Rizomatous Tall Fescue: 50-100%

Turf grass sod shall be of good quality, free of weeds, disease and insects and of good color and density. Turf grass sod shall be machine-cut at a minimum uniform soil thickness and grown in central Indiana.

1.2.4.2 TURF GRASS SEED / COVER CROP

See plans for seed mixture(s) and rate(s). No substitutions shall be allowed without approval from the ecological consultant.

Seed shall be clean, delivered in original unopened packages, and bearing an analysis of the contents. Guaranteed 98 percent pure and to have a minimum germination rate of 90 percent within 1 year of test.

Temporary cover shall be Seed Oats (Avena sativa) and annual eye grass (Lolium multiflorum). Under no circumstances shall the site be stabilized with winter rye, grain rye, or winter wheat. These plants produce roots that inhibit prairie seed germination.

1.2.5 LIVE PLANT MATERIAL

1.2.5.1 TREES & SHRUBS

General: Furnish nursery-grown plants true to genus, species, variety, cultivar, stem form, shearing, and other features indicated in Plant Schedule or Plant Legend shown on Drawings and complying with ANSI Z60.1, and with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock, densely foliated when in leaf and free of disease, pests, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and discoloration.

Root-Ball Depth: Furnish trees and shrubs with root balls measured from top of root ball, which shall begin at root flare according to ANSI Z60.1. Root flare shall be visible before planting.

No bare root material shall be used unless specified on the plans.

Containerized Plant Material: Provide healthy, disease-free plants of species and variety shown or listed, with well-established root systems reaching to sides of the container to maintain a firm ball, but not with excessive root growth encircling the container. Provide only plants that are acclimated to outdoor conditions before delivery.

Plant material and quantities for stormwater management areas and landscape areas shall be taken from the plans. Any plant material substitutions shall require approval from the engineer/landscape architect.

1.2.6 HERBICIDES AND PRE-EMERGENTS

Herbicide to be used in stormwater management areas consist of glyphosate herbicides approved for use around water, such as Rodeo.

1.3 TESTING REQUIREMENTS

1.3.1 PLANTING SOIL TESTING

Soil tests shall be performed for every 500 cubic yards of planting soil, with the exception of pH and organic content tests, which are required only once per stormwater management BMP.

The planting soil shall be tested and shall meet the following criteria:

- pH range: 5.5 - 7.0
- organic matter: 5 - 10% (dry weight basis)
- magnesium: minimum 35 lbs/acre
- phosphorus (phosphate - P205, Bray I): shall not exceed 75 lbs./acre
- potassium (potash - K2O): minimum 85 lbs/acre
- soluble salts not to exceed 500 ppm

All stormwater management areas shall have a minimum of one test per bio-retention basin and a minimum of one soil test per 500 cubic yards. Each test shall consist of both the standard soil test for pH, phosphorus, and potassium and additional tests of organic matter, and soluble salts. A textual analysis is required from the soil sample collected. If topsoil is imported, then a texture analysis shall be performed for each location where the top soil was excavated. Should the pH fall out of the acceptable range by no greater than 0.2, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

1.4 INSTALLATION

1.4.1 PLANTING SOIL

Installation of soils must be completed in a manner that will ensure preservation of the infiltrative capacity of the underlying soils. The moisture content of the soil shall be low enough to prevent clumping and compaction during placement.

To prevent compaction within the limits of the basins, only hand laborers, small excavation hoes with wide tracks, light equipment with turf tires, marsh equipment or wide-track loaders may be used. No heavy equipment shall be used within the perimeter of the stormwater management BMP facility before, during, or after the placement of the planting soil.

It is very important to minimize compaction of both the base (in-situ soil) of the stormwater management areas and the required backfill. Re-fracture subgrade soils that have been compacted or smeared by raking, diskng or tilling to a minimum depth of 12 inches. Soil surfaces shall be scarified by manual raking to aerate and reduce soil compaction. Soil shall be placed in 6 inch loose depth lifts. Lifts are performed in order to reduce the possibility of excessive settlement. Soil shall be placed the lightly hand-tamped or compacted with a water-filled landscape roller, to reduce potential for excessive setting. No other mechanical equipment shall be used to compact the planting soil or underlying soils. Lifts may also be watered to encourage natural compaction. Overfill to allow for natural settlement.

Uniformly grade planting soil to achieve a smooth surface, free of irregular surface changes. Do not over-work or excessively compact planting soil. Grade to cross sections, thickness and elevations indicated on plans. Settling of soil by walking on surface and working with hand equipment is acceptable.

1.4.2 TURF GRASS

1.4.2.1 SEQUENCING AND SCHEDULING

Turf grass shall be installed following final grading activities and all other planting installations.

1.4.2.2 SITE PREPARATION

Verify the depth and quality of the topsoil and that the topsoil has been placed according to specifications or exists as a current site condition.

Restore areas if eroded or otherwise disturbed after finish grading and before installation. Proceed with installation only when unsatisfactory conditions have been corrected.

All weeds and grasses shall be dug out by the roots and disposed of off-site.

Rake so all areas drain and are of uniform slope.

Remove all trash and stones exceeding 1/2" in diameter from area to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.2.3 PLANTING

Turf grass shall be placed on prepared soil that has been watered and is still moist. Turf grass sod shall be laid with tight joints, rolled, and thoroughly watered. River water, where available and allowed by federal, state and local authorities, is suitable for irrigation.

When installation occurs on a sloping surface where erosion may be a problem, turf grass sod shall be laid with staggered joints and secured by pegging.

1.4.3 PERMANENT TURF GRASS SEED

1.4.3.1 SEQUENCING AND SCHEDULING

Perform the seeding work and at such times that the seeding will not be damaged by freezing temperatures, rain, or high winds.

Optimum Seeding Dates:

- Northern Indiana/Illinois: August 15 through September 15
- Southern Indiana/Illinois: September 1 through September 30

Dormant seeding can be done from Thanksgiving through March, when no snow is present, but before the ground has thawed.

Spring seeding is often difficult but is acceptable from April through June if site conditions and construction schedules warrant the need for spring seeding.

Summer seeding should be avoided when possible.

Permanent seeding done between May and August may require irrigation.

1.4.3.2 SITE PREPARATION

Verify the depth and quality of the topsoil and that the topsoil has been placed according to specifications or exists as a current site condition.

Restore areas if eroded or otherwise disturbed after finish grading and before installation. Proceed with installation only when unsatisfactory conditions have been corrected.

All weeds and grasses shall be dug out by the roots and disposed of off-site.

Rake topsoil thoroughly by running in two directions at right angles over the entire surface to be planted. Rake so all areas drain and are of uniform slope.

Remove all trash and stones exceeding 1/2" in diameter from area to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.3.3 PLANTING

Sow grassed areas evenly with a mechanical spreader at the minimum rate as specified on the plans, roll to cover seed and water with fine spray. Wet soil at a rate of approximately 120 gallons per 1,000 square feet. River water, where available and allowed by federal, state and local authorities, is suitable for irrigation.

Method of seeding may be varied at discretion of Contractor on his own responsibility to establish a smooth, uniformly grassed area.

1.4.4 TREES, SHRUBS AND VINES

1.4.4.1 SEQUENCING AND SCHEDULING

Planting Time: Proceed with, and complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required.

Planting seasons shall be as follows:

Deciduous Trees: Primary Planting Time March 15th to June 30th, and Secondary Planting Time September 1st to December 1st, unless noted otherwise on drawings.

Shrubs: Primary Planting Time March 15th to June 30th, and Secondary Planting Time September 1st to November 1st, unless noted otherwise on drawings.

If weather conditions within these seasons are not favorable to plant health and establishment at the time of planting (e.g. drought), planting shall be delayed until favorable conditions resume or further actions shall be taken to ensure healthy establishment (e.g. irrigation). It is the responsibility of the contractor to ensure survivability during the warranty period.

1.4.4.2 SITE PREPARATION

Planting Pits and Trenches: Excavate circular planting pits with sides sloping inward at a 45-degree angle. Excavations with vertical sides are not acceptable. Trim perimeter of bottom leaving center area of bottom raised slightly to support root ball and assist in drainage away from center. Do not further disturb base. Ensure that root ball will sit on undisturbed base soil to prevent settling. Scarily sides of planting pit smeared or smoothed during excavation.

Excavate approximately two times as wide as ball diameter for shrubs and three times as wide for trees.

Do not excavate deeper than depth of the root ball, measured from the root flare to the bottom of the root ball.

1.4.4.3 PLANTING

Before planting, verify that root flare is visible at top of root ball according to ANSI Z60.1.

Remove stem girdling, broken or kinked roots. Remove injured roots by cutting cleanly at the root ball.

Set stock plants and in center of planting pit or trench with root flare 1-2 inches above adjacent finish grades. To prevent settling of the root ball, root ball should be placed on undisturbed soil only.

Use planting soil as specified in 1.4.2 for backfill.

Balled and Burlapped: After placing some backfill around root ball to stabilize plant, carefully cut and remove burlap, rope, and wire baskets from tops of root balls and from sides.

Where practical, remove burlap, rope and wire baskets from under root balls. Remove pallets, if any, before setting. Do not use planting stock if root ball is cracked or broken before or during planting operation.

Container-Grown: Carefully remove root ball from container without damaging root ball or plant.

Fabric Bag-Grown Stock: Carefully remove root ball from fabric bag without damaging root ball or plant. Do not use planting stock if root ball is cracked or broken before or during planting operation.

Loosen pot-bound roots and remove or cut any circling and girdling roots.

Do not place root ball directly on any underdrain structures. If root ball is larger than soil depth, adjust root ball such that it is adjacent to but not resting on any underdrain structures.

Backfill around root ball in layers, tamping to settle soil and eliminate voids and air pockets. When planting pit is approximately one-half filled, water thoroughly before placing remainder of backfill. Repeat watering until no more water is absorbed.

Continue backfilling process. Water again after placing and tamping final layer of soil.

2-3 inches of mulch material (per 1.2.3) to be placed uniformly on top of soil after plant material is installed.

See details on plans for plant installation.

1.4.4.5 PLANTING

When planting on slopes, set the plant so the root flare on the uphill side is flush with the surrounding soil on the slope; the edge of the root ball on the downhill side will be above the surrounding soil. Apply enough soil to cover the downhill side of the root ball.

Water all trees and shrubs deeply and thoroughly upon installation and as described in section 1.7.3 to maintain health during the first year of establishment.

Stake tree in southwesterly direction. Tree should be loose fitting and allow for natural sway. Remove after one year.

Minimize pruning to dead or broken branches.

Place 4" perforated corrugated plastic pipe (CPP) around tree for protection from deer. Cut length to height of tree from root flare to first branch and slice lengthwise. (Not necessary in urban areas) Contractor shall be responsible for replacement of any plant material damaged by wildlife if protective CPP is not installed.

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all installation work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

All plugs shall exhibit vigorous growth and be thoroughly rooted by the end of first complete growing season and prior to the release of any maintenance or guarantee obligations. For installations occurring prior to June 1 the end of the first complete growing season would be in October (or at the first hard freeze) of the installation year. For installations occurring on and after June 1 the end of the first complete growing season would be in October (or at the first hard freeze) of the following year.

Success Criteria: Survivability must be 95% or greater. Dead plant material in excess of 5% of all plugged material shall be replaced by the Contractor prior to the end of the warranty period without additional expense to the Owner.

1.7 MAINTENANCE REQUIREMENTS

1.7.1 PERMANENT TURF GRASS SOD

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below.

Begin maintenance of lawns immediately after sod is installed in each area and continue until acceptable lawn is established, but not less than 60 days after date of Substantial Completion.

If full maintenance period has not elapsed before the end of planting season, or if lawn is not fully established, continue maintenance during the next planting season.

Maintenance includes watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to provide a uniform, weed free, smooth lawn.

Watering

- Week 1: In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of at least four (4) inches.
- Week 2 and beyond: Water turf grass sod as required to maintain adequate moisture in the upper four (4) inches of soil. Avoid application of too much water - turf grass sod should not be continually saturated.

Mowing

- Turf grass sod height shall be maintained between two (2) and six (6) inches or as specified by the Owner. Not more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings.

1.7.2 PERMANENT TURF GRASS SEED

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below.

Begin maintenance of lawns immediately after each area is planted and continue until acceptable lawn is established, but not less than 60 days after date of Substantial Completion.

If full maintenance period has not elapsed before the end of planting season, or if lawn is not fully established, continue maintenance during the next planting season.

Maintenance includes watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to provide a uniform, weed free, smooth lawn. Ensure cover crop seed germinates within two (2) weeks of planting. If dormant seeding, ensure cover crop germinates at the start of the growing season.

Watering

Thoroughly water all permanently seeded areas after the seed has germinated for a period of one (1) month.

Apply a total rate of 120 gallons per 1000 square feet (12.2 m3/1000 m2) in at least two (2) applications spread over seven (7) days. Apply the water under pressure with a nozzle that produces a spray that will not dislodge the seed, seedlings, or mulch material. If 1/8 inch (13 mm) or greater of rainfall has occurred within the first seven (7) day period, the Installer may delay or omit the secondary application, depending on weather conditions.

Mowing

Once established, turf grass height shall be maintained between two (2) and six (6) inches or as specified by the Owner. Not more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings.

1.7.3 TREES & SHRUBS

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below. Begin maintenance immediately after plants are installed and continue until plantings are acceptably healthy and well established but for not less than maintenance period below.

Maintenance Period for Trees and Shrubs: one year

Maintain plantings by pruning, watering, weeding, mulching, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings. Spray or treat as required to keep trees and shrubs free of insects and disease.

Prune trees, shrubs, and vines according to standard professional horticultural and arboricultural practices. Do not cut tree leaders; remove only injured, dying, or dead branches from trees and shrubs; and prune to retain natural character.

Irrigate the plants as necessary to maintain rootball moisture throughout the first growing season. Surrounding soil moisture is not a suitable substitute for rootball moisture evaluation. Use of river water, where available and allowed by federal, state and local authorities, is acceptable for irrigation purposes.

Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of subsidence or where moved by stormwater flows from large rainfall events.

Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease. Use practices to minimize the use of pesticides and reduce hazards.

Protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings.

After the first growing season, evaluate the health and structure of the plant and provide structural pruning only as necessary.

CONSTRUCTION AND REVEGETATION

This section details construction and revegetation of the native stormwater basins and BMP areas.

CONSTRUCTION, SOILS AND TOPDRESSING SPECIFICATIONS

Grading and excavation of the native stormwater basins and BMPs shall be completed in accordance with the engineering plans in order to achieve the requisite storage volumes. The following specifications shall be followed to minimize impacts to the naturalized areas and provide a suitable medium for native vegetation establishment:

- All areas to be planted or seeded with native vegetation shall be over-excavated a minimum of 1 foot below final grade to allow for the placement of topdress material, unless a one-foot thick topsoil layer is present following excavation to proposed final grade.
- Topdress material for the proposed naturalized vegetation areas shall originate from on-site. These soils are adequate to promote native vegetation establishment. If additional topdress material is needed, the topdress material shall contain an organic matter content of 3% or more and a clay content of 27% or less.
- Wheel-based vehicles (scrapers, endloaders, etc.) shall not be used for topdressing work. Only low ground pressure wide-track equipment (quadtrack tractor, wide track dozer, backhoe, or approved by Engineer) shall haul, move and spread topdress material.
- Following the 1-foot of topdress placement, the surface shall be thoroughly disked using a small farm type disc (not a large construction disc) and/or Harley rake. Topdress material shall not be handled or the surface disked when wet.
- No wheeled traffic shall occur in the naturalized planting areas after the final diskng is complete, with the exception of a small farm type tractor if used for seeding.
- All construction activities in the naturalized areas must be done under dry conditions.

SEEDING SPECIFICATIONS

- The seeding contractor shall furnish, transport, and install the native seed mixes as specified for the respective areas shown on the Landscape Plan.
- Seeding activities of the permanent matrices shall be performed after the seed bed has been properly prepared, as applicable, between November 1 after the first frost and ending when snow cover exceeds 2-inches in depth or areas are covered with ice and June 15th of the following year.
- If construction activities are finished outside the permanent seeding window, the area can be stabilized with a temporary cover crop or permanent seeded with a supplemental seeding during the prescribed window the following year.
- Seed shall be surface sown with a broadcast seeder and lightly raked in or with a native drop seeder.
- All seed sources shall be within a 200-mile radius of the project site and be true to name and variety.
- Seeding shall only occur in areas that will receive erosion blanket installation within 48 hours and/or prior to forecasted rain.
- All native seed shall be provided on a pure live seed (PLS) basis. Actual seed amounts used on the project will vary with the actual percent of PLS in the seed lot. Seed supplied to the site shall contain documentation of PLS testing and, if required, adjustment of the seed weights to provide 100% PLS standards. If rounding is required during PLS adjustment calculations, the adjustment shall always be rounded up. Minimum PLS percentage for any species shall be 70%.
- All seed shall be furnished in sealed containers. Seed that has become wet (unless as primarily intended for a result of stratification), moldy, or otherwise damaged in transit or storage shall not be acceptable.
- Over-seeding or re-planting may be necessary for compliance with the performance section of this document.

EMERGENT PLANTING SPECIFICATIONS

- The planting contractor shall furnish, transport and install all container-grown plants for all planting zones as specified on Landscape Plans.
- Herbaceous planting activities shall be performed no earlier than May 15th and no later than August 1st under favorable conditions (i.e., proper hydrology).
- All plugs shall be container grown in open bottom pots with the following minimum dimensions: 2 3/8 inches square by 3-inches deep or a minimum root area of 11 cubic inches. At time of planting, all plant plugs shall have minimum shoot heights of 12-inches and well-developed root systems that hold planting soil together when removed from the container. Soil saturation shall be maintained for all container plants until installation.
- Plant material shall not be provided as dormant (i.e., sprouted tubers, sprouted rhizomes or bare root) unless specified in the planting plan.
- Plugs shall be installed at random in small species groupings.
- It is the responsibility of the landscape contractor to ensure that proper hydrology is maintained during the first growing season following installation to ensure proper conditions for establishment. Irrigation or pumping of the basin may need to take place in order to ensure proper hydrology.

PRE-SEEDING AND PLANTING WEED CONTROL

Any areas within the mesic prairie, swale bottom or emergent planting zones that are not disturbed as a result of grading activities shall be treated for non-native invasive species including but not limited to: reed canary grass (*Phalaris arundinacea*), cattails (*Typha* sp.), common reed (*Phragmites australis*) and purple loosestrife (*Lythrum salicaria*) prior to any seeding or planting activities. Additionally, if following grading the native areas lie below low enough for non-native species to establish, they shall be treated prior to seeding or planting.

- Following any herbicide applications, allow 10-14 days prior to cultivating for seed bed preparation. If weed growth persists after the initial application, reapply herbicide and delay cultivation for at least 10 days.
- In order to prepare an adequate seed bed areas that were not disturbed as a result of grading may need to be mowed, scraped and/or burned following spray out of the fallow vegetation in order to remove all the dead plant material to allow the native seed mix to get good seed/soil contact and ensure proper germination.

EROSION CONTROL BLANKET SPECIFICATIONS

North American Green (NAG) S75 BioNet shall be installed over all seeding areas (mesic prairie and swale bottom) as shown on the Landscape Plan. The blanket shall be installed within 48 hours and/or prior to forecasted rain, so no seeded area remains unprotected. Therefore, the area seeded shall be based on whatever can be blanketed within 48 hours. Installation of all erosion control materials shall be in accordance with the manufacturer's specifications.

STORMWATER MANAGEMENT AREAS & LANDSCAPE SPECIFICATIONS

1.1 SITE PREPARATION

When feasible, prior to mass earthwork operations, stake the limits of the proposed stormwater management areas and landscape planting areas and do not allow heavy equipment to run over the soil in these locations. Soil compaction is very critical in the functioning of stormwater management areas.

Do not clear vegetation until necessary to help minimize site erosion.

Place tree protection barriers around the drip line of all trees that are to remain. There shall be no storage of materials, heavy equipment or vehicles within the drip line of trees.

1.2 MATERIALS

1.2.1 SUBMITTAL REQUIREMENTS

Contractors shall submit to engineer/landscape architect for review and approval all proposed materials to be used within the stormwater management areas and landscape areas prior to purchase. Submittals include but are not limited to:

- Planting soil composition
- Compost/Mulch
- River Cobble
- Turf Grass Sod and Seed
- Plant lists (Woody and herbaceous materials)
- Herbicides and Pre-Emergent Herbicides

1.2.2 PLANTING SOIL

The soil shall be a uniform, well blended mix, free of stones, slumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bio-retention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The soil mix shall be free of Bermuda grass, Quack grass, Johnson grass, or other noxious weeds. The planting soil for bio-retention facilities shall consist of a mixture of sand or crushed glass cullet of equivalent grade, topsoil, and compost components, to obtain an engineered soil mix meeting the following specifications:

USDA Texture class: sandy loam or loamy sand. Mineral fraction consists of no less than 40% well-graded sand or glass cullet and no greater than 10% clay (dry weight basis) Organic content: 20% (dry weight basis) pH: 5.5 - 7.0 Soluble Salts (Salinity): less than 500 mg/kg (500ppm) Phosphorus: soil p-index should be between 15 and 40 Permeability: Minimum 0.50 inches/hour

Volmetric proportions of the components making up the bio-retention soil mix shall be as follows:

- Sand: 50% by volume
- Compost: 20% by volume
- Topsoil: 30% by volume

Compost shall be finished (aged), and composted material shall be of plant origin. Compost shall have a C:N ratio ≤ 25:1.If the planting soil does not meet the above characteristics, then it shall either be adjusted to meet the criteria or removed and replaced with an acceptable planting soil. See 1.3 Testing Requirements.Existing topsoil or site mix are appended to meet the specifications of the planting soil mix. The existing topsoil shall be tested for organic content, grain size analysis and permeability to identify necessary amendments.Planting soil shall not be incorporated into the Work until it is approved by the engineer/landscape architect.

1.2.3 MULCH MATERIAL

A much layer shall be provided on top of the planting areas, to the depth OF 2-3 inches. The material shall consist of finished (aged) leaf compost mulch, and shall be well mixed and homogenous, uniform in color and free of foreign material and viable plant seeds. The mulch material shall have no visible free water and produce no dust when handled. It shall meet the following criteria:

- 90% of material passing 1/2" screen
- Organic content: 35- 65% (dry weight basis)
- pH: 6.0 - 8.0

1.2.4 TURF GRASS SOD AND SEED

1.2.4.1 TURF GRASS SOD

See plans for locations. Turf grass sod shall be a mixture within the following ranges:

- Kentucky Bluegrass: 50-100%
- Fine Fescue: 0-30%
- Turf Type or Rizomatous Tall Fescue: 50-100%

Turf grass sod shall be of good quality, free of weeds, disease and insects and of good color and density. Turf grass sod shall be machine-cut at a minimum uniform soil thickness and grown in central Indiana.

1.2.4.2 TURF GRASS SEED / COVER CROP

See plans for seed mixture(s) and rate(s). No substitutions shall be allowed without approval from the ecological consultant.

Seed shall be clean, delivered in original unopened packages, and bearing an analysis of the contents. Guaranteed 98 percent pure and to have a minimum germination rate of 90 percent within 1 year of test.

Temporary cover shall be Seed Oats (Avena sativa) and annual eye grass (Lolium multiflorum). Under no circumstances shall the site be stabilized with winter rye, grain rye, or winter wheat. These plants produce roots that inhibit prairie seed germination.

1.2.5 LIVE PLANT MATERIAL

1.2.5.1 TREES & SHRUBS

General: Furnish nursery-grown plants true to genus, species, variety, cultivar, stem form, shearing, and other features indicated in Plant Schedule or Plant Legend shown on Drawings and complying with ANSI Z60.1, and with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock, densely foliated when in leaf and free of disease, pests, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and discoloration.

Root-Ball Depth: Furnish trees and shrubs with root balls measured from top of root ball, which shall begin at root flare according to ANSI Z60.1. Root flare shall be visible before planting.

No bare root material shall be used unless specified on the plans.

Containerized Plant Material: Provide healthy, disease-free plants of species and variety shown or listed, with well-established root systems reaching to sides of the container to maintain a firm ball, but not with excessive root growth encircling the container. Provide only plants that are acclimated to outdoor conditions before delivery.

Plant material and quantities for stormwater management areas and landscape areas shall be taken from the plans. Any plant material substitutions shall require approval from the engineer/landscape architect.

1.2.6 HERBICIDES AND PRE-EMERGENTS

Herbicide to be used in stormwater management areas consist of glyphosate herbicides approved for use around water, such as Rodeo.

1.3 TESTING REQUIREMENTS

1.3.1 PLANTING SOIL TESTING

Soil tests shall be performed for every 500 cubic yards of planting soil, with the exception of pH and organic content tests, which are required only once per stormwater management BMP.

The planting soil shall be tested and shall meet the following criteria:

- pH range: 5.5 - 7.0
- organic matter: 5 - 10% (dry weight basis)
- magnesium: minimum 35 lbs/acre
- phosphorus (phosphate - P205, Bray I): shall not exceed 75 lbs./acre
- potassium (potash - K2O): minimum 85 lbs/acre
- soluble salts not to exceed 500 ppm

All stormwater management areas shall have a minimum of one test per bio-retention basin and a minimum of one soil test per 500 cubic yards. Each test shall consist of both the standard soil test for pH, phosphorus, and potassium and additional tests of organic matter, and soluble salts. A textual analysis is required from the soil sample collected. If topsoil is imported, then a texture analysis shall be performed for each location where the top soil was excavated. Should the pH fall out of the acceptable range by no greater than 0.2, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

1.4 INSTALLATION

1.4.1 PLANTING SOIL

Installation of soils must be completed in a manner that will ensure preservation of the infiltrative capacity of the underlying soils. The moisture content of the soil shall be low enough to prevent clumping and compaction during placement.

To prevent compaction within the limits of the basins, only hand laborers, small excavation hoes with wide tracks, light equipment with turf tires, marsh equipment or wide-track loaders may be used. No heavy equipment shall be used within the perimeter of the stormwater management BMP facility before, during, or after the placement of the planting soil.

It is very important to minimize compaction of both the base (in-situ soil) of the stormwater management areas and the required backfill. Re-fracture subgrade soils that have been compacted or smeared by raking, diskng or tilling to a minimum depth of 12 inches. Soil surfaces shall be scarified by manual raking to aerate and reduce soil compaction. Soil shall be placed in 6 inch loose depth lifts. Lifts are performed in order to reduce the possibility of excessive settlement. Soil shall be placed the lightly hand-tamped or compacted with a water-filled landscape roller, to reduce potential for excessive setting. No other mechanical equipment shall be used to compact the planting soil or underlying soils. Lifts may also be watered to encourage natural compaction. Overfill to allow for natural settlement.

Uniformly grade planting soil to achieve a smooth surface, free of irregular surface changes. Do not over-work or excessively compact planting soil. Grade to cross sections, thickness and elevations indicated on plans. Settling of soil by walking on surface and working with hand equipment is acceptable.

1.4.2 TURF GRASS

1.4.2.1 SEQUENCING AND SCHEDULING

Turf grass shall be installed following final grading activities and all other planting installations.

1.4.2.2 SITE PREPARATION

Verify the depth and quality of the topsoil and that the topsoil has been placed according to specifications or exists as a current site condition.

Restore areas if eroded or otherwise disturbed after finish grading and before installation. Proceed with installation only when unsatisfactory conditions have been corrected.

All weeds and grasses shall be dug out by the roots and disposed of off-site.

Rake so all areas drain and are of uniform slope.

Remove all trash and stones exceeding 1/2" in diameter from area to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.2.3 PLANTING

Turf grass shall be placed on prepared soil that has been watered and is still moist. Turf grass sod shall be laid with tight joints, rolled, and thoroughly watered. River water, where available and allowed by federal, state and local authorities, is suitable for irrigation.

When installation occurs on a sloping surface where erosion may be a problem, turf grass sod shall be laid with staggered joints and secured by pegging.

1.4.3 PERMANENT TURF GRASS SEED

1.4.3.1 SEQUENCING AND SCHEDULING

Perform the seeding work and at such times that the seeding will not be damaged by freezing temperatures, rain, or high winds.

Optimum Seeding Dates:

- Northern Indiana/Illinois: August 15 through September 15
- Southern Indiana/Illinois: September 1 through September 30

Dormant seeding can be done from Thanksgiving through March, when no snow is present, but before the ground has thawed.

Spring seeding is often difficult but is acceptable from April through June if site conditions and construction schedules warrant the need for spring seeding.

Summer seeding should be avoided when possible.

Permanent seeding done between May and August may require irrigation.

1.4.3.2 SITE PREPARATION

Verify the depth and quality of the topsoil and that the topsoil has been placed according to specifications or exists as a current site condition.

Restore areas if eroded or otherwise disturbed after finish grading and before installation. Proceed with installation only when unsatisfactory conditions have been corrected.

All weeds and grasses shall be dug out by the roots and disposed of off-site.

Rake topsoil thoroughly by running in two directions at right angles over the entire surface to be planted. Rake so all areas drain and are of uniform slope.

Remove all trash and stones exceeding 1/2" in diameter from area to a depth of 2" prior to preparation and installation of sod. Removal of stones and debris shall be done at the time of installation. Repair topsoil disturbed by removal of stones and debris.

1.4.3.3 PLANTING

Sow grassed areas evenly with a mechanical spreader at the minimum rate as specified on the plans, roll to cover seed and water with fine spray. Wet soil at a rate of approximately 120 gallons per 1,000 square feet. River water, where available and allowed by federal, state and local authorities, is suitable for irrigation.

Method of seeding may be varied at discretion of Contractor on his own responsibility to establish a smooth, uniformly grassed area.

1.4.4 TREES, SHRUBS AND VINES

1.4.4.1 SEQUENCING AND SCHEDULING

Planting Time: Proceed with, and complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required.

Planting seasons shall be as follows:

Deciduous Trees: Primary Planting Time March 15th to June 30th, and Secondary Planting Time September 1st to December 1st, unless noted otherwise on drawings.

Shrubs: Primary Planting Time March 15th to June 30th, and Secondary Planting Time September 1st to November 1st, unless noted otherwise on drawings.

If weather conditions within these seasons are not favorable to plant health and establishment at the time of planting (e.g. drought), planting shall be delayed until favorable conditions resume or further actions shall be taken to ensure healthy establishment (e.g. irrigation). It is the responsibility of the contractor to ensure survivability during the warranty period.

1.4.4.2 SITE PREPARATION

Planting Pits and Trenches: Excavate circular planting pits with sides sloping inward at a 45-degree angle. Excavations with vertical sides are not acceptable. Trim perimeter of bottom leaving center area of bottom raised slightly to support root ball and assist in drainage away from center. Do not further disturb base. Ensure that root ball will sit on undisturbed base soil to prevent settling. Scarily sides of planting pit smeared or smoothed during excavation.

Excavate approximately two times as wide as ball diameter for shrubs and three times as wide for trees.

Do not excavate deeper than depth of the root ball, measured from the root flare to the bottom of the root ball.

1.4.4.3 PLANTING

Before planting, verify that root flare is visible at top of root ball according to ANSI Z60.1.

Remove stem girdling, broken or kinked roots. Remove injured roots by cutting cleanly at the root ball.

Set stock plants and in center of planting pit or trench with root flare 1-2 inches above adjacent finish grades. To prevent settling of the root ball, root ball should be placed on undisturbed soil only.

Use planting soil as specified in 1.4.2 for backfill.

Balled and Burlapped: After placing some backfill around root ball to stabilize plant, carefully cut and remove burlap, rope, and wire baskets from tops of root balls and from sides.

Where practical, remove burlap, rope and wire baskets from under root balls. Remove pallets, if any, before setting. Do not use planting stock if root ball is cracked or broken before or during planting operation.

Container-Grown: Carefully remove root ball from container without damaging root ball or plant.

Fabric Bag-Grown Stock: Carefully remove root ball from fabric bag without damaging root ball or plant. Do not use planting stock if root ball is cracked or broken before or during planting operation.

Loosen pot-bound roots and remove or cut any circling and girdling roots.

Do not place root ball directly on any underdrain structures. If root ball is larger than soil depth, adjust root ball such that it is adjacent to but not resting on any underdrain structures.

Backfill around root ball in layers, tamping to settle soil and eliminate voids and air pockets. When planting pit is approximately one-half filled, water thoroughly before placing remainder of backfill. Repeat watering until no more water is absorbed.

Continue backfilling process. Water again after placing and tamping final layer of soil.

2-3 inches of mulch material (per 1.2.3) to be placed uniformly on top of soil after plant material is installed.

See details on plans for plant installation.

1.4.4.5 PLANTING

When planting on slopes, set the plant so the root flare on the uphill side is flush with the surrounding soil on the slope; the edge of the root ball on the downhill side will be above the surrounding soil. Apply enough soil to cover the downhill side of the root ball.

Water all trees and shrubs deeply and thoroughly upon installation and as described in section 1.7.3 to maintain health during the first year of establishment.

Stake tree in southwesterly direction. Tree should be loose fitting and allow for natural sway. Remove after one year.

Minimize pruning to dead or broken branches.

Place 4" perforated corrugated plastic pipe (CPP) around tree for protection from deer. Cut length to height of tree from root flare to first branch and slice lengthwise. (Not necessary in urban areas) Contractor shall be responsible for replacement of any plant material damaged by wildlife if protective CPP is not installed.

All work in this Section shall be guaranteed against any and all defects in workmanship and materials appearing within a period of one (1) year after final completion of all installation work and acceptance of the work by the Owner. Contractor shall replace, without additional expense to the Owner, any materials and workmanship that show defects within said period, with finished and new materials.

All plugs shall exhibit vigorous growth and be thoroughly rooted by the end of first complete growing season and prior to the release of any maintenance or guarantee obligations. For installations occurring prior to June 1 the end of the first complete growing season would be in October (or at the first hard freeze) of the installation year. For installations occurring on and after June 1 the end of the first complete growing season would be in October (or at the first hard freeze) of the following year.

Success Criteria: Survivability must be 95% or greater. Dead plant material in excess of 5% of all plugged material shall be replaced by the Contractor prior to the end of the warranty period without additional expense to the Owner.

1.7 MAINTENANCE REQUIREMENTS

1.7.1 PERMANENT TURF GRASS SOD

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below.

Begin maintenance of lawns immediately after sod is installed in each area and continue until acceptable lawn is established, but not less than 60 days after date of Substantial Completion.

If full maintenance period has not elapsed before the end of planting season, or if lawn is not fully established, continue maintenance during the next planting season.

Maintenance includes watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to provide a uniform, weed free, smooth lawn.

Watering

- Week 1: In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of at least four (4) inches.
- Week 2 and beyond: Water turf grass sod as required to maintain adequate moisture in the upper four (4) inches of soil. Avoid application of too much water - turf grass sod should not be continually saturated.

Mowing

- Turf grass sod height shall be maintained between two (2) and six (6) inches or as specified by the Owner. Not more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings.

1.7.2 PERMANENT TURF GRASS SEED

Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Maintain as required in below.

Begin maintenance of lawns immediately after each area is planted and continue until acceptable lawn is established, but not less than 60 days after date of Substantial Completion.

If full maintenance period has not elapsed before the end of planting season, or if lawn is not fully established, continue maintenance during the next planting season.

Maintenance includes watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to provide a uniform, weed free, smooth lawn. Ensure cover crop seed germinates within two (2) weeks of planting. If dormant seeding, ensure cover crop germinates at the start of the growing season.

Watering

Thoroughly water all permanently seeded areas after the seed



**Planning Commission Staff Report
April 21, 2025 Meeting**

**COURTYARDS AT HAINES CREEK CLUBHOUSE
FINAL DEVELOPMENT PLAN MODIFICATION**

LOCATION:	Generally located at the northwest corner of Central College Road and Jug Street Rd NW (PID: 222-005497)
APPLICANT:	EC New Vision Ohio LLC
REQUEST:	Final Development Plan Modification
ZONING:	Courtyards at Haines Creek I-PUD Zoning District
STRATEGIC PLAN:	Residential District
APPLICATION:	FDM-21-2025

Review based on: Application materials received April 4, 2025.

Staff report completed by Jay Henderson, Planner.

I. REQUEST AND BACKGROUND

This application is for a final development plan modification for a clubhouse to be built on Reserve H of the subdivision known as “Courtyards at Haines Creek.” The change includes modifications to the clubhouse's architecture.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 20, 2023 (ZC-07-2023), and the zoning change was adopted by City Council on July 18, 2023 (O-84-2023). The Planning Commission reviewed and approved the final development plan on March 4, 2024 (FDP-87-2023), and the final plat was approved by City Council on January 7, 2025 (FPL-85-2024).

The application is being heard by the Planning Commission because, in section VIII(B) of the Courtyard at Haines Creek zoning text states, “The private community clubhouse shall be located as generally shown on the preliminary development plan. This parcel shall be owned and maintained by the applicant (or its affiliated entities) or the HOA. The final size and configuration of the parcel and the design of the clubhouse shall be identified in an approved development plan.” The application is being heard by the Planning Commission due to the change in architecture to the clubhouse.

II. SITE DESCRIPTION & USE

The 1.5+/- acre zoning area is located in Franklin County. The site is generally located at the northwest corner of Central College Road and Jug Street Rd NW. The site is located immediately west of the Licking County line north of Agriculturally zoned and residentially used properties. Additionally, there are unincorporated residential properties to the west and north of the site.

III. EVALUATION

Staff’s review is based on New Albany's plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in the underlined text. The Planning Commission’s review authority is found under Chapter 1159. The property owners within 200 feet of the property in question have been notified.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*

- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

Engage New Albany Strategic Plan

The site is located within the Residential District Future Land Use District. The Engage New Albany Strategic Plan lists the following development standards for the Residential District:

- Organically shaped stormwater management ponds and areas should be incorporated into the overall design as natural features and assets to the community.
- Houses should front onto public open spaces and not back onto public parks or streets.
- All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site.
- A hierarchy of open spaces is encouraged. Each development should have at least one open space located near the center of the development. Typically, neighborhood parks range from half an acre to 5 acres. Multiple greens may be necessary in large developments to provide centrally located greens.
- Adequate amounts of open space and parkland are encouraged to be provided on-site.
- Rear or side-loaded garages are encouraged. When a garage faces the street, the front façade of the garage should be set back from the front façade of the house.
- Any proposed residential development outside of the Village Center shall have a base density of 1 dwelling unit per gross acre in order to preserve and protect the community's natural resources and support the overall land conservation goals of the community. A transfer of residential density can be used to achieve a gross density of 1 dwelling unit per acre.
- Private streets are at odds with many of the community's planning principles, such as: interconnectivity, a hierarchy of street typologies, and a connected community. To achieve these principles, streets within residential developments must be public.

The Engage New Albany Strategic Plan recommends the following standards as prerequisites for all development proposals in New Albany:

- Development should meet setback recommendations contained in the strategic plan.
- Streets must be public and not gated. Cul-de-sacs are strongly discouraged.
- Parks and open spaces should be provided, publicly dedicated and meet the quantity requirements established in the city's subdivision regulations (i.e. 20% gross open space and 2,400 sf of parkland dedication for each lot).
 - All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site. If it cannot be provided on-site, purchasing and publicly dedicating land to expand the Rocky Fork Metro Park or park space for the Joint Parks District is an acceptable alternative.
- The New Albany Design Guidelines & Requirements for residential development must be met.
- Quality streetscape elements, including an amenity zone, street trees, and sidewalks or leisure trails, and should be provided on both sides of all public streets.
- Homes should front streets, parks and open spaces.
- A residential density of 1 dwelling unit (du) per acre is required for single-family residential and a density of 3 du per acre for age restricted housing.
 - Higher density may be allowed if additional land is purchased and deed restricted. This type of density "offset" ensures that the gross density of the community will not be greater than 1 unit per acre. Any land purchased for use as an offset, should be within the NAPLS district or within the metro park zone.
 - 3 du/acre is only acceptable if 100% age restricted. Otherwise, the federal regulations and criteria for subdivisions to qualify as age-restricted must be accounted for when calculating density (i.e. 80% age restricted and 20% non-age restricted).

- Age restriction must be recorded as a deed restriction and included as a requirement in the subdivision's zoning text.

A. Use, Site and Layout

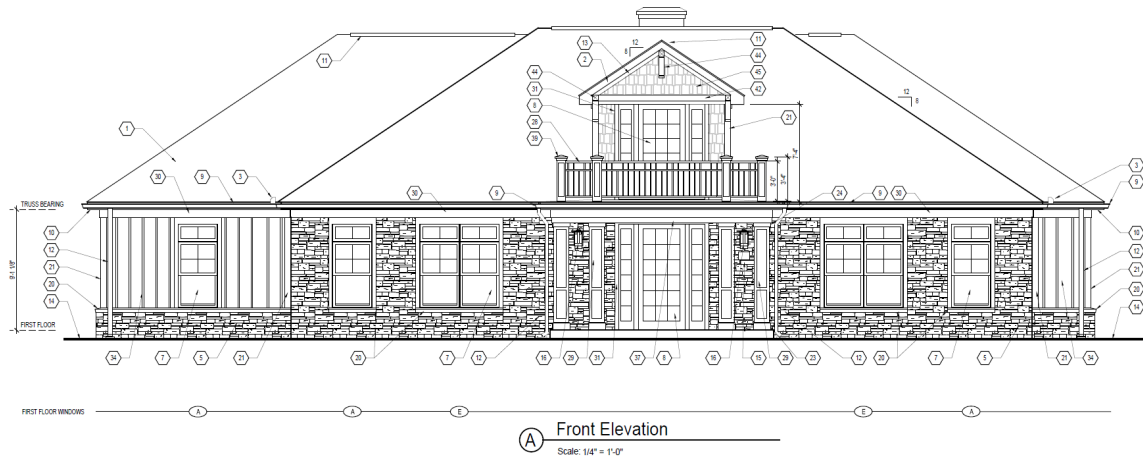
1. The zoning text section II(C) permits one private amenities center/clubhouse, which may include a fitness center, gathering spaces, outdoor pool, and/or other recreational and social facilities, amenities, and improvements serving only the residents living in this zoning district. Per the zoning text, the clubhouse shall be associated with an approved development plan, thus requiring the Planning Commission to review and approve the changes.
2. The previously approved clubhouse site design is consistent with the proposed clubhouse. It features two pickleball courts, a bocce ball court, a community garden, and a swimming pool, which were originally reviewed and approved by the Planning Commission.
3. The site is accessible from Haines Creek Drive and Wooster Drive. The site also has pedestrian access on the south and west sides of the property.
4. The proposal includes minor on-site landscaping changes and changes to the clubhouse architecture.
5. The setbacks align with the approved final development plan for the Courtyard at Haines Creek.

B. Access, Loading, Parking

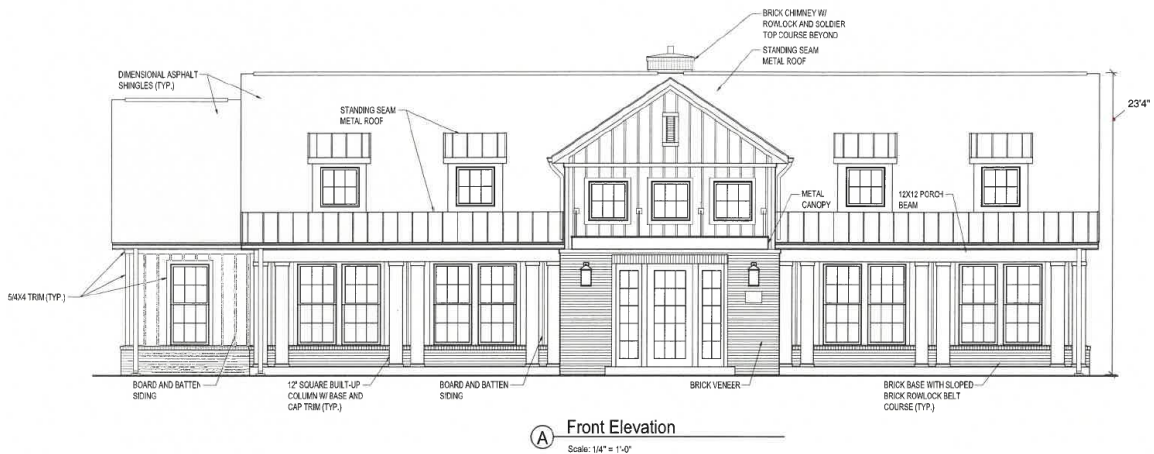
1. Per the zoning text, a parking lot may be provided near the private amenities center/clubhouse to provide for the parking needs of residents and other visitors of the residents in the community. The location of the parking lot and the number of spaces to be provided shall be determined at the time of approval of a final development plan for this zoning district.
2. Per code section 1167.05(f), the Planning Commission shall determine the number of parking spaces required for the clubhouse since it is a use not mentioned in the code.
3. The applicant proposes 23 designated parking spaces for the clubhouse, consistent with the approved final development plan.
4. Staff recommends a condition of approval to add a sidewalk connection from the community garden to the eastern leisure path (condition #1).

C. Architectural Standards

1. The applicant has proposed significant changes to the clubhouse architecture. The approved final development plan included a stone veneer face on the front elevation, which also wrapped around the building's water table.
2. The applicant has also removed the porch overhang.
3. Maximum building height: The maximum height of the private amenities' center/clubhouse shall be 35 feet as measured from the finished grade at the front door to the ridge on the roof. The proposed elevations show the clubhouse being 23 feet and 4 inches, which meets the requirement.
4. The amenities center/private clubhouse shall be 1 ½ stories in appearance or two stories in height. The architectural design and appearance of this structure shall be complimentary to and consistent with the homes in this zoning district. The proposed clubhouse is consistent with the 1 ½ story shown in the previous iteration.
5. The proposed clubhouse will be comprised of the same lap siding and board and batten siding, with brick veneer as new material. The base will be comprised of brick with a sloped rowlock belt course.
6. The City Architect has reviewed the clubhouse and recommends approval of the proposed design and materials.



Previously approved



Proposed

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. Minor landscaping details have changed on site; however, staff is not concerned as the changes are not substantial.
2. All garbage cans and other waste containers shall be kept in garages or within approved screened areas. Pedestrian garbage receptacles may be located on the exterior of the amenities center/private clubhouse, provided that they are placed within or covered by an enclosure made of materials and with colors that are complimentary to the building.
3. The applicant has provided all necessary screening details for all mechanical and waste containers.

E. Lighting & Signage

1. Light poles within parking lot areas near the clubhouse shall not exceed 18 feet in height, shall be cut-off type fixtures, and be downcast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site. These details were not provided as part of this application and will be reviewed at the time of permitting. The city recommends a condition of approval that all final lighting details be subject to staff approval (condition #2).

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering-related requirements of Code Section 1159.07(b)(3) and has no comments.

V. SUMMARY

The final development plan modification conforms with the residential land use density recommendations of the Engage New Albany Strategic Plan and is consistent with the zoning text requirements approved with the final development plan. The clubhouse provides the recommended amenity space within the community, maintaining the desired quality of life in the city. The changes in architectural features and details demonstrate cohesiveness with the surrounding homes. The site provides various amenities to serve the residents in the community while meeting the requirements demonstrated in the I-PUD text.

VI. ACTION

Suggested Motion for FDP-21-2025:

Move to approve FDP-21-2025 with the following conditions:

1. The applicant inserts a sidewalk connection from the community garden space to the eastern leisure path on the site.
2. That the final lighting details be subject to staff approval.

Approximate Site Location:



Source: ArcGIS



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org	
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.	
Project Information	Site Address <u>9530 Wooster Drive, New Albany 43054; clubhouse address: 9470 Antioch Drive, New Albany 43054</u>	
	Parcel Numbers <u>222-005497¹</u>	
	Acres <u>1.478</u>	# of lots created <u>0--Reserve H</u>
Project Information	Choose Application Type	Description of Request:
	<input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification	<input type="checkbox"/> Extension Request <input type="checkbox"/> Variance <input type="checkbox"/> Vacation FDP Modification to allow updated architecture for clubhouse
Contacts	Applicant Information	Property Owner Information
	Name EC New Vision Ohio, LLC Address 500 Stonehenge Pkwy City, State, Zip Dublin, OH 43017 Phone Number 614-761-1010 Email lminklei@epconcommunities.com	Name Epcon Haines Creek, LLC Address 500 Stonehenge Pkwy City, State, Zip Dublin, OH 43017 Phone Number 614-761-1010 Email lminklei@epconcommunities.com
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.	
	Signature of Owner Signature of Applicant	Date: 2/20/25 Date: 2/20/25

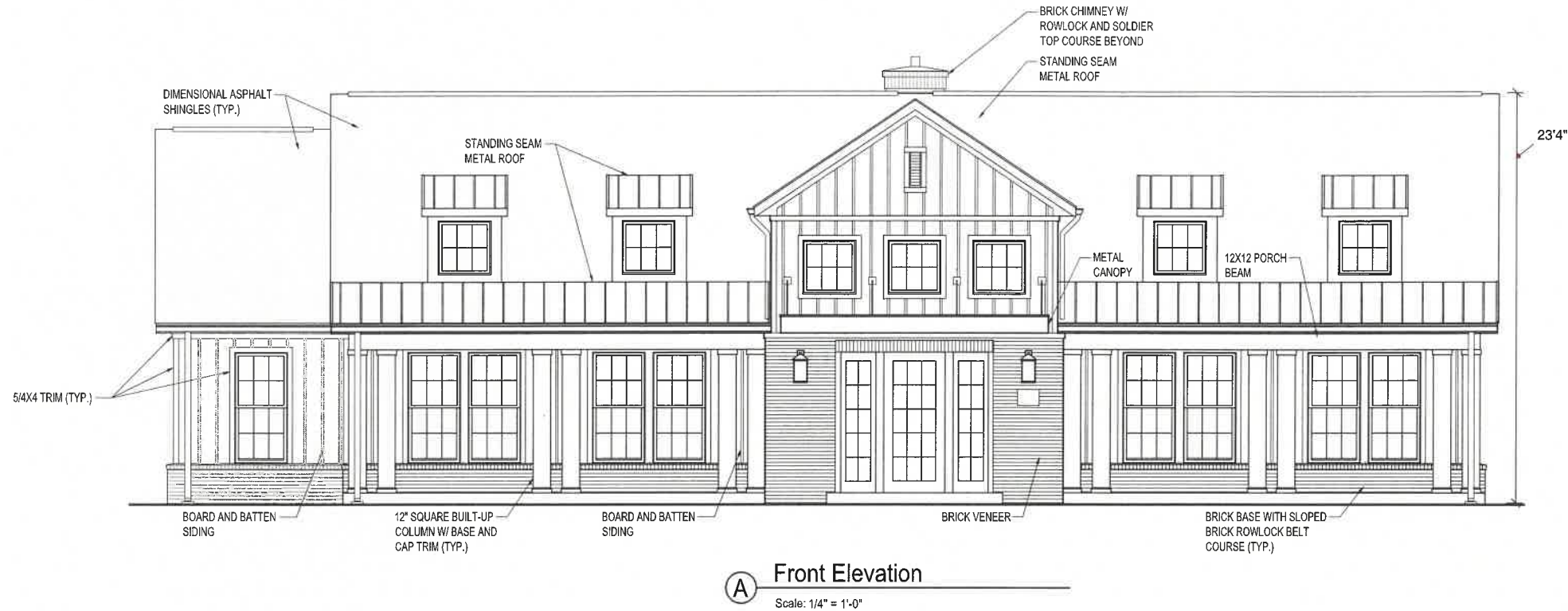
Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

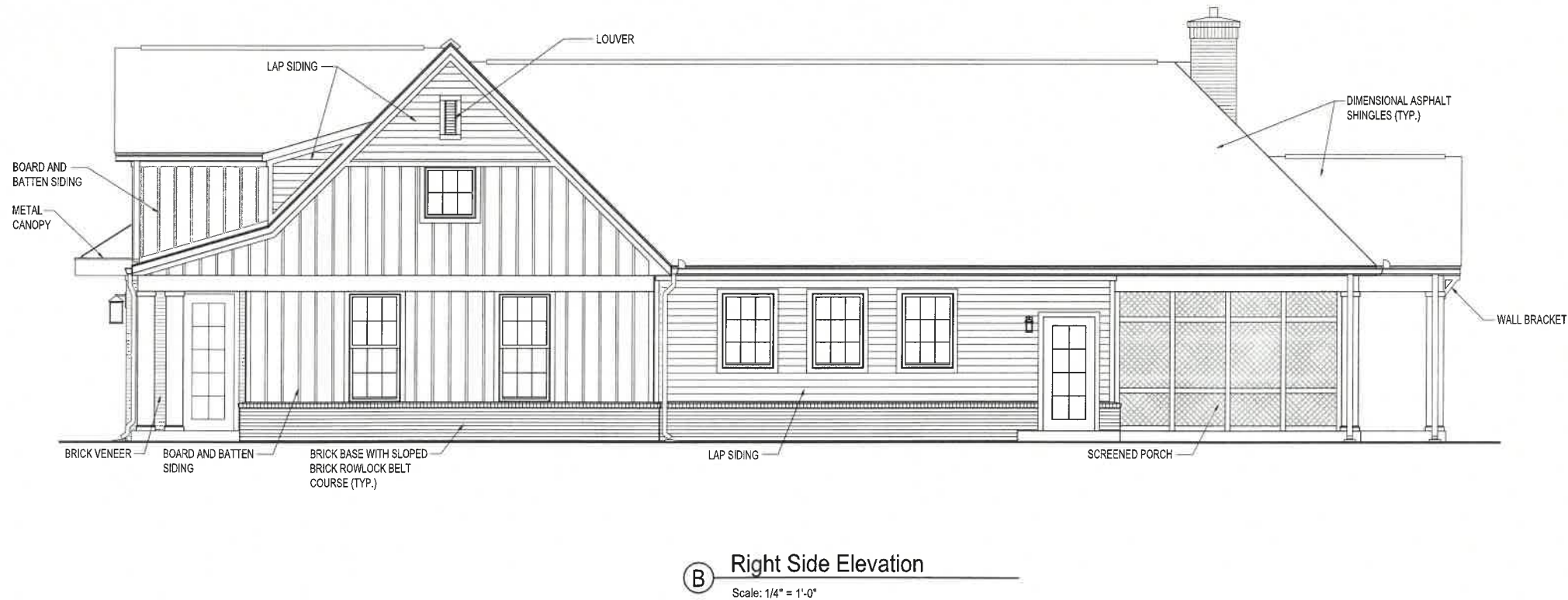
Appeal		250.00	
Certificate of Appropriateness			
ARB – single and two family residential		100.00	
ARB – All other residential or commercial		300.00	
ARB - Signage		75.00	
Conditional Use		600.00	
Development Plan – Preliminary PUD or Comprehensive			
Planning fee	First 10 acres	750.00	
	Each additional 5 acres or part thereof	50.00 / each	
Engineering fee	1-25 lots	155.00 / each	
	Minimum fee	1000.00	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Final PUD			
Planning fee	First 10 acres	650.00	
	Each additional 5 acres or part thereof	50.00	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Non-PUD		300.00	
Development Plan / Text Amendment		600.00	600.00
Plat – Road Preliminary			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Road Final			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Subdivision Preliminary			
Planning		650.00	
	Plus each lot	50.00 / each	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each lot over 51	50.00 / each	

Fees & Submittal Requirements

Plat – Subdivision Final			
Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 /each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____
Lot Changes		200.00	_____
Minor Commercial Subdivision		200.00	_____
Vacation (Street or Easement)		1200.00	_____
Variance			
	Non-single family, commercial, subdivision, multiple properties	600.00	_____
	Single Family residence	250.00	_____
	In conjunction with Certification of Appropriateness	100.00	_____
Extension Request		0.00	_____
Zoning			
	Rezoning - First 10 acres	700.00	_____
	Each additional 5 acres or part thereof	50.00 / each	_____
	Rezoning to Rocky Fork Blacklick Accord	250.00	_____
	Text Modification	600.00	_____
Easement Encroachment		800.00	_____



A Front Elevation
Scale: 1/4" = 1'-0"



B Right Side Elevation
Scale: 1/4" = 1'-0"



Epcon Communities
Courtyards at Haines Creek
Central College Road
New Albany, Ohio 43031

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Prototype Disk No.	Interim Page Revisions
2024	Revision Date
	8/28/24

Architect Project Number

Community Dates & Revisions	
Date Originated	19 DEC 2024
Bid	
Permit	
Construction	
Revisions	
△	△
△	△
△	△

Drawing Title

Exterior Elevations

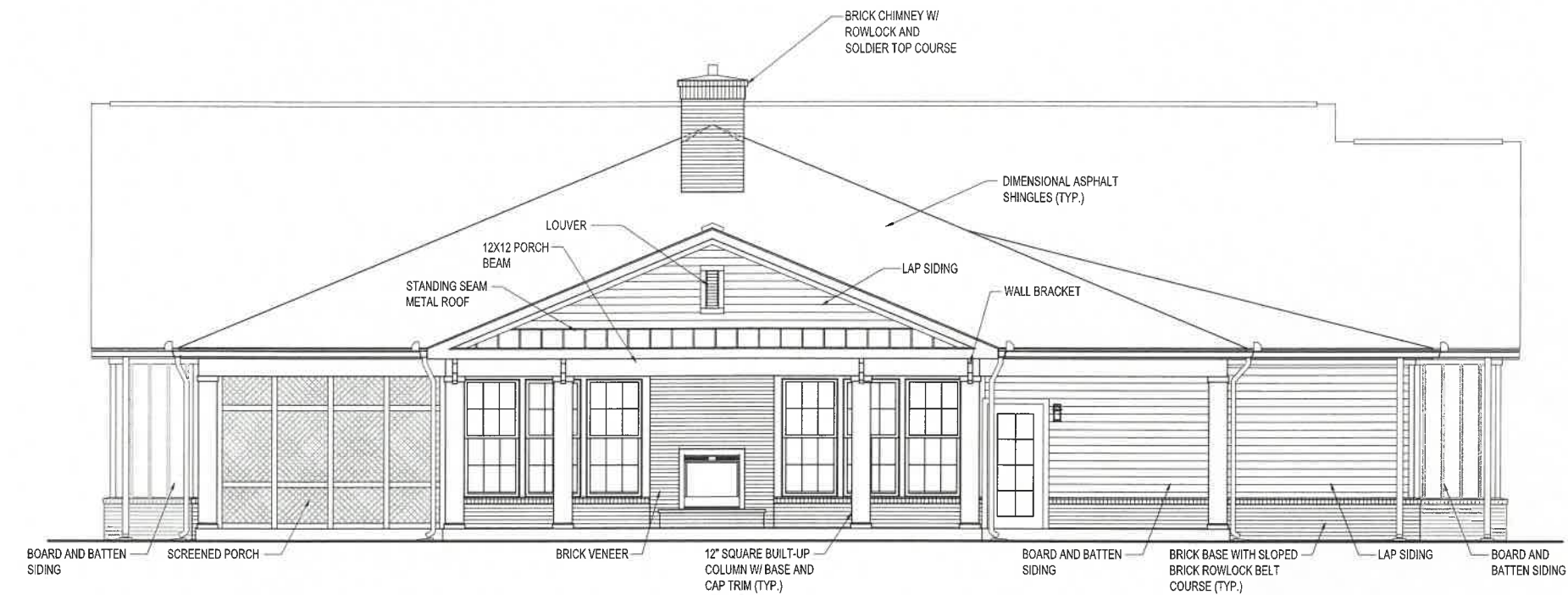
Architectural Style

Cottage

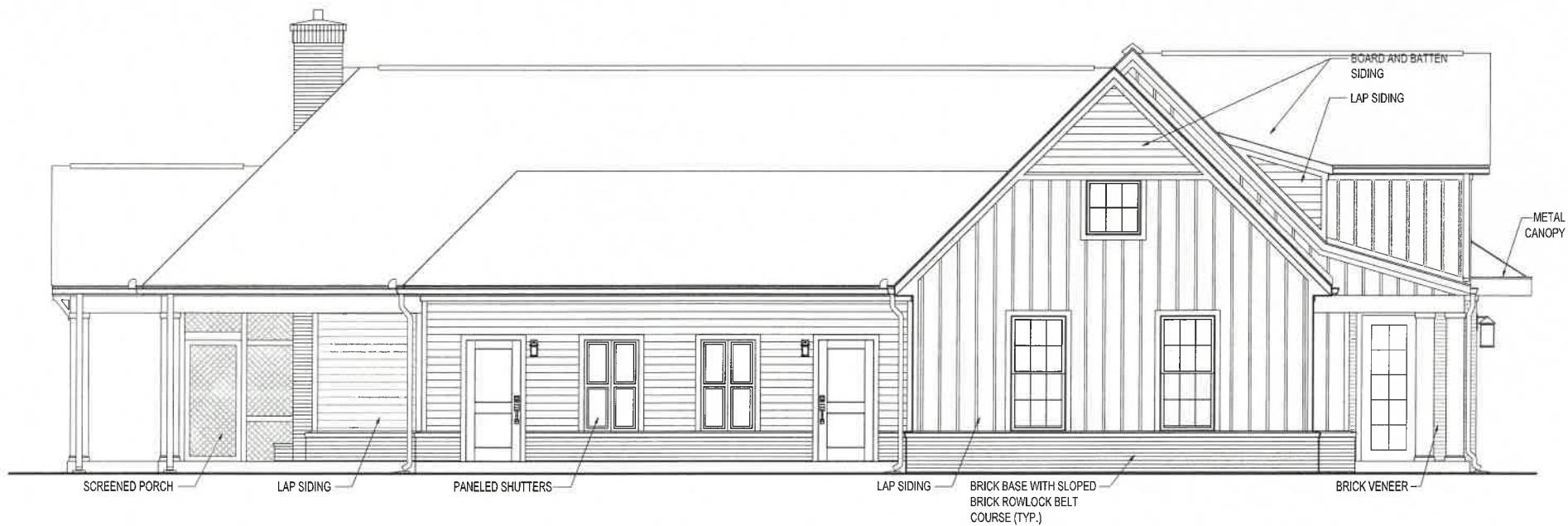
Sheet Number

A.201

Clubhouse 'Large'



A Rear Elevation
Scale: 1/4" = 1'-0"



B Left Side Elevation
Scale: 1/4" = 1'-0"



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Courtyards at Haines Creek
Central College Road
New Albany, Ohio 43031

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△	△

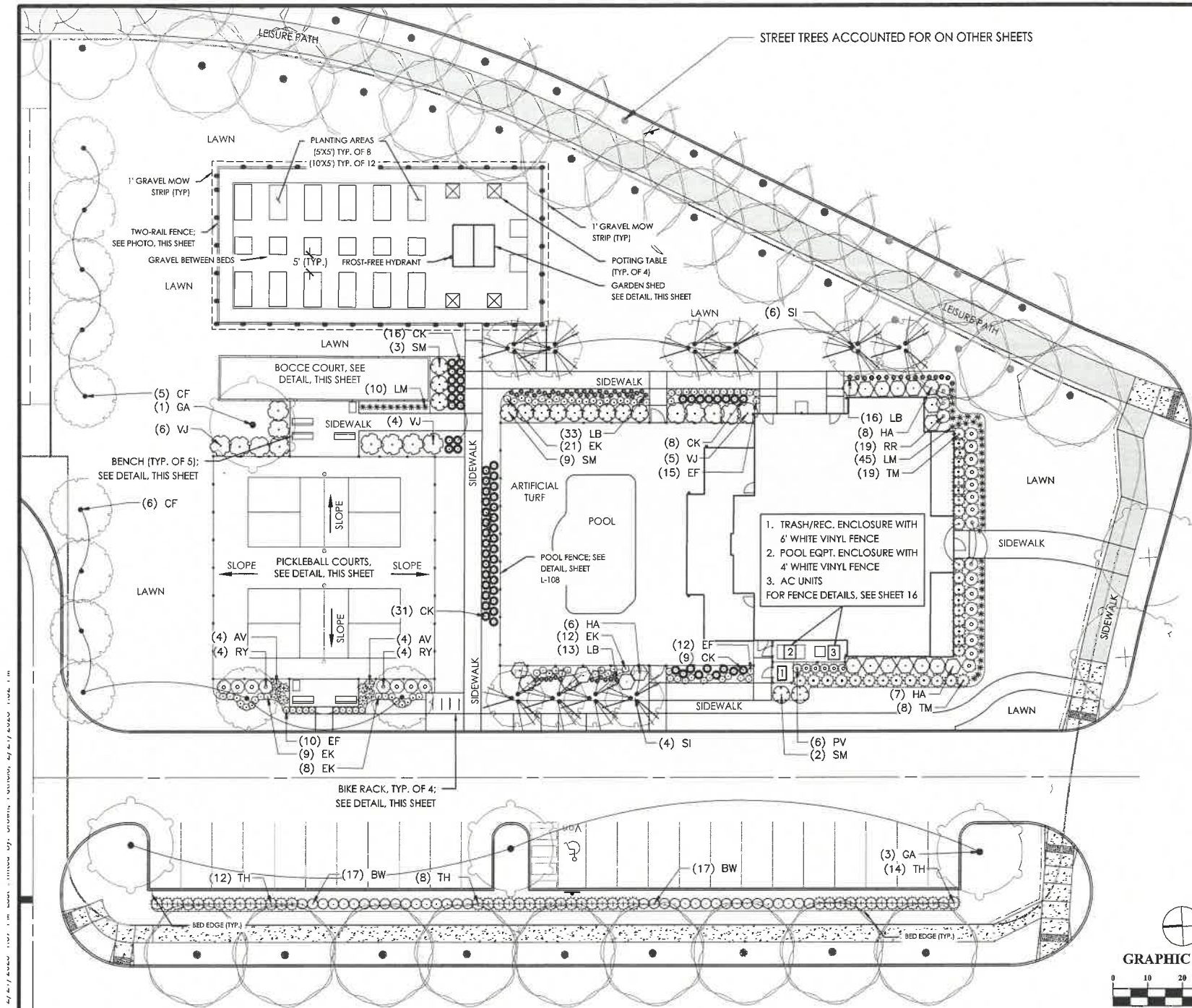
Drawing Title
Exterior Elevations

Architectural Style
Cottage

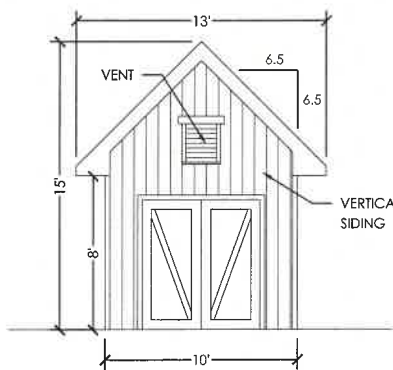
Sheet Number

A.202

Clubhouse 'Large'



AMENITY AREA ENLARGEMENT
1" = 20'



Garden Shed Detail
Scale: 1"=5'



Fence, Potting Table, And Garden
Shed

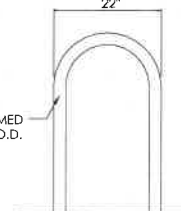


MANUFACTURER: GLOBAL INDUSTRIAL
ITEM #: WG694854BK
6' Metal Bench with Back
Or Owner Approved Equal
Not to Scale



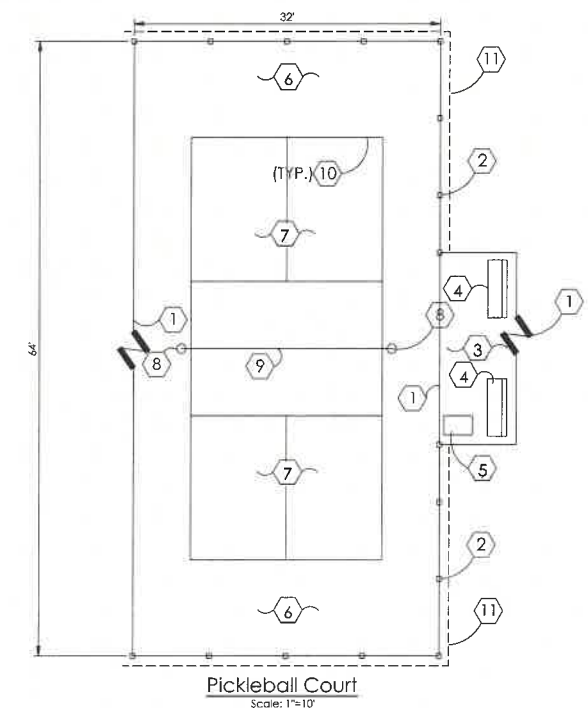
MANUFACTURER: GLOBAL INDUSTRIAL
ITEM #: T9F262113BKD
6' Metal Backless Bench
Or Owner Approved Equal
Not to Scale

U SHAPE FORMED
FROM 2-3/8" O.D.
SCHEDULE 40
STEEL PIPE



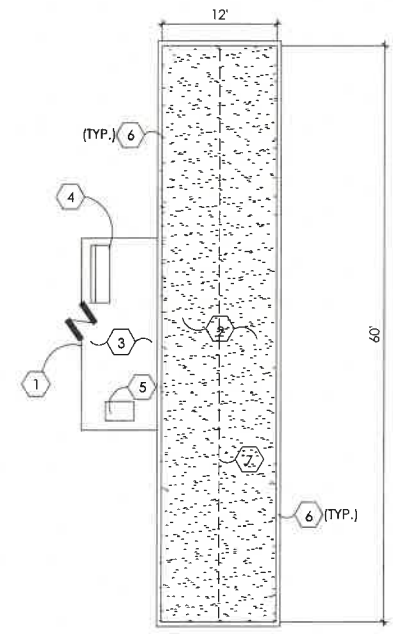
Bike Rack Detail (Black)
Not to Scale
Bike rack location to be approved by the City

PLANT SCHEDULE AMENITY AREA						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
TREES						
	CF	11	Carpinus b. 'Fastigiata'	Columnar Hornbeam	2.5" Cal.	B&B
	GA	4	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	2.5" Cal.	B&B
	SI	10	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5" Cal.	B&B
SHRUBS						
	BW	34	Buxus microphylla japonica 'Winter Gem'	Winter Gem Japanese Boxwood	24"	Cont.
	HA	21	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	36" Ht.	B&B
	RY	8	Rosa x 'Radsunny'	Yellow Knock Out Rose	#3	Cont.
	RR	19	Rosa x 'Radiko'	Red Double Knock Out Rose	#3	Cont.
	SM	14	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24" Ht.	B&B or Cont.
	TH	44	Taxus x media 'Hicksii'	Hicks Yew	24" Ht.	Cont.
	TM	32	Taxus x media 'Everlow'	Everlow Anglo-Japanese Yew	18" Ht.	B&B
	VJ	15	Viburnum x juddii	Judd Viburnum	36" Ht.	B&B
PERENNIALS/ORN. GRASSES						
	AV	8	Astilbe chinensis 'Vision in Pink'	Vision in Pink Chinese Astilbe	#1	Cont.
	CK	64	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2	Cont.
	EF	37	Echinacea purpurea 'Fragrant Angel'	Fragrant Angel Coneflower	#1	Cont.
	EK	50	Echinacea purpurea 'Kim's Knee High'	Kim's Knee High Coneflower	#1	Cont.
	LB	62	Liriope muscari 'Big Blue'	Big Blue Lilyturf	#1	Cont.
	LM	55	Liriope muscari 'Silvery Sunproof'	Silvery Sunproof Lilyturf	#1	Cont.
	PV	6	Panicum virgatum 'Northwind'	Northwind Switch Grass	#1	Cont.



Pickleball Court
Scale: 1"=10'

- PICKLEBALL NOTES
- PAVEMENTS TO MEET FLUSH.
 - 48" HGT. BLACK VINYL COATED CHAIN LINK FENCE, OR OWNER APPROVED EQUAL. 3" TERMINALS AND 2.5" LINE POSTS TO BE SET IN CONCRETE FOOTING WITH 1-1/2" TOP AND BOTTOM RAILS.
 - SEATING AREA, FINISH MATERIALS AND COLOR BY OWNER
 - 6 FT. OUTDOOR PARK BENCH WITH BACK - STEEL SLAT - BLACK, BY GLOBAL INDUSTRIAL, OR OWNER APPROVED EQUAL. WWW.GLOBALINDUSTRIAL.COM, SEE DETAIL, THIS SHEET
 - OUTDOOR STORAGE BOX, BY OWNER. ONE (1) BOX PER TWO COURTS.
 - ASPHALT COURT PLAYING SURFACE IN GREEN COATING
 - ASPHALT COURT PLAYING SURFACE IN BLUE COATING
 - NET POST IN SLEEVE, INSTALL STEEL GROUND SLEEVES IN CONCRETE FOOTING FOR 3" INTERNAL WIND NET POST, AVAILABLE THROUGH TOTAL TENNIS, INC., OR OWNER APPROVED EQUAL. WWW.TOTALTENNISINC.COM
 - TI CHAMPIONSHIP PICKLEBALL NET, OR OWNER APPROVED EQUAL. AVAILABLE THROUGH TOTAL TENNIS, INC. WWW.TOTALTENNISINC.COM
 - WHITE TEXTURED LINE PAINT, USE NOVATEX TEXTURED LINE PAINT OR OWNER APPROVED EQUAL
 - 5" RIVER WASH ROCK OUTSIDE OF FENCE



Bocce Ball Court
Scale: 1"=10'

- BOCCE NOTES
- PAVEMENTS TO MEET FLUSH.
 - BRASSFIELD FINES BOCCE COURT.
 - SEATING AREA, FINISH MATERIALS AND COLOR BY OWNER.
 - 6 FT. OUTDOOR PARK BENCH WITH BACK - STEEL SLAT - BLACK, BY GLOBAL INDUSTRIAL, OR OWNER APPROVED EQUAL. WWW.GLOBALINDUSTRIAL.COM, SEE DETAIL, THIS SHEET
 - OUTDOOR STORAGE BOX, BY OWNER
 - BOCCE COURT EDGING,
 - 6" DUAL PERFORATED DRAINAGE PIPE, SLOPE AT MIN. .75%, TIE INTO LOCAL DRAINAGE STRUCTURE.

Notes:
1. All dimensions as shown hereon are approximate and will be confirmed with Final Engineering.

REVISIONS

MARK	DATE	DESCRIPTION
	2/7/24	REVISED PER STAFF COMMENTS
	2/21/25	REVISED CH FOOTPRINT/ARCH

EPCON COMMUNITIES

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
THE COURTYARDS AT HAINES CREEK
AMENITY AREA ENLARGEMENT

EMHIT
Evans, Mechwart, Hamilton & Tilton, Inc.
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500
Fax: 614.775.4500
emhit.com

DATE
February 7, 2024

SCALE
AS NOTED

JOB NO.
20230578

SHEET
14/23



Planning Commission Staff Report April 21, 2025 Meeting

MEDICAL OFFICE BUILDING FINAL DEVELOPMENT PLAN

LOCATION: Located off the roundabout on Forest Drive, south of Johnstown Road (US-62) and north of Smith's Mill Road (PID: 222-004888)
APPLICANT: Canini & Associates
REQUEST: Final Development Plan
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8b
STRATEGIC PLAN: Employment Center
APPLICATION: FDP-20-2025

Review based on: Application materials received February 28, 2025

Staff report prepared by Kylie Blackburn, Planner

I. REQUEST AND BACKGROUND

The application is for a final development plan for two proposed medical office buildings located on the east side of the roundabout off Forest Drive south of Johnstown Road (US-62) and north of Smith's Mill Road, within the Canini Trust Corp. The development includes two medical office buildings on a 2.08-acre site.

The zoning text allows office buildings, and the permitted uses contained in the Codified Ordinances of the Village of New Albany, OCD Office Campus District, Section 1144.02, and the conditional uses contained in Section 1144.03, which includes personal services such as health offices. The applicant has applied for a variance to be heard by the Planning Commission at tonight's meeting under case VAR-24-2025 for a lot split that would create a lot with no frontage.

II. SITE DESCRIPTION & USE

The 2.08-acre site is generally located on the east side of the roundabout off Forest Drive south of Johnstown Road (US-62) and north of Smith's Mill Road, within the Canini Trust Corp. Some of the existing surrounding uses include Hampton Inn & Suites, Courtyard by Marriott, and The Estate at New Albany.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*

- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

Engage New Albany Strategic Plan Recommendations

The 2020 Engage New Albany strategic plan designates the area as the Employment Center District future land use category. The strategic plan lists the following development standards for the Employment Center District land use category:

1. No freeway / pole signs are allowed.
2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
3. Plan office buildings within context of the area, not just the site, including building height within development parcels.
4. Sites with multiple buildings should be well organized and clustered if possible.
5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
6. All office developments should plan for regional stormwater management.
7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
9. Combined curb cuts and cross-access easements are encouraged.
10. The use of materials, colors, and texture to break up large-scale facades is required.

1. Use, Site, and Layout

1. The applicant proposes to develop two medical office buildings, the building on lot 1 will be 9,170 sq ft, and the building on lot 2 will be 5,845 sq ft. The existing total site size is 2.08 acres, which is going to be split into lot 1 totaling +/- 1.19 acres and lot 2 totaling +/- 0.89 acres
2. The variance for lot 2 to not have public street frontage is to be heard by the Planning Commission at tonight's meeting under case VAR-24-2025.
3. The proposed use is appropriate given the proximity of this site to surrounding commercial development in the area. Some of the existing surrounding uses include The Estate at New Albany, Hampton Inn, Courtyard by Marriott, Home2 Suites by Hilton, and Smith's Mill Health Campus.
4. Zoning text section 8b.01(7) requires that the total lot coverage, which includes areas of pavement and building, to not exceed 80%. The plan meets this requirement with a proposed 73% lot coverage amount.
5. The zoning text section 8b.01 requires the following setbacks:

Road	Requirement	Proposed
Forest Drive	30-foot building and 20-foot pavement setbacks	83+/- foot building [meets code] 24.13+/- foot pavement [meets code]

2. Access, Loading, Parking

1. The site is accessed from two proposed curb cuts:
 - a. One full access along Forest Drive.
 - b. One full access off of the private drive on PID: 222-004887
 - a. Before building permits, the applicant needs written consent and a cross-access easement to utilize the private drive on PID: 222-004887 for the second access (condition 1).



2. The applicant anticipates splitting the lot and developing one building on each lot. If this is done, a cross-access agreement will need to be made between the two lots (condition 2).
3. Per section 8b.02(3) of the zoning text, bicycle racks shall be provided within this subarea; this is being met with one bicycle rack on each proposed lot.
4. Codified Ordinance 1167.05(d)(5) requires a minimum of one parking space for each 200 square feet of gross floor area. Lot one's building is 9,170 square feet; therefore, 46 spaces are required, and the applicant meets this requirement with the proposed 59 spaces. Lot two's building is 5,845 square feet; therefore, 30 spaces are required, and the applicant meets this requirement with the proposed 43 spaces.
5. Per section 8b.02(5) of the zoning text, a minimum of five (5) parking spaces shall be provided for wetland park and/or trail users. These parking spaces shall be located adjacent to the entrance to the wetland park and shall be labeled as such, this is not being met.
 - o Staff recommends that these parking spaces for the wetland park be provided, subject to staff approval (condition 3).
6. Per C.O. 1167.03(a), the minimum parking space dimensions required are 9 feet wide and 19 feet long, and this requirement is met.
7. Per C.O. 1167.03(a), the minimum maneuvering lane width size is 22 feet for this development type, and this requirement is met.

3. Architectural Standards

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural design.
2. The zoning text contains architectural standards and is regulated by Section 6 of the Design Guidelines and Requirements (Commercial outside the Village Center).

3. The zoning text states that the maximum building height within this zoning district shall not exceed 45 feet. The proposed building height is 20 feet; therefore, this requirement is being met.
4. The applicant proposes to use brick for the majority of the building. The proposal also includes smooth cast stone. The zoning text permits the use of these materials, such as brick, pre-cast stone, wood, glass, and other synthetic materials are permitted as long as they are used appropriately. The design of the building and use of materials are appropriate and consistent with other buildings in the immediate area.
5. The zoning text states that tinted glass is permitted, but the use of mirrored or reflective glass is prohibited. The proposed windows on the two buildings will be clear/transparent glass, therefore meeting this requirement.
6. Zoning text section 8a.03(2) states that all visible elevations of a building shall receive similar treatment in style, materials, and design so that no visible side is of a lesser visual character than any other. The applicant is accomplishing this requirement by utilizing four-sided architecture.
7. A sample of a roof plan was submitted and demonstrates that all rooftop mechanical equipment will be fully screened from all public roads using a parapet wall.
8. Zoning text section 8b.03(6) states that if a flat roof is used, strong cornice lines must be integrated, and the applicant is meeting this.
9. The City Architect has reviewed the proposed architecture and has the following comments:
 - The ratio of glazing-to-solid-wall needs to be enhanced. The City Architect recommends replacing the solid panels located directly above the windows with actual transoms that are the same height as the solid panels (with a vertical separation matching the windows below). This may raise the interior first-floor ceiling height, but the exterior requires it.
 - The trim portion of the cornice design should be enhanced. The city architect pointed out that the current design might not be as strong concerning the scale of the building. The city architect gave a suggestion that the cornice could have a strong overhang to pick up on the horizontality of the entry canopy.
 - Staff recommends a condition of approval that all City Architect's comments are addressed, subject to staff approval (condition 4)

4. Parkland, Buffering, Landscaping, Open Space, Screening

1. Parking Lot Landscaping Requirement:
 - Codified Ordinance 1171.06(a)(2)(3) says that for each one hundred square feet, or fraction thereof, of parking area, a minimum total of five square feet of landscaped area shall be provided.
 - For lot 1 parking, 1,242 sq ft is required for code, and the applicant is providing 3,904 sq ft.
 - For lot 2 parking, 1,000 sq ft is required for code, and the applicant is providing 2,790 sq ft.
 - The zoning text 8b.04(4)(c) requires that the amount of interior landscaping shall be a minimum of eight percent of the total area of parking lot pavement.
 - For lot 1, parking 1,987 sq ft is required per the zoning text, and the applicant is providing 3,904 sq ft.
 - For lot 2, parking 1,599 sq ft is required per the zoning text, and the applicant is providing 2,790 sq ft.
 - Per zoning text 8b.04(4)(a), parking lots shall be screened from rights-of-way with a minimum 36-inch-high evergreen landscape hedge or wall. The landscape plan meets this requirement with the proposed 4-6-foot-high evergreen landscape hedge.
2. General Site Landscaping Requirement:
 - The zoning text 8b.04(6) requires that tree plantings shall be required within site parking and service areas. Trees shall be a minimum of 2 ½ inches in caliper at installation.

- The zoning text 8b.04(7)(a) also requires that the minimum tree size shall be no less than 2 ½ inches in caliper for street and or shade trees and 1 ½ inches in caliper for ornamental trees
 - The applicant is providing that all trees planted will be at 2 ½ inches in caliper for site parking, service, street, and buffer shade trees.
- 3. Street Tree Landscaping Requirement:
 - The zoning text section 8b.04(2) requires street trees to be planted along Forest Drive. Trees are to be a minimum of two and a half inch caliper and shall be spaced at a minimum distance of thirty feet on center, Trees may be grouped, provided that the quantity is equivalent to 1 tree per thirty feet.
 - The applicant will have 20 feet of parking frontage along Forest Drive and is providing 2 trees at 2 ½ inches in caliper, therefore meeting the requirement.
- 4. The applicant proposes to use ornamental trees for buffer trees that are required per code. The plan also proposes that the buffer ornamental trees be planted at 2.5" CAL. This requirement is met.
- 5. Staff recommends a condition of approval that all City Landscape Architect's comments are addressed, subject to staff approval (condition 5)

5. Lighting & Signage

1. The zoning text 8b.05(1)(b) requires that external building lighting shall be limited to wall-mounted sconces. No uplighting or washing of the building shall be permitted.
 - The applicant has provided images of the proposed external lighting, and they meet this requirement.
2. Per the zoning text 8b.05(1)(d), all light poles shall be black or New Albany Green with a maximum height of 20 feet, including the light fixture.
 - The applicant shows light poles will be New Albany Green and have a mounting height of 17 feet, meeting the requirement.

6. Wall Signs

The applicant has not provided a sign package at this time, but has informed staff that when signs are proposed, they will match signs of neighboring properties within the development, having sign panels with backlit or halo lettering. There will not be a monument sign on the properties.

- The city staff recommends a condition of approval that the final copy of these proposed signs and future signage is subject to staff approval (condition 6).

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition 7).

1. Add the signature block and all accompanying notes to the cover sheet of the referenced document and delete what is currently shown.
2. Please show all existing easements, wetlands, and buffers shown on this exhibit on the referenced document.
3. Please show the site distance triangles in accordance with the ODOT L&D Manual on the landscape plans at the curb cuts. Add stop bars/signs and use this as the decision point. Remove impediments to motorists' view.
4. We recommend that a Licensed Landscape Architect stamp/seal the landscape plans.
5. Obtain Community Development Department approval for the photometrics plan. Footcandle intensities at the property line and the uniformity ratios are higher than what typically gets approved.
6. Provide a fire truck turning radius analysis for review and approval.
7. Record the access easement and provide a copy to the City when available.

8. We will provide additional engineering review comments once detailed plans are available.

V. SUMMARY

The proposal meets many of the goals of the Engage New Albany Strategic Plan, such as providing pedestrian access along roadways and into the site, as well as utilizing high-quality building materials that are consistent with other buildings in the immediate area. The proposed development is in an appropriate location given the context of the surrounding area development.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application **FDP-20-2025**, subject to the following conditions:

1. Before building permits, the applicant needs written consent and a cross-access easement to utilize the private drive on PID: 222-004887
2. A cross-access agreement will be needed when the lot split occurs.
3. The 5 required parking spaces stated in the zoning text for the use of the wetland park are required in the submittal process.
4. The City Architect's comments must be addressed, subject to staff approval:
 - a. The ratio of glazing-to-solid-wall needs to be enhanced. The city architect recommends replacing the solid panels located directly above the windows with actual transoms that are the same height as the solid panels (with a vertical separation matching the windows below). This may raise the interior first-floor ceiling height, but the exterior requires it.
 - b. The trim portion of the cornice design should be enhanced. The city architect pointed out that the current design might not be as strong concerning the scale of the building. The city architect gave a suggestion that the cornice could have a strong overhang to pick up on the horizontality of the entry canopy
5. The City Landscape Architect's comments must be addressed, subject to staff approval:
 - a. Shift the proposed trash enclosure to the southeast corner of the parcel. Consolidate the enclosures and provide a standard approved gate to the proposed screening wall.
 - b. Shift the proposed drive access to the south edge of the parcel.
 - c. Update the proposed site plan to include proper pedestrian connections/ walks within the interior of the site.
 - d. Revise the proposed parking lot screening application to reflect a minimum height of 36" at time of install.
 - e. Revise the proposed planting plan to provide proper screening along the north side of the parking lot.
 - f. Remove the proposed plant bed between trash enclosures to consolidate screening wall.
 - g. Per Canini Trust Corp. I-PUD Text, 8a.04 (5) Revise the proposed planting plan to provide the proper minimum deciduous shade trees in the buffer zone along Forest Drive.
 - h. New Horizon Elm is susceptible to the Elm Leaf Beetle, revise the proposed plant list to replace the New Horizon Elm with the Princeton Elm (*or similar, ensuring resistance to Dutch elm disease and the Elm leaf beetle*).
6. The final copy of the proposed signs and future signage is subject to staff approval.
7. The City Engineer's comments must be addressed, subject to staff approval;
 - o Add the signature block and all accompanying notes to the cover sheet of the referenced document and delete what is currently shown.
 - o Please show all existing easements, wetlands, and buffers shown on this exhibit on the referenced document.

- Please show the site distance triangles in accordance with the ODOT L&D Manual on the landscape plans at the curb cuts. Add stop bars/signs and use this as the decision point. Remove impediments to motorists' view.
 - We recommend that a Licensed Landscape Architect stamp/seal the landscape plans.
 - Obtain Community Development Department approval for the photometrics plan. Footcandle intensities at the property line and the uniformity ratios are higher than what typically gets approved.
 - Provide a fire truck turning radius analysis for review and approval.
 - Record the access easement and provide a copy to the city when available.
 - We will provide additional engineering review comments once detailed plans are available.
8. That the proposal is contingent upon approval of VAR-24-2025.

Approximate Site Location:



Source: Nearmap

Development Review

project name	Canini & Associates Forest Drive MOB
prepared for	City of New Albany
date	April 10, 2025
date received	March 28, 2025

COMMENTS

Site Plan

1. Remove the proposed plant bed between trash enclosures to consolidate the enclosures and provide a standard approved gate to the proposed screening wall. See diagram.
2. Update the proposed site plan to include proper pedestrian connections/ walks within the interior of the site. See diagram.

Planting Plan

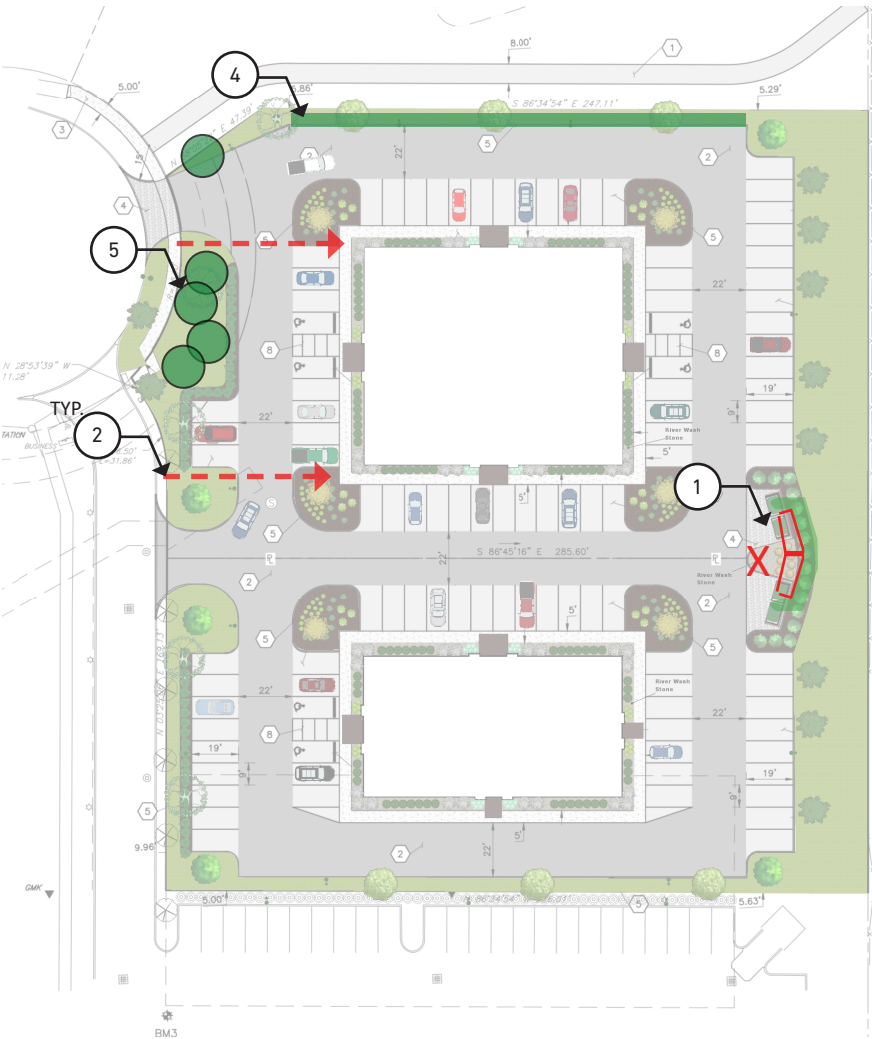
3. Revise the proposed parking lot screening application to reflect a minimum height of 36" at time of install. See diagram.
4. Revise the proposed planting plan to provide proper screening along the north side of the parking lot. See diagram.
5. Per Canini Trust Corp. I-PUD Text, 8b.04 (5) Revise the proposed planting plan to provide the proper minimum deciduous shade trees in the buffer zone along Forest Drive. See diagram.
6. New Horizon Elm is susceptible to the Elm Leaf Beetle, revise the proposed plant list to replace the New Horizon Elm with the Princeton Elm (*or similar, ensuring resistance to Dutch elm disease and the Elm leaf beetle*). See diagram.

*NOTES:

The provided diagram is for clarification and design intent purposes only. The diagram should be used to help illustrate the above comments. It is the responsibility of the design consultants to incorporate the above comments as it relates to the site and to adhere to all City requirements and subsequent code. The diagram may not be to scale.

Development Review

project name Canini & Associates Forest Drive MOB
prepared for City of New Albany
date April 10, 2025
date received March 28, 2025



		Plant Legend		
Symbol	Qty	Common	Botanical	Location
	6	Amur Maackia	Maackia Amurensis	Parking Lot Tree
	5	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	Parking Lot Tree
	6	Japanese Zelkova	Zelkova serrata 'Green Vase'	Parking Lot/Buffer Tree
	5	New Horizon Elm	Ulmus New Horizon	Buffer Tree
	10	Red Maple	Acer rubrum 'Red Sunset'	Street Tree
	47	Sea Green Juniper	Juniperus Chin. 'Sea Green'	Parking Screen
	48	Low Scape Chokeberry	Aronia Low Scape Mound	Landscape
	40	Bobo Panicle Hydrangea	Hydrangea paniculata 'Bobo'	Landscape
	96	Strongbox Inkberry	Ilex glabra 'Strongbox'	Landscape
	90	Variegated Liriope	Liriope muscari 'Variegata'	Landscape
	40	Blue Oat Grass	Helictotrichon sempervirens	Landscape
	40	Daylily	Heemerocallis sp.	Landscape
	18	Feather Reed Grass	Calamagrostis acutiflora	Landscape
	16	Techny Arborvitae	Thuja occidentalis 'Techny'	Dumpster Screen
	7	Zebra Grass	Miscanthus sinensis 'Strictus'	Dumpster Screen

404.741-01
April 1, 2025

To: Kylie Blackburn
City Planner

From: Matt Ferris, P.E., P.S., Consulting City Engineer
By: Jay M. Herskowitz, P.E., BCEE

Re: MOB FDP

Our review comments are as follows:

1. Refer to Exhibit A attached. Add the signature block and all accompanying notes to the cover sheet of the referenced document and delete what is currently shown.
2. Refer to Exhibit B. Please show all existing easements, wetlands and buffers shown on this exhibit on the referenced document.
3. Please show the site distance triangles in accordance with the ODOT L&D Manual on the landscape plans at the curb cuts. Add stop bars/signs and use this as the decision point. Remove impediments to motorist view.
4. We recommend that a Licensed Landscape Architect stamp/seal the landscape plans.
5. Obtain Community Development Department approval for the photometrics plan. Footcandle intensities at the property line and the uniformity ratios are higher than what typically gets approved.
6. Provide a fire truck turning radius analysis for review and approval.
7. Record the access easement and provide a copy to the City when available.
8. We will provide additional engineering review comments once detailed plans are available.

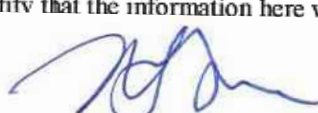
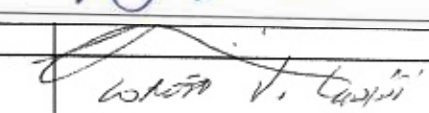
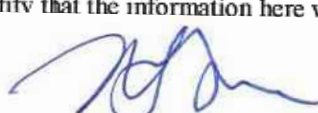
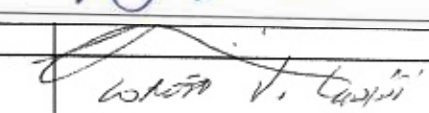
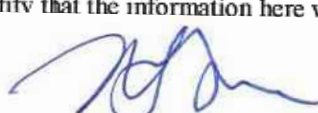
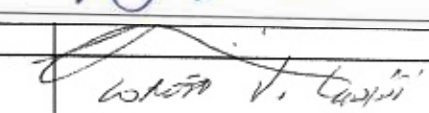
MEF/JMH

(attachments)

CC: Joshua Albright, Development Engineer



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org										
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.										
Project Information	Site Address <u>Forrest Drive</u>										
	Parcel Numbers <u>222-004888</u>										
	Acres <u>2.08</u>	# of lots created <u>2</u>									
Choose Application Type	<input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification	<input type="checkbox"/> Extension Request <input type="checkbox"/> Variance <input type="checkbox"/> Vacation									
	Description of Request: 										
Contacts	Applicant Information										
	<table border="1"><tr><td>Name</td><td>Canini & Associates, Ltd</td></tr><tr><td>Address</td><td>PO Box 887</td></tr><tr><td>City, State, Zip</td><td>New Albany, OH 43054</td></tr><tr><td>Phone Number</td><td>614-296-3872</td></tr><tr><td>Email</td><td>larry@caniniassocltd.com</td></tr></table>		Name	Canini & Associates, Ltd	Address	PO Box 887	City, State, Zip	New Albany, OH 43054	Phone Number	614-296-3872	Email
Name	Canini & Associates, Ltd										
Address	PO Box 887										
City, State, Zip	New Albany, OH 43054										
Phone Number	614-296-3872										
Email	larry@caniniassocltd.com										
Contacts	Property Owner Information										
	<table border="1"><tr><td>Name</td><td>Forrest Drive Holdings LLC</td></tr><tr><td>Address</td><td>92 North High St</td></tr><tr><td>City, State, Zip</td><td>Dublin, OH 43017</td></tr><tr><td>Phone Number</td><td></td></tr><tr><td>Email</td><td></td></tr></table>		Name	Forrest Drive Holdings LLC	Address	92 North High St	City, State, Zip	Dublin, OH 43017	Phone Number		Email
Name	Forrest Drive Holdings LLC										
Address	92 North High St										
City, State, Zip	Dublin, OH 43017										
Phone Number											
Email											
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.										
	<table><tr><td>Signature of Owner</td><td></td><td>Date: <u>3/12/25</u></td></tr><tr><td>Signature of Applicant</td><td></td><td>Date: <u>3/12/25</u></td></tr></table>		Signature of Owner		Date: <u>3/12/25</u>	Signature of Applicant		Date: <u>3/12/25</u>			
Signature of Owner		Date: <u>3/12/25</u>									
Signature of Applicant		Date: <u>3/12/25</u>									

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054



5071 Forest Dr Ste A New Albany, OH 43054



Paulina Canini
614.271.2260
paulina@caniniassocltd.com

All information furnished regarding property for sale or lease is from sources deemed reliable but not made as to the accuracy thereof, and some is submitted to errors, omissions or other cancellations, prior sale or lease or withdrawal from market without notice, warranty or representation.



📍 1480 Dublin Road, Columbus, OH 43215
☎ 614.228.2471 | krgre.com

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SITE DATA

PARCEL NUMBER-- 222-004888
TOTAL ACREAGE-- 2.08 AC
1.19 AC- LOT 1
0.89 AC- LOT 2
DISTURBED ACREAGE-- 2.08 AC
IMPERVIOUS AREA ±1.51 ACRES (73%)
PERVIOUS AREA ±0.57 ACRES (27%)
ZONING-- IPUD
BUILDING USE-- OFFICE
BUILDING SQUARE FOOTAGE-- 9,170 SQ FT- LOT 1
5,845 SQ FT- LOT 2
BUILDING HEIGHT-- 21.25 FT

SETBACKS

BUILDING FRONT-- 30 FT ALONG FOREST DRIVE
PARKING FRONT-- 20 FT ALONG FOREST DRIVE

PARKING DATA

PARCEL 1
SPACES REQUIRED-- 46 SPACES (2 H.C. SPACES)
(1 SPACE PER 200 SQ FT)
SPACES PROVIDED-- 59 SPACES
(INCLUDES 4 HC SPACES)

PARCEL 2
SPACES REQUIRED-- 30 SPACES (2 H.C. SPACES)
(1 SPACE PER 200 SQ FT)
SPACES PROVIDED-- 43 SPACES
(INCLUDES 2 HC SPACES)

PARKING STALL SIZE-- 9'x19'
DRIVE AISLE WIDTH-- 22'

NOTES

PERMITTED USES:

THE PERMITTED USES CONTAINED IN THE CODIFIED ORDINANCES OF THE CITY OF NEW ALBANY, IPUD INFILLED PLANNED UNIT DEVELOPMENT DISTRICT, SECTION 1159.02 AND THE CONDITIONAL USES CONTAINED IN SECTION 1159.04.

UNIT TYPES:

COMMERCIAL BUILDING TYPES SHALL COMPLY WITH THE DESIGN GUIDELINES OF THE DEVELOPMENT STANDARDS.

DEVELOPMENT STANDARDS:

UNLESS OTHERWISE SPECIFIED IN THE SUBMITTED DRAWINGS OR IN THIS WRITTEN TEXT THE DEVELOPMENT STANDARDS OF PART ELEVEN OF THE CODIFIED ORDINANCES OF THE CITY OF NEW ALBANY SHALL APPLY TO THIS SUBAREA.

BASIC DEVELOPMENT DEVELOPMENT STANDARDS ARE COMPILED REGARDING PROPOSED DENSITY, SITE ISSUES, TRAFFIC CIRCULATION, LANDSCAPE, AND ARCHITECTUAL STANDARDS. THESE COMPONENT STANDARDS ENSURE CONSISTENCY AND QUALITY THROUGHOUT THE PARCEL'S DEVELOPMENT.

FLOOD ZONE:

THE DEVELOPMENT AREA LIES IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 39049C0208K (DATED JUNE 17, 2008)

STORM & GRADING:

THE PROPOSED SITE IMPROVEMENTS WILL INCORPORATE THE CITY'S STORMWATER MANAGEMENT POLICY AS WELL AS THE STATE'S POST-CONSTRUCTION REQUIREMENTS FOR WATER QUALITY. THE SITE LAYOUT INCORPORATES THE USE OF VARIOUS SUBSURFACE STORM PIPING TO ROUTE THE SITE RUNOFF INTO AN EXISTING OFFSITE REGIONAL DETENTION BASIN.

EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE IMPLEMENTED AS A PART OF THE PROJECT DEVELOPMENT. INSTALLATION AND MAINTENANCE WILL BE IN ACCORDANCE WITH THE CITY STANDARDS AND IN COMPLIANCE WITH OEPA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH SITE CONSTRUCTION ACTIVITY.

SANITARY:

AN EXISTING ONSITE 8" SANITARY MAIN WILL BE USED TO SERVICE THE DEVELOPMENT.

WATER:

AN EXISTING 12" WATERLINE ALONG FOREST DRIVE WILL BE USED TO SERVICE THE DEVELOPMENT.

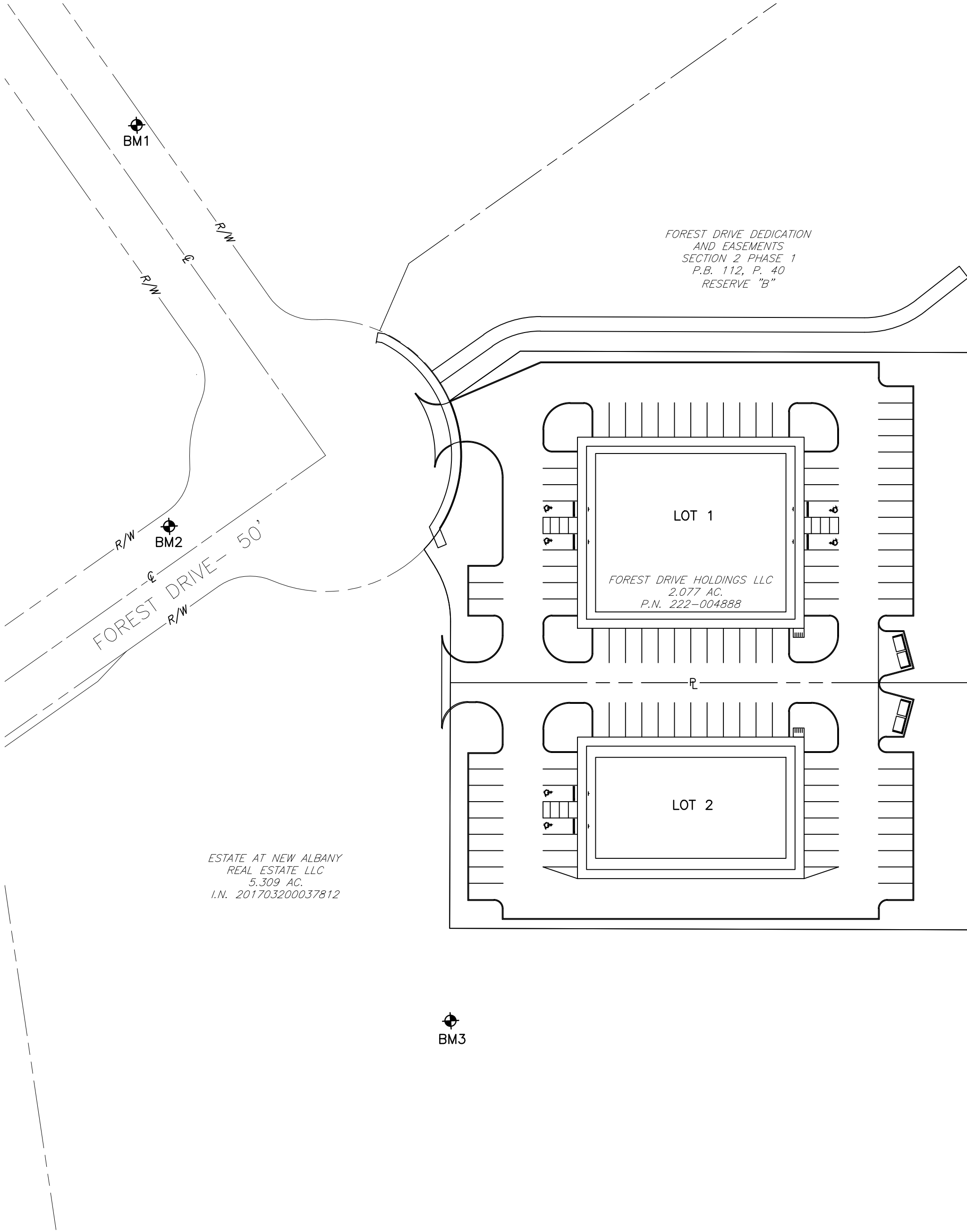
REFERENCES

- BOUNDARY SURVEY FROM EMH&T.
- TOPOGRAPHIC SURVEY COMPLETED BY CEC IN FEBRUARY 2025.

FINAL DEVELOPMENT PLAN FOREST DRIVE MOB

CITY OF NEW ALBANY,
FRANKLIN COUNTY, OHIO

2025



INDEX MAP

SCALE: 1"=50'
SCALE IN FEET
0 50 100

ENGINEER/SURVEYOR
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
250 OLD WILSON BRIDGE ROAD, SUITE 250
WORTHINGTON, OHIO 43085
PHONE: (614) 540-6633
CONTACT: BRIAN BURKHART, PE
EMAIL: BBURKHART@CECINC.COM

DEVELOPER
CANINI & ASSOCIATES, LTD.
P.O. BOX 887
NEW ALBANY, OH 43054
PHONE: 614-296-3872
CONTACT: LARRY CANINI
EMAIL: LARRY@CANINIASSOCLTD.COM

OWNER
FOREST DRIVE HOLDINGS LLC
92 NORTH HIGH STREET
DUBLIN, OH 43017



VICINITY MAP

SCALE: 1"=500'

SHEET INDEX

SHEET #	DWG #	SHEET TITLE
1	C000	COVER SHEET
2	C200	SITE PLAN
3	C500	UTILITY & GRADING PLAN

CITY OF NEW ALBANY APPROVAL

THE SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSE OF THIS PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF CEC. THE EXTENT OF CITY ENGINEER REVIEW AND APPROVAL IS BASED ONLY ON COMPLIANCE WITH CITY ORDINANCES 1181, 1183, 1187 AND OTHER APPLICABLE CITY POLICIES.

FINANCE DIRECTOR, CITY OF NEW ALBANY, OHIO

DATE

CITY MANAGER, CITY OF NEW ALBANY, OHIO

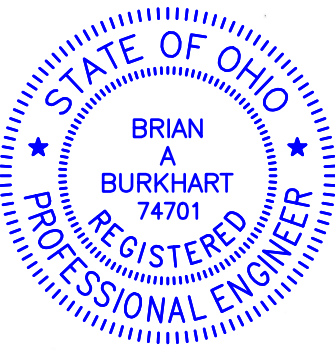
DATE

CITY ENGINEER, CITY OF NEW ALBANY, OHIO

DATE

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY ENGINEER.

Brian Burkhart, PE



04-04-2025

REGISTERED PROFESSIONAL ENGINEER

DATE



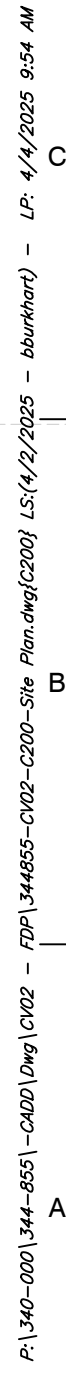
Civil & Environmental
Consultants, Inc.

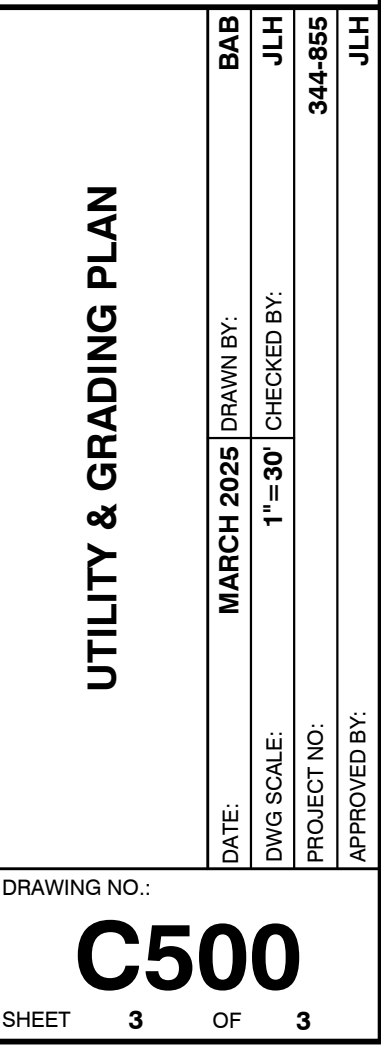
250 W. Old Wilson Bridge Road
Suite 250
Worthington, OH 43085
Ph: 614.540.6633
www.cecinc.com

CANINI & ASSOCIATES
FOREST DRIVE MOB
NEW ALBANY, OHIO

COVER SHEET

DATE:	MARCH 2025	DRAWN BY:	BAB
DWG SCALE:	AS NOTED	CHECKED BY:	JLH
PROJECT NO.:	344-885	APPROVED BY:	JLH
DRAWING NO.:	C000	SHEET	1 OF 3







Plant Legend				
Symbol	Qty	Common	Botanical	Location
	5	Amur Maackia	Maackia Amurensis	Parking Lot Tree
	6	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	Parking Lot Tree
	6	Japanese Zelkova	Zelkova serrata 'Green Vase'	Parking Lot/Buffer Tree
	5	New Horizon Elm	Ulmus New Horizon	Buffer Tree
	10	Red Maple	Acer rubrum 'Red Sunset'	Street Tree
	47	Sea Green Juniper	Juniperus Chin. 'Sea Green'	Parking Screen
	48	Low Scape Chokeberry	Aronia Low Scape Mound	Landscape
	40	Bobo Panicle Hydrangea	Hydrangea paniculata 'Bobo'	Landscape
	96	Strongbox Inkberry	Ilex glabra 'Strongbox'	Landscape
	90	Variegated Liriope	Liriope muscari 'Variegata'	Landscape
	40	Blue Oat Grass	Helictotrichon sempervirens	Landscape
	40	Daylily	Hemerocallis sp.	Landscape
	18	Feather Reed Grass	Calamagrostis acutiflora	Landscape
	16	Techny Arborvitae	Thuja occidentalis 'Techny'	Dumpster Screen
	7	Zebra Grass	Miscanthus sinensis 'Strictus'	Dumpster Screen

LANDSCAPE ZONING CODE REQUIREMENTS

1171.05(c)(2)- LANDSCAPING SCREENING.
Between twenty thousand (20,000) and fifty thousand (50,000) square feet: A minimum of one tree for every five thousand (5,000) square feet of ground coverage and a total tree planting equal to ten (10) inches plus one-half inch in tree trunk size for every two thousand (2,000) square feet over twenty thousand (20,000) feet in ground coverage.

Parcel 1: Parking: 24,849 sq ft, Building: 9,175 sq ft: 34,024 sq ft coverage/5000 = 7 trees, 14" cal required
7 trees @ 2.5" cal provided, 17.5 total caliper inches provided (2 Maackia, 5 Black Gum)
Parcel 2: Parking: 19,989 sq ft, Building: 5,845 sq ft: 25,834 sq ft coverage/5000 = 6 trees, 12" cal required
6 trees @ 2.5" cal provided, 15 total caliper inches provided (3 Maackia, 3 Black Gum)

1171.06(a)(2)(3) - PARKING LOT LANDSCAPING.
For each one hundred (100) square feet, or fraction thereof, of parking area, a minimum total of five (5) square feet of landscaped area shall be provided. Zoning text @ 8%

Parcel 1: Parking: 24,849/100 = 248.49 x 5 = 1,242 sq ft required or 24,849 x .08 = 1,987 required
3,904 sq ft landscape provided
Parcel 2: Parking: 19,989/100 = 200 x 5 = 1,000 sq ft required or 19,989 x .08 = 1,599 required
2,790 sq ft landscape provided

Parking areas should contain a minimum of one deciduous canopy tree for every ten (10) parking spaces.

Parcel 1: 59 spaces/10 = 6 trees required
6 provided (4 Ginkgo, 2 Zelkova)
Parcel 2: 43 spaces/10 = 5 trees required
5 provided (2 Ginkgo, 3 Zelkova)

Zoning 8b.04(4)(a)- PARKING LOT SCREENING

Parking lot screening from rights of way

Forest Drive screening with Sea Green Juniper hedge spaced 4' o/c. Growth to 4-6'

Zoning 8b.04(2) - STREET TREE REQUIREMENT

Street trees along Forest Drive: one tree per 30' minimum 30" o/c. 300' span, minimum 2.5" cal

2 trees @ 2.5" cal provided (2 Red Sunset Maple)

Zoning 8b.04(5) - BUFFER LANDSCAPE

Eight deciduous or ornamental trees per 100 lineal feet in setback areas along Forest Drive

Forest Drive 75 total lineal feet/100 = 75 x 8 trees = 6 buffer trees required
6 trees provided (5 Elm, 1 Zelkova)

Zoning 8b.04(6)(7)(a) - GENERAL REQUIREMENTS

Site Landscaping: Tree plantings shall be required within site parking and service areas. Trees shall be a minimum of 2 1/2 inches in caliper at installation.
Minimum tree size shall be no less than 2 1/2 inch caliper for street and/or shade trees and 1 1/2 inch caliper for ornamental trees.

All trees planted @ 2.5" caliper for site parking, service, street and buffer shade trees.

SITE DATA

PARCEL NUMBER- 222-004888
TOTAL ACREAGE- 2.08 AC
1.19 AC- PARCEL 1
0.89 AC- PARCEL 2
DISTURBED ACREAGE- 2.08 AC
IMPERVIOUS AREA ±1.51 ACRES (73%)
PERVIOUS AREA ±0.57 ACRES (27%)
ZONING- IPUD
BUILDING USE- OFFICE
BUILDING SQUARE FOOTAGE- 9,170 SQ FT- PARCEL 1
5,845 SQ FT- PARCEL 2
BUILDING HEIGHT- XX FT

SETBACKS

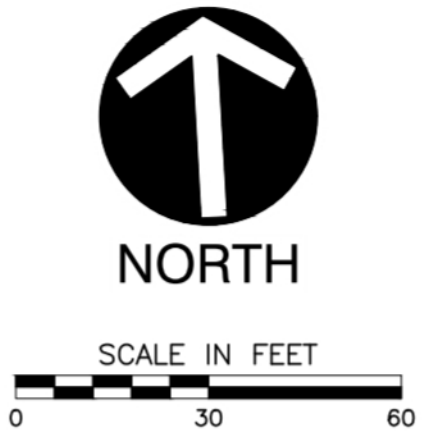
BUILDING FRONT- 30 FT ALONG FOREST DRIVE
PARKING FRONT- 20 FT ALONG FOREST DRIVE

PARKING DATA

PARCEL 1
SPACES REQUIRED- 46 SPACES (2 H.C. SPACES)
(1 SPACE PER 200 SQ FT)
SPACES PROVIDED- 59 SPACES
(INCLUDES 4 HC SPACES)
PARCEL 2
SPACES REQUIRED- 30 SPACES (2 H.C. SPACES)
(1 SPACE PER 200 SQ FT)
SPACES PROVIDED- 43 SPACES
(INCLUDES 2 HC SPACES)
PARKING STALL SIZE- 9'x19'
DRIVE AISLE WIDTH- 22'

KEY NOTES: SEE SHEET C800 FOR DETAILS

- 1 LIGHT DUTY ASPHALT PAVEMENT
- 2 HEAVY DUTY ASPHALT PAVEMENT
- 3 CONCRETE WALK PAVEMENT
- 4 HEAVY DUTY CONCRETE PAVEMENT
- 5 CURB
- 6 PARKING BLOCK
- 7 ACCESSIBLE PARKING SIGN
- 8 ADA PARKING STRIPING



SUBMITTAL RECORD

NO	DATE	DESCRIPTION
1	4-1-25	

KLAMFOTHZ
Landscape Management
6630 Hill Road NW • Canal Winchester, Ohio 43110
Phone: 614-833-1953 Fax: 614-833-9840

CANINI & ASSOCIATES
FOREST DRIVE MOB
NEW ALBANY, OHIO

LANDSCAPE PLAN

DRAWING NO.:

SHEET

For landscape planning only, any architectural or engineered elements are for rendering purposes only and specific drawings should be referred to for those details.



For landscape planning only, any architectural or engineered elements are for rendering purposes only and specific drawings should be referred to for those details.



For landscape planning only, any architectural or engineered elements are for rendering purposes only and specific drawings should be referred to for those details.



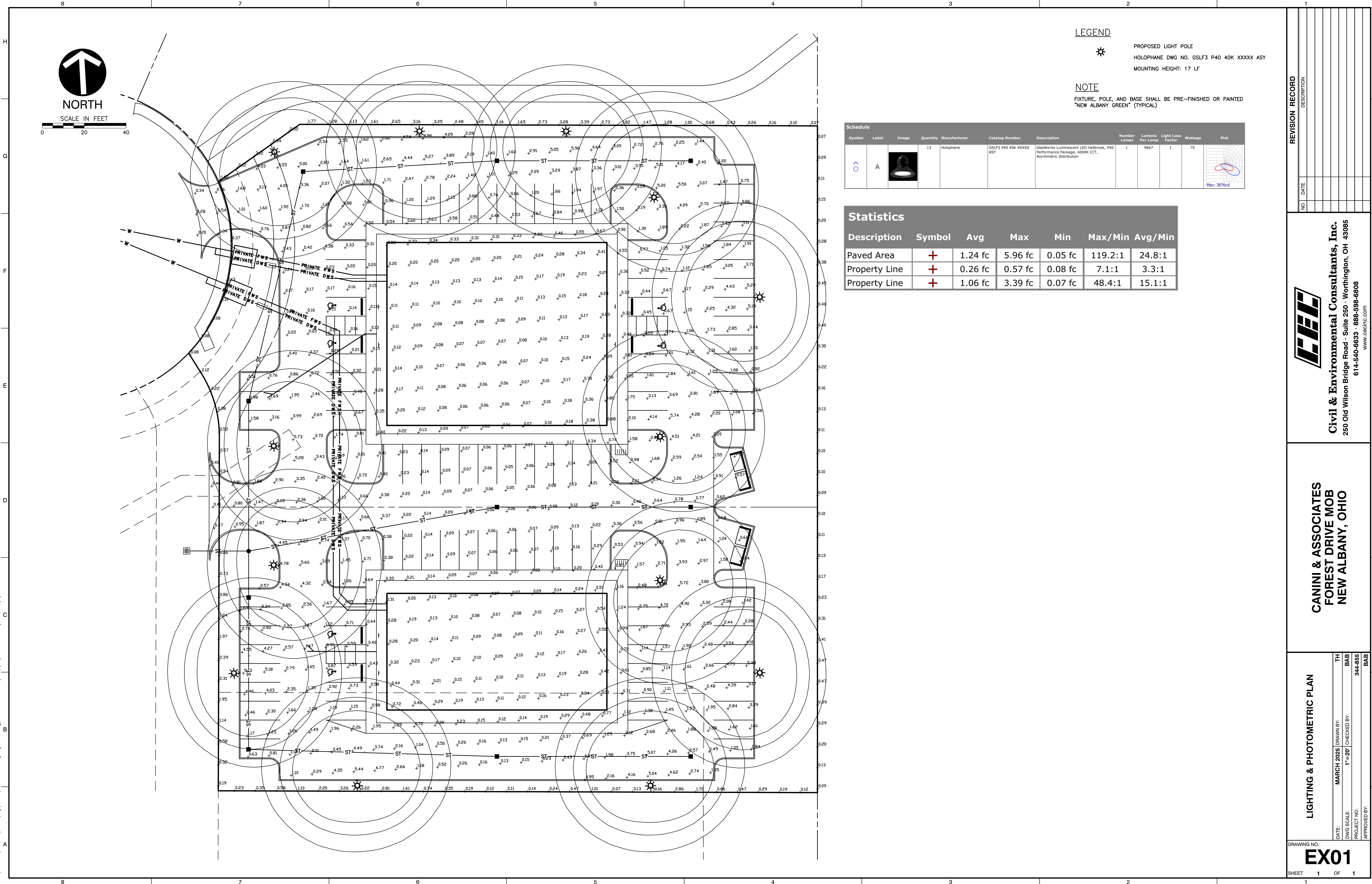
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P:\340-200\344-855-CADD\Drawings\PHOTOMETRIC EXHIBIT\LS\3\31\2025 - thesom) - LP - 4/2/2025 1:58 PM



LEGEND

PROPOSED LIGHT POLE
HOLOPHANE DWG NO. GSLF3 P40 40K XXXXX ASY
MOUNTING HEIGHT: 17 LF

NOTE

FIXTURE, POLE, AND BASE SHALL BE PRE-FINISHED OR PAINTED
"NEW ALBANY GREEN" (TYPICAL)

Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	A		13	HoloPhane	GSLF3 P40 40K XXXXX ASY	GlastWerks Luminescent LED Hallbrook, P40 Performance Package, 4000K CCT, Asymmetric distribution	1	9667	1	75	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Paved Area	+	1.24 fc	5.96 fc	0.05 fc	119.2:1	24.8:1
Property Line	+	0.26 fc	0.57 fc	0.08 fc	7.1:1	3.3:1
Property Line	+	1.06 fc	3.39 fc	0.07 fc	48.4:1	15.1:1

Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085
614-540-6633 · 888-598-6808
www.cecinc.com

CANINI & ASSOCIATES
FOREST DRIVE MOB
NEW ALBANY, OHIO

LIGHTING & PHOTOMETRIC PLAN

DATE:	MARCH 2025	DRAWN BY:	TH
DWG SCALE:	1"=20'	CHECKED BY:	BAB
PROJECT NO:	344-555		
APPROVED BY:	BAB		

DRAWING NO.:
EX01

BUILDING 1 - ELEVATIONS



1 BUILDING 1 - WEST EXTERIOR
ELEVATION - FRONT
1/8" = 1'-0"



2 BUILDING 1 - EAST EXTERIOR
ELEVATION - BACK
1/8" = 1'-0"



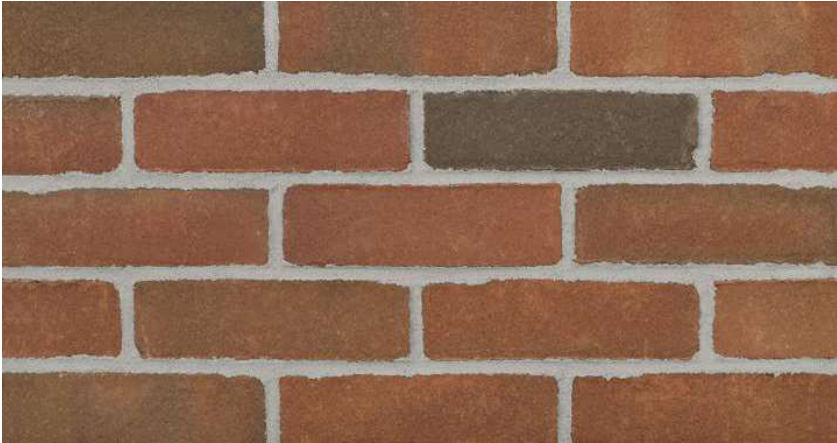
3 BUILDING 1 - SOUTH EXTERIOR
ELEVATION - SIDE
1/8" = 1'-0"



4 BUILDING 1 - NORTH EXTERIOR
ELEVATION - SIDE
1/8" = 1'-0"

EXTERIOR MATERIAL INDEX

MASONRY (M-1)



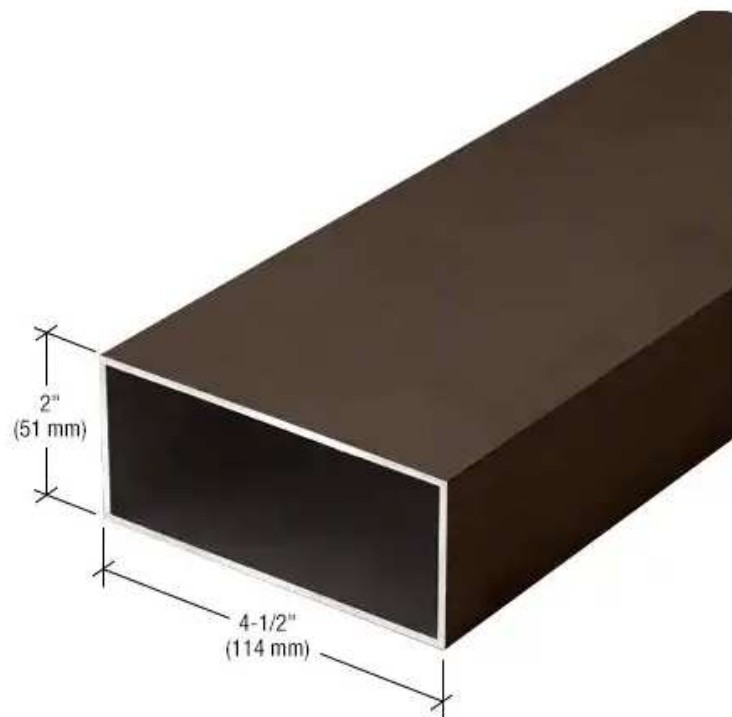
MANUFACTURER: GLEN GERY
SERIES: HOMETOWN SERIES FACE BRICK
COLOR: 'ALBANY'
MORTAR: ARGOS 'MAGNOLIA BUFF'

CAST STONE (ST-1)



MANUFACTURER: READING ROCK
COLOR: 'CREAM BUFF'
FINISH: SMOOTH

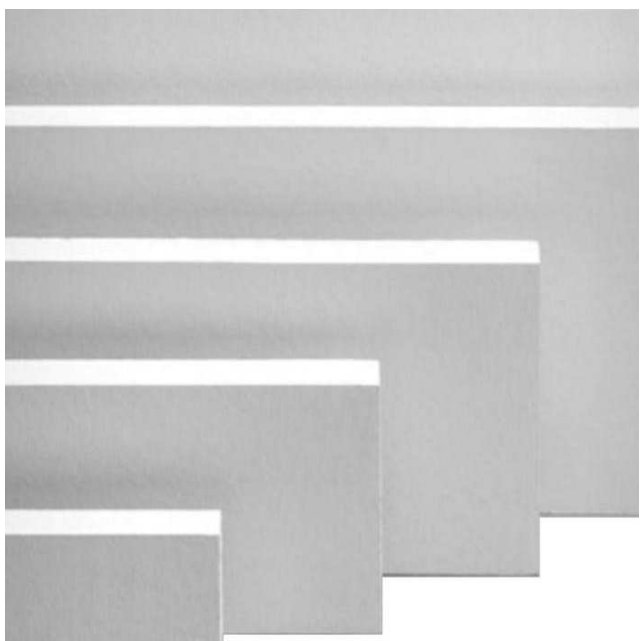
ALUMINUM STOREFRONT (SF-1) & FIBER CEMENT / TRIM / MOLDINGS (FC-1)



MANUFACTURER: KAWNEER TRIFAB VG 451-T SERIES
(OR ACCEPTABLE ALTERNATE)
2" x 4 1/2" FOR 1" INSULATED GLAZING



COLOR: BRONZE



MANUFACTURER: JAMES HARDIE
PANEL AND TRIM (SMOOTH)

METAL CANOPY (MC-1)



MANUFACTURER: COLUMBUS AWNING
10" TALL PREFINISHED METAL CANOPY

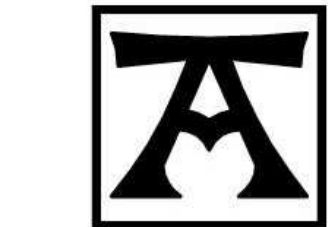


COLOR: BRONZE

LIGHTING (L-1)



MANUFACTURER: NORWELL LIGHTING
CAPTURE 1 LIGHT 21" MATTE BLACK OUTDOOR
WALL LIGHT (OR APPROVED ALTERNATE)



Alpha Architectural
Services, LLC.
Donald R. Weaver, Arch.
620 Reindeer Lane
Gahanna, Ohio 43230

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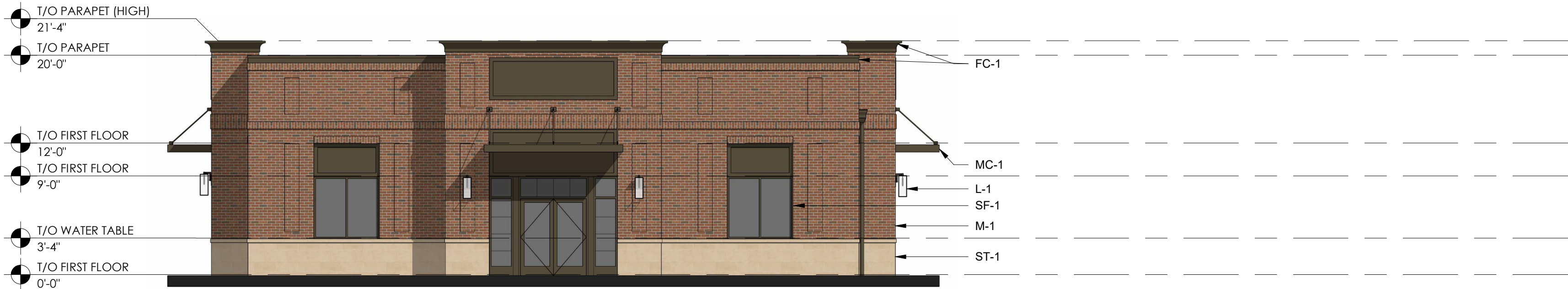
FORREST DR.,
NEW ALBANY, OHIO

24030

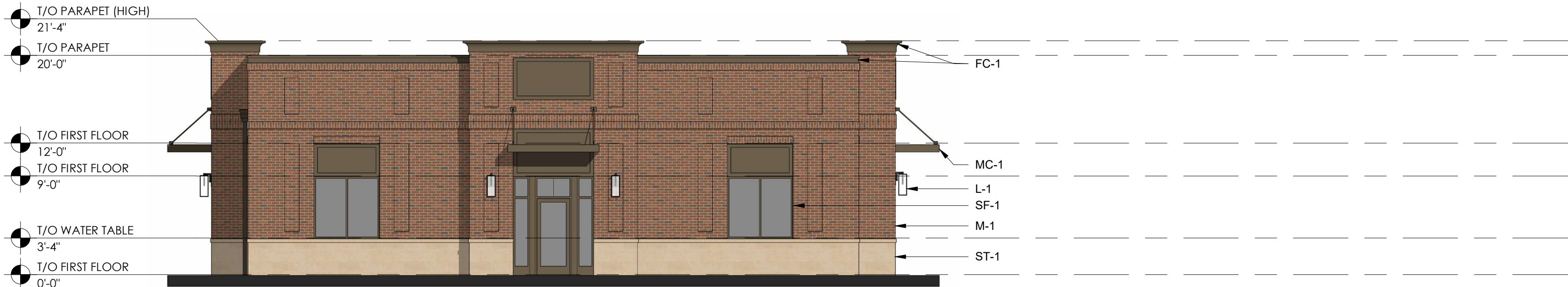
1		
2		

A1.0

BUILDING 2 - ELEVATIONS



1 BUILDING 2 - WEST EXTERIOR
ELEVATION - FRONT
1/8" = 1'-0"



2 BUILDING 2 - EAST EXTERIOR
ELEVATION - BACK
1/8" = 1'-0"



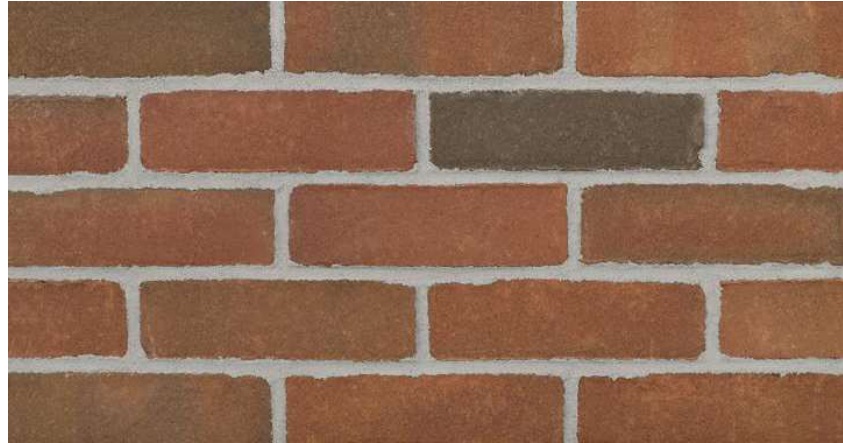
3 BUILDING 2 - SOUTH EXTERIOR
ELEVATION - SIDE
1/8" = 1'-0"



4 BUILDING 2 - NORTH EXTERIOR
ELEVATION - SIDE
1/8" = 1'-0"

EXTERIOR MATERIAL INDEX

MASONRY (M-1)



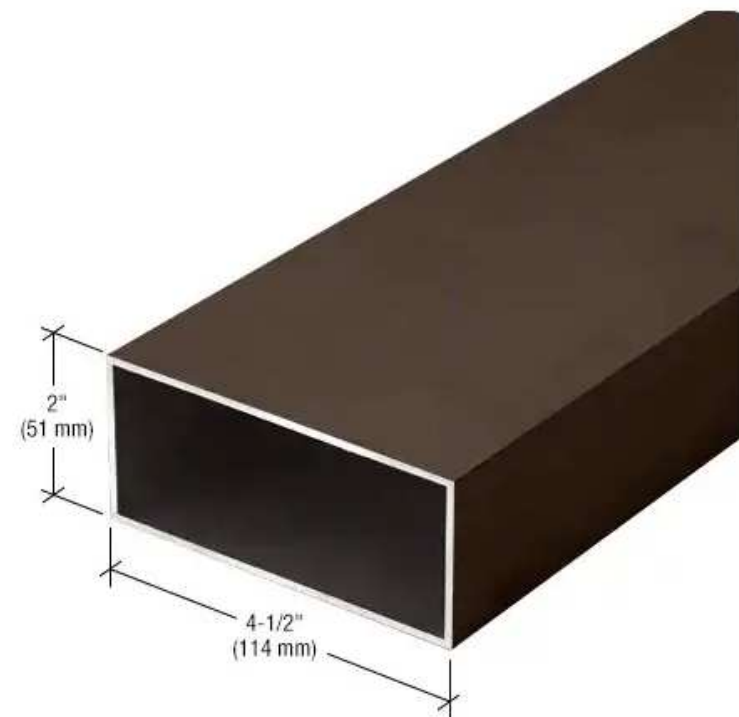
MANUFACTURER: GLEN GERY
SERIES: HOMETOWN SERIES FACE BRICK
COLOR: 'ALBANY'
MORTAR: ARGOS 'MAGNOLIA BUFF'

CAST STONE (ST-1)

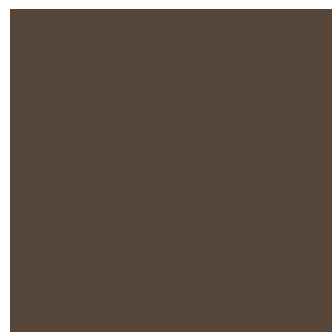


MANUFACTURER: READING ROCK
COLOR: 'CREAM BUFF'
FINISH: SMOOTH

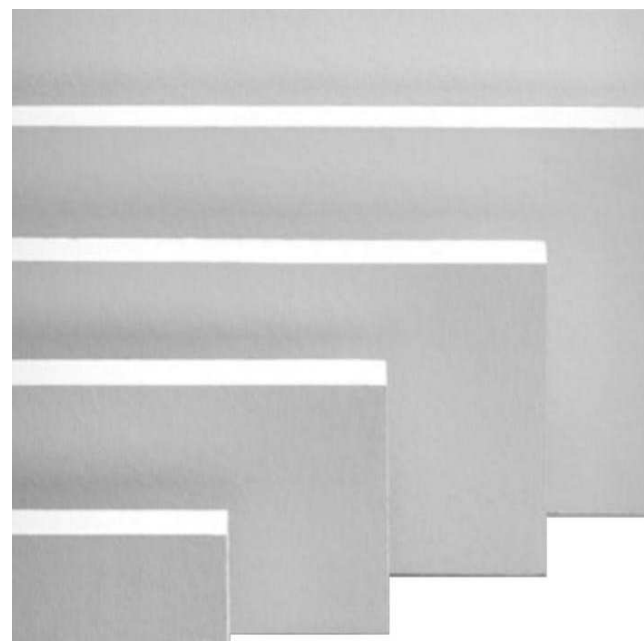
ALUMINUM STOREFRONT (SF-1) & FIBER CEMENT / TRIM / MOLDINGS (FC-1)



MANUFACTURER: KAWNEER TRIFAB VG 451-T SERIES
(OR ACCEPTABLE ALTERNATE)
2" x 4 1/2" FOR 1" INSULATED GLAZING



COLOR: BRONZE

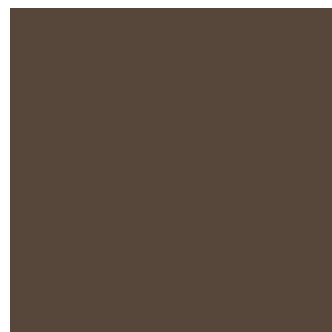


MANUFACTURER: JAMES HARDIE
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METAL CANOPY (MC-1)



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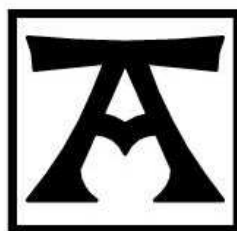


COLOR: BRONZE

LIGHTING (L-1)



MANUFACTURER: NORWELL LIGHTING
CAPTURE 1 LIGHT 21" MATTE BLACK OUTDOOR
WALL LIGHT (OR APPROVED ALTERNATE)



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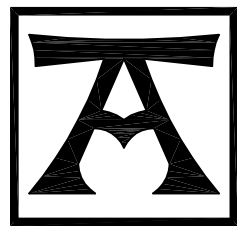
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A2.0



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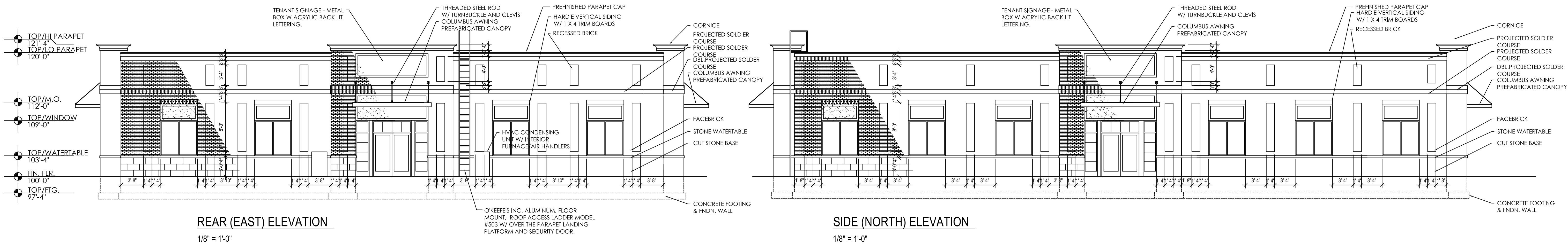
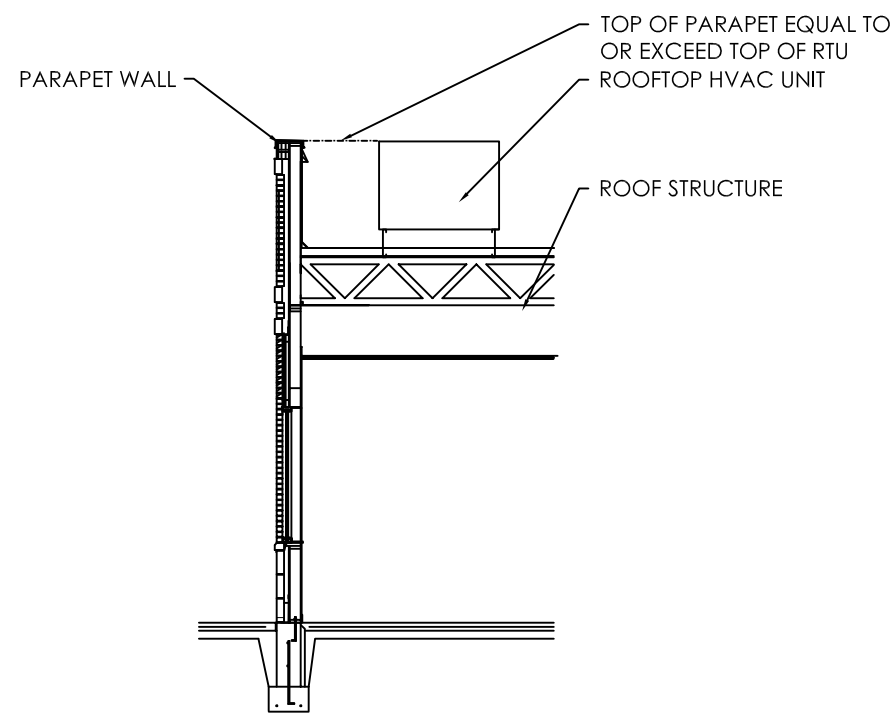
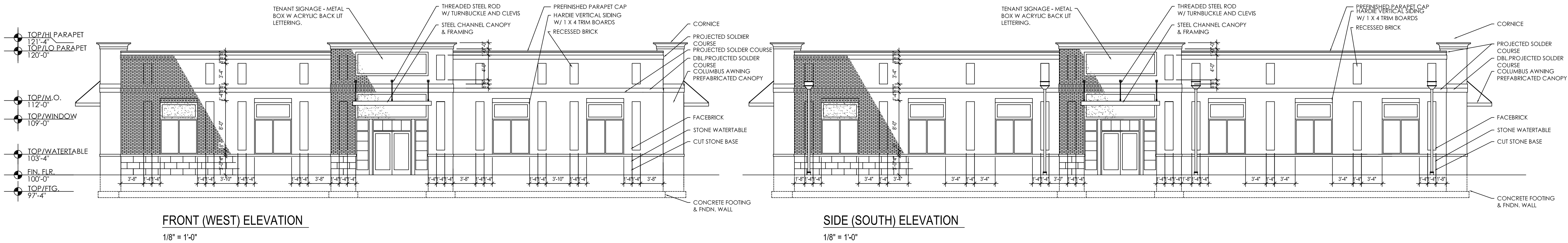
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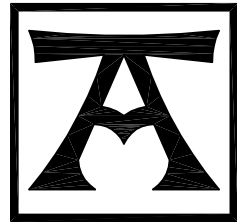
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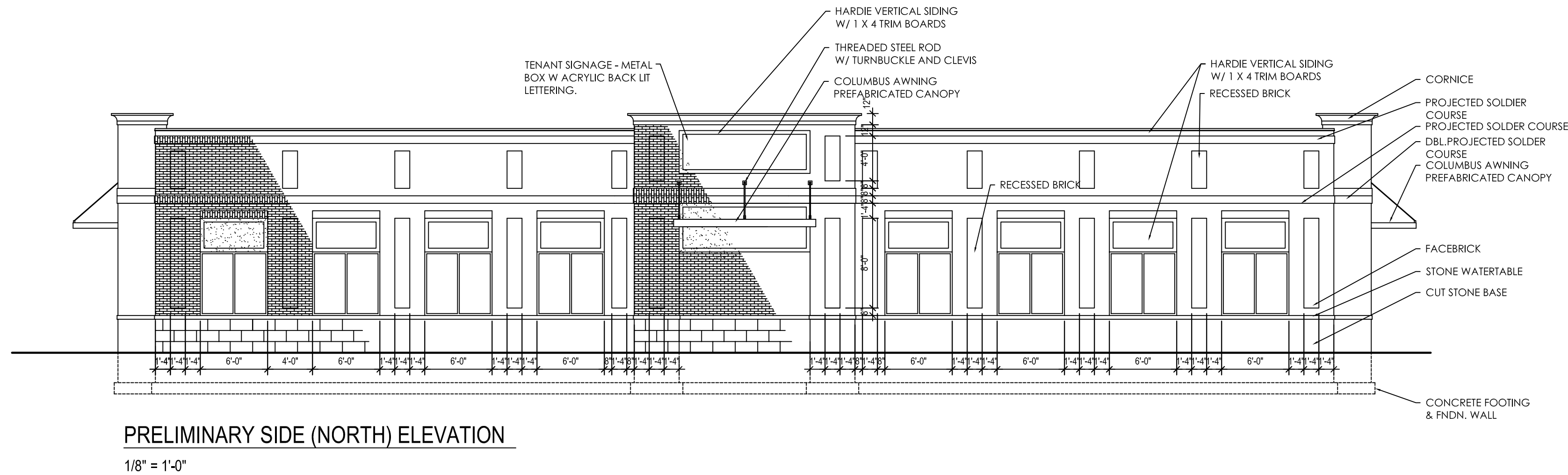
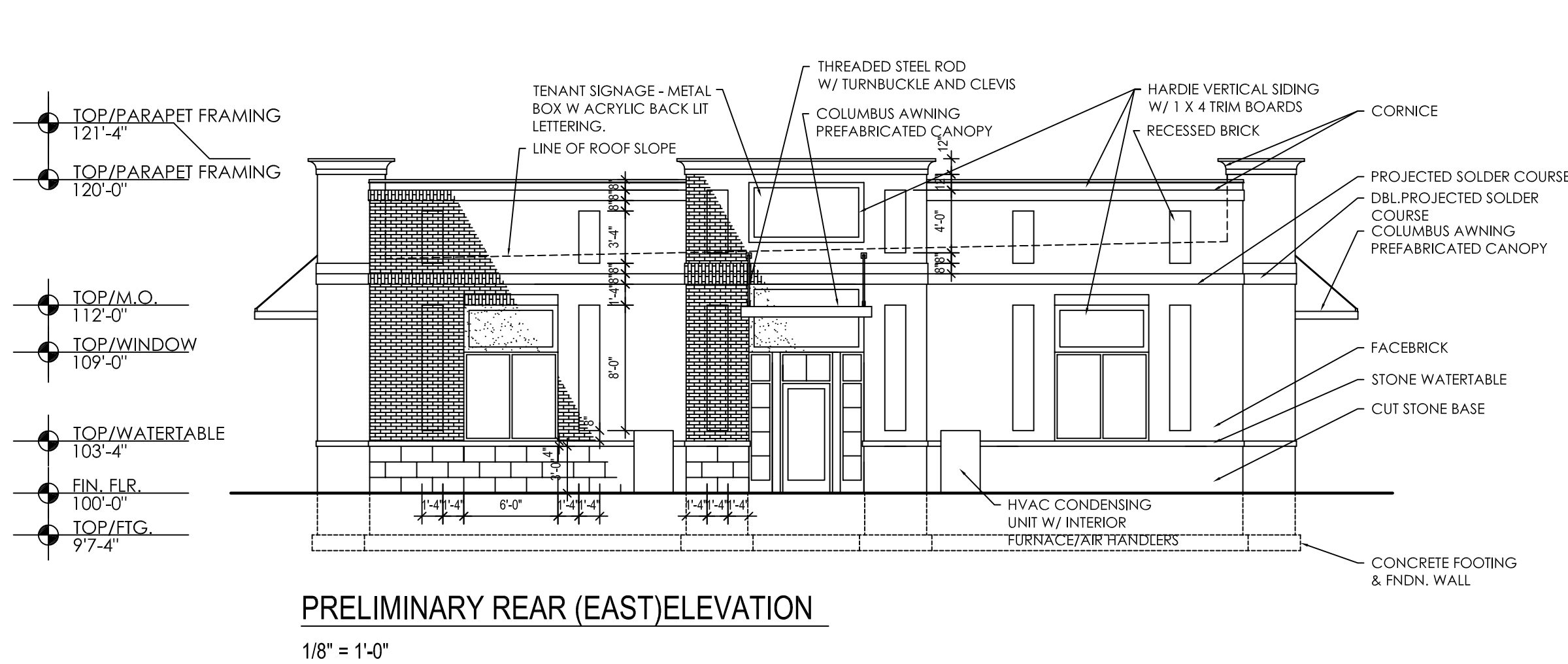
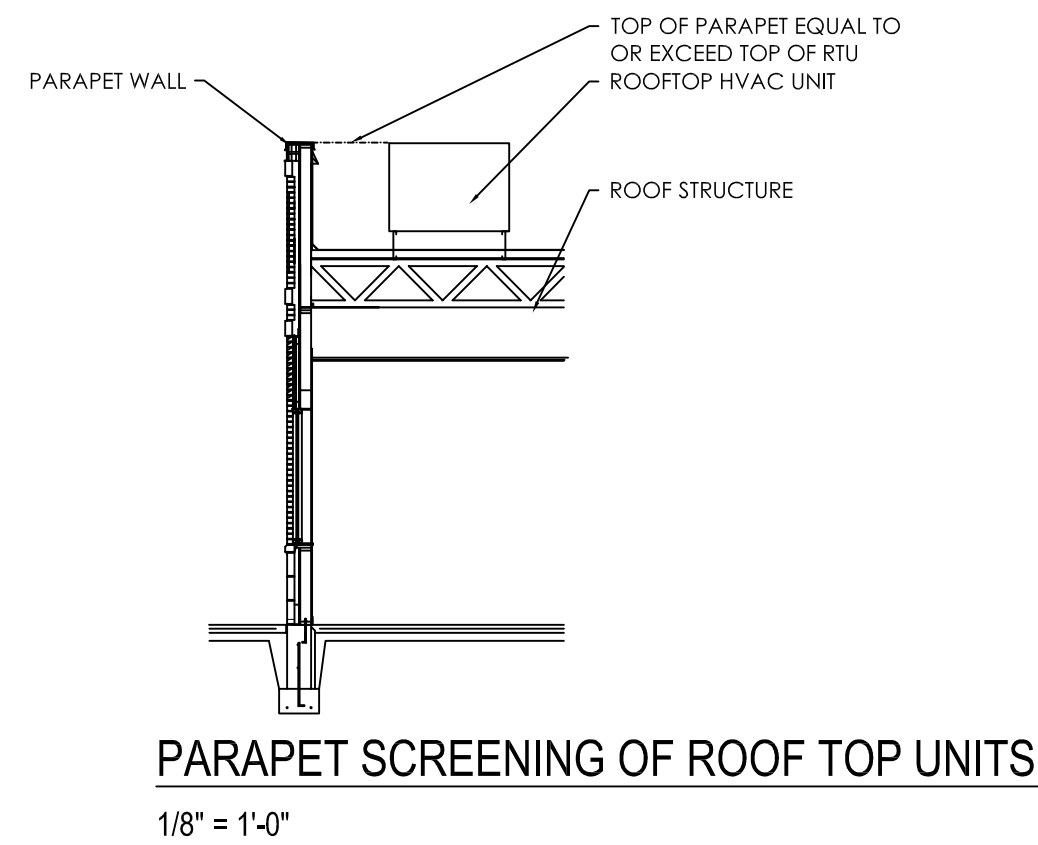
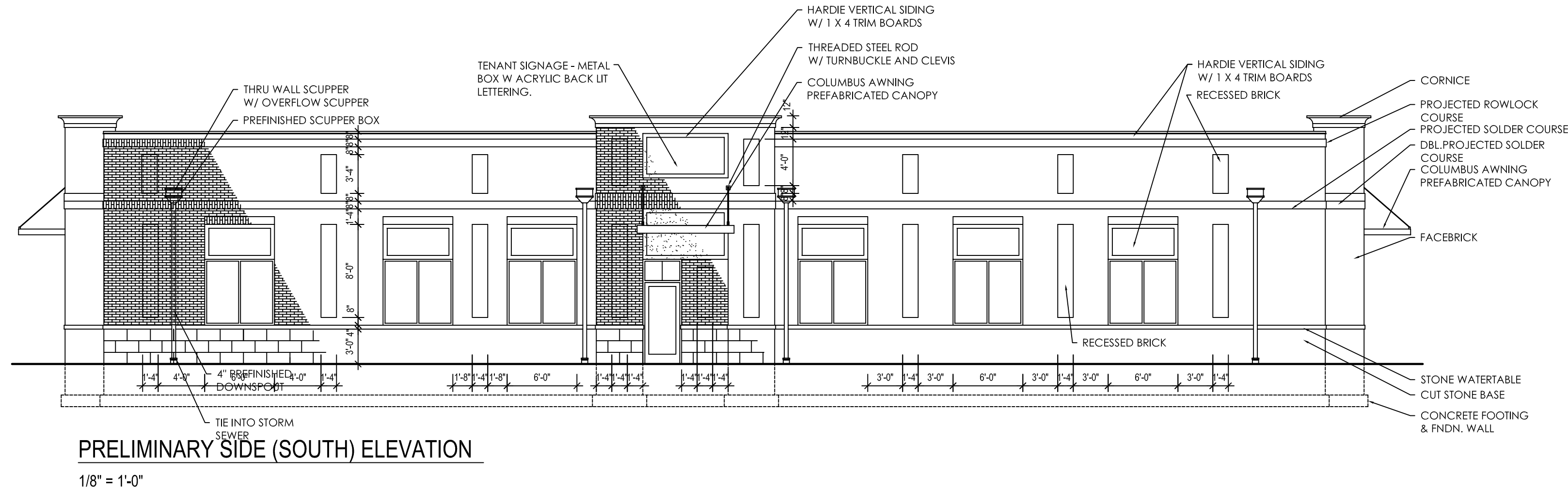
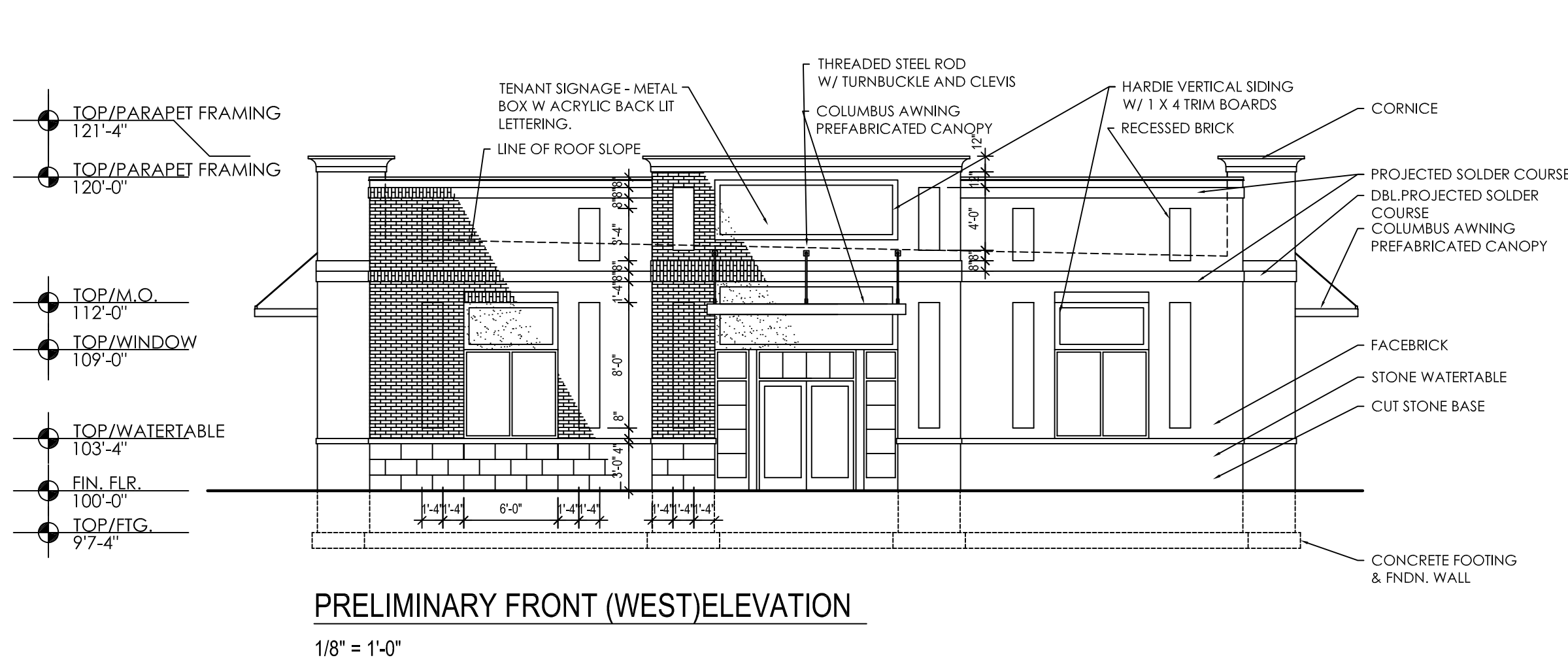
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FOR TOWNINGS ORAL SURGERY

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NEW ALBANY, OHIO

24030-1

1		
2		

A2.0





**Board of Zoning Appeals Staff Report
April 21, 2025, Meeting**

**MEDICAL OFFICE BUILDING
LOT FRONTAGE VARIANCE**

LOCATION: Located off the roundabout on Forest Drive, south of Johnstown Road (US-62) and north of Smith's Mill Road (PID: 222-004888)
APPLICANT: Canini & Associates
REQUEST: Variance to codified ordinance 1153.04(b) to allow the creation of a lot that does not front on a public or private street.
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8b
STRATEGIC PLAN: Employment Center
APPLICATION: VAR-24-2025

Review based on: Application materials received on April 04, 2025.

Staff report prepared by Kylie Blackburn, Planner.

I. REQUEST AND BACKGROUND

The applicant requests a variance to allow for the creation of a lot that does not abut on a public or private street. The city codified ordinance 1153.04(b) states that all lots shall abut a public or private street and have adequate lot width to provide for yards and distances.

The applicant states they are requesting this variance in order to split a portion of the property to create two lots for two separate medical office buildings.

II. SITE DESCRIPTION & USE

The property is 2.08 acres in size and is currently undeveloped. The property is located on the east side of the roundabout off Forest Drive south of Johnstown Road (US-62) and north of Smith's Mill Road, within the Canini Trust Corp. The development includes two medical office buildings. The property is surrounded by similar commercial and office spaces.

The applicant has applied for a Final Development Plan to be heard by the Planning Commission at tonight's meeting under case FDP-20-2025 for the development of two medical office buildings.

III. ASSESSMENT

The application complies with application submittal requirements in C.O. 1113.03, and is considered complete. In accordance with C.O. 1113.05(b), all property owners within 200 feet of the subject property in question have been notified of the request via mail.

Criteria

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is

PC 25 0421 Medical Office Building Lot Frontage VAR-24-2025 1 of 3

whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (Section 1113.06):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

IV. EVALUATION

A variance to allow the creation of a lot that does not abut on a public or private street.

The following should be considered in the board's decision:

1. The city codified ordinance 1153.04(b) states that all lots shall abut a public or private street and have adequate lot width to provide for yards and distances. The applicant requests a variance in order to allow the creation of a new lot that does not front (i.e. abut) on a public or private street.
2. The property owner requests the variance to parcel off a portion of the property. The first new proposed parcel would be the northern portion of the property at 1.19 +/- acres. The second new proposed parcel would be the southern portion of the property at 0.89 +/- acres.
3. The proposed variance meets the "spirit and intent" of the zoning requirement. The property owner states they commit to a cross-access easement running in favor of the "southern" parcel to provide it with direct access to and from Forest Drive. The city staff recommends a condition of approval requiring that the cross-access easement be recorded by the applicant with the lot being split (condition 1).
4. The variance does not appear to be substantial if the applicant is providing a cross-access easement between the north and south property. This will allow the properties to share the new driveway onto the public street, Forest Drive. The FDP does show a curb cut being added to the private driveway for the southern property, which has been conditioned in the FDP.
5. It does not appear the variance could be solved in another manner. The current parcel is on a roundabout, giving it around 30 feet of building frontage or 20 feet of parking frontage along Forest Drive. Staff recognizes the limited lot frontage as the parcel exists today,

having two properties with street frontage would be unfeasible on this site. The western side of this parcel does run along a private driveway for PID: 222-004887, which the applicant has stated they will have an agreement made to utilize this driveway once the lot split is submitted.

6. The granting of the variance would not adversely affect the delivery of government services.
7. That granting the variance will not adversely affect the health and safety of people residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
8. This type of variance has been approved before in front of the Board of Zoning Appeals in June of 2024 for a property on Smith's Mill Road, VAR-44-2024.

IV. SUMMARY

According to the property owners, the purpose of the lot split is to use the land to expand economic growth and opportunity. Although the city zoning code requires all properties to have access to public or private streets, the cross-access easement meets the spirit and intent of the code since it provides all of the properties access to a public street. If the new parcels use the proposed curb cut, this will ensure the campus design of the overall site is still achieved and therefore does not appear to be substantial.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

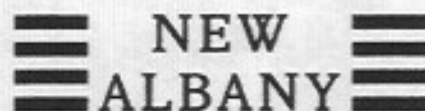
Move to approve the variance application **VAR-24-2025**, subject to the following

1. Require that the cross-access easement be recorded by the applicant with the lots.
2. Require that a cross-access easement and written consent from PID: 222-004887 be recorded by the applicant with the lot split for the use of the private driveway
3. That FDP-20-2025 is approved

Approximate Site Location:



Source: NearMap



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																											
Project Information	<p>Site Address <u>Forrest Drive</u></p> <p>Parcel Numbers <u>202-004888</u></p> <p>Acres <u>2.08</u> # of lots created <u>2</u></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Choose Application Type</th> <th style="width: 50%;">Description of Request:</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td> <td><input type="checkbox"/> Extension Request</td> </tr> <tr> <td><input type="checkbox"/> Certificate of Appropriateness</td> <td><input checked="" type="checkbox"/> Variance</td> </tr> <tr> <td><input type="checkbox"/> Conditional Use</td> <td><input type="checkbox"/> Vacation</td> </tr> <tr> <td><input type="checkbox"/> Development Plan</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Plat</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Lot Changes</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Zoning Amendment (Rezoning)</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Zoning Text Modification</td> <td></td> </tr> </tbody> </table>				Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	<input type="checkbox"/> Extension Request	<input type="checkbox"/> Certificate of Appropriateness	<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Vacation	<input type="checkbox"/> Development Plan		<input type="checkbox"/> Plat		<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification					
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Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254



**Planning Commission Staff Report
April 21, 2025 Meeting**

**GANTON PARKWAY WEST PHASE 3B
FINAL PLAT**

LOCATION: Various properties generally located west of the existing portion of Ganton Parkway West and south of Worthington Road
APPLICANT: City of New Albany
REQUEST: Final Plat
ZONING: Limited General Employment (L-GE)
STRATEGIC PLAN: Employment Center
APPLICATION: FPL-23-2025

Review based on: Application materials received April 7, 2025

Staff report completed by Annalise Bennett, Planner

I. REQUEST AND BACKGROUND

The application is for a final plat to dedicate right-of-way for Part B of the third phase of Ganton Parkway West. Ganton Parkway is recommended in the Engage New Albany strategic plan to facilitate additional connections within the New Albany International Business Park. This extension of Ganton Parkway West will provide access to existing and new development sites in the future and will make improvements to a small portion of Babbitt Road.

II. SITE DESCRIPTION & USE

The proposed right-of-way dedication generally extends further westward from Ganton Parkway West Phase 3A and to a small portion of Babbitt Road to the north and south, where the existing road will be improved. The property is zoned L-GE and allows the same uses as the Personal Care and Beauty Park such as office, distribution, and warehousing uses.

III. PLAN REVIEW

The Planning Commission's review authority of the final plat is found under C.O. Section 1187. Upon review of the final plat, the Commission is to make a recommendation to the City Council. The staff's review is based on city plans and studies, zoning text, and zoning regulations.

1. The Planning Commission and City Council approved a final plat for the Ganton Parkway West Phase 3A in August 2024. The right-of-way is being phased in order to allow for flexibility regarding development opportunities. Additional phases will be platted as new development occurs in the area.
2. This plat dedicates right-of-way to the city of New Albany for an extension of Ganton Parkway West. The dedication extension consists of a new public street totaling approximately 3.889 +/- acres and the improvement of approximately 1.467 +/- acres of Babbitt Road, connecting to Worthington Road/E Dublin Granville Road to the north for a total of approximately 5.356 +/- acres. No reserves are being platted, or lots are being created, within this new right-of-way extension.
3. This proposed street dedication location is also identified as a future connection in the Engage New Albany strategic plan. Similar to the development of other roads within the New Albany Business Park, this road is envisioned to ultimately connect back to Johnstown Road in the Village Center, leveraging the freeway frontage in between and providing roadway connections for future development parcels.

4. The plat dedicates 100' of right-of-way for Ganton Parkway West and 80' for Babbitt Road. The plat area is located in multiple L-GE zoning districts. The zoning texts contain provisions for the general roadway alignment shown on the plat. The city is supportive of the proposed right-of-way widths and the zoning requirements are being met.
5. The convergence of Ganton Parkway West and Babbitt Road in this general area is identified as both a minor arterial road typology and a minor collector road typology in the Engage New Albany strategic plan. The plan indicates these roads should be designed at a larger scale in order to best accommodate traffic traveling into the business park. The proposed rights-of-way for Ganton Parkway West and Babbitt Road are consistent with the recommendations in the Engage New Albany Strategic Plan (67' to 115').
6. Proposed streetscape and utility easements are shown on the plat to ensure desired street improvements can be accommodated.
7. The Ganton Parkway South zoning text requirement for all property owners with frontage along Babbitt Road to be notified via mail has been met as part of this application.

IV. ENGINEER'S COMMENTS

The city Engineer has reviewed the referenced plan in accordance with the engineering-related requirements of Code Section 1159.07(b)(3) and has no comments.

V. SUMMARY

The proposed road plat is consistent with the goals and objectives found in the Engage New Albany strategic plan for this area. The road improvements in this area will serve as critical connections within the New Albany Business Park and provide access for existing and new development sites in the future.

VI. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to recommend approval to City Council of application FPL-23-2025.

Approximate Street Location Shown in Red:



Source: Nearmap



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org	
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.	
Project Information	Site Address <u>Generally located at the southeast corner of the Babbitt and Dublin-Granville Road intersection</u>	
	Parcel Numbers <u>222-00486, 222-004866, 222-002926, 222-004864, 222-004863, 220-001339, 220-000726, 222-002924, 222-005428</u>	
	Acres <u>4.9</u> # of lots created <u>zero</u>	
Project Information	Choose Application Type	Description of Request:
	<input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input type="checkbox"/> Conditional Use <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification	Street plat for the extension of Ganton Parkway Phase 3B west to Babbitt Road.
Contacts	Applicant Information	Property Owner Information
	Name: <u>City of New Albany</u> Address: <u>99 West Main Street</u> City, State, Zip: <u>New Albany, OH 43054</u> Phone Number: <u>614-855-3913</u> Email: <u>planning@newalbanyohio.org</u>	Name: <u>Various</u> Address: City, State, Zip: Phone Number: Email:
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.	
	Signature of Owner: _____ Date: _____ Signature of Applicant: <u>Jennifer Chapman</u> Date: <u>4-11-25</u>	

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

GANTON PARKWAY WEST DEDICATION PHASE 3B

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
UNITED STATES MILITARY DISTRICT SURVEY
LOT #6 & LOT #11, QTR. TWP. 4W, R16W, T2N

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF NEW ALBANY, BEING IN THE UNITED STATES MILITARY DISTRICT SURVEY, LOT #6 AND LOT #11, QUARTER TOWNSHIP 4 WEST, RANGE 16 WEST, TOWNSHIP 2 NORTH, CONTAINING 3.889 ACRES, MORE OR LESS, BEING A PART OF A ORIGINAL 177.497 ACRE TRACT AS CONVEYED TO MBJ HOLDINGS LLC., A DELAWARE LIMITED LIABILITY COMPANY IN INSTRUMENT 201808070105494, ALSO BEING A PART OF A ORIGINAL 6.000 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INST. _____, ALSO BEING PART OF A ORIGINAL 2.350 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INSTRUMENT NUMBER 201409300128871, ALSO BEING A PART OF A ORIGINAL 4.321 ACRE TRACT AS CONVEYED TO MBJ HOLDINGS LLC., A DELAWARE LIMITED LIABILITY COMPANY IN INSTRUMENT 202409160096381, ALSO BEING A PART OF A ORIGINAL 22.241 ACRE TRACT AS CONVEYED TO AMGEN INC., A DELAWARE CORPORATION IN INSTRUMENT 202412170132589, RECORDERS OFFICE, FRANKLIN COUNTY, OHIO, ALSO SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF NEW ALBANY, BEING IN THE UNITED STATES MILITARY DISTRICT SURVEY, LOT #11, QUARTER TOWNSHIP 4 WEST, RANGE 16 WEST, TOWNSHIP 2 NORTH, CONTAINING 1.467 ACRES, MORE OR LESS, BEING PART OF A ORIGINAL 13.000 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INSTRUMENT NUMBER 201312130204757, BEING A PART OF A ORIGINAL 0.880 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INSTRUMENT 201701200010706, BEING A PART OF A ORIGINAL 10.090 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INSTRUMENT 201401220008721, BEING A PART OF A ORIGINAL 0.880 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INSTRUMENT 202001160007238, ALSO BEING A PART OF A ORIGINAL 1.000 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INST. 202309190097521, ALSO BEING A PART OF A ORIGINAL 1.060 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INST. 202308150082596, ALSO BEING A PART OF A ORIGINAL 1.060 ACRE TRACT AS CONVEYED TO THE NEW ALBANY COMPANY, LLC., IN INST. 201302110024113, RECORDERS OFFICE, FRANKLIN COUNTY, OHIO.

THE UNDERSIGNED, OWNER OF THE LANDS PLOTTED HEREIN, DULY AUTHORIZED IN THE PREMISES, DOES HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS ITS "GANTON PARKWAY WEST DEDICATION PHASE 3B" AND DOES HEREBY ACCEPT THIS PLAT OF THE SAME AND DEDICATES TO PUBLIC USE, AS SUCH, ALL OF GANTON PARKWAY AND BABBITT ROAD SHOWN HEREON AND NOT HERETOFORE DEDICATED.

EASEMENTS ARE HEREBY RESERVED IN, OVER AND UNDER AREAS DESIGNED ON THIS PLAT AS "UTILITY AND STREETSCAPE EASEMENT". UTILITY AND STREET-SCAPE EASEMENTS PERMIT THE CONSTRUCTION, OPERATION AND MAINTENANCE OF ALL PUBLIC AND QUASI-PUBLIC UTILITIES ABOVE, BENEATH, AND ON THE SURFACE OF THE GROUND AND, WHERE NECESSARY, FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF SERVICE CONNECTIONS TO ALL ADJACENT LOTS AND LANDS AND FOR STORM WATER DRAINAGE, THE CONSTRUCTION, OPERATION AND MAINTENANCE OF BICYCLE AND PEDESTRIAN PATHWAYS, AND LANDSCAPING. EASEMENT AREAS SHOWN HERE ON OUTSIDE OF THE PLATTED AREA ARE WITHIN LANDS OWNED BY THE UNDERSIGNED AND EASEMENTS ARE HEREBY RESERVED THEREIN FOR THE USES AND PURPOSES EXPRESSED HERIN.

THIS EASEMENT IS PERMITTED FOR USE FOR PRIVATE AND/OR PUBLIC UTILITIES AT THE CITY'S SOLE DISCRETION AND APPROVAL. IN THE EVENT THE CITY PERMITS THE INSTALLATION OF A PRIVATE AND/OR PUBLIC UTILITY WITHIN THE EASEMENT, IT MAY DICTATE THE MEANS AND METHODS OF INSTALLATION OF THE UTILITY. THE CITY SHALL HAVE FINAL APPROVAL OF THE LOCATION AND ALIGNMENTS OF ANY UTILITY INSTALLED WITHIN THE EASEMENT. THE UTILITY SHALL NOT BEGIN ANY CONSTRUCTION AND/OR INSTALLATION UNTIL IT HAS RECEIVED WRITTEN PERMISSION FROM THE CITY TO COMMENCE AND/OR ANY RESTRICTIONS, OR OTHER REQUIREMENTS MAY REQUIRE THE REMOVAL OF ANY IMPROPERLY INSTALLED UTILITY.

APPROVED THIS _____ DAY OF _____, 20__

MAYOR, NEW ALBANY, OHIO

APPROVED THIS _____ DAY OF _____, 20__

CITY ENGINEER, NEW ALBANY, OHIO

APPROVED THIS _____ DAY OF _____, 20__

COUNCIL REPRESENTATIVE TO PLANNING COMMISSION, NEW ALBANY, OHIO

APPROVED THIS _____ DAY OF _____, 20__

CHAIRPERSON, PLANNING COMMISSION, NEW ALBANY, OHIO

APPROVED THIS _____ DAY OF _____, 20__

FINANCE DIRECTOR, NEW ALBANY, OHIO

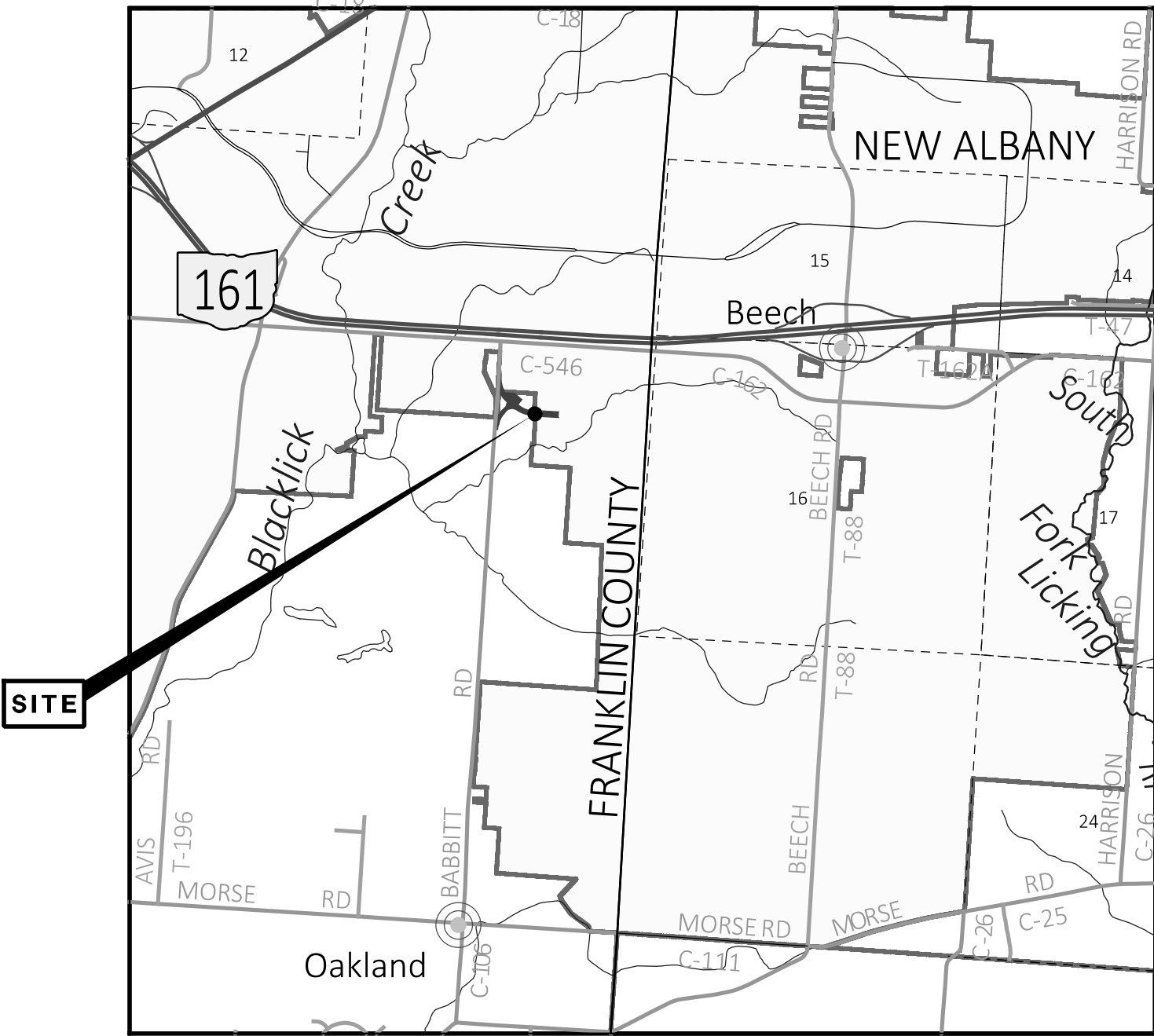
APPROVED AND ACCEPTED THIS _____ DAY OF _____, 20__, BY ORDINANCE NO. _____ WHEREIN ALL OF GANTON PARKWAY AS SHOWN HEREON ARE ACCEPTED AS SUCH BY THE CITY OF NEW ALBANY, OHIO.

TRANSFERRED THIS _____ DAY OF _____, 20__

AUDITOR, FRANKLIN COUNTY, OHIO

FILED FOR RECORD THIS _____ DAY OF _____, 20__
AT _____, FEE _____

RECORDER, FRANKLIN COUNTY, OHIO



VICINITY MAP

SCALE: NTS

SITE STATISTICS

TOTAL RW AREA: 5.356 ACRES
BEING OUT OF FRANKLIN COUNTY AUDITOR'S PARCEL NUMBER 222-004864-00 (0.989 ACRES), 222-004866-00 (2.736 ACRES), 222-004865-00 (0.448 ACRES), 222-005428-00 (0.319 ACRES), 222-002009-00 (0.140 ACRES), 222-000427-00 (0.063 ACRES), 222-002926-00 (0.081 ACRES), 222-002930-00 (0.034 ACRES), 222-002924-00 (0.106 ACRES), 220-000726-00 (0.176 ACRES), 220-001339-00 (0.152 ACRES), AND 220-000892-00 (0.112 ACRES)

FLOOD DESIGNATION

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39049C0209K, WITH AN EFFECTIVE DATE OF JUNE 17, 2008 IN FRANKLIN COUNTY, OHIO. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

WETLAND NOTE

NO DETERMINATION HAS BEEN MADE BY THE BUILDING AND ZONING SERVICES DEPARTMENT, CITY OF NEW ALBANY, AS TO WHETHER THE AREA PROPOSED TO BE PLATTED CONTAINS AREA(S) THAT COULD BE CLASSIFIED AS WETLANDS BY THE ARMY CORPS OF ENGINEERS. IT IS THE DEVELOPER'S RESPONSIBILITY TO DETERMINE WHETHER WETLANDS EXIST ON SITE. THE CITY OF NEW ALBANY APPROVAL OF THE FINAL PLAT DOES NOT IMPLY ANY APPROVAL FOR THE DEVELOPMENT OF THE SITE AS IT MAY PERTAIN TO WETLANDS.

CERTIFICATION

WE DO HERBY CERTIFY THAT WE HAVE SURVEYED THE ATTACHED PREMISES, PREPARED THE ATTACHED PLAT AND THAT SAID PLAT IS CORRECT. ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. DIMENSIONS SHOWN ALONG CURVES ARE CHORD MEASUREMENTS.

CARPENTER MARTY TRANSPORTATION, INC.

BY KEVIN P. CARPENTER, P.E., P.S. DATE
REG. NO. 8124

GANTON PARKWAY WEST DEDICATION PHASE 3B

PLAN PREPARED BY:AWN
CHECKED BY:KPC

**CARPENTER
MARTY** transportation

6612 SINGLETREE DR. COLUMBUS, OH 43229
614.696.2424 • CMTRAN.COM

SCALE: NTS

DATE: APRIL 7, 2025

SHEET: 1/3

JOB NO.: CNATR0001

GANTON PARKWAY WEST DEDICATION PHASE 3B

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
UNITED STATES MILITARY DISTRICT SURVEY
LOT #6 & LOT #11, QTR. TWP. 4W, R16W, T2N

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF:

MBJ HOLDINGS LLC

BRENT B. BRADBURY, TREASURER

STATE OF OHIO
COUNTY OF FRANKLIN :

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2025.
BY BRENT B. BRADBURY, THE AUTHORIZED REPRESENTATIVE OF THE MBJ HOLDINGS LLC, A DELAWARE
LIMITED LIABILITY COMPANY, ON BEHALF OF SAID LIMITED LIABILITY COMPANY. THIS IS AN
ACKNOWLEDGMENT CERTIFICATE. NO OATH OR AFFIRMATION WAS ADMINISTERED TO THE SIGNER
WITH REGARD TO THE NOTARIAL ACT.

NOTARY PUBLIC FOR _____

MY COMMISSION EXPIRES: _____

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF:

AMGEN INC., A DELAWARE CORPORATION

FEDERICO DE FELICE, EXECUTIVE DIRECTOR

STATE OF OHIO
COUNTY OF FRANKLIN :

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2025.
BY FEDERICO DE FELICE, EXECUTIVE DIRECTOR OF THE AMGEN INC., A DELAWARE CORPORSTION,
ON BEHALF OF SAID GOVERNMENTED ENTITY. THIS IS AN ACKNOWLEDGMENT CERTIFICATE. NO OATH
OR AFFIRMATION WAS ADMINISTERED TO THE SIGNER WITH REGARD TO THE NOTARIAL ACT.

NOTARY PUBLIC FOR _____

MY COMMISSION EXPIRES: _____

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF:

THE NEW ALBANY COMPANY LLC, A
DELAWARE LIMITED LIABILITY COMPANY

PEGGY W. UGLAND, AUTHORIZED MEMBER OF
THE NEW ALBANY COMPANY LLC

STATE OF OHIO
COUNTY OF FRANKLIN :

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2025.
BY PEGGY W. UGLAND, THE AUTHORIZED REPRESENTATIVE OF THE NEW ALBANY COMPANY LLC, A
DELAWARE LIMITED LIABILITY COMPANY, ON BEHALF OF SAID LIMITED LIABILITY COMPANY. THIS IS AN
ACKNOWLEDGMENT CERTIFICATE. NO OATH OR AFFIRMATION WAS ADMINISTERED TO THE SIGNER
WITH REGARD TO THE NOTARIAL ACT.

NOTARY PUBLIC FOR _____

MY COMMISSION EXPIRES: _____

GANTON PARKWAY WEST
DEDICATION PHASE 3B

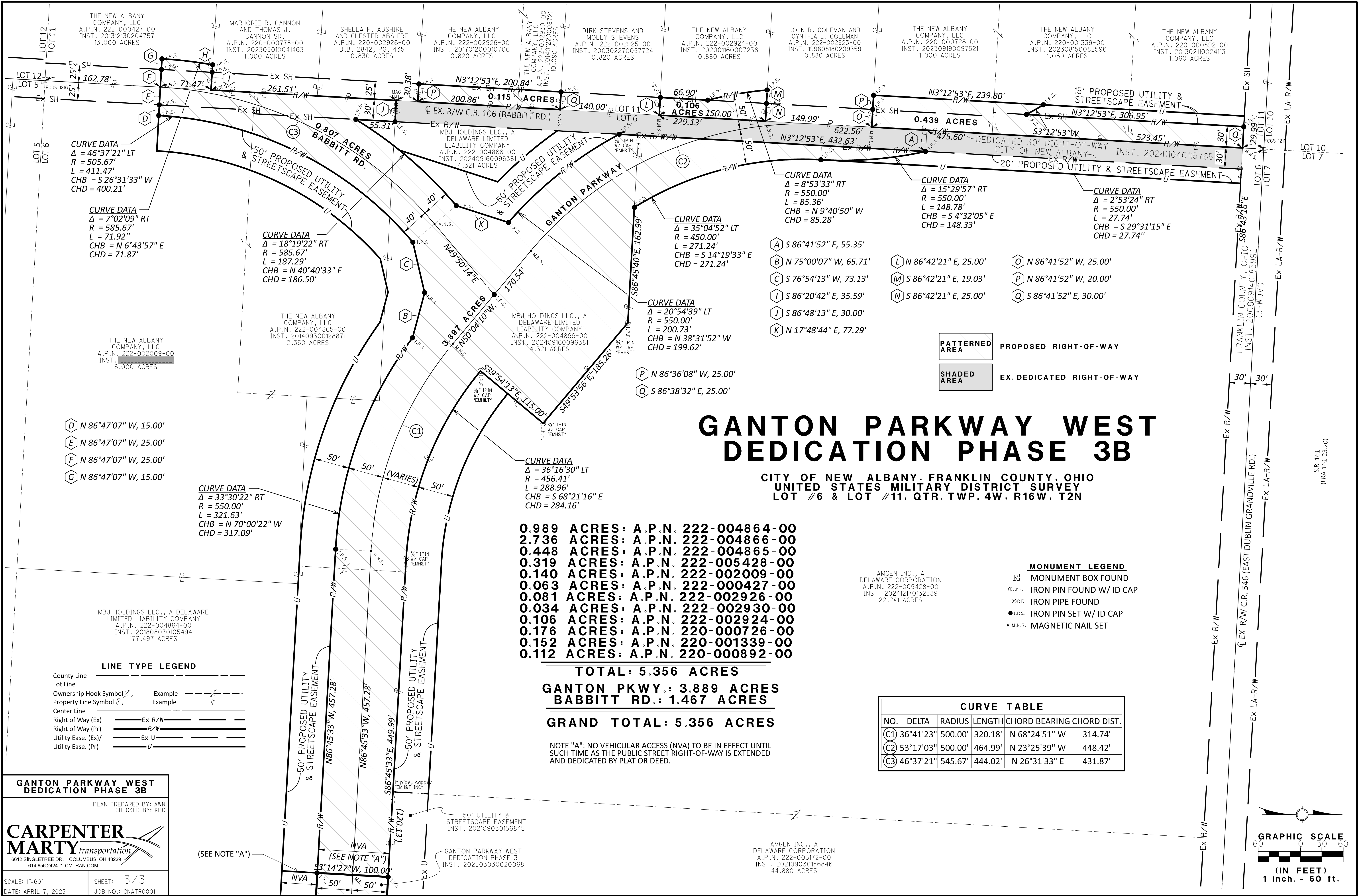
PLAN PREPARED BY: AWN
CHECKED BY: KPC

CARPENTER
MARTY *transportation*

6612 SINGLETREE DR. COLUMBUS, OH 43229
614.696.2424 • CMTRAN.COM

SCALE: NTS
DATE: APRIL 7, 2025

SHEET: 2 / 3
JOB NO.: CNAT0001



GANTON PARKWAY WEST DEDICATION PHASE 3B

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
UNITED STATES MILITARY DISTRICT SURVEY
LOT #6 & LOT #11, QTR. TWP. 4W, R16W, T2N

- 0.989 ACRES: A.P.N. 222-004864-00
- 2.736 ACRES: A.P.N. 222-004866-00
- 0.448 ACRES: A.P.N. 222-004865-00
- 0.319 ACRES: A.P.N. 222-005428-00
- 0.140 ACRES: A.P.N. 222-002009-00
- 0.063 ACRES: A.P.N. 222-000427-00
- 0.081 ACRES: A.P.N. 222-002926-00
- 0.034 ACRES: A.P.N. 222-002930-00
- 0.106 ACRES: A.P.N. 222-002924-00
- 0.176 ACRES: A.P.N. 220-000726-00
- 0.152 ACRES: A.P.N. 220-001339-00
- 0.112 ACRES: A.P.N. 220-000892-00

TOTAL: 5.356 ACRES
GANTON PKWY.: 3.889 ACRES
BABBITT RD.: 1.467 ACRES

GRAND TOTAL: 5.356 ACRES

NOTE "A": NO VEHICULAR ACCESS (NVA) TO BE IN EFFECT UNTIL SUCH TIME AS THE PUBLIC STREET RIGHT-OF-WAY IS EXTENDED AND DEDICATED BY PLAT OR DEED.

MONUMENT LEGEND

- MONUMENT BOX FOUND
- IRON PIN FOUND W/ ID CAP
- IRON PIPE FOUND
- IRON PIN SET W/ ID CAP
- MAGNETIC NAIL SET

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C1	36°41'23"	500.00'	320.18'	N 68°24'51" W	314.74'
C2	53°17'03"	500.00'	464.99'	N 23°25'39" W	448.42'
C3	46°37'21"	545.67'	444.02'	N 26°31'33" E	431.87'

LINE TYPE LEGEND

- County Line
- Lot Line
- Ownership Hook Symbol
- Property Line Symbol
- Center Line
- Right of Way (Ex)
- Right of Way (Pr)
- Utility Ease. (Ex/Pr)
- Utility Ease. (Pr)

GANTON PARKWAY WEST DEDICATION PHASE 3B

PLAN PREPARED BY: AWN
CHECKED BY: KPC

CARPENTER MARTY transportation
6612 SINGLETREE DR. COLUMBUS, OH 43229
614.656.2424 • CMTRAN.COM

SCALE: 1"=60'
DATE: APRIL 7, 2025
SHEET: 3/3
JOB NO.: CNATRO001

Babbitt Road and Ganton Parkway Roadway Improvements



Babbitt Road Street View



Constructed Street View
South Babbitt Rd in Front of Google