



New Albany Planning Commission Meeting Agenda

Monday, June 16, 2025 at 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comments at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes: May 19, 2025

IV. Additions or corrections to the agenda

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

V. Hearing of visitors for items not on tonight's agenda

VI. Cases:

ZC-48-2025 NACC Section 30 Zoning Amendment

Rezoning of approximately 1.18 acres generally located north and west of Lambton Park Road and south of Brandon Road (Parts of PID: 222-004458, PID: 222-005189, and PID: 222-005193) as they exist today from C-PUD NACO 1998 PUD Subarea 1G: Golf Course and East Nine Infill-Planned Unit Development (I-PUD) to East Nine Infill-Planned Unit Development (I-PUD).

Applicant: The New Albany Company LLC c/o Aaron Underhill, Esq.

Motion of acceptance of staff reports and related documents into the record for ZC-48-2025.

Motion of approval for application ZC-48-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

TM-49-2025 NACC Section 30 Zoning Text Modification

Amendment to the NACC Section 30 East Nine I-PUD zoning text (PIDs: 222-005185 and 46 others (see backside of agenda for complete parcel list).

Applicant: The New Albany Company LLC c/o Aaron Underhill, Esq.

Motion of acceptance of staff reports and related documents into the record for TM-49-2025.

Motion of approval for application TM-49-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FDP-35-2025 NACC Section 30 Final Development Plan

Final development plan for a 40-lot residential subdivision on 30.30 acres generally located north and west of Lambton Park Road and south of Brandon Road (PID: 222-004458 and 46 others—see backside of agenda for complete parcel list).

Applicant: The New Albany Company LLC c/o Aaron Underhill, Esq.

Motion of acceptance of staff reports and related documents into the record for FDP-35-2025.

Motion of approval for application FDP-35-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FPL-40-2025 NACC Section 30 Final Plat

Final plat for a 40-lot residential subdivision on 30.30 acres generally located north and west of Lambton Park Road and south of Brandon Road (PID: 222-004458 and 46 others—see backside of agenda for complete parcel list).

Applicant: The New Albany Company LLC c/o Aaron Underhill, Esq.

Motion of acceptance of staff reports and related documents into the record for FPL-40-2025.

Motion of approval for application FPL-40-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FDM-37-2025 Canini Medical Office Building FDP Modification

Final development plan modification to allow for the construction of two medical office buildings on 2.08 acres located on Forest Drive (PID: 222-004888).

Applicant: Canini & Associates, Ltd.

Motion of acceptance of staff reports and related documents into the record for FDM-37-2025.

Motion of approval for application FDM-37-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VAR-44-2025 Canini Medical Office Building Lot Split and Screening Variance

Variances to eliminate the requirement for lot frontage related to a proposed lot split and eliminate the screening requirements for a dumpster enclosure for a 2.08 acre site located on Forest Drive (PID: 222-004888).

Applicant: Canini & Associates, Ltd.

Motion of acceptance of staff reports and related documents into the record for VAR-44-2025.

Motion of approval for application VAR-44-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

CU-38-2025 EdgeConneX Conditional Use

Conditional use application to allow for an industrial manufacturing and assembly use for the operation of a temporary concrete batch plant on 12.6 acres located at 12525 Jug Street Road (PID: 095-112056-00.006).

Applicant: Danis Building Construction Co.

Motion of acceptance of staff reports and related documents into the record for CU-38-2025.

Motion of approval for application CU-38-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

FDM-42-2025 Lot 14 FDP Modification

Final development plan modification to reduce parking by two spaces and add additional landscaping located at 5065 Forest Drive (PID: 222-000347).

Applicant: J. Carter Bean Architect LLC c/o Carter Bean

Motion of acceptance of staff reports and related documents into the record for FDM-42-2025.

Motion of approval for application FDM-42-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

CU-43-2025 Graeter's Drive-Through Conditional Use

Conditional use application to allow for a full access drive-through for a proposed Graeter's Ice Cream located at 5065 Forest Drive (PID: 222-000347).

Applicant: J. Carter Bean Architect LLC c/o Carter Bean

Motion of acceptance of staff reports and related documents into the record for FDM-42-2025.

Motion of approval for application FDM-42-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.

VII. Other business

VIII. Poll members for comment

IX. Adjournment

EAST NINE I-PUD
PARCELS INCLUDED IN ZONING TEXT MODIFICATION APPLICATION

Franklin County Auditor Parcel Numbers:

222-005185	222-005203	222-005183
222-005186	222-005204	222-005184
222-005187	222-005205	222-001668
222-005188	222-005206	222-005216
222-005189	222-005207	222-005218
222-005190	222-005208	222-004458 (limited portion)
222-005191	222-005209	
222-005192	222-005210	
222-005193	222-005211	
222-005194	222-005212	
222-005195	222-005213	
222-005196	222-005214	
222-005197	222-005215	
222-005198	222-005216	
222-005199	222-005217	
222-005200	222-005180	
222-005201	222-005181	
222-005202	222-005182	
222-005219		
222-005220		
222-005185		
222-005185		
222-005185		



New Albany Planning Commission
Monday, May 19, 2025 Meeting Minutes - DRAFT

I. Call to order

The New Albany Planning Commission held a regular meeting on Monday, May 19, 2025 in the New Albany Village Hall. Chair Kirby called the meeting to order at 7:01 p.m. and asked to hear the roll.

II. Roll call

Those answering the roll:

Mr. Kirby	present
Mr. Wallace	absent
Mr. Schell	present
Ms. Briggs	present
Mr. Larsen	present
Council Member Wiltout	present

Having four voting members present, the commission had a quorum to transact business.

[Clerk's note: Although not put on the record at the meeting, the clerk notes that Mr. Wallace notified her on May 19, 2025 that he had contracted COVID. Mr. Wallace further expressed his hope that this would be considered an excused absence.]

Staff Members present: Law Director Albrecht, Planner Blackburn, Planning Manager Christian, Planner Saumenig, Deputy Clerk Madriguera.

III. Action on minutes: May 5, 2025

Chair Kirby asked whether there were any corrections to the May 5, 2025 informal meeting minutes.

The clerk noted that "manager" was misspelled on page 1.

Commissioner Larsen noted that "concerns" was misspelled on page 8.

Hearing no further corrections, Chair Kirby moved to approve the May 5, 2025 minutes as corrected. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Larsen yes, Ms. Briggs yes, Mr. Schell yes. Having four yes votes, the motion passed and the May 5, 2025 informal meeting minutes were approved as corrected.

IV. Additions or corrections to the agenda

Chair Kirby asked whether there were any additions or corrections to the agenda.

Planning Manager Christian answered none from staff.

Chair Kirby administered the oath to all present who wished to address the commission. Thereafter he noted that now would be a good time to silence all cell phones.

V. Hearing of visitors for items not on tonight's agenda

Chair Kirby asked whether there were any visitors present who wished to address the commission for an item not on the agenda. Hearing none, he introduced the first case and asked to hear the staff report.

VI. Cases:

CU-28-2025 Huntington Bank Conditional Use

Request for a conditional use permit to operate a drive-through use associated with a proposed Huntington bank located generally near the southwest corner of US-62 and Woodcrest Way (PID: 222-005260).

Applicant: Allegro Civil Engineers c/o Austin Hahn

Planner II Saumenig delivered the staff report.

Chair Kirby asked whether there was an engineering report.

Development Engineer Albright answered that there were no comments from engineering.

Chair Kirby asked to hear from the applicant.

Applicant Brian Emrich thanked Planner II Saumenig for her report. He stated that he agreed with the requested condition in the staff report and that he was available for questions.

Commissioner Larsen asked whether there would be signs, and whether those signs would require a variance.

Mr. Emrich responded that he believed there would be signs on an overhead canopy.

Planner II Saumenig responded that signage would be reviewed at the final development plan stage and further that she was unsure whether a variance would be required.

Commissioner Larsen asked about vehicle headlight spillage into the hotel.

Mr. Emrich responded that they are aware of that possibility and they suspect the lights will go the opposite way.

Commissioner Schell confirmed the hours of bank operation and noted that because the bank is closed in the evening, there will not be many vehicles using headlights at the bank, even with the ATM lane.

Chair Kirby asked whether there were other questions from the commission. Hearing none, he asked whether anyone from the public was present to comment on the application.

Hearing none, Chair Kirby moved to accept the staff reports and related documents into the record for CU-28-2025. Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Ms. Briggs yes, Mr. Larsen yes, Mr. Schell yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted into the record for CU-28-2025.

Commissioner Briggs moved for approval of CU-28-2025 based on the findings in the staff report with the condition in the staff report, subject to staff approval. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Ms. Briggs yes, Mr. Schell yes, Mr. Larsen yes, Mr. Kirby yes. Having four yes votes, the motion passed and CU-28-2025 was approved.

The commission thanked the applicant and wished him good luck.

Chair Kirby introduced the next and final case and asked to hear the staff report.

ZC-25-2025 Smart Farms Annexation and Rezoning

Request to rezone 115.445+/- acres located at the corner of Beech Road and Green Chapel Road along US-62 from Agricultural (AG) to Limited General Employment (L-GE) for an area to be known as the Smart Farm Zoning District (PIDs: 037-111954-00.000, 037-111954-00.002, 037-111954-00.003, 037-111954-00.004, 037-111954-00.005, 037-111954-00.006, 037-111762-00.001).

Applicant: Karis Critical c/o Craig Moncrief

Planner Blackburn delivered the staff report.

Chair Kirby discussed the surrounding property zoning classifications, TMD to the east; and the residential and agricultural classifications on the other side of Green Chapel Road in Plain Township.

Planning Manager Christian remarked that he suspected but was not sure whether some of those properties, in the township, allowed for commercial uses.

Chair Kirby asked for comments from engineering.

Engineer Albright delivered the engineering report.

Chair Kirby noted that there was not an engineering memo with the staff report, and confirmed that the engineering comments were included.

Planning Manager Christian responded that the engineering comments were in the summary section, V, of the staff report.

Chair Kirby asked to hear from the applicant.

Applicant Craig Moncrief spoke in support of the application. He thanked Planner Blackburn for her presentation and stated that the applicant had no issues with the requested conditions in the staff report, and that he was available to answer any questions.

Chair Kirby asked for questions from the commission. Hearing none he asked whether anyone from the public wished to comment on the application.

Hearing none, Chair Kirby asked whether this zoning text mimicked the latest and most improved zoning text. He remarked that it was important to continuously improve the language where possible. For example, allowance of the use of rooftop solar panels.

Planning Manager Christian responded that the language was the latest text in this area and it provided for usage of rooftop solar panels and exempted them from screening requirements to the extent that screening limits functionality.

Commissioner Larsen remarked that the language provided for usage of solar panels as appropriate.

Commissioner Schell asked about a traffic study.

Development Engineer Albright responded that if further development warrants a traffic study, the city will ask for it.

Hearing no further questions or comments, Chair Kirby moved to accept the staff reports and related documents into the record for ZC-25-2025. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Larsen yes, Mr. Schell yes, Ms. Briggs yes. Having four yes votes, the motion passed and the staff reports and related documents were accepted into the record for ZC-25-2025.

Chair Kirby moved for approval of ZC-25-2025 based on the findings in the staff report with the conditions in the staff report and the following two conditions, subject to staff approval:

- Incorporation of the engineering comments; and
- Rooftop solar panels are exempted from screening requirements.

Commissioner Briggs seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Ms. Briggs yes, Mr. Larsen yes, Mr. Schell yes. Having four yes votes the motion passed and ZC-25-2025 was favorably recommended to council.

The commission thanked the applicants and wished them good luck.

VII. Other business

Chair Kirby asked whether there was any other business before the commission.

VIII. Poll members for comment

Hearing no other business, Chair Kirby polled the members for comment.

IX. Adjournment

Hearing no comment, and having completed the agenda, Chair Kirby adjourned the May 19, 2025 regular meeting of the New Albany Planning Commission at 7:18 p.m.

Submitted by Deputy Clerk Madriguera, Esq.

Appendix

CU-28-2025

Staff Report

Record of Action – to be added

ZC-25-2025

Staff Report

Record of Action – to be added



**Planning Commission Staff Report
May 19, 2025 Meeting**

**HUNTINGTON NATIONAL BANK DRIVE-THROUGH
CONDITIONAL USE**

LOCATION: Generally located at the southwest corner of Johnstown Road (US-62) and Woodcrest Way (PID: 222-005260)
APPLICANT: Allegro Civil Engineers c/o Austin Hahn
REQUEST: Conditional Use
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8d
STRATEGIC PLAN: Retail
APPLICATION: CU-28-2025

Review based on: Application materials received April 15, 2025

Staff report prepared by Sierra Saumenig, Planner II

I. REQUEST AND BACKGROUND

The applicant requests approval of a conditional use to allow three drive-through ATMs to be developed as part of a proposed Huntington bank use. The proposal includes one ATM and two Vehicle Assistance Terminals (VAT). The Canini Trust Corp (I-PUD) zoning text allows the C-2 General Business (Commercial) District which permits banks uses. Drive-through facilities associated with a permitted use are conditional uses.

The applicant is required to return to the Planning Commission at a later date for review and approval of a final development plan application.

II. SITE DESCRIPTION & USE

The 1.10-acre site is generally located at the southwest corner of Johnstown Road and Woodcrest Way, within the Canini Trust Corp. Some of the existing surrounding uses include a Hampton Inn & Suites to the south, Moo Moo car wash to the west, La Petite Academy of New Albany to the east, and residential to the north.

III. EVALUATION

The general standards for conditional uses are contained in Codified Ordinance Section 1115.03. The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location meets all of the following requirements:

- (a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*

Uses:

- The applicant proposes to develop a Huntington National bank with three drive-through lanes. The existing total site size is 1.10-acres. The proposal includes one ATM and two Vehicle Assistance Terminals (VAT) which would be located on the

south side of the proposed building. Banks with drive-through facilities are a conditional use within this zoning district.

- The Engage New Albany Strategic Plan identifies this area as the retail future land use area. The proposed use is appropriate based on its proximity to State Route 161, the New Albany Business Park and the surrounding uses. The site is located within the Canini Trust Corp which envisions this type of use.
- The building is surrounded by the parking lot, three drive-through lanes and internal drive aisles. The drive-throughs appear to be appropriately positioned in the side yard of the site where it does not interfere with traffic on the rest of the site.
- It does not appear that the proposed drive-through use will alter the character of the surrounding area. This area is zoned to allow retail and personal services uses such as restaurants and banks which typically have drive-through facilities. Additionally, the Planning Commission recently approved multiple drive throughs in the area for Wright Patt, Panda Express, Popeyes, Wendy's, Dairy Queen, Sheets, and Dunkin Donuts developments which all include a drive-through facility and are located near this proposed development. This subarea of the Canini Trust Corp also contains other car-oriented businesses such as a Turkey Hill gas station and Valvoline oil change service

Architecture:

- The design of the proposed ATMs will be evaluated under the future final development plan application.

Parking & Circulation:

- Per Codified Ordinance 1167.05(d)(5) requires a minimum of one parking space for each 200 square feet of gross floor area. The proposed building is 2,400 square feet in size therefore 12 parking spaces are required and the applicant meets this requirement with 18 proposed spaces.
- Additionally, the city parking code requires a minimum number of stacking spaces in the drive through lane must be provided. The required number of drive-through stacking spaces must equal 25% of the total required parking spaces for the drive-through tenant space. Based on this calculation, 3 stacking spaces total must be provided and the applicant is exceeding this requirement by providing 12.
- The proposed building is surrounded by a parking lot, three drive-through lanes and internal drive aisles. The drive-through appears to be appropriately positioned on the site where it does not interfere with traffic on the rest of the site and will not cause traffic to back up onto public roads.
- The Trust Corp site has a strong internal roadway network that supports car-oriented developments. The lot is surrounded by public roads on two sides that allows traffic to and from the site to be dispersed. Additionally, the site fronts a private road to the east and south of the site. The public roads and private road network provide multiple connections to public streets.

Landscaping:

- All landscaping will be evaluated under the future final development plan application.

(b) The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.

- The proposed use is harmonious with the existing and intended character of the general vicinity and will not change the essential character of the area.
- The proposed use is appropriate due to its proximity to the State Route 161 interchange and the New Albany Business Park.
- This site is located within the Canini Trust Corp which envisions this type of use. There are existing restaurants with drive-through facilities that are developed in this zoning district which would be compatible with bank drive-throughs.

- (c) *The use will not be hazardous to existing or future neighboring uses.*
 - The use is not hazardous to the existing or future neighboring uses. It appears that this is an appropriate location for a drive-through facility.
- (d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*
 - Sewer and water service are available in this location.
- (e) *The proposed use will not be detrimental to the economic welfare of the community.*
 - The proposed use does not appear to be detrimental to the economic welfare in the city due to the creation of jobs that generate income taxes and provide amenities for the business park.
- (f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*
 - The site will not involve operations that will be detrimental to adjacent uses. This area of the city is auto-oriented and is in close proximity to State Route 161. US-62 is currently heavily traveled therefore it is reasonable to assume that this development will be frequently visited and serve as an important asset to those in the surrounding area.
- (g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*
 - The building is surrounded by the parking lot and internal drive aisles. The proposed drive-through lanes appear to be properly designed on the site so that the drive through traffic does not interfere with the traffic circulation on the rest of the site.

IV. SUMMARY

The overall proposal is consistent with the code requirements for conditional uses. The proposed use is appropriate for the site based on the current zoning and the Engage New Albany Strategic Plan land use recommendations. Retail has historically been approached in a thoughtful and prescribed way that promotes a planned amount of land being dedicated to this use. Due to the close proximity of this site to State Route 161 and this portion of the business park, the drive-through is appropriate in this location.

The proposed use will not change the character of the US-62 corridor as there are existing restaurants with drive-through facilities within the Canini Trust Corp site and the other drive-through developments located along the street.

The drive-through lanes are in appropriate locations given their orientation and the travel pattern appears to be appropriately designed so it will not interfere with traffic circulation on the rest of the site.

V. ACTION

The Commission shall approve, approve with supplementary conditions, or disapprove the application as presented. If the application is approved with supplementary conditions, the Planning Commission shall direct staff to issue a zoning permit listing the specific conditions listed by the Planning Commission for approval.

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application CU-28-2025 with the following conditions:

1. The conditional use permit will become void if a different kind of business, other than a bank, occupies this tenant space.


Approximate Site Location:



Source: Nearmap



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org	
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.	
Project Information	Site Address <u>5150 Forest Drive</u>	
	Parcel Numbers <u>222-005260-00</u>	
	Acres <u>2.204</u>	# of lots created <u>1</u>
Project Information	Choose Application Type	Description of Request:
	<input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Development Plan <input type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification	<input type="checkbox"/> Extension Request <input type="checkbox"/> Variance <input type="checkbox"/> Vacation Construction of a 2,400 square foot financial institution with 3 associated drive-throughs (1 ATM & 2 VAT).
Contacts	Applicant Information	Property Owner Information
	Name: <u>Austin Hahn</u> Address: <u>4322 N Lincoln Ave</u> City, State, Zip: <u>Chicago, IL 60618</u> Phone Number: <u>870.270.3682</u> Email: <u>aj@allegroeng.com</u>	Name: <u>ECC Woodcrest Way LLC</u> Address: <u>6500 Westfield Blvd</u> City, State, Zip: <u>Indianapolis, IN 46220</u> Phone Number: <u>317-574-7448</u> Email: <u>mworthley@thomasenglish.com</u>
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.	
	Signature of Owner Signature of Applicant	<u></u> Austin J. Hahn, P.E. Date: <u>5-8-25</u> Date: <u>04.15.25</u>

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054



Required Items

To: **Ms. Sierra Saumenig, AICP**
City of New Albany
7815 Walton Parkway
New Albany, OH 43054
614.939.2250/ ssaumenig@newalbanyohio.org

From: Austin Hahn, Allegro Civil Engineers, PC

CC:

Date: 4/15/2025

Re: Conditional Use Permit: Required Items – 5150 Forest Drive

Legal Description JOHNSTOWN RD
R16 T2 1/4T1
2.204 ACRES

Existing Use

The subject property is currently vacant and undeveloped.

Zoning District

IPUD – Infill Planned Unit Development

Description of Proposed Conditional Use

Huntington National Bank is proposing to construct a 2,400 square foot financial institution with 3 associated drive-throughs (1 ATM & 2 VAT). A Conditional Use Permit is required due to the proposed drive-through use.

Narrative Statement

The proposed financial institution with associated drive throughs will not create adverse effects from noise, glare, light, fumes or vibration on surrounding properties. The surrounding properties to the northeast, southeast, and southwest are zoned IPUD and are commercial in nature with La Petite Academy of New Albany to the northeast, a Hampton Inn & Suites to the southeast and a Moo Moo's Carwash to the southwest. The neighboring properties north of Johnstown Road are zoned OCD Office Campus District and R-1 Residential Estate District and are residential in nature. With the proposed landscaping along Johnstown Road and the proposed setback of the building, the neighboring residential properties will have a buffer from any potential noise, glare or general disturbance of the operation of the proposed bank or its drive-through services. Also, with the proposed direction of internal traffic, the cars using the drive through will face away from the residential dwellings along Johnstown Road thus eliminating the nuisance of car headlights shining towards the residential dwellings.

CHICAGO
4322 N. LINCOLN AVENUE
SUITE A
CHICAGO, IL 60618
872.270.3682

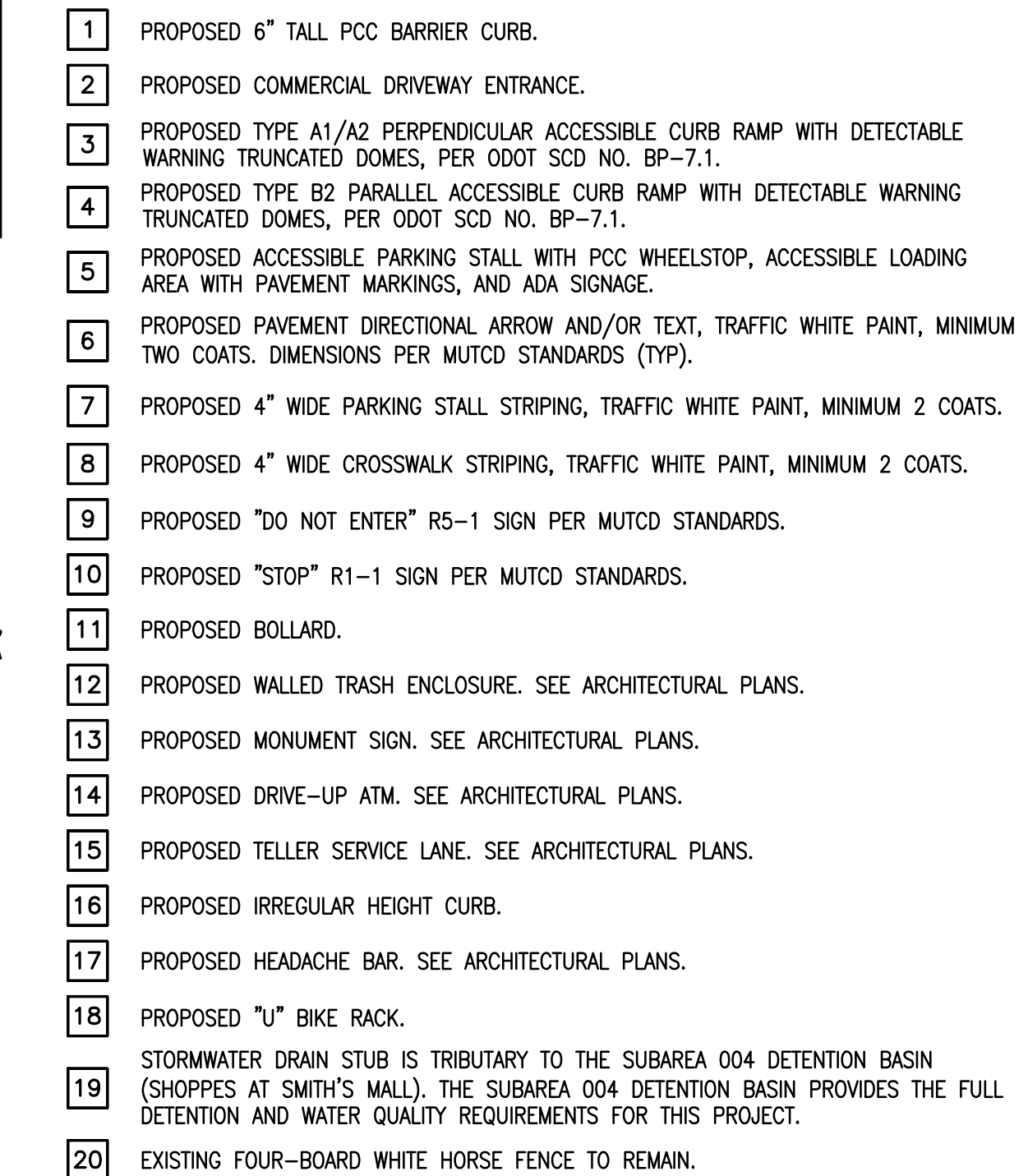


COLUMBUS
620 E. BROAD STREET
SUITE K
COLUMBUS, OH 43215

Thank you for your assistance on this project,

A handwritten signature in blue ink, appearing to read "Austin Hahn", is positioned below the thank you message.

Austin Hahn
President
Allegro Civil Engineers, PC
(872) 270-3682
ah@allegroeng.com



C1.0

SHEET INDEX:

C1.0	SITE PLAN
A1.0	BUILDING ELEVATIONS & MATERIALS
A1.1	BUILDING ELEVATIONS & MATERIALS
L1.0	SITE LANDSCAPE PLAN
L1.1	BUILDING FOUNDATION LANDSCAPE PLAN

SITE INFORMATION:

APN: 222-005260
ZONING: IPUD -- INFILL PLANNED UNIT DEVELOPMENT
FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE "X" PER FIRM MAP NO: 39049C0208
WITH AN EFFECTIVE DATE OF JUNE 27, 2008. ZONE X IS DEFINED AS "AR"
SUBJECT TO MINIMAL FLOODING"

SUMMARY:

TOTAL PARCEL AREA	±47,568 SF (±1.092 ACRES)
TOTAL DISTURBED AREA	±38,979 SF (±0.895 ACRES)
BUILDING FOOTPRINT	±2,400 SF

DISTURBED AREA SUMMARY:	EXISTING	PROPOSED
IMPERVIOUS AREA	±92 SF	±22,131 SF
PERVIOUS AREA	±38,887 SF	±16,848 SF
CHANGE IN IMPERVIOUS AREA		±22,039 SF INCREASE

IMPERVIOUS AREA PERMITTED:	40,433 SF (85% OF PARCEL)
IMPERVIOUS AREA PROPOSED:	22,131 SF (46.5% OF PARCEL)

SETBACKS:	LANDSCAPE	BUILDING
FRONT (NW/U.S. RTE 62)	75'	75'
SIDE (NF & SE/WOODCREST WAY)	10' (FROM CURB FACE)	10' (FROM CURB FACE)

NEW ALBANY
COMMUNITY CONNECTS US
Planning Commission Staff Report
May 19, 2025 Meeting

SMART FARMS ZONING DISTRICT
ZONING AMENDMENT

LOCATION: 115.445 +/- acres located at the corner of Beech Road and Green Chapel Road along US-62 in Licking County (PIDs: 037-111954-00.000, 037-111954-00.002, 037-111954-00.003, 037-111954-00.004, 037-111954-00.005, 037-111954-00.006, 037-111762-00.001).

APPLICANT: Karis Critical c/o Craig Moncrief

REQUEST: Zoning Change

ZONING: Agricultural (AG) to Limited General Employment (L-GE).

STRATEGIC PLAN: Employment Center

APPLICATION: ZC-25-2025

Review based on: Application materials received on April 14, 2025

Staff report completed by Kylie Blackburn, Planner

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation for the rezoning of 115.445 +/- acres that are being annexed into the city. The request proposes to create a new zoning district to be known as the “Smart Farm Zoning District” by zoning the area to Limited General Employment (L-GE) from Agricultural (AG).

The proposed zoning text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts, such as the Business and Commerce Zoning District, which is located directly to the south of this site.

II. SITE DESCRIPTION & USE

The overall site consists of seven parcels located within Licking County. The site is generally located on the corner of Beech Road and Green Chapel Road along US-62. The neighboring uses and zoning districts include L-GE (Limited General Employment) and TMD (Technology Manufacturing District). The site is partially developed, as there are a few residential homes and farms.

III. PLAN REVIEW

Planning Commission’s review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.10. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to the city council. The staff review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.

- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

Engage New Albany Strategic Plan

The 2020 Engage New Albany strategic plan designates the area as the Employment Center District future land use category. The strategic plan lists the following development standards for the Employment Center District land use category:

1. No freeway / pole signs are allowed.
2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
4. Sites with multiple buildings should be well organized and clustered if possible.
5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
6. All office developments should plan for regional stormwater management.
7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
9. Combined curb cuts and cross-access easements are encouraged.
10. The use of materials, colors, and texture to break up large-scale facades is required.

A. Use, Site, and Layout

1. The proposed text permits both permitted and conditional uses outlined in the GE, General Employment District. Permitted uses include a mix of industrial and other employment-generating activities.
2. In addition, the following uses shall be prohibited:
 - a. Industrial product sales
 - b. Industrial services
 - c. Mini-warehouses
 - i. For purposes of clarification, this prohibition only applies to such facilities that are made available for rent to the general public
 - d. Personal service and retail product sales and service, except that such uses shall be allowed as accessory uses to a permitted use;
 - e. Vehicle services
 - f. Radio/television broadcast facilities
 - g. Sexually-oriented businesses
 - h. Off-premises signs
3. The proposed L-GE text establishes the following setbacks:

Roads	Pavement Setback	Building Setback
Green Chapel Rd	300 ft from centerline	300 ft from centerline
Old Green Chapel Rd	None	None
U.S. Route 62	185 feet from centerline	185 feet from centerline
Beech Rd	185 feet from centerline	185 feet from centerline

- a. The proposed text states that substations and its ancillary equipment, structures, and facilities shall be permitted to encroach within the setbacks on Green Chapel Rd. Staff recommends a condition of approval that screening and landscaping requirements are still met in areas where substations are encroaching (condition #1).

- b. Perimeter Boundaries: There shall be a minimum pavement and building setback of 25 feet from all perimeter boundaries for which another setback requirement is not provided in the text. The minimum pavement and building setback shall be 100 feet from any such perimeter boundary that is adjacent to property where residential uses are permitted.
- c. The text contains a provision for elimination of setbacks for building and pavement when this zoning district and any adjacent parcel located outside of this zoning district come under common ownership, are zoned to allow compatible non-residential uses, and are combined into a single parcel.

B. Access, Loading, Parking

- 1. The zoning text states that the number, locations and spacing of curb cuts along public right-of-way shall be determined and approved at the time that a certificate of appropriateness is issued for a project in this zoning district.
- 2. Parking and Loading: Parking and loading spaces shall be provided for each use per Chapter 1167 of the Codified Ordinances of the city of New Albany.
- 3. Rights-of-Way: The width of the U.S. Route 62 and Beech Road rights-of-way shall be 100 feet. The developer shall dedicate right-of-way for U.S. Route 62 and Beech Road to the city at a distance of 50 feet as measured from the existing centerline of the respective rights-of-way. The total right-of-way for Green Chapel Road shall be 80 feet. The developer shall dedicate right-of-way for Green Chapel Road to the city at a distance of 40 feet from the existing centerline of Green Chapel Road. The developer shall grant easements to the city which are adjacent to the aforementioned rights-of-way to the extent necessary to provide for the installation and maintenance of streetscape improvements.
- 4. Private Roads: Any creation of private roads are subject to staff approval.
- 5. Pedestrian Circulation: An 8-foot-wide asphalt leisure trail will be installed along Beech Road

C. Architectural Standards

- 1. The proposed rezoning seeks to implement many of the same or improved standards and limitations set forth in the New Albany Architectural Design Guidelines and Requirements.
- 2. The proposed text states that the maximum building height in this zoning district is 85 feet, subject to Section 1165.03 of the Codified Ordinances. This is consistent with the L-GE district to the south.
- 3. The proposed text contains the same architectural requirements as the surrounding business park zoning district.
- 4. The city's Design Guidelines and Requirements do not provide architectural standards for warehouse and distribution-type facilities. Due to the inherent size and nature of these facilities, careful attention must be paid to their design to ensure they are appropriately integrated into the rest of the business park. This zoning text contains specific design requirements for uses not governed by the DGRs, which will ensure the quality design of these buildings.
- 5. The proposed text contains a requirement for complete, four-sided screening of all roof-mounted equipment for sight and sound. This provision does not apply to solar panels.
- 6. The proposed text requires all accessory structures, generators, storage tanks, trash receptacles, or any other similar improvement to be located behind a building façade that does not front onto a public road.

D. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. Maximum lot coverage for this subarea is 75%. This matches the surrounding zoning districts.
- 2. The proposed zoning text contains the same tree preservation language as the neighboring approved Business and Commerce Zoning District zoning text. The text states that standard tree preservation will be in place to preserve and protect trees during all phases of construction.

3. The proposed text states that a landscaping plan shall be reviewed as part of the city's review of a certificate of appropriateness application within the proposed zoning.
4. The proposed zoning text contains the same parking area language as the neighboring approved Business and Commerce Zoning District zoning text. The text states that there shall be no less than one (1) tree planted for every ten (10) parking spaces located therein.
5. The proposed zoning text has minimum on-site tree sizes for newly installed trees on site.
6. The proposed zoning text states that the City of New Albany Beech Road North District Landscape Standards Master Plan shall apply to the site.
7. The zoning text does not have any requirements set up for landscaping requirements from adjacent residential uses.
 - a. Staff recommends a condition of approval for the zoning text to have similar requirements to the Business and Commerce Zoning District zoning text on this point (condition #2).

E. Lighting & Signage

1. All signage shall conform to the standards set forth in Codified Ordinance Section 1169.
2. All lighting shall be cut-off type fixtures and downcast to minimize light spilling beyond the boundaries of the site. The maximum height is 30 feet.
3. The proposed zoning text requires landscaping lighting details to be included in the landscape plan, which is subject to review and approval by the City Landscape Architect.

IV. ENGINEER'S COMMENTS

The City Engineer, E.P. Ferris reviewed the proposed rezoning application and provided the following comments.

1. Provide a Traffic Impact Study when available.
2. When available, provide verification that all Ohio EPA and Army Corps of Engineers permitting requirements have been met.

V. SUMMARY

This zoning district facilitates the development of industrial and other employment-generating activity that match that of the surrounding area. The proposed zoning text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts, such as the Business and Commerce Zoning District, which is located south of this site. The proposed text is appropriate given the type of general employment type of uses that are envisioned for this area in the 2020 Engage New Albany Strategic Plan.

V. ACTION

Suggested Motion for ZC-25-2025:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application ZC-25-2025, based on the findings in the staff report, subject to the following conditions:

1. Screening and landscaping requirements are still met in areas where substations are encroaching.
2. The zoning text is to add similar requirements to the Business and Commerce Zoning District zoning text for landscaping required adjacent to residential uses.

Approximate Site Location:



Source: NearMap



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																								
Project Information	<p>Site Address <u>see attached property owner information</u></p> <p>Parcel Numbers <u>037-111954-00.005; 037-111954-00.006; 037-111954-00.004; 037-111954-00.003; 037-111762-00.001; 037-111954-00.002; 037-111954-00.000</u></p> <p>Acres <u>115.445</u> # of lots created <u>Seven (7)</u></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Choose Application Type</th><th style="width: 50%;">Description of Request:</th></tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td><td rowspan="7"> Parcels requested for rezoning are concurrently being annexed into New Albany. This request is to rezone the property from the Agricultural District to Limited General Employment District. There is an associated limitation text and list of parcel information with this request. </td></tr> <tr> <td><input type="checkbox"/> Certificate of Appropriateness</td></tr> <tr> <td><input type="checkbox"/> Conditional Use</td></tr> <tr> <td><input type="checkbox"/> Development Plan</td></tr> <tr> <td><input type="checkbox"/> Plat</td></tr> <tr> <td><input type="checkbox"/> Lot Changes</td></tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td></tr> <tr> <td><input checked="" type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr> <tr> <td><input type="checkbox"/> Zoning Text Modification</td><td></td></tr> </tbody> </table>	Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	Parcels requested for rezoning are concurrently being annexed into New Albany. This request is to rezone the property from the Agricultural District to Limited General Employment District. There is an associated limitation text and list of parcel information with this request.	<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Plat	<input type="checkbox"/> Lot Changes	<input type="checkbox"/> Minor Commercial Subdivision	<input checked="" type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification											
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Email	cjm@planklaw.com	Email																							
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="width: 60%;"> <p>Signature of Owner <u><i>[Signature]</i></u></p> <p>Signature of Applicant <u><i>[Signature]</i></u></p> </div> <div style="width: 35%;"> <p>Date: <u>4/14/25</u></p> <p>Date: <u>4/14/25</u></p> </div> </div>																								

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

Fees & Submittal Information

Appeal		250.00	
Certificate of Appropriateness			
	ARB – single and two family residential	100.00	
	ARB – All other residential or commercial	300.00	
	ARB - Signage	75.00	
Conditional Use		600.00	
Development Plan – Preliminary PUD or Comprehensive			
	Planning fee	First 10 acres	750.00
		Each additional 5 acres or part thereof	50.00 / each
	Engineering fee	1-25 lots	155.00 / each
		Minimum fee	1000.00
	Engineering fee	26 – 50 lots	3875.00
		Each additional lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each additional lot over 51	50.00 / each
Development Plan – Final PUD			
	Planning fee	First 10 acres	650.00
		Each additional 5 acres or part thereof	50.00
	Engineering fee	1-25 lots	
		(minimum fee \$1,000.00)	155.00 / each
	Engineering fee	26 – 50 lots	3875.00
		Each additional lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each additional lot over 51	50.00 / each
Development Plan – Non-PUD		300.00	
Development Plan / Text Amendment		600.00	
Plat – Road Preliminary			
	Planning fee		350.00
	Engineering fee	no lots on either side of street	1.00 / LF
		lots on one side of street	.50 / LF
		Minimum fee	1,000.00
Plat – Road Final			
	Planning fee		350.00
	Engineering fee	no lots on either side of street	1.00 / LF
		lots on one side of street	.50 / LF
		Minimum fee	1,000.00
Plat – Subdivision Preliminary			
	Planning		650.00
		Plus each lot	50.00 / each
	Engineering fee	1-25 lots	
		(minimum fee \$1,000.00)	155.00 / each
	Engineering fee	26 – 50 lots	3875.00
		Each lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each lot over 51	50.00 / each

Fees & Submittal Requirements

Plat – Subdivision Final			
Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____
Lot Changes		200.00	_____
Minor Commercial Subdivision		200.00	_____
Vacation (Street or Easement)		1200.00	_____
Variance			
	Non-single family, commercial, subdivision, multiple properties	600.00	_____
	Single Family residence	250.00	_____
	In conjunction with Certification of Appropriateness	100.00	_____
Extension Request		0.00	_____
Zoning			
	Rezoning - First 10 acres	700.00	_____
	Each additional 5 acres or part thereof	50.00 / each	_____
	Rezoning to Rocky Fork Blacklick Accord	250.00	_____
	Text Modification	600.00	_____
Easement Encroachment		800.00	_____

**Rezoning Application
List of Properties**

Property 1

Address: 13857 Green Chapel Road Northwest, Johnstown, Ohio 43031
Licking County Tax Id. No(s).: 037-111954-00.005

Property 2

Address: 13775 Green Chapel Road Northwest, Johnstown, Ohio 43031
Licking County Tax Id. No(s).: 037-111954-000.006

Property 3

Address: 13635 Green Chapel Road, Johnstown, Ohio 43031
Licking County Tax Id. No(s).: 037-111954-00.004 (this is a combined parcel)

Property 4

Address: 13601 Green Chapel Road Northwest, Johnstown, Ohio 43031
Licking County Tax Id. No(s).: 037-111954-00.003

Property 5

Address: 13453 Green Chapel Road, Johnstown, Ohio 43031;
Licking County Tax Id. No(s).: 037-111762-00.001

Property 6

Green Chapel Road, Johnstown, Ohio 43031
Licking County Tax Id. No(s).: 037-111954-00.002

Property 7

Address: 4500 Beech Road Northwest, Johnstown, Ohio 43031
Licking County Tax Id. No(s).: 037-111954-00.000

**Rezoning Application
List of Property Owners**

Property Owner 1

Name: Bruce Smart and Sharon Smart

Address: 13857 Green Chapel Road Northwest, Johnstown, Ohio 43031

Licking County Tax Id. No(s).: 037-111954-00.005

Property Owner 2

Name: Rusty Allen Smart and Brandie Lynette Smart

Address: 13775 Green Chapel Road Northwest, Johnstown, Ohio 43031

Licking County Tax Id. No(s).: 037-111954-000.006

Property Owner 3

Name: John E. Tripp and Deborah L. Tripp

Address: 13635 Green Chapel Road, Johnstown, Ohio 43031

Licking County Tax Id. No(s).: 037-111954-00.004 (this is a combined parcel)

Property Owner 4

Name: Heather M. Hall

Address: 13601 Green Chapel Road Northwest, Johnstown, Ohio 43031

Licking County Tax Id. No(s).: 037-111954-00.003

Property Owner 5

Name: Robert A. Parsons and Beth A. Parsons, trustees, or successor trustee(s) of the Parsons Trust Dated March 21, 2017

Address: 13453 Green Chapel Road, Johnstown, Ohio 43031; Green Chapel Road, Johnstown, Ohio 43031

Licking County Tax Id. No(s).: 037-111762-00.001; 037-111954-00.002

Property Owner 6

Name: Deborah Tripp and Sharon Smart, Co-Trustees or their Successor(s) as Co-Trustees of "The Cross Keystone Inheritance Trust," dated February 2, 2011

Address: 4500 Beech Road Northwest, Johnstown, Ohio 43031

Licking County Tax Id. No(s).: 037-111954-00.000



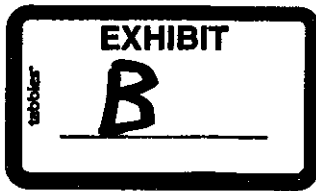
Statement in Support of Rezoning

The Applicant, Karis Critical, is in contract to purchase 115.5+/- acres of property located on the south side of Green Chapel Road, east of Beech Road, and west of the Intel Development, known as Licking County Auditor Tax Parcel Id. No.'s: 037-111954-00.005, 037-111954-000.006, 037-111954-00.004, 037-111954-00.003, 037-111762-00.001, 037-111954-00.002, and 037-111954-00.000 (collectively, the "Property"). The Property is currently used for agricultural and residential purposes and is zoned RR, Rural Residential, in Jersey Township. Applicant is in the process of annexing the Property into the City of New Albany (the Property is part of the territory included in the Annexation Agreement with Jersey Township) and desires to rezone the Property to the L-GE, Limited General Employment District, to permit a data center facility on the Property. The Property is surrounded by properties zoned L-GE to the south (Amazon Data Services) and TMD, Technology Manufacturing District (Sidecat LLC) to the east. The Property will be developed in accordance with the Limitation Text included as part of this rezoning request. The proposed rezoning does not permit residential uses and will not add children to the school district.

Support

The Property is part of the Annexation Agreement executed by the City of New Albany and Jersey Township in 2022. Applicant desires to annex the Property into the City of New Albany to develop the Property with uses similar to the surrounding properties that were recently annexed and rezoned. The Limitation Text follows the standards of the adjacent property zoned L-GE, General Employment District, and will provide thorough landscaping, architectural, and general development standards. Rezoning the Property for industrial development will add jobs, increase property tax revenue, and increase income tax revenue.

The proposed use of the Property aligns with both the character of the neighborhood and the future of the surrounding area. Traffic will be minimal considering the use and the significant public infrastructure improvements in the area. The Property has frontage along three (3) public rights-of-way and will have no issues with access or on-site circulation. The proposed development of the Property does not introduce any uses that are incompatible with the surrounding area, and will not introduce any odors, unreasonable noise, or environmental concerns. The proposed development will generate tax revenue at minimal expense to the City.



SMART FARM ZONING DISTRICT

LIMITATION (L-GE) TEXT

April 3, 2025

The Smart Farm Zoning District (the “Zoning District”) consists of 115.5 +/- acres located south of Green Chapel Road, east of Beech Road, and west of the Intel development (the “Property”). The Property is located within the Annexation Agreement area with Jersey Township. Applicant desires to annex the Property and rezone it to the General Employment District for the purpose of complementing the zoning and development standards for the industrial properties to the south of the Property.

- I. Zoning Designation: L-GE, Limited General Employment District.
- II. Permitted Uses: The permitted and conditional uses contained and described in the Codified Ordinances of the City of New Albany, GE, General Employment District, Sections 1153.02 and 1153.03, provided that the conditional uses are approved in accordance with Chapter 1115, Conditional Uses. The following uses from these code sections shall be prohibited:
 - A. Industrial product sales (see Section 1153.03(a)(1));
 - B. Industrial service (see Section 1153.03(a)(2));
 - C. Mini-warehouses (see Section 1153.03(a)(4)(c)). For purposes of clarification, this prohibition only applies to such facilities that are made available for rental to the general public;
 - D. Personal service (see Section 1153.03(b)(2)) and retail product sales and service (see Section 1153.03(b)(3)), except that such uses shall be allowed as accessory uses to a permitted use in this Zoning District;
 - E. Vehicle services (see Section 1153.03(B)(4));
 - F. Radio/television broadcast facilities (see Section 1153.03(c)(1));
 - G. Sexually-oriented businesses (see Section 1153.03(c)(3)); and
 - H. Off-premises signs (see Section 1153.03(c)(2)).
- III. Lot and Setback Commitments:
 - A. Lot Coverage: There shall be a maximum lot coverage in this Zoning District of 75%. “Lot Coverage” means the ratio of enclosed ground floor area of all buildings on a lot to the horizontally projected area of the lot, expressed as a percentage. This maximum lot coverage standard shall apply to the entire Zoning District, not each parcel within the Zoning District.

B. Setbacks:

1. Green Chapel Road: The minimum building and parking setbacks shall be 300 feet from the center of Green Chapel Road, except that substations and its ancillary equipment, structures, and facilities shall be permitted to encroach within the setbacks. Please note that all minimum setback requirements pertain to the new Green Chapel Road, which is depicted on the site plan attached to this rezoning application. No setback requirements shall apply to Old Green Chapel Road.
2. U.S. Route 62: The minimum building and parking setback shall be 185 feet from the centerline of U.S. Route 62.
3. Beech Road: The minimum building and parking setback shall be 185 feet from the centerline of Beech Road.
4. Perimeter Boundaries: The minimum building and parking setback shall be 25 feet from all perimeter boundaries for which another setback requirement is not provided in this text, except that the minimum pavement and building setback shall be 100 feet from any such perimeter boundary that is adjacent to property where residential uses are permitted.
5. Elimination of Setbacks: In the event that a parcel located within this Zoning District and an adjacent parcel located within or outside of this Zoning District (i) comes under common or affiliated ownership or control, (ii) are zoned to allow compatible non-residential uses, or (iii) are combined into a single parcel, then any minimum building, pavement, or landscaping setback standards set forth in this text as they apply to common property lines shall no longer apply with respect to these parcels. Section 1153.04(g) of the Codified Ordinances also shall apply to this Zoning District.

IV. Architectural Standards:

- A. Building Height: The maximum building height for structures in this Zoning District shall be 85 feet, subject to Section 1165.03 of the Codified Ordinances.
- B. Service with Loading Areas: Service areas and loading areas shall be screened in accordance with the Codified Ordinances.
- C. Building Design:
 1. Building designs shall not mix architectural elements or ornamentation from different styles.

2. Buildings shall be required to employ comparable use of materials on all elevations.
3. The number, location, spacing, and shapes of windows and door openings shall be carefully considered. Primary entrances to buildings shall be made sufficiently prominent that they can be easily identified from a distance.
4. For office buildings and complexes, achieving a human or pedestrian scale is of less concern. When achieving such a scale is desired, it may be achieved by careful attention to width of facades, size and spacing of window and door openings, and floor to floor heights on exterior walls.
5. All elevations of a building that are visible from a public right-of-way shall receive similar treatment in terms of style, materials, and design so that such elevations are not of a lesser visual character than any other.
6. Use of elements such as shutters, cupolas, dormers, and roof balustrades shall be avoided in building designs that are not based on traditional American architectural styles. Such elements may be employed only when they are common elements of a specific style, and this style shall be replicated in its entirety. When shutters are employed, even if they are non-operable, they must be sized and mounted in a way that gives the appearance of operability.
7. Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, basement window enclosures, and trash containers shall be designed, located, or screened so as to minimize their visibility and visual impact from off-site. Solar energy systems shall be excluded from the requirements of this section.
8. Accessory or ancillary buildings, whether attached or detached, shall be of similar design, materials and construction as the nearest primary structure. Fenestration themes that employ windows, panels, and piers that are consistent with the architectural vocabulary of the buildings that are encouraged. Accessory structures, generators, storage tanks, trash receptacles or any other similar improvement must be located behind a building façade that does not front on a public right-of-way.

D. Building Form:

1. All building elevations shall be designed to be compatible with each other and to reflect a consistent design approach.

2. Gable or hip roofs shall be avoided unless a building design replicates a traditional American architectural style that employs such roof forms. In non-stylistic contemporary designs, low or flat roofs may be employed. Roof visibility shall be minimized.

E. Materials:

1. Exterior building materials shall be appropriate for contemporary suburban designs and shall avoid overly reflective surfaces. Traditional materials such as, but not limited to, wood, stone, brick, and concrete shall be permitted, and contemporary materials such as, but not limited to, aluminum, metal, glass, stucco, or cementitious fiberboard (e.g., hardiplank or equivalent) shall be permitted on buildings not employing traditional styles. Architectural precast concrete panels and/or poured-in-place concrete tilt-up panels shall be permitted. The use of reflective or mirrored glass shall be prohibited.
2. Prefabricated metal buildings and untreated masonry block structures are prohibited. Notwithstanding the foregoing, ancillary structures built and operated for the purpose of enclosing equipment and which are not occupied by tenants or persons on a regular basis may be constructed using pre-engineered metal.
3. Generally, the quantity of materials selected for a building shall be minimized.
4. Loading docks are not required to have the same degree of finish as a main entry unless they are visible from a public right-of-way.
5. Additional Standards for Uses Not Governed by DGRs: Buildings that are constructed for industrial and data center uses are not subject to the Design Guidelines & Requirements (DGRs) and can present challenges in meeting the community standard for architectural design. Such buildings are necessarily large and typically include long walls that together form a square or rectangular box. The goal for the development of buildings that are not subject to the DGRs is to balance the practical needs of these buildings with the desire to provide exterior designs that are attractive and complementary to the architecture that will be found elsewhere in this Zoning District.

Architecture by its nature is a subjective medium, meaning that the adoption of strict objective standards in all instances may not provide the best means for achieving appropriate design. In recognition of this fact, the standards set forth herein provide guidelines and suggestions for designing buildings that are not subject to the DGRs in an effort to set expectations for the quality of architecture that will be expected for these structures. On the other hand, these

standards are meant to allow for some flexibility to encourage innovative design provided that the spirit and intent of these provisions are met.

In conjunction with an application for a certificate of appropriateness for each building or structure in this Zoning District that is not subject to or governed by the DGRs, the applicant shall be required to submit to the City illustrations of the proposed exterior design of the building or structure for review and approval by the Design Review Committee contemplated in Section 1157.08(a)(1)(D) of the City Code. In designing such buildings, the user or applicant shall consider the following, which are intended to set a level of expectation for the quality of design:

- a. Architectural design for all portions of a building or structure that are visible from a public right-of-way (excluding public right-of-way whose primary purpose is to accommodate truck traffic or service loading areas) shall meet the community standard in terms of quality while considering the unique nature of the use(s) that will be found therein.
 - b. Uninterrupted blank wall facades shall be prohibited to the extent that they are visible from a public right-of-way. Design variations on long exterior walls shall be employed in order to create visual interest. Examples of such design variations include, but are not limited to, the use of offsets, recesses and/or projections, banding, windows, and/or reveals; scoring of building facades; color changes; texture or material changes; and variety in building height.
 - c. The use of one or more architectural or design elements may be used to soften the aesthetics of the building, such as but not limited to canopies, porticos, overhangs, arches, outdoor patios, community spaces, or similar devices.
 - d. Contemporary exterior designs, while not required, shall be encouraged in order to create architecture that does not look aged or dated even many years after the facility is built.
 - e. Landscaping and/or the use of existing vegetation shall be utilized where appropriate to enhance the aesthetics of the building and to lessen its visual impact when viewed from public rights-of-way.
6. Roof-Mounted Equipment: Complete screening of all roof-mounted equipment shall be required on all four sides of buildings with materials that are consistent and harmonious with the building's façade and character. Such screening shall

be provided in order to screen the equipment from off-site view and to buffer sound generated by such equipment.

V. Access, Parking, Site Circulation, and Traffic Commitments:

- A. Vehicular Access: The developer shall work with the City Manager or their designee to determine the need for appropriate timing and phasing of street improvements to serve this Zoning District. Subject to other provisions in this text, on public rights-of-way which exist on the date of this text, the number, locations, and spacing of curbcuts shall be determined and approved by the City Manager or their designee in consultation with the developer at the time a certificate of appropriateness is issued for a project in this Zoning District.

The applicant shall conduct an analysis of future traffic demands based on anticipated development and uses within the area as agreed by the City Traffic Engineer. If needed, the developer shall grant easements to the City which are adjacent to the current right-of-way adjacent to the Property to the extent necessary to provide for the installation and maintenance of streetscape improvements. The City Manager or the City Manager's designee shall make the final determination to approve the conclusions of the traffic analysis.

- B. Parking and Loading: Parking and loading spaces shall be provided for each use per Chapter 1167 of the Codified Ordinances of the City of New Albany.

- C. Rights-of-Way: The width of the U.S. Route 62 and Beech Road rights-of-way shall be 100 feet. The developer shall dedicate right-of-way for U.S. Route 62 and Beech Road to the City at a distance of 50 feet as measured from the existing centerline of the respective rights-of-way. The total right-of-way for Green Chapel Road shall be 80 feet. The developer shall dedicate right-of-way for Green Chapel Road to the City at a distance of 40 feet from the existing centerline of Green Chapel Road. The developer shall grant easements to the City which are adjacent to the aforementioned rights-of-way to the extent necessary to provide for the installation and maintenance of streetscape improvements.

- D. Private Roads: Any creation of private roads are subject to staff approval.

VI. Buffering, Landscaping, Open Space, and Screening: A landscaping plan shall be approved as part of the City's review of a certificate of appropriateness application for each portion of this Zoning District that is proposed for development. The following landscaping requirements shall apply to the Zoning District:

- A. Tree Preservation: Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at drip line.
- B. Fencing: A standard New Albany white four-board horse fence may (but shall not be required to) be provided within the public right-of-way.
- C. Stormwater Management: Wet and dry stormwater basins shall conform to the standards set forth in Section 1171.08 of the Codified Ordinances of the City of New Albany.
- D. Street Trees: A street tree row shall be established along Beech Road, U.S. Route 62, and Green Chapel Road and shall contain one (1) tree for every thirty (30) feet of road frontage. Trees may be grouped or regularly spaced. Street trees shall be located within the right-of-way. The minimum street tree size at installation shall be three (3) caliper inches. This requirement may be waived in areas where existing vegetation occurs or in areas subject to overhead electric transmission lines, subject to approval of the City Landscape Architect. All street trees that are not installed prior to infrastructure acceptance shall be bonded to guarantee installation.
- E. Parking Areas: Within this Zoning District, there shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or treed areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles.
- F. Pedestrian Circulation: An 8-foot-wide asphalt leisure trail is required to be installed along the Beech Street frontage of the site.
- G. Minimum On-Site Tree Sizes: Unless otherwise set forth herein, minimum tree size at installation shall be no less than two and one half (2 ½) inches in caliper for shade trees, six (6) feet in height for evergreen trees, two (2) inches in caliper for ornamental trees, and thirty (30) inches in height for shrubs. Caliper shall be measured six (6) inches above grade.
- H. Master Landscape Standards Plan: The City of New Albany Beech Road North District Landscape Standards Master Plan shall apply to this Zoning District. New landscaping installed within the pavement and building setback shall be coordinated and consistent throughout the length of the Zoning District's street frontage.
 - 1. A landscape buffer shall be located within the required minimum pavement and building setback along U.S. Route 62, Beech Road, and Green Chapel Road.

The buffer shall be planted with a minimum quantity of 8 trees per 100 linear feet, in addition to street trees. Trees shall be randomly planted to create a naturalized appearance. Trees shall be of native species. Evergreen trees or shrubs shall not be permitted in the area between the buffer landscape and the edge of street pavement. For landscaping which is not used to meet this zoning text, codified ordinances, or street tree requirements, the minimum caliper of tree material may be reduced to 1" caliper to gain additional plant material.

2. The landscape buffer may consist of mounding. Mounding, when used, shall be a maximum of 12 feet in height. Trees shall be planted on the mound with a minimum of 70% of the trees occurring on the street side. No trees shall be located within the upper quartile of the crest of the mound.

VII. Lighting:

- A. All parking lot and private driveway lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.
- B. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed 30 feet in height.
- C. Lighting details shall be included in the landscape plan which is subject to review and approval by the City Landscape Architect.
- D. Landscape uplighting from a concealed source shall be subject to staff approval. All uplighting fixtures must be screened by landscaping. Lighting details shall be included in the landscape plan which is subject to review and approval by the City Landscape Architect.
- E. No permanent-colored lights or neon lights shall be used on the exterior of any building.
- F. All other lighting on the site shall be in accordance with City Code. Street lighting must meet the City standards and specifications.
- G. Solar panels may be incorporated and installed as appropriate.

VIII. Signage: All signage shall conform to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany.

IX. Utilities: All new utilities (not including substations) installed solely to serve this Zoning District shall be installed underground.



**Annexation Description ~ 115.445± Acres
South Side of Green Chapel Road
East of Beech Road N.W.**

-1-

Situated in the State of Ohio, County of Licking, Township of Jersey, Part of Farm Lots 24 & 25, Quarter Township 2, Township 2, Range 15, United States Military District, being part of that Original 100 acre tract of land as conveyed to Deborah Tripp and Sharon Smart, Trustees of record in Instrument No. 201104140007147, all of the remainder of that 2.00 acre tract of land as conveyed to Bruce & Sharon Smart of record in Instrument No. 199905210021526, all of the remainder of that 2.5 acre tract of land as conveyed to Rusty Allen Smart and Brandi Lynette Smart of record in Instrument No. 202108120024279, all of the remainder of that 1.286 acre tract of land as conveyed to John E. Tripp & Deborah L. Tripp of record in Instrument No. 202103190008235, all of the remainder of that 0.351 acre tract of land as conveyed to John E. Tripp & Deborah L. Tripp of record in Instrument No. 202311070020489, all of that 2.000 acre tract of land as conveyed to Heather M. Hall of record in Instrument No. 201302140004109, all of that 2.641 acre tract of land as conveyed to Robert A. Parsons and Beth A. Parsons, Trustees of record in Instrument No. 201703210005736, all of that 10.003 acre tract of land also conveyed to Robert A. Parsons and Beth A. Parsons, Trustees of record in Instrument No. 201703210005737, that 0.047 acre tract of land as conveyed to the City of New Albany of record in Instrument No. 202501030000151, all of that 0.134 acre tract of land as conveyed to the City of New Albany of record in Instrument No. 202501030000153, all of that 0.169 acre tract of land as conveyed to the City of New Albany of record in Instrument No. 202501090000446, all of that 0.447 acre tract of land as conveyed to the City of New Albany of record in Instrument No. 202501030000151 and all of that 0.267 acre tract of land as conveyed to the City of New Albany of record in Instrument No. 202501030000152, more particularly described as follows:

Beginning, at a northerly corner of the remainder of said Original 100 acre tract, said corner also being the centerline intersection of Johnstown-Utica Road N.W. (U.S. 62) and Green Chapel Road N.W., also being on the Township line between Monroe Township and Jersey Township and being in the northerly line of said Lot 25;

Thence S 87° 03' 41" E, with the northerly lines of the remainder of said Original 100 acre tract, said 0.047 acre tract, said 0.134 acre tract and said Lot 25, along the centerline of said Green Chapel Road N.W. and along said common Township line, 177.02± feet to an angle point;

Thence S 86° 43' 12" E, with the northerly line of said 0.134 acre tract, northerly line of said 0.169 acre tract, the northerly line of said 0.447 acre tract, northerly line of said 0.267 acre tract and said Lot 25, along the centerline of said Green Chapel Road N.W. and along said common Township line, 1255.43± feet to an angle point;

Thence S 86° 38' 45" E, with the northerly line of said 0.267 acre tract, the northerly line of said 2.000 acre tract, the northerly line of said 2.641 acre tract, partially with the northerly line of said Lot 25 and partially with the northerly line of Lot 24, along the centerline of said Green Chapel Road N.W. and along said common Township line, 733.46± feet to an angle point;

Thence S 86° 55' 56" E, with the northerly line of said 10.003 acre tract and said Lot 25, along the centerline of said Green Chapel Road N.W. and along said common Township line, 403.59± feet to the northeasterly corner of said 10.003 acre tract, a northwesterly corner of that 200.968 acre tract of land as conveyed to Sidecat LLC of record in Instrument No. 202412180022512 and being in an existing City of New Albany Corporation line (Ord.#0-04-2023, Instrument No. 202302170002964);

Thence along common lines of said 10.003 acre tract, said 200.968 acre tract and said existing City of New Albany Corporation line, the following two (2) courses and distances:

S 03° 11' 11" W, 831.75± feet to a common corner thereof;

N 86° 40' 21" W, 525.05± feet to a common corner thereof, said corner also being in the easterly line of the remainder of said Original 100 acre tract and in the common line of said Lot 24 and 25;

Thence S 03° 11' 57" W, with a common line of the remainder of said Original 100 acre tract and said 200.968 acre tract, with the common line of said Lot 24 and 25 and along said existing City of New Albany Corporation line, 896.99± feet to a southeasterly corner of the remainder of said Original 100 acre tract, a northeasterly corner of that 79.30 acre tract of land as conveyed to Amazon Data Services Inc. of record in Instrument No. 202301170000954, a common corner of Lot 24, 25, 23 and 26 and in a northerly line of an existing City of New Albany Corporation Line (Ord.#0-28-2022, Instr. No. 202211160027367);

Thence N 86° 39' 21" W, with a southerly line of the remainder of said Original 100 acre tract, a northerly line of said 79.30 acre tract, a northerly line of that 22.57 acre tract of land as conveyed to Amazon Data Services Inc. of record in Instrument No. 202410310019361, along the common line of Lot 25 and Lot 26, across the right-of-way of Beech Road N.W. and along said existing City of New Albany Corporation Line (Ord.#0-28-2022, Instr. No. 202211160027367), 2762.23± feet to the southwesterly corner of the remainder of said Original 100 acre tract, southwesterly corner of Lot 25, the southeasterly corner of Lot 40 and in the centerline of said Beech Road N.W.;

**Annexation Description ~ 115.445± Acres
South Side of Green Chapel Road
East of Beech Road N.W.**

-2-

Thence N 03° 27' 31" E, along the westerly line of the remainder of said Original 100 acre tract, with the common line of said Lot 25 and Lot 40 and along the centerline of said Beech Road N.W., 1251.29± feet to a northwesterly corner of the remainder of said Original 100 acre tract and the centerline intersection of said Beech Road N.W. and said Johnstown-Utica Road N.W. (U.S. 62);

Thence N 59° 41' 35" E, with a northerly line of the remainder of said Original 100 acre tract and along the centerline of said Johnstown-Utica Road N.W. (U.S. 62), 853.80± feet to the **True Point of Beginning**, and containing **115.445± acres**, more or less.

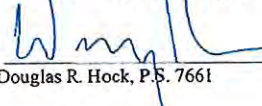
Subject, however, to all legal highways, easements, and restrictions. The above description was prepared by Advanced Civil Design, Inc. on March 17, 2025 and is based on existing records from the Licking County Auditor's Office and the Licking County Recorder's Office. A drawing of the above description is attached hereto and made a part thereof.

The total length of the annexation perimeter is about 9690.6 feet, of which about 5016.0 feet are contiguous with existing Village of New Albany Corporation Lines, being about 51.8% contiguous. This annexation does not create any islands of township property.

This description is to be used for annexation purposes only and not to be used in the transfer of land.

All references used in this description can be found at the Recorder's Office, Licking County, Ohio.



ADVANCED CIVIL DESIGN, INC.

Douglas R. Hock, P.S. 7661 Date: 3/17/25

Z:\24-0002-1495 survey\115.445 ac annexation desc.doc

PRE-APPROVAL	
LICKING COUNTY ENGINEER	
APPROVED <input checked="" type="checkbox"/>	CONDITIONAL <input type="checkbox"/>
APPROVED BY: 	
DATE: 03/18/2025	



AFFIDAVIT OF FACTS

I, Craig Moncrief, in my capacity as attorney for the applicant listed on the zoning application pertaining to 115.5 +/- acres, known as Licking County Auditor Tax Parcel Id. No.'s: 037-111954-00.005, 037-111954-000.006, 037-111954-00.004, 037-111954-00.003, 037-111762-00.001, 037-111954-00.002, and 037-111954-00.000, being first duly sworn, do hereby state and depose the following:

That accompanying this affidavit is a list of all property owners located within two hundred (200) feet of the parcels that are subject of the application and their addresses as appearing on the Licking County Auditor's current tax list; and

That said list is based solely on the records of the Office of the Auditor of Licking County, Ohio, as provided on its website on or about the date of this affidavit.

Further Affiant sayeth not.

By: [Signature]
Craig Moncrief
Attorney, Plank Law Firm, LPA

STATE OF OHIO
COUNTY OF FRANKLIN SS

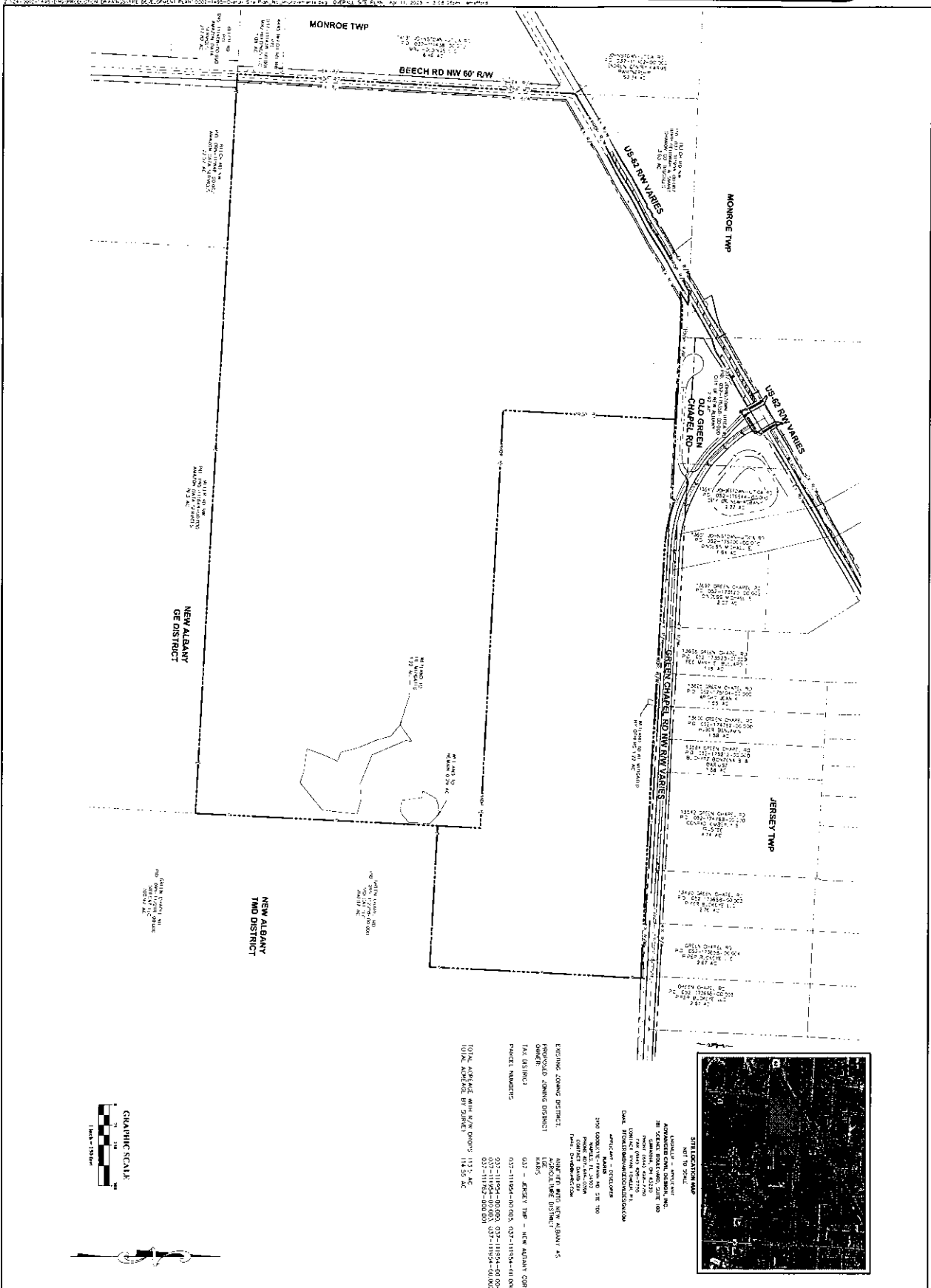
The foregoing instrument was acknowledged before me on the 14 day of April, 2025, by Craig Moncrief, who acknowledged the foregoing signature to be his voluntary act and deed.



Zachary Walker
Attorney at Law
Notary Public, State of Ohio
My Commission Has No Expiration Date
Sec 147.03 RC

[Signature]
Notary Public
My commission expires: N/A

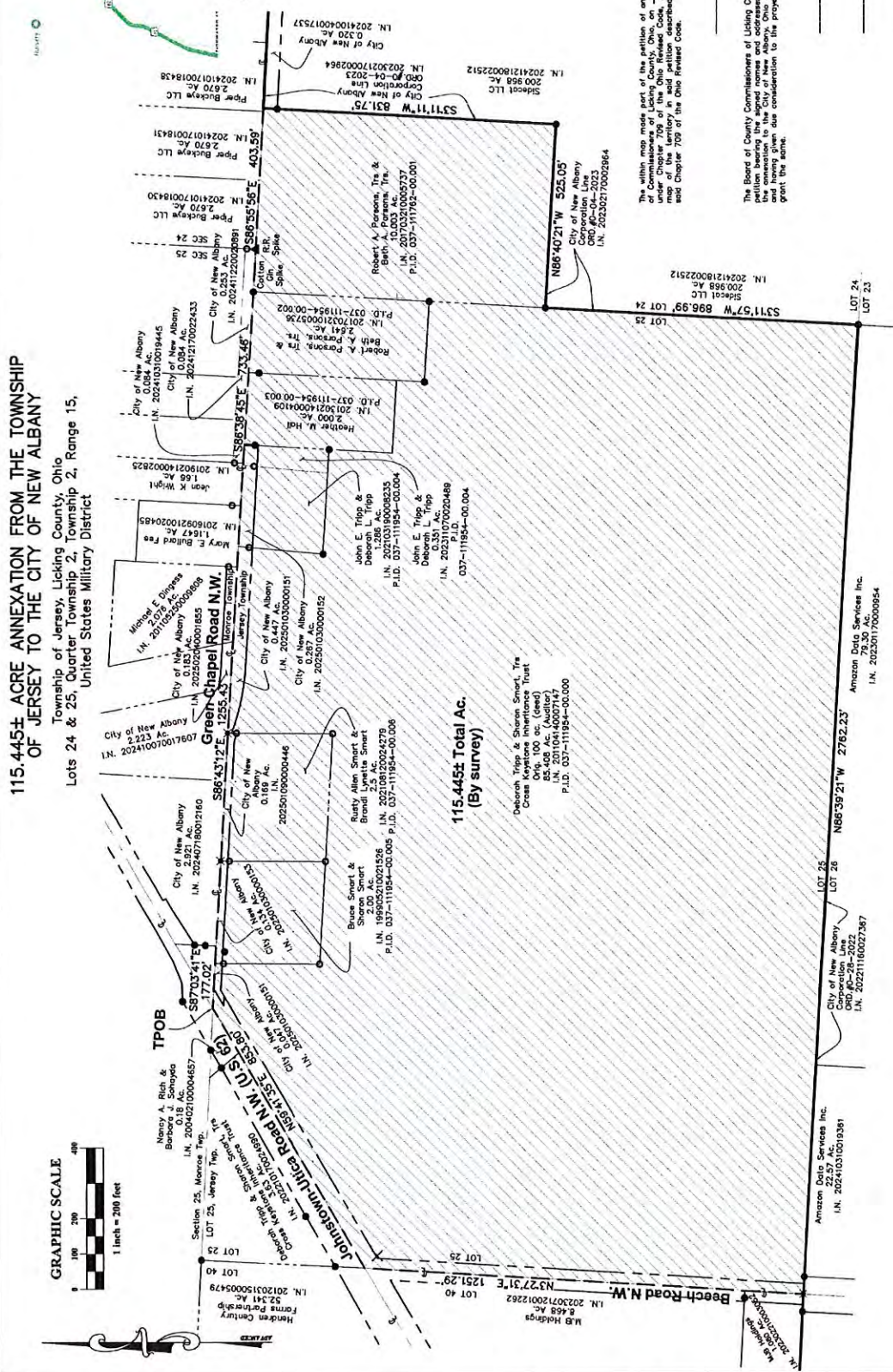
PARCEL NUMBER	OWNER NAME	OWNER ADDRESS	TAX MAILING ADDRESS	PROPERTY ADDRESS
037-111954-00.000	Deborah Tripp & Sharon Smart Trustees	4500 Beech Rd., Johnstown, OH 43031	4500 Beech Rd., Johnstown, OH 43031	4500 Beech Rd., Johnstown, OH 43031
037-111954-00.007	Deborah Tripp & Sharon Smart Trustees	13635 Green Chapel Rd., Johnstown, OH 43031	13635 Green Chapel Rd., Johnstown, OH 43031	Beech Rd., NW, Johnstown, OH 43031
037-111954-00.004	John E. & Deborah L. Tripp	13635 Green Chapel Rd., Johnstown, OH 43031	13635 Green Chapel Rd., Johnstown, OH 43031	13635 Green Chapel Rd., Johnstown, OH 43031
037-111954-00.005	Bruce & Sharon Smart	13857 Green Chapel Rd., NW, Johnstown, OH 43031	13857 Green Chapel Rd., NW, Johnstown, OH 43031	13857 Green Chapel Rd., NW, Johnstown, OH 43031
052-173550-00.000	City of New Albany	99 W. Main St., New Albany, OH 43054	99 W. Main St., New Albany, OH 43054	13703 Johnstown-Utica Rd., NW, Johnstown, OH 43031
052-176544-00.000	City of New Albany	99 W. Main St., New Albany, OH 43054	99 W. Main St., New Albany, OH 43054	13641 Johnstown-Utica Rd., NW, Johnstown, OH 43031
052-176700-00.000	Michael E. Dingess	13601 Johnstown-Utica Rd., Johnstown, OH 43031	13601 Johnstown-Utica Rd., Johnstown, OH 43031	13601 Johnstown-Utica Rd., Johnstown, OH 43031
052-173520-00.002	Michael E. Dingess	13692 Green Chapel Rd., Johnstown, OH 43031	13692 Green Chapel Rd., Johnstown, OH 43031	13692 Green Chapel Rd., Johnstown, OH 43031
037-111954-00.006	RAS & BLS	13775 Green Chapel Rd., NW, Johnstown, OH 43031	Corelogic Tax Services, Escrow Reporting, 3001 Hackberry Rd., Irving, TX 75063	13775 Green Chapel Rd., NW, Johnstown, OH 43031
037-111954-00.001	Nancy A. Rich & Barbara J. Sohayda	13960 Johnstown-Utica Rd., Johnstown, OH 43031	Corelogic Tax Services, Escrow Reporting, 3001 Hackberry Rd., Irving, TX 75063	Johnstown-Utica Rd., Johnstown, OH 43031
052-173016-01.000	Nancy A. Rich & Barbara J. Sohayda	13960 Johnstown-Utica Rd., Johnstown, OH 43031	Corelogic Tax Services, Escrow Reporting, 3001 Hackberry Rd., Irving, TX 75063	13960 Johnstown-Utica Rd., Johnstown, OH 43031
052-172500-00.000	Hendren One LLC	8864 Croton Rd., Johnstown, OH 43031	8864 Croton Rd., Johnstown, OH 43031	Fancher Rd., Johnstown, OH 43031
037-111402-00.000	Hendren Century Farms Partnership	8864 Croton Rd., Johnstown, OH 43031	8864 Croton Rd., Johnstown, OH 43031	Johnstown-Utica Rd., Johnstown, OH 43031
052-173016-01.001	Blanca O. & Paul J. Rooney	13958 Johnstown-Utica Rd., Johnstown, OH 43031	Corelogic Tax Services, Escrow Reporting, 3001 Hackberry Rd., Irving, TX 75063	13958 Johnstown-Utica Rd., Johnstown, OH 43031
037-111954-00.003	Heather M. Hall	13601 Green Chapel Rd., Johnstown, OH 43031	Corelogic Tax Services, Escrow Reporting, 3001 Hackberry Rd., Irving, TX 75063	13601 Green Chapel Rd., Johnstown, OH 43031
052-173520-01.000	Mary E. Bullard Fee	3615 Head of Pond Rd., New Albany, OH 43054	Corelogic Tax Services, Escrow Reporting, 3001 Hackberry Rd., Irving, TX 75063	13656 Green Chapel Rd., Johnstown, OH 43031
052-174762-00.000	Benjamin Huber	13600 Green Chapel Rd., Johnstown, OH 43031	Accumatch, 2711 LBJ Freeway, Dallas, TX 75234	13600 Green Chapel Rd., Johnstown, OH 43031
052-175104-00.000	Jean K. Wright	13626 Green Chapel Rd., Johnstown, OH 43031	Corelogic Tax Services, Escrow Reporting, 3001 Hackberry Rd., Irving, TX 75063	13626 Green Chapel Rd., Johnstown, OH 43031
052-175212-00.000	Bozena B. & Danusz Bilchaz	13584 Green Chapel Rd., Johnstown, OH 43031	Corelogic Tax Services, Escrow Reporting, 3001 Hackberry Rd., Irving, TX 75063	13584 Green Chapel Rd., Johnstown, OH 43031
037-111954-00.002	Beth A. Parsons Trustee	13453 Green Chapel Rd., Johnstown, OH 43031	13453 Green Chapel Rd., Johnstown, OH 43031	Green Chapel Rd., Johnstown, OH 43031
037-111762-00.001	Beth A. Parsons Trustee	13453 Green Chapel Rd., Johnstown, OH 43031	13453 Green Chapel Rd., Johnstown, OH 43031	13453 Green Chapel Rd., Johnstown, OH 43031
052-174798-00.000	Kimberly S. Conrad Trustee	13542 Green Chapel Rd., Johnstown, OH 43031	13542 Green Chapel Rd., Johnstown, OH 43031	13542 Green Chapel Rd., NW, Johnstown, OH 43031
052-173638-00.003	Piper Buckeye LLC	24460 Aurora Rd., Cleveland, OH 44146	24460 Aurora Rd., Cleveland, OH 44146	13490 Green Chapel Rd., Johnstown, OH 43031
052-173656-00.000	Piper Buckeye LLC	24460 Aurora Rd., Cleveland, OH 44146	24460 Aurora Rd., Cleveland, OH 44146	Johnstown-Utica Rd., Johnstown, OH 43031
052-173656-00.004	Piper Buckeye LLC	24460 Aurora Rd., Cleveland, OH 44146	24460 Aurora Rd., Cleveland, OH 44146	Green Chapel Rd., Johnstown, OH 43031
052-173656-00.005	Piper Buckeye LLC	24460 Aurora Rd., Cleveland, OH 44146	24460 Aurora Rd., Cleveland, OH 44146	Green Chapel Rd., Johnstown, OH 43031
037-111438-00.000	MBJ Holdings LLC	8000 Walton Pkwy., Ste. 120, New Albany, OH 43054	8000 Walton Pkwy., Ste. 120, New Albany, OH 43054	14131 Johnstown-Utica Rd., Johnstown, OH 43031
037-111438-00.001	MBJ Holdings LLC	8000 Walton Pkwy., Ste. 120, New Albany, OH 43054	8000 Walton Pkwy., Ste. 120, New Albany, OH 43054	4495 Beech Rd., NW, Johnstown, OH 43031
095-111408-00.000	Amazon Data Services Inc	Amazon Data Services Inc. Real Estate Manager (CMH098), 410 Terry Ave. N, Seattle, WA 98109	Amazon Data Services Inc. Real Estate Manager (CMH098), 410 Terry Ave. N, Seattle, WA 98109	Beech Rd., Johnstown, OH 43031
095-111648-00.000	Amazon Data Services Inc	Amazon Data Services Inc. Real Estate Manager (CMH098), 410 Terry Ave. N, Seattle, WA 98109	Amazon Data Services Inc. Real Estate Manager (CMH098), 410 Terry Ave. N, Seattle, WA 98109	Miller Rd., NW, Johnstown, OH 43031
095-111648-00.002	Amazon Data Services Inc	Amazon Data Services Inc. PO Box 80416, Seattle, WA 98108	Amazon Data Services Inc. PO Box 80416, Seattle, WA 98108	Beech Rd., NW, Johnstown, OH 43031
095-112218-00.000	Sidcat LLC	1 Meta Way, Menlo Park, CA 94025	1 Meta Way, Menlo Park, CA 94025	Green Chapel Rd., New Albany, OH 43054
095-111648-00.003	AEP Ohio Transmission Company Inc	1 Riverside Plaza, 16th Floor, Columbus, OH 43215	1 Riverside Plaza, 16th Floor, Columbus, OH 43215	Miller Rd., NW, Johnstown, OH 43031



F

115.445± ACRE ANNEXATION FROM THE TOWNSHIP OF JERSEY TO THE CITY OF NEW ALBANY

Township of Jersey, Licking County, Ohio
Lots 24 & 25, Quarter Township 2, Township 2, Range 15,
United States Military District



115.445± Total Ac.
(By survey)

Deborah Tripp & Sharon Smart, Trs.
Cross Keystone Inheritance Trust
Orig. 100 ac. (less)
15.25 ac. (less)
84.75 ac. (less)
P.L.D. 037-111954-00.000

The within map made part of the petition of annexation filed with the Board of Commissioners of Licking County, Ohio, on _____, 2025, under Chapter 709 of the Ohio Revised Code, is submitted as an accurate and correct representation of the facts and circumstances under the requirements of said Chapter 709 of the Ohio Revised Code.

The Board of County Commissioners of Licking County, Ohio having received a petition bearing the signed names and addresses of the parties interested in the annexation of the above described land to the City of New Albany, Ohio, and having given due consideration to the prayer of said petition, do hereby grant the same.

Agent for Petitioners

Commissioner

Commissioner

Commissioner

Transferred this _____ day of _____, 2025, upon the application of the office _____
Containing _____ acres.
Transfer Fee _____

Council for the City of New Albany, Ohio, by ordinance _____ passed _____, 2025, and approved by the mayor on _____, 2025, did accept and consent to the annexation of the City of New Albany, Ohio, a municipal corporation.

Attest: _____
Clerk, City of New Albany



Length of Contiguity: ±5016.0 feet
Length of Contiguity: ±5016.0 feet
Percentage of Contiguity: ±51.8%
No islands of township property are created by this annexation.

3/17/25
Douglas R. Hock, P.S. 7661
Date: _____

LEGEND
AREA TO BE ANNEXED
EXISTING CORP LINE
PROPOSED CORP LINE

DRAWN BY: BCK JOB NO. 24-0002-1495
DATE: 03/17/2025 CHECKED BY: DRB
781 Indiana Boulevard, Suite 100
Columbus, Ohio 43206
PH 614-428-7700
FAX 614-428-7755
ADVANCED CIVIL DESIGN
REGISTERED PROFESSIONAL SURVEYOR



**Planning Commission Staff Report
June 16, 2025 Meeting**

**NEW ALBANY COUNTRY CLUB SECTION 30
ZONING AMENDMENT**

LOCATION: Section 30 of the New Albany Country Club (East Nine) (Parts of PID: 222-004458, PID:222-005189 and PID: 222-005193).
APPLICANT: The New Albany Company LLC, c/o Aaron Underhill, Esq.
REQUEST: Zoning Amendment
ZONING: Infill-Planned Unit Development (I-PUD)
STRATEGIC PLAN: Residential District
APPLICATION: ZC-48-2025

Review based on: Application materials received May 28, 2025.

Staff report completed by Jay Henderson, Planner.

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation to rezone 1.08+/- acres from C-PUD NACO 1998 PUD Subarea 1G: Golf Course and East Nine Infill-Planned Unit Development (I-PUD) to East Nine Infill-Planned Unit Development (I-PUD).

The zoning change consists of bringing in approximately 0.11 acres into the East Nine I-PUD zoning and adding a new subarea (3) to the East Nine I-PUD. The rezoning allows for accessory dwelling units (ADUs) as a permitted use within accessory structures in subareas 2 and 3 as well as provides additional development standards for all accessory structures. There are some additional, relatively minor changes to the text compared to how it exists today. To ensure a consistent development pattern is achieved throughout this subdivision, the applicant also requests review and approval of a zoning text modification application which will be reviewed under a separate staff report (TM-49-2025).

Additionally, the applicant requests review and approval of associated final development plan and final plat applications which are also reviewed under separate staff reports (FDP-35-2025 and FPL-40-2025).

II. SITE DESCRIPTION & USE

The 1.08+/- acre development area is currently undeveloped. A majority of the property contains portions of the New Albany Country Club golf course as well as 36 previously platted residential lots, 5 reserves, and three public streets. The surrounding land use includes the golf course and residentially zoned and used land.

III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.09. Upon review of the proposed amendment to the zoning map, the Commission is to make a recommendation to city council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

Per Codified Ordinance Chapter 1159.08 the basis for approval of a preliminary development plan in an I-PUD shall be:

- (a) That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;
- (b) That the proposed development is in general conformity with the Strategic Plan or portion thereof as it may apply;
- (c) That the proposed development advances the general welfare of the Municipality;
- (d) That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;
- (e) Various types of land or building proposed in the project;
- (f) Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density of dwelling units may not violate any contractual agreement contained in any utility contract then in effect;
- (g) Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- (h) Building heights of all structures with regard to their visual impact on adjacent facilities;
- (i) Front, side and rear yard definitions and uses where they occur at the development periphery;
- (j) Gross commercial building area;
- (k) Area ratios and designation of the land surfaces to which they apply;
- (l) Spaces between buildings and open areas;
- (m) Width of streets in the project;
- (n) Setbacks from streets;
- (o) Off-street parking and loading standards;
- (p) The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- (q) The potential impact of the proposed plan on the student population of the local school district(s);
- (r) The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- (s) The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

A. Engage New Albany Strategic Plan

The site is located within the Residential District future land use district. The Engage New Albany Strategic Plan lists the following development standards for the Residential District:

- Organically shaped stormwater management ponds and areas should be incorporated into the overall design as natural features and assets to the community.
- Houses should front onto public open spaces and not back onto public parks or roads.
- All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site.
- A hierarchy of open spaces is encouraged. Each development should have at least one open space located near the center of the development. Typically, neighborhood parks

range from a half an acre to 5 acres. Multiple greens may be necessary in large developments to provide centrally located greens.

- Adequate amounts of open space and parkland are encouraged to be provided on site.
- Rear or side loaded garages are encouraged. When a garage faces the street, the front façade of the garage should be set back from the front facade of the house.
- Any proposed residential development outside of the Village Center shall have a base density of 1 dwelling unit per gross acre in order to preserve and protect the community's natural resources and support the overall land conservation goals of the community. A transfer of residential density can be used to achieve a gross density of 1 dwelling unit per acre.
- Private streets are at odds with many of the community's planning principles such as: interconnectivity, a hierarchy of street typologies and a connected community. To achieve these principles, streets within residential developments must be public.

The Engage New Albany Strategic Plan recommends the following standards as prerequisites for all development proposals in New Albany:

- Development should meet setback recommendations contained in strategic plan.
- Streets must be public and not gated. Cul-de-sacs are strongly discouraged.
- Parks and open spaces should be provided, publicly dedicated and meet the quantity requirements established in the city's subdivision regulations (i.e. 20% gross open space and 2,400 sf of parkland dedication for each lot).
 - All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site. If it cannot be provided on-site, purchasing and publicly dedicating land to expand the Rocky Fork Metro Park or park space for the Joint Parks District is an acceptable alternative.
- The New Albany Design Guidelines & Requirements for residential development must be met.
- Quality streetscape elements, including an amenity zone, street trees, and sidewalks or leisure
- Trails and sidewalks should be provided on both sides of all public streets.
- Homes should front streets, parks and open spaces.
- A residential density of 1 dwelling unit (du) per acre is required for single-family residential and a density of 3 du per acre for age restricted housing.
 - Higher density may be allowed if additional land is purchased and deed restricted. This type of density "offset" ensures that the gross density of the community will not be greater than 1 unit per acre. Any land purchased for use as an offset, should be within the NAPLS district or within the metro park zone.
 - 3 du/acre is only acceptable if 100% age restricted. Otherwise, the federal regulations and criteria for subdivisions to qualify as age-restricted must be accounted for when calculating density (i.e. 80% age restricted and 20% non-age restricted).
 - Age restriction must be recorded as a deed restriction and included as a requirement in the subdivision's zoning text.

B. Use, Site and Layout

1. The proposed amendment will bring 0.11 acres of the golf club zoned property into the East Nine I-PUD zoning and add subarea 3 to the East Nine I-PUD.
2. A school impact statement has been submitted. The applicant estimates that 0.8 students per unit will be generated for a total of 32 students. Based on an assumed 32 students generated, the applicant has projected this development to have a net positive financial impact on the school district.
3. The zoning district is made up of three subareas that are approximately 30.3 acres and permit the following uses:
 - Single-family detached homes, single-family attached homes, and related accessory structures.

- Subarea 1 - This subarea shall have a maximum of 28 units that are proposed to be single-family detached homes.
 - Subarea 2 - This subarea shall have a maximum of 9 units that are proposed to be detached single-family and or attached single-family homes.
 - Subarea 3 – This subarea shall have a maximum of 3 units, which are proposed to be single-family detached or attached homes.
 - Publicly or privately-owned parks and open spaces.
 - Accessory dwelling units permitted within subareas 2 and 3.
4. The zoning text established the following setbacks for Subarea 1.

SETBACKS (SUBAREA 1)	
Front Yard	20 feet
Side Yard	15 feet; 30 feet total
Rear Yard	25 feet

- 5. Subarea 2 and Subarea 3 allow for zero lot line development since attached single-family homes are permitted, so there are no minimum setbacks from any lot lines for parcels within this section.
- 6. Within subareas 2 and 3, accessory structures shall be exempt from the requirements of Codified Ordinance Section 1165.04.

C. Access, Loading, Parking

- 1. The requirements for each subarea are generally the same or similar to the surrounding country club standards pertaining to the minimum off-street parking spaces, road widths, and pavement sections.
- 2. Access, loading, and parking are evaluated as part of the final development plan (FDP-35-2025).

D. Architectural Standards

- 1. Each building will have a maximum height of 35 feet. Homes located on lots 102, 103, 139, and 140 shall not be required to have front doors that face a public road.
- 2. All homes shall be designed in accordance to the City of New Albany’s Design Guidelines and Requirements. The existing zoning text contains the same high-quality standards that have been successful throughout the New Albany Country Club.
- 3. Architecture will be evaluated as part of the final development plan application (FDP-35-2025).

E. Parkland, Buffering, Landscaping, Open Space, Screening

- 1. There are no proposed modifications to the parkland, buffering, landscaping, open space and screening requirements with this amendment and are evaluated under the final development plan staff report (FDP-35-2025).

F. Lighting & Signage

- 1. There are no proposed modifications to the lighting and signage requirements.

G. Other Considerations

- 1. The zoning text states that the final development plan (FDP-35-2025) is permitted to serve as both the preliminary and final development plan of record for this zoning district.
- 2. The zoning text allows structures to encroach into the right-of-way. These encroachments are shown on the final development plan and appear to be limited to the accessory structures that overhang into the right-of-way in subareas 2 and 3. Staff recommends a condition of approval that the placement of these structures be subject to the city engineer’s approval and that the developer is required to enter into a right-of-way

maintenance agreement with the city that is subject to the review and approval of the city attorney (condition #1).

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided no comments.

V. SUMMARY:

The rezoning is consistent with the residential land use recommendations of the New Albany Strategic Plan, in providing versatile housing types for the community and showcasing the high standards throughout the Country Club. The new development will complement the established character of the immediate area and maintain the current connectivity. Additional landscape, architecture, parking, and signage details are reviewed under the final development plan application for the subdivision (FDP-35-2025). The rezoning will not change the estimated number of students and will be consistent with the existing East Nine I-PUD zoning.

VI. ACTION

Suggested Motion for ZC-48-2025:

Move to approve rezoning/preliminary development plan application ZC-48-2025 based on the findings in the staff report, with the following condition (conditions of approval may be added).

1. The final placement of structures in the right-of-way is subject to the city engineer's approval, and the developer is required to enter into a right-of-way maintenance agreement with the city that is subject to the review and approval of the city attorney.
2. Zoning text modification application TM-49-2025 must be approved by the Planning Commission.

Approximate Site Location:





**Planning Commission Staff Report
June 16, 2025 Meeting**

**NEW ALBANY COUNTRY CLUB SECTION 30
ZONING TEXT AMENDMENT**

LOCATION: Section 30 of the New Albany Country Club (East Nine)
APPLICANT: The New Albany Company LLC, c/o Aaron Underhill, Esq.
REQUEST: Zoning Text Amendment
ZONING: Infill-Planned Unit Development (I-PUD)
STRATEGIC PLAN: Residential District
APPLICATION: TM-49-2025

Review based on: Application materials received May 28 and June 5, 2025.

Staff report completed by Jay Henderson, Planner.

I. REQUEST AND BACKGROUND

The applicant requests a modification to the New Albany Country Club Section 30 East Nine I-PUD zoning text to allow:

- Accessory dwelling units (ADUs) on lots 108 and 116 of subarea 2;
- Allow accessory structures in front of the principle structure in subareas 2 and 3;
- The architectural standards for lots 102, 103, 139, and 140 do not require to have front doors that face a public road as outlined within the city's Design Guidelines and Requirements;
- Allows structures within subarea 2 (Lots 108 and 116) and subarea 3 to encroach into the right-of-way and extend across lot lines; and
- The zoning text states that the final development plan (FDP-35-2025) is permitted to serve as both the preliminary and final development plan of record for this zoning district.

The current zoning text does not speak on these proposed standards, and in lieu of the developer coming back to the commission with multiple variances, they have worked with staff to develop clear and precise standards for these uses and facilitate a consistent development pattern within this zoning district.

The applicant also requests review and approval of a final plat, final development plan, and zoning amendment applications associated with New Albany Country Club Section 30. These applications are reviewed under separate staff reports (FDP-35-2025, FPL-40-2025, and ZC-48-2025).

II. SITE DESCRIPTION & USE

The New Albany Country Club Section 30 includes 40 single-family lots that are currently vacant and undeveloped. There are 3 subareas included within Section 30. Subarea 1 includes 28 units, subarea 2 includes 9 units, and subarea 3 includes 3 units.

III. NEW ALBANY STRATEGIC PLAN

The site is located within the Residential District land use district. The Engage New Albany Strategic Plan lists the following development standards for the Residential District:

- Organically shaped stormwater management ponds and areas should be incorporated into the overall design as natural features and assets to the community.
- Houses should front onto public open spaces and not back onto public parks or roads.
- All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site.
- A hierarchy of open spaces is encouraged. Each development should have at least one open space located near the center of the development. Typically, neighborhood parks range from a half an acre to 5 acres. Multiple greens may be necessary in large developments to provide centrally located greens.
- Adequate amounts of open space and parkland are encouraged to be provided on site.
- Rear or side loaded garages are encouraged. When a garage faces the street, the front façade of the garage should be set back from the front facade of the house.
- Any proposed residential development outside of the Village Center shall have a base density of 1 dwelling unit per gross acre in order to preserve and protect the community's natural resources and support the overall land conservation goals of the community. A transfer of residential density can be used to achieve a gross density of 1 dwelling unit per acre.
- Private streets are at odds with many of the community's planning principles such as: interconnectivity, a hierarchy of street typologies and a connected community. To achieve these principles, streets within residential developments must be public.

IV. ASSESSMENT

Review is based on the city's Strategic Plan, existing zoning text, and planning, subdivision and zoning regulations, including the design standards. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1159.08 the basis for approval of an I-PUD shall be:

- That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- That the proposed development is in general conformity with the Strategic Plan or portion thereof as it may apply;*
- That the proposed development advances the general welfare of the Municipality;*
- That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- Various types of land or building proposed in the project;*
- Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density of dwelling units may not violate any contractual agreement contained in any utility contract then in effect;*
- Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- Building heights of all structures with regard to their visual impact on adjacent facilities;*
- Front, side and rear yard definitions and uses where they occur at the development periphery;*
- Gross commercial building area;*
- Area ratios and designation of the land surfaces to which they apply;*
- Spaces between buildings and open areas;*
- Width of streets in the project;*
- Setbacks from streets;*
- Off-street parking and loading standards;*
- The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- The potential impact of the proposed plan on the student population of the local school district(s);*

- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) *Adjacent land use.*
- (b) *The relationship of topography to the use intended or to its implications.*
- (c) *Access, traffic flow.*
- (d) *Adjacent zoning.*
- (e) *The correctness of the application for the type of change requested.*
- (f) *The relationship of the use requested to the public health, safety, or general welfare.*
- (g) *The relationship of the area requested to the area to be used.*
- (h) *The impact of the proposed use on the local school district(s).*

V. EVALUATION

1. The applicant requests a modification to the New Albany Country Club Section 30 East Nine I-PUD zoning text to allow:
 - a. Accessory dwelling units (ADUs) on lots 108 and 116 of subarea 2;
 - b. Allow accessory structures in front of the principle structure in subareas 2 and 3.
 - c. The architectural standards for lots 102, 103, 139, and 140 do not require to have front doors that face a public road as outlined within the city's Design Guidelines and Requirements.
 - d. Allows structures within subarea 2 (Lots 108 and 116) and subarea 3 to encroach into the right-of-way and extend across lot lines; and
 - e. The zoning text states that the final development plan (FDP-35-2025) is permitted to serve as both the preliminary and final development plan of record for this zoning district.
2. The New Albany Strategic Plan encourages the development of diverse housing options that cater to people of all stages of life. The proposed zoning text modifications encourage a unique development pattern that has yet to be established in other areas of the community and will provide the city with additional housing options as recommended in the Engage New Albany Strategic Plan.
3. The applicant provided staff with concept drawings illustrating the desired development pattern that is envisioned in the zoning text, which are attached to the text as exhibits. The proposed development pattern showcases a high level of architectural character and design as recommended in the New Albany Design Guidelines and Requirements, which contribute to and complement the overall character of the community.
4. The proposed modification limits the use of accessory dwelling units to 5 lots, which is approximately 12% of the overall development in Section 30.
5. The text modification allows structures to encroach into the right-of-way. These encroachments are shown on the final development plan and appear to be limited to the accessory structures that overhang into the right-of-way in subareas 2 and 3. Staff recommends a condition of approval that the placement of these structures be subject to the city engineer's approval and that the developer is required to enter into a right-of-way maintenance agreement with the city that is subject to the review and approval of the city attorney.

VI. SUMMARY

The New Albany Strategic Plan promotes diverse housing options in the city, and this change exemplifies that vision. By introducing a mix of housing types, this project reflects the city's commitment to allowing residents to age in place and choose from a range of residential options that best suit their life stages and lifestyle.

In lieu of individual variances, the developer has taken a proactive approach to coordinate with staff to craft a thoughtful and strong development text for the Planning Commission to consider. This proposal highlights the high level of coordination that is needed to maintain the quality of our built environment. The project reflects the shared commitment to excellence in design and long-term growth. It reinforces the city's strategic goal of facilitating a well-planned, attractive development that enhances the character and atmosphere of the City of New Albany.

VII. ACTION

Suggested Motion for TM-49-2025:

Move to approve zoning text modification application TM-49-2025 (conditions of approval may be added).

1. The final placement of structures in the right-of-way is subject to the city engineer's approval, and the developer is required to enter into a right-of-way maintenance agreement with the city that is subject to the review and approval of the city attorney.
2. TM-49-2025 will become null and void if council does not approve the pending rezoning application (ZC-48-2025).

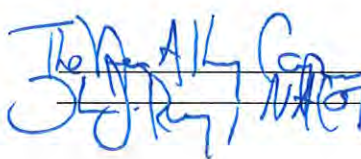
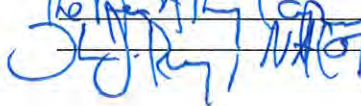
Approximate site location:



Source: Google Earth



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																									
Project Information	<p>Site Address <u>Head of Pond and Baughman Grant - New Albany Country Club Section 30</u></p> <p>Parcel Numbers <u>222-005180 through 222-005220, 222-0001668, and a limited portion of 222-004458</u></p> <p>Acres <u>30.1</u> # of lots created <u>40 lots and 7 reserves</u></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Choose Application Type</th><th style="width: 50%;">Description of Request:</th></tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td><td>NACC Section 30</td></tr> <tr> <td><input type="checkbox"/> Certificate of Appropriateness</td><td>Zoning Amendment (ZC-48-2025)</td></tr> <tr> <td><input type="checkbox"/> Conditional Use</td><td>Zoning Text Modification (TM-49-2025)</td></tr> <tr> <td><input checked="" type="checkbox"/> Development Plan</td><td>Final Development Plan (FDP-35-2025)</td></tr> <tr> <td><input checked="" type="checkbox"/> Plat</td><td>Final Plat (FPL-40-2025)</td></tr> <tr> <td><input type="checkbox"/> Lot Changes</td><td></td></tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td></tr> <tr> <td><input checked="" type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr> <tr> <td><input checked="" type="checkbox"/> Zoning Text Modification</td><td></td></tr> </tbody> </table>		Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	NACC Section 30	<input type="checkbox"/> Certificate of Appropriateness	Zoning Amendment (ZC-48-2025)	<input type="checkbox"/> Conditional Use	Zoning Text Modification (TM-49-2025)	<input checked="" type="checkbox"/> Development Plan	Final Development Plan (FDP-35-2025)	<input checked="" type="checkbox"/> Plat	Final Plat (FPL-40-2025)	<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input checked="" type="checkbox"/> Zoning Amendment (Rezoning)		<input checked="" type="checkbox"/> Zoning Text Modification					
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Phone Number	614-939-8000	Phone Number	614-939-8000																							
Email	aaron@uhlfirm.com	Email	trubey@newalbanycompany.com																							
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner <u></u> Date: <u>6-6-25</u></p> <p>Signature of Applicant <u></u> Date: <u>6-6-25</u></p>																									

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

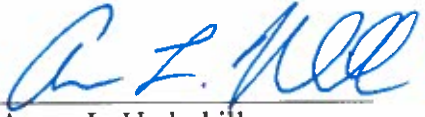
AFFIDAVIT OF FACTS

I, Aaron L. Underhill, in my capacity as attorney for the applicant listed on the zoning application pertaining to The East Nine I-PUD Zoning District, being first duly sworn, do hereby state and depose the following:

That accompanying this affidavit is a list of all property owners located within two hundred (200) feet of the parcel(s) that are the subject of the application and their addresses as appearing on the Licking County Auditor's current tax list; and

That said list is based solely on the records of the Office of the Auditors of Franklin County, Ohio, as provided on its website on or about the date of this affidavit.

Further Affiant sayeth not.

By: 
Aaron L. Underhill
Attorney, Underhill & Hodge LLC

STATE OF OHIO
COUNTY OF FRANKLIN SS.

The foregoing instrument was acknowledged before me on the 28th day of May, 2025, by Aaron L. Underhill, who acknowledged the foregoing signature to be his voluntary act and deed.



Justin M. Fox
Attorney At Law
Notary Public, State of Ohio
My Commission Does Not Expire
Sec. 147.03 R.C.


Notary Public

My Commission Expires:

APPLICANTS:

The New Albany Company
8000 Walton Parkway Suite 200
New Albany, OH 43054

PROPERTY OWNERS:

The New Albany Company
8000 Walton Parkway Suite 200
New Albany, OH 43054

ATTORNEY:

Aaron Underhill, Esq.
Underhill & Hodge LLC
8000 Walton Parkway Suite 120
New Albany, OH 43054

SURROUNDING PROPERTY OWNERS:

Jamie Brown
4040 Baughman Grant
New Albany, OH 43054

New Albany Country Club Community
Association Inc
P.O. Box 689
New Albany, OH 43054

MLLK LLC
7380 Lambton Park Road
New Albany, OH 43054

Candace and Michael Siegenthaler
7402 Lambton Park Road
New Albany, OH 43054

Arthur Scherbel
3898 Baughman Grant
New Albany, OH 43054

Gregory Searcy
7368 Lambton Park Road
New Albany, OH 43054

Saha Rina, Tr.
7348 Lambton Park Road
New Albany, OH 43054

Darren and Tara Miller
7300 Lambton Park Road
New Albany, OH 43054

Stephen Berardino, Tr.
3842 Lambton Place
New Albany, OH 43054

Irving Dennis
3856 Lambton Place
New Albany, OH 43054

John Dallepezze, Tr.
7216 Lambton Place
New Albany, OH 43054

Dast LLC
3853 Lambton Place
New Albany, OH 43054

Matthew Golis, Tr.
7240 Lambton Place
New Albany, OH 43054

Matthew Gibson, Tr.
7181 Lambton Park Road
New Albany, OH 43054

Kevin and Elaine Oak
7153 Lambton Park Road
New Albany, OH 43054

Ashley Stoner
7153 Lambton Park Road
New Albany, OH 43054

Monica Morgan Whitehead
945 Walnut Street
New Albany, Ohio 43054

Gregory Betchkal
7476 Fenway Road
New Albany, OH 43054

Jennifer Gode
4220 Baughman Grant
New Albany, OH 43054

Ryan Surmay
7502 Goodrich Square
New Albany, OH 43054

Gloria Galloway, Tr.
4184 Baughman Grant
New Albany, OH 43054

Mark Rinkov
7543 N. Goodrich Sq.
New Albany, OH 43054

Jeffrey Oehler
4158 Baughman Grant
New Albany, OH 43054

Everett Gallagher
7568 S. Goodrich Sq.
New Albany, OH 43054

Kathy Worly, Tr.
4130 Baughman Grant
New Albany, OH 43054

Catherine Krawczeski
4120 Baughman Grant
New Albany, OH 43054

Tomothy Stehle
4060 Baughman Grant
New Albany, OH 43054

4090 Baughman Grant LLC
4090 Baughman Grant
New Albany, OH 43054

FERRITER MICHAEL
FERRITER MARGARET ELLEN
7489 LAMPTON PARK RD
NEW ALBANY OH 43054

RUCH KENNETH E
3720 HEAD OF POND
NEW ALBANY OH 43054

KOUSHIK SRINIVAS
7465 LAMPTON PARK RD
NEW ALBANY OH 43054

YOUNES MARIAM WAJDI
3731 HEAD OF POND RD
NEW ALBANY OH 43054

FARAH ABDIRIZAK
7433 LAMPTON PARK RD
NEW ALBANY, OH 43054-8581

HALL BRIAN
7407 LAMPTON PARK RD
NEW ALBANY OH 43054

BEREND CYNTHIA P
7419 HELMSLEY GR
NEW ALBANY OH 43054

COLON FERNANDO I
7416 HELMSLEY GREEN
NEW ALBANY OH 43054

OSPREY INC
629 N HIGH STREET STE 500
COLUMBUS OH 43215

GIBSON MICHAEL P
4000 BAUGHMAN GRANT
NEW ALBANY OH 43054

HEUERMAN JEFF
3980 BAUGHMAN GRANT RD
NEW ALBANY OH 43054

3954 BAUGHMAN GRANT LLC
3954 BAUGHMAN GRANT
NEW ALBANY OH 43054

SLIMAN SEAN MICHAEL
5420 N SANTA MONICA BLVD
MILWAUKEE WI 53217

BRANNON JUSTIN LEE
6792 HEADWATER TRL
NEW ALBANY OH 43054

KREITZER MICHAEL
3993 REDFORD CT
NEW ALBANY OH 43054

SNYDER JESSICA
121 N GREEN BAY ROAD
LAKE FOREST IL 60045

MIZESKO MICHAEL F
7614 BRANDON RD
NEW ALBANY OH 43054

MOSLEY DWIGHT E TR
7640 BRANDON RD
NEW ALBANY OH 43054

3946 REDFORD LLC
3946 REDFORD CT
NEW ALBANY OH 43054

GARDNER KATHRYN G
7674 BRANDON RD
NEW ALBANY OH 43054

HARRIS JAMES J
1728 VICTORIA CIR
VERO BEACH, FL 32967-7292

HARRIS JAMES J
1728 VICTORIA CIR
VERO BEACH, FL 32967-7292

MCCARTER JESS
7692 BRANDON RD
NEW ALBANY, OH 43054-9006

FLINN JAMES C
7708 BRANDON RD
NEW ALBANY, OH 43054

IMANI ALI R
3888 FARBER CT
NEW ALBANY OH 43054

GOODMAN HEATHER E TR
7726 BRANDON RD
NEW ALBANY OH 43054

TAYLOR BENJAMIN C
7754 BRANDON RD
NEW ALBANY OH 43054

TSOU HUNTER UNA TTEE
7786 BRANDON RD
NEW ALBANY OH 43054

GITTINS MARK E
7963 LAMBTON PARK RD
NEW ALBANY OH 43054

MORRISON DOUGLAS M
7805 BRANDON RD
NEW ALBANY, OH 43054

BONADIES MICHAEL P
7935 LAMBTON PARK RD
NEW ALBANY OH 43054

BAKER CHRISTINE A
7762 CHETWOOD CLOSE
NEW ALBANY OH 43054

DADLANI ALICIA L
7911 LAMBTON PARK DR
NEW ALBANY OH 43054

ARLIN SCOTT WILLIAM TR
7877 LAMBTON PARK RD
NEW ALBANY OH 43054

BREEN MARY BETH TR
7761 CHETWOOD CLOSE
NEW ALBANY OH 43054

KING GALE V TR
7857 LAMBTON PARK RD
NEW ALBANY OH 43054

DAVIS LYNDA M TTEE
7153 LAMBTON PARK RD
NEW ALBANY OH 43054

KISTNER MATTHEW T
7829 LAMBTON PARK RD
NEW ALBANY OH 43054

WHITE JOHN B
7781 PEMBROOKE PASS
NEW ALBANY OH 43054

DESMARTEAU JACQUES M
7809 LAMBTON PARK ROAD
NEW ALBANY OH 43054

BLACK SYLVESTER M
7755 LAMBTON PARK RD
NEW ALBANY OH 43054

NARDELL MARK
7674 ROXTON CT
NEW ALBANY OH 43054

MOHSENI MARYAM TR
7727 LAMBTON PARK RD
NEW ALBANY OH 43054

LIEBERT JASON E
7675 ROXTON CT
NEW ALBANY OH 43054

BERLINER SCOTT R
7711 LAMBTON PARK DR
NEW ALBANY OH 43054

HOBART TIMOTHY J
7652 SUTTON PL
NEW ALBANY OH 43054

CARROLL MATTHEW
7685 LAMPTON PARK RD
NEW ALBANY OH 43054

MACKINLAY ALISON
7667 LAMBTON PARK RD
NEW ALBANY OH 43054

HUTKAI STEVEN J
7627 LAMBTON PARK RD
NEW ALBANY OH 43054

CHAKY DAVID M TR
7609 LAMBTON PARK RD
NEW ALBANY OH 43054

FREY BRADLEY T
3615 SHIRLEY CT
NEW ALBANY, OH 43054

MALIK MICHELLE S TR
7591 LAMBTON PARK RD
NEW ALBANY OH 43054

WOOLDRIDGE PIERRE
7573 LAMBTON PARK RD
NEW ALBANY OH 43054

COTELL STEPHANIE TR
3645 EYRE HALL PASS
NEW ALBANY OH 43054

SUMON MUHAMMAD
9203 CAMBRIAN COMMONS
DRIVE
COLUMBUS OH 43240

ROUSE ALEXANDER TR
7588 ALPATH RD
NEW ALBANY OH 43054

VAUGHAN CHRISTOPHER
7511 LAMBTON PARK RD
NEW ALBANY OH 43054

ELIAV-GREENSHTEIN OFRA
3651 DRAYTON HALL N
NEW ALBANY OH 43054

SINGH ARJUN
7444 FARMINGTON CLOSE
NEW ALBANY OH 43054



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New Albany, Ohio 43054

P: 614.335.9321
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aaron@uhlawfirm.com

May 28, 2025

Chris Christian
Planner
City of New Albany
99 W. Main Street
New Albany, Ohio 43054

RE: School Impact of East Nine Residential Development

Dear Chris:

The New Albany Company LLC (NACO) has filed a rezoning and preliminary development plan application for the East Nine I-PUD that it intends to develop with 40 single-family homes. Prior to the approval of the proposed rezoning, the subject property is located within Subarea 1.d (Lambton Park Central Cluster) of the 1998 NACO PUD. A subdivision consisting of 36 lots was previously approved for the property pursuant to that zoning classification. The purpose of this letter is to highlight how this project will be financially beneficial to the New Albany-Plain Local School District (NAPLSD).

The property is located within the New Albany Country Club (NACC) community and sits among and between golf holes on the NACC golf course. Due to its prime location, and the enhancements to the subdivision that the rezoning will facilitate, it is anticipated that each home will be valued at no lower than \$1,500,000, with the average value throughout the subdivision likely to be even higher. Homes will be custom built for each individual buyer/owner, and construction of all homes is anticipated to occur over five years or more.

Historically, the assumption used in school impact statements in New Albany has been that 0.8 students will be generated for each single-family home. The latest information available from the NAPLSD indicates that the annual cost to educate one student in the school district is \$12,248¹, and that 86% of the funding of these costs is produced at the local level². Therefore, the annual local cost to educate a student is \$9,798 (0.86 x \$12,248 = \$9,798). If one assumes the typical average that is used in school impact statements for the City, an average of 0.8 students will reside in a single-family home, yielding a projected 32 students (0.8 students per home x 40 homes = 32 students). This translates to an annual total cost to educate students from this community of \$313,536 (32 students x \$9,798 annual local cost to educate on student = \$313,536).

On the other hand, a home valued at \$1,500,000 will generate \$15,032 in annual taxes for the school district, calculated as follows:

\$1,500,000 home value x .35 = \$525,000 assessed value

¹ Source: NAPLS website, pertaining to fiscal year 2022-2023. See <https://www.napls.us/our-district/treasurer/how-we-compare>

² Source: NAPLS Financial Forecast dated May 2024. See <https://www.napls.us/our-district/treasurer/monthly-financial-reports>

\$525,000 assessed value x .064423 total residential effective millage rate³ = \$33,822 total annual taxes

\$33,974 total annual taxes x 0.5759 school district share⁴ = \$19,478 annual school taxes per home

\$19,565 school taxes per home x 40 homes = \$779,120 total annual school taxes

So, using a conservative assumption on home values and the historic assumption for number of students that will live in the community, the proposed community will yield a net positive annual financial benefit to the school district of \$465,584. This is enough surplus to cover the annual local costs of educating more than 45 students residing elsewhere in the district. Even if the number of students per home trends higher than the norm (which is not expected), the difference between taxes generated and costs to educate students is such that it is clear the subdivision will result in a positive financial outcome for the NAPLSD. This is true even without assuming that the average home value is likely to trend higher.

We look forward to more dialogue on this application and its benefits as we move through the City's review process.

Sincerely,



Aaron L. Underhill

³ Per Franklin County Auditor's 2023 tax rate

⁴ Source: Franklin County Auditor



September 13, 2024

Mr. Steve Mayer
City of New Albany
Development Department
99 West Main Street
New Albany, OH 43054

Subject: Country Club Section 30 'Blenheim' – Environmental Compliance

Dear Mr. Mayer,

This letter serves to inform the City of New Albany of environmental conditions associated with the Country Club Section 30 'Blenheim' project, located south of Baughman Grant Road, and west, east, and north of Lambton Park Road, in the City of New Albany, Franklin County, Ohio. The property consists of a partially constructed residential neighborhood with graded lots, streets, and leisure trails.

The property was delineated for Waters of the U.S. in 2016 by the Environmental Department of EMH&T. The property contained an isolated wetland, three jurisdictional wetlands, a pond, and a stream. An Isolated Wetlands Permit was obtained from Ohio EPA in 2017 to impact the isolated wetland, and it was subsequently filled by the New Albany Company (NACO). A permit was also obtained from the U.S. Army Corps of Engineers (USACE) to extend a new road from Baughman Grant into the site and across a wetland and stream. These impacts were completed and the road is in use. The remaining two delineated wetlands are preserved to the north of the lots along Baughman Drive and Head of Pond Ct.

If you have any questions regarding this information or require additional documentation, please do not hesitate to contact me at (614) 775-4515.

Sincerely,

EVANS, MECHWART, HAMBLETON & TILTON, INC.

Robert F. Milligan
Director of Environmental Services
Principal

Cc: Brian Quackenbush, EMH&T

EAST NINE INFILL PLANNED UNIT DEVELOPMENT (I-PUD) ZONING TEXT

June 5, 2025

I. Introduction: The East Nine I-PUD consists of 30.1+/- acres within the New Albany Country Club Communities, being surrounded by the golf course on all four sides. The site has been developed with public infrastructure, including (but not limited to) an extension of Head of Pond Road into the property from Lambton Park Road on the southwest, an extension of Baughman Grant into the property from the north, other internal streets, and utilities and stormwater management infrastructure. While infrastructure has been constructed, no homes have been built within the subdivision.

This rezoning will continue to facilitate estate lots along with a pocket of upscale, clustered housing in the southeastern portion of the development to frame an open space that will be meticulously designed to create a notable feature for the neighborhood. In addition, this rezoning will allow for the construction of occupiable dwelling unit spaces over public streets in up to three locations to create unique architectural features that will set this community apart from others. Other enhancements will be made to the vehicular entrances into the development, and modifications and upgrades are planned to an existing pedestrian overlook over a centralized pond, along with the addition of a second overlook. Most existing asphalt paths have been or will be replaced with a brick sidewalk network internal to the site.

II. Subareas: The vast majority of the site is part of an existing platted subdivision known as The New Albany Country Club Section 30, and prior to the approval of this text is already zoned as the East Nine I-PUD. The East Nine I-PUD as revised herein will continue to include three subareas. Subarea 1 encompasses 25.87+/- acres covering the entire northern and central portions of the development, along with the central portions of the southernmost areas, and will contain estate lots. Subarea 2 totals 3.44+/- acres within the southeastern portion of the development that will accommodate clustered housing. Subarea 3 includes 0.79+/- acres located near the north and south entrances to the community at the intersection of Lambton Park Road and Head of Pond Road and the first residential lot at the Baughman Grant entrance.

III. Development Standards: Homes shall comply with the design guidelines of the development standards in this text. Unless otherwise specified in the submitted drawings or in this written text the development standards of Title Five of Part Eleven of the Codified Ordinances of the City of New Albany shall apply to this zoning district. If there is a conflict between the development standards contained in the Codified Ordinances and this text, the standards contained in this text shall govern.

IV. Subarea 1: The standards and requirements in this Section IV shall apply to Subarea 1.

A. Permitted Uses: Permitted uses include single-family detached homes, related accessory uses, and publicly or privately-owned parks and open spaces.

B. Density, Lot and Setback Commitments:

1. Number of Units: There shall be a maximum of 28 units in Subarea 1.
2. Street Frontage: All lots shall have frontage on and shall have vehicular access to and from a public street.
3. Minimum Lot Width: There shall be a minimum lot width of 90 feet at the building line.
4. Minimum Lot Depth: There shall be no minimum lot depth.
5. Setbacks:
 - a. Front Yards: The minimum front yard setback on a lot shall be 20 feet from the edge of right-of-way.
 - b. Side Yards: The minimum side yard setback on a lot shall be 15 feet.
 - c. Rear Yards: The minimum rear yard setback on a lot shall be 25 feet.
 - d. Encroachments: Stoops, steps, and covered porches shall be permitted to encroach up to 5 feet into the minimum front yard setback.

C. Perimeter Landscaping: Along each perimeter boundary of Subarea 1 which is shared with property that is located outside of this zoning district, enhanced landscaping shall be provided in order to delineate this subdivision from the golf course. Such landscaping shall be provided within a 20-foot wide landscaping easement measured from each such perimeter boundary line. Details for this landscaping are illustrated in the exhibits being provided with the preliminary development plan application which are labeled as “Perimeter Landscape 1 and 2”.

V. Subarea 2: The standards and requirements in this Section V shall apply to Subarea 2.

A. Permitted Uses: Permitted uses include single-family detached and/or attached homes, related accessory uses **including (but not limited to) accessory dwelling units (ADUs) as described in subsection V(C) of this zoning text, and publicly or privately-owned parks and open spaces.**

B. Density, Lot and Setback Commitments:

1. Number of Units: There shall be a maximum of 9 primary single family home units in Subarea 2.

2. Street Frontage: All lots shall have frontage on and shall have vehicular access to and from a public street.

3. Minimum Lot Depth: There shall be no minimum lot depth.

4. Setbacks: There shall be no minimum setbacks from any lot lines for parcels within this subarea for primary or accessory structures (detached or attached). Structures shall be permitted to encroach into the right-of-way and across the lot lines for Lots 108 and 116 (as identified in accompanying preliminary and/or final development plan).

C. Accessory Structures: In this subarea, in addition to other permitted uses for accessory structures as permitted by the Codified Ordinances, accessory structures shall be permitted to be used as accessory dwelling units (ADUs), which are defined as “independent residential dwelling units located on the same lot as a primary single-family home for lots 108 and 116. Accessory structures, on any lot within this subarea, may be located anywhere on a lot, including (without limitation) in the front yard.” An example of an accessory structure which is located in a front yard is illustrated in the exhibit accompanying the preliminary development plan application which is labeled “Close House Exhibits 1-3”. Accessory structures shall be exempt from the requirements of Codified Ordinances Section 1165.04.

VI. Subarea 3: The standards and requirements in this Section VI shall apply to Subarea 3.

A. Permitted Uses: Permitted uses include single-family detached and/or attached homes, related accessory uses, and publicly or privately-owned parks and open spaces.

B. Density, Lot and Setback Commitments:

1. Number of Units: There shall be a maximum of 3 units in Subarea 3.

2. Street Frontage: All lots shall have frontage on and shall have vehicular access to and from a public street.

3. Minimum Lot Depth: There shall be no minimum lot depth.

4. Setbacks: There shall be no minimum setbacks from any lot lines for parcels within this subarea for primary or accessory structures (detached or attached). Structures shall be permitted to encroach into the right-of-way and extend across the lot lines.

(C) Accessory Structures: In this subarea, in addition to other permitted uses for accessory structures as permitted by the Codified Ordinances, accessory structures shall be permitted to be used as accessory dwelling units (ADUs), which are defined as “independent residential dwelling units located on the same lot as a primary single-family home. Accessory structures, on any lot within this subarea, may be located anywhere on a lot, including (without limitation) in the front yard.” An example of an accessory structure which is located in a front yard is illustrated in the exhibit accompanying the preliminary development plan application which is labeled “North Entry House Exhibits 1 and 2”. Accessory structures shall be exempt from the requirements of Codified Ordinances Section 1165.04.

VII. Standards Applicable to All Subareas: The standards and requirements in this Section VII shall be applicable to all subareas:

A. Architectural Standards: All homes shall be designed in accordance with the City’s Design Guidelines and Requirements (DGRs) unless otherwise specified herein. Maximum building heights shall be 35 feet. Homes located on lots 102, 103, 139, and 140 shall not be required to have front doors that face the public road.

B. Access Points: The vehicular access points to and from the zoning district exist and are both from the intersection of Lambton Park Road and Head of Pond Road and from Baughman Grant.

C. Rights-of-Way; Streets: Rights-of-way within this zoning district were previously dedicated to the City of New Albany as provided in that certain plat for The New Albany Country Club Section 30, which is of record with the Office of the Recorder of Franklin County, Ohio in Plat Book 132, Pages 86-89. The subdivision will be re-platted following this rezoning and approval of final development plans in order to reflect the approved standards and requirements of this application. Right-of-way and existing pavement widths shall remain as they exist within this I-PUD as provided in the existing plat and shall be reflected in the re-plat, except that the location of a limited portion of Head of Pond Road shall be modified along the eastern portion of Subarea 2 that has frontage on that street. The modified location of this portion of the street is illustrated in an accompanying exhibit but shall have a final location and specifications as approved in a final re-plat. The re-plat for this subdivision shall provide for a dedication of right-of-way to the City as necessary to accommodate the modified right-of-way location, as well as a dedication of any necessary associated easements. The City shall vacate any right-of-way and easements which are no longer needed to accommodate the street, utilities, or other public improvements once the re-plat is recorded, either as part of that re-plat or by other appropriate City action.

Within Subarea 2, a new public street will be provided in a “loop” configuration. The minimum right-of-way for this street shall be determined as part of the review and approval of a final development plan based on the final design of improvements within this subarea. Pavement for this street shall be a minimum of 20 feet in width unless otherwise approved as part of a final

development plan. This street may be platted as part of the initial re-platting of the subdivision or may be platted as part of a further subsequent re-plat for Subarea 2. Green space within the public street loop shall be permitted to have hardscape and decorative vertical improvements, which may extend into the right-of-way if approved as part of a final development plan. This Reserve shall remain in the ownership of the Homeowners Association. Maintenance will also be the responsibility of the Homeowners Association.

D. Lot Coverage. There shall be no maximum lot coverage ratio in this zoning district.

E. Parking:

1. Off-Street Parking: All homes shall be required to have a minimum of 2 off-street parking spaces on their driveways in addition to a minimum of 2 parking spaces within a garage, except that Lot 140 located near the intersection of Lambton Park Road and Head of Pond Road may have a one-car garage with one parking space on the driveway. Parking areas and garage sites shall be exempt from the requirement in the City's Design Guidelines and Requirements pertaining to Residential Outside of the Village Center, Section I.A.2.

2. On-Street Parking: Parking shall be permitted on both sides of the public streets within Subarea 1 and on one side of the public street in Subarea 2, except in areas where such parking will cause a traffic safety concern, as determined at the time of final development plan approval.

E. Public Sidewalks: A public brick sidewalk shall be located within the right-of-way on both sides of each of Head of Pond Road and Baughman Grant and along the western side of Head of Pond Court. An existing asphalt path shall remain along the east side of Head of Pond Court extending through the golf course to the public park at the intersection of Lambton Park and Brandon Roads. Through the zoning district existing public leisure paths shall be removed to accommodate the brick sidewalks, which shall be a minimum of 4 feet in width.

F. Buffering, Landscaping, Open Space and Screening Commitments:

1. Parkland and Open Space: Parkland shall be dedicated to the City, and privately-owned open spaces shall be provided, in locations as specifically approved as part of one or more final development plans. Ownership of and maintenance responsibilities for these areas shall be defined and approved with the final development plan. To the extent that parkland and/or open space requirements of the City's Codified Ordinances cannot be provided within this zoning district, the developer shall withdraw parkland credits from its parkland bank that was created as part of the 1998 NACO PUD. The quantity of the withdrawal shall be detailed in a final development plan application.

2. Central Stormwater Management Basin. The stormwater management basin that will be centrally located within the development will be located in whole or in part on privately owned lots. The basin shall be maintained by a forced and funded property owners' association and appropriate easements will be provided in a final plat or other recorded easement instrument(s) in order to memorialize the rights and obligations of the association in this regard.

3. Street Trees: Street trees shall be permitted but shall not be required in Subarea 2. If street trees are provided, details regarding their sizes and spacing shall be provided at the time of final development plan approval for this subarea.

4. Exemption to Section 1187.15(c)(6): This zoning district shall be exempt from the requirement of Section 1185.15(c)(6) that would otherwise require all residences to be located within 1,200 feet of playground equipment.

G. Lighting:

1. Uplighting: Uplighting of the exterior of a home shall be prohibited.

2. Street Lights: Street lighting shall be provided at each street intersection with the fixture, color and spacing to be approved at time of final development plan. Street light height shall not exceed 18 feet in height. Street light poles and fixtures shall be consistent in height, color, and appearance throughout Subarea 1.

3. Entry Features: Ground mounted lighting shall be shielded and landscaped.

4. Fixtures: Fully shielded, downcast, cut-off type lighting fixtures shall be required. Exterior lighting fixtures shall be similar in appearance throughout Subarea 1

5. Gas Lights: Gas lights shall be permitted throughout the zoning district.

6. Other Requirements: Except as otherwise expressly provided in this text, lighting shall be provided in accordance with the City's Codified Ordinances.

H. Storage:

1. Storage Sheds: Storage sheds and other prefabricated storage structures shall be prohibited.

2. Equipment Storage: Storage of all maintenance equipment shall be within garages or otherwise screened from off-site view. Such items should not be visible from streets, common open spaces, adjacent lots or developments.

3. Vehicle Storage: All campers, off-road vehicles (i.e. box trucks), and boats, must be parked within an enclosed garage. No undrivable vehicles or parts of vehicles may be stored outside.

I. Garbage Cans: All garbage cans and other waste containers shall be kept in garages or within approved screened areas.

J. Utilities: All new utility lines shall be placed underground.

K. Graphics and Signage Commitments: This zoning district shall utilize standard City of New Albany street regulatory signage. Entry feature signage at the public street entrances into the zoning district from Lambton Park Road and Baughman Grant shall be permitted with designs that are approved by the Planning Commission as part of a final development plan.

XIII. Miscellaneous Standards:

A. Housing Bank: The approved zoning for the property within this zoning district as it exists prior to the approval of this rezoning allows for a maximum of 88 homes to be constructed. A previously approved final development plan and the plat for this subdivision provided for 36 homes to be constructed on the property, with the balance of the 88 homes that are permitted on the site having been deposited into the so-called “housing bank” under the 1998 NACO PUD. This rezoning allows for the construction of up to 40 homes in this zoning district. The applicant shall withdraw 4 units from the housing bank to accommodate the additional homes to be developed in this zoning district as compared to the previously approved subdivision.

B. Variances and Appeals:

1. Nature of Variance: On a particular property, extraordinary circumstances may exist making a strict enforcement of the applicable development standards of this PUD text or the Zoning Ordinance unreasonable and, therefore, the procedure for variance from development standards is provided to allow the flexibility necessary to adapt to changed or unusual conditions, both foreseen and unforeseen, under circumstances which do not ordinarily involve a change of the primary use of the land or structure permitted.

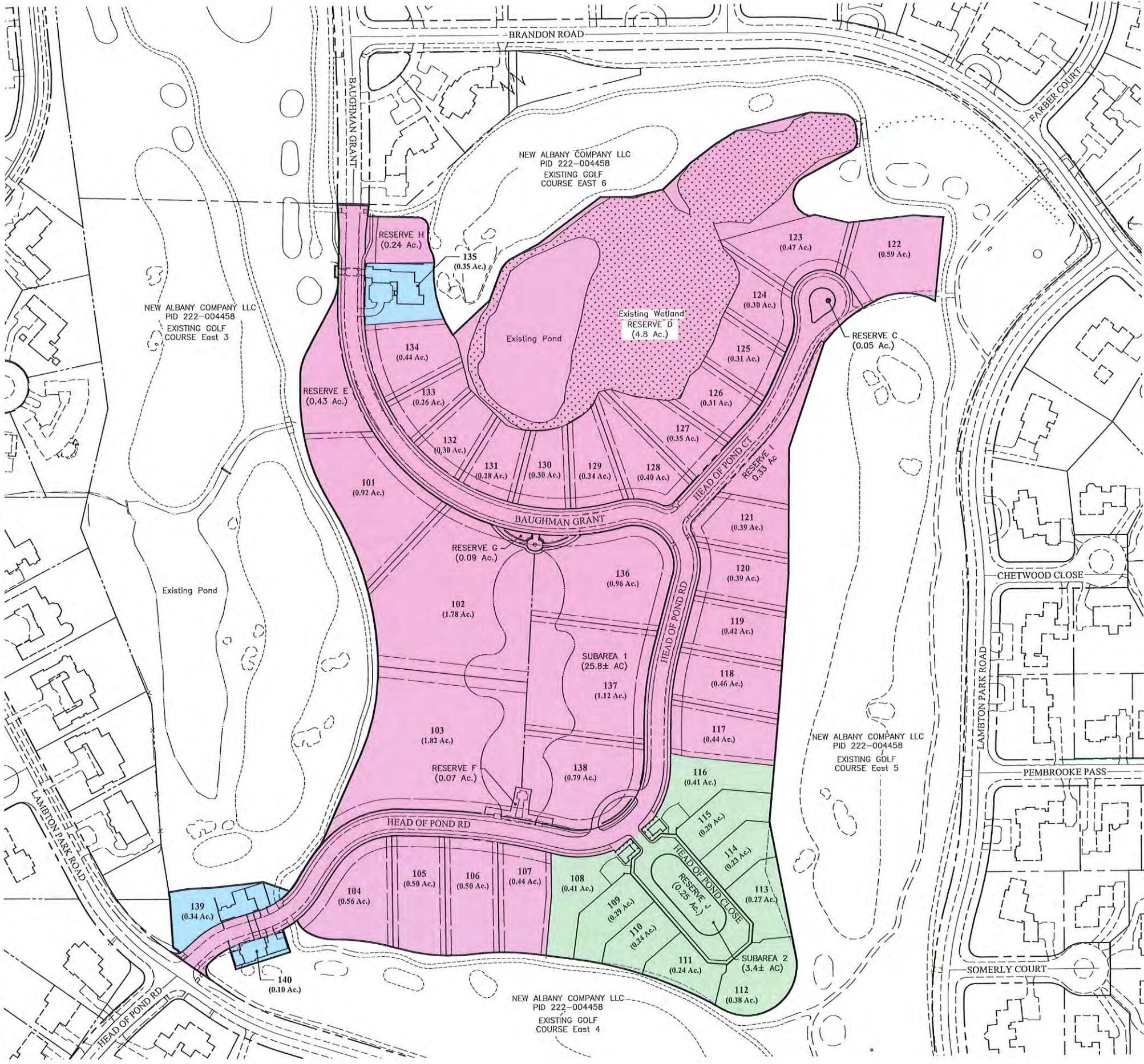
2. Variance and Appeals Process: The procedures and requirements of Chapter 1113, Appeal and Variances, of the Codified Ordinances of the City of New Albany shall be followed in cases of appeals. Requests for variances shall be heard by the Planning Commission.

C. Combined Approvals: Given the nature of the proposed development and the level of detail being provided as part of the preliminary development plan, the preliminary development




plan that has been submitted for this I-PUD also serves as the final development plan for the project.

ZONING TEXT EXHIBITS

\\020201095\Draw\04\Sheet\Exhibit\Zoning Subarea Plan.dwg Plot Date: 5/28/2025 10:46 AM Plot By: hucic Matthew 5/28/2025 10:46 AM (No Xrefs)



LEGEND:

-  SUBAREA 1 (±25.8 ACRES)
-  SUBAREA 2 (±3.4 ACRES)
-  SUBAREA 3 (±0.79 ACRES)



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
EXHIBIT FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
ZONING SUBAREA PLAN



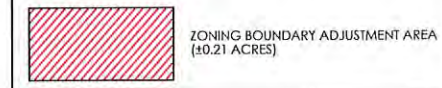
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SCALE	1" = 100'
JOB NO.	20201095
SHEET	1/1

REVISIONS	MARK	DATE	DESCRIPTION

J:\2021\1045\Draw\04\Sheets\Exhibits\Zoning Overlay Exhibit.dwg, Last Saved: 5/28/2025 10:53 AM, Last Printed By: Huckle, Matthew, 5/28/2025 10:54 AM, (No Xrefs)



LEGEND:



Additional Acreage Exhibit

REVISIONS

MARK DATE DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
EXHIBIT FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
ZONING OVERLAY



DATE
May 28, 2025

SCALE
1" = 100'

JOB NO.
20201095

SHEET
1/1



PROPERTY LINE

LOT LINE

LOT NUMBER

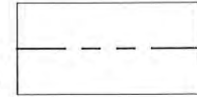
① LANDSCAPE SITE PLAN
1" = 100'-0"

*Brunner
Landscape 1/2*

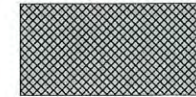
REALM 100 E BROAD STREET STE 1710 COLUMBUS, OHIO 43260 PHONE 614 439 1200		CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO PRELIMINARY PLAT FOR NEW ALBANY COUNTRY CLUB SECTION 30 BLENHEIM LANDSCAPE OVERALL PLAN	THE NEW ALBANY COMPANY 	REVISIONS <table border="1"> <tr> <th>MARK</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	MARK	DATE	DESCRIPTION																											
MARK	DATE	DESCRIPTION																																
DATE May 28, 2025	SCALE 1 inch = 100 feet	JOB NO. 2024-10	SHEET 13/25																															



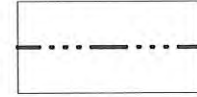
SEEDED LAWN
- TALL FESCUE BLEND
- 6" ITEM 653 TOPSOIL FINE GRADED PRIOR TO SEEDING



PROPERTY LINE

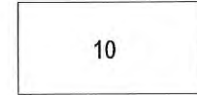


EASEMENT LANDSCAPE MATRIX
- NATIVE SHORT GRASS MIX WITH REGREEN AND DECIDUOUS SHRUB
- MFR: OHIO PRAIRIE NURSERY (WWW.OPNSEED.COM)
- 6" ITEM 653 TOPSOIL FINE GRADED PRIOR TO SEEDING

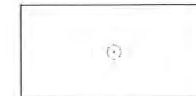


LOT LINE

- DECIDUOUS SHRUB
- RHUS TYPHINA TIGER EYE
- TIGER EYE CUTLEAF SUMAC
- SIZE: 5 GALLON
- PROVIDE (11) PER LOT
- TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT



LOT NUMBER



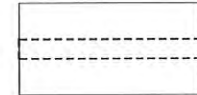
RELOCATED TREES
- PROTECT DURING CONSTRUCTION



EASEMENT FENCE EXTENTS



EASEMENT SHADE TREE TYPE 1 (QTY:45)
- ACER FREEMANII 'JEFFERSRED'
- AUTUMN BLAZE MAPLE
- SIZE: 3" CALIPER
- TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT



REAR LANDSCAPE EASEMENT

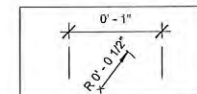


EASEMENT ORN. TREE TYPE 2 (QTY:66)
- CERCIS CANADENSIS 'ALBA'
- WHITE REDBUD
- SIZE: 8" HT
- TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT



NORTHING AND EASTING

NOTES: ALL TREES ARE PROVIDED BY LISTERMAN AND ASSOCIATES. ONLY PROVIDE COST TO INSTALL AND MAINTAIN TREES.
SOILS FOR TREE PLANTINGS: ITEM 653 - COMPOST AMENDMENT FOR TOPSOIL, FURNISHED AND PLACED
3" CAL TREE - PROVIDE 3 CY PER TREE



DIMENSION



1 LANDSCAPE LOT EASEMENT PLAN
1" = 80'-0"

2 20' LANDSCAPE EASEMENT
1/2" = 1'-0"

Penster Landscape 2/2

REVISIONS

MARK DATE DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FOR
PRELIMINARY PLAN
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
LANDSCAPE EASEMENT PLAN

REALM
100 E BROAD STREET STE 1110
COLUMBUS, OHIO 43215
PHONE 614 671 724



DATE
May 28, 2025

SCALE
0 40 80
1 inch = 80 feet

JOB NO.
2024-10

SHEET
16/25



HOUSES IN BLENHEIM
NEW ALBANY, OHIO
NOT INTENDED FOR CONSTRUCTION PURPOSES.

PROPOSED SITE PLAN
MAY 16, 2025

THE NEW ALBANY DEVELOPMENT COMPANY
ROBERT A.M. STERN ARCHITECTS

Close House Exhibit 1 of 3



LOT 8	LOT 9
LOT: 16,767 SF	LOT: 12,615 SF
HOUSE: 3,508 SF*	HOUSE: 4,577 SF*
GARAGE: 858 SF*	GARAGE: 835 SF*
*FOOTPRINT AREA ONLY	*FOOTPRINT AREA ONLY

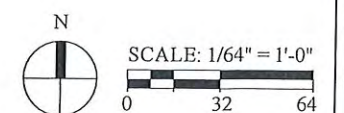
LOT 10	LOT 11
LOT: 10,308 SF	LOT: 10,646 SF
HOUSE: 3,175 SF*	HOUSE: 3,004 SF*
GARAGE: 858 SF*	GARAGE: 858 SF*
*FOOTPRINT AREA ONLY	*FOOTPRINT AREA ONLY

LOT 12	LOT 13
LOT: 16,476 SF	LOT: 11,729 SF
HOUSE: 4,331 SF*	HOUSE: 3,523 SF*
GARAGE: 964 SF*	GARAGE: 858 SF*
*FOOTPRINT AREA ONLY	*FOOTPRINT AREA ONLY

LOT 14	LOT 15
LOT: 10,086 SF	LOT: 12,536 SF
HOUSE: 4,103 SF*	HOUSE: 3,515 SF*
GARAGE: 858 SF*	GARAGE: 858 SF*
*FOOTPRINT AREA ONLY	*FOOTPRINT AREA ONLY

LOT 16
LOT: 17,280 SF
HOUSE: 3,244 SF*
GARAGE: 864 SF*
*FOOTPRINT AREA ONLY

PLAN NOTES:	
Min. Side Setback at Lot Boundary (Habitable Space)	= 5'-0"
Min. Front Setback from Street	= 6'-0"
9 Detached Units	
One (1) 8'-0" side setback provided at all lots for rear yard access	



HOUSES IN BLENHEIM
NEW ALBANY, OHIO
NOT INTENDED FOR CONSTRUCTION PURPOSES.

HOUSE DATA PROPOSED SITE PLAN

MAY 16, 2025

THE NEW ALBANY DEVELOPMENT COMPANY
ROBERT A.M. STERN ARCHITECTS

Close House Exhibit 2 of 3



HOUSES IN BLENHEIM
 NEW ALBANY, OHIO
 NOT INTENDED FOR CONSTRUCTION PURPOSES.

VIEW DIAGRAM PROPOSED SITE PLAN MAY 16, 2025

THE NEW ALBANY DEVELOPMENT COMPANY
 ROBERT A.M. STERN ARCHITECTS

Close House Exhibit 3 of 3



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HOUSES IN BLENHEIM
NEW ALBANY, OHIO
NOT INTENDED FOR CONSTRUCTION PURPOSES.

NORTH ENTRY PROPOSED SITE PLAN MAY 16, 2025

THE NEW ALBANY DEVELOPMENT COMPANY
ROBERT A.M. STERN ARCHITECTS

North House Entry lay 2



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NORTH ENTRY **PROPOSED SITE PLAN HOUSE DATA**

HOUSES IN BLENHEIM
 NEW ALBANY, OHIO
 NOT INTENDED FOR CONSTRUCTION PURPOSES.

MAY 16, 2025

THE NEW ALBANY DEVELOPMENT COMPANY
 ROBERT A.M. STERN ARCHITECTS

North House Exhibit 2 of 2



**Planning Commission Staff Report
June 16, 2025 Meeting**

**NEW ALBANY COUNTRY CLUB SECTION 30
FINAL DEVELOPMENT PLAN**

LOCATION: Section 30 of the New Albany Country Club (East Nine) (PID: 222-005185 and 46 others, see attached).
APPLICANT: The New Albany Company LLC, c/o Aaron Underhill, Esq.
REQUEST: Final Development Plan
ZONING: East Nine Infill-Planned Unit Development (I-PUD)
STRATEGIC PLAN: Residential District
APPLICATION: FDP-35-2025

Review based on: Application materials received May 28, 2025

Staff report completed by Jay Henderson, Planner.

I. REQUEST AND BACKGROUND

The applicant requests review and approval of a final development plan application for Section 30 of the New Albany Country Club. This new section includes 40 residential lots and 8 reserves. The applicant also proposes to dedicate parkland that is currently privately owned to the city.

The site is currently zoned East Nine Infill-Planned Unit Development (I-PUD) and has been developed with public infrastructure, including but not limited to an extension of Head of Pond Road into the property from Lambton Park on the southwest, an extension of Baughman Grant into the property from the north, other internal streets, and utilities and stormwater management infrastructure. While infrastructure has been constructed, no lots have been sold and no homes have been built within the subdivision. The applicant requests to reconfigure parcels within the subdivision to create a total of 40 lots, 8 reserves, and 3 subareas.

The applicant also requests review and approval of a final plat and rezoning applications associated with New Albany Country Club Section 30. These applications are evaluated under separate staff reports, FPL-40-2025, ZC-48-2025, and TM-49-2025.

II. SITE DESCRIPTION & USE

The 30.1+/- acre development area is currently undeveloped. The property is surrounded by the New Albany Country Club golf course as well as 36 previously platted residential lots, 5 reserves, and three public streets. The surrounding land uses include the golf course and residentially zoned and used land.

III. PLAN REVIEW

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- (a) That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- (b) That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- (c) That the proposed development advances the general welfare of the Municipality;*
- (d) That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- (e) Various types of land or building proposed in the project;*
- (f) Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- (g) Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- (h) Building heights of all structures with regard to their visual impact on adjacent facilities;*
- (i) Front, side and rear yard definitions and uses where they occur at the development periphery;*
- (j) Gross commercial building area;*
- (k) Area ratios and designation of the land surfaces to which they apply;*
- (l) Spaces between buildings and open areas;*
- (m) Width of streets in the project;*
- (n) Setbacks from streets;*
- (o) Off-street parking and loading standards;*
- (p) The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- (q) The potential impact of the proposed plan on the student population of the local school district(s);*
- (r) The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- (s) The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*

- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

A. Engage New Albany Strategic Plan

The site is located within the Residential District future land use district. The Engage New Albany Strategic Plan lists the following development standards for the Residential District:

- Organically shaped stormwater management ponds and areas should be incorporated into the overall design as natural features and assets to the community.
- Houses should front onto public open spaces and not back onto public parks or roads.
- All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site.
- A hierarchy of open spaces is encouraged. Each development should have at least one open space located near the center of the development. Typically, neighborhood parks range from a half an acre to 5 acres. Multiple greens may be necessary in large developments to provide centrally located greens.
- Adequate amounts of open space and parkland are encouraged to be provided on site.
- Rear or side loaded garages are encouraged. When a garage faces the street, the front façade of the garage should be set back from the front facade of the house.
- Any proposed residential development outside of the Village Center shall have a base density of 1 dwelling unit per gross acre in order to preserve and protect the community's natural resources and support the overall land conservation goals of the community. A transfer of residential density can be used to achieve a gross density of 1 dwelling unit per acre.
- Private streets are at odds with many of the community's planning principles such as: interconnectivity, a hierarchy of street typologies and a connected community. To achieve these principles, streets within residential developments must be public.

The Engage New Albany Strategic Plan recommends the following standards as prerequisites for all development proposals in New Albany:

- Development should meet setback recommendations contained in strategic plan.
- Streets must be public and not gated. Cul-de-sacs are strongly discouraged.
- Parks and open spaces should be provided, publicly dedicated and meet the quantity requirements established in the city's subdivision regulations (i.e. 20% gross open space and 2,400 sf of parkland dedication for each lot).
 - All or adequate amounts of open space and parkland is strongly encouraged to be provided on-site. If it cannot be provided on-site, purchasing and publicly

dedicating land to expand the Rocky Fork Metro Park or park space for the Joint Parks District is an acceptable alternative.

- The New Albany Design Guidelines & Requirements for residential development must be met.
- Quality streetscape elements, including an amenity zone, street trees, and sidewalks or leisure
- Trails and sidewalks should be provided on both sides of all public streets.
- Homes should front streets, parks and open spaces.
- A residential density of 1 dwelling unit (du) per acre is required for single-family residential and a density of 3 du per acre for age restricted housing.
 - Higher density may be allowed if additional land is purchased and deed restricted. This type of density “offset” ensures that the gross density of the community will not be greater than 1 unit per acre. Any land purchased for use as an offset, should be within the NAPLS district or within the metro park zone.
 - 3 du/acre is only acceptable if 100% age restricted. Otherwise, the federal regulations and criteria for subdivisions to qualify as age-restricted must be accounted for when calculating density (i.e. 80% age restricted and 20% non-age restricted).
 - Age restriction must be recorded as a deed restriction and included as a requirement in the subdivision’s zoning text.

B. Use, Site and Layout

1. The applicant proposes to develop 40 single-family residential lots and eight (8) reserves.
2. The Engage New Albany strategic plan residential land use district states that the gross density is 1 dwelling unit per acre for traditional single-family.
 - The proposed density is 1.33 units/acre. Staff recommends a condition of approval that the applicant withdraw 4 units from the housing bank to accommodate the additional homes to be developed in this zoning district (condition #1).
 - The existing zoning for the property allows for a maximum of 88 homes to be constructed.
 - The previously approved final development plan and the plat for this subdivision provided for 36 homes to be constructed on the property, with the balance of the 88 homes that are permitted on site having been deposited into the “housing bank.”
3. There are lots situated where homes may back onto the adjacent private New Albany Country Club golf course, and reserve areas within the subdivision.
4. The zoning district is made up of three subareas that are approximately 30.1 acres and permit the following uses:
 - Single-family detached homes, single-family attached homes, and related accessory structures.
 - Subarea 1 - This subarea shall have a maximum of 28 units that are proposed to be single-family detached homes.
 - Subarea 2 - This subarea shall have a maximum of 9 units that are proposed to be detached single-family and or attached single-family homes.
 - Subarea 3 – This subarea shall have a maximum of 3 units, which are proposed to be single-family detached or attached homes.
 - Publicly or privately-owned parks and open spaces.
 - The pending rezoning (ZC-48-2025) allows for the following:
 - Accessory dwelling units (ADUs) on lots 108 and 116 of subarea 2;
 - Allow accessory structures in front of the principle structure in subareas 2 and 3;

- The architectural standards for lots 102, 103, 139, and 140 do not require to have front doors that face a public road as outlined within the city's Design Guidelines and Requirements;
- Allows structures within subarea 2 (Lots 108 and 116) and subarea 3 to encroach into the right-of-way and extend across lot lines;
- The zoning text states that the final development plan (FDP-35-2025) is permitted to serve as both the preliminary and final development plan of record for this zoning district.

5. The zoning text established the following setbacks for Subarea 1.

SETBACKS (SUBAREA 1)	
Front Yard	20 feet
Side Yard	15 feet; 30 feet total
Rear Yard	25 feet

6. Subarea 2 allows for zero lot line development since attached single-family homes are permitted, so there are no minimum setbacks from any lot lines for parcels within this section.
7. Subarea 3 allows for zero lot line development like subarea 2, since attached single-family is permitted in this area.

C. Access, Loading, Parking

1. The requirements for each subarea are generally the same or similar to the surrounding country club standards pertaining to the minimum off-street parking spaces, road widths, and pavement sections.
2. Subarea 1 is proposed to have parking on both sides of the public streets, Subarea 2 is proposed to have on-street parking on only one side of the public street.
3. Right-of-way widths within this zoning district were previously dedicated to the city, and the right-of-way width and existing pavement widths shall remain as they exist today. This will be recorded in the re-plat.
4. The zoning text states that within Subarea 2, a new public street will be provided in a loop configuration, and the minimum pavement for this street shall be 20 feet. The final design shows a minimum pavement for streets to be 20 feet from curb to curb in Subarea 2, meeting this requirement.
5. The zoning text states that there will be a public brick sidewalk on both sides of Head of Pond Road and Baughman Grant, as well as on the west side of Head of Pond Court. An existing asphalt path along the east side of Head of Pond Court, extending from its intersection with Head of Pond Road, will remain in place. Existing public sidewalks and leisure paths are proposed to be removed to accommodate the brick sidewalks, which will be a minimum of 4 feet in width.

D. Architectural Standards

1. The zoning text states that the architectural standards shall be in accordance with the city's Design Guidelines and Requirements (DGR's).
2. Architecture will comprise of Tidewater Georgian architectural vocabulary that is employed throughout the New Albany Country Club and will be evaluated on a house-by-house basis as part of the building permitting process since these are all custom homes.

E. Parkland, Buffering, Landscaping, Open Space, Screening

1. New Albany's Codified Ordinance requires that 2,400 square feet per home be dedicated as parkland, and 20% of the total acreage in the subdivision shall be dedicated as open space. For this development, the total required parkland and open space is 8.2 acres. The applicant provides multiple reserve areas totaling 7.23 acres, including a park dedication of 0.93 acres located at the northeast section of the development. As noted in the zoning

- text, the applicant intends to offset their shortage of parkland by using the NACO parkland bank credits on record with the city as the amount of open space provided does not meet code requirements.
2. The Parks and Trails Advisory Board evaluated the proposed final development plan and recommended its approval to the Planning Commission with a condition that the parkland and open space calculation be updated, and the appropriate number of parkland credits are withdrawn from the NACO parkland/open space bank. City staff updated this number and recommends a condition of approval that 0.97 acres are deducted from the bank (Condition #2).
 3. The stormwater basin, centrally located within the development, will be located in whole or in part on privately owned lots. The maintenance of the basin will be by a forced and funded property owners' association and appropriate easements will be provided on the final plat.
 4. The centrally located stormwater basin will include a boardwalk on the southern end with a gazebo overlook.
 5. The zoning text states that street trees shall be permitted but not required in Subarea 2. The applicant has submitted plans to install trees within the island located in the southeast section of Head of Pond Road.
 6. The zoning text exempts this zoning district from the requirement that all residences are to be located within 1,200 feet of playground equipment.

F. Lighting & Signage

1. The applicant is proposing Hallbrook Series streetlights, with LED lights, N.A.C. Green at each street intersection. Lighting shall be in accordance with the city's codified ordinances.
2. Entry features will include ground-mounted lighting and shall be shielded and landscaped.
3. Gas lanterns will be placed throughout the centrally located reserve areas.
4. All proposed signage for the subdivision is subject to review and approval by the Planning Commission.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering-related requirements of Code Section 1159.07(b)(3) and provided the following comments. Staff recommends a condition of approval that these comments be addressed as part of the engineering permitting process (Condition #3).

1. Please show all existing public utility easements on sheet 2 and work with private utility providers (e.g., telecom, gas, electric, etc.) to determine if private utilities already installed must be relocated. Clearly show all private utility easements on this sheet.
2. Provide easements where new sewer is shown on sheet 4.
3. Sheet 5 contains a note referring to this plan set as a preliminary plat. Please revise.
4. Add a major flood routing arrow to the legend on sheet 5 and show major flood routing in plan view. Identify all drainage easements.
5. Label all storm sewer easements as drainage easements on sheet 6.
6. Delete the Columbus Fire Truck reference on sheet 7 and revise the analysis using the Plain Township Fire Truck (See Exhibit 1).
7. Show the location of street lights on the Street Typical Sections.
8. Refer to Exhibit 2. Revise the street light detail on sheet 9 to match Exhibit 2.
9. Have a structural engineer stamp/sign all proposed structures.
10. Show the location of the basin emergency overflow on the landscape plan and remove all plantings.
11. We will evaluate street, storm water management, sanitary sewer collection and water distribution related details once detailed construction plans become available.

V. SUMMARY:

The final development plan is generally consistent with the Residential land use recommendations of the New Albany Strategic Plan. While the density and open space do not meet city requirements, the 1998 NACO PUD provides a housing and parkland bank to offer flexibility in cases like this. The mechanism has been strategically applied to other developments led by the developer throughout the city.

By utilizing these resources, the proposal remains with the intended scope of the New Albany Strategic plan and long-range vision to provide high-quality and diverse housing products that also meet current market demands and community preferences. The proposed project has been thoughtfully designed to complement the established character of the New Albany Country Club, such as architectural style, building scale, visual cohesiveness, and compatibility.

Most importantly, the plan enhances pedestrian connectivity, supporting the walkable, accessible environment that is envisioned with the city's strategic plan. Through the balanced approach that leverages available planning tools and compatibility with the surrounding development, this project exemplifies how flexibility can be used responsibly to achieve high-quality outcomes that benefit both current and future residents.

VI. ACTION

Suggested Motion for FDP-35-2025:

Move to approve final development plan application FDP-35-2025 based on the findings in the staff report, with the following conditions.

1. The applicant withdraws 4 units from the housing bank to accommodate the additional homes to be developed in this zoning district.
2. The applicant withdraws 0.97 acres from the parkland bank to meet the required open space and parkland requirement.
3. Engineering comments be addressed at the engineering review stage.
4. City council must approve the zoning change application (ZC-48-2025).
5. The text modification (TM-49-2025) must be approved.

Approximate Site Location:





Community Development Planning Application

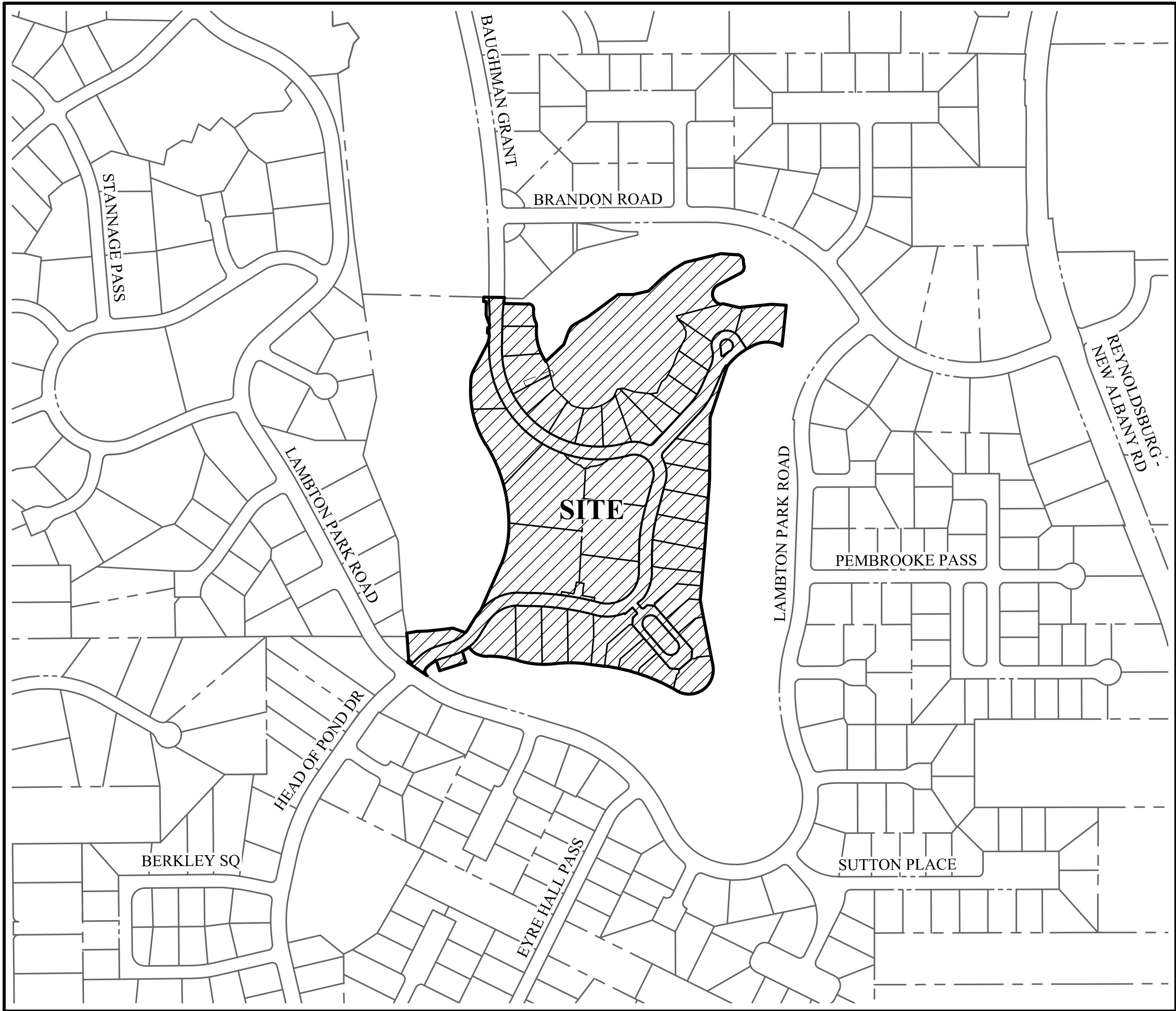
Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																									
Project Information	<p>Site Address <u>Head of Pond and Baughman Grant - New Albany Country Club Section 30</u></p> <p>Parcel Numbers <u>222-005180 through 222-005220, 222-0001668, and a limited portion of 222-004458</u></p> <p>Acres <u>30.1</u> # of lots created <u>40 lots and 7 reserves</u></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Choose Application Type</th><th style="width: 50%;">Description of Request:</th></tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td><td>NACC Section 30</td></tr> <tr> <td><input type="checkbox"/> Certificate of Appropriateness</td><td>Zoning Amendment (ZC-48-2025)</td></tr> <tr> <td><input type="checkbox"/> Conditional Use</td><td>Zoning Text Modification (TM-49-2025)</td></tr> <tr> <td><input checked="" type="checkbox"/> Development Plan</td><td>Final Development Plan (FDP-35-2025)</td></tr> <tr> <td><input checked="" type="checkbox"/> Plat</td><td>Final Plat (FPL-40-2025)</td></tr> <tr> <td><input type="checkbox"/> Lot Changes</td><td></td></tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td></tr> <tr> <td><input checked="" type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr> <tr> <td><input checked="" type="checkbox"/> Zoning Text Modification</td><td></td></tr> </tbody> </table>		Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	NACC Section 30	<input type="checkbox"/> Certificate of Appropriateness	Zoning Amendment (ZC-48-2025)	<input type="checkbox"/> Conditional Use	Zoning Text Modification (TM-49-2025)	<input checked="" type="checkbox"/> Development Plan	Final Development Plan (FDP-35-2025)	<input checked="" type="checkbox"/> Plat	Final Plat (FPL-40-2025)	<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input checked="" type="checkbox"/> Zoning Amendment (Rezoning)		<input checked="" type="checkbox"/> Zoning Text Modification					
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Contacts	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">Applicant Information</th><th colspan="2">Property Owner Information</th></tr> </thead> <tbody> <tr> <td style="width: 25%;">Name</td><td style="width: 25%;">New Albany Company LLC c/o Aaron Underhill, Esq.</td><td style="width: 25%;">Name</td><td style="width: 25%;">New Albany Company LLC</td></tr> <tr> <td>Address</td><td>8000 Walton Parkway Ste. 200</td><td>Address</td><td>8000 Walton Parkway Ste. 200</td></tr> <tr> <td>City, State, Zip</td><td>New Albany, Ohio, 43054</td><td>City, State, Zip</td><td>New Albany, Ohio, 43054</td></tr> <tr> <td>Phone Number</td><td>614-939-8000</td><td>Phone Number</td><td>614-939-8000</td></tr> <tr> <td>Email</td><td>aaron@uhlfirm.com</td><td>Email</td><td>trubey@newalbanycompany.com</td></tr> </tbody> </table>		Applicant Information		Property Owner Information		Name	New Albany Company LLC c/o Aaron Underhill, Esq.	Name	New Albany Company LLC	Address	8000 Walton Parkway Ste. 200	Address	8000 Walton Parkway Ste. 200	City, State, Zip	New Albany, Ohio, 43054	City, State, Zip	New Albany, Ohio, 43054	Phone Number	614-939-8000	Phone Number	614-939-8000	Email	aaron@uhlfirm.com	Email	trubey@newalbanycompany.com
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Phone Number	614-939-8000	Phone Number	614-939-8000																							
Email	aaron@uhlfirm.com	Email	trubey@newalbanycompany.com																							
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="width: 60%;"> <p>Signature of Owner </p> <p>Signature of Applicant </p> </div> <div style="width: 35%;"> <p>Date: <u>6-6-25</u></p> <p>Date: <u>6-6-25</u></p> </div> </div>																									

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

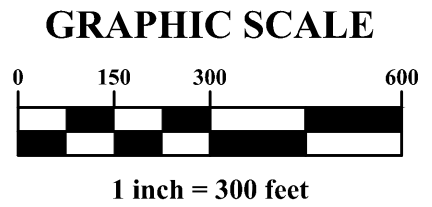
Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

X:\2020\095\Draw\04\Sheets\Final Development Plan\1_Cover_Sheet.dwg - Last Saved: 6/6/2025 9:33 AM - Last Printed: 6/6/2025 9:37 AM (No Xrefs)

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
2025



INDEX MAP
Scale: 1" = 300'



SHEET INDEX

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South Boardwalk Materials Plan	19
The Close Materials Plan	20
The Close Planting Plan	21
Landscape Details	22-25

DEVELOPER/OWNER

The New Albany Company
Tom Rubey
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054
Tel: (614) 939-8036
trubey@newalbanycompany.com

ENGINEER

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Brian Quackenbush, PE
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614)-775-7390
bquackenbush@emht.com

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Kevin Kelly
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Tel: (212)-967-5100
k.kelly@RAMSA.com

LANDSCAPE ARCHITECT

REALM Collaborative
Brian Bernstein
100 E. Broad Street, Suite 1710
Columbus, Ohio 43215
Tel: (216)-647-5888
bbernstein@realmcollaborative.com

APPROVALS:

Planning Commission Chair	Date
Vice Chair or Designee	Date
Professional Engineer	Date
Professional Surveyor	Date

PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
June 6, 2025

REVISIONS

MARK	DATE	DESCRIPTION



THE NEW ALBANY COMPANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
COVER SHEET



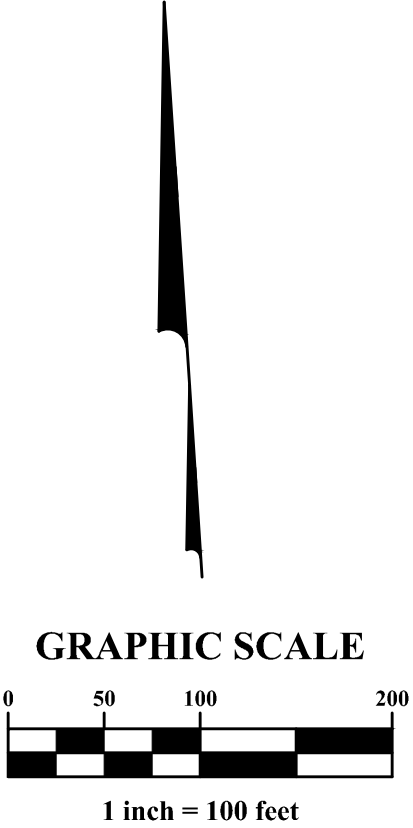
DATE
June 6, 2025

SCALE
1" = 300'

JOB NO.
20201095

SHEET
1/25

\\s20010395\Draw\04\Sheets\Final Development Plan\3. Site Planning - Last Saved By: mhucke 6/6/2025 9:47 AM Last Printed By: Huckle Matthew 6/6/2025 9:47 AM (No Xrefs)



SITE STATISTICS:		
TOTAL ACREAGE:		±30.1 ACRES
RIGHT-OF-WAY:		±4.1 ACRES
NET RESIDENTIAL ACREAGE:		±26.0 ACRES
NUMBER OF LOTS:		40
GROSS DENSITY:		±1.33 DU/AC
NET DENSITY:		±1.54 DU/AC
PARKLAND DEDICATION REQUIRED: (2,400 S.F. PER UNIT)		±2.2 ACRES
SUBDIVISION OPEN SPACE REQUIRED: (20% OF GROSS SITE AREA ±30.1 ACRES)		±6.0 ACRES
TOTAL OPEN SPACE REQUIRED:		±8.2 ACRES
OPEN SPACE:		
RESERVE C:		±0.05 ACRES
RESERVE D:		±4.8 ACRES
RESERVE E:		±0.07 ACRES
RESERVE F:		±0.09 ACRES
RESERVE G:		±0.24 ACRES
RESERVE H:		±0.33 ACRES
RESERVE I:		±0.25 ACRES
RESERVE J:		±0.43 ACRES
RESERVE K:		±0.93 ACRES
PARK:		±7.2 ACRES
TOTAL OPEN SPACE PROVIDED:		IPUD
ZONING:		

DEVELOPMENT STANDARDS:		
SUBAREA 1 SETBACKS		
FRONT YARD / BUILDING LINE:		20 FEET
SIDE YARD:		15 FEET (TOTAL OF 30 FEET)
REAR YARD:		25 FEET
SUBAREA 2 SETBACKS		
FRONT YARD / BUILDING LINE:		0 FEET
SIDE YARD:		0 FEET
REAR YARD:		0 FEET
SUBAREA 3 SETBACKS		
FRONT YARD / BUILDING LINE:		0 FEET
SIDE YARD:		0 FEET
REAR YARD:		0 FEET

NOTE:

NOTE "A": ON-STREET PARKING IS PROHIBITED FOR ALL STREETS THAT ARE 22 FEET WIDE FACE TO FACE OR LESS.

NOTE "B": RESERVES J AND K TO BE OWNED AND MAINTAINED BY THE NEW ALBANY COUNTRY CLUB SECTION 30 HOMEOWNERS ASSOCIATION. ALL OTHER RESERVES TO BE OWNED BY THE CITY OF NEW ALBANY AND MAINTAINED BY THE NEW ALBANY COUNTRY CLUB SECTION 30 HOMEOWNERS ASSOCIATION.

PARK TO BE DEEDED TO THE CITY OF NEW ALBANY WITH A LOT SPLIT AND MAINTAINED BY THE NEW ALBANY COUNTRY CLUB SECTION 30 HOMEOWNERS ASSOCIATION.

HATCH LEGEND:	
	ZONING BOUNDARY ADJUSTMENT AREA (±0.11 ACRES)

PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
June 6, 2025

REVISIONS

MARK	DATE	DESCRIPTION

THE NEW ALBANY COMPANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FOR
FINAL DEVELOPMENT PLAN
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
SITE PLAN

EMHT
Engineering, Surveying, Planning, Architecture
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Toll Free: 888.775.3448
emht.com

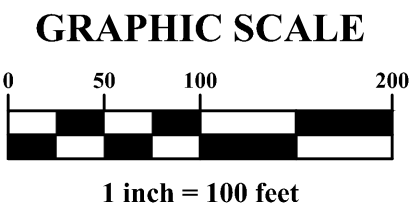
DATE
June 6, 2025

SCALE
1" = 100'

JOB NO.
20201095

SHEET
3/25

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PROPOSED

— SAN — SAN Sanitary Sewer

— STM — STM Storm Sewer

— WM — WM Water Main

EXISTING

- - - - - SAN Sanitary Sewer to Remain

- - - - - STM Storm Sewer to Remain

- - - - - WM Water Main to Remain

- - - - - Utilities To Be Removed

PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
June 6, 2025

REVISIONS	
MARK	DESCRIPTION

THE NEW ALBANY COMPANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLenheim
UTILITY PLAN

Engineering, Inc.
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Toll Free: 888.775.3448
emht.com

DATE	June 6, 2025
SCALE	1" = 100'
JOB NO.	20201095
SHEET	4/25

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LEGEND

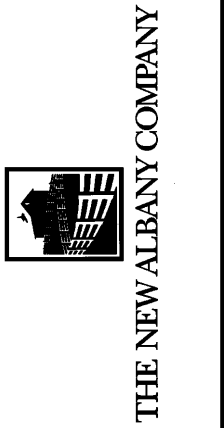
-----984-----	Existing Contour
-----985-----	Existing Contour
-----984-----	Proposed Contour
-----985-----	Proposed Contour

STORMWATER MANAGEMENT NOTE
The volume of the existing basin will be maintained or increased with the regrading proposed with this preliminary plat.

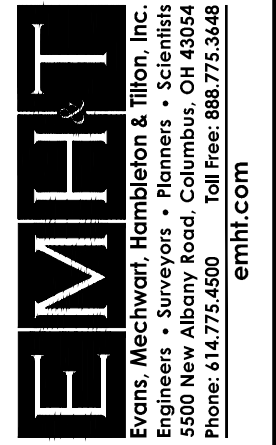
PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
June 6, 2025

REVISIONS	
MARK	DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
GRADING PLAN



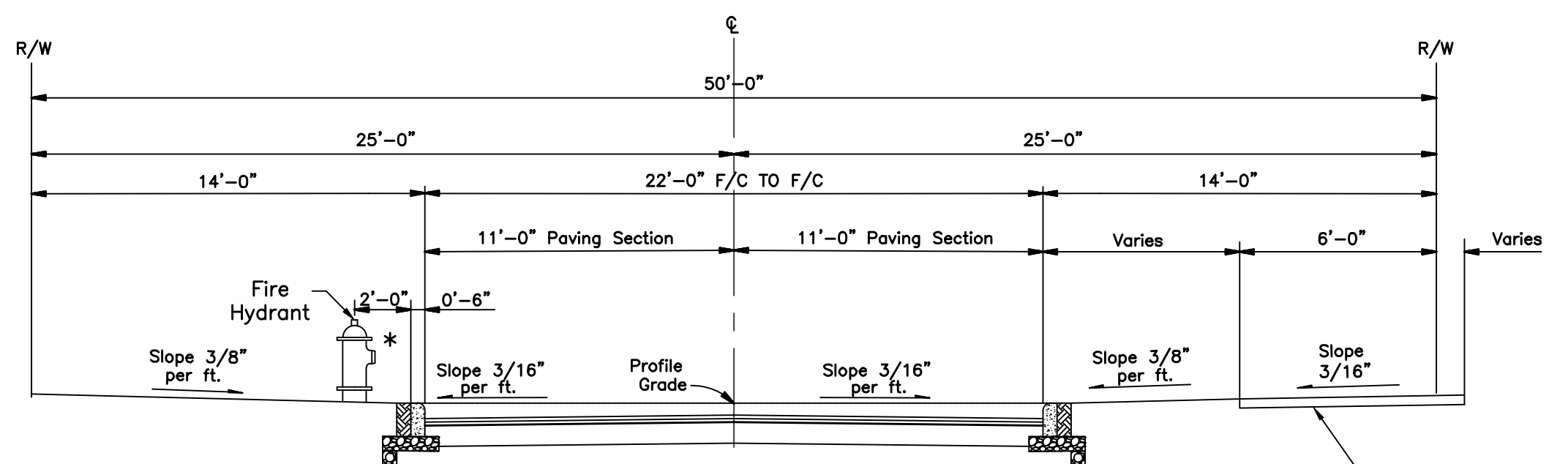
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June 6, 2025

SCALE
1" = 100'

JOB NO.
20201095

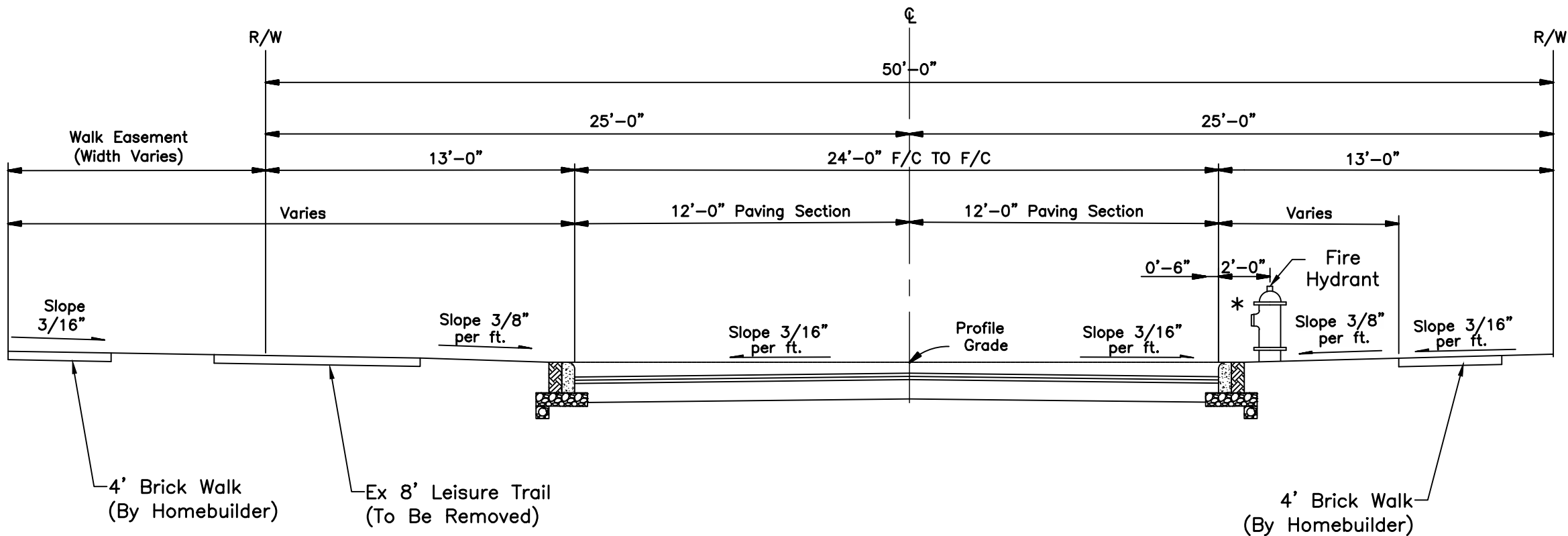
SHEET
5/25

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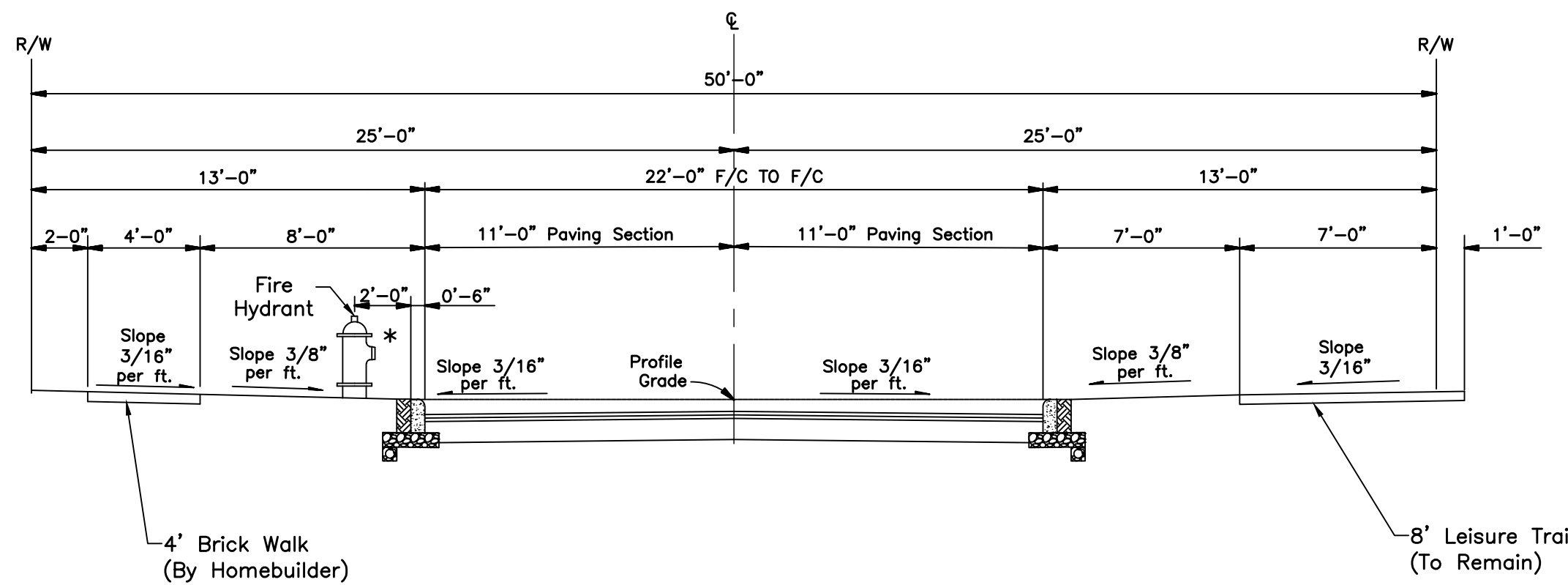
**TYPICAL 22' F/C TO F/C SECTION (50' R/W) STANDARD CURB
HEAD OF POND ROAD
(FIRST ±55' FROM LAMBTON PARK DRIVE)**

SCALE: 1"=5'
* No Parking on Road.



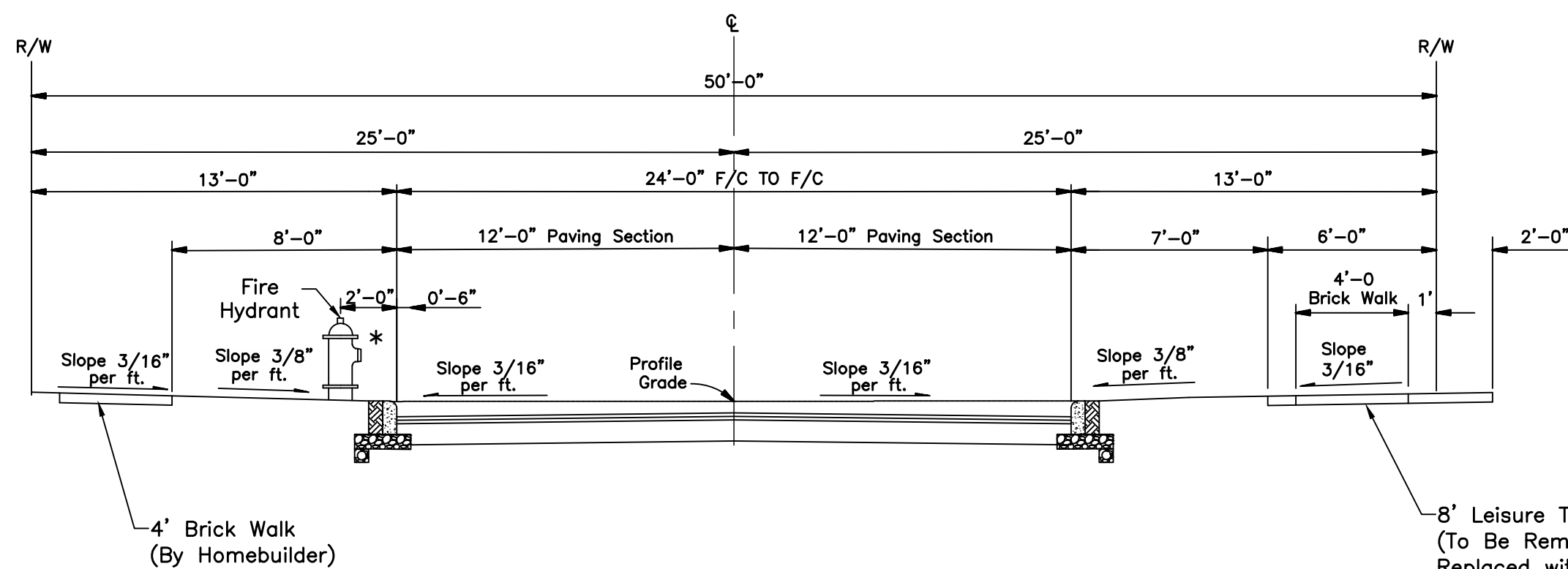
**TYPICAL 24' F/C TO F/C SECTION (50' R/W) STANDARD CURB
HEAD OF POND ROAD**

SCALE: 1"=5'
* No Parking on Road at Hydrants.



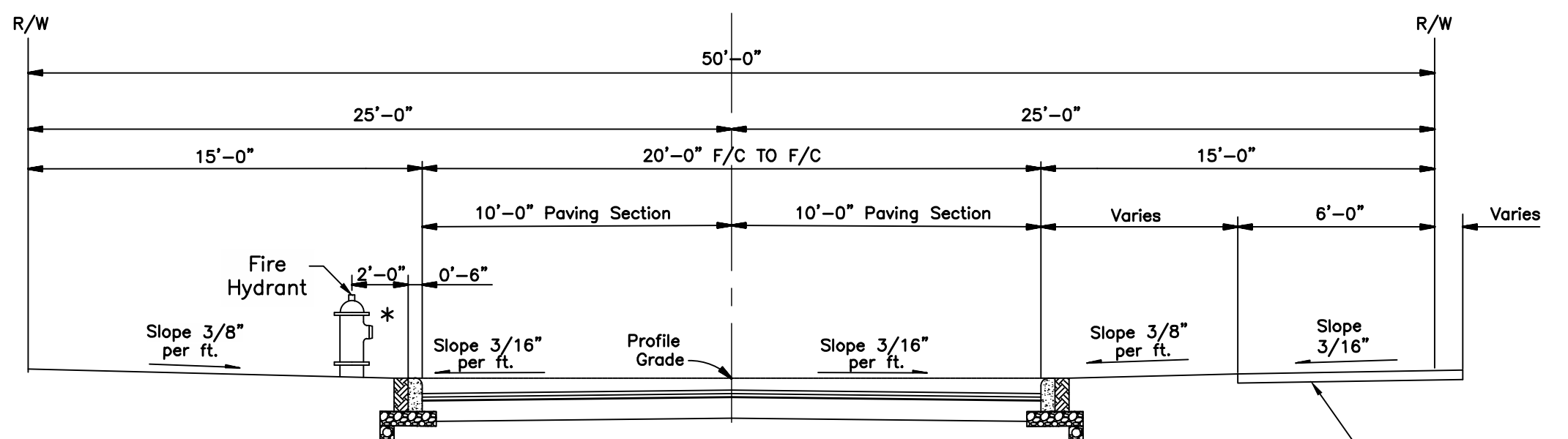
**TYPICAL 22' F/C TO F/C SECTION (50' R/W) STANDARD CURB
HEAD OF POND COURT**

SCALE: 1"=5'
* No Parking on Road.



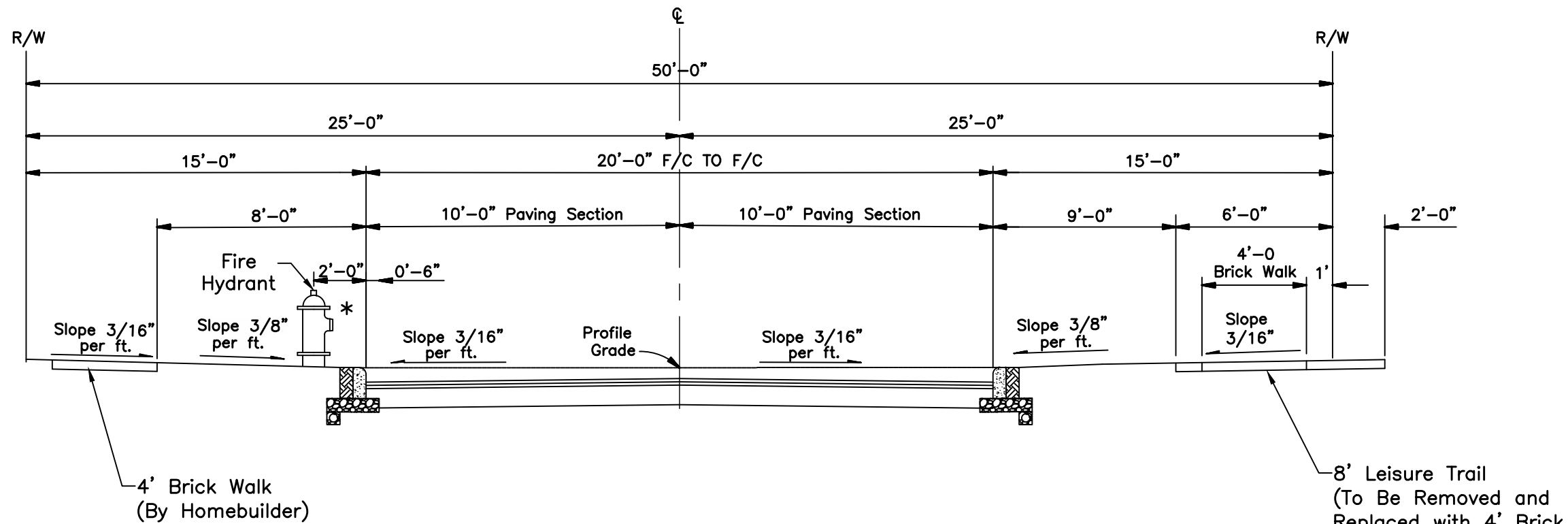
**TYPICAL 24' F/C TO F/C SECTION (50' R/W) STANDARD CURB
BAUGHMAN GRANT**

SCALE: 1"=5'
* No Parking on Road at Hydrants.



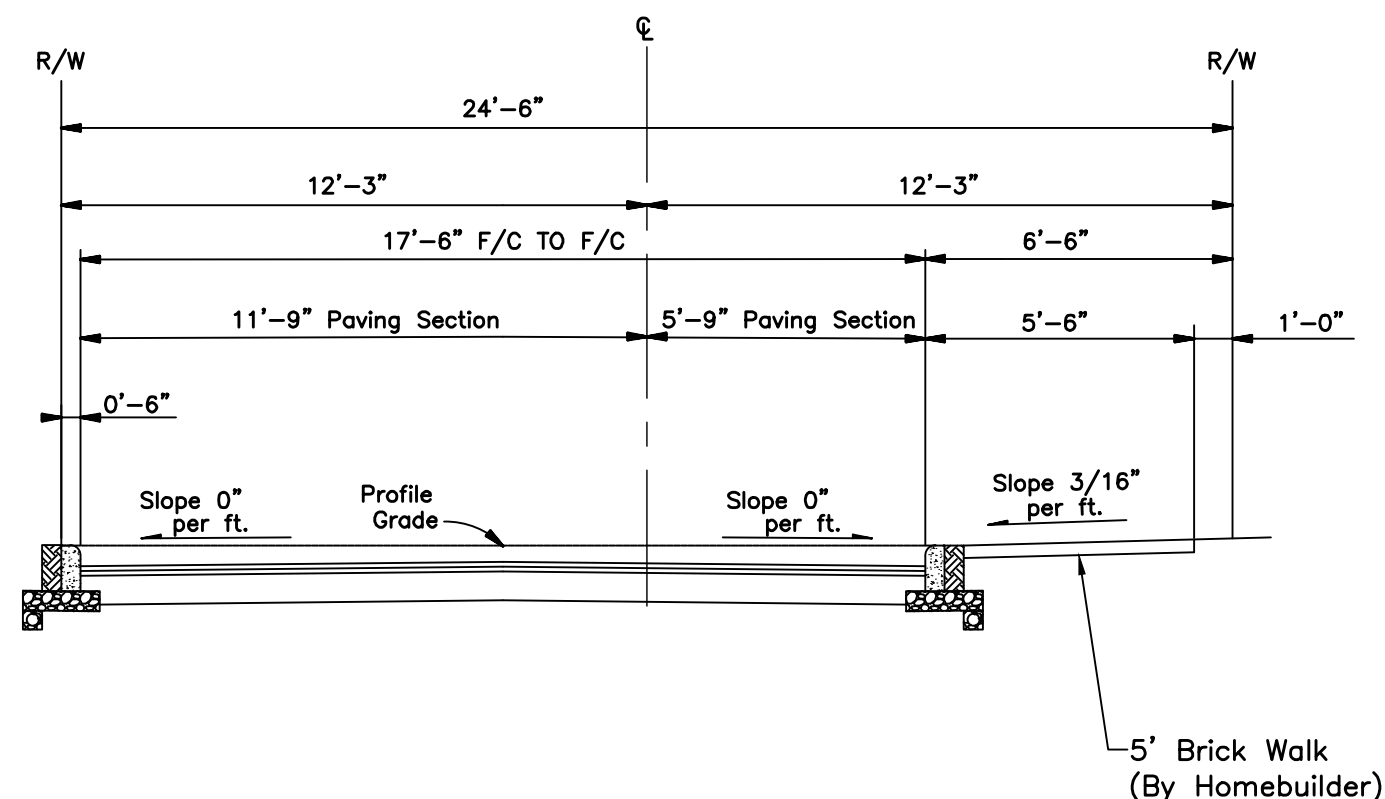
**TYPICAL 20' F/C TO F/C SECTION (50' R/W) STANDARD CURB
HEAD OF POND ROAD
(TAPERS TO 22' OVER 50' ON BOTH SIDES OF ENTRY FEATURE)**

SCALE: Not to Scale
* No Parking on Road.



**TYPICAL 20' F/C TO F/C SECTION (50' R/W) STANDARD CURB
BAUGHMAN GRANT ENTRY
TAPERS TO 24' OVER 50' ON BOTH SIDES OF ENTRY FEATURE**

SCALE: Not to Scale
* No Parking on Road at Hydrants.



**TYPICAL 17.5' F/C TO F/C SECTION (24.5' R/W) STANDARD CURB
HEAD OF POND CLOSE**

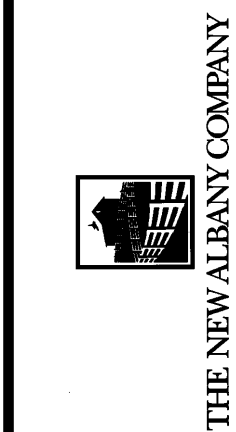
SCALE: Not to Scale
* No Parking on Road.

PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
June 6, 2025

REVISIONS

MARK	DATE	DESCRIPTION



CITY OR TOWNSHIP, COUNTY, STATE
FINAL DEVELOPMENT PLAN
FOR
**NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM**
STREET TYPICAL SECTIONS



DATE
June 6, 2025

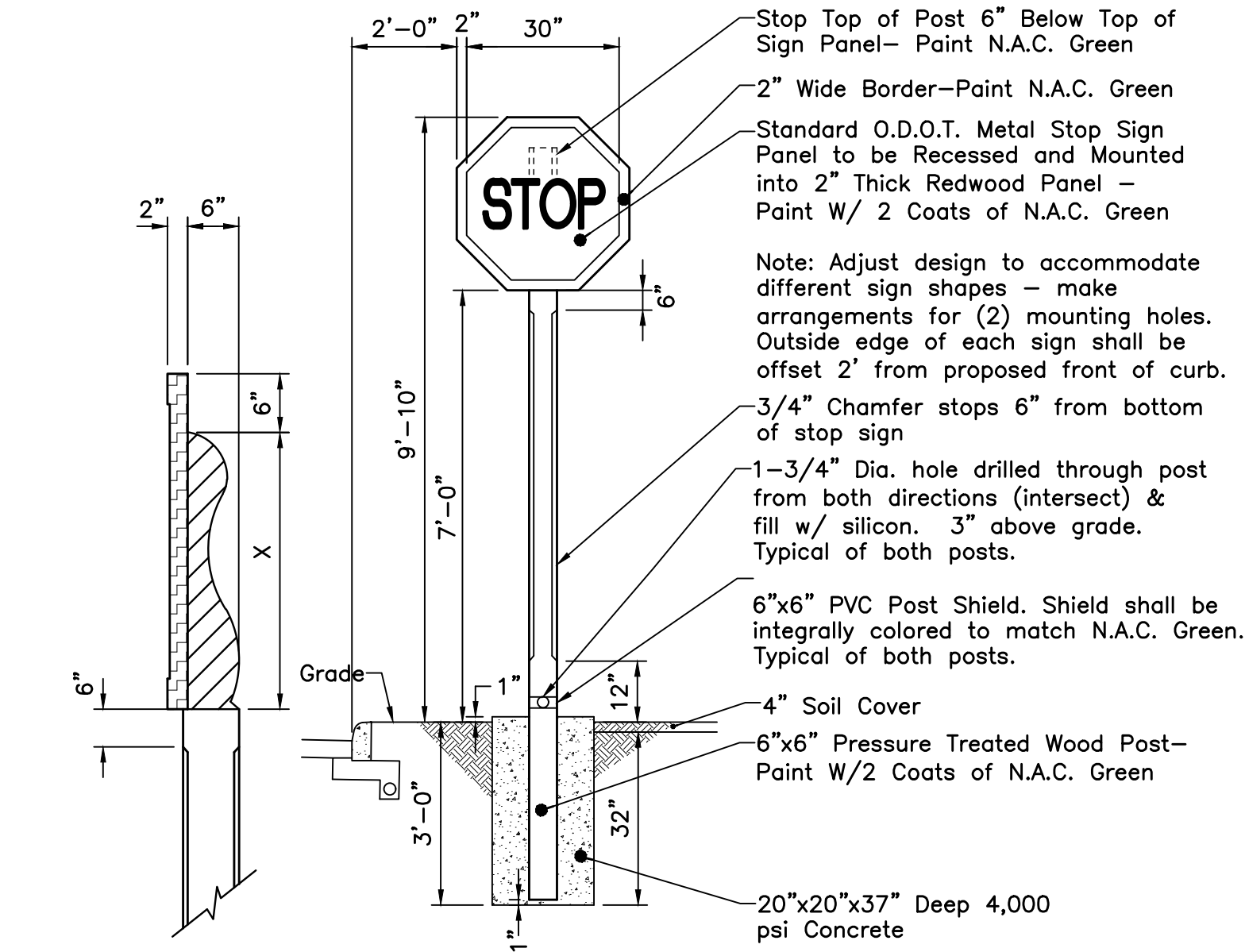
SCALE
AS NOTED

JOB NO.
20201095

SHEET
8/25

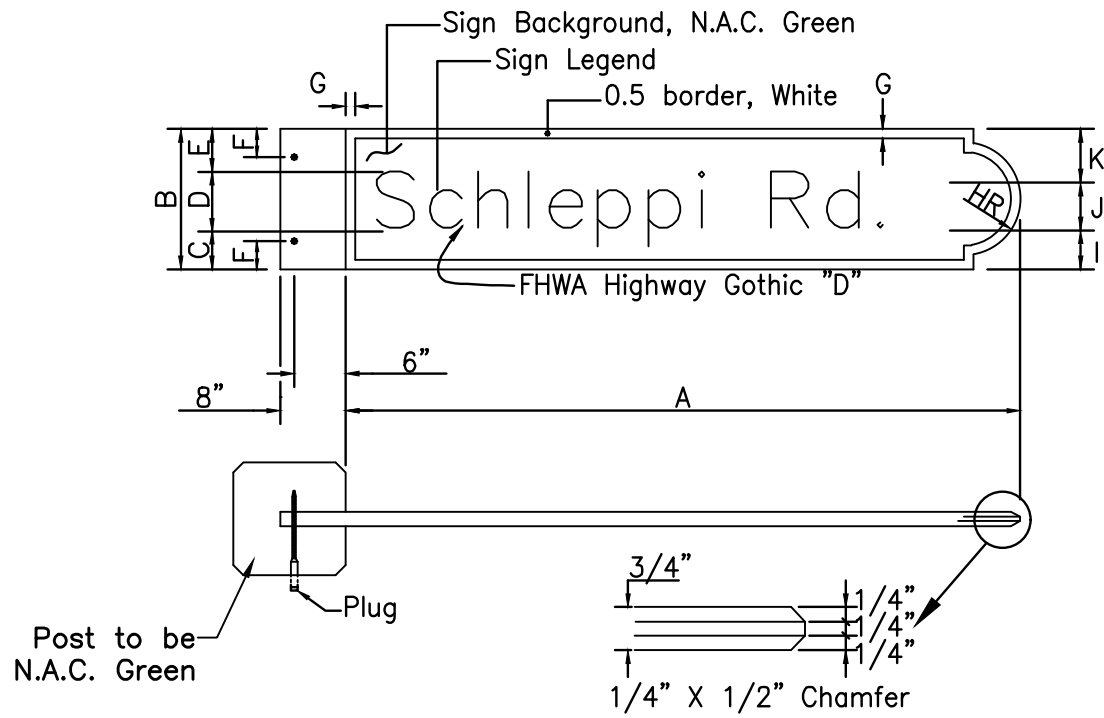


Speed Limit Sign (N.A.C. Green)



X = Scallop post back detail will change proportionally with the size of sign panel

**TRAFFIC CONTROL/
WARNING SIGNS**
Not to Scale



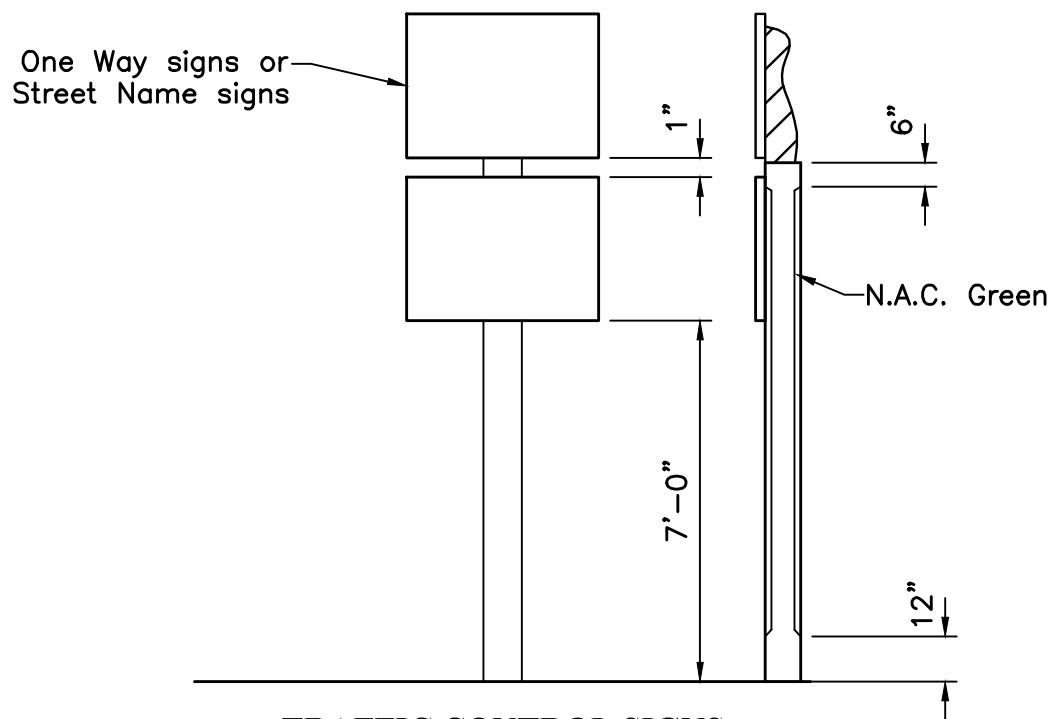
STREET NAME SIGNS
D3-1-12
(VARIABLE* x 12")
Not to Scale



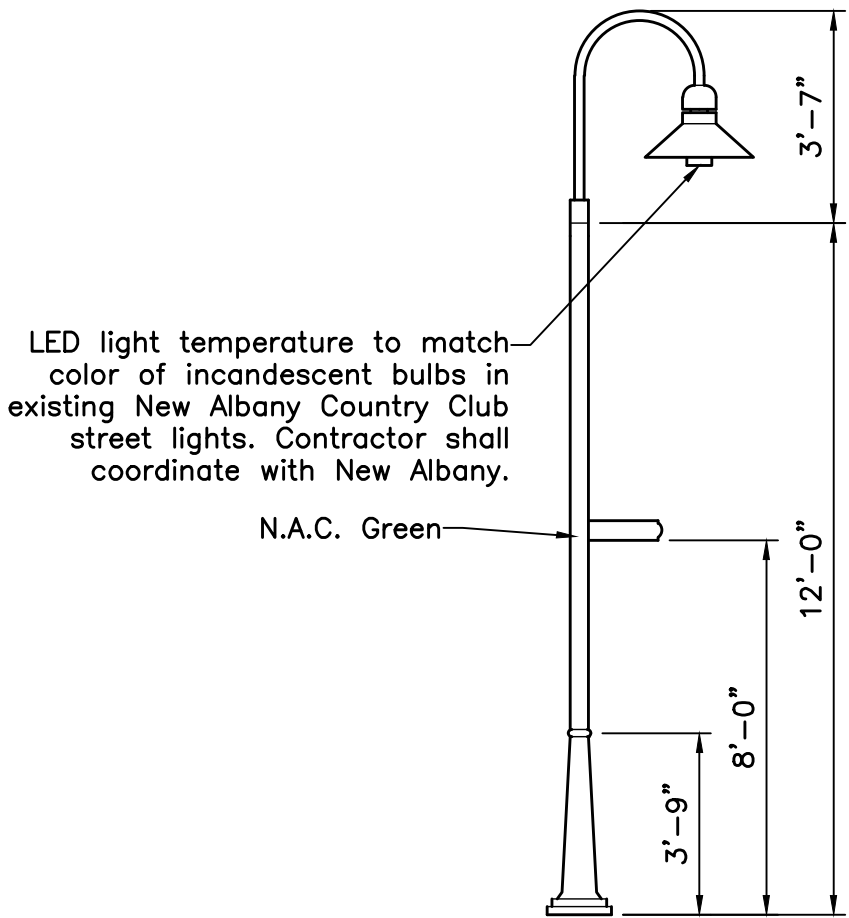
Manufacturer: Capital Lighting
Post #: SPK594-ORB
Standard no.1 Size Mailbox Top#: SCS-1018S-ORB
Decorative Wrap Base #: WRB17-ORB
Finish: Black
Mailbox (or similar)



Typical No Parking Sign
(N.A.C. Green)



TRAFFIC CONTROL SIGNS
MULTIPLE SIGNS PER POST
Not to Scale



STREET LIGHT DETAILS
Hallbrook Series (Halophane)
Not to Scale

Contractor shall verify paint specification for street signage. Please reference Village of New Albany Std Dwg NA-SNS-1 titled "Decorative Single Post Mounted Street Name Sign Standard" for street name sign configuration and dimensions.

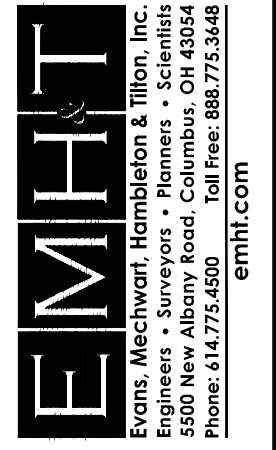
Reflective sheeting for all signage shall be Type G ASTM D 495, Type IV, or better.

REVISIONS	
MARK	DESCRIPTION

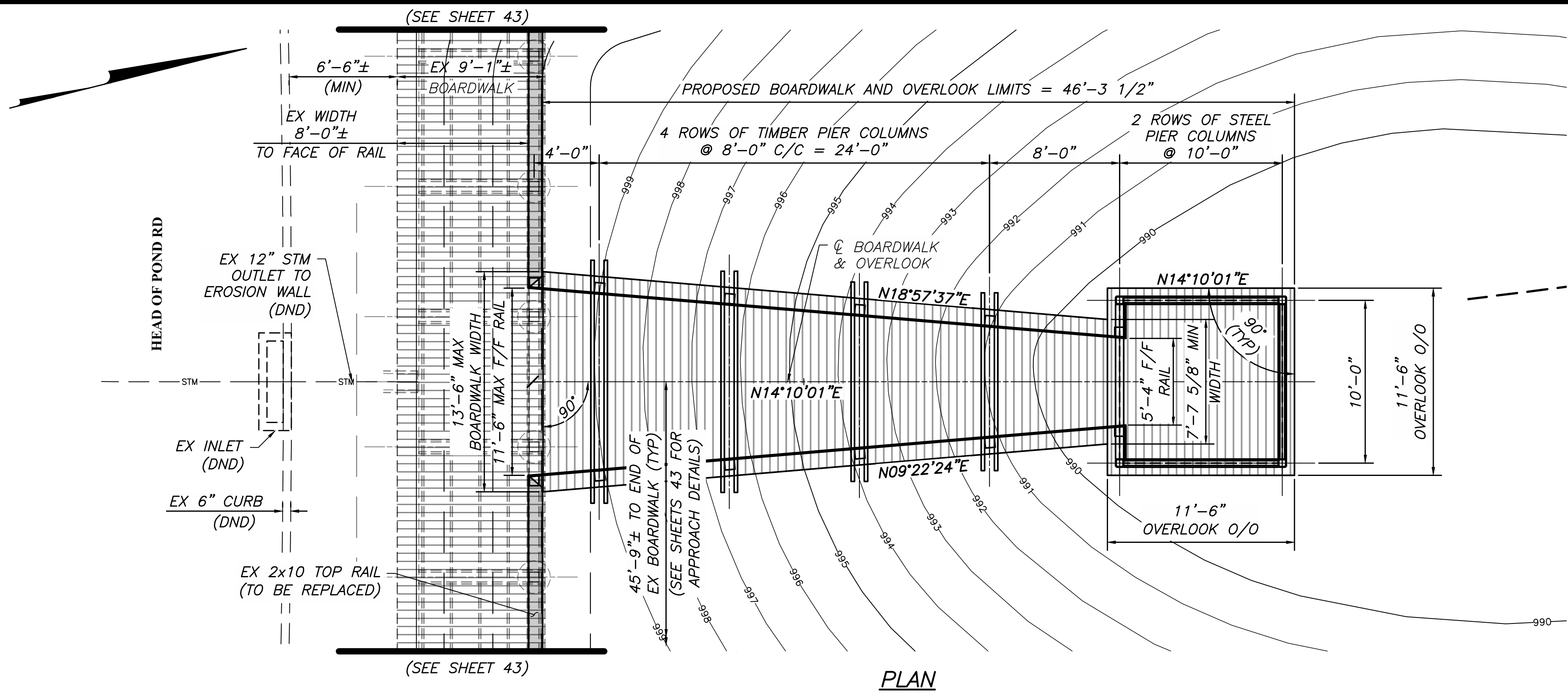


THE NEW ALBANY COMPANY

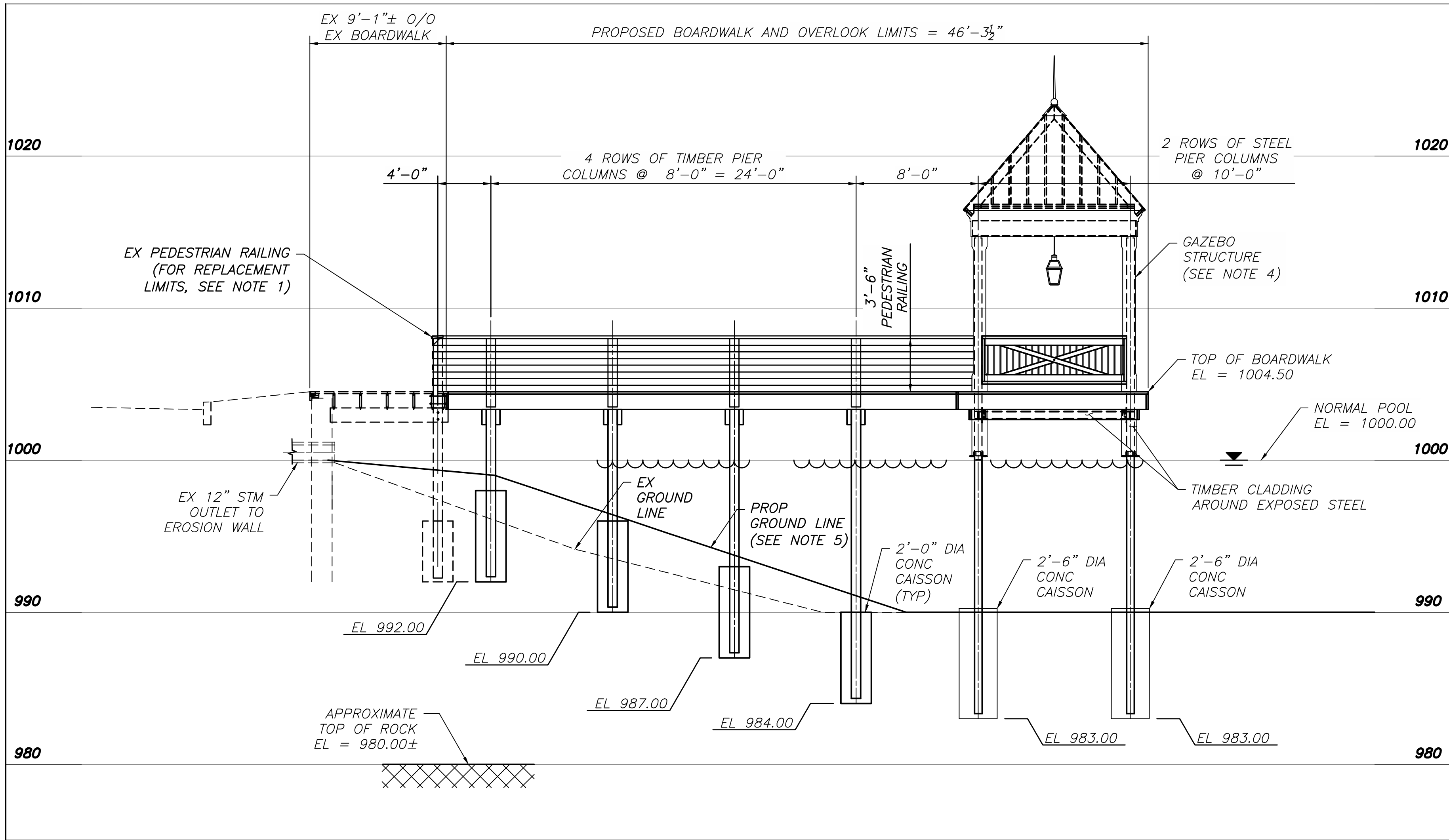
CITY OR TOWNSHIP, COUNTY, STATE
FINAL DEVELOPMENT PLAN
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHHEIM
SITE DETAILS



DATE
June 6, 2025
SCALE
NONE
JOB NO.
20201095
SHEET
9/25



PLAN



PROFILE ALONG CENTERLINE BOARDWALK

NOTES

1. THE EXISTING 2x10 TOP RAIL SHALL BE ENTIRELY REMOVED AND REPLACED WITH A NEW TOP RAIL TO MATCH THE PROPOSED CONSTRUCTION. PORTIONS OF THE EXISTING 1x6 RAILING SHALL BE MODIFIED AND/OR REPLACED ADJACENT THE NEW OVERLOOK AND ESTATE WALLS. ALL RAILING SHALL BE PAINTED WHITE PER THE ARCHITECTURAL PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DE-WATERING COUNTERMEASURES AND/OR ALL NECESSARY TEMPORARY SHORING. FOLLOWING CONSTRUCTION OF THE FOUNDATIONS, THE CONTRACTOR SHALL REPAIR ANY DAMAGED CLAY LINER COURSES WITHIN THE POND AND PRIOR TO REMOVING DE-WATERING COUNTERMEASURES.
3. UTILITY ROUTING AND INSTALLATION TO THE OVERLOOK FEATURE SHALL BE THE COMPLETE RESPONSIBILITY OF THE SUPPLIER. NOTE THAT A FUTURE GAS LINE IS PROPOSED FOR SERVICE TO THE GAS LANTERN AT THE GAZEBO STRUCTURE.
4. SEE SUPPLEMENTAL ARCHITECTURAL PLANS FOR ADDITIONAL FINISHING DETAILS.
5. THE POND EMBANKMENT AND CLAY LINER SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF THE BOARDWALK FOOTERS.

PROPOSED STRUCTURE

TYPE: TIMBER BOARDWALK ON TIMBER PIERS AND DRILLED CAISSON FOOTINGS WITH GAZEBO OVERLOOK STRUCTURE ON CONCRETE FILLED STEEL PILE PIERS AND DRILLED SHAFT FOOTINGS

SPANS: 8'-0" C/C (BOARDWALK)
10'-0" C/C (OVERLOOK)

WIDTH: 13'-0" MAX TO 7'-6" MIN F/F RAILING

LOADING: 90 PSF LIVE LOAD OR 2500 LBS GOLF CART/ MAINTINENCE VEHICLE

ENVIRONMENTAL WIND AND SNOW LOADING PER ASCE 7-16

ALIGNMENT: TANGENT @ N14°10'01"

COORDINATES: LATITUDE 40°03'33.03" N
LONGITUDE 82°49'08.98" W

REVISIONS

MARK DATE DESCRIPTION

THE NEW ALBANY COMPANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
BOARDWALK PLAN & PROFILE

EMHT
ENGINEERS & ARCHITECTS
5200 New Albany Road, Columbus, OH 43254
Phone: 614.775.5500 Fax: 614.775.5501
www.emht.com

DATE

June 6, 2025

SCALE

1" = 5'

JOB NO.

20201095

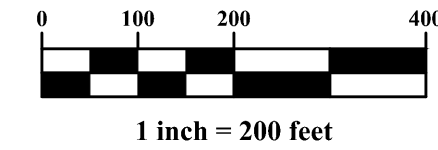
SHEET

10/25

J:\20201095\Drawings\4Sheets\Final Development Plan\11 Pedestrian Connectivity Plan.dwg, Last Saved By: mhucke, 6/5/2025 10:19 AM Last Printed By: Huckle, Matthew, 6/5/2025 9:40 AM (No Xrefs)



GRAPHIC SCALE



Legend

- Ex. 8' Multi-Use Asphalt Path
- Ex. Sidewalk
- Prop. 4' Brick Sidewalk
- Parks/Reserves

REVISIONS		
MARK	DATE	DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
PEDESTRIAN CONNECTIVITY PLAN



DATE	June 6, 2025
SCALE	1" = 200'
JOB NO.	20201095
SHEET	11/25



1 LANDSCAPE EXISTING SITE PLAN
1" = 100'-0"

PROPERTY LINE

EXISTING CONTOUR

SURVEY FILE BY EMH+T

[illegible]

THE NEW ALBANY COMPANY


CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAT
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
EXISTING SITE PLAN



DATE
May 28, 2025

SCALE

0 50 100



1 inch = 100 feet

JOB NO.

2024-10

SHEET

12/25



1 LANDSCAPE SITE PLAN
1" = 100'-0"


PROPERTY LINE

LOT LINE

10

LOT NUMBER

REVISIONS		
MARK	DATE	DESCRIPTION



THE NEW ALBANY COMPANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FOR
PRELIMINARY PLAT
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
LANDSCAPE OVERALL PLAN

REALM

COLUMBIAN
DESIGN
CORPORATION
100 BROADVIEW AVENUE, SUITE 1770
COLUMBUS, OHIO 43260-1170
PHONE 614.670.7360



DATE
May 28, 2025

SCALE
0 50 100
1 inch = 100 feet

JOB NO.
2024-10

SHEET
13/25



PROPERTY LINE

LOT LINE

10

LOT NUMBER

ESTATE WALL

BRICK SIDEWALK

REAR LANDSCAPE EASEMENT

UNDERSTORY PLANTING

TREES

REVISIONS

MARK	DATE	DESCRIPTION

THE NEW ALBANY COMPANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO

FOR
PRELIMINARY PLAT

NEW ALBANY COUNTRY CLUB SECTION 30

BLENHHEIM

LANDSCAPE OVERALL ELEMENTS PLAN

REALM
CONSULTATIVE
GROUP, INC.
100 BROADVIEW DRIVE, SUITE 1770
COLUMBUS, OHIO 43260-1770
PHONE 614.670.7360

DATE
May 28, 2025

SCALE
0 50 100
1 inch = 100 feet

JOB NO.
2024-10

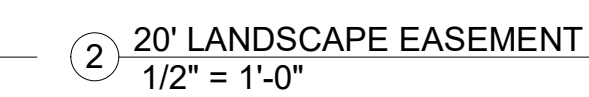
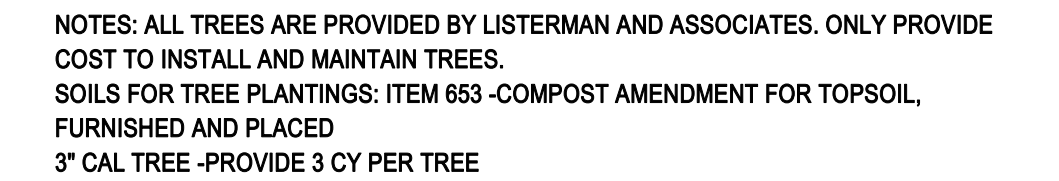
SHEET
14/25



- ② DECIDUOUS TREE PLANTING DETAIL - STREET TREE
3/4" = 1'-0"

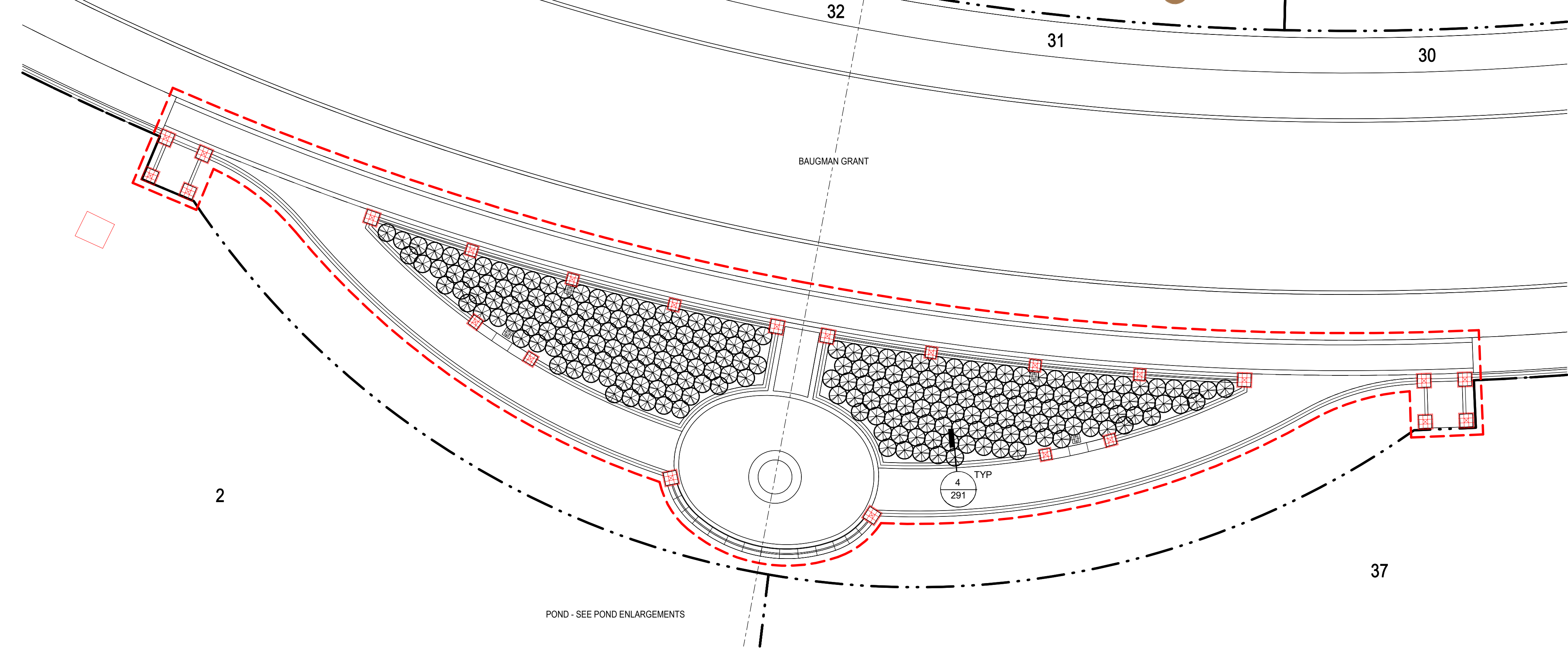
SHEET

15/25

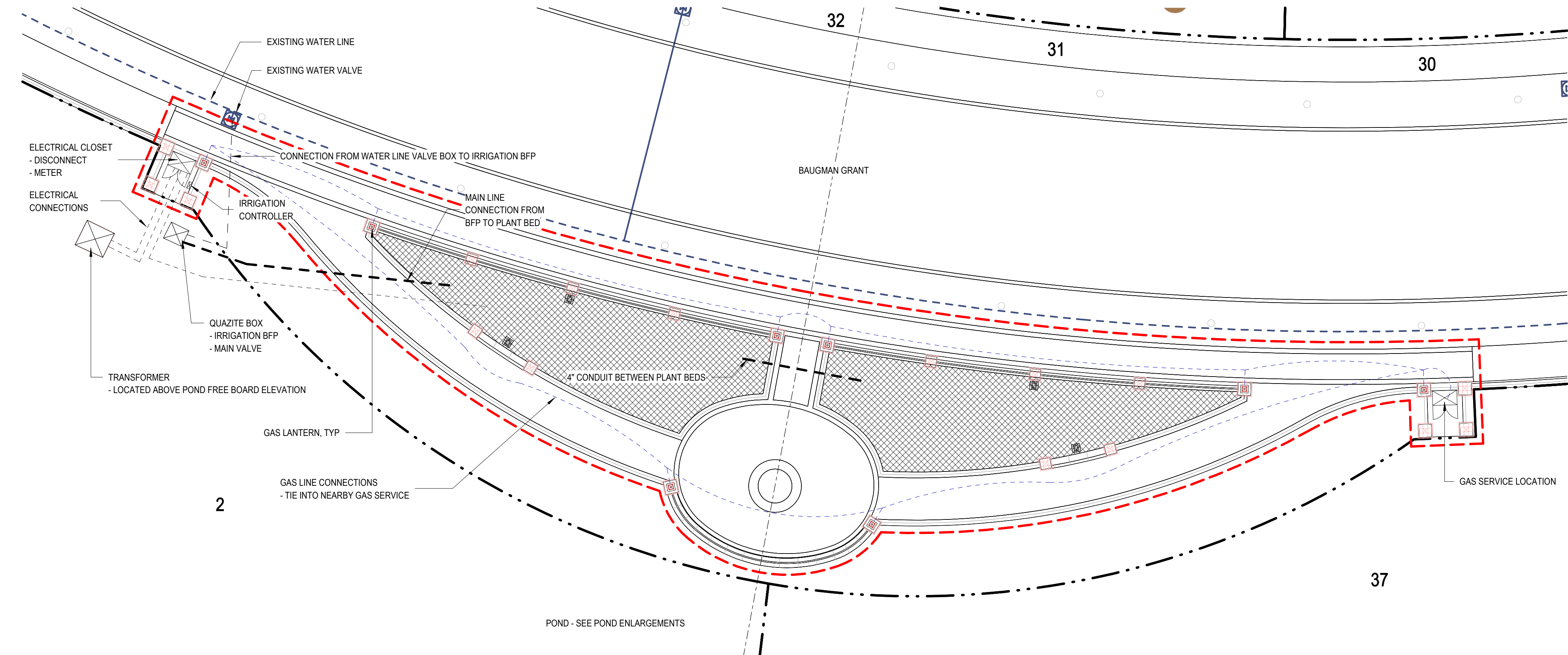


REALM
COLLABORATIVE
100 E BROAD STREET STE 1710
COLUMBUS, OHIO 43215
PHONE 614 670 7390

① OVERLOOK PLANTING PLAN
1" = 10'-0"



② OVERLOOK UTILITY PLAN
1" = 10'-0"



REVISIONS

MARK	DATE	DESCRIPTION



THE NEW ALBANY COMPANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FOR
PRELIMINARY PLAT

NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM

OVERLOOK PLANTING AND UTILITY PLAN

REALM
COLLABORATIVE
DESIGN
10000 BRECKENRIDGE RD
COLUMBUS, OH 43240
PHONE 614 670 7262

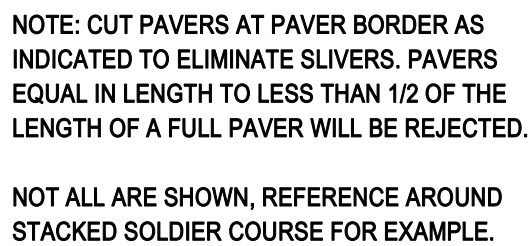


DATE
May 28, 2025

SCALE
0 5 10
1 inch = 10 feet

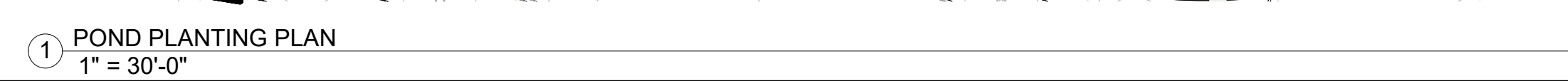
JOB NO.
2024-10

SHEET
17/25



SHEET

18/25

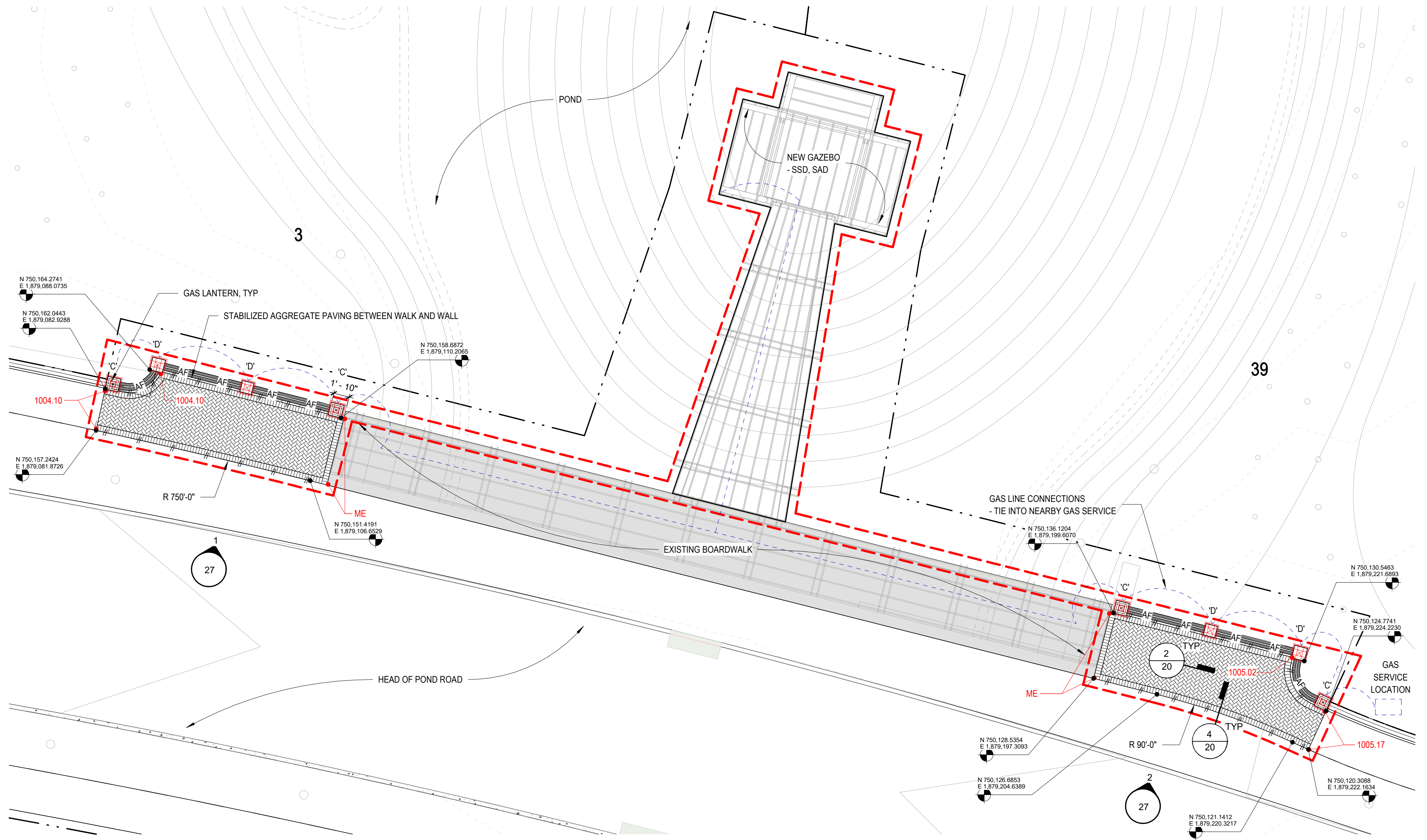


- NOTES: ALL TREES ARE PROVIDED BY LISTERMAN AND ASSOCIATES.
ONLY PROVIDE COST TO INSTALL AND MAINTAIN TREES.
SOILS FOR TREE PLANTINGS: ITEM 653 -COMPOST AMENDMENT FOR
TOPSOIL, FURNISHED AND PLACED
2" - 3" CAL TREE - PROVIDE 3 CY PER TREE
3" - 6" CAL TREE - PROVIDE 6 CY PER TREE
6" + CAL TREE - PROVIDE 12 CY PER TREE

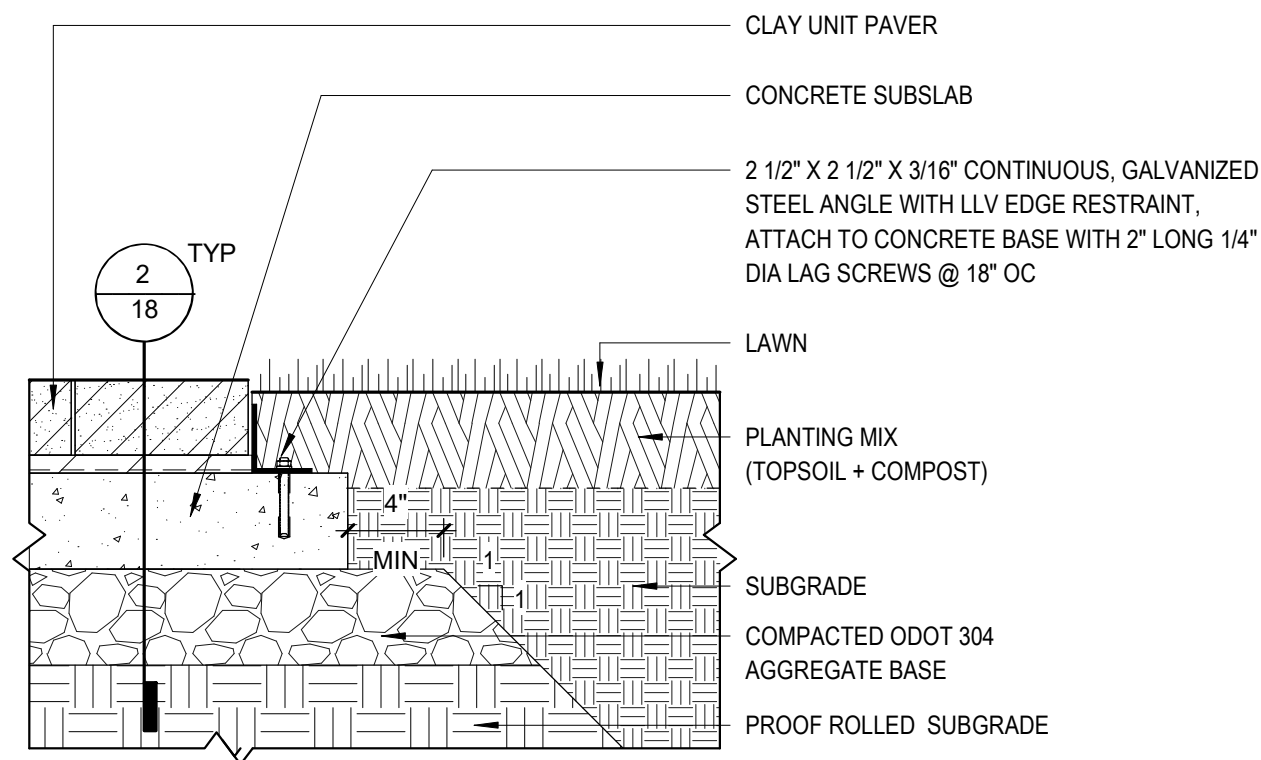
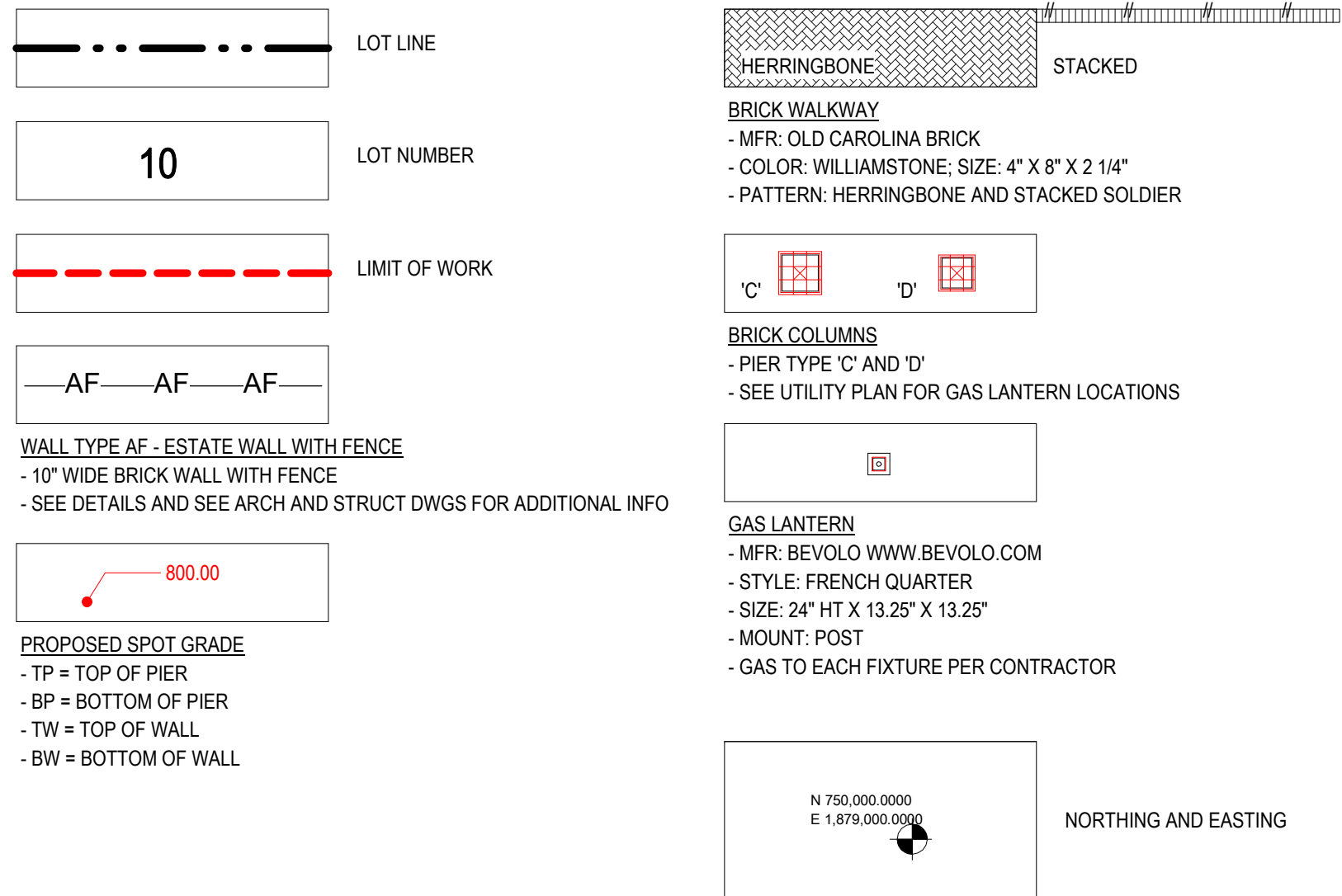


- NOTE: IRRIGATION SYSTEM TO BE DESIGN BUILD. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

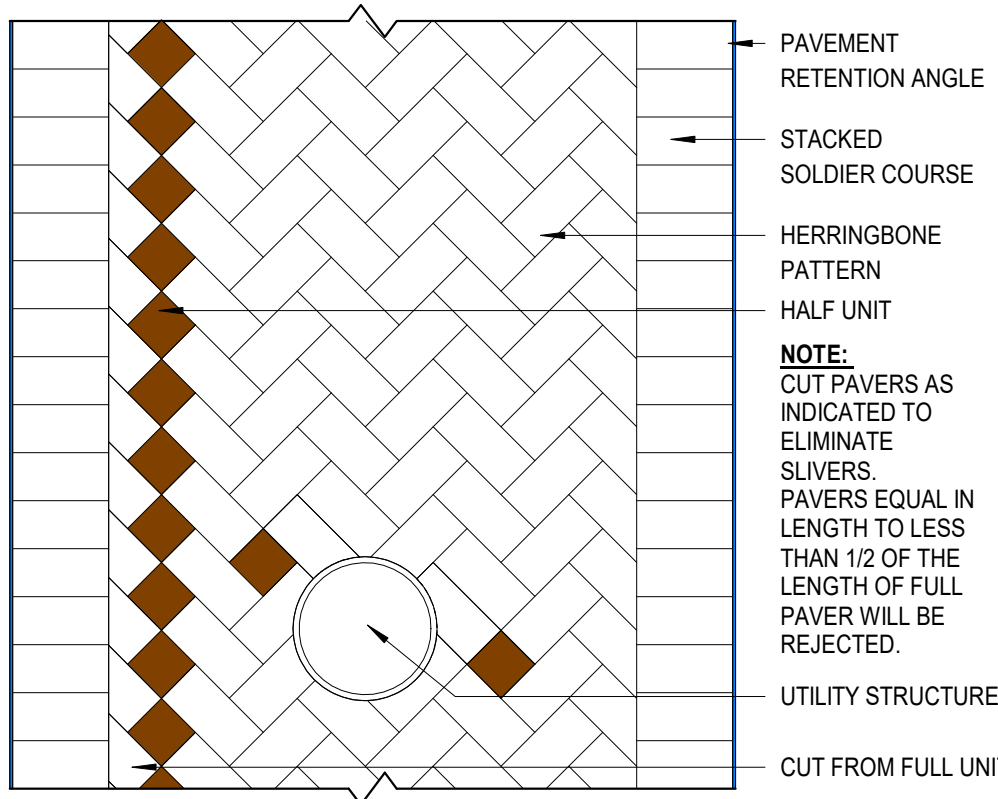
19/25



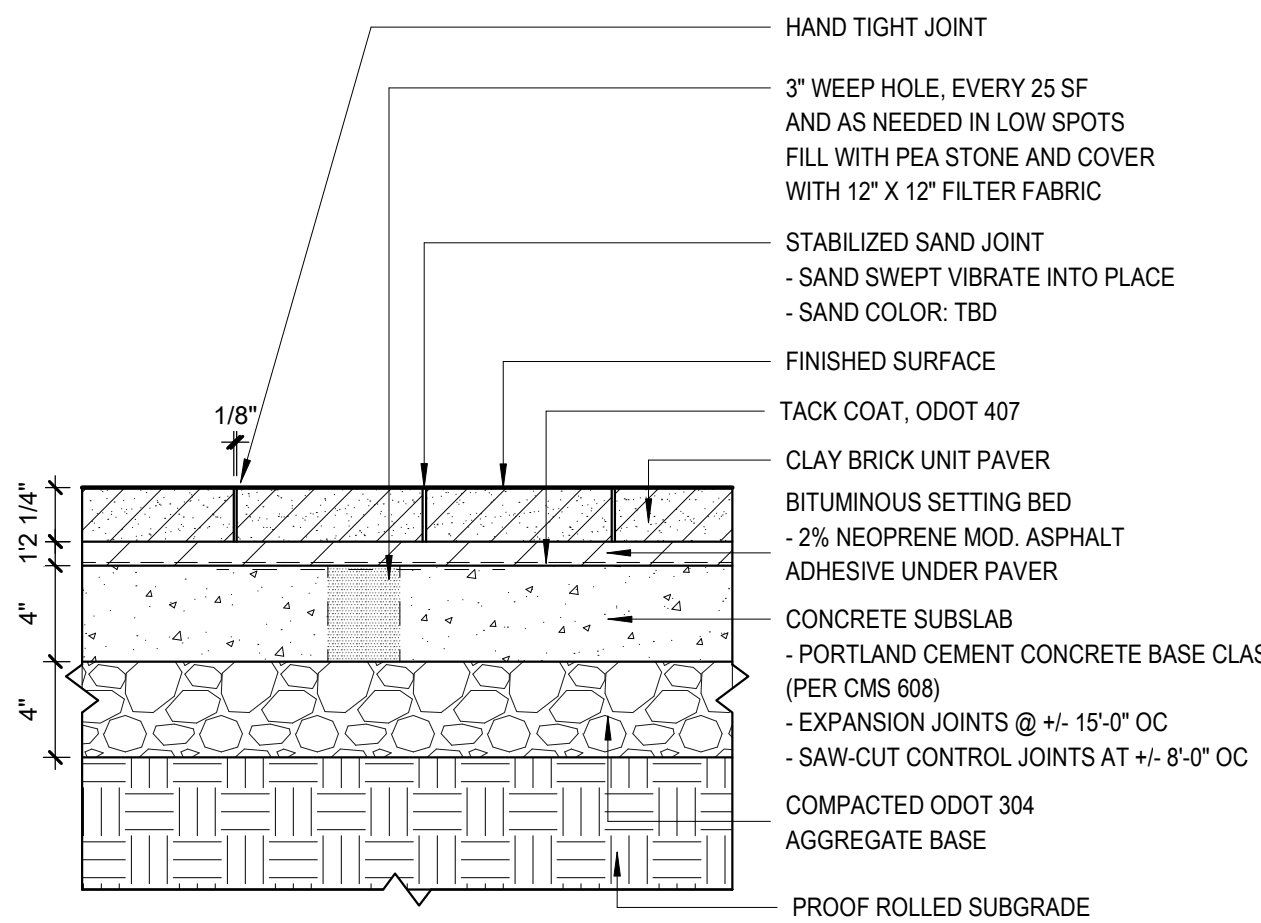
1 BOARDWALK MATERIALS PLAN
1/8" = 1'-0"



4 BRICK UNIT PAVER - EDGE RETRAINT @ BOARDWALK
1 1/2" = 1'-0"



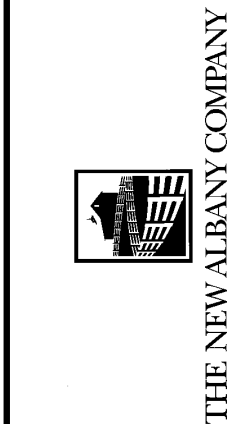
3 BRICK UNIT PAVING - PATTERN - BOARDWALK
3/4" = 1'-0"



2 BRICK UNIT PAVING SECTION - BOARDWALK
1 1/2" = 1'-0"

REVISIONS

MARK	DATE	DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
PRELIMINARY PLAN
FOR
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
SOUTH BOARDWALK MATERIALS PLAN



DATE

May 28, 2025

SCALE

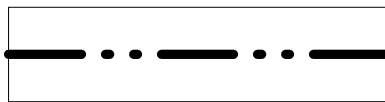
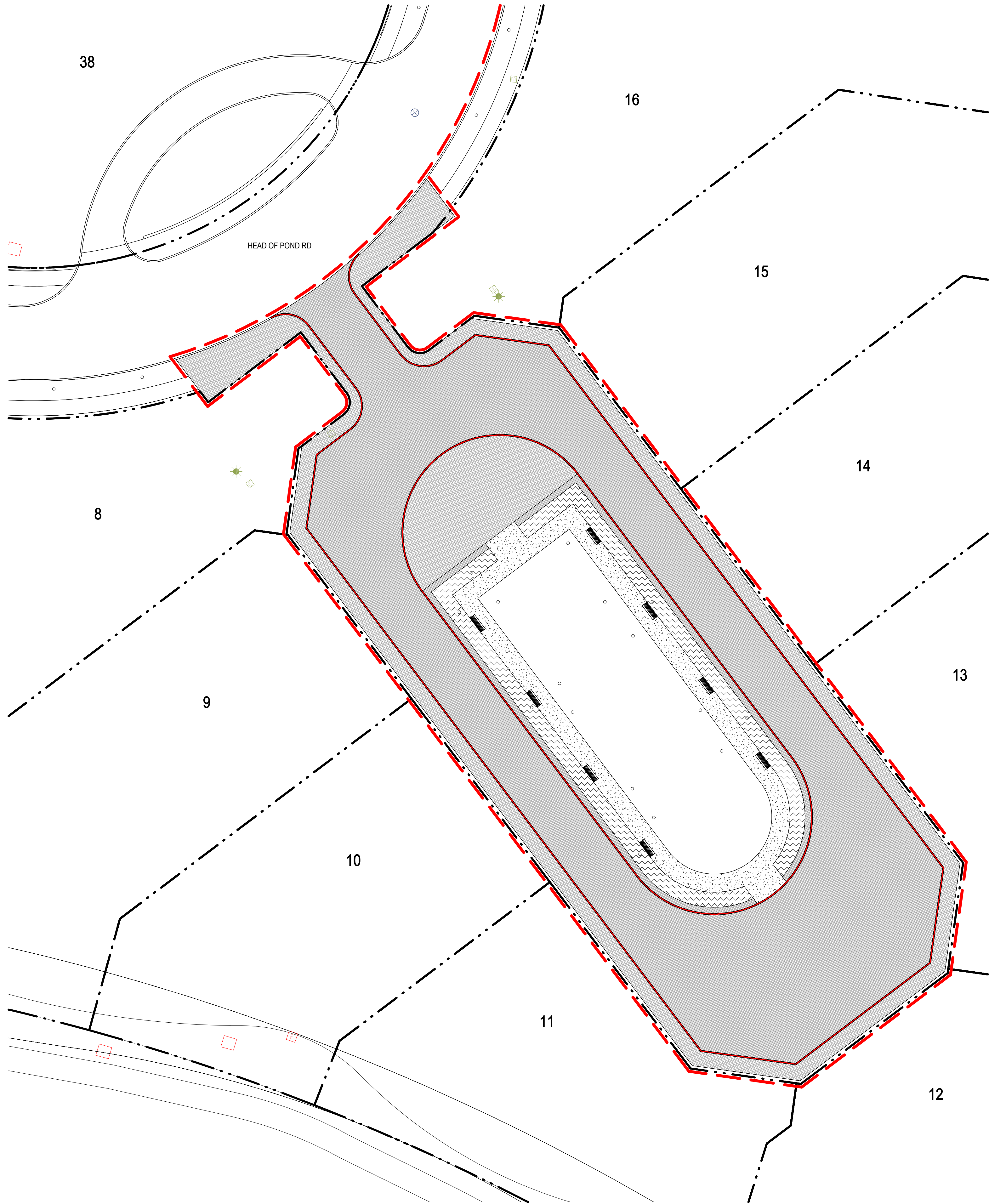
1/8" inch = 1'-0" feet

JOB NO.

2024-10

SHEET

20/25



LOT LINE



LOT NUMBER



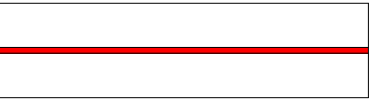
LIMIT OF WORK



HERRINGBONE:

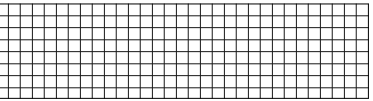
BRICK WALKWAY

- MFR: OLD CAROLINA BRICK
- COLOR: WILLIAMSTONE, SIZE: 4" X 8" X 2 1/4"
- PATTERN: HERRINGBONE AND STACKED SOLDIER EDGES



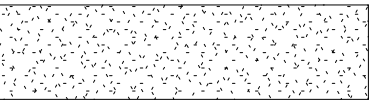
GRANITE CURBING

- MFR: POLYCOR OR APPROVED EQ
- COLOR: GREY
- FINISH: HONED



GRANITE COBBLES

- MFR: POLYCOR OR APPROVED EQ
- COLOR: WHITE/ GREY
- SIZE: 4"X4"
- FINISH: SPLIT FACE



STABILIZED AGGREGATE PAVING

- MFR: KAFKA GRANITE
- COLOR: AMERICAN HERITAGE GRANITE STABILIZED



MULCH

- HARDWOOD SHREDDED MULCH



BENCH

- MFR: TBD
- PRODUCT: WOOD BENCH WITH BACK

1 THE CLOSE MATERIALS PLAN

1" = 20'-0"

REVISIONS

MARK DATE DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FOR
PRELIMINARY PLAN
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
THE ENCLAVE MATERIALS PLAN

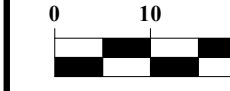
REALM
COLLECTIVE
DESIGN
100 BRONSON AVE, SUITE 1170
COLUMBUS, OHIO 43201
PHONE 614.670.7362



DATE

May 28, 2025

SCALE



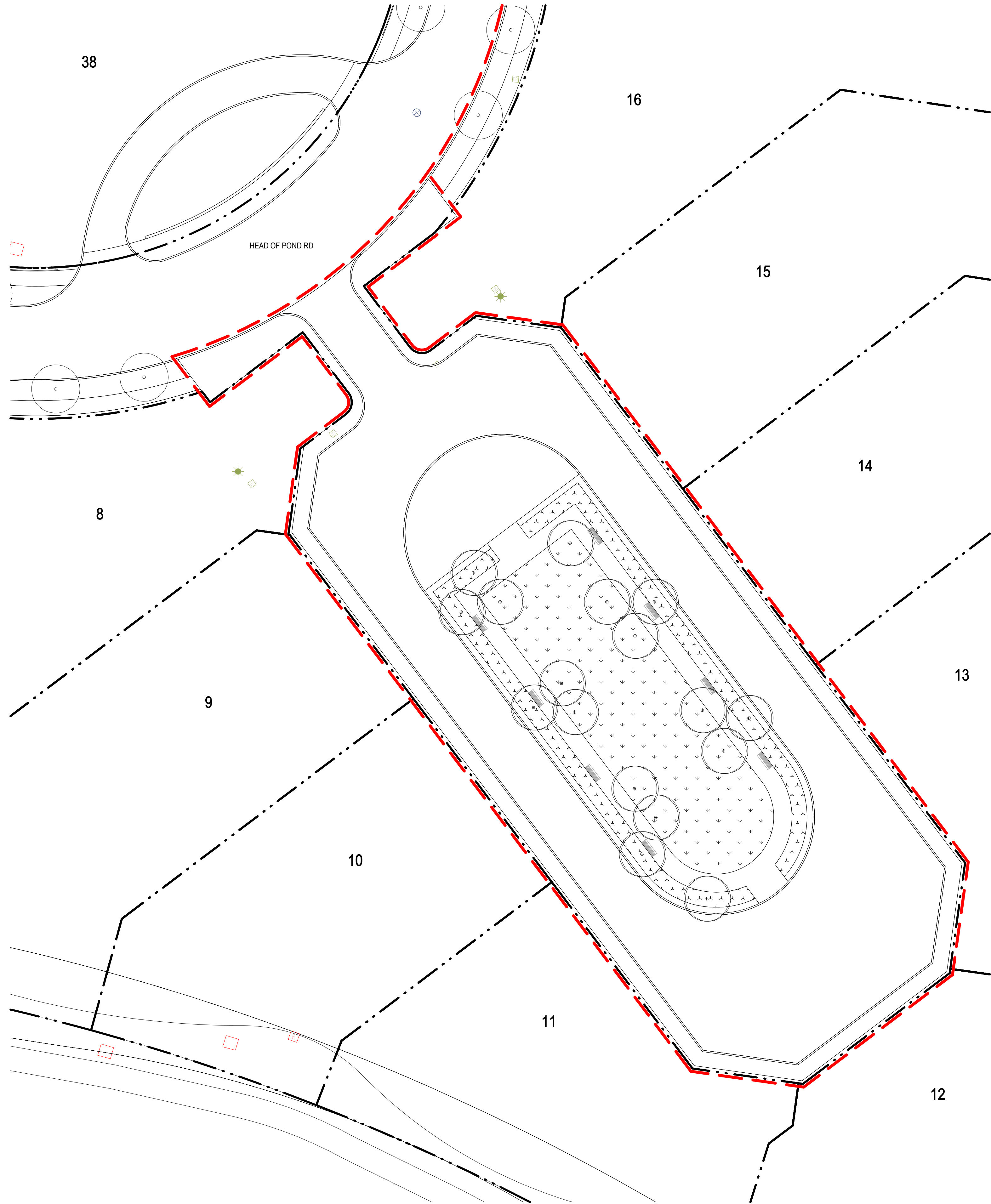
1 inch = 20 feet

JOB NO.

2024-10

SHEET

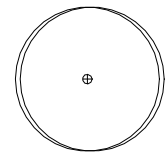
21/25



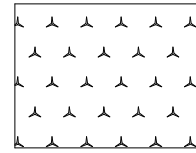
LOT LINE

10
LOT NUMBER

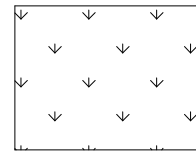
LIMIT OF WORK



SHADE TREE TYPE 1 (QTY:18)
- QUERCUS ELLIPSOIDALIS - NORTHERN PIN OAK
- SIZE: 6" CAL
- FIELD LOCATED



EVERGREEN HEDGE
- TAXUS MEDIA 'DENSIFORMIS' - DENSE YEW
- SIZES: 36" HT B+B
- SPACING: 24" ORTHO OC



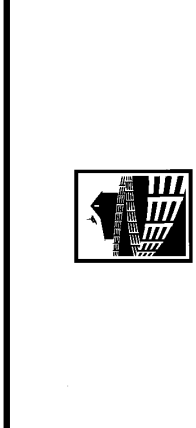
LAWN
- SEEDED LAWN
- TALL FESCUE BLEND
- 6" ITEM 653 TOPSOIL FINE GRADED PRIOR TO SEEDING

NOTES: ALL TREES ARE PROVIDED BY LISTERMAN AND ASSOCIATES.
ONLY PROVIDE COST TO INSTALL AND MAINTAIN TREES.
SOILS FOR TREE PLANTINGS: ITEM 653 -COMPOST AMENDMENT FOR
TOPSOIL, FURNISHED AND PLACED
2" - 3" CAL TREE - PROVIDE 3 CY PER TREE
3" - 6" CAL TREE - PROVIDE 6 CY PER TREE
6" + CAL TREE - PROVIDE 12 CY PER TREE

1 THE CLOSE PLANTING PLAN
1" = 20'-0"

REVISIONS

MARK	DATE	DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FOR
PRELIMINARY PLAT
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
THE ENCLAVE PLANTING PLAN

REALM
CONSULTANTS
COLUMBIAN, OHIO
PHONE 614 670 7362

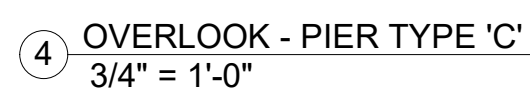
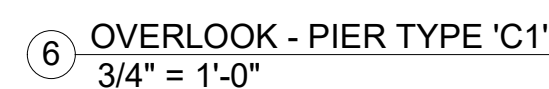
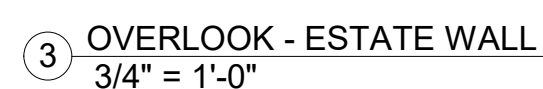
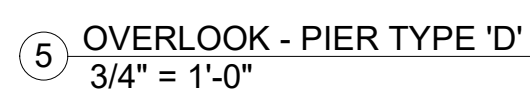
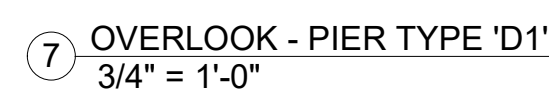


DATE
May 28, 2025

SCALE
0 10 20
1 inch = 20 feet

JOB NO.
2024-10

SHEET
22/25



THE NEW ALBANY COMPANY

REALM
COLLABORATIVE
100 E BROAD STREET STE 1710
COLUMBUS, OHIO 43215
PHONE 614 670 7390



May 28, 202

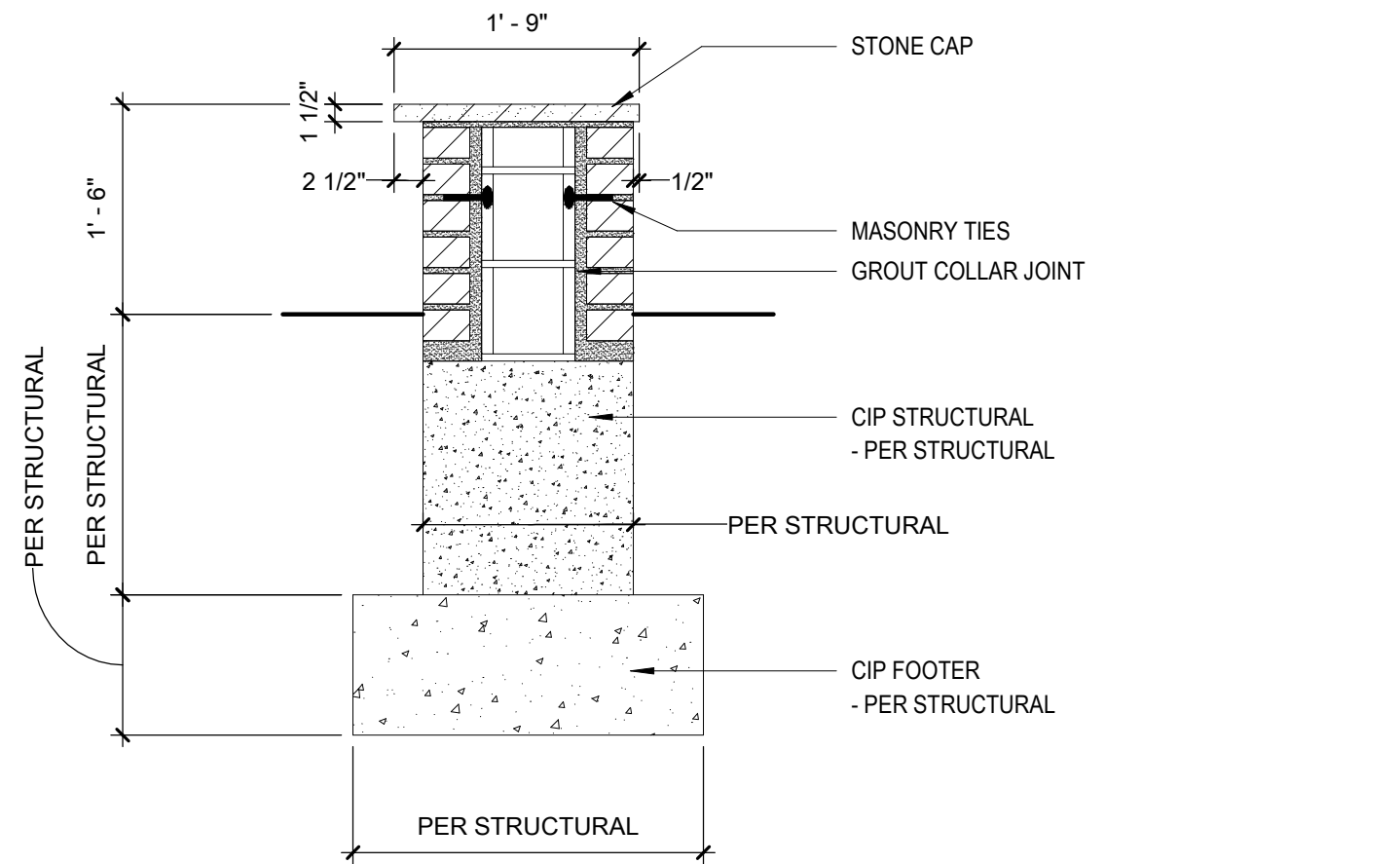
SCALE

JOB NO.

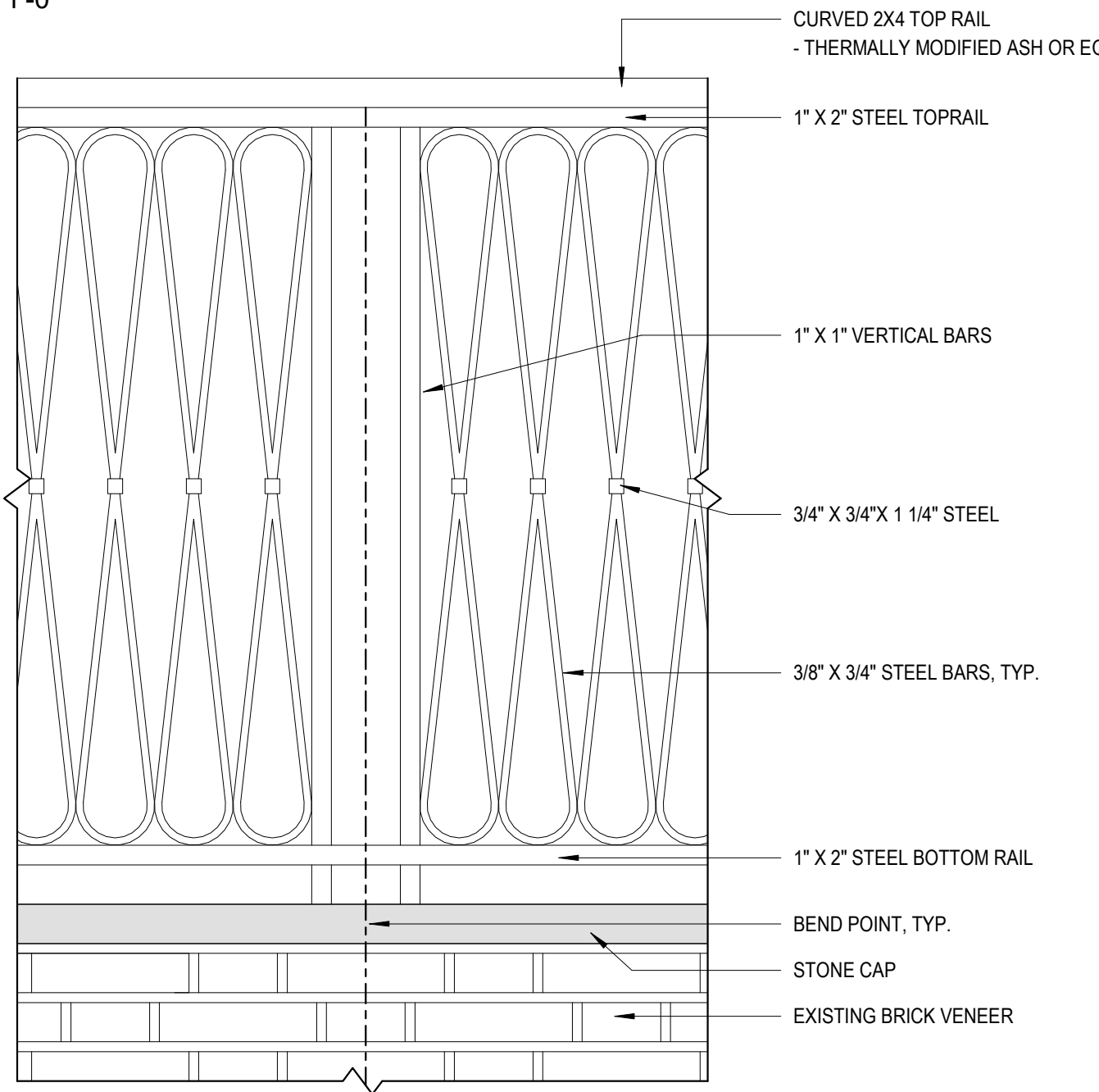
2024-10

SHEET

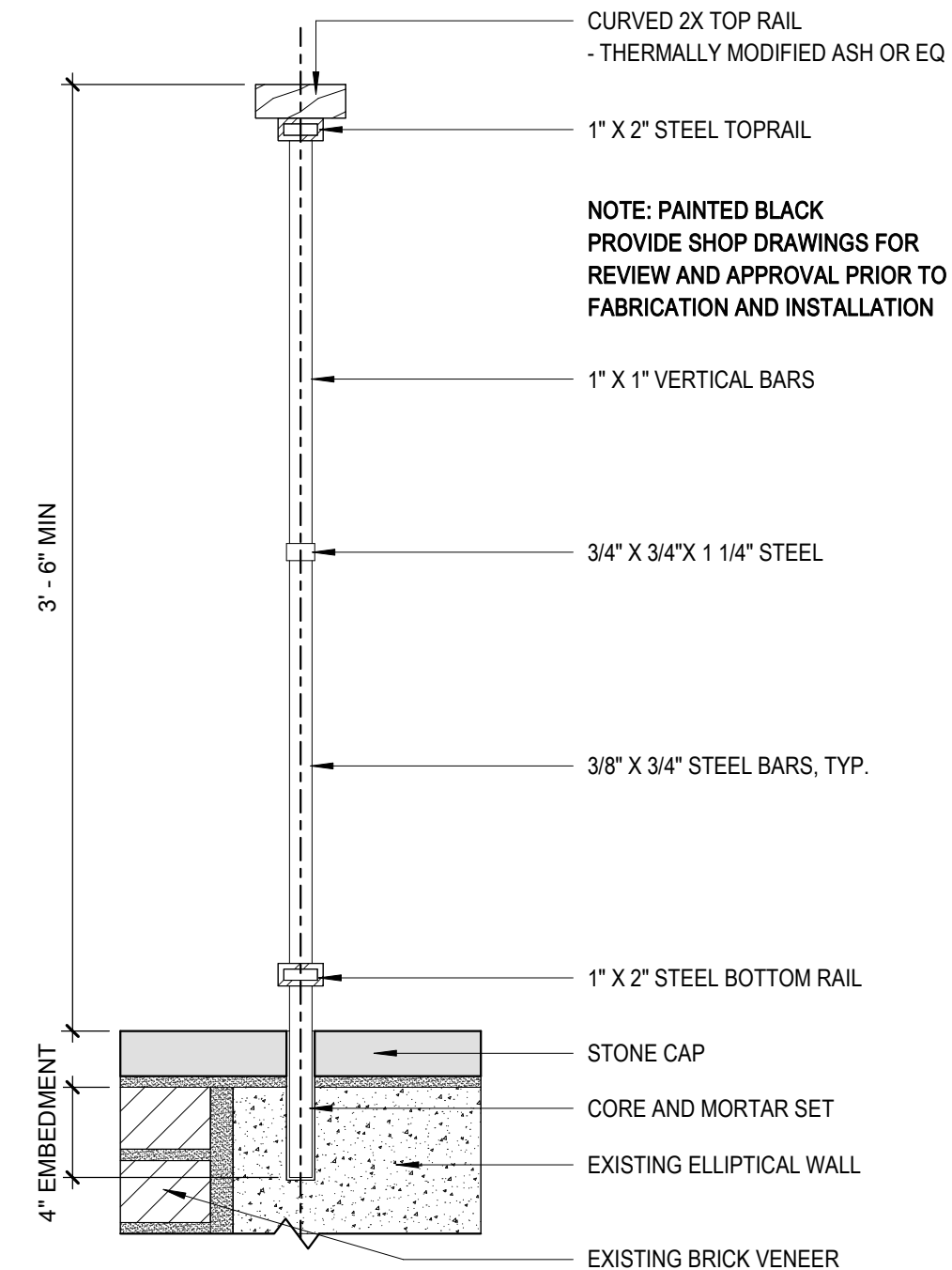
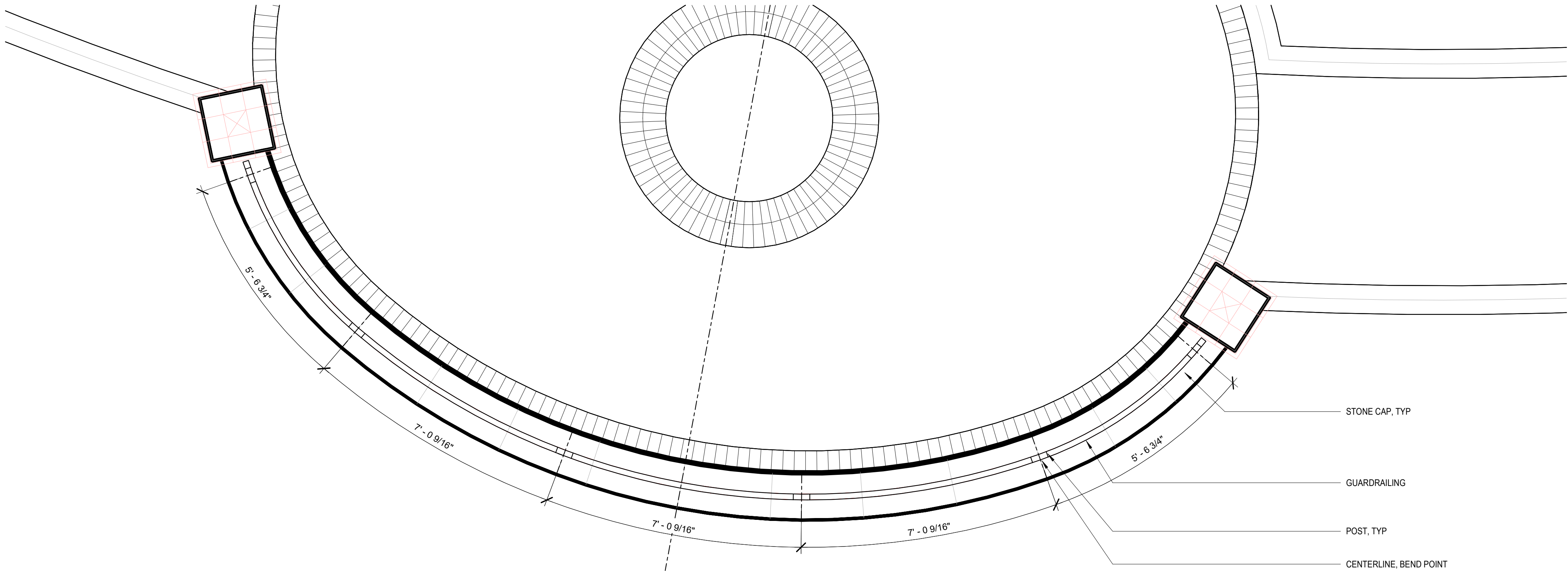
23/25



④ OVERLOOK - SEATWALL
3/4" = 1'-0"

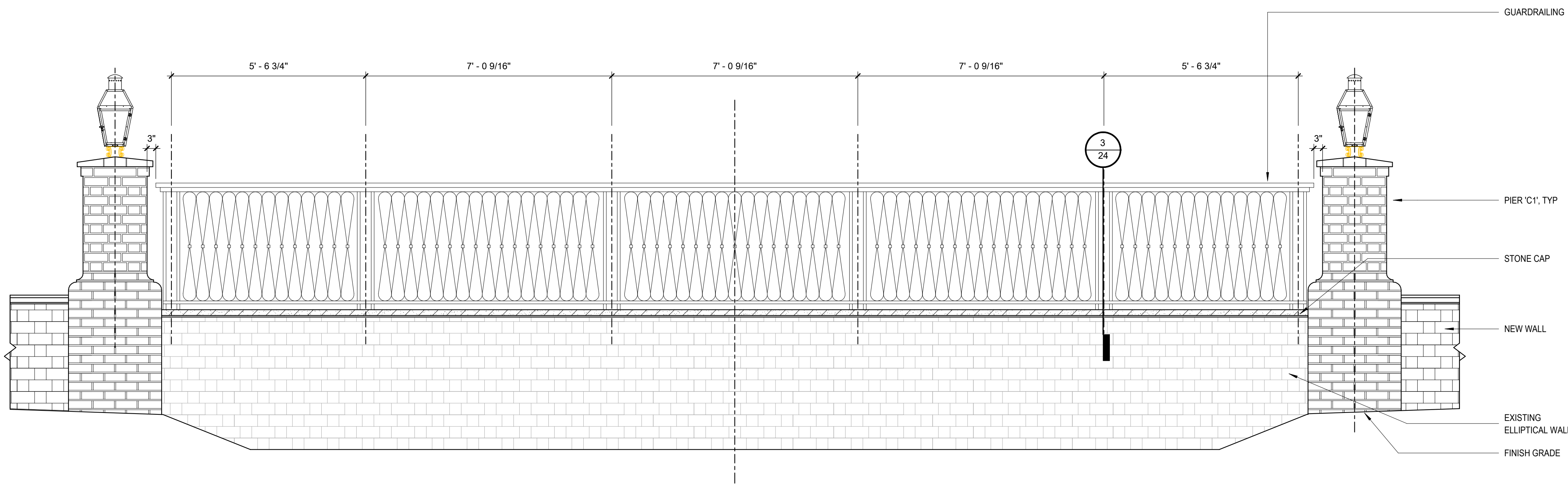


② OVERLOOK GUARDRAILING PLAN
1/2" = 1'-0"



③ OVERLOOK GUARDRAILING - SECTION
1 1/2" = 1'-0"

① OVERLOOK WALL ELEVATION - GUARDRAILING
1/2" = 1'-0"



REVISIONS		
MARK	DATE	DESCRIPTION



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FOR
PRELIMINARY PLAN
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
LANDSCAPE DETAILS

REALM
CONSTRUCTION
CONSULTANTS
100 BROADVIEW AVE, SUITE 1770
COLUMBUS, OHIO 43260-1170
PHONE 614.670.7360

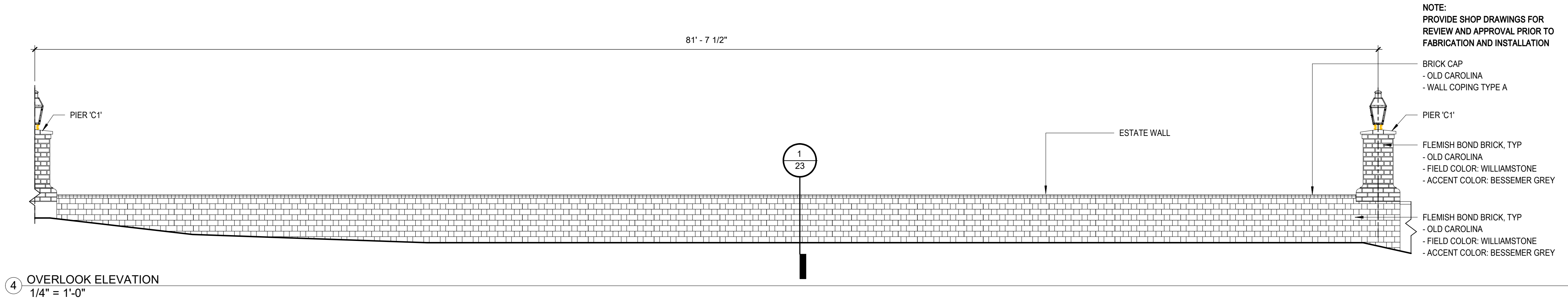


DATE
May 28, 2025

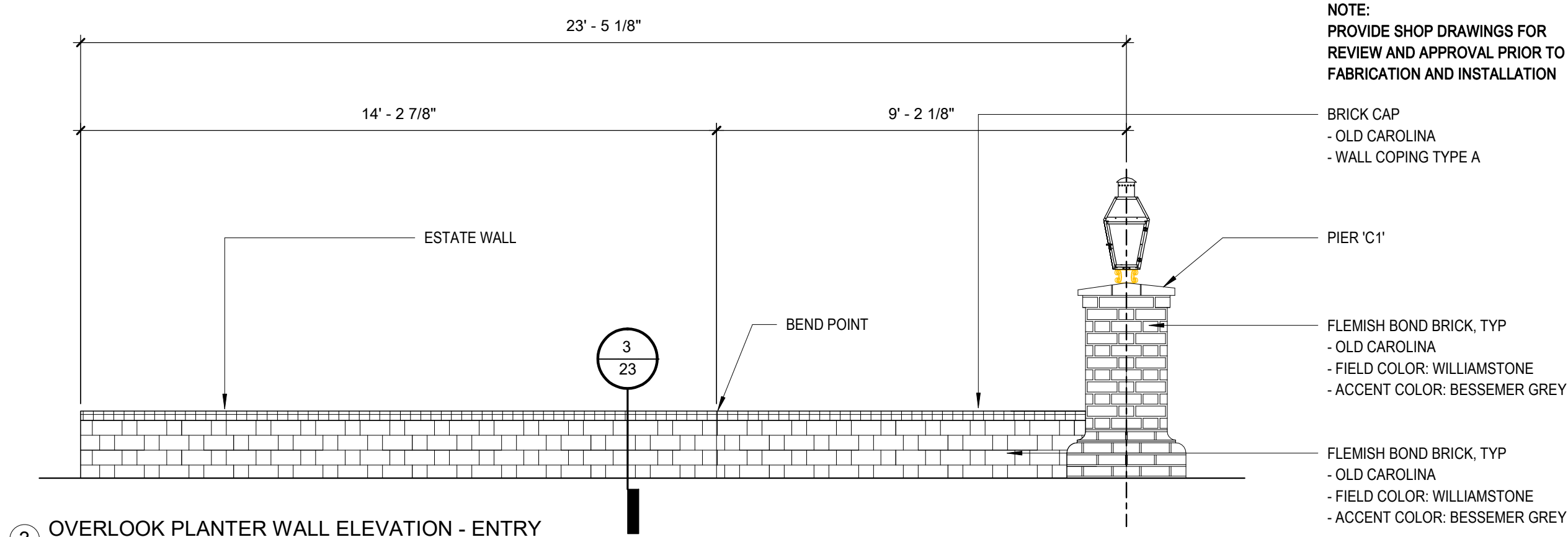
SCALE

JOB NO.
2024-10

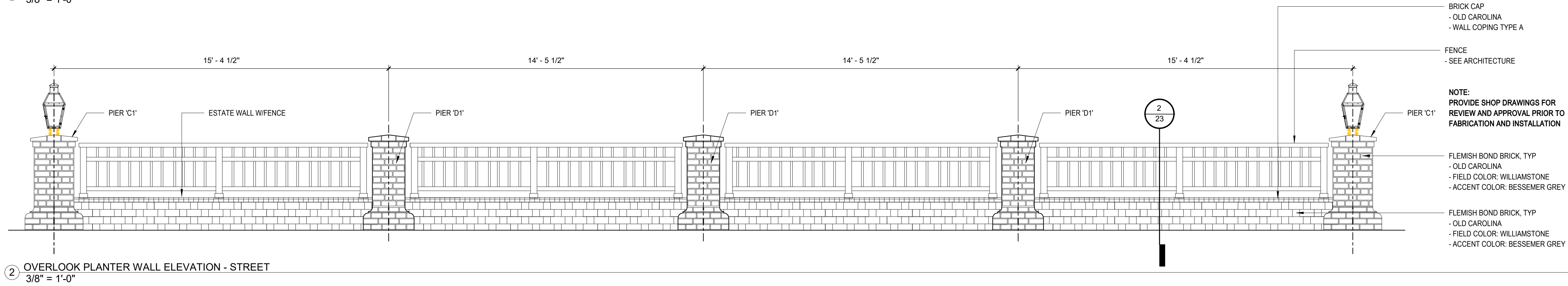
SHEET
24/25



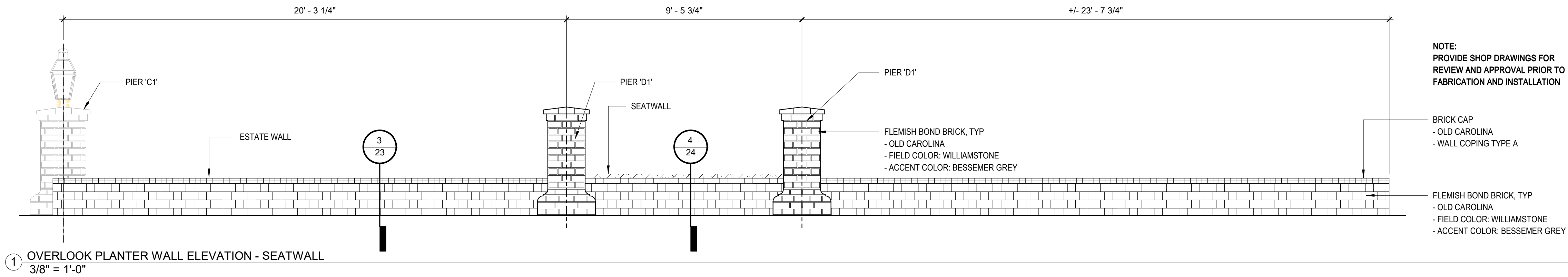
④ OVERLOOK ELEVATION
1/4" = 1'-0"



③ OVERLOOK PLANTER WALL ELEVATION - ENTRY
3/8" = 1'-0"




② OVERLOOK PLANTER WALL ELEVATION - STREET
3/8" = 1'-0"



① OVERLOOK PLANTER WALL ELEVATION - SEATWALL
3/8" = 1'-0"

REVISIONS		
MARK	DATE	DESCRIPTION

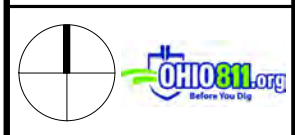


THE NEW ALBANY COMPANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FOR
PRELIMINARY PLAT
NEW ALBANY COUNTRY CLUB SECTION 30
BLENHEIM
LANDSCAPE DETAILS



REALM
CONSULTATIVE
100 BROADVIEW STREET, SUITE 1770
COLUMBUS, OHIO 43260-1010
PHONE 614.670.7360



DATE
May 28, 2025

SCALE

JOB NO.
2024-10

SHEET
25/25



**Planning Commission Staff Report
June 16, 2025 Meeting**

**NEW ALBANY COUNTRY CLUB SECTION 30
FINAL PLAT**

LOCATION: Section 30 of the New Albany Country Club (East Nine) (PID: 222-005185 and 46 others, see attached).
APPLICANT: The New Albany Company LLC, c/o Aaron Underhill, Esq.
REQUEST: Final Plat
ZONING: East Nine Infill-Planned Unit Development (I-PUD)
STRATEGIC PLAN: Residential District
APPLICATION: FPL-40-2025

Review based on: Application materials received May 28, 2025

Staff report completed by Jay Henderson, Planner.

I. REQUEST AND BACKGROUND

On March 31, 2021, the applicant received approval for a preliminary plat for Section 30 of the New Albany Country Club (PP-21-2021). That plan included 37 residential lots, five reserves, and three new roads.

On November 18, 2024, the applicant requested revisions to Section 30, which then proposed 40 residential lots and six reserves (PP-76-2024). The proposed plat is consistent with the previous plat in the number of lots and proposed reserves. The lots, however, have changed in size and configuration.

The applicant requests a revision to Section 30 and now proposes 40 residential lots and six (6) reserves (F, G, H, I, J, K). Reserves C and D have been previously platted and are not included in this application. The three streets previously approved in 2021 remain unchanged, except for a limited portion of Head of Pond Road.

There is a final development plan, text modification, and zoning change applications for the property on the agenda, which are evaluated under separate staff reports (FDP-35-2025, ZC-48-2025, and TM-49-2025).

II. SITE DESCRIPTION & USE

The property is surrounded by the New Albany Country Club golf course as well as 36 previously platted residential lots, eight reserves, and three public streets. The surrounding land use includes the golf course and residentially zoned and used land.

III. PLAN REVIEW

Planning Commission's review authority of the final plat is found under C.O. Section 1187. The applicant must return to the city council for review and approval of a final plat. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

- The plat shows 40 residential lots to be developed. The proposed lot layout and dimensions match what is shown on the proposed final development plan and meet the requirements of the zoning text.
 - The final plat appropriately shows the lot widths in Subarea 1 to be at least 90 feet at the building line, as required by zoning text section VI(B)(3).
 - For subareas 2 and 3, there are no minimum setbacks from any lot lines.
- The plat appropriately shows the front yard setback at 20 feet, which is consistent with the development text.
- This plat contains six (6) reserve areas shown as reserves F, G, H, I, J, K on the plat with a total acreage of 1.399. According to the plat notes, all of the proposed reserve areas will be used as open space for the subdivision. Reserves J and K are to be owned and maintained by the New Albany Country Club Section 30 Homeowners Association. The remaining reserves are to be owned by the City of New Albany and maintained by the New Albany Country Club Section 30 Homeowners Association. C.O. 1187.16(b) states that all publicly and privately owned parks and open spaces must be accessible by roadway or public access easement.
- Section 30 will ultimately have a total of eight (8) reserves. However, reserves C and D, not mentioned in this plat, have already been recorded in the previous plat for Section 30.
- The total required open space and parkland requirement for the development is 8.2 acres. The applicant is proposing a total of 7.23 acres, which does not meet the requirements.
 - Staff recommends that the developer withdraw 0.97 acres from the parkland bank to meet this requirement.
- The plat retains the previously approved three (3) new publicly dedicated streets, which include Head of Pond Court, Head of Pond Road, and Baughman Grant.
 - All right-of-way and existing pavement widths shall remain as they exist, except that a limited portion of Head of Pond Road is to be vacated along the eastern portion of Subarea 2 that has frontage on that street.
- Proposed developer utility and proposed public utility easements are shown.
- C.O. 1187.04(d)(4) and (5) requires verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act and to the U.S. Army Corps of Engineers in compliance with Section 404 of the Clean Water Act. The applicant has submitted an environmental compliance letter.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided the following comments. Staff recommends a condition of approval that this comment be addressed at the time of engineering plan review, subject to staff approval.

1. We recommend that the applicant have the plat reviewed by the Franklin County Engineer's office and a summary of County Engineer review comments and the applicant's comment responses be provided for our records.
2. Where easement vacation is proposed, work with private utility providers (e.g., telecom, gas, electric, etc.) to determine if private utilities already installed must be relocated. Provide documentation from each provider.
3. Modify Note I by adding language indicating that vacated streets shall be privately maintained.
4. Refer to the note on sheet 3 near Reserve G. There is no Detail B on sheet 3. Please revise.
5. Add drainage easements on sheet 3 where swales and storm sewer are located outside of r/w.
6. Sheet 2 labels the reserve near the Head of Pond cul-de-sac as Reserve A. This reserve is labeled as Reserve J on other sheets. Please revise.

VI. ACTION

The final plat is consistent with the final development plan and meets code requirements. Should the Planning Commission approve the application, the following motion would be appropriate:

Suggested Motion for FPL-40-2025:

Move to approve final plat application FPL-40-2025 with the following conditions.

1. FDP-35-2025 must be approved by the Planning Commission.
2. The applicant withdraws from the parkland bank 0.97 acres to meet the open space and parkland requirement.
3. The city engineer's comments must be addressed, subject to staff approval.

Approximate Site Location:



Source: NearMap

RESUBDIVISION OF PART OF
NEW ALBANY COUNTRY CLUB SECTION 30

Situated in the State of Ohio, County of Franklin, City of New Albany, and in Quarter Township 3, Township 2, Range 16, United States Military Lands, containing 21.442 acres of land, more or less, said 21.442 acres being comprised of a resubdivision of Lots 1 to 36, both inclusive, and Reserves "A", "B" and "E" of the subdivision entitled "New Albany Country Club Section 30", of record in Plat Book 132, Page 86, said Lots and Reserves being conveyed to **THE NEW ALBANY COMPANY LLC** by deed of record Instrument Number 201009020114195, and part of that tract of land conveyed to **THE NEW ALBANY COMPANY LLC** by deed of record Instrument Number 201009020114195, Recorder's Office, Franklin County, Ohio.

The undersigned, **THE NEW ALBANY COMPANY LLC**, a Delaware limited liability company, by **BRENT B. BRADBURY**, Chief Financial Officer, owner of the lands platted herein, duly authorized in the premises, does hereby certify that this plat correctly represents its **"RESUBDIVISION OF PART OF NEW ALBANY COUNTRY CLUB SECTION 30"**, a subdivision containing Lots numbered 101 to 141, both inclusive, and areas designated as Reserve "F", Reserve "G", Reserve "H", Reserve "I", Reserve "J" and Reserve "K", does hereby accept this plat of same and dedicates to public use, as such, all of Head of Pond Road shown hereon and not heretofore dedicated.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement", "Drainage Easement" or "Sidewalk Easement". Each of the aforementioned designated easements permit the construction, operation and maintenance of all public and quasi-public utilities above, beneath, and on the surface of the ground and, where necessary, for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage. No building shall be constructed in any area over which easements are hereby reserved. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the City of New Albany Engineer. Within those areas designated "Sidewalk Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing/installing and maintaining a sidewalk for use by the general public. Easement areas shown hereon outside of the platted area are within lands owned by the undersigned and easements are hereby reserved therein for the uses and purposes as expressed herein.

In Witness Whereof, **BRENT B. BRADBURY**, Chief Financial Officer of **THE NEW ALBANY COMPANY LLC**, has hereunto set his hand this _____ day of _____, 20__.

Signed and Acknowledged In the presence of: **THE NEW ALBANY COMPANY LLC**

By **BRENT B. BRADBURY**, Chief Financial Officer

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared **BRENT B. BRADBURY**, Chief Financial Officer of **THE NEW ALBANY COMPANY LLC**, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said **THE NEW ALBANY COMPANY LLC** for the uses and purposes expressed herein.

In Witness Thereof, I have hereunto set my hand and affixed my official seal this _____ day of _____, 20__.

My commission expires _____
Notary Public, _____ State of Ohio

Approved this _____ Day of _____
20____ Mayor, _____ New Albany, Ohio

Approved this _____ Day of _____
20____ City Engineer, _____ New Albany, Ohio

Approved this _____ Day of _____
20____ Council Representative to Planning Commission, _____ New Albany, Ohio

Approved this _____ Day of _____
20____ Chairperson, Planning Commission, _____ New Albany, Ohio

Approved this _____ Day of _____
20____ Finance Director, _____ New Albany, Ohio

Approved and accepted by Resolution No. _____, passed _____, 20____, wherein all of Head of Pond Road shown dedicated hereon is accepted, as such, by the Council for the City of New Albany, Ohio. Approval of this plat shall become null and void unless recorded prior to _____, 20____. The City of New Albany, Ohio by its approval and acceptance of this plat does hereby vacate the portions of Head of Pone Road shown hereon by Cross Hatching

Transferred this _____ day of _____,
20____ Auditor, _____ Franklin County, Ohio

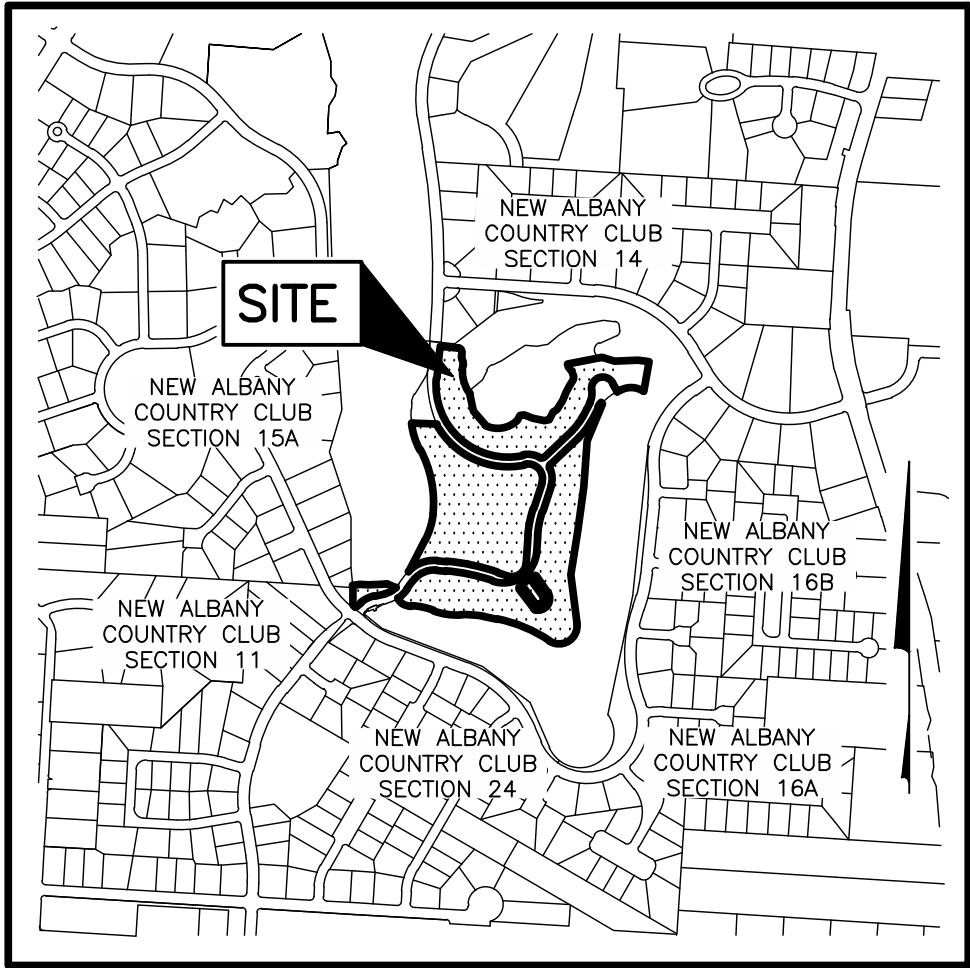
Deputy Auditor, _____ Franklin County, Ohio

Filed for record this _____ day of _____,
20____ at _____ M. Fee \$ _____
Recorder, _____ Franklin County, Ohio

File No. _____

Recorded this _____ day of _____,
20____ Deputy Recorder, _____ Franklin County, Ohio

Plat Book _____, Pages _____



LOCATION MAP AND BACKGROUND DRAWING

NOT TO SCALE

SURVEY DATA:

BASIS OF BEARINGS: The bearings shown hereon are based on the same meridian as the bearings shown on the subdivision plat entitled "New Albany Country Club Section 6", of record in Plat Book 76, Page 54, Records Office, Franklin County, Ohio. On said plat of record, a portion of the centerline of Yantis Drive is shown as having a bearing of South 12°54' 44" East.

SOURCE OF DATA: The sources of recorded survey data referenced in the plan and text of this plat are the records of the the Recorder's Office, Franklin County, Ohio.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes, thirteen-sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated and are to be set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped EMHT INC. Once installed, the top of the cap shall be marked (punched) to record the actual location of the point. These markers shall be set following the completion of the construction/installation of the street pavement and utilities and prior to the City of New Albany, Ohio's acceptance of these infrastructure improvements. The New Albany, Ohio, Municipal Engineer shall be notified in writing when the markers are in place.

SURVEYED & PLATTED
BY



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ⊙ = Permanent Marker (See Survey Data)

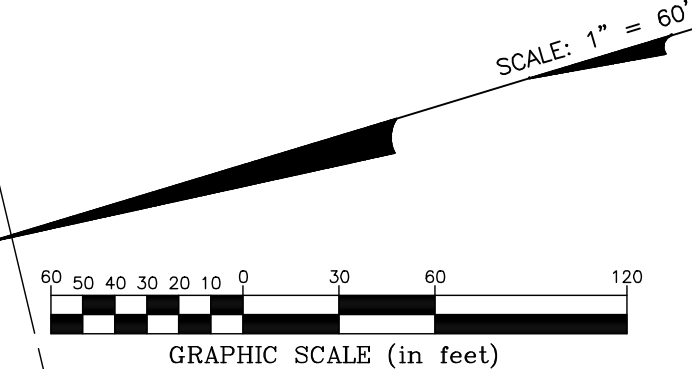
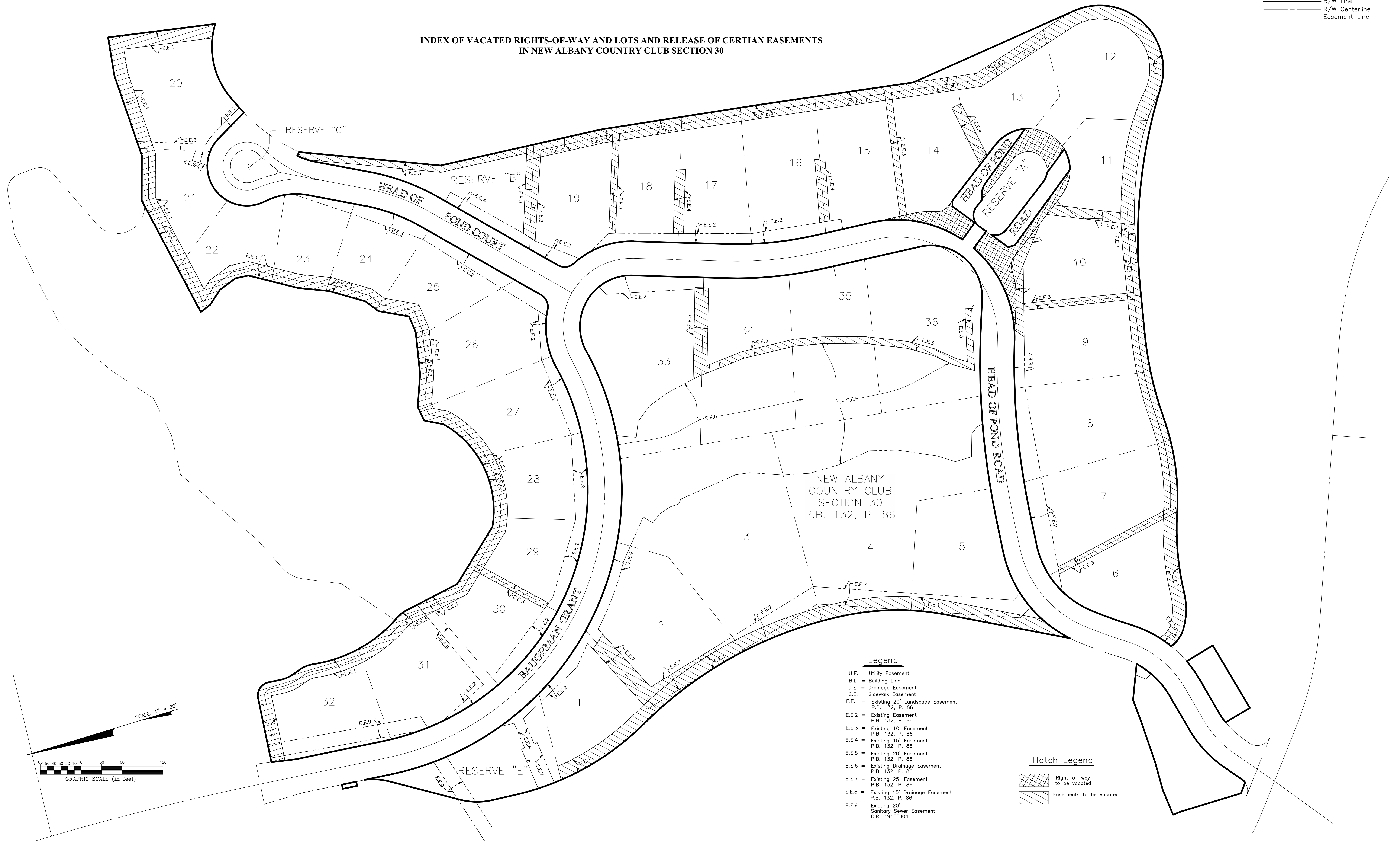
By _____ Date _____
Professional Surveyor No. 7865

RESUBDIVISION OF PART OF NEW ALBANY COUNTRY CLUB SECTION 30

2
5

Line Type Legend	
	Existing Property Line
	Existing R/W Line
	Existing R/W Centerline
	Existing Easement Line
	Subdivision Boundary Line
	Lot Line
	R/W Line
	R/W Centerline
	Easement Line

INDEX OF VACATED RIGHTS-OF-WAY AND LOTS AND RELEASE OF CERTIAN EASEMENTS
IN NEW ALBANY COUNTRY CLUB SECTION 30



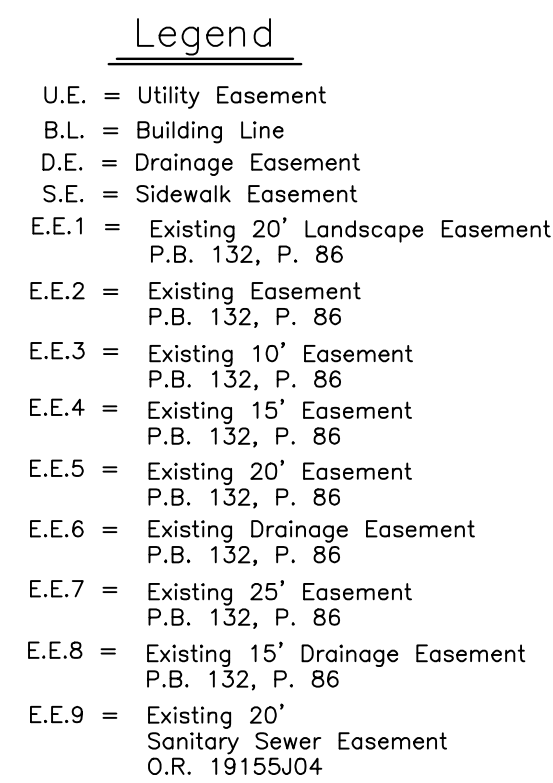
- Legend**
- U.E. = Utility Easement
 - B.L. = Building Line
 - D.E. = Drainage Easement
 - S.E. = Sidewalk Easement
 - E.E.1 = Existing 20' Landscape Easement
P.B. 132, P. 86
 - E.E.2 = Existing Easement
P.B. 132, P. 86
 - E.E.3 = Existing 10' Easement
P.B. 132, P. 86
 - E.E.4 = Existing 15' Easement
P.B. 132, P. 86
 - E.E.5 = Existing 20' Easement
P.B. 132, P. 86
 - E.E.6 = Existing Drainage Easement
P.B. 132, P. 86
 - E.E.7 = Existing 25' Easement
P.B. 132, P. 86
 - E.E.8 = Existing 15' Drainage Easement
P.B. 132, P. 86
 - E.E.9 = Existing 20' Sanitary Sewer Easement
O.R. 19155J04

- Hatch Legend**
- Right-of-way to be vacated
 - Easements to be vacated

J:\20201095\DWG\CAD\DWG\20201095-VS-PLAN-SEC30-R1.DWG plotted by MASTON, JCH on 6/6/2025 11:09:41 AM last saved by JMASTON on 6/6/2025 8:06:44 AM
Note: 20201095-VS-REF-PLAN-SEC30-R1.DWG & 20201095-VS-REF-PLAN-SEC30-R1.DWG

Line Type Legend

_____	Existing Property Line
_____	Existing R/W Line
_____	Existing R/W Centerline
_____	Existing Easement Line
=====	Subdivision Boundary Line
_____	Lot Line
_____	R/W Line
_____	R/W Centerline
_____	Easement Line



THE NEW ALBANY
COUNTRY CLUB
SECTION 15A
P.B. 86, P. 67

THE NEW ALBANY COMPANY LLC
I.N. 201009020114195

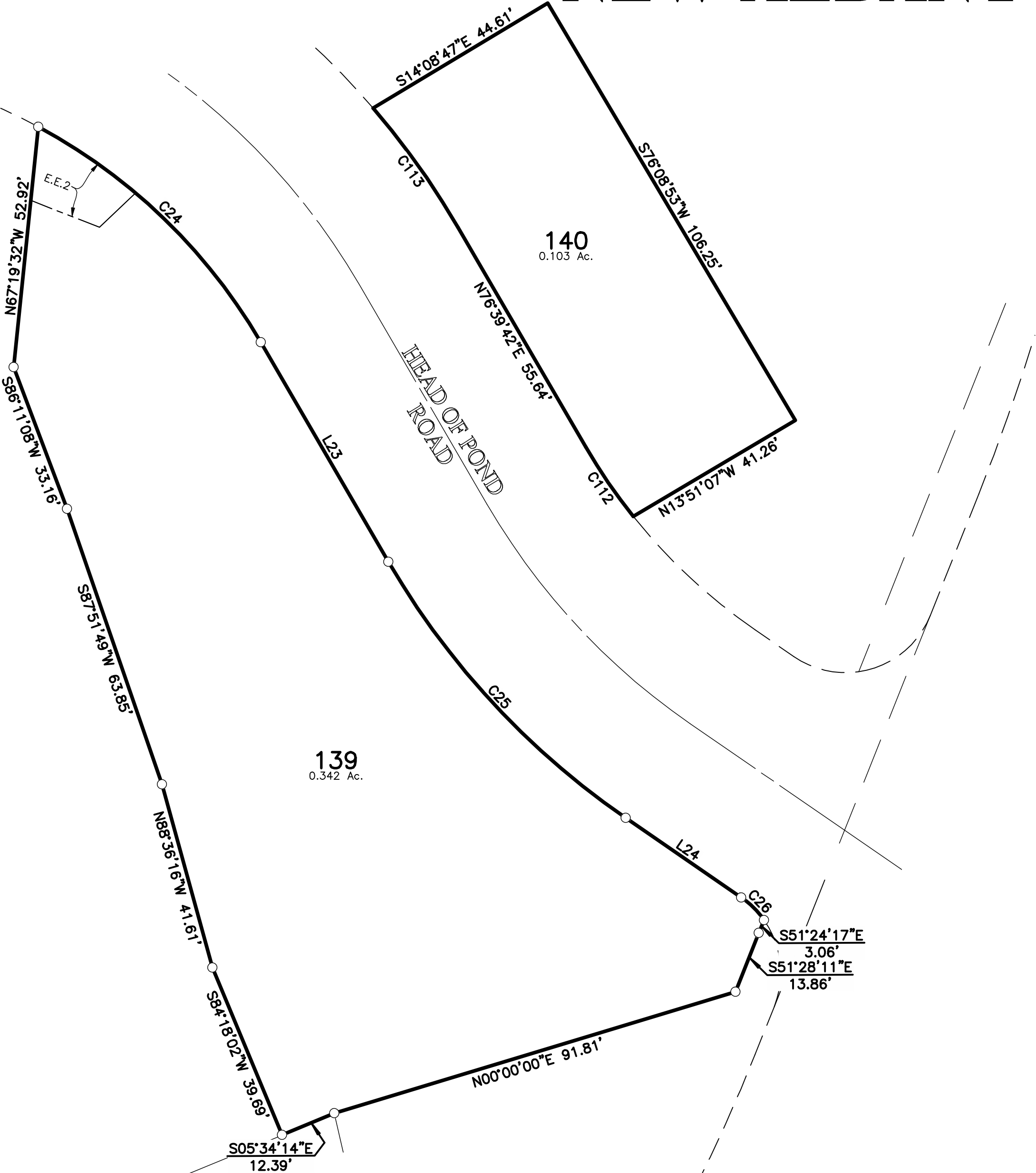
THE NEW ALBANY
COUNTRY CLUB
SECTION 11
P.B. 82, P. 72

THE VILLAGE
OF NEW ALBANY
I.N. 200903020027566

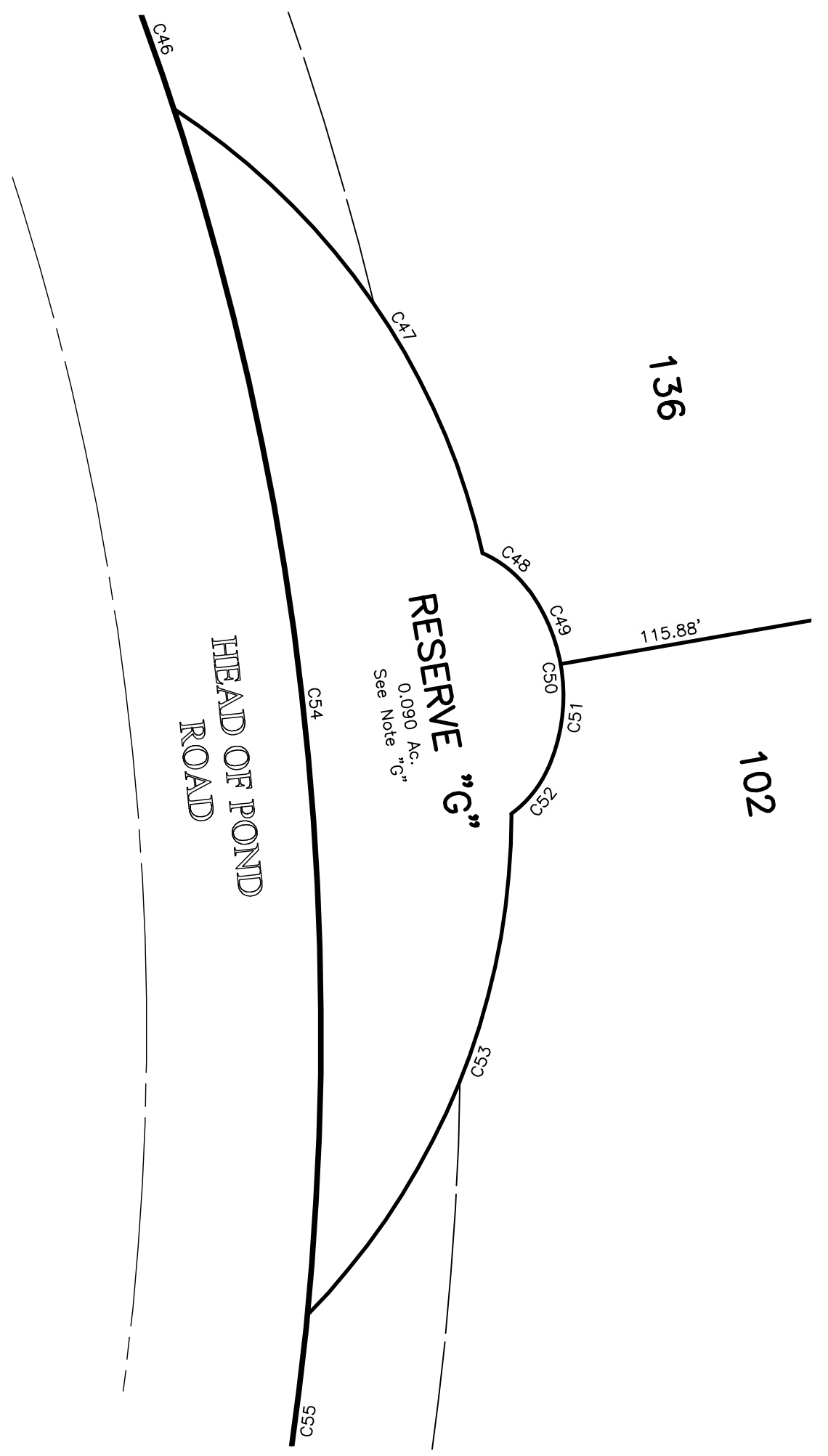
RESUBDIVISIONS OF PART OF NEW ALBANY COUNTRY CLUB SECTION 30 20201095

RESUBDIVISION OF PART OF NEW ALBANY COUNTRY CLUB SECTION 30

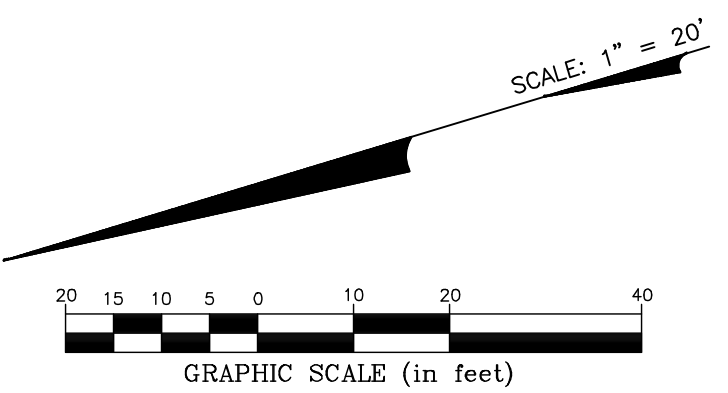
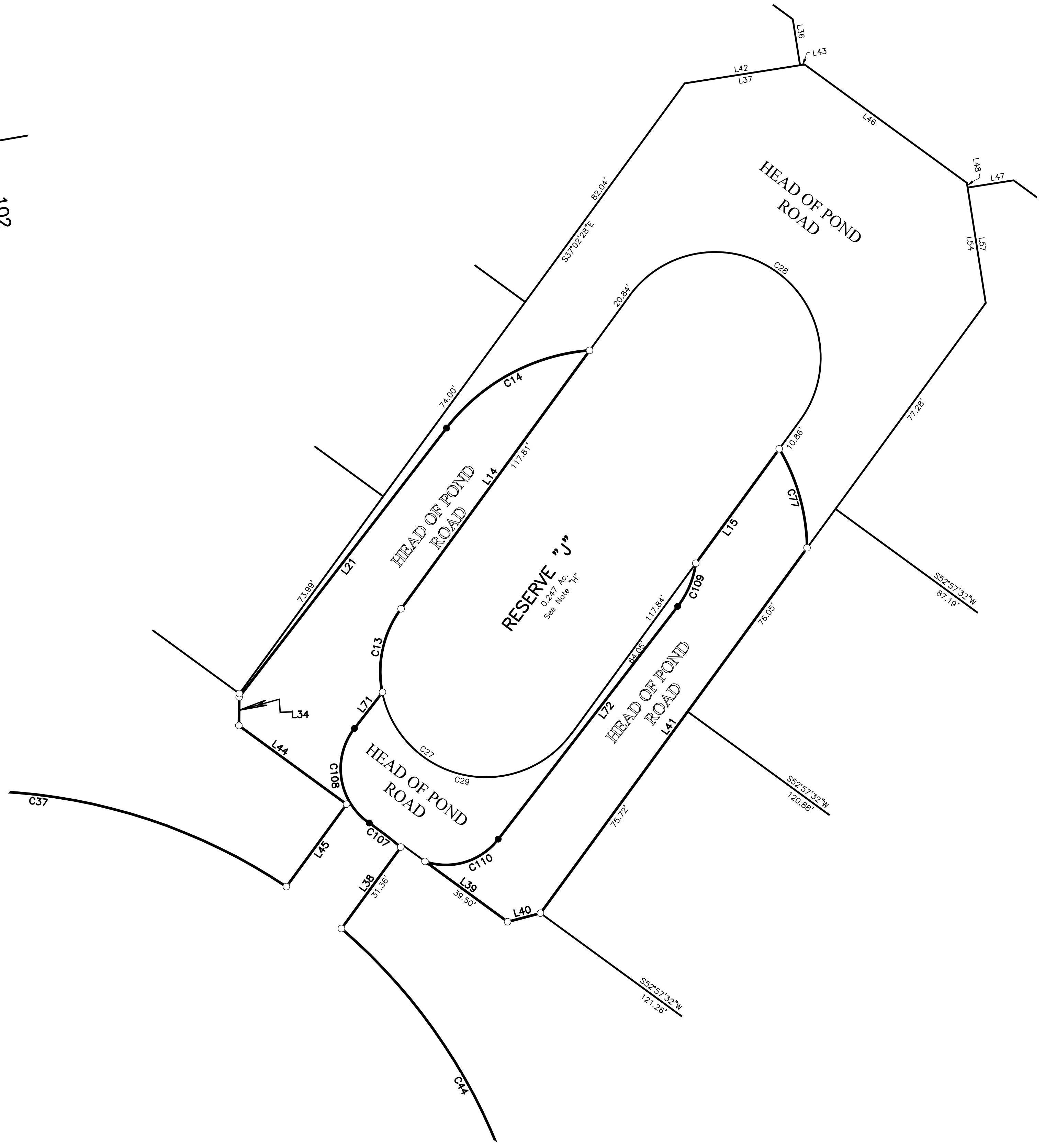
Detail "A"
1" = 20'



Detail "B"
1" = 20'



Detail "C"
1" = 20'



I:\20201095\DWG\CAD\DWG\20201095-VS-PLAT-SEC30-R1.DWG plotted by MASTON, JCHN on 5/28/2025 12:38:47 PM last saved by JMASTON on 5/28/2025 12:13:40 PM
Note: 20201095-AS-REF-A-LINE & 20201095-AS-REF-B-LINE & 20201095-AS-REF-C-LINE & 20201095-AS-REF-D-LINE & 20201095-AS-REF-E-LINE & 20201095-AS-REF-F-LINE & 20201095-AS-REF-G-LINE & 20201095-AS-REF-H-LINE & 20201095-AS-REF-I-LINE & 20201095-AS-REF-J-LINE & 20201095-AS-REF-K-LINE & 20201095-AS-REF-L-LINE & 20201095-AS-REF-M-LINE & 20201095-AS-REF-N-LINE & 20201095-AS-REF-O-LINE & 20201095-AS-REF-P-LINE & 20201095-AS-REF-Q-LINE & 20201095-AS-REF-R-LINE & 20201095-AS-REF-S-LINE & 20201095-AS-REF-T-LINE & 20201095-AS-REF-U-LINE & 20201095-AS-REF-V-LINE & 20201095-AS-REF-W-LINE & 20201095-AS-REF-X-LINE & 20201095-AS-REF-Y-LINE & 20201095-AS-REF-Z-LINE

RESUBDIVISION OF PART OF
NEW ALBANY COUNTRY CLUB SECTION 30

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N05°06'52"E	17.43'
L2	N18°45'09"W	10.38'
L3	N83°52'11"E	24.90'
L4	S26°45'13"W	45.68'
L5	S53°55'57"W	23.52'
L6	S32°38'00"W	55.77'
L7	S22°36'53"W	45.82'
L8	S30°56'37"W	42.25'
L9	S30°40'10"W	32.60'
L10	S04°53'12"W	19.21'
L11	S19°33'39"E	28.31'
L12	S40°07'04"E	26.35'
L13	S20°50'37"E	17.23'
L14	S37°02'29"E	96.97'
L15	N37°02'28"W	42.93'
L16	S17°31'28"E	24.35'
L17	S05°06'54"W	47.25'
L18	S84°53'06"E	10.39'
L19	S06°06'19"W	17.20'
L20	N84°52'38"W	19.09'
L21	N35°31'14"W	102.92'
L22	N84°59'22"W	50.00'
L23	S76°39'42"W	55.64'

LINE TABLE		
LINE	BEARING	DISTANCE
L24	S51°25'13"W	30.75'
L25	S84°53'06"E	0.16'
L26	S05°06'54"W	21.37'
L27	N84°53'06"W	6.37'
L28	S05°06'54"W	21.37'
L29	S84°53'06"E	6.37'
L30	S05°06'54"W	38.99'
L31	N70°51'22"W	50.00'
L32	S14°10'01"W	21.00'
L33	N84°59'22"W	50.00'
L34	S72°11'43"E	8.67'
L35	N52°57'32"E	9.88'
L36	S82°00'35"E	14.12'
L37	N07°57'32"E	36.86'
L38	N37°02'28"W	31.36'
L39	S52°57'32"W	30.99'
L40	S02°18'13"W	10.25'
L41	N37°02'27"W	137.16'
L42	N07°57'32"E	35.42'
L43	S07°57'32"W	1.44'
L44	N52°57'32"E	40.42'
L45	N37°02'28"W	30.95'
L46	S52°57'32"W	60.87'

LINE TABLE		
LINE	BEARING	DISTANCE
L47	S07°55'40"W	14.12'
L48	S82°02'28"E	1.44'
L49	N75°49'59"W	46.53'
L50	S18°52'29"W	25.34'
L51	N46°29'01"E	201.40'
L52	N27°32'14"E	82.13'
L53	S46°00'09"E	6.09'
L54	N82°02'28"W	36.85'
L55	S52°57'32"W	9.88'
L56	S17°27'12"W	57.74'
L57	S82°02'28"E	35.41'
L58	S82°49'41"W	31.61'
L59	N88°27'53"E	53.68'
L60	S15°22'34"W	38.28'
L61	S21°22'43"W	22.88'
L62	S14°10'01"W	13.63'
L63	N14°10'01"E	13.78'
L64	N75°49'59"W	48.06'
L65	N09°27'32"E	25.34'
L66	N14°10'01"E	21.00'
L67	N75°49'59"W	19.08'
L68	N75°49'59"W	10.92'

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	90°00'00"	20.00'	31.42'	N 39°53'08" W	28.28'
C2	23°52'01"	50.00'	20.83'	S 06°49'08" E	20.68'
C3	26°57'15"	50.00'	23.52'	N 05°16'31" W	23.31'
C4	40°39'02"	200.00'	141.90'	S 12°07'25" E	138.94'
C5	21°53'42"	50.00'	19.11'	N 21°30'05" W	18.99'
C6	70°10'04"	145.00'	177.58'	N 81°16'59" E	166.69'
C7	161°18'03"	58.00'	163.28'	S 70°28'48" W	114.46'
C8	37°42'28"	100.00'	65.81'	S 08°41'00" W	64.63'
C9	18°56'46"	275.00'	90.94'	S 37°00'37" W	90.52'
C10	71°55'12"	20.00'	25.10'	N 82°26'37" E	23.49'
C11	40°12'50"	125.00'	87.73'	N 81°42'12" W	85.94'
C12	106°55'30"	375.00'	699.82'	S 48°20'52" E	602.60'
C13	47°45'43"	32.00'	26.68'	N 60°29'58" W	25.91'
C14	47°44'59"	61.00'	50.84'	N 11°38'45" W	49.38'
C15	106°55'31"	425.00'	793.13'	S 48°20'52" E	682.95'
C16	120°19'12"	75.00'	157.50'	S 41°39'01" E	130.11'
C17	14°20'41"	565.00'	141.45'	S 11°20'14" W	141.09'
C18	104°25'30"	122.50'	223.26'	N 56°22'39" E	193.62'
C19	14°08'00"	1105.00'	272.57'	N 77°55'22" W	271.88'
C20	51°31'54"	185.00'	166.39'	S 69°14'40" W	160.84'
C21	22°09'51"	375.00'	145.06'	N 16°33'18" E	144.16'
C22	33°33'03"	585.00'	342.56'	N 11°18'09" W	337.69'
C23	31°59'55"	390.00'	217.81'	N 12°04'42" W	214.99'
C24	31°29'14"	125.00'	68.69'	S 60°55'05" W	67.83'
C25	25°14'29"	175.00'	77.10'	S 64°02'28" W	76.47'
C26	20°10'55"	20.00'	7.04'	N 61°30'41" E	7.01'
C27	180°25'22"	32.00'	100.77'	S 53°10'12" W	64.00'
C28	179°37'15"	32.00'	100.32'	N 53°08'43" E	64.00'
C29	132°39'39"	32.00'	74.09'	S 29°17'21" W	58.62'
C30	16°20'04"	26.50'	7.55'	N 09°21'26" W	7.53'
C31	22°38'22"	33.50'	13.24'	S 06°12'17" E	13.15'
C32	21°21'03"	100.00'	37.26'	N 20°42'07" E	37.05'
C33	22°26'04"	175.00'	68.52'	N 44°38'20" E	68.08'
C34	6°40'37"	535.00'	62.35'	S 36°45'36" W	62.31'
C35	54°54'43"	135.00'	129.38'	S 67°33'16" W	124.49'
C36	13°34'47"	1055.00'	250.04'	N 78°11'59" W	249.46'
C37	46°26'00"	172.50'	139.80'	N 27°22'54" E	136.00'
C38	14°20'41"	515.00'	128.94'	S 11°20'14" W	128.60'
C39	43°56'46"	125.00'	95.88'	N 03°27'48" W	93.54'
C40	71°55'12"	20.00'	25.10'	S 10°31'25" W	23.49'
C41	18°56'41"	325.00'	107.46'	N 37°00'40" E	106.97'
C42	15°39'58"	100.00'	27.34'	S 35°22'13" W	27.26'
C43	1°00'59"	1105.00'	19.60'	N 71°55'05" W	19.60'
C44	51°00'39"	172.50'	153.58'	N 83°05'05" E	148.56'
C45	0°09'23"	3165.16'	8.64'	N 71°38'41" W	8.64'
C46	10°31'19"	425.00'	78.05'	N 83°27'02" E	77.94'
C47	44°18'47"	102.88'	79.57'	N 72°02'48" E	77.60'
C48	30°17'55"	16.18'	8.56'	N 55°26'14" E	8.46'
C49	26°00'07"	25.75'	11.68'	N 83°33'02" E	11.58'
C50	60°00'43"	25.75'	26.97'	S 79°26'40" E	25.75'
C51	34°00'36"	25.75'	15.28'	S 66°26'37" E	15.06'
C52	30°11'57"	16.19'	8.54'	S 34°20'20" E	8.44'
C53	44°18'49"	102.87'	79.56'	S 50°59'09" E	77.59'
C54	23°38'09"	425.00'	175.32'	S 79°28'14" E	174.08'
C55	12°11'04"	425.00'	90.38'	S 61°33'37" E	90.21'
C56	26°46'26"	425.00'	198.60'	S 42°04'53" E	196.80'
C57	16°46'31"	585.00'	171.28'	N 19°41'24" W	170.67'

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C58	14°18'35"	585.00'	146.10'	N 04°08'51" W	145.72'
C59	2°27'57"	585.00'	25.18'	N 04°14'25" E	25.17'
C60	5°36'56"	375.00'	36.75'	S 02°18'25" W	36.74'
C61	23°12'06"	375.00'	151.85'	S 12°06'06" E	150.82'
C62	14°12'13"	375.00'	92.96'	S 30°48'15" E	92.72'
C63	16°54'21"	375.00'	110.65'	S 46°21'32" E	110.25'
C64	16°54'21"	375.00'	110.65'	S 63°15'54" E	110.25'
C65	16°54'21"	375.00'	110.65'	S 80°10'15" E	110.25'
C66	13°11'12"	375.00'	86.31'	N 84°46'59" E	86.12'
C67	11°19'10"	125.00'	24.70'	S 83°50'58" W	24.66'
C68	28°53'39"	125.00'	63.04'	N 76°02'37" W	62.37'
C69	10°46'16"	275.00'	51.70'	N 41°05'53" E	51.62'
C70	8°10'31"	275.00'	39.24'	N 31°37'30" E	39.20'
C71	28°50'41"	58.00'	29.20'	S 04°15'06" W	28.89'
C72	22°12'20"	58.00'	22.48'	N 39°58'21" W	22.34'
C73	8°24'56"	125.00'	18.36'	N 21°13'43" W	18.34'
C74	35°31'50"	125.00'	77.52'	N 00°44'40" E	76.28'
C75	10°00'45"	515.00'	90.00'	S 13°30'12" W	89.88'
C76	4°19'56"	515.00'	38.94'	S 06°19'52" W	38.93'
C77	29°35'55"	61.00'	31.51'	S 88°52'15" E	31.16'
C78	5°33'43"	1055.00'	102.41'	N 74°39'37" W	102.37'
C79	5°28'18"	1055.00'	100.75'	N 80°10'37" W	100.71'
C80	2°04'36"	1055.00'	38.24'	N 83°57'04" W	38.24'
C81	5°01'50"	135.00'	11.85'	N 87°30'17" W	11.85'
C82	49°52'53"	135.00'	117.53'	S 65°02'21" W	113.85'
C83	1°06'24"	400.00'	7.73'	N 70°14'07" W	7.73'
C84	15°58'02"	400.00'	111.47'	N 78°46'20" W	111.11'
C85	15°25'19"	350.00'	94.21'	S 77°23'34" E	93.92'
C86	7°52'30"	350.00'	48.11'	S 89°02'29" E	48.07'
C87	5°57'55"	500.00'	52.06'	N 89°59'47" W	52.03'
C88	8°10'49"	500.00'	71.39'	N 82°55'25" W	71.33'
C89	4°06'25"	750.00'	53.76'	N 76°38'20" W	53.75'
C90	6°00'04"	750.00'	78.57'	N 71°35'03" W	78.53'
C91	10°20'00"	750.00'	135.26'	N 63°24'59" W	135.08'
C92	2°09'40"	750.00'	28.29'	N 57°10'09" W	28.29'
C93	23°41'18"	145.00'	59.95'	N 58°02'36" E	59.52'
C94	27°34'19"	145.00'	69.78'	N 83°40'24" E	69.11'
C95	18°54'27"	145.00'	47.85'	S 73°05'12" E	47.63'
C96	11°11'28"	200.00'	39.06'	S 26°51'12" E	39.00'
C97	29°27'34"	200.00'	102.83'	S 06°31'41" E	101.70'
C98	5°49'27"	50.00'	5.08'	N 05°17'23" E	5.08'
C99	5°53'02"	1105.00'	113.47'	N 82°02'52" W	113.42'
C100	3°12'36"	1105.00'	61.91'	N 74°01'53" W	61.90'
C101	3°28'10"	1105.00'	66.91'	N 77°22'16" W	66.90'
C102	21°07'49"	50.00'	18.44'	N 08°11'14" W	18.34'
C103	3°22'48"	185.00'	10.91'	S 41°47'19" W	10.91'
C104	6°40'37"	585.00'	68.17'	S 36°45'36" W	68.13'
C105	11°45'10"	125.00'	25.64'	N 39°17'53" E	25.60'
C106	27°27'24"	100.00'	47.92'	S 17°38'57" W	47.46'
C107	5°31'49"	125.00'	12.07'	N 54°16'47" E	12.06'
C108	92°57'54"	20.00'	32.45'	N 82°00'11" W	29.01'
C109	29°53'20"	27.50'	14.35'	S 50°27'55" E	14.18'
C110	70°47'22"	20.00'	24.71'	S 00°07'33" E	23.17'
C111	104°58'44"	75.00'	137.42'	N 56°39'16" E	118.99'
C112	8°27'28"	125.00'	18.45'	S 72°25'58" W	18.44'
C113	10°31'35"	175.00'	32.15'	N 71°23'55" E	32.11'

NOTE "A": No determination has been made by the City of New Albany, Ohio as to whether the area proposed to be platted contains areas that could be classified as wetlands by the Army Corps of Engineers. It is the developer's responsibility to determine whether wetlands exist on the area hereby platted. The City of New Albany, Ohio approval of this plat of "Resubdivision of part of New Albany Country Club Section 30" does not imply any approval of the site as it may pertain to wetlands.

NOTE "B": At the time of platting, the land being platted as Resubdivision of part of New Albany Country Club Section 30 is in Zone X (areas determined to be outside of the 0.2% annual chance floodplain). As said Zone is designated and delineated on the FEMA Flood insurance rate map for Franklin County, Ohio, and Incorporated areas map number 39049C0212K with effective date of June 17, 2008.

NOTE "C" - DEPRESSED DRIVEWAYS: Depressed driveways are hereby prohibited on all lots in Resubdivision of part of New Albany Country Club Section 30. Nothing herein, however, shall prohibit the construction and use of, if otherwise permitted, a driveway alongside or to the rear of a residential structure.

NOTE "D" - AGRICULTURAL RECOUPMENT: Grantor, being the duly authorized representative of the developer dedicating the property described in this plat, hereby agrees to indemnify the City of New Albany for, and hold it harmless from, any agricultural recoupments assessed or levied in the future against the property dedicated herein, which result from grantor's conversion of the property from agricultural use.

NOTE "E" - ACREAGE BREAKDOWN: Resubdivision of part of New Albany Country Club Section 30 is comprised of the following Franklin County Parcel Numbers:

222-004458	0.557 Ac.
222-005180	0.464 Ac.
222-005181	0.703 Ac.
222-005182	1.363 Ac.
222-005183	1.468 Ac.
222-005184	0.597 Ac.
222-005185	0.500 Ac.
222-005186	0.606 Ac.
222-005187	0.588 Ac.
222-005188	0.508 Ac.
222-005189	0.492 Ac.
222-005190	0.339 Ac.
222-005191	0.591 Ac.
222-005192	0.367 Ac.
222-005193	0.476 Ac.
222-005194	0.478 Ac.
222-005195	0.510 Ac.
222-005196	0.428 Ac.
222-005197	0.388 Ac.
222-005198	0.488 Ac.
222-005199	0.595 Ac.
222-005200	0.318 Ac.
222-005201	0.338 Ac.
222-005202	0.282 Ac.
222-005203	0.304 Ac.</



**Planning Commission Staff Report
June 16, 2025 Meeting**

**MEDICAL OFFICE BUILDING
FINAL DEVELOPMENT PLAN MODIFICATION**

LOCATION: Located on Forest Drive, south of Johnstown Road (US-62) and north of Smith's Mill Road (PID: 222-004888)
APPLICANT: Canini & Associates
REQUEST: Final Development Plan Modification
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8b
STRATEGIC PLAN: Employment Center
APPLICATION: FDM-37-2025

Review based on: Application materials received May 14, 2025

Staff report prepared by Kylie Blackburn, Planner

I. REQUEST AND BACKGROUND

The final development plan application was approved at the April 21, 2025 Planning Commission meeting. The applicant has submitted a final development plan modification application to be heard by the Planning Commission.

The proposed changes include:

1. Flipping the location of the two medical office buildings, which was a condition of the FDP.
2. Expanded building footprint on lot 2.
3. Changes to parking lot orientation.
4. Changes to parking counts.
5. Utilizing landscaping to separate the two lots rather than connecting them with shared parking.
6. New configuration for the dumpster enclosure.
7. Having a one-way patient pickup lane on lot 1.

The applicant has applied for two variances to be heard by the Planning Commission at tonight's meeting under case VAR-44-2025 for a lot split that would create a lot with no frontage and to eliminate screening requirements for a dumpster enclosure.

II. SITE DESCRIPTION & USE

The 2.08-acre site is generally located on the east side of Forest Drive south of Johnstown Road (US-62) and north of Smith's Mill Road, within the Canini Trust Corp. Some of the existing surrounding uses include Hampton Inn & Suites, Courtyard by Marriott, and The Estate at New Albany.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*

- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan recommends the following development standards for the Employment Center District land use category:

1. No freeway / pole signs are allowed.
2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
3. Plan office buildings within context of the area, not just the site, including building height within development parcels.
4. Sites with multiple buildings should be well organized and clustered if possible.
5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
6. All office developments should plan for regional stormwater management.
7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
9. Combined curb cuts and cross-access easements are encouraged.
10. The use of materials, colors, and texture to break up large-scale facades is required.

1. Use, Site, and Layout

1. The applicant proposes to change the lot and the building sizes. Lot 1 was originally 9,170 sq ft on +/- 1.19 acres, and lot 2 was 5,845 sq ft on +/- 0.89 acres. Lot 1 will now be 5,845 sq ft, and the building on lot 2 will now be 10,640 sq ft. The existing total site size is 2.08 acres, which is going to be split into lot 1, totaling +/- 0.86 acres, and lot 2, totaling +/- 1.39 acres
2. The variance for lot 2 not to have public street frontage is to be heard by the Planning Commission at tonight's meeting under case VAR-44-2025.



Approved

Proposed

3. Zoning text section 8b.01(7) requires that the total lot coverage, which includes areas of pavement and building, to not exceed 80%. The plan meets this requirement with a proposed 67% lot coverage amount.

2. Access, Loading, Parking

1. The site is accessed from two proposed curb cuts:
 - a. One full access along Forest Drive.
 - b. One full access off the private drive on PID: 222-004887
2. The applicant anticipates splitting the lot and developing one building on each lot. This was approved with the FDP, but the configuration is different now; there is no cross-access between the two lots with the new design, meaning that lot 2 has no access to a public street. Per the Canini-Trust Corp I-PUD 8b.02 (4) It is intended that within this subarea parking spaces will be shared between users to better meet parking quantity requirements. Staff and the City Landscape Architect recommend a condition of approval that a cross-access drive is added to the site subject to staff approval (condition 1b).
3. Codified Ordinance 1167.05(d)(5) requires a minimum of one parking space for each 200 square feet of gross floor area. Lot one's building is 5,845 square feet; therefore, 30 spaces are required, and the applicant meets this requirement with the proposed 30 spaces. Lot two's building is 10,640 square feet; therefore, 54 spaces are required, and the applicant meets this requirement with the proposed 67 spaces.
4. The applicant has stated that the changes to the lot layout were made to limit the disruption of the wetland area on the site. Staff asks the board to refer to the applicant for more information on this.

3. Architectural Standards

1. Other than the size of the building, no architectural changes were made.

4. Parkland, Buffering, Landscaping, Open Space, Screening

Due to the site reconfiguration, changes to the parking counts were made.

1. Parking Lot Landscaping Requirement:
 - Codified Ordinance 1171.06(a)(2)(3) says that for each one hundred square feet, or fraction thereof, of parking area, a minimum total of five square feet of landscaped area shall be provided.
 - For lot 1 parking, 845 sq ft is required for code, and the applicant is providing 1,600 sq ft.
 - For lot 2 parking, 1,140 sq ft is required for code, and the applicant is providing 2002 sq ft.
 - The zoning text 8b.04(4)(c) requires that the amount of interior landscaping shall be a minimum of eight percent of the total area of the parking lot pavement.
 - For lot 1, parking 1,346 sq ft is required per the zoning text, and the applicant is providing 1,600 sq ft.
 - For lot 2, parking 1,826 sq ft is required per the zoning text, and the applicant is providing 2002 sq ft.
2. The new design has changed the layout of the dumpster enclosures on site. The applicant is requesting a variance to eliminate some of the screening requirements on the dumpster enclosures to not cause trash build up. Per New Albany Code of Ordinances 1171.05 – Landscape Screening of Trash Receptacles and Canini-Trust Corp I-PUD Text for Subarea 8b.o4(8), states that trash and garbage container systems shall be screened or enclosed by walls, fences, or natural vegetation to screen them from view.
 - Staff and the City Landscape Architect recommend a condition of approval to revise the proposed planting plans to include proper screening of trash receptacles from the three non-service sides with the minimum required heights at the time of installation (condition 1c).
3. The City Landscape Architect recommends a condition of approval that the proposed plans are revised to provide safe pedestrian connections from Forest Drive to the interior of the site and the proposed buildings, subject to staff approval (condition 1a).

4. Staff recommends a condition of approval that all City Landscape Architect's comments are addressed, subject to staff approval (condition 1)

5. Lighting & Signage

1. No changes to lighting or signage.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report.

1. Engineering has no comments on the revised FDP
2. They will provide additional engineering review comments once detailed plans are available.

V. SUMMARY

The proposal meets many of the goals of the Engage New Albany Strategic Plan, such as providing pedestrian access along roadways and into the site, as well as utilizing high-quality building materials that are consistent with other buildings in the immediate area.

The site layout changes are substantial. The removal of the cross-access drive and the reliance on a private driveway isolates the southern lot from direct access to Forest Drive, deviating from the original approved design that promoted shared access and coordinated circulation. The relocation and reduced screening of the dumpster enclosures also present site functionality and aesthetic concerns. However, with the recommended conditions of approval, the use remains appropriate given the surrounding area development.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application **FDM-37-2025**, subject to the following conditions:

1. The City Landscape Architect's comments must be addressed, subject to staff approval:
 - a. Revise the proposed plans to provide safe pedestrian connections from Forest Drive to the interior of the site and the proposed buildings.
 - b. Review the proposed sites' joint circulation and shared parking. Recommend the connection of the two adjacent parking lots for improved vehicular circulation and shared parking. Reference Canini-Trust Corp I-PUD Text Section 8b.02 (4).
 - c. Per New Albany Code of Ordinances 1171.05 – Landscape Screening of Trash Receptacles and Canini-Trust Corp I-PUD Text for Subarea 8b.04(8), revise the proposed planting plans to include proper screening of trash receptacles from the three non-service sides with the minimum required heights at the time of install.
 - d. Per New Albany Code of Ordinances 1171.06 – Parking Lot Landscaping (b) Buffering. *Parking lots shall be screened from primary streets, residential areas, and open space by a three and one-half (3.5)-foot minimum height evergreen hedge or masonry wall, or combination of wall and plantings. Revise the proposed parking lot screening application to reflect a minimum height of 36" at time of install*
 - e. Per the Canini-Trust Corp I-PUD Text for Substation 8b.04 (5a) Revise the proposed planting plan to provide the proper minimum deciduous shade trees in the buffer zone along Forest Drive.
 - f. Note, the proposed New Horizon Elm is susceptible to the Elm Leaf Beetle, revise the proposed plant list to replace the New Horizon Elm with the Princeton Elm.
2. That the proposal is contingent upon approval of VAR-44-2025.
3. All conditions from the approved final development plan application FDP-20-2025 shall be met.

Approximate Site Location:



Source: Nearmap

404.741-01
June 3, 2025

To: Kylie Blackburn
City Planner

From: Matt Ferris, P.E., P.S., Consulting City Engineer
By: Jay M. Herskowitz, P.E., BCEE

Re: MOB FDP - Revision

Our review comments are as follows:

1. We have no comments on the revised FDP.
2. We will provide additional engineering review comments once detailed plans are available.

MEF/JMH

CC: Joshua Albright, Development Engineer

Development Review

project name Canini & Associates Forest Drive MOB
prepared for City of New Albany
date May 28, 2025
date received May 22, 2025

COMMENTS

Site Plan

1. Revise the proposed plans to provide safe pedestrian connections from Forest Drive to the interior of the site and proposed buildings. See diagram.
2. Review the proposed sites joint circulation and shared parking. Recommend the connection of the two adjacent parking lots for improved vehicular circulation and shared parking. Reference Canini-Trust Corp. I-PUD Text Section 8b.02 (4). See diagram.

Planting Plan

3. Per New Albany Code of Ordinances 1171.05 - Landscape Screening (b) Screening of Trash Receptacles and Canini-Trust Corp. I-PUD Text for Subarea 8b.04 (8), revise the proposed planting plans to include proper screening of trash receptacles from the three non-service sides with the minimum required heights at time of install. See diagram.
4. Per New Albany Code of Ordinances 1171.06 - Parking Lot Landscaping (b) Buffering. *Parking lots shall be screened from primary streets, residential areas, and open space by a three and one-half (3.5)-foot minimum height evergreen hedge or masonry wall, or combination of wall and plantings.* Revise the proposed parking lot screening application to reflect a minimum height of 36" at time of install. See diagram.
5. Per the Canini-Trust Corp. I-PUD Text for Subarea 8b.04 (5a) Revise the proposed planting plan to provide the proper minimum deciduous shade trees in the buffer zone along Forest Drive. See diagram.
6. Note, the proposed New Horizon Elm is susceptible to the Elm Leaf Beetle, revise the proposed plant list to replace the New Horizon Elm with the Princeton Elm (or similar, ensuring resistance to Dutch elm disease and the Elm leaf beetle). See diagram.


















*NOTES:

The provided diagram is for clarification and design intent purposes only. The diagram should be used to help illustrate the above comments. It is the responsibility of the design consultants to incorporate the above comments as it relates to the site and to adhere to all City requirements and subsequent code. The diagram may not be to scale.

Development Review

project name Canini & Associates Forest Drive MOB
prepared for City of New Albany
date May 28, 2025
date received May 22, 2025



Plant Legend						
Symbol	Qty	Common	Botanical		Location	Size
	5	Amur Maple	Acer ginnala		Parking Lot Tree	2.5" cal
	6	Maiden Hair Tree	Ginkgo biloba 'Princeton Sentry'		Parking Lot Tree	2.5" cal
	2	Japanese Zelkova	Zelkova serrata 'Nussliano'		Landscape Tree	2.5" cal
	4	Bald Cypress	Taxodium distichum		Landscape Tree	2.5" cal
	4	Black Gum	Nyssa sylvatica		Landscape Tree	2.5" cal
	3	Honey Locust	Gleditsia triacanthos 'Inermis'		Landscape Tree	2.5" cal
	3	Red Maple	Acer rubrum 'Red Sunset'		Street Tree	2.5" cal
	5	New Horizon Elm	Ulmus 'New Horizon'		Buffer Tree	2.5" cal
	28	Low Scape Chokeberry	Aronia Low Scape Mound		Landscape	3 gal
	96	Strongbox Inkberry	Ilex glabra 'Strongbox'		Landscape	3 gal
	24	Bobo Panicle Hydrangea	Hydrangea paniculata 'Bobo'		Landscape	3 gal
	84	Sea Green Juniper	Juniperus Chinensis		Parking Screen	24"
	18	Techy Arborvitae	Thuja occidentalis 'Techy'		Dumpster Screen	5'
	47	Daylily	Hemerocallis sp.		Landscape	1 gal.
	60	Blue Cat Grass	Helictotrichon sempervirens		Landscape	1 gal.
	16	Feather Reed Grass	Calamagrostis acutiflora		Landscape	1 gal.
	7	Zebra Grass	Miscanthus sinensis 'Strictus'		Dumpster Screen	3 gal.

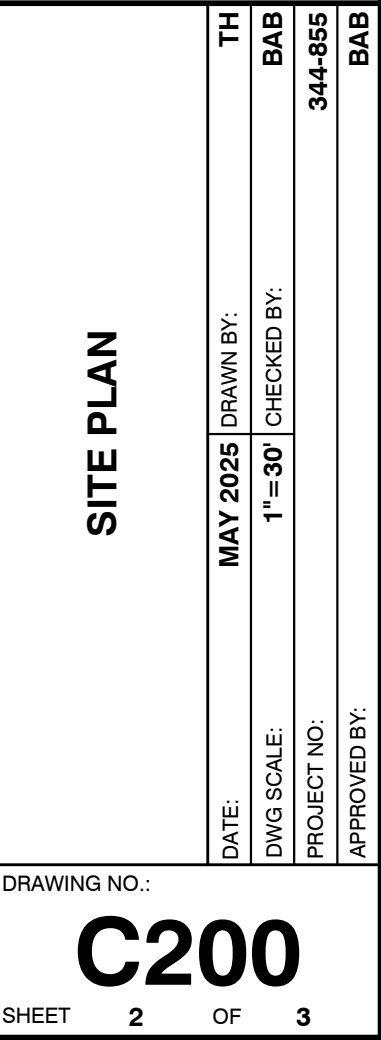


Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																							
Project Information	Site Address <small>Forrest Drive</small> _____ Parcel Numbers <small>222-004888</small> _____ Acres <small>2.08</small> _____		# of lots created ² _____																					
	Choose Application Type <input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification		Description of Request: <input type="checkbox"/> Extension Request <input type="checkbox"/> Variance <input type="checkbox"/> Vacation 																					
Contacts	Applicant Information <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 25%;">Name</td><td>Canini & Associates LTD</td></tr> <tr><td>Address</td><td>PO Box 887</td></tr> <tr><td>City, State, Zip</td><td>New Albany, OH 40354</td></tr> <tr><td>Phone Number</td><td>614-296-3872</td></tr> <tr><td>Email</td><td>larry@caniniassocltd.com</td></tr> </table>		Name	Canini & Associates LTD	Address	PO Box 887	City, State, Zip	New Albany, OH 40354	Phone Number	614-296-3872	Email	larry@caniniassocltd.com	Property Owner Information <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 25%;">Name</td><td>Forrest Drive Holdings LLC</td></tr> <tr><td>Address</td><td>92 North High St</td></tr> <tr><td>City, State, Zip</td><td>Dublin, OH 43017</td></tr> <tr><td>Phone Number</td><td></td></tr> <tr><td>Email</td><td></td></tr> </table>		Name	Forrest Drive Holdings LLC	Address	92 North High St	City, State, Zip	Dublin, OH 43017	Phone Number		Email	
Name	Canini & Associates LTD																							
Address	PO Box 887																							
City, State, Zip	New Albany, OH 40354																							
Phone Number	614-296-3872																							
Email	larry@caniniassocltd.com																							
Name	Forrest Drive Holdings LLC																							
Address	92 North High St																							
City, State, Zip	Dublin, OH 43017																							
Phone Number																								
Email																								
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="width: 60%;"> <p>Signature of Owner _____ Signature of Applicant _____</p> </div> <div style="width: 35%; text-align: right;"> <p>Date: 5/28/25 Date: 5/27/25</p> </div> </div>																							

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054



P:\340-000\344-8851-CADD\DWG-CADD-Cover-Sheet.dwg(0000) LS:6/14/2025 - burkhart - LP: 5/14/2025 2:01 PM

SITE DATA

PARCEL NUMBER-	222-004888
TOTAL ACREAGE-	2.08 AC 0.86 AC- LOT 1 1.22 AC- LOT 2
DISTURBED ACREAGE-	±1.8 AC
IMPERVIOUS AREA	±1.39 ACRES (67%)
PERVIOUS AREA	±0.69 ACRES (33%)
ZONING-	IPUD
BUILDING USE-	OFFICE
BUILDING SQUARE FOOTAGE-	5,845 SQ FT- LOT 1 10,640 SQ FT- LOT 2
BUILDING HEIGHT-	21.25 FT

SETBACKS

BUILDING FRONT-	30 FT ALONG FOREST DRIVE
PARKING FRONT-	20 FT ALONG FOREST DRIVE

PARKING DATA

PARCEL 1	
SPACES REQUIRED-	30 SPACES (2 H.C. SPACES) (1 SPACE PER 200 SQ FT)
SPACES PROVIDED-	30 SPACES (INCLUDES 4 HC SPACES)
PARCEL 2	
SPACES REQUIRED-	54 SPACES (2 H.C. SPACES) (1 SPACE PER 200 SQ FT)
SPACES PROVIDED-	67 SPACES (INCLUDES 4 HC SPACES)
PARKING STALL SIZE-	9'x19'
DRIVE AISLE WIDTH-	22'

NOTES

PERMITTED USES:

THE PERMITTED USES CONTAINED IN THE CODIFIED ORDINANCESOF THE CITY OF NEW ALBANY, IPUD INFILLED PLANNED UNIT DEVELOPMENT DISTRICT, SECTION 1159.02 AND THE CONDITIONAL USES CONTAINED IN SECTION 1159.04.

UNIT TYPES:

COMMERCIAL BUILDING TYPES SHALL COMPLY WITH THE DESIGN GUIDELINES OF THE DEVELOPMENT STANDARDS.

DEVELOPMENT STANDARDS:

UNLESS OTHERWISE SPECIFIED IN THE SUBMITTED DRAWINGS OR IN THIS WRITTEN TEXT THE DEVELOPMENT STANDARDS OF PART ELEVEN OF THE CODIFIED ORDINANCES OF THE CITY OF NEW ALBANY SHALL APPLY TO THIS SUBAREA.

BASIC DEVELOPMENT DEVELOPMENT STANDARDS ARE COMPILED REGARDING PROPOSED DENSITY, SITE ISSUES, TRAFFIC CIRCULATION, LANDSCAPE, AND ARCHITECTUAL STANDARDS. THESE COMPONENT STANDARDS ENSURE CONSISTENCY AND QUALITY THROUGHOUT THE PARCEL'S DEVELOPMENT.

FLOOD_ZONE:

THE DEVELOPMENT AREA LIES IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 39049C0208K (DATED JUNE 17, 2008)

STORM & GRADING:

THE PROPOSED SITE IMPROVEMENTS WILL INCORPORATE THE CITY'S STORMWATER MANAGEMENT POLICY AS WELL AS THE STATE'S POST-CONSTRUCTION REQUIREMENTS FOR WATER QUALITY. THE SITE LAYOUT INCORPORATES THE USE OF VARIOUS SUBSURFACE STORM PIPING TO ROUTE THE SITE RUNOFF INTO AN EXISTING OFFSITE REGIONAL DETENTION BASIN.

EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE IMPLEMENTED AS A PART OF THE PROJECT DEVELOPMENT. INSTALLATION AND MAINTENANCE WILL BE IN ACCORDANCE WITH THE CITY STANDARDS AND IN COMPLIANCE WITH OEPA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH SITE CONSTRUCTION ACTIVITY.

SANITARY:

AN EXISTING ONSITE 8" SANITARY MAIN WILL BE USED TO SERVICE THE DEVELOPMENT.

WATER:

AN EXISTING 12" WATERLINE ALONG FOREST DRIVE WILL BE USED TO SERVICE THE DEVELOPMENT.

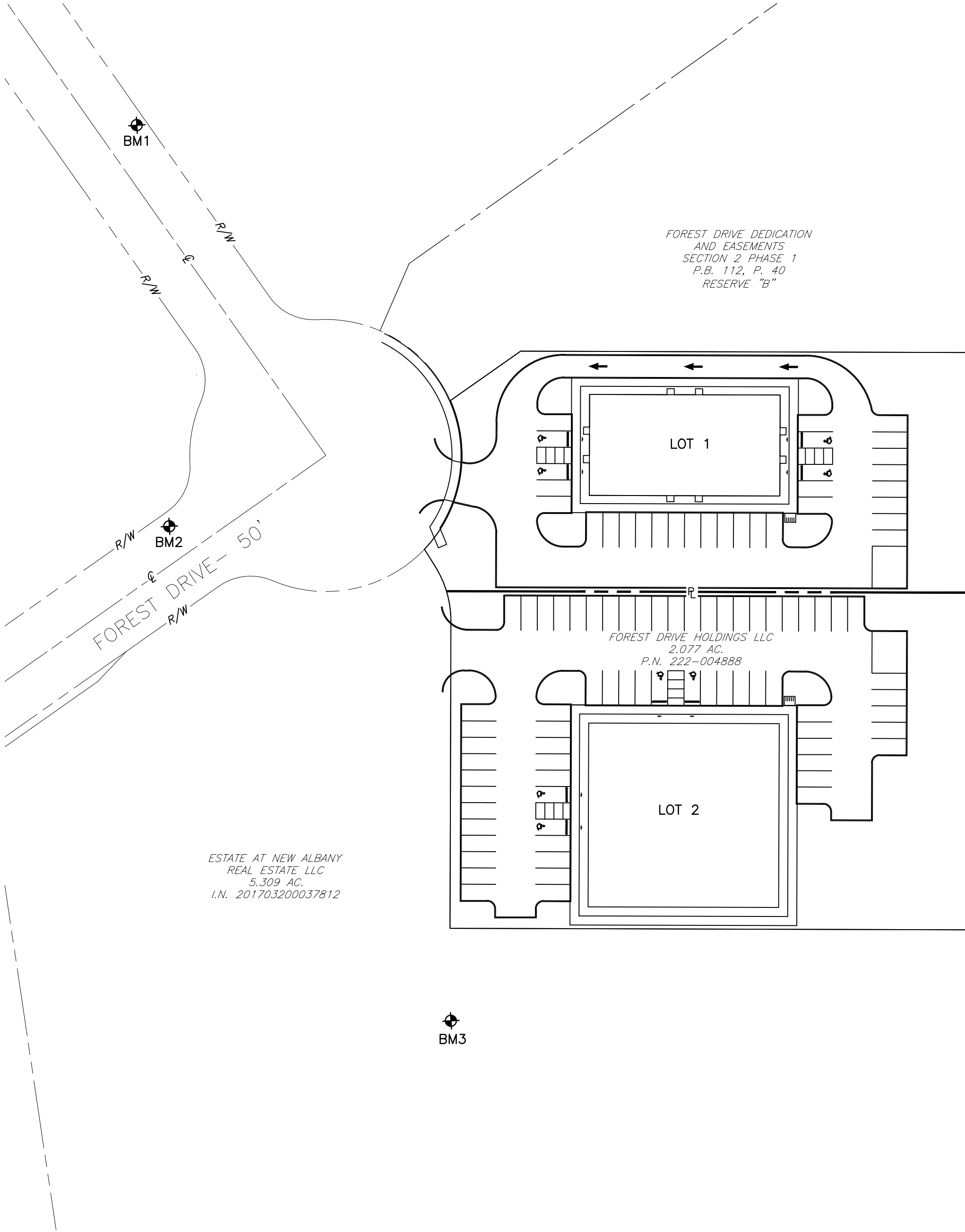
REFERENCES

- BOUNDARY SURVEY FROM EMH&T.
- TOPOGRAPHIC SURVEY COMPLETED BY CEC IN FEBRUARY 2025.

FINAL DEVELOPMENT PLAN FOREST DRIVE MOB

CITY OF NEW ALBANY,
FRANKLIN COUNTY, OHIO

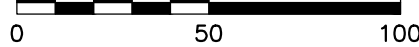
2025



INDEX MAP

SCALE: 1"=50'

SCALE IN FEET



ENGINEER/SURVEYOR
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
8800 LYRA DRIVE, SUITE 300
COLUMBUS, OHIO 43240
PHONE: (614) 540-6633
CONTACT: BRIAN BURKHART, PE
EMAIL: BBURKHART@CECINC.COM

DEVELOPER
CANINI & ASSOCIATES, LTD.
P.O. BOX 887
NEW ALBANY, OH 43054
PHONE: 614-298-3872
CONTACT: LARRY CANINI
EMAIL: LARRY@CANINIASSOCLTD.COM

OWNER
FOREST DRIVE HOLDINGS LLC
92 NORTH HIGH STREET
DUBLIN, OH 43017



VICINITY MAP

SCALE: 1"=500'

SHEET INDEX

SHEET #	DWG #	SHEET TITLE
1	C000	COVER SHEET
2	C200	SITE PLAN
3	C500	UTILITY & GRADING PLAN

CITY OF NEW ALBANY APPROVAL

THE SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSE OF THIS PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF CEC. THE EXTENT OF CITY ENGINEER REVIEW AND APPROVAL IS BASED ONLY ON COMPLIANCE WITH CITY ORDANCES 1181, 1183, 1187 AND OTHER APPLICABLE CITY POLICIES.

FINANCE DIRECTOR, CITY OF NEW ALBANY, OHIO

DATE

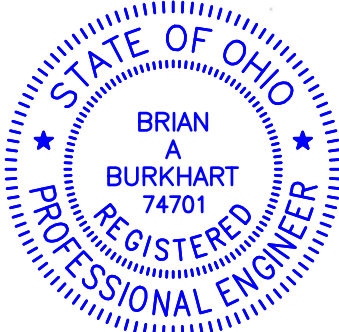
CITY MANAGER, CITY OF NEW ALBANY, OHIO

DATE

CITY ENGINEER, CITY OF NEW ALBANY, OHIO

DATE

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY ENGINEER.

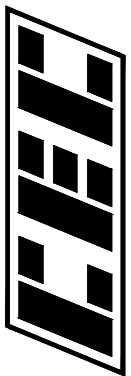


Brian Burkhart, PE
REGISTERED PROFESSIONAL ENGINEER

05-14-2025

DATE

8800 Lyra Drive
Suite 300
Columbus, OH 43240
Ph: 614.540.6633
www.cecinc.com



Civil & Environmental
Consultants, Inc.

CANINI & ASSOCIATES
FORREST DRIVE MOB
NEW ALBANY, OH

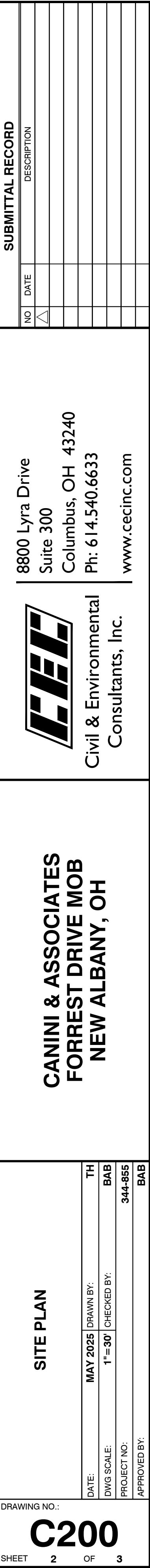
COVER SHEET

DATE:	MAY 2025	DRAWN BY:	TH
DWG SCALE:	AS NOTED	CHECKED BY:	BAB
PROJECT NO.:	344-885	APPROVED BY:	BAB

DRAWING NO.:

C000

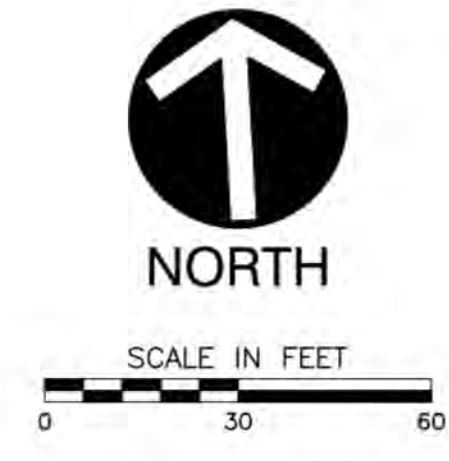
SHEET 1 OF 3







PARKLAND TO BE DEDICATED TO CITY AS A CONDITION OF APPROVAL



Plant Legend				
Symbol	Qty	Common	Botanical	Location
	5	Amur Maple	Acer ginnala	Parking Lot Tree
	6	Maiden Hair Tree	Ginkgo biloba 'Princeton Sentry'	Parking Lot Tree
	2	Japanese Zelkova	Zelkova serrata 'Musashino'	Landscape Tree
	4	Bald Cypress	Taxodium distichum	Landscape Tree
	4	Black Gum	Nyssa sylvatica	Landscape Tree
	3	Honey Locust	Gleditsia triacanthos 'inermis'	Landscape Tree
	3	Red Maple	Acer rubrum 'Red Sunset'	Street Tree
	5	New Horizon Elm	Ulmus 'New Horizon'	Buffer Tree
	28	Low Scape Chokeberry	Aronia Low Scape Mound	Landscape
	96	Strongbox Inkberry	Ilex glabra 'Strongbox'	Landscape
	24	Bobo Panicle Hydrangea	Hydrangea paniculata 'Bobo'	Landscape
	84	Sea Green Juniper	Juniperus Chinensis	Parking Screen
	18	Techny Arborvitae	Thuja occidentalis 'Techny'	Dumpster Screen
	47	Daylily	Hemerocallis sp.	Landscape
	60	Blue Oat Grass	Helictotrichon sempervirens	Landscape
	16	Feather Reed Grass	Calamagrostis acutiflora	Landscape
	7	Zebra Grass	Miscanthus sinensis 'Strictus'	Dumpster Screen

- KEY NOTES:
- 1 LIGHT DUTY ASPHALT PAVEMENT
 - 2 HEAVY DUTY ASPHALT PAVEMENT
 - 3 CONCRETE WALK PAVEMENT
 - 4 HEAVY DUTY CONCRETE PAVEMENT
 - 5 CURB
 - 6 PARKING BLOCK
 - 7 ACCESSIBLE PARKING SIGN
 - 8 ADA PARKING STRIPING

LANDSCAPE ZONING CODE REQUIREMENTS

1171.05(e)(2) - LANDSCAPING SCREENING.
Between twenty thousand (20,000) and fifty thousand (50,000) square feet: A minimum of one tree for every five thousand (5,000) square feet of ground coverage and a total tree planting equal to ten (10) inches plus one-half inch in tree trunk size for every two thousand (2,000) square feet over twenty thousand (20,000) feet in ground coverage.

Parcel 1: Parking/Walks: 18,635 sq ft, Building: 5,845 sq ft: 24,480 sq ft coverage/5000 = 5 trees, 11.5" cal required
5 trees @ 2.5" cal provided, 12.5 total caliper inches provided (3 Honeylocust, 2 Bald Cypress)
Parcel 2: Parking/Walks: 25,080 sq ft, Building: 10,640 sq ft: 35,720 sq ft coverage/5000 = 8 trees, 14.5" cal required
8 trees @ 2.5" cal provided, 20 total caliper inches provided (4 Black Gum, 2 Zelkova, 2 Bald Cypress)

1171.06(a)(2)(3) - PARKING LOT LANDSCAPING.
For each one hundred (100) square feet, or fraction thereof, of parking area, a minimum total of five (5) square feet of landscaped area shall be provided. Zoning text @ 8%

Parcel 1: Parking: 16,825/100 = 169 x 5 = 845 sq ft required or 16,825 x .08 = 1,346 required
1,600 sq ft landscape provided
Parcel 2: Parking: 22,820/100 = 228 x 5 = 1,140 sq ft required or 22,820 x .08 = 1,826 required
2002 sq ft landscape provided

Parking areas should contain a minimum of one deciduous canopy tree for every ten (10) parking spaces.

Parcel 1: 30 spaces/10 = 3 trees required
4 provided (4 Ginkgo)
Parcel 2: 67 spaces/10 = 7 trees required
7 provided (2 Ginkgo, 5 Maackia)

Zoning 8b.04(4)(a) - PARKING LOT SCREENING
Parking lot screening from rights of way

Forest Drive screening with Sea Green Juniper hedge spaced 4' o/c. Growth to 4-6'

Zoning 8b.04(2) - STREET TREE REQUIREMENT
Street trees along Forest Drive: one tree per 30' minimum 30' o/c. 300' span, minimum 2.5" cal

3 trees @ 2.5" cal provided (3 Red Sunset Maple)

Zoning 8b.04(5) - BUFFER LANDSCAPE
Eight deciduous or ornamental trees per 100 lineal feet in setback areas along Forest Drive

Forest Drive 56 total lineal feet/100 = .56 x 8 trees = 5 buffer trees required
5 trees provided (5 Elm)

Zoning 8b.04(6)(7)(a) - GENERAL REQUIREMENTS
Site Landscaping: Tree plantings shall be required within site parking and service areas. Trees shall be a minimum of 2 1/2 inches in caliper at installation.
Minimum tree size shall be no less than 2 1/2 inch caliper for street and/or shade trees and 1 1/2 inch caliper for ornamental trees.

All trees planted @ 2.5" caliper for site parking, service, street and buffer shade trees.

SUBMITTAL RECORD

NO	DATE	DESCRIPTION
1	5-16-25	

KLAMFOTH

6630 Hill Road NW • Canal Winchester, Ohio 43110
Phone: 614-833-9840

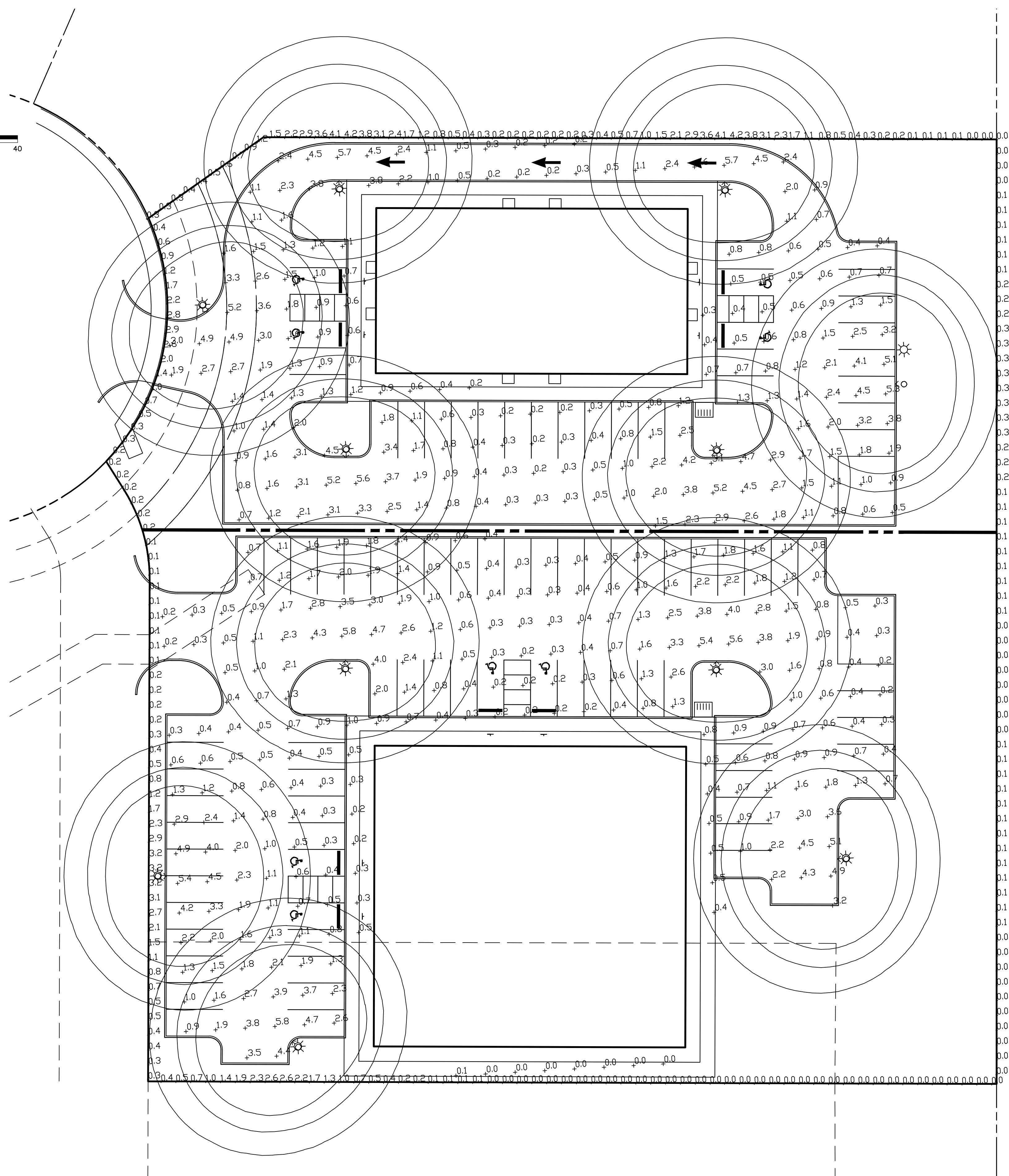
CANINI & ASSOCIATES

FOREST DRIVE MOB

NEW ALBANY, OHIO

LANDSCAPE PLAN

DRAWING NO.



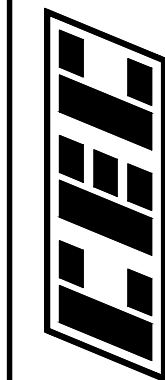
NOTE

Schedule

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area - North	+	1.7 fc	5.7 fc	0.2 fc	28.5:1	8.5:1
Parking Area - South	+	1.4 fc	5.8 fc	0.0 fc	N/A	N/A
Property Line	+	0.7 fc	4.2 fc	0.0 fc	N/A	N/A

NO	DATE
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Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085
614-540-6633 · 888-598-6808

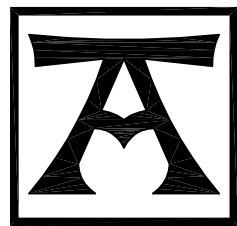
**CANINI & ASSOCIATES
FOREST DRIVE MOB
NEW ALBANY, OHIO**

LIGHTING & PHOTOMETRIC PLAN

DATE:	MAY 2025	DRAWN BY:	TH
DWG SCALE:	1" = 20'	CHECKED BY:	BAB
PROJECT NO:	344-555		
APPROVED BY:	RAR		

DRAWING NO.:

EX01



Alpha Architectural
Services, LLC.
Donald R. Weaver, Arch.
620 Reindeer Lane
Gahanna, Ohio 43230

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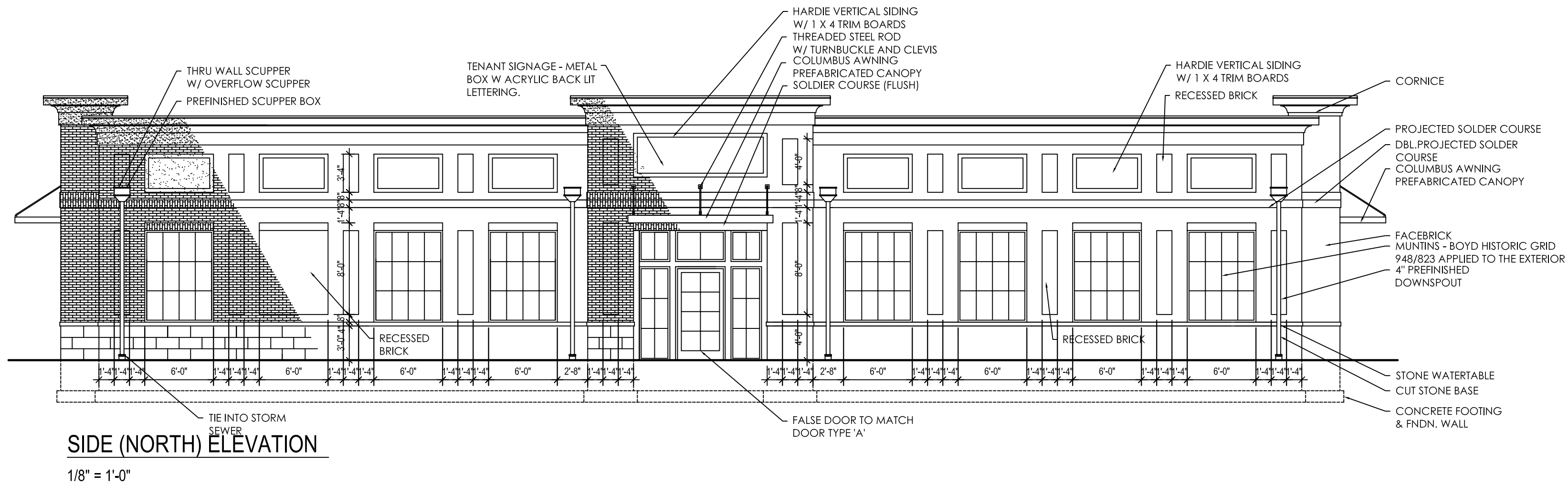
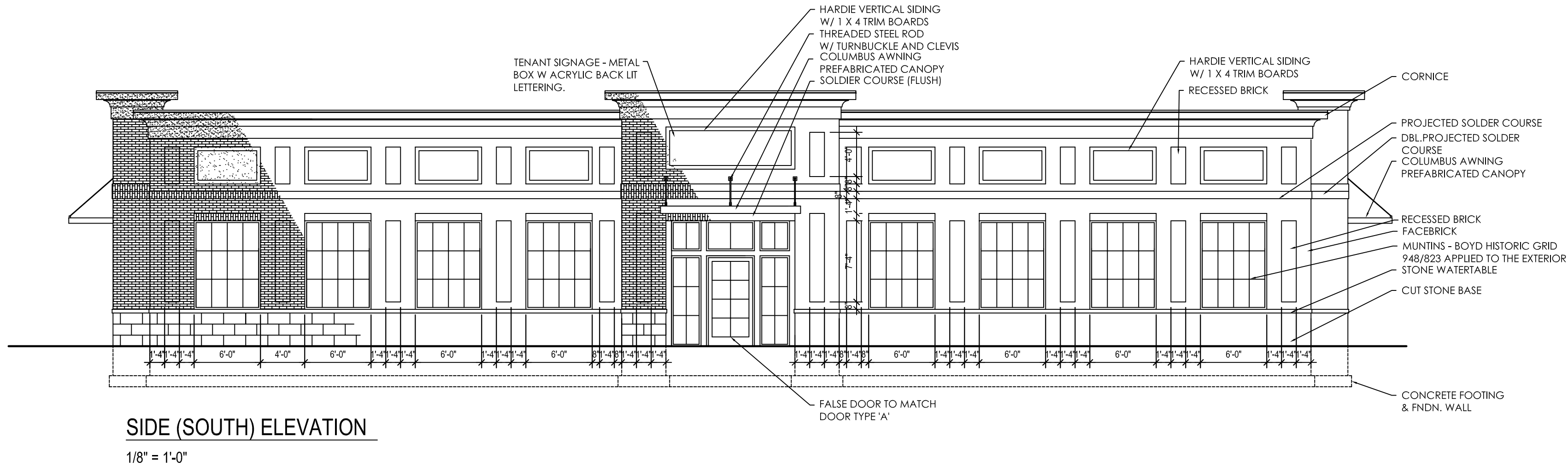
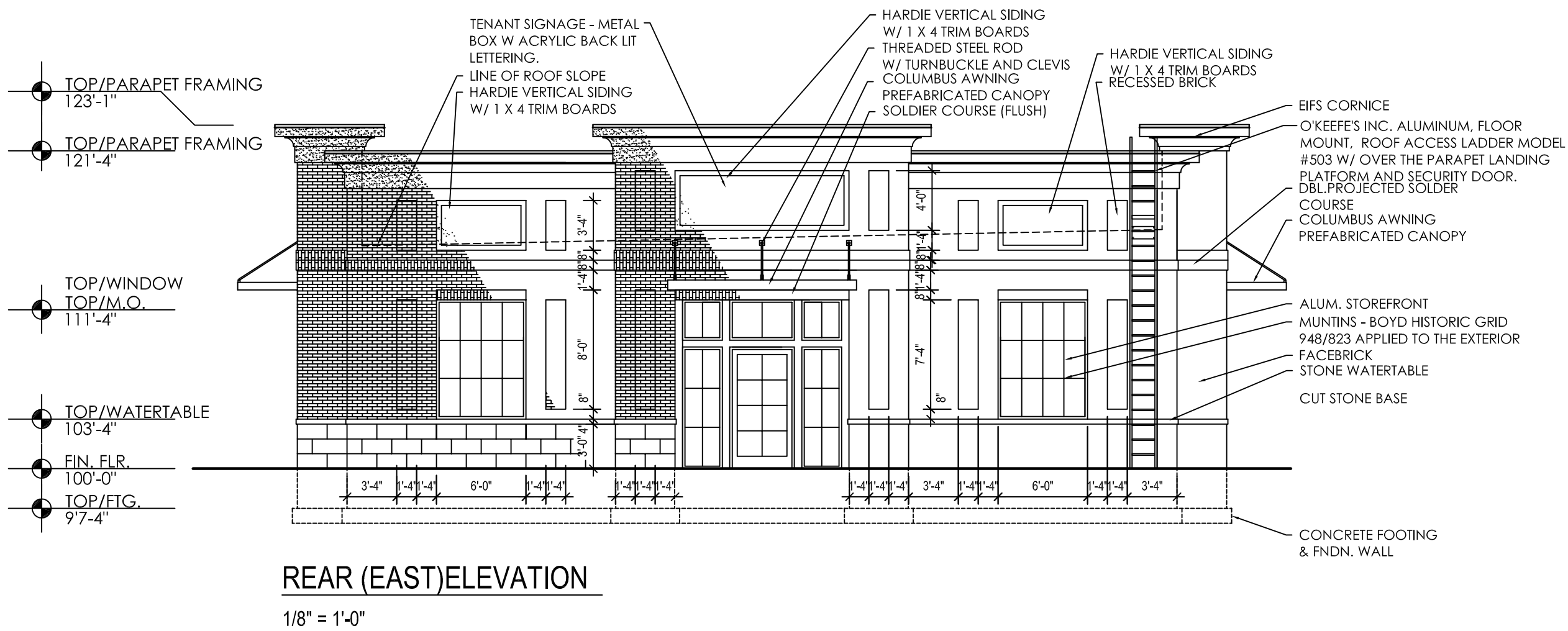
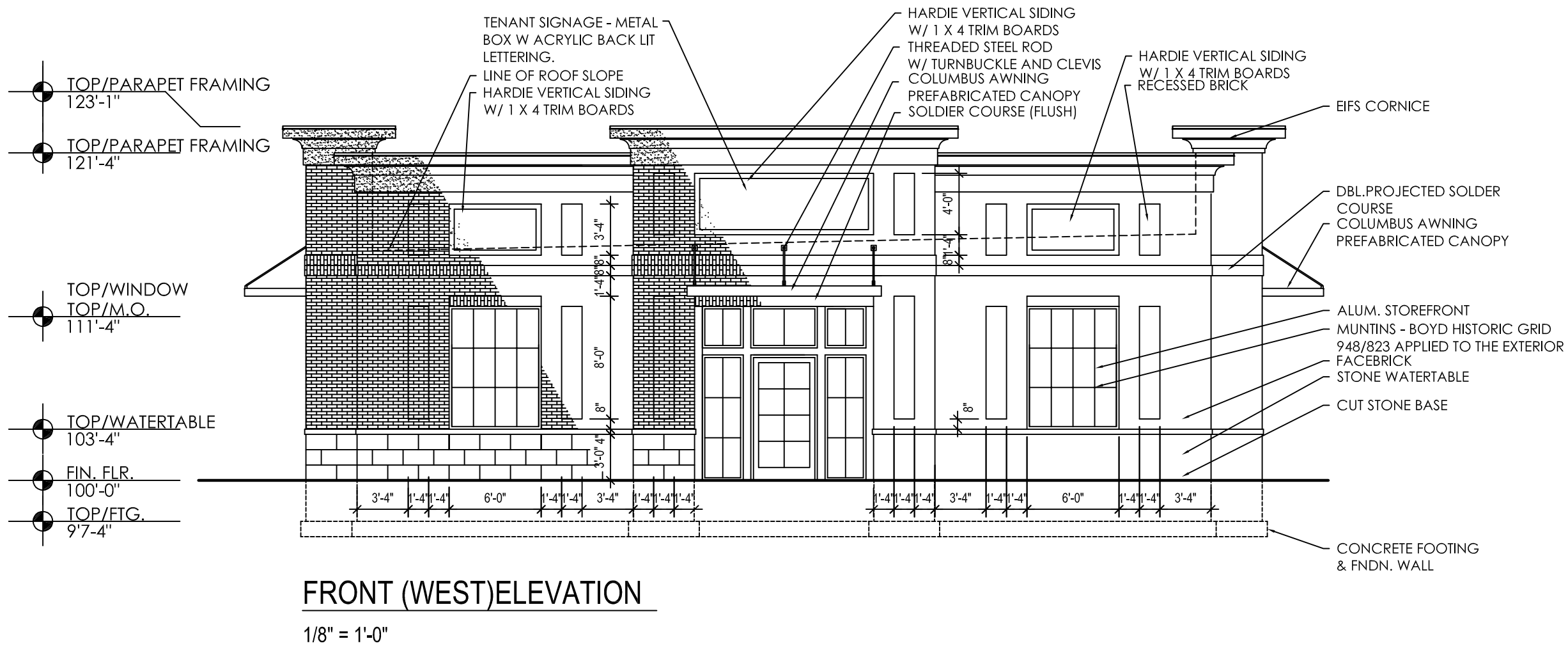
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FOR TOWNINGS ORAL SURGERY

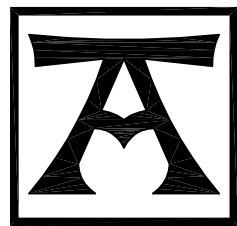
FOREST DR.
NEW ALBANY, OHIO

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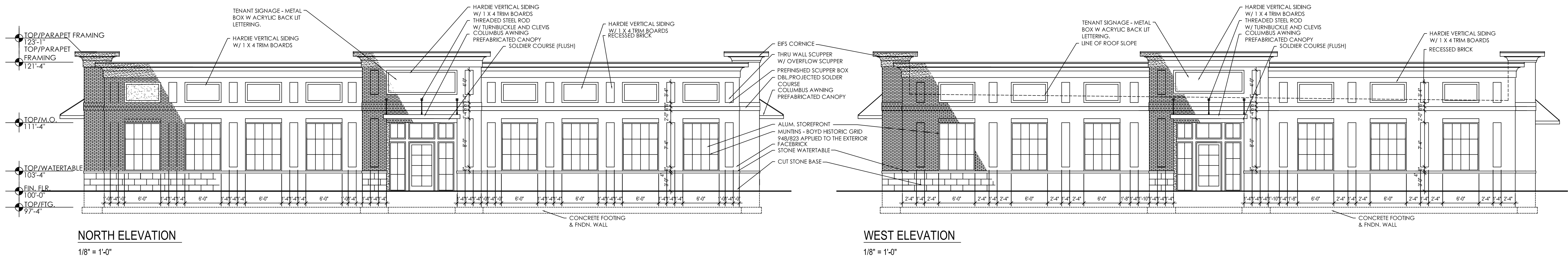
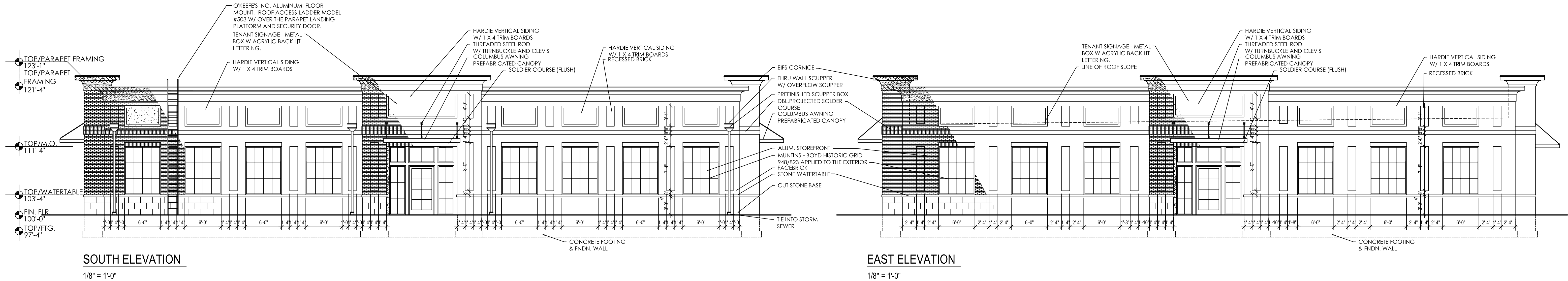




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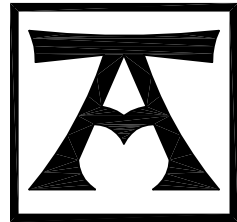
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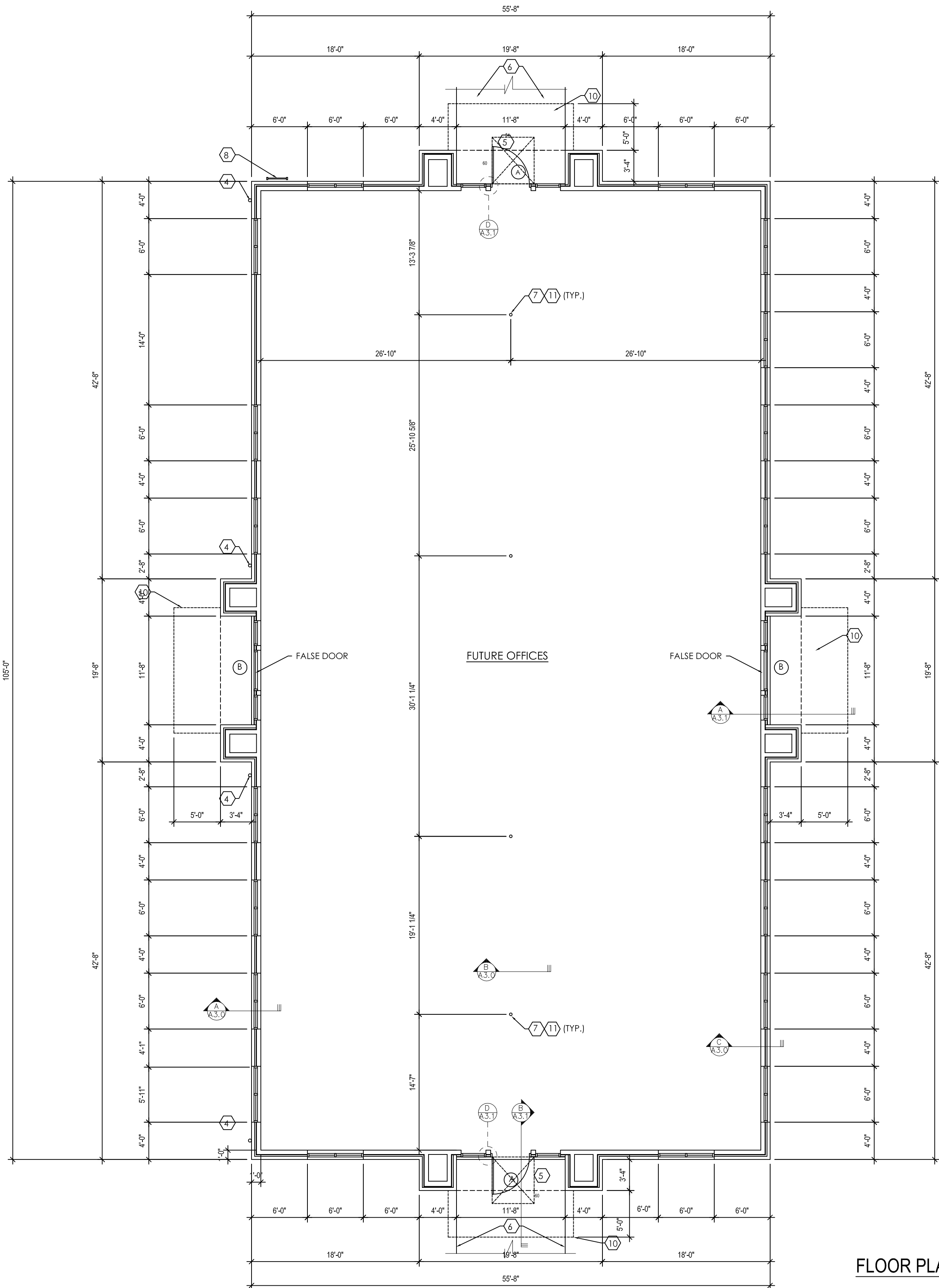
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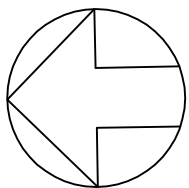
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1. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD/PLYWOOD SHEATHING OR NOMINAL MASONRY UNLESS NOTED OTHERWISE.
2. EXTERIOR WALLS ARE DIMENSIONED AS 12" THICK (2 X 6 STUD W/ 1/2" PLYWOOD SHEATHING, AIR SPACE, W/ 4" FACE BRICK (NOMINAL).
3. INTERIOR FINISHES (DRYWALL, CEILINGS, CONCRETE SLAB, BASE, ETC.) ARE TO BE PART OF THE TENANT IMPROVEMENT DRAWINGS.
4. 4" DIA. ROOF DRAIN/DOWNSPOUT. TIE TO STORM SEWER - SEE CIVIL DRAWINGS.
5. 5'-0" X 5'-0" ACCESSIBLE LEVEL AREA AT DOOR.
6. CONCRETE WALK - 4" CONC. SLAB W/ 6 X 6 - W1.4 X W1.4 WWF OVER 4" COMPACTED GRAVEL BASE. SEE SITE PLAN FOR EXACT SIZE AND EXTENT OF WALK. PROVIDE CONTROL JOINTS @ 5'-0" +/- O.C., AND EXPANSION JOINTS @ 25'-0" O.C. +/-.
7. STEEL COLUMN - SEE STRUCTURAL PLANS.
8. ROOF ACCESS LADDER - O'KEEFE'S INC. ALUMINUM, FLOOR MOUNT, ALUMINUM ROOF ACCESS LADDER, MODEL # 503 W/ OVER THE PARAPET LANDING PLATFORM AND SECURITY DOOR.
9. MASONRY CONTROL JOINT.
10. COLUMBUS AWNING PREFABRICATED CANOPY. POWDER COATED, EXTRUDED ALUMINUM, W/ 8" SMOOTH FASCIA.
11. STEEL COLUMNS MAY NEED TO BE BOXED OUT OR WALL THICKNESS ENLARGED ON THE TENANT'S IMPROVEMENT PLAN, IN ORDER FOR COLUMNS TO BE CONCEALED.

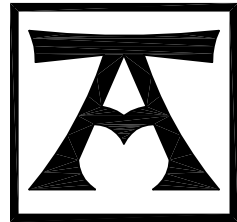
FLOOR PLAN LEGEND

- EXTERIOR WALL CONSTRUCTION - 2 X 6 STUDS @ 16" O.C. W/ 1/2" PLYWOOD SHEATHING & FACE BRICK. SEE WALL SECTIONS.
- INDICATES REQUIRED CLEAR FLOOR AREA W/ SIZE SHOWN IN INCHES - SEE ACCESSIBILITY DETAILS.



FLOOR PLAN

1/8" = 1'-0" BLDG. AREA: 6,078 S.F.



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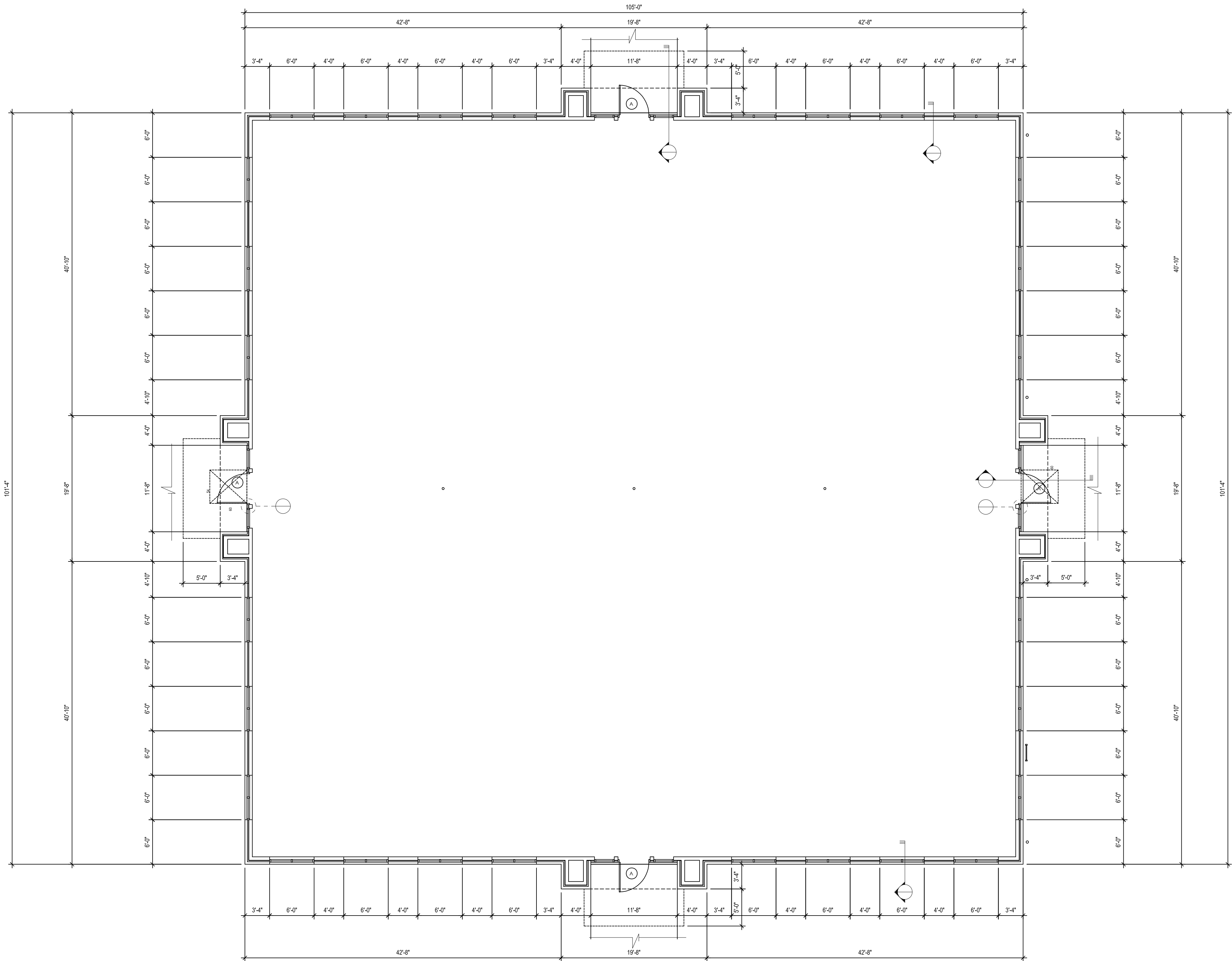
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NEW ALBANY, OHIO

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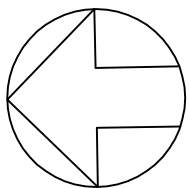


FLOOR PLAN CODED NOTES

- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD/PLYWOOD SHEATHING OR NOMINAL MASONRY UNLESS NOTED OTHERWISE.
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2 X 6 STUDS @ 16" O.C. W/ 1/2"
PLYWOOD SHEATHING & FACE BRICK
SEE WALL SECTIONS
- INDICATES REQUIRED CLEAR FLOOR AREA
W/ SIZE SHOWN IN INCHES - SEE
ACCESSIBILITY DETAILS



FLOOR PLAN
1/8" = 1'-0" BLDG. AREA: 10,902 S.F.

For landscape planning only, any architectural or engineered elements are for rendering purposes only and specific drawings should be referred to for those details.



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BUILDING 1 - ELEVATIONS



BUILDING 1 - WEST EXTERIOR
ELEVATION - FRONT
1/8" = 1'-0"



BUILDING 1 - EAST EXTERIOR
ELEVATION - BACK
1/8" = 1'-0"



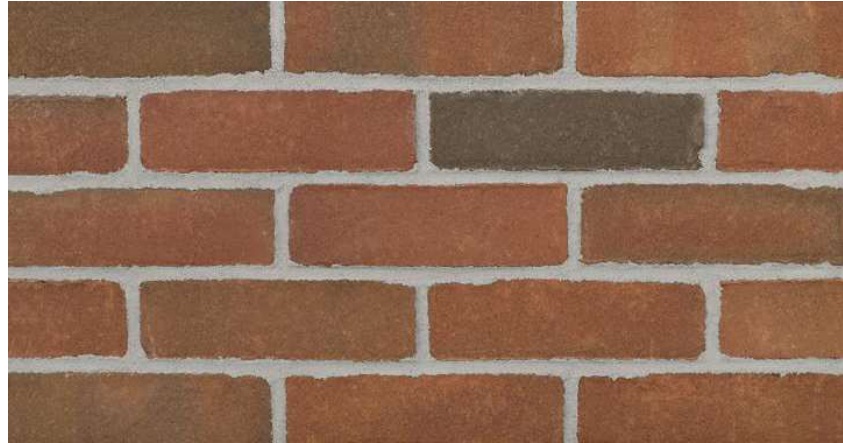
BUILDING 1 - SOUTH EXTERIOR
ELEVATION - SIDE
1/8" = 1'-0"



BUILDING 1 - NORTH EXTERIOR
ELEVATION - SIDE
1/8" = 1'-0"

EXTERIOR MATERIAL INDEX

MASONRY (M-1)



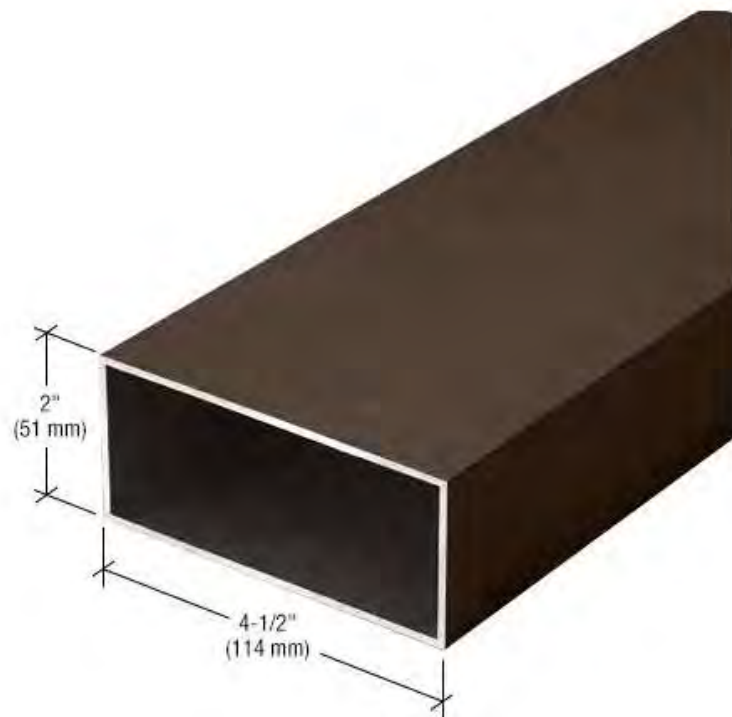
MANUFACTURER: GLEN GERY
SERIES: HOMETOWN SERIES FACE BRICK
COLOR: 'ALBANY'
MORTAR: ARGOS 'MAGNOLIA BUFF'

CAST STONE (ST-1)



MANUFACTURER: READING ROCK
COLOR: 'CREAM BUFF'
FINISH: SMOOTH

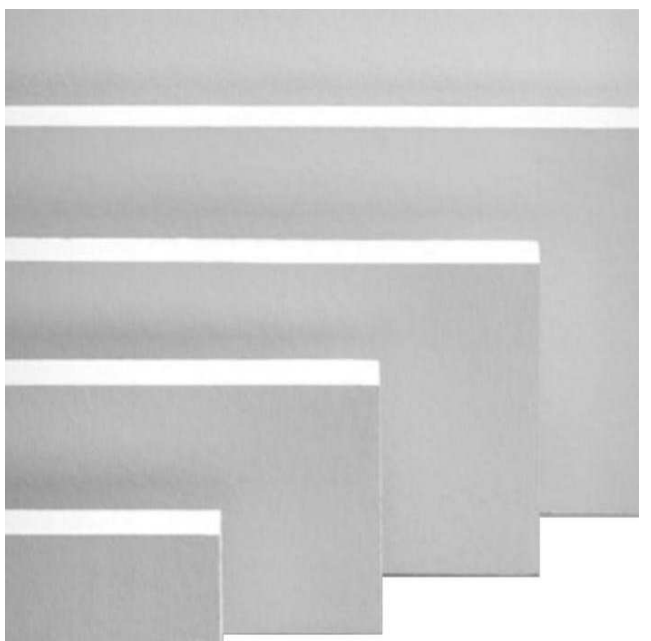
ALUMINUM STOREFRONT (SF-1) & FIBER CEMENT / TRIM / MOLDINGS (FC-1)



MANUFACTURER: KAWNEER TRIFAB VG 451-T SERIES
(OR ACCEPTABLE ALTERNATE)
2" x 4 1/2" FOR 1" INSULATED GLAZING



COLOR: BRONZE



MANUFACTURER: JAMES HARDIE
PANEL AND TRIM (SMOOTH)

METAL CANOPY (MC-1)



MANUFACTURER: COLUMBUS AWNING
10" TALL PREFINISHED METAL CANOPY

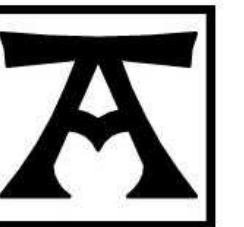


COLOR: BRONZE

LIGHTING (L-1)



MANUFACTURER: NORWELL LIGHTING
CAPTURE 1 LIGHT 21" MATTE BLACK OUTDOOR
WALL LIGHT (OR APPROVED ALTERNATE)



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Donald R. Weaver, Arch.
620 Reindeer Lane
Gahanna, Ohio 43230

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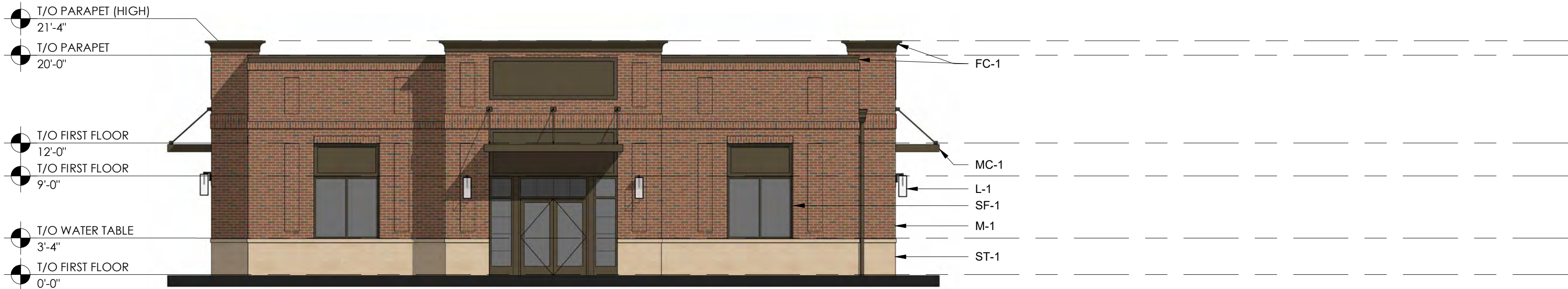
FORREST DR.,
NEW ALBANY, OHIO

24030

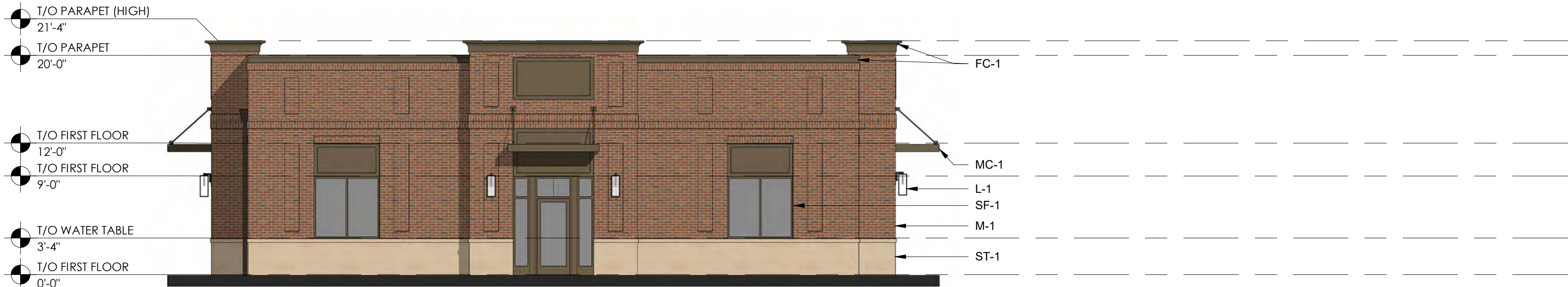
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A1.0

BUILDING 2 - ELEVATIONS



1 BUILDING 2 - WEST EXTERIOR
ELEVATION - FRONT
1/8" = 1'-0"



2 BUILDING 2 - EAST EXTERIOR
ELEVATION - BACK
1/8" = 1'-0"



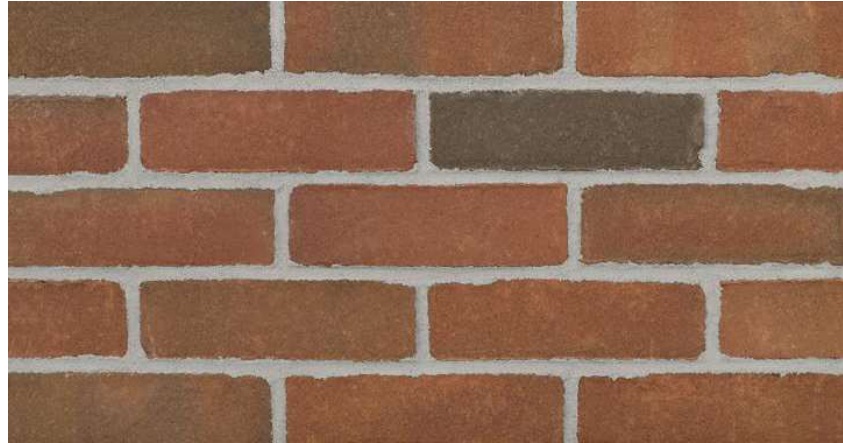
3 BUILDING 2 - SOUTH EXTERIOR
ELEVATION - SIDE
1/8" = 1'-0"



4 BUILDING 2 - NORTH EXTERIOR
ELEVATION - SIDE
1/8" = 1'-0"

EXTERIOR MATERIAL INDEX

MASONRY (M-1)



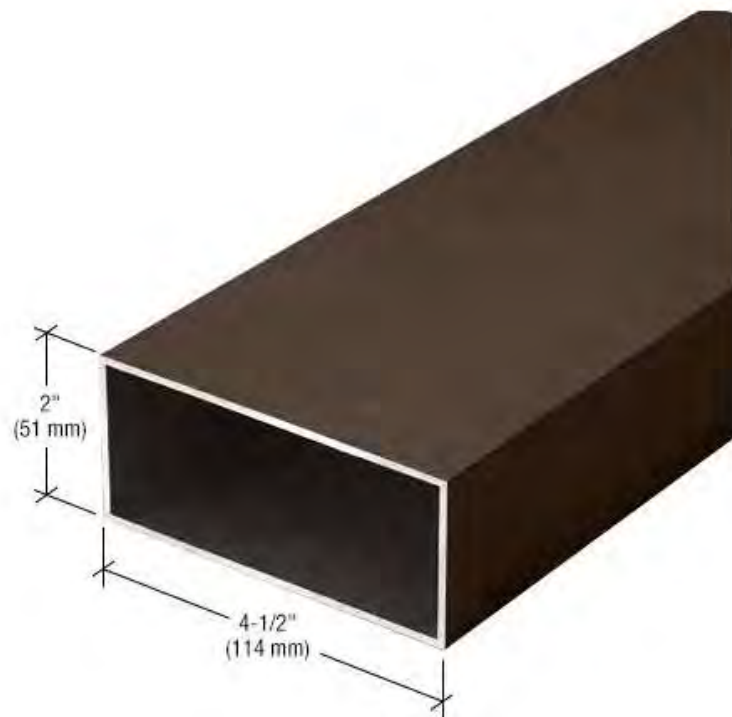
MANUFACTURER: GLEN GERY
SERIES: HOMETOWN SERIES FACE BRICK
COLOR: 'ALBANY'
MORTAR: ARGOS 'MAGNOLIA BUFF'

CAST STONE (ST-1)

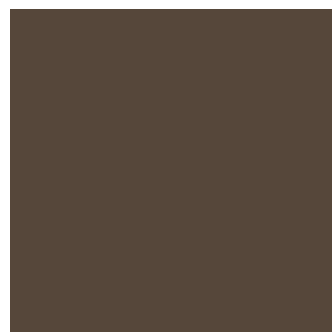


MANUFACTURER: READING ROCK
COLOR: 'CREAM BUFF'
FINISH: SMOOTH

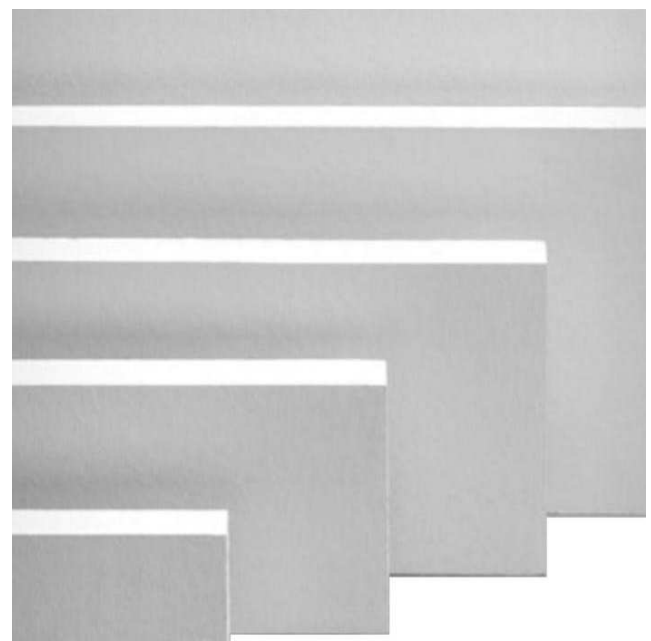
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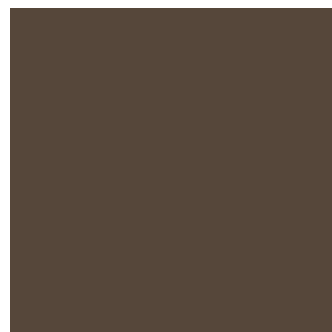


MANUFACTURER: JAMES HARDIE
PANEL AND TRIM (SMOOTH)

METAL CANOPY (MC-1)



MANUFACTURER: COLUMBUS AWNING
10" TALL PREFINISHED METAL CANOPY



COLOR: BRONZE

LIGHTING (L-1)



MANUFACTURER: NORWELL LIGHTING
CAPTURE 1 LIGHT 21" MATTE BLACK OUTDOOR
WALL LIGHT (OR APPROVED ALTERNATE)



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FORREST DR.,
NEW ALBANY, OHIO

24030

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2		

A2.0



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>			
Project Information	Site Address <u>Forrest Drive</u>			
	Parcel Numbers <u>222-004680</u>			
	Acres <u>2.08</u>		# of lots created ² _____	
	Choose Application Type <input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input type="checkbox"/> Conditional Use <input type="checkbox"/> Development Plan <input type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification		Description of Request: <input type="checkbox"/> Extension Request <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Vacation <div style="border: 1px solid black; padding: 2px; margin-top: 5px;">1. Eliminate Drive Aisle</div> <div style="border: 1px solid black; padding: 2px; margin-top: 5px;">2. Eliminate dumpster walls</div> <div style="border: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border: 1px solid black; height: 15px; margin-top: 5px;"></div>	
Contacts	Applicant Information		Property Owner Information	
	Name	Canini & Associates LTD	Name	Forrest Drive Holdings LLC
	Address	PO Box 887	Address	92 North High St
	City, State, Zip	New Albany, OH 40354	City, State, Zip	Dublin, OH 43017
	Phone Number	614-296-3872	Phone Number	
	Email	larry@caniniassocltd.com	Email	
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p>			
	Signature of Owner _____ Signature of Applicant _____ <div style="text-align: center; margin-top: 10px;"> </div>		Date: <u>5/28/25</u> Date: <u>5/27/25</u>	

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

Descriptions for Variance Requests for FDP-20-25
for two MOB's at Forest Drive Roundabout

New Albany Planning Staff,

Please accept this letter as a description for the two variances being requested on the above mentioned project.

1. Request to elimination of drive aisle between the two properties

This request is being made on behalf of our client, Dr. Claire Towing of East Ohio Oral and Facial, who will own and occupy the now northern smaller lot and building. Since Dr. Towing is the sole owner and occupant of the building, her parking needs are specific to her staff and patients. Her needs for parking are easily met within the spaces provided and would prefer, since we have an approved lot split, to not share her parking with our larger building to the south.

In regards to our southern building. This building will be twice as large as Dr. Towing's building and will be a "For Lease Building", meaning we could have as many as four tenants, likely medical. We will be able to provide the necessary parking for the multiple tenants with our parking at over 5 spaces per 1000 sq ft. Coupled with the shared parking agreement with the neighboring Estate Event Center, we can handle the demand in our lot and also provide overflow to the Estate Event Center during our off times which are their busier times of Friday evening, Saturday and Sunday.

2. Request to eliminate the dumpster walls on both sites

As a developer and property manager for many medical offices and parks, we have keen insight on what works best on a daily basis with trash and recycling removal. We have found that when we can place the dumpsters away from public right of way view, we find it more efficient to eliminate unwanted trash build up in and around dumpster enclosures. With the traditional brick and metal door enclosures, there are a few things that occur that make them inefficient.

#1 The refuse collection companies do not allow their drivers to exit their trucks to open the gates, therefore the tenants in the buildings are required to open the gates on their designated pick up days. Well the problem with that is the refuse companies do not cooperate in arriving on their designated day of the week as they will have issues with truck breakdowns, driver absenteeism and weather related delays, especially in the winter. This creates a mix up and these delays can then cause the dumpsters to overflow. With open bins and evergreen landscaping along the three sides, this does require gate to be open and also allows us to visually see on our teams daily inspections that the dumpsters have or have not been emptied.

#2 The interior office cleaning janitorial service providers that the tenants hire and that generally service the office in the evening hours, are notorious for not opening the gates to actually place the trash in the dumpsters. They tend to throw the trash over the gates or walls thinking someone else will dispose of it properly. This too can be eliminated with the open and evergreen look. This also allows our team to immediately see when trash has not been placed in the dumpsters and clean up the issue immediately. We also require refuse companies to provide us with freshly painted or new dumpsters annually to help keep up the look within our projects.

#3 I suggest too that staff take a look at some of the gates and walls at various properties throughout New Albany. I can almost guarantee that you will find gates always open, or walls decaying and falling apart or the gates themselves and the hinges falling apart. This item is generally the last thing a landlord or building owner wants to pay to fix. I also encourage you to visit and drive through my Smith Mill Office Park on Forest Drive and see for yourself how much more attractive the bins look when they are blended into the Landscaping with pines at the rear of the properties, as we did there.

Please let me know if you have any other thoughts or comments on my requests.

Thank you

Larry Canini



**Planning Commission Staff Report
June 16, 2025 Meeting**

**EDGECONNEX BATCH PLANT
CONDITIONAL USE**

LOCATION: Located at 12525 Jug Street Road, west of Clover Valley Road and South of Jug Street Road (PID: 095-112056-00.006)
APPLICANT: Bryan Benjamin, Danis Building Construction
REQUEST: Conditional Use
ZONING: L-GE Limited General Employment District
STRATEGIC PLAN: Employment Center
APPLICATION: CU-38-2025

Review based on: Application materials received May 15, 2025.

Staff report completed by Jay Henderson, Planner

I. REQUEST AND BACKGROUND

The applicant requests approval for a conditional use application to allow the temporary use of a concrete batch plant on 12.6+/- acres within the business park. The site was recently rezoned on May 6, 2025, to L-GE and known as the Clover Valley Expansion Zoning District (ZC-10-2025).

The site currently occupies the Kennel Club USA, a pet boarding facility, which is scheduled to relocate by late June or July of 2025. This concrete batch plant use falls within the industrial manufacturing and assembly use category, therefore, a conditional use review and approval are necessary.

II. SITE DESCRIPTION & USE

The overall 12.6+/- acre development site is located on a portion of 12525 Jug Street Road, at the southwest corner of Clover Valley Road and Jug Street Road in Licking County. The site is zoned L-GE and is mostly surrounded by commercially zoned properties also located within the business park, with the exception of the unincorporated residential lots to the northeast.

The proposed use will be located at the northernmost portion of the site, as shown on the plan. Residential uses are located to the north of the site and will be a minimum of 200 feet away from this use. The site will include an 8-foot-high perimeter fence to screen the temporary plant from the rights-of-way.

The use includes the outdoor storage of materials such as (but not necessarily limited to) stone, sand, and gravel. These materials are used to produce and manufacture concrete and cement on the site. More specifically, a gravity silo cement bin will be utilized to produce poured-in-place concrete. The batch plant will only serve for private purposes specific to this project. The application includes the operation of a bulk cement trailer parked on site. No sales are made from the batch plant.

In requesting the conditional use, the applicant has provided a site plan that demonstrates the intended layout of the batch plant operations.

III. EVALUATION

The general standards for conditional uses are contained in Codified Ordinance Section 1115.03. The planning commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location meets all of the following requirements:

(a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*

- The applicant proposes a temporary concrete batch plant at the site to be in operation until July 2027.
- The city does benefit from this because the plant will significantly reduce travel distance for large trucks for tasks such as concrete pours and other work for this project.
- Additionally, the trucks will not be using the truck washouts often during operation, which will minimize the water usage.
- The limitation text associated with the rezoning of the property places additional requirements above the General Employment (GE) District requirements for the development of the property. These requirements further ensure that the character of the area is preserved and enhanced by future development.
- The limitation text establishes setbacks that are more stringent than the minimum GE requirements.
- Per the zoning text, there is a required 25' pavement and 50' building setback along Clover Valley and Jug Street Roads.
 - As shown on the site plan, the aggregate piles will be set back a total of 75 feet from the right-of-way.
- Per the proposed zoning text, there is a required 25' pavement and building setback from the western boundary.
- Vehicular access with full turning movements is proposed at the existing curb cut on Clover Valley Road with an access gate. The connection to the existing asphalt will be done using a portion of gravel internal to the site.
- The applicant has stated that BCEI and DBCC will provide clean roads daily as required and an automatic wheel wash for exiting trucks.

(b) *The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.*

- The proposed use complements the manufacturing and production, warehouse, data center, and distribution uses, which are permitted uses within the overall area. The proposed use is appropriate in the context of the surrounding uses, development patterns, and will contribute to the overall success of the Business Park.

(c) *The use will not be hazardous to existing or future neighboring uses.*

- The use is subject to Codified Ordinance Section 1153.06 which requires that no land or structure within the GE District shall be used or occupied in such a manner so as to create any dangerous, injurious, noxious, or otherwise objectionable impact on any land which is located in any other zoning district.
 - The applicant, as part of the conditional use statement, has stated that the effects of pollutants or combustible materials and noxious odors will not be emitted by the batch plant.
- The batch plant's location provides convenient access to construction materials and efficiency for on-site delivery. The location allows trucks to travel on site with materials and reduces traffic coming to and from the site.
 - The applicant, as part of the conditional use statement, has noted that traffic would be reduced by an estimated 33%.

(d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*

- The city has made significant investments in the improvement of roadways in this area. Trucks will travel on Clover Valley Road for a brief time until the Kennel Club is demolished, and a construction access road will be constructed to provide direct access to the site from the batch plant.
- Public water will be utilized on site for wheel washes, however, this will be at a minute rate compared to other batch plants in the area. Sanitary sewer services will not be necessary for the batch plant.
- The proposed industrial manufacturing and assembly use will produce no new students for the Johnstown Monroe Local School District.

(e) *The proposed use will not be detrimental to the economic welfare of the community.*

- The proposed industrial manufacturing and assembly use generates income tax for the city with its jobs.
- To maintain a competitive advantage over other locations, and because speed is one of the most important factors when a company is under construction, the operation and location of the batch plant, even though it is temporary in nature, has a positive benefit to the city's economic development goals and indirectly aids its fiscal strength.

(f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*

- The use will be subject to Codified Ordinance Section 1153.06 which requires that no land or structure within the GE District shall be used or occupied in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable impact on any land which is located in any other zoning district.

(g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*

- The applicant will utilize an existing full-access curb cut along Clover Valley Road NW.
- The infrastructure in this portion of the city is designed to accommodate the traffic associated with commercial uses and construction vehicles.
- There is no reason to believe that the traffic generated by this use will have any greater impact than traffic for permitted users in the GE district.
- The applicant has stated that access to and from Clover Valley Road will be designated only for batch plant erection and deliveries of raw material to produce the ready-mix concrete.

IV. ENGINEER'S COMMENTS

The city Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided the following comments. Staff recommends a condition of approval that the city engineer's comments be addressed at the time of engineering permits, subject to staff approval.

1. Provide construction plans and a stormwater management report prepared by a Professional Engineer for city review and approval.
2. Provide the number of vehicles and/or trucks that will utilize the proposed access gate.
3. Provide documentation from an environmental scientist showing the location of wetlands and other environmental features that may be impacted by this project.

V. SUMMARY

The overall proposal appears to be consistent with the code requirements for conditional uses and

meets the development standards and recommendations contained in the Engage New Albany Strategic Plan and the New Albany Economic Development Strategic Plan. The proposed industrial manufacturing and assembly use is consistent with the character of the immediately surrounding area. Additionally, this provides a direct benefit to the city for capital improvement projects for infrastructure and private developments. The site is strategically located where vehicles coming to and from the site can utilize the local business park streets.

The proposal is a temporary conditional use that helps the city achieve the goals and recommendations in the New Albany Economic Development Strategic Plan by supporting additional attracting and encouraging continued growth within the business park. The operation of the proposed batch plant is to cease in July 2027.

VI. ACTION

Suggested Motion for CU-38-2025:

To approve the conditional use application CU-38-2025 to allow for industrial manufacturing and assembly use for a temporary concrete batch plant based on the findings in the staff report with the following conditions (additional conditions may be added):

1. That this currently proposed batch plant will only be in operation until July 2025, or another conditional use is submitted to extend its use past this date.
2. When in use, the road shall be cleaned daily.
3. Wheel wash is required for exiting trucks.
4. That the city Engineer's comments be addressed at the time of engineering permits, subject to staff approval;
 - a. Provide construction plans and a stormwater management report prepared by a Professional Engineer for city review and approval.
 - b. Provide the number of vehicles and/or trucks that will utilize the proposed access gate.
 - c. Provide documentation from an environmental scientist showing the location of wetlands and other environmental features that may be impacted by this project.
5. The conditional use terminates if the current use changes.
6. There shall be no batch plants within the building setback and no material storage within the pavement setback and easements.
7. The land shall be restored to a similar condition as exists today once the batch plant terminates use of this site.

Approximate Site Location:



Source: NearMap



Conditional Use Submittal Checklist

Applicant Information

Name of Project EdgeConneX - New Albany
 Site Address 2675 Clover Vly Rd NW, Johnstown, OH 43031
 Due Date _____ Application Number _____

Submit planning applications and all required materials via email to planning@newalbanyohio.org

Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.

Planning staff will complete a preliminary review of your submission no later than one week after it is submitted to the department. Staff will inform you of any missing information via email and you will be given one week to provide it to us. Incomplete applications cannot be placed on meeting agendas.

Submittal Requirements

Required Item

Submitted?

- | | |
|--|--|
| 1) Legal description of the property as recorded in the Franklin County Recorder's office. | 1) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| 2) Description of existing use. | 2) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| 3) Present zoning district. | 3) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| 4) Description of proposed conditional use. | 4) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| 5) A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading area, traffic circulatoin, open spaces, landscaping, refuse and service areas, utilities, signs, yards, and such other information as the Commission may require to determine if the proposed conditional use meets the intent and requirements of this Ordinance. | 5) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| 6) A narrative statement evaluating the effects on adjoining property; the effect of such elements as noise, glare, odor, light, fumes, and vibration on adjoining property; a discussion of the general compatibility with adjacent and other properties in the district. | 6) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| 7) The names and addresses of all property owners wtiin 200 feet, contiguous to, and directly across the street from the property, as appearing on the Franklin County Auditor's current tax list. The applicant shall also provide the addresses of all property within the above reference boundaries. | 7) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| 8) Such other information regarding the property, proposed use, or surrounding area as may be pertinent to the deliberations of the Planning Commission. | 8) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																									
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Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 60%;"> <p>Signature of Owner _____</p> <p>Signature of Applicant _____</p> </div> <div style="width: 35%; text-align: right;"> <p>Date: _____</p> <p>Date: _____</p> </div> </div> <div style="margin-top: 10px; font-size: small;"> <div style="display: flex; justify-content: space-between;"> <div>Mark Finney</div> <div> <p><small>Digitally signed by Mark Finney DN: cn=Mark Finney, o=City of New Albany, ou=City of New Albany, email=mark.finney@newalbanyohio.org, c=US</small></p> </div> </div> </div>																									

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Fees & Submittal Information

Appeal		250.00	
Certificate of Appropriateness			
ARB – single and two family residential		100.00	
ARB – All other residential or commercial		300.00	
ARB - Signage		75.00	
Conditional Use		600.00	
Development Plan – Preliminary PUD or Comprehensive			
Planning fee	First 10 acres	750.00	
	Each additional 5 acres or part thereof	50.00 / each	
Engineering fee	1-25 lots	155.00 / each	
	Minimum fee	1000.00	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Final PUD			
Planning fee	First 10 acres	650.00	
	Each additional 5 acres or part thereof	50.00	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Non-PUD		300.00	
Development Plan / Text Amendment		600.00	
Plat – Road Preliminary			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Road Final			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Subdivision Preliminary			
Planning		650.00	
	Plus each lot	50.00 / each	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each lot over 51	50.00 / each	

Fees & Submittal Requirements

Plat – Subdivision Final

Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 /each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____

Lot Changes

200.00

Minor Commercial Subdivision

200.00

Vacation (Street or Easement)

1200.00

Variance

Non-single family, commercial, subdivision, multiple properties

600.00

Single Family residence

250.00

In conjunction with Certification of Appropriateness

100.00

Extension Request

0.00

Zoning

Rezoning - First 10 acres

700.00

Each additional 5 acres or part thereof

50.00 / each

Rezoning to Rocky Fork Blacklick Accord

250.00

Text Modification

600.00

Easement Encroachment

800.00

Conditional Use Statement

12 +/- Acres Located within the Mink Street West Zoning District

The applicants, namely Danis Building Construction Company (General Contractor) (DBCC) and Burr Computer Environments, Inc. (CM) (BCEI) and Edgeconnex MCN New Albany South Propco 2, LLC. (Owner) (ECX) request approval of a conditional use to allow the continued operation of an “industrial manufacturing and assembly” use on 12+/- acres of real property (the “Property”) located to the South of Jug Street of and adjacent to Clover Valley Rd. (Kennel Club site) in the City of New Albany, Licking County. The kennel property is scheduled to be vacated in late June or July of 2025 and will be demolished under a separate future demo permit. Therefore, there are no proximity issues with the proposed plant location once it is operational. The Property is zoned in the L-GE, Limited General Employment District classification. The zoning limitation text that applies to the Property allows for the review and approval of conditional uses that are set forth in Section 1153.02 of the Codified Ordinances.

Existing use is determined by the Development Agreement between ECX and the City of New Albany, Ohio as approved by City Council Resolution, ECX committed to the development of approximately 1,225,000 total square feet of commercial space to be used for data center uses in multiple buildings on approximately 74 acres of land. In Phase 1 of the development agreement ECX agreed to retrofit/convert 525,000 square feet of commercial distribution / warehouse space into a data center by Q1 2027 ECX has contracted with BCEI and DBCC to complete Phase 1 as committed to in the development agreement. Phase 1 entails the retrofit/conversion of the existing distribution / warehouse building totaling approximately 525,000 square feet and the addition of an energy center consisting of outdoor gas fired generators. Phase 1.1 will be substantially complete in April 2026 and Ph 1.2 will be substantially complete by Q1 2027. ECX intends to develop the Property in Phase 2 of the development agreement by Q3 2027. Phase 2 entails the construction of a new 2-story 700,000 structural steel framed building with precast cladding, a detention basin and storm piping, mass excavation, new site utilities, site improvements, and finished grading and landscaping, as well as a separate 80,000 sf energy center building housing gas fired generators. Ph 2 will be substantially complete by Q3 2027.

The proposed temporary conditional use being requested is to utilize an on-site batch plant from which to supply concrete for the work associated with Phase 1 and Phase 2. Due to the size and scope of the project, 30,000 plus cyds of concrete (3,000 trucks), we want to minimize the truck traffic in the area due to all of the other concurrent construction, and especially with a data center potentially starting sometime this year across Clover Valley from our site. Having an on-site batch plant will greatly reduce the traffic volume in the area and reduce the project’s carbon footprint. In addition, since we will be using off-road ready-mix trucks continuously throughout the day, we will not be washing them out between every load as we would with trucks coming to the site from an offsite plant. This significantly reduces the amount of water used for washout, and the tradeoff is 3,000 ready mix trucks vs 2,000 - 18 wheelers bringing raw material to the plant, reducing traffic by **33%** .It is our understanding that in order to construct and operate a batch plant on the property, a conditional use approval must be obtained to permit its use. This application seeks that approval. The applicant is requesting for the conditional use permit to operate the batch plant from July 2025 to July 2027.

The batch plant use will include the outdoor storage of materials such as (but not necessarily limited to) stone, sand, and gravel. A bulk cement trailer will also be parked on site. These materials are used to produce and manufacture concrete and cement on the site. More specifically, a gravity silo cement bin will be utilized to produce poured- in-place concrete. The batch plant will serve private purposes only for this project only. It will produce the materials that are to be used for Phase 1 and Phase 2 as well as the associated energy centers.

No sales will be made from the batch plant to anyone or any projects other than those identified above.

BCEI and DBCC will perform the following: clean roads daily as required, provide an automatic

wheel wash for exiting trucks. We will keep the site cleaned up and visually appealing from adjacent roadways / site lines. Screening material will be installed on the 8' high perimeter security fence to partially screen the plant and on-site activities from the public.

Earlier in 2021, Ordinance O-16-2021 was approved by City Council after receiving a recommendation for approval from the Planning Commission. That ordinance provided distinctions between "manufacturing and production uses" and "industrial manufacturing and assembly uses" in Section 1153.03 of the Codified Ordinances. Furthermore, the latter use types are deemed to be conditional (rather than permitted) uses in the GE district. See Codified Ordinances Section 1153.02.

Codified Ordinances Section 1153.03(a)(3) further describes industrial manufacturing and assembly uses as follows:

"A. Characteristics. Firms are involved in heavy manufacturing processing, fabrication, packaging, or assembly of goods for industrial or construction industries. Raw secondary, or partially completed materials may be used. Goods are generally not displayed or sold on-site. Relatively few customers come to the manufacturing site.

B. Accessory activities. Accessory activities may include administrative offices, cafeterias, employee recreational facilities, warehouse, storage yards, outlets, and caretaker's quarters. Retail outlets as an accessory to industrial manufacturing and assembly plants shall be treated as retail product sales and service.

C. Examples of heavy industrial manufacturing and assembly include, but are not limited to, metal stamping; pressing and buffing, tool and die shops; machine, sheet metal and welding shops; construction related and building material manufacturing (including milling, planning and joining); vehicle and/or vehicle part manufacturing and fabrication; construction equipment and/or construction equipment part manufacturing; recycling or creation of materials, textiles, lumber, paper, rubber, batteries, etc."

As described earlier, the batch plant will provide for the manufacturing and production of materials used in the construction industry for private projects. Raw materials are used in such production, such as stone, sand, and gravel. No goods are displayed on the site, and no customers come to the Property. Storage of materials is part of the operation.

Section 1115.03 of the Codified Ordinances provides that the Planning Commission is to approve a conditional use if it meets all of the following requirements in bold below. The applicants have provided support the use's conformance with such requirements following each of them.

(a) The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.

The use will comply with the Zoning Ordinance and will be reviewed by the New Albany Zoning, Engineering, and Building departments. The temporary nature of the use that coincides with Phase 1 and Phase 2 construction, and the fact that conditional use will comply with the zoning ordinance allows for conformance with the general objective, any specific objective and purpose established by the City. Things such as the fence screening and setbacks are examples of measures that will be followed to satisfy the Zoning Ordinance. Numerous other requirements and standards are contained within the zoning limitation text which provide commitments that will result in development of the Property in a manner that meets or exceeds the requirements of the Zoning Ordinance.

(b) The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.

The existing and future character of the area includes a substation and industrial buildings and this subject data center project to the south of Jug St, and a planned data center development to the east of Clover Valley Rd. To the Northeast there are several remaining residential properties, with the closest one being over 200 ft away. There is also a pending commercial development of unknown character immediately across the street from said residential properties on Jug Street. Therefore, the uses fit well with the character of the area.

(c) The use will not be hazardous to existing or future neighboring uses.

The batch plant does not emit any potential pollutants or combustible materials and does not emit noxious odors. It is equipped with a cement dust containment system. Noise should not be a concern as there are only a limited number of residential properties in the area with the closest being over 200' away. We will be sensitive to this closest neighbor's concerns and will address any concerns that they may have regarding the proposed on site batch plant.

(d) The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

The City has already made a significant investment in the improvement of Jug Street and Clover Valley Rd. For a brief period of time, trucks will be travelling a short distance on Clover Valley Rd, from the batch plant to the jobsite. There is already an approved existing curb cut and driveway onto Clover Valley Rd. from the proposed batch plant site. A construction access road will be constructed as soon as possible after the Kennel Club is vacated and demolished in late June or July of 2025. This will provide direct access to the jobsite from the batch plant and will remove all ready-mixed truck traffic from Clover Valley Rd. These measures ensure that access to the batch plant is limited only to the required authorized personnel. The nature of the use is such that we do not require the use of sanitary sewer services. There are two (2) existing wells on site which we are investigating for potential use for batch plant water. If they do not prove out, we will be extending a 3" temporary water line from the metered domestic water service being installed as a part of the Phase 2 data center project. There is no negative impact on schools, as the use generates no residents. Being that there will be no permanent structures on the site, the fire risk is minimal. The uses do not have any more likelihood of criminal activity than any existing use in the general vicinity.

(e) The proposed use will not be detrimental to the economic welfare of the community.

The proposed conditional use will be a clear economic benefit to the community. It will allow ECX to maintain the schedule laid out in the development agreement with the City and provide additional jobs and tax revenue as agreed upon.

(f) The proposed use will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

Conditional use will be subject to Codified Ordinances Section 1153.06, which requires that no land or structure within the LGE district shall be used or occupied in such a manner as to create any dangerous, injurious, noxious, or otherwise objectionable impact on any land which is located in any other zoning district.

(g) Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.

The conditional use access to and from Clover Valley Rd. will be designated only for the batch plant erection, and semi deliveries of raw materials necessary to produce ready-mix concrete. No other traffic will be permitted to use the access. Once we can construct the on-site haul road, ready-mix truck traffic will be removed from Clover Valley Rd. Therefore, there will be no interference with traffic for the surrounding public streets and roads from the 3,000 truckloads of ready-mix concrete.

APPLICANTS:

Danis Building Construction
Company
777 Goodale Blvd., Suite 100
Columbus, OH 43212

Burr Computer Environments, Inc.
10400 Rodgers Road
Houston, Texas 77070

PROPERTY OWNER:

Edge Connex, Inc.
2201 Cooperative Way #400
Herndon, Va. 20171

SURROUNDING PROPERTY OWNERS:

- Property Address: 9750 Innovation Campus Way, New Albany, OH 43054
 - Owner: 9750 Innovation Campus Way LLC
 - Mailing Address: PO Box 847 Carlsbad, CA 92018
- Property Address: 2575 Newton Court, New Albany, OH 43054
 - Owner: Amazon Data Services Inc.
 - Mailing Address: PO Box 80416, Seattle, WA 98108
- Property Address: Harrison Road NW, Johnstown, OH 43031
 - Owner: ET New Albany LLC
 - Mailing Address: 8027 Forsyth Blvd, Saint Louis, MO 63105
- Property Address: Harrison Road NW, Johnstown, OH 43031
 - Owner: COI New Albany Tech Park Land LLC
 - Mailing Address: 4900 Main Street Suite 400, Kansas City, MO 64112
- Property Address: 12635 Newton Court, New Albany, OH 43054
 - Owner: AEP Ohio Transmission Company Inc.
 - Mailing Address: 1 Riverside Plaza 16th Floor, Columbus, OH 43215
- Property Address: 12181 Jug Street Road, Johnstown, OH 43031
 - Owner: C1 New Albany, LLC
 - Mailing Address: 2850 N Harwood St Suite 2200, Dallas, TX 75201

Addresses (Residential):

- Property Address: 2716 Clover Valley Road, Johnstown, OH 43031
 - Owner: Rusmisl LLC
 - Mailing Address: 11950 Wildwood Lane, Sunbury, OH 43074
- Property Address: 2754 Cover Valley Road, Johnstown, OH 43031
 - Owner: Rusmisl LLC
 - Mailing Address: 11950 Wildwood Lane, Sunbury, OH 43074

- Property Address: 12410 Jug Street Road NW, Johnstown, OH 43031
 - Owner: MBJ Holdings LLC
 - Property Address: 8000 Walton Pky Suite 200, New Albany, OH 43054
- Property Address: 2782 Clover Valley Road, Johnstown, OH 43031
 - Owner: Richardson, Claude W & Peggy
 - Mailing Address: 2782 Clover Valley, Road, Johnstown, OH 43031
- Property Address: 2810 Clover Valley Road, Johnstown, OH 43031
 - Owner: Mahaffey-Arnett, Susan R & Arnett Jason A
 - Mailing Address: 2810 Clover Valley, Road, Johnstown, OH 43031
- Property Address: 12228 Jug Street Road, Johnstown, OH 43031
 - Owner: Frost, Kathie
 - Mailing Address: 12228 Jug Street, Road, Johnstown, OH 43031

CITY OF NEW ALBANY
 ZONING REQUIRED
 APPROVED
[Signature] 1/30/23
 Signature Date

[Signature]
 ZONING
 APPROVED
 1/30/23

12.604 ACRES

Situated in the State of Ohio, County of Licking, City of New Albany, in Lots 2 and 15, Quarter Township 2, Township 2, Range 15, United States Military District, being comprised of all of the remainder of that 22.453 acre tract of land conveyed to Nine Properties, Limited by deed of record in Instrument Number 200505250015574 and all of that 0.535 acre tract of land conveyed to Nine Properties, Limited by deed of record in Instrument Number 202212060028640 (all references refer to the records of the Recorder's Office, Licking County, Ohio) and more particularly bounded and described as follows:

Beginning, for reference, at a magnetic nail set at the centerline intersection of Jug Street Road and Clover Valley Road, as shown on the dedication plat of record in Instrument Number 202212160029345;

Thence South 20° 12' 26" East, with the centerline of said Clover Valley Road, a distance of 54.01 feet to a point;

Thence South 69° 47' 34" West, crossing the right-of-way of said Clover Valley Road, a distance of 39.63 feet to an iron pin set in the westerly right-of-way line of said Clover Valley Road, the TRUE POINT OF BEGINNING for this description;

Thence with said westerly right-of-way line the following courses and distances:

South 20° 12' 26" East, a distance of 84.85 feet to an iron pin set at a point of curvature to the left;

With the arc of said curve, having a central angle of 09° 31' 03", a radius of 940.00 feet, an arc length of 156.14 feet, a chord bearing of South 25° 06' 44" East and chord distance of 155.96 feet to a permanent marker set; and

South 29° 52' 15" East, a distance of 676.19 feet to an iron pin set at the northeasterly corner of that 42.671 acre tract conveyed to COI New Albany Tech Park Land, LLC by deed of record in Instrument Number 202212160029411;

Thence South 50° 55' 15" West, with the northerly line of said 42.671 acre tract, a distance of 674.30 feet to an iron pin set in the easterly line of that 104.589 acre tract conveyed to Amazon Data Services, Inc. by deed of record in Instrument Number 201911140025165;

Thence North 39° 22' 09" West, with said easterly line, a distance of 329.87 feet to an iron pin set;

Thence North 04° 24' 16" East, with said easterly line and the easterly line of that 10.247 acre tract conveyed to AEP Ohio Transmission Company, Inc., by deed of record in Instrument Number 202209160022655, a distance of 1012.40 feet to an iron pin set in the southerly right-of-way line of said Jug Street Road;

Thence South 86° 36' 02" East, with said southerly right-of-way line, a distance of 194.91 feet to an iron pin set in the westerly right of way line of said Clover Valley Road;

Thence South 53° 46' 18" East, with said westerly right-of-way line, a distance of 34.84 feet to the TRUE POINT OF BEGINNING, containing 12.604 acres of land, more or less, of which 12.069 acres is Parcel Number 095-112056-00.001 and 0.535 acre is Parcel Number 095-112080-02.004.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

CITY OF NEW ALBANY
ZONING PLAT REQUIRED
APPROVED
Siena 1/30/23
Signature Date

[Signature]
ZONING
APPROVED
1/30/23

12.604 ACRES
-2-

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC. Permanent markers set, where indicated, are one inch solid iron pins with aluminum cap stamped EMHT INC.

The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (1986 Adjustment). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected Franklin County Engineering Department monuments Frank 80 and Frank 180. The portion of the centerline of Jug Street Road, having a bearing of North 86°13'09" West, is designated the "basis of bearing" for this survey.

EVANS, MECHWART, HAMBLETON & TILTON, INC.

Matthew A. Kirk 6 JAN 23
Matthew A. Kirk Date
Professional Surveyor No. 7865

MAK: td
12_605 ac 20221182-VS-BNDY-01

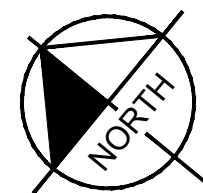




AEP OHIO TRANSMISSION COMPANY, INC.
PID 095-112074-00.010
10.25 AC

CITY OF NEW ALBANY
PID 095-112056-00.007
1.51 AC

C1 NEW ALBANY LLC
PID 095-112236-00.000
93.79 AC















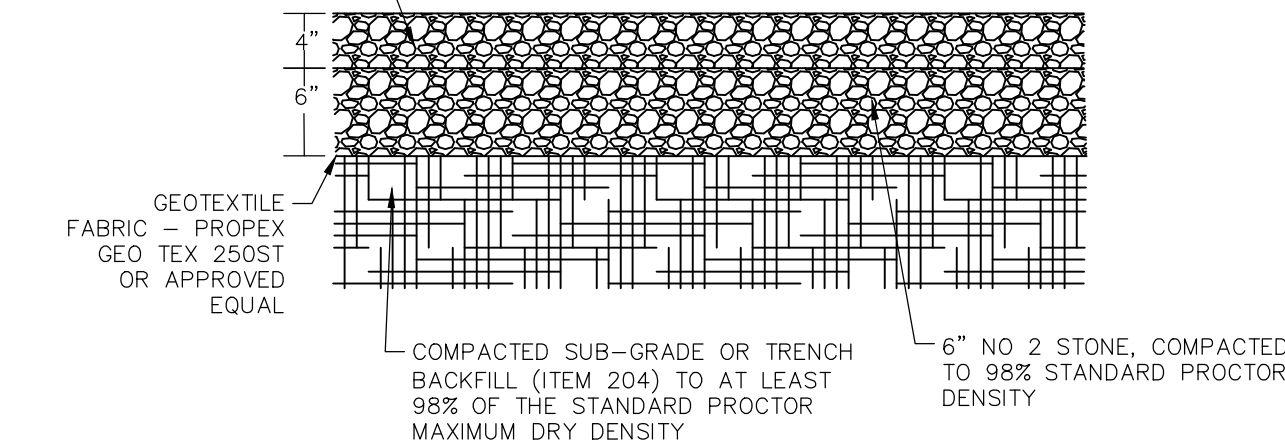
	EXISTING PROPERTY BOUNDARY
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING STORM SEWER
	EXISTING STORM STRUCTURE
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING WATER LINE
	EXISTING UNDERGROUND POWER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING POWER POLE
	EXISTING GAS LINE

Diagram illustrating the proposed haul road layout and associated features:

- LIMITS OF DISTURBANCE**: Indicated by a dashed line at the top.
- GRAVEL (SEE SECTION, THIS SHEET)**: A shaded rectangular area representing the gravel section.
- 8' CHAINLINK FENCE WITH PRIVACY SLATS**: Indicated by a line with 'x' markers.
- 6' BLAZE ORANGE EXCLUSION FENCE**: Indicated by a line with 'x' markers.
- FUTURE HAUL ROAD**: Indicated by a large black arrow pointing right.



N.T.S

NOTE: NO GEOTECHNICAL REPORT WAS PROVIDED FOR THIS DEVELOPMENT. THIS GRAVEL SECTION PROVIDED BY DANIS.



1" = 500'

REVISIONS

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N. HIGH STREET, SUITE 200,
COLUMBUS, OH 43235
PHONE: 614-454-6699
WWW.KIMLEY-HORN.COM

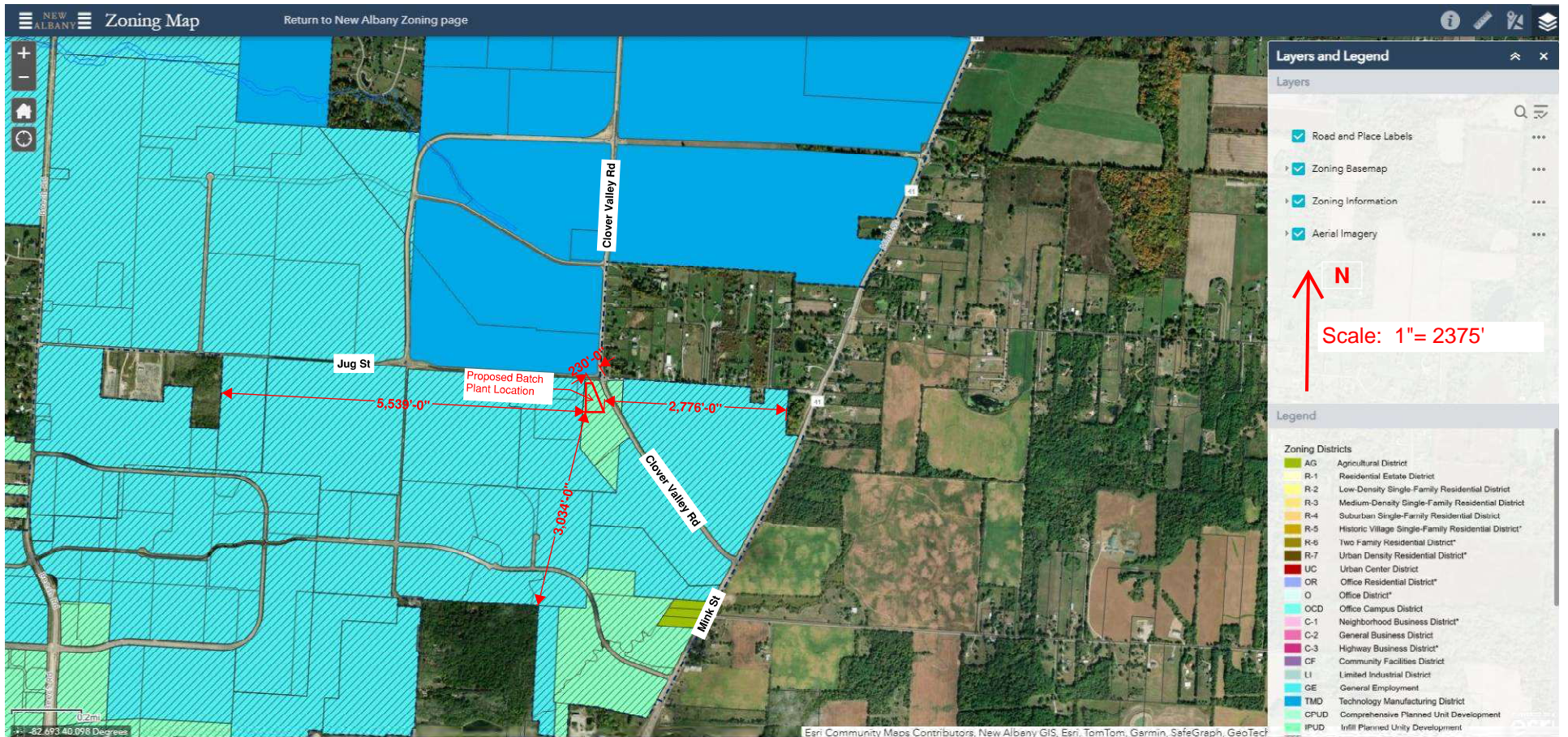
SCALE:	AS NOTED
DESIGNED BY:	RBG
DRAWN BY:	BTB
CHECKED BY:	AJS

TEMPORARY BATCH PLANT IMPROVEMENT

JUG STREET ROAD
CITY OF NEW ALBANY, OH 43031

KHA PROJECT NO
190392003

5





**Planning Commission Staff Report
June 16, 2025 Meeting**

**LOT 14
FINAL DEVELOPMENT PLAN MODIFICATION**

LOCATION: Located generally at the northeast corner of Smith's Mill Road and Forest Drive (PID: 222-000347)
APPLICANT: J. Carter Bean Architect LLC c/o Carter Bean
REQUEST: Final Development Plan Modification
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8a
STRATEGIC PLAN: Retail
APPLICATION: FDM-42-2025

Review based on: Application materials received May 20, 2025

Staff report prepared by Sierra Saumenig, Planner II

I. REQUEST AND BACKGROUND

The final development plan application (FDP-122-2023) was approved at the February 21, 2023, Planning Commission meeting. The applicant has submitted a final development plan modification application to be heard by the Planning Commission.

The proposed changes include:

1. A decrease in two parking spaces from 84 to 82 spaces
2. Addition of a menu board and speaker post
3. Additional landscaping

II. SITE DESCRIPTION & USE

The site is generally located on the northeast corner of Smith's Mill Road and Forest within the Canini Trust Corp site. The site is 2.38 acres and is currently undeveloped but approved for a multi-tenant building. Some of the existing surrounding uses include Home2Suites, Turkey Hill gas station, and Dairy Queen.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*

- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

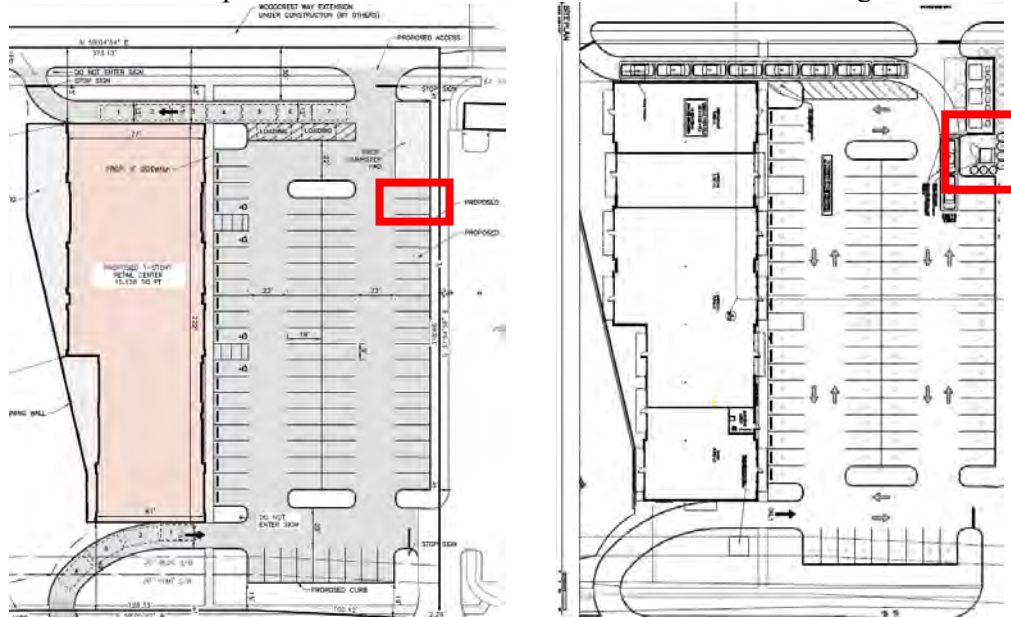
Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan recommends the following development standards for the Neighborhood Retail future land use category:

1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
2. Combined curb cuts and cross access easements are encouraged.
3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
4. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
5. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

1. The site layout generally remains the same as previously approved aside from the decrease of two parking spaces. The reduction of two parking spaces is necessary to accommodate the placement of an AEP transformer as shown in the image below.



Approved

Proposed

2. The applicant proposes to eliminate the originally approved pick-up-only drive-through and convert it into a full-service drive-through, which will include a menu board and speaker post. Although the applicant previously received conditional use approval for both the restaurant's pick-up-only drive-through and the bank drive-through, a new conditional use is required to permit the proposed full-service drive-through. This request is being considered tonight under case CU-43-2025. The conditional use for the bank drive-through would remain in place as previously approved.

B. Access, Loading, Parking

1. The C.O. 1167, retail shopping centers are required per code to have one parking space for each 200 square feet of gross floor area, plus one for each three persons allowed under maximum occupancy in any theater or place of assembly. Based on the information provided, it appears as though the site is required to provide 76 spaces. The applicant proposes to reduce the approved parking by two spaces; however, the revised plan still exceeds the minimum parking requirement with a total of 82 spaces.
2. The required number of drive-through stacking spaces for a restaurant with drive-through must equal 25% of the total required parking spaces for the drive-through tenant space.
 - a) The proposed restaurant with drive-through is 2,880 square feet, which would require 10 stacking spaces and this is what is proposed.

C. Architectural Standards

1. There are no proposed changes to the approved architecture.

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. All previously approved landscaping is intended to remain in place. Due to the removal of two parking spaces and the installation of an AEP transformer, the applicant proposes supplemental landscaping consisting of 5-foot shrubs, designed to match those used for screening the dumpster enclosure.
2. The city architect reviewed the proposed landscaping and had no additional comments.

E. Lighting & Signage

1. No changes to lighting are proposed.
2. The applicant is proposing to install a menu board and speaker post for the full-service drive-through which is permitted per C.O. 1169.11(c)
 - a) The applicant did not provide full details of the menu board. The location of the sign meets requirements including not being visible from the right-of-way and not being placed in front of the building setback line.
 - b) However, it is unclear whether the proposed menu board will comply with the maximum size limit of 32 square feet and the restrictions on flashing, moving, or animated graphics, as well as sign brightness. Staff recommends a condition of approval requiring the menu board to fully comply with all standards outlined in C.O. 1169.11(c), subject to staff review and approval (condition #2).
3. A preliminary sign plan was approved by the Planning Commission for individual tenant spaces as part of the original final development plan application and the final designs are subject to staff approval.

F. City Engineer Comments

1. The city engineer reviewed the application and had no additional comments.

IV. SUMMARY

The proposal is meeting many of the goals of the Engage New Albany Strategic Plan such as providing pedestrian access along roadways into the site and utilizing high quality building materials.

The revised plan still exceeds parking requirements, provides required stacking for the drive-through, and maintains previously approved landscaping, with new shrubs proposed for screening. There are no proposed changes to the previously approved building architecture and lighting.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan modification application FDM-42-2025, subject to the following conditions:

1. All conditions from the approved final development plan application FDP-122-2023 shall be met.
2. The menu board shall fully comply with all standards outlined in C.O. 1169.11(c), subject to staff review and approval

Approximate Site Location



Source: NearMap



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																											
Project Information	<p>Site Address <u>5065 Forest Drive, New Albany, Ohio 43054</u></p> <p>Parcel Numbers <u>222-000347</u></p> <p>Acres <u>2.38</u> # of lots created <u>1 (existing)</u></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Choose Application Type</th><th style="width: 50%;">Description of Request:</th></tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td><td>Amendments to previously-approved Final</td></tr> <tr> <td><input type="checkbox"/> Certificate of Appropriateness</td><td>Development Plan as related to</td></tr> <tr> <td><input type="checkbox"/> Conditional Use</td><td>restaurant drive-thru</td></tr> <tr> <td><input checked="" type="checkbox"/> Development Plan</td><td>at multi-tenant development</td></tr> <tr> <td><input type="checkbox"/> Plat</td><td></td></tr> <tr> <td><input type="checkbox"/> Lot Changes</td><td></td></tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td></tr> <tr> <td><input type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr> <tr> <td><input type="checkbox"/> Zoning Text Modification</td><td></td></tr> <tr> <td></td><td></td></tr> <tr> <td></td><td></td></tr> <tr> <td></td><td></td></tr> </tbody> </table>		Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	Amendments to previously-approved Final	<input type="checkbox"/> Certificate of Appropriateness	Development Plan as related to	<input type="checkbox"/> Conditional Use	restaurant drive-thru	<input checked="" type="checkbox"/> Development Plan	at multi-tenant development	<input type="checkbox"/> Plat		<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification							
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Email	carter@beanarchitects.com	Email	larry@caniniassocltd.com																									
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="width: 60%;"> <p>Signature of Owner </p> <p>Signature of Applicant </p> </div> <div style="width: 35%; text-align: right;"> <p>Date: <u>5/20/25</u></p> <p>Date: <u>5/20/25</u></p> </div> </div>																											

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

May 29, 2025

Ms. Sierra Saumenig
Planner I
City of New Albany
Community Development Department
7815 Walton Parkway
New Albany, Ohio 43054

Re: Canini Smiths Mill Retail – Drive Thru Amendment
5065 Forest Drive
New Albany, Ohio 43054

Dear Ms. Saumenig,

For your reference, as you continue to review our Final Development Plan application, the following is an item-by-item response to Staff comments we've received to date:

Planning:

1. Is Landscaping going in the area where the menu board will be?
Response: Yes. As previously approved, the landscape area where menu board will be is to have Yuki Cherry Blossom Deutzia shrubs, Tortuga Juniper shrubs and a Princeton Sentry Ginkgo tree. We plan to install all previously-approved materials in this island. For reference, our landscape plan has been added to the submission package.
2. Please provide a sheet with details on the menu board.
Response: At this time, we do not have a signed lease, as it is dependent upon the success of this amendment request. If approved, and a lease is signed, we will return to the Planning Commission with proper details for the menu board. Pictures of another location have been provided for general reference.
3. The directional sign on the dumpster is an unregulated sign so I do not need information on that.
Response: Thank you.

Landscaping:

4. Landscape review consultant has no additional comments.
Response: Thank you.

Engineering Comments:

5. Engineering review consultant stated that the comments made in 2023 remain relevant. Meaning overall no comment on the amended plan. Note that these comments assume that the drive-thru on the Forest side is a bank and that the drive on the east frontage side remains a private drive. If there are any changes to those two assumptions they will affect my recommendation.

Response: Those two conditions remain the same: East drive-thru on Forest is a bank; Woodcrest Way remains private.

Thank you for your review and assistance throughout this process. Please let us know if any of our modifications require additional attention and we will continue to address as they arise.

Sincerely,

A handwritten signature in blue ink, consisting of a large, stylized 'C' followed by a horizontal line extending to the right.

J. Carter Bean

ALTA/NSPS LAND TITLE SURVEY
LOT 23, QUARTER TOWNSHIP 1, LOT 24, QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 16
UNITED STATES MILITARY DISTRICT
CITY OF NEW ALBANY, COUNTY OF FRANKLIN, STATE OF OHIO

DESCRIPTION FROM TITLE COMMITMENT No.: 8618

2.607 ACRES

Situated in the State of Ohio, County of Franklin, City of New Albany, located in Lot 23, Quarter Township 1, and Lot 24, Quarter Township 4, Township 2, Range 16, United States Military District, being all of the remainder of that 30.885 acre tract conveyed to Smith Mill Ventures LLC by deed of record in Instrument Number 20060817016292, (all references refer to the records of the Recorder's Office, Franklin County, Ohio) being more particularly described as follows:

Beginning, for reference, at a magnetic nail set at the centerline intersection of Johnstown Road (State Route 62) (variable width), as dedicated in Plat Book 27, Page 56 and Plat Book 34 Page 22, with Smith's Mill Road (90 feet wide), as dedicated in Plat Book 95, Page 91;

Thence South 31° 54' 37" East, with the centerline of said Smith's Mill Road, a distance if 129.78 feet to a point of curvature;

Thence continuing with the centerline of said Smith's Mill Road, with the arc of a curve to the left, having a central angle of 08° 31' 14", a radius of 1533.99 feet, an arc length of 228.12 feet, a chord bearing of South 36° 10' 14" East and a chord distance of 227.91 feet to a point;

Thence North 49° 34' 10" East, across the right-of-way of said Smith's Mill Road, a distance of 45.00 feet to an iron pin set in the northeasterly right-of-way thereof, at a westerly corner of the remainder of said 30.885 acre tract, at a southerly corner of that 1.332 acre tract conveyed to _____, by deed of record in Instrument Number _____, being the TRUE POINT OF BEGINNING;

Thence with a northwesterly line of the remainder of said 30.885 acre tract, the southeasterly line of said 1.332 acre tract, with the arc of a curve to the right, having a central angle of 35° 42' 43", a radius of 36.00 feet, an arc length of 22.44 feet, a chord bearing of North 40° 13' 33" East and chord distance of 22.08 feet to an iron pin set at a point of tangency;

Thence North 58° 04' 54" East, with a northwesterly line of the remainder of said 30.885 acre tract, with the southeasterly line of said 1.332 acre tract, that 1.114 acre tract conveyed to _____, by deed of record in Instrument Number _____, and that 2.564 acre tract conveyed to _____, by deed of record in Instrument Number _____, a distance of 373.42 feet to an iron pin set at the northerly corner of the remainder of said 30.885 acre tract and at the westerly corner of that 2.498 acre tract conveyed to Forest New Albany LP by deed of record in Instrument Number 201612160173729;

Thence South 31° 54' 38" East, with the northeasterly line of the remainder of said 30.885 acre tract and with the southwesterly line of said 2.498 acre tract, a distance of 318.66 feet to an iron pin set in the northerly right-of-way line of Forest Drive (width varies), as dedicated in Plat Book 114, Page 1;

Thence with the northerly right-of-way line of said Forest Drive, with the southeasterly line of the remainder of said 30.885 acre tract, the following courses and distances:

South 58° 05' 22" West, a distance of 2.58 feet to an iron pin set;

South 60° 57' 06" West, a distance of 100.12 feet to an iron pin set;

South 58° 05' 22" West, a distance of 128.33 feet to an iron pin set at a point of curvature;

with the arc of a curve to the left, having a central angle of 12° 41' 32", a radius of 202.91 feet, an arc length of 44.95 feet, a chord bearing of South 51° 44' 36" West and chord distance of 44.86 feet to a point of reverse curvature; and

with the arc of a curve to the right, having a central angle of 82° 47' 06", a radius of 40.00 feet, an arc length of 57.79 feet, a chord bearing of South 86° 47' 23" West and chord distance of 52.90 feet to an iron pin set on the arc of a curve in the northeasterly right-of-way line of said Smith's Mill Road;

thence with the northeasterly right-of-way line of said Smith's Mill Road, the southwesterly line of the remainder of said 30.885 acre tract, with the arc of a curve to the right, having a central angle of 11° 23' 14", a radius of 1489.00 feet, an arc length of 295.93 feet, a chord bearing of North 46° 07' 28" West and chord distance of 295.44 feet to the TRUE POINT OF BEGINNING, containing 2.607 acres, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

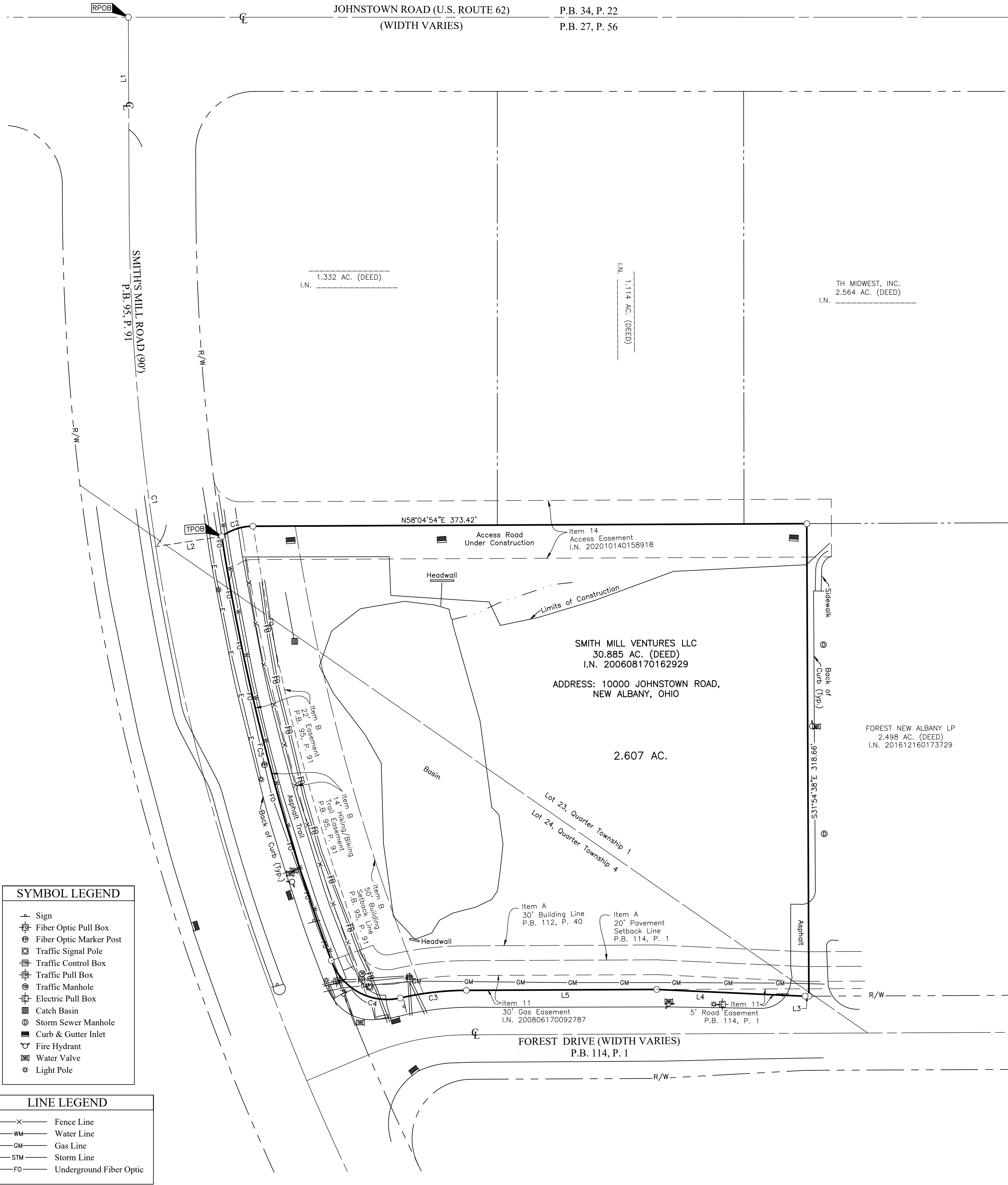
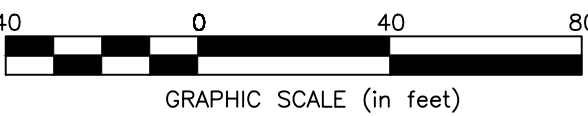
Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The bearings shown hereon are based on North 58°05'22" East for the southeasterly right-of-way line of Forest Drive, of record in Plat Book 114, Page 1, Recorder's Office, Franklin County, Ohio.

This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.

- Iron Pin Set
- Iron Pin Found
- Stone Found
- P.K. Nail Found
- Monument Found
- Magnetic Nail Set
- ▲ Magnetic Nail Found
- ▲ Railroad Spike Found

Iron Pins Set are 13/16" I.D. iron pipes 30" long with cap inscribed EMHT INC.



SYMBOL LEGEND	
—x—	Sign
—F—	Fiber Optic Pull Box
—M—	Fiber Optic Marker Post
—S—	Traffic Signal Pole
—C—	Traffic Control Box
—P—	Traffic Pull Box
—M—	Traffic Manhole
—E—	Electric Pull Box
—B—	Catch Basin
—S—	Storm Sewer Manhole
—C—	Curb & Gutter Inlet
—F—	Fire Hydrant
—W—	Water Valve
—L—	Light Pole

LINE LEGEND	
—x—	Fence Line
—WM—	Water Line
—GM—	Gas Line
—STM—	Storm Line
—FO—	Underground Fiber Optic

Schedule B Items from Title Commitment No. 8618 issued by Stewart Title Guaranty Company with an effective date of November 3, 2023 at 8:00 A.M.

Items 1-9 NOT SURVEY RELATED ITEMS.

Item 10 Building lines, easements and restrictions shown on the recorded plat/map of Hugh Subdivision as Plat Book 27, Page 56; as partially vacated in Miscellaneous Volume 169, Page 215. THE SUBJECT TRACT IS NOT LOCATED IN THE AREA DESCRIBED.

Item 11 Building lines, easements and restrictions shown on the recorded plat/map of Forest Drive Dedication and Easements Section 2 Phase 1 as Plat Book 112, Page 40; as modified by the Affidavit in Aid of Title of record in Instrument 201703030029794. THE SUBJECT TRACT IS NOT LOCATED IN THE AREA DESCRIBED.

Item 12 Declaration of Covenants and Restrictions for The New Albany Community Authority of record in Official Record 16999, Page C04; with the Ninth Supplemental Declaration of record in Official Record 21466, Page C20, as re-recorded in Official Record 21693, Page H19; with the Acceptance of Duties of record in Official Record 23377, Page F07; with the Designation of Successor Declarant of record in Instrument 1998102000268024. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED.

Item 13 Declaration of Covenants, Conditions, Restrictions and Easements for The New Albany Business Park of record in Instrument 200007030130348, as re-recorded in Instrument 200101100006699; as amended in Instrument 200308180260678; with the Twelfth Supplemental Declaration of record in Instrument 200609060177774. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED.

Item 14 Declaration of Covenants, Conditions, Restrictions and Easements for Smith Mill Ventures, LLC of record in Instrument 200801180009215; with the First Supplemental Declaration of record in Instrument 201303190045760, as corrected in Instrument 201501280011279; with the Second Supplemental Declaration of record in Instrument 201412050162233; with the Third Supplemental Declaration of record in Instrument 201703200037811; with the Fourth Supplemental Declaration of record in Instrument 202010140158918. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED. THE ACCESS EASEMENT IS LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON.

Item 15 Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 1755, Page 190. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; THERE IS NO POLE LINE WITHIN THE LIMITS OF THE SUBJECT TRACT.

Item 16 Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 1785, Page 163. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; THERE IS NO POLE LINE WITHIN THE LIMITS OF THE SUBJECT TRACT.

Item 17 Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 2030, Page 172. THE EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 18 Memorandum of Agreement, including terms and conditions thereof as recorded in Instrument 199811170294968. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED.

Item 19 Development Agreement, including terms and conditions thereof as recorded in Instrument 199908090202331; with the First Amendment of record in Instrument 201804110047519. THE SUBJECT TRACT IS NOT LOCATED IN THE AREA DESCRIBED.

Item 20 Deed of Easement granted to the Village of New Albany, as more fully set forth in the document recorded as Instrument 200711130196074. THE EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 21 Easement granted to Columbia Gas of Ohio, Inc., as more fully set forth in the document recorded as Instrument 200806100088936. THE GAS LINE EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 22 Easement & Right of Way granted to Ohio Power, as more fully set forth in the document recorded as Instrument 201208060113180. THE ELECTRIC EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

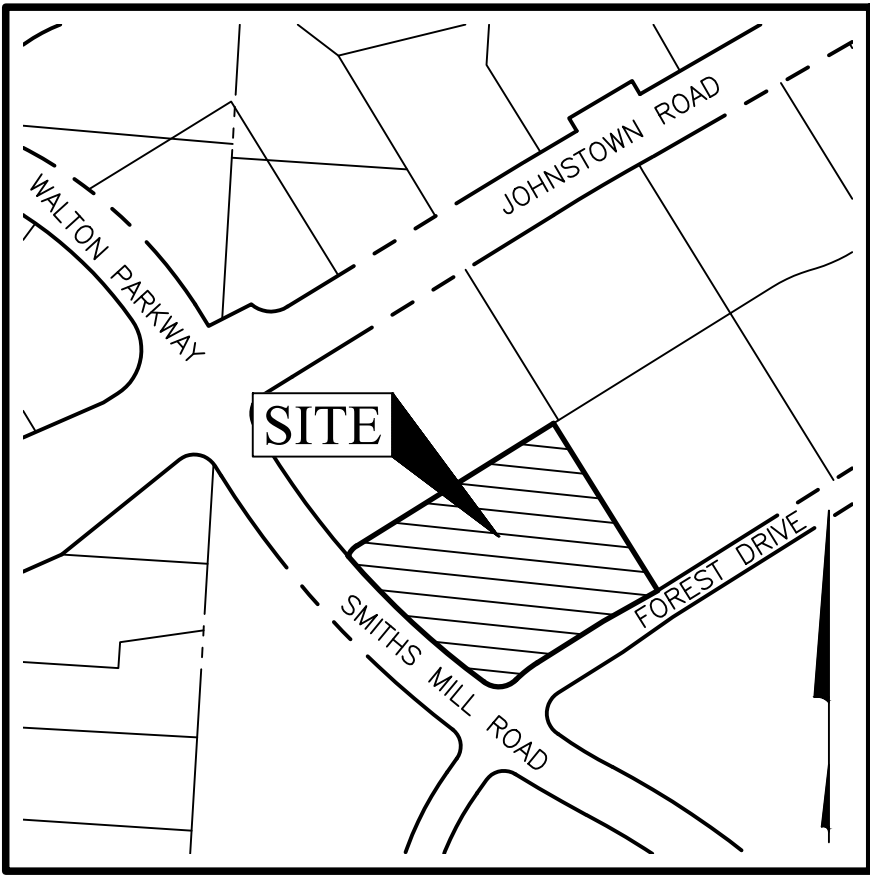
Item 23 Declaration of Use Restriction of record in Instrument 201703200037814. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED AS "RESTRICTED PROPERTY".

Items 24-27 NOT SURVEY RELATED ITEMS.

ITEMS NOT INCLUDED IN TITLE COMMITMENT:

Item A Building lines, easements and restrictions shown on the recorded plat/map of Forest Drive Dedication and Easements Section 2 Phase 2 as Plat Book 114, Page 1. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; SETBACK LINES AND EASEMENTS ARE LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON.

Item A Building lines, easements and restrictions shown on the recorded plat/map of Smith's Mill road Dedication and Easements as Plat Book 95, Page 91. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; SETBACK LINES AND EASEMENTS ARE LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON.



LOCATION MAP AND BACKGROUND DRAWING
NOT TO SCALE

LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S31°54'37"E	129.78'	L4	S60°57'06"W	100.12'
L2	N49°34'10"E	45.00'	L5	S58°05'22"W	128.33'
L3	S58°05'22"W	2.58'			

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CH. BEARING	CH. DIST.
C1	8°31'14"	1533.99'	228.12'	S36°10'14"E	227.91'
C2	35°42'43"	36.00'	22.44'	N40°13'33"E	22.08'
C3	12°41'32"	202.91'	44.95'	S51°44'36"W	44.86'
C4	82°47'06"	40.00'	57.79'	S86°47'23"W	52.90'
C5	11°23'14"	1489.00'	295.93'	N46°07'28"W	295.44'

BASIS OF BEARINGS:

The bearings shown hereon are based on North 58°05'22" East for the southeasterly right-of-way line of Forest Drive, of record in Plat Book 114, Page 1, Recorder's Office, Franklin County, Ohio.

FEMA NOTE:

According to the Federal Emergency Management Agency's Flood Insurance Rate Map No. 39049C0208K (dated June 17, 2008), the subject tract shown hereon lies within Zone X (areas determined to be outside of the 0.2% annual chance floodplain). Any floodplain lines shown are georeferenced and are not based on actual field elevations.

UTILITY STATEMENT:

A Utility Marking and Plans request was submitted to OHIO811 on November 11, 2023. The utilities shown hereon have been located from field survey information. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities shown are in the exact location indicated, although she does certify that they are located as accurately as possible.

SURVEY NOTE:

This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.

TABLE A OPTIONAL ITEM NOTES:

- No buildings were observed on the subject tract at the time the fieldwork was conducted.
- No parking striping was observed on the subject tract at the time the fieldwork was conducted.

CERTIFICATION: Commitment No. 8618

To: Smith Mill Center LLC, Smith Mill Ventures, LLC, Stewart Title Guaranty Company and RET Solutions, LLC:

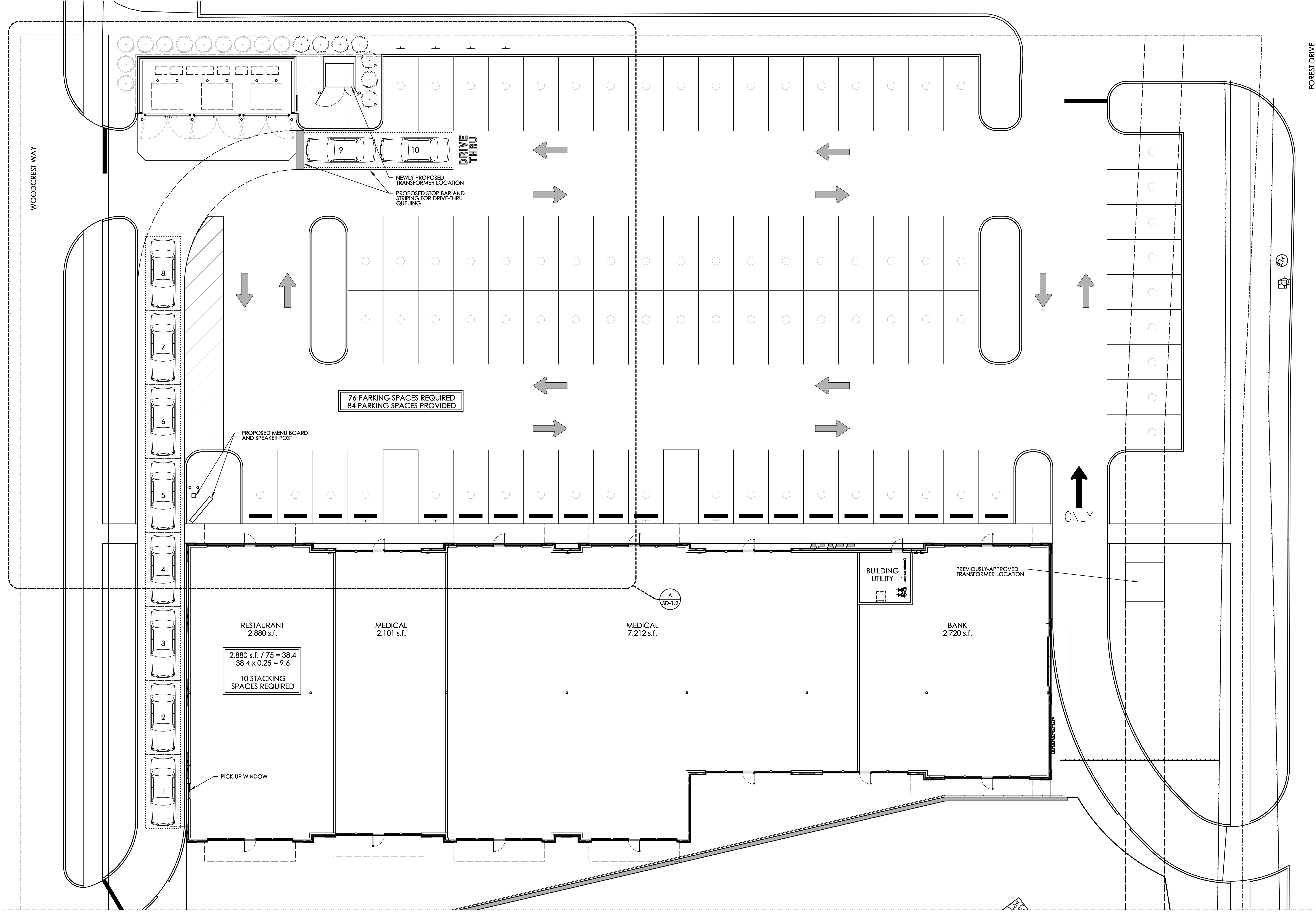
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys", jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9 and 13 of Table A thereof. The fieldwork was completed on November 27, 2023.

DRAFT

By Heather L. King
Professional Surveyor No. 8307
hking@emht.com

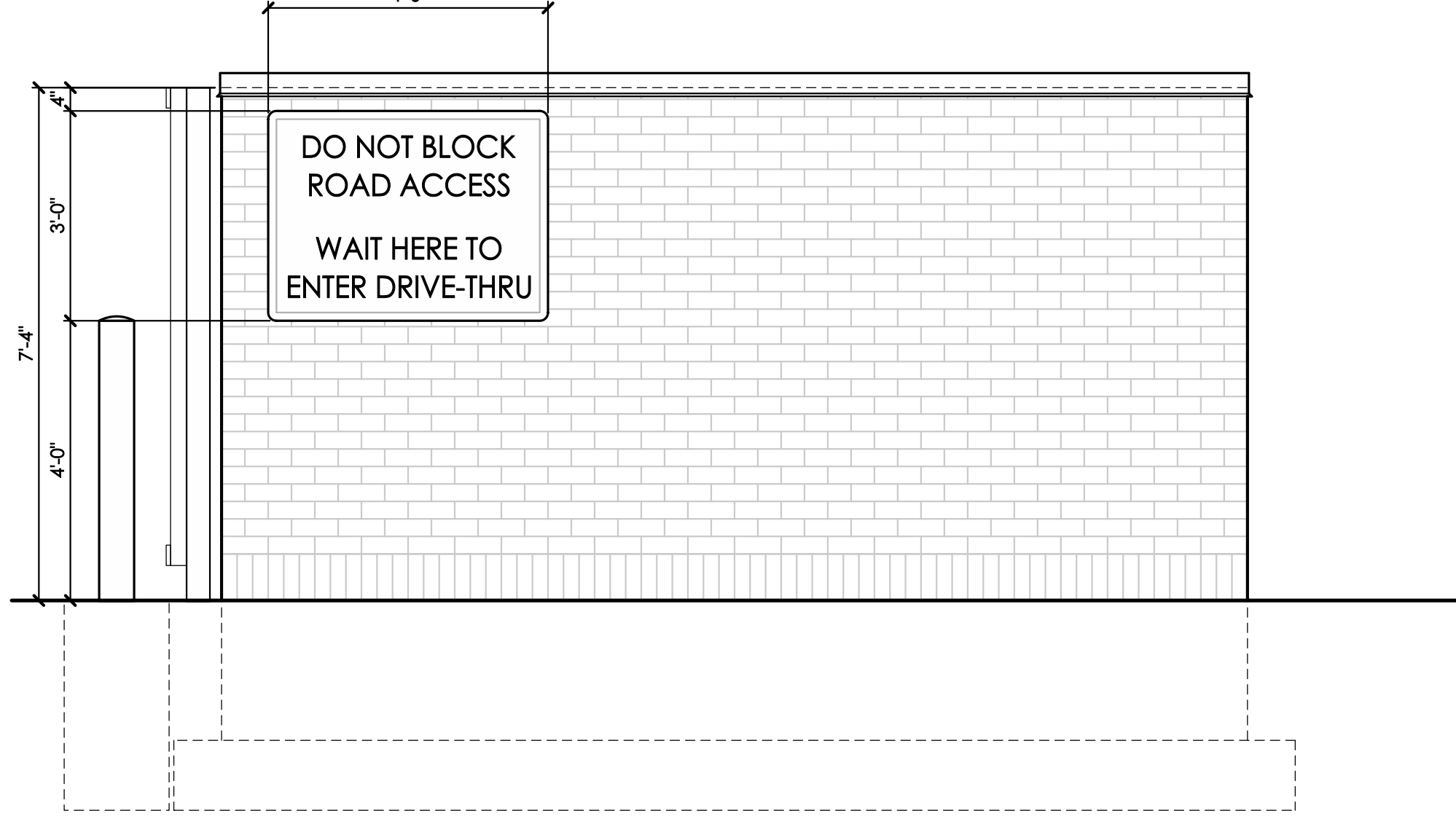
Date _____

EMHT			Date: December 8, 2023
Evans, Muehlfeld, Hamilton & Tilson, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43254 Phone: 614.775.4200 Tel. Fax: 614.775.3446 emht.com			Scale: 1" = 40'
			Job No: 2023-0968
			Sheet: 1 of 1
REVISIONS			
MARK	DATE	DESCRIPTION	





A AERIAL PHOTO
SCALE: N.T.S.



B DUMPSTER ENCLOSURE & SIGN ELEVATION
SCALE: 1/2" = 1'-0"



C MENU BOARD & SPEAKER
SCALE: N.T.S.



PERSPECTIVE ENTERING DRIVE-THRU QUEUE

BEAN

J. CARTER BEAN ARCHITECT
4400 NORTH HIGH STREET
SUITE 401 • COLUMBUS
OHIO • 43214
TEL 614 262 5111
FAX 614 262 2529

STATE OF OHIO

J. CARTER BEAN
1015234

REGISTERED ARCHITECT

J. CARTER BEAN, LICENSE #1015234
EXPIRATION DATE: 12/31/2025
COPYRIGHT 2024
ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF
J. CARTER BEAN ARCHITECT
AND MAY NOT BE USED, REPRODUCED OR ALTERED
WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

SMITHS MILL RETAIL CENTER

5065 FOREST DRIVE
NEW ALBANY, OHIO 43054

FOR
CANINI & ASSOCIATES LTD
P.O. Box 887, New Albany, Ohio 43054

DRAWING STATUS	
STATUS	DATE
PLANNING COMMISSION	MAY 21, 2025

DRAWING TITLE

AERIAL PHOTO
AND DETAILS

DRAWING NUMBER

SD-2.1

BEAN #000000.00



LANDSCAPE ZONING CODE REQUIREMENTS

171.06(02)(7) - LANDSCAPING SCREENING

Between twenty thousand (20,000) and fifty thousand (50,000) square feet: A minimum of one tree for every five thousand (5,000) square feet of ground coverage and a total tree planting equal to ten (10) inches plus one foot (1') in tree trunk size for every two thousand (2,000) square feet over twenty thousand (20,000) feet of ground coverage.

Parking: 32,843 sq ft. Building: 15,458 sq ft. 48,301 sq ft coverage: 5000 + 9 * 6 trees, 17' cal required
10 trees @ 2' and provided, 20 total caliper inches covered

171.06(04)(2)(b) - PARKING LOT LANDSCAPING

For each ten hundred (100) square feet, or fraction thereof, of parking area, a minimum total of five (5) square feet of landscaped area shall be provided. Zoning text @ 32,843 sq.

Parking: 12,641/100 = 328.43 sq + 1642 sq ft required or 32843 sq .08 = 2627 required
2700 sq ft landscaped provided

Parking spaces should contain a minimum of one deciduous canopy tree for every ten (10) parking spaces.

45 spaces @ 10 = 9 trees required
9 provided

Zoning SA(04)(4)(a) - PARKING LOT SCREENING

Screening trees for rights of way
Forest Drive and Woodcrest Way screening with Sea Green Juniper hedges spaced 4' o.c. Growth to 4' +

STREET TREE REQUIREMENT

Street trees along Forest Drive: one tree per 30' minimum 30' o.c., 30" spm, minimum 2.5" cal
10 trees @ 2.5" cal provided
Street trees along Woodcrest Way per FDR-69-2014, Red Sunset Maples @ 30' o.c.
10 Maples @ 2.5" cal provided

Zoning SA(04)(5) - BUFFER LANDSCAPE

Eight deciduous or ornamental trees per 100 linear feet in setback areas along Smith's Mill Road and Forest Drive
600 total linear feet 100' x 8 = 800' trees required
48 trees provided

Zoning SA(04)(6)(7a) - GENERAL REQUIREMENTS

Site Landscaping: Tree plantings shall be required within site parking and service areas. Trees shall be a minimum of 1 1/2 inches in caliper at installation.
Minimum tree size shall be not less than 1 1/2" caliper for street and/or shade trees and 1 1/2" caliper for ornamental trees.

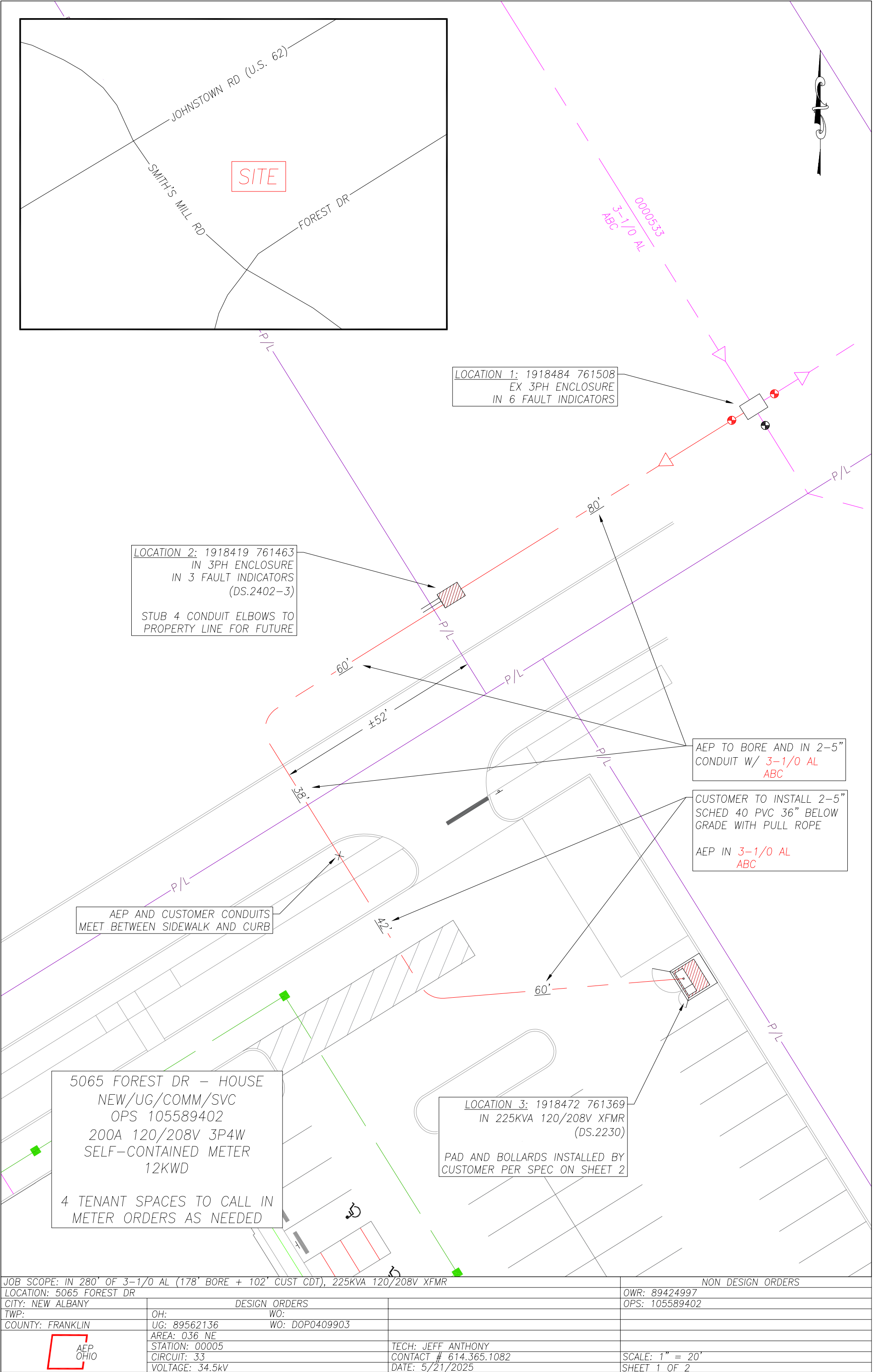
All trees planted @ 2.5" caliper for site parking, service, street and buffer shade trees, 1.5" caliper for buffer trees

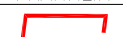
**CANINI & ASSOCIATES, LTD.
SMITHS MILL LOT #14
CITY OF NEW ALBANY
FRANKLIN COUNTY, OHIO**

LANDSCAPE PLAN

DRAWING NO.:

SHEET



JOB SCOPE: IN 280' OF 3-1/0 AL (178' BORE + 102' CUST CDT), 225KVA 120/208V XFMR			NON DESIGN ORDERS	
LOCATION: 5065 FOREST DR			OWR: 89424997	
CITY: NEW ALBANY	DESIGN ORDERS		OPS: 105589402	
TWP:	OH:	WO:		
COUNTY: FRANKLIN	UG: 89562136	WO: DOP0409903		
	AREA: 036 NE			
	STATION: 00005		TECH: JEFF ANTHONY	
	CIRCUIT: 33		CONTACT # 614.365.1082	
	VOLTAGE: 34.5kv		SCALE: 1" = 20'	
			DATE: 5/21/2025	
			SHEET 1 OF 2	

INSPECTION PROCEDURE NOTES:

AFTER THE TRANSFORMER PAD IS FRAMED AND THE DUCT IS IN PLACE, THE FOLLOWING PROCEDURES MUST BE FOLLOWED BEFORE CONCRETE IS POURED:

1. CONTACT JEFF ANTHONY AT 614.365.1082 FOR A FIELD REVIEW OF INSTALLATION. ALLOW AT LEAST 24 HOURS TO SCHEDULE REVIEW
2. AEP REPRESENTATIVE WILL MEET CONTRACTOR AT JOB SITE AND REVIEW INSTALLATION TO ASSURE AEP SPECIFICATIONS ARE MET.
3. WHEN INSTALLATION MEETS AEP SPECIFICATIONS, THE ENGINEERING REPRESENTATIVE WILL SIGN A CONSTRUCTION DRAWING AND LEAVE A COPY WITH THE CONTRACTOR.

TERMS ACCEPTED AND APPROVED FOR CUSTOMER:

CUSTOMER

BY

CUSTOMER'S REPRESENTATIVE

DATE

INSTALLATION APPROVED FOR POURING CONCRETE AND COMPLETING PAD:

ENGINEERING REPRESENTATIVE - AMERICAN ELECTRIC POWER

DATE

REQUIREMENTS FOR THREE PHASE
PADMOUNT TRANSFORMER FOUNDATIONS

FAILURE TO FOLLOW ALL CONDITIONS ON THIS SHEET MAY
RESULT IN A DELAY OF SERVICE - PLEASE READ CAREFULLY

- A. THE NUMBER OF PRIMARY CONDUITS TO BE DETERMINED BY AEP ENGINEERING. SEE DETAIL "A" FOR PLACEMENT.
- B. THE NUMBER AND PLACEMENT OF SERVICE/METERING CONDUITS AND SIZE OF SERVICE CABLES TO BE DETERMINED BY CUSTOMER'S ENGINEER AND APPROVED BY AEP ENGINEERING.
- C. AFTER PRIMARY AND SECONDARY CONDUITS ARE IN PLACE, THE AREA FOR THE TRANSFORMER FOUNDATION MUST BE THOROUGHLY COMPACTED BEFORE PLACING CRUSHED STONE OR GRAVEL AND BEFORE POURING FOUNDATION
- D. CONCRETE TO BE CITY OF COLUMBUS OR STATE OF OHIO DEPARTMENT OF TRANSPORTATION CLASS "C" WITH 6% +/- 8% AIR ENTRAPMENT, 2"-4" SLUMP, AND 3500 PSI MINIMUM. PAD TO BE CONSTRUCTED OF A MINIMUM 3 INCH COVER OVER ALL REBAR. WIRE MESH WITH A MINIMUM CROSS-SECTIONAL AREA OF 0.176 SQUARE INCHES PER FOOT OF PAD WIDTH MAY BE USED IN PLACE OF REBAR.
- E. THE TYPE, THICKNESS, AND REINFORCING OF THE FOUNDATION IS A MINIMUM DESIGN, ACTUAL FOUNDATION FURNISHED MAY EXCEED THESE REQUIREMENTS, BUT MUST BE APPROVED BY AEP ENGINEERING. PRIMARY AND SECONDARY MUST COME THROUGH THE FOUNDATION IN DESIGNATED AREAS.
- F. THE FOUNDATION SHALL BE LOCATED AWAY FROM WINDOWS, DOORS, FIRE ESCAPES, ENTRANCES, AND VENTILATING DUCTS. THE LOCATION MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR OIL INSULATED TRANSFORMERS INSTALLED OUTDOORS.
- G. THE FOUNDATION SHALL BE PLACED 3'-0" HORIZONTALLY FROM BUILDING OR STRUCTURE. SINGLE-STORY BUILDINGS WITH ROOF OVERHANGS REQUIRE THAT THE FOUNDATION BE PLACED NO CLOSER THAN 3'-0" HORIZONTALLY OUT FROM THE EDGE OF THE OVERHANG. A 10' UNOBSTRUCTED AREA IN FRONT OF THE TRANSFORMER IS REQUIRED FOR SWITCHING.
- H. FINAL PAD INSTALLATION SHALL BE LEVEL AS MEASURED BY CARPENTER'S LEVEL FOR ALL DIRECTIONS.
- I. THE CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ANY INSPECTIONS OR APPROVALS NECESSARY TO ENSURE COMPLIANCE WITH ALL APPLICABLE BUILDING OR FIRE CODES, AND LOCAL ORDINANCES AND LAWS.

NOTES

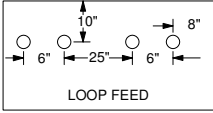
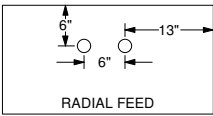
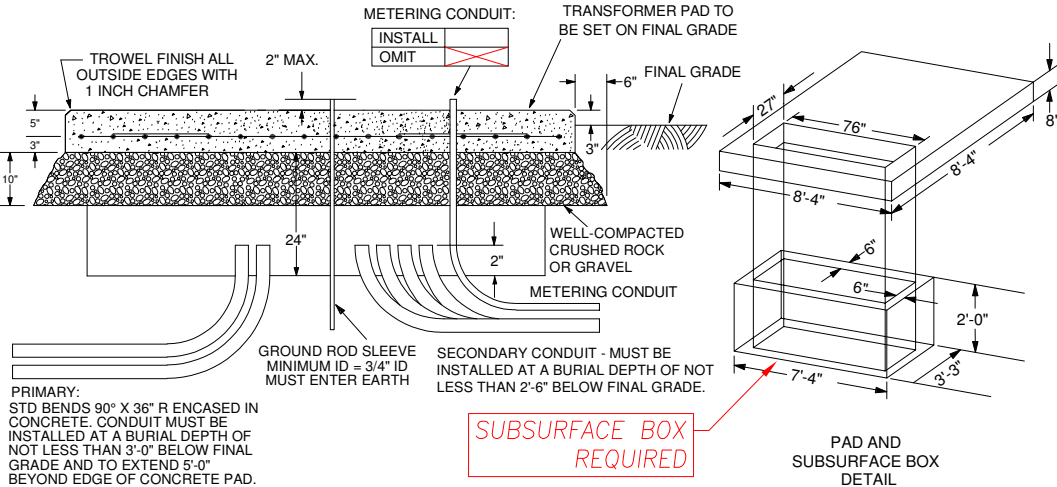
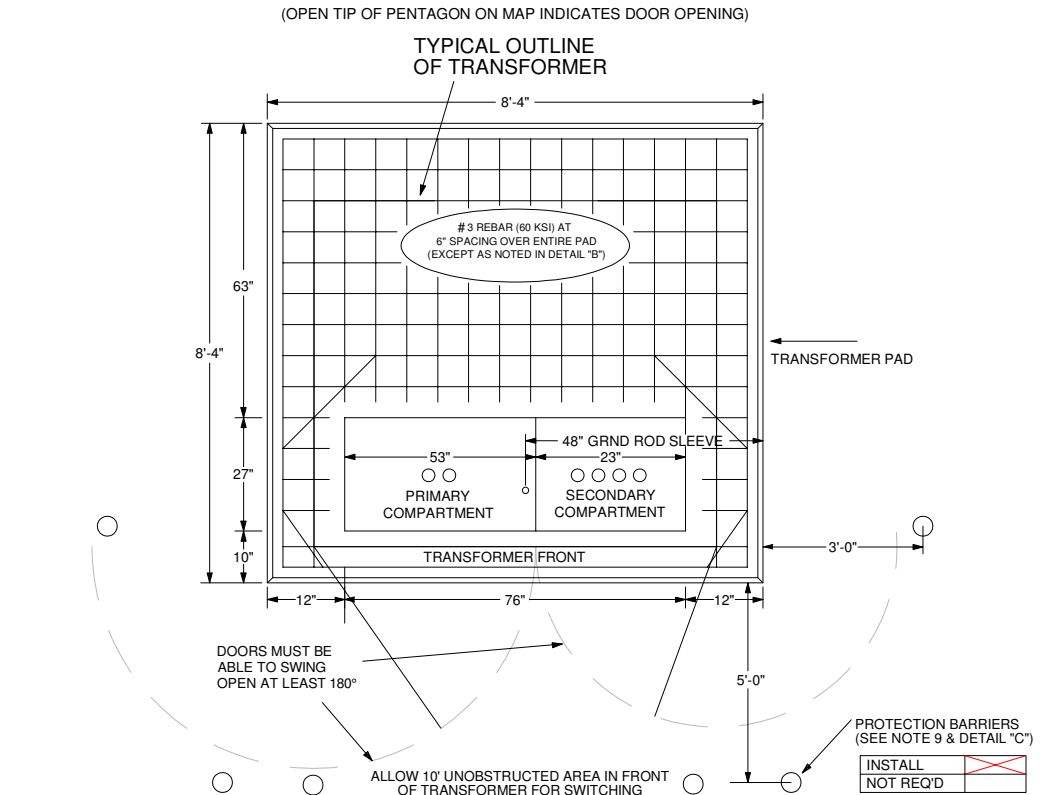
1. CUSTOMER'S PORTION SUBJECT TO INSPECTION BY LOCAL GOVERNMENT, BUILDING AUTHORITIES AND AEP PRIOR TO ACTIVATING TRANSFORMER.
2. METER LOCATION AND ROUTE OF METERING CONDUIT SHALL BE APPROVED BY AEP PRIOR TO INSTALLATION.
3. THE DESIGN OF CUSTOMER OWNED CABLES, INCLUDING SIZE AND NUMBER ENTERING OR LEAVING COMPANY EQUIPMENT MUST BE APPROVED BY AEP PRIOR TO INSTALLATION. AEP IS TO BE NOTIFIED OF ANY CHANGES.

SIZE: 4-500 CU NUMBER: 4 SETS APPROVED: JA

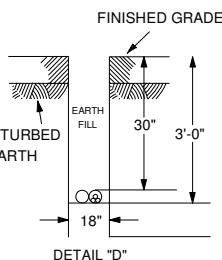
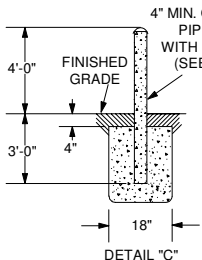
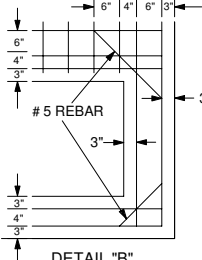
4. COMPRESSION TYPE CONNECTORS SHOULD BE USED WHEN ATTACHING ANY CABLE TO COMPANY EQUIPMENT. CONNECTORS MUST HAVE NEMA STANDARD DRILLING. USE 2-HOLE CONNECTORS FOR 350 MCM AND LARGER CABLES. CONNECTORS MUST BE COMPATIBLE WITH THE METAL USED IN THE CABLE. NO DOUBLE STACKING LUGS PERMITTED. LUG WIDTH MUST ALLOW LUGS TO BE INSTALLED SIDE BY SIDE WITHOUT INTERFERING WITH THE NEXT ROW OF HOLES ON THE SPADES. THE OWNER OF EACH CABLE SHALL FURNISH AND INSTALL CONNECTORS ON EACH OF THEIR CABLES. CABLES MUST BE INSTALLED AND TERMINATED TO PLACE A MIN-IMUM STRAIN ON THE POINT OF ATTACHMENT TO THE EQUIPMENT. THE OWNER OF THE CABLE SHALL ATTACH THE CABLE TO THE EQUIPMENT USING BOLTS PROVIDED BY THE EQUIPMENT OWNER. THE BOLTS MUST BE INSTALLED FINGER TIGHT ONLY. THE OWNER OF THE EQUIPMENT SHALL SECURELY TIGHTEN THE BOLTS.
5. PASSAGE TO PROPOSED TRANSFORMER LOCATION MUST BE ACCESSIBLE BY TRUCK REQUIRING 12' HIGH BY 10' WIDE OPENING IN WALLS AND FENCES AND PASSABLE REGARDLESS OF WEATHER OR SOIL CONDITIONS.
6. TRANSFORMER COMPARTMENT SHALL BE ACCESSIBLE TO AEP ONLY.
7. UNDERGROUND CABLE ROUTE BETWEEN TERMINAL POLE AND TRANSFORMER PAD TO BE WITHIN 6" OF FINAL GRADE.
8. SECONDARY ENCLOSURE IS REQUIRED WHEN SPECIFIED BY AEP. AEP WILL FURNISH, INSTALL AND MAINTAIN SECONDARY ENCLOSURE WHEN REQUIRED. SECONDARY ENCLOSURE TO BE ACCESSIBLE TO AEP ONLY. PAD FOR SECONDARY ENCLOSURE (INCLUDING CONDUITS) TO BE FURNISHED BY CUSTOMER AND CONST- RUCTED IN ACCORDANCE WITH AEP SPECIFICATIONS AND STANDARDS. CUSTOMER TO PERMANENTLY MARK CONDUITS ROUTED TO TRANSFORMER AND TO LOAD.
9. PROTECTION BARRIER - 4" MIN. STEEL POSTS FILLED WITH CONCRETE AND SET IN CONCRETE, MINIMUM HEIGHT 4 FEET, MUST BE PROVIDED. LOCATIONS SHALL BE SPECIFIED BY THE AEP ENGINEER TO INSURE ACCESS TO TRANSFORMER. BARRIERS SHALL BE PLACED SO THAT BOTH TRANSFORMER DOORS CAN FREELY SWING OPEN AT LEAST 180°. NO NEW BARRIERS SHALL BE PLACED OR EXISTING ONES MOVED AFTER TRANSFORMER INSTALLATION. ANY EXCEPTIONS TO THIS RULE MUST BE APPROVED BY THE AEP ENGINEER IN WRITING, AFTER CONSULTING THE APPLICABLE LINE DEPARTMENT.
- 10.COMBUSTIBLE MATERIALS, COMBUSTIBLE BUILDINGS OR PART OF BUILDINGS, FIRE ESCAPES, AND DOOR AND WINDOW OPENINGS SHALL BE SAFEGUARDED FROM TRANSFORMER FIRES BY APPROVED SEPARATIONS, FIRE WALLS OR ENCLOSURES.
- 11.METERING CONDUIT 2" GALVANIZED STEEL OR RIGID CONDUIT OF SCH 40 OR DB. LESS THAN 25' IN LENGTH.
- 12.DUCTS THAT WILL HAVE PRIMARY CABLE ARE TO BE INSTALLED SIDE BY SIDE TOWARDS THE FRONT OF THE PAD. PRIMARY DUCTS MAY EXTEND IN ANY DIRECTION AS REQUIRED TO TERMINAL POLE. DO NOT INSTALL MORE THAN 2 ELBOWS TO A TERMINAL POLE.

RESPONSIBILITY MATRIX

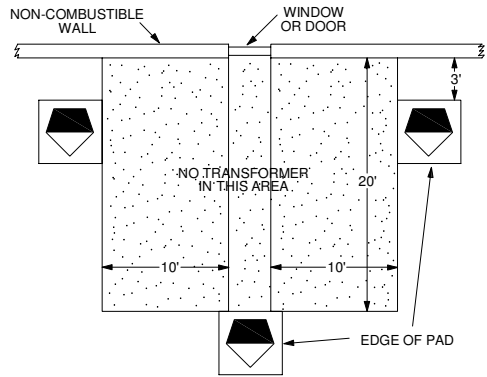
ITEMS TO BE FURNISHED & INSTALLED X- INDICATES RESPONSIBILITY TO FURNISH OR INSTALL	AEP TO FURNISH	AEP TO INSTALL	CUSTOMER TO FURNISH	CUSTOMER TO INSTALL
EASEMENT OR RIGHT OF WAY				
TERMINAL POLE AND FRAMING				
PRIMARY RISER				
TRENCHING (SEE DETAIL "D")				
PRIMARY CONDUIT				
SECONDARY CONDUIT				
SECONDARY CONDUCTORS & LUGS (SEE NOTE 4)				
METERING CONDUIT FROM TRANSFORMER TO METER TRIM				
PULLING ROPE IN CONDUITS				
SLEEVE FOR GROUNDING ROD				
CONCRETE PAD AND SUBSURFACE PADBOX				
PROTECTION BARRIER (SEE DETAIL "C")				
TRANSFORMER				
SECURITY PADLOCK				
GROUNDING OF TRANSFORMER				
PRIMARY CABLE				
LOADBREAK CONNECTORS (ELBOWS)				
TERMINATORS				
METER				
METER TRIM				
METERING TRANSFORMERS APPROVED BY METER DEPT. DATE				
METER WIRE FROM METERING TRANSFORMERS TO METER				



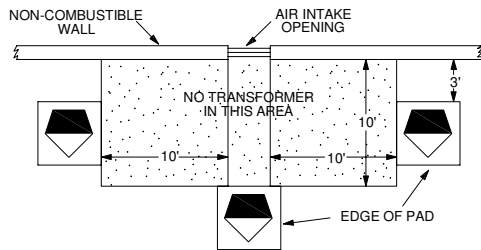
DETAIL "A" PRIMARY COMPARTMENT



MAINTAIN 36" FROM PARALLEL UTILITIES AND 12" SEPARATION AT ALL UTILITY CROSSINGS



TRANSFORMER SHOULD NOT BE LOCATED WITHIN A ZONE EXTENDING 20' OUTWARD AND 10' TO EITHER SIDE OF A BUILDING DOOR OR WINDOW.



TRANSFORMER SHOULD NOT BE LOCATED WITHIN A ZONE EXTENDING 10' OUTWARD AND 10' TO EITHER SIDE OF AN AIR INTAKE OPENING. IF THE AIR INTAKE IS ABOVE THE TRANSFORMER, THERE MUST BE A 25' VERTICAL DISTANCE FROM THE OPENING TO THE TRANSFORMER

TRANSFORMER SIZE 225kVA PRIMARY VOLTAGE 34.5 kV TOTAL CONNECTED LOAD kW
SECONDARY VOLTAGE 120/208 V ESTIMATED DEMAND 200kW

JOB SCOPE: IN 280' OF 3-1/0 AL (178' BORE + 102' CUST CDT), 225kVA 120/208V XFMR

LOCATION: 5065 FOREST DR

CITY: NEW ALBANY

TWP:

COUNTY: FRANKLIN

DESIGN ORDERS

OH:

WO:

UG: 89562136

WO: DOP0409903

AREA: 036 NE

STATION: 00005

CIRCUIT: 33

VOLTAGE: 34.5kV

TECH: JEFF ANTHONY

CONTACT # 614.365.1082

DATE: 5/21/2025

NON DESIGN ORDERS

OWR: 89424997

OPS: 105589402

SHEET 2 OF 2



**Planning Commission Staff Report
June 16, 2025 Meeting**

**SMITH'S MILL LOT 14 DRIVE-THROUGH
CONDITIONAL USE**

LOCATION: Located generally at the northeast corner of Smith's Mill Road and Forest Drive (PID: 222-000347)
APPLICANT: J. Carter Bean Architect LLC, c/o Carter Bean
REQUEST: Conditional Use
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8a
STRATEGIC PLAN: Retail
APPLICATION: CU-43-2025

Review based on: Application materials received May 20, 2025

Staff report prepared by Sierra Saumenig, Planner II

I. REQUEST AND BACKGROUND

The applicant requests approval of a conditional use to allow for a Graeter's Ice Cream full-service drive-through within a multi-tenant building generally located at the northeast corner of Smith's Mill Road and Forest Drive, within the Canini Trust Corp. The Canini Trust Corp (I-PUD) zoning text allows the C-2 General Business (Commercial) District which permits restaurant and bank uses. Drive-thru facilities associated with a permitted use are required to be reviewed and approved by the Planning Commission.

This request is in conjunction with a final development plan modification (FDM-42-2025).

The Planning Commission previously approved a conditional use for this site (CU-124-2023) to allow two drive-throughs: one for a proposed restaurant (pickup only) and one for a bank. The bank drive-through remains unchanged, and the current conditional use request applies solely to the restaurant space as the applicant intends to utilize a full-service drive-through in lieu of a pick-up only.

II. SITE DESCRIPTION & USE

The site is generally located on the northeast corner of Smith's Mill Road and Forest within the Canini Trust Corp site. The site is 2.38 acres and is currently undeveloped but approved for a multi-tenant building. Some of the existing surrounding uses include Home2Suites, Turkey Hill gas station, as well as Dairy Queen which also has a drive-through facility. In addition, a proposed Panda Express, Wright Patt bank, and Huntington Bank are three nearby sites that were recently approved to include full-service drive-throughs.

III. EVALUATION

The general standards for conditional uses are contained in Codified Ordinance Section 1115.03. The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location meets all of the following requirements:

- (a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*

Uses:

- The applicant is approved to develop a 15,128 sq. ft. mixed-use retail building containing multiple tenants; including a restaurant with a drive-through on the north end and a bank with a drive-through on the south end. The remaining tenant spaces within the building are proposed to be medical-oriented. Both the restaurant and bank with drive-through facilities are conditional uses within this zoning district.
- The Engage New Albany Strategic Plan identifies this area as the retail future land use area. The proposed use is appropriate based on its proximity to State Route 161, the New Albany Business Park and the surrounding uses. The site is located within the Canini Trust Corp which envisions this type of use.
- The building is surrounded by a patio and retention basin to the west, the parking lot to the east, a drive-through lane to the north, a second drive-through lane to the south. The proposed full-access drive-through appears to be appropriately positioned on the site where it does not interfere with traffic on the rest of the site and will not cause traffic to back up onto public roads.
- It does not appear that the proposed use drive-through uses will alter the character of the surrounding area. This area is zoned to allow retail and personal service uses such as restaurants and banks which typically have drive-through facilities. Additionally, the Planning Commission recently approved multiple drive throughs in the area for Panda Express, Wright Patt, Popeyes, Wendy's, Dairy Queen, Sheetz, Huntington Bank, and Dunkin Donuts developments which all included a drive-through facility and are located near this proposed development. This subarea of the Canini Trust Corp also contains other auto-oriented businesses such as a Turkey Hill gas station and Valvoline oil change service

Architecture:

- There are no proposed changes to the previously approved architecture.
- The drive-through is on the north elevation of the building facing Woodcrest Way (private road) and is appropriately designed by using the same building materials that are used on other elevations of the building.

Parking & Circulation:

- The Trust Corp site has a strong internal roadway network that supports auto-oriented developments. The lot is surrounded by two public roads and one private road on three sides that allows traffic to and from the site to be dispersed. The road network consisting of Smith's Mill Road, Forest Drive, and Woodcrest Way provides multiple connections to public streets.
 - The site is accessed from four curb cuts:
 - a. One proposed full access curb cut along Woodcrest Way;
 - b. One proposed full access exit only curb cut along Woodcrest Way;
 - c. One existing full access, shared curb cut on Forest Drive;
 - d. A second right-in only, proposed along Forest Drive.
- Codified Ordinance 1167, retail shopping centers are required per code to have one parking space for each 200 square feet of gross floor area, plus one for each three persons allowed under maximum occupancy in any theater or place of assembly. Based on the provided information, the site is required to provide 76 spaces. As part of the final development plan modification (FDM-42-2025), the applicant proposes to remove 2 parking spaces, resulting in a total of 82 spaces, which still exceeds the minimum parking requirement.
- Additionally, the city parking code requires a minimum number of stacking spaces in the drive-through lane must be provided.
 - Restaurants with drive-through facilities:

- Restaurants with drive-through facilities are required to have one parking space for each 75 square feet of gross floor area. The required number of drive-through stacking spaces for a restaurant with a drive-through must equal 25% of the total required parking spaces.
- The proposed restaurant with drive-through is 2,880 square feet, which requires 10 stacking spaces. The plan provides 10 stacking spaces for the restaurant drive-through.

Landscaping:

- Landscaping approved with the final development plan (FDP-122-2023) will remain in place with the addition of landscaping surrounding a proposed transformer.
- (b) *The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.*
- The proposed use is harmonious with the existing and intended character of the general vicinity and will not change the essential character of the area.
 - The proposed use is appropriate due to its proximity to the State Route 161 interchange and the New Albany Business Park.
 - This site is located within the Canini Trust Corp which envisions this type of use. There are existing restaurants with drive-through facilities that are developed in this zoning district.
- (c) *The use will not be hazardous to existing or future neighboring uses.*
- The use does not appear it will be hazardous to the existing or future neighboring uses. It appears that this is an appropriate location for drive-through facilities.
- (d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*
- Sewer and water service are available in this location.
 - Woodcrest Way was recently extended along the length of the northern property line of this proposed development.
 - The proposed commercial development will produce no new students for the school district.
- (e) *The proposed use will not be detrimental to the economic welfare of the community.*
- The proposed use will likely not be detrimental to the economic welfare in the city due to the creation of jobs which generate income taxes and provide amenities for the business park.
- (f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*
- It does not appear the site will involve operation that will be detrimental to adjacent uses. This area of the city is auto-oriented and is in close proximity to the State Route 161. US-62 is currently heavily traveled therefore it is reasonable to assume that this development will be frequently visited and serve as an important asset to those in the surrounding area.
- (g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*
- The building is surrounded by the parking lot and internal drive aisle. The proposed drive-through lane appears to be properly designed on the site so that the drive through

traffic does not interfere with the traffic circulation on the rest of the site and will not cause traffic to back up onto public roads. Additionally, the proposed uses for the other tenants are daytime uses (bank and medical-oriented offices).

III. SUMMARY

The overall proposal is consistent with the code requirements for conditional uses. The proposed use is appropriate for the site based on the current zoning and the Engage New Albany Strategic Plan. Retail has historically been approached in a thoughtful and prescribed way that promotes a planned amount of land being dedicated to this use. Due to the close proximity of this site to State Route 161 and this portion of the business park, the drive-through is appropriate in this location.

The proposed use will not change the character of the US-62 corridor as there are existing restaurants with drive-through facilities within the Canini Trust Corp site and the other drive-through developments located along the street.

Overall, the proposed development meets many of the Engage New Albany Strategic Plan development standards; including providing walkways and landscaping to enhance visual aspects of the development, integrating outdoor spaces for food related businesses, and designing building entrances that connect with a pedestrian network and promote connectivity.

ACTION

The Commission shall approve, approve with supplementary conditions, or disapprove the application as presented. If the application is approved with supplementary conditions, the Planning Commission shall direct staff to issue a zoning permit listing the specific conditions listed by the Planning Commission for approval.

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application CU-123-2023 with the following conditions:

1. The conditional use permit will become void if a different kind of business, other than a restaurant, occupies this specific tenant space.



Approximate Site Location:



Source: NearMap



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org	
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.	
Project Information	Site Address <u>5065 Forest Drive, New Albany, Ohio 43054</u>	
	Parcel Numbers <u>222-000347</u>	
	Acres <u>2.38</u>	# of lots created <u>1 (existing)</u>
Choose Application Type	Description of Request:	
	<input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Development Plan <input type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification	<input type="checkbox"/> Extension Request <input type="checkbox"/> Variance <input type="checkbox"/> Vacation Amendments to previously-approved Conditional Use as related to restaurant drive-thru at multi-tenant development
Contacts	Applicant Information	
	Name	Carter Bean
	Address	2231 McCoy Road
	City, State, Zip	Columbus, Ohio 43220
	Phone Number	614-595-2285
Contacts	Property Owner Information	
	Name	Larry Canini
	Address	P.O. Box 887
	City, State, Zip	New Albany, Ohio 43054
	Phone Number	614-296-3872
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.	
	Signature of Owner	
	Signature of Applicant	
	Date:	<u>5/20/25</u>
	Date:	<u>5/20/25</u>

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

May 21, 2025

Ms. Sierra Saumenig
Community Development Department
99 West Main Street
P.O. Box 188
New Albany, Ohio 43054

Re: Conditional Use
Smiths Mill Retail – Drive Thru Amendment Request
5065 Forest Drive
New Albany, Ohio 43054

Dear Ms. Saumenig:

This letter is to formally request an amendment to previously-approved Conditional Use **CU-124-2023** as related to one of two drive-thru facilities at this development.

At the time of initial approval the anticipated restaurant tenant only had need for a pick-up window, not a full-use drive-thru with menu board and speaker post. Additionally, the anticipated square footage of the restaurant was of a size requiring eight (8) stacking spaces.

Since that time, the originally intended tenant has withdrawn from the project and current interest is by other who would like to operate as a full-use drive-thru with menu board and speaker post. Furthermore, the balance of the building has been leased, which leaves more square footage for the restaurant space than initially anticipated.

The current area of the restaurant space necessitates ten (10) stacking spaces.

In an attempt to accommodate, we are proposing the installation of a menu board and speaker post in a previously-approved landscape island near the northwest corner of the building. Furthermore, the dedicated drive-thru lane can dimensionally accommodate eight (8) stacking spaces. In order to achieve the required ten (10) stacking spaces, as well as manage potential overflow of the dedicated drive-thru lane, we are proposing that a stop bar and striping be added near the dumpster enclosure at the north, internal drive aisle. Additionally, we would like to install an instructional / directional sign on the dumpster enclosure wall that instructs drive-thru traffic to wait at the stop bar prior to queuing into the dedicated drive-thru lane, such that stacking does not obstruct the development's curb cut at Woodcrest Way.

Coincidentally, as this proposal has come together, AEP has provided their preferred transformer location, which east of, and adjacent to the dumpster enclosure. Accordingly, two parking spaces will be removed where overflow queuing might occur. To accommodate this new transformer location, we propose the addition of a landscape island and expansion of landscape screening in the form of Wester Red Cedar shrubs (5' in height) to match those being installed to screen the dumpster enclosure.

With regard to the loss of two (2) parking spaces, the City ordinance requires that this development provide a minimum of 76 parking spaces. Following the removal of two spaces, 84 spaces will be provided.

A legal description for the property has been included on the attached ALTA survey.

The existing site is currently under development per Final Development Plan approval **FDP-122-2023**.

The present zoning district for the property is IPUD.

As per the approved Final Development Plan, the proposed development consists of a 15,128 square foot, one-story, mixed-use building to accommodate retail, restaurant, and financial tenants, along with associated site improvements. Now that leasing has been completed for the majority of the development, there will be a financial planning oriented banking facility, two medial-oriented facilities and a restaurant.

As a result of this tenant mix, it is anticipated that most of the building will be unoccupied in the evening hours, offsetting the higher demand hours for the restaurant use.

Other than the modifications described herein, the development shall continue to be constructed as previously approved.

Thank you for your consideration of this request.

Sincerely,

A handwritten signature in blue ink, appearing to read 'J. Carter Bean', with a stylized flourish extending to the right.

J. Carter Bean

May 29, 2025

Ms. Sierra Saumenig
Planner I
City of New Albany
Community Development Department
7815 Walton Parkway
New Albany, Ohio 43054

Re: Canini Smiths Mill Retail – Drive Thru Amendment
5065 Forest Drive
New Albany, Ohio 43054

Dear Ms. Saumenig,

For your reference, as you continue to review our Final Development Plan application, the following is an item-by-item response to Staff comments we've received to date:

Planning:

1. Is Landscaping going in the area where the menu board will be?
Response: Yes. As previously approved, the landscape area where menu board will be is to have Yuki Cherry Blossom Deutzia shrubs, Tortuga Juniper shrubs and a Princeton Sentry Ginkgo tree. We plan to install all previously-approved materials in this island. For reference, our landscape plan has been added to the submission package.
2. Please provide a sheet with details on the menu board.
Response: At this time, we do not have a signed lease, as it is dependent upon the success of this amendment request. If approved, and a lease is signed, we will return to the Planning Commission with proper details for the menu board. Pictures of another location have been provided for general reference.
3. The directional sign on the dumpster is an unregulated sign so I do not need information on that.
Response: Thank you.

Landscaping:

4. Landscape review consultant has no additional comments.
Response: Thank you.

Engineering Comments:

5. Engineering review consultant stated that the comments made in 2023 remain relevant. Meaning overall no comment on the amended plan. Note that these comments assume that the drive-thru on the Forest side is a bank and that the drive on the east frontage side remains a private drive. If there are any changes to those two assumptions they will affect my recommendation.

Response: Those two conditions remain the same: East drive-thru on Forest is a bank; Woodcrest Way remains private.

Thank you for your review and assistance throughout this process. Please let us know if any of our modifications require additional attention and we will continue to address as they arise.

Sincerely,

A handwritten signature in blue ink, consisting of a large, stylized 'C' followed by a horizontal line extending to the right.

J. Carter Bean

ALTA/NSPS LAND TITLE SURVEY
LOT 23, QUARTER TOWNSHIP 1, LOT 24, QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 16
UNITED STATES MILITARY DISTRICT
CITY OF NEW ALBANY, COUNTY OF FRANKLIN, STATE OF OHIO

DESCRIPTION FROM TITLE COMMITMENT No.: 8618

2.607 ACRES

Situated in the State of Ohio, County of Franklin, City of New Albany, located in Lot 23, Quarter Township 1, and Lot 24, Quarter Township 4, Township 2, Range 16, United States Military District, being all of the remainder of that 30.885 acre tract conveyed to Smith Mill Ventures LLC by deed of record in Instrument Number 20060817016292, (all references refer to the records of the Recorder's Office, Franklin County, Ohio) being more particularly described as follows:

Beginning, for reference, at a magnetic nail set at the centerline intersection of Johnstown Road (State Route 62) (variable width), as dedicated in Plat Book 27, Page 56 and Plat Book 34 Page 22, with Smith's Mill Road (90 feet wide), as dedicated in Plat Book 95, Page 91;

Thence South 31° 54' 37" East, with the centerline of said Smith's Mill Road, a distance if 129.78 feet to a point of curvature;

Thence continuing with the centerline of said Smith's Mill Road, with the arc of a curve to the left, having a central angle of 08° 31' 14", a radius of 1533.99 feet, an arc length of 228.12 feet, a chord bearing of South 36° 10' 14" East and a chord distance of 227.91 feet to a point;

Thence North 49° 34' 10" East, across the right-of-way of said Smith's Mill Road, a distance of 45.00 feet to an iron pin set in the northeasterly right-of-way thereof, at a westerly corner of the remainder of said 30.885 acre tract, at a southerly corner of that 1.332 acre tract conveyed to _____, by deed of record in Instrument Number _____, being the TRUE POINT OF BEGINNING;

Thence with a northwesterly line of the remainder of said 30.885 acre tract, the southeasterly line of said 1.332 acre tract, with the arc of a curve to the right, having a central angle of 35° 42' 43", a radius of 36.00 feet, an arc length of 22.44 feet, a chord bearing of North 40° 13' 33" East and chord distance of 22.08 feet to an iron pin set at a point of tangency;

Thence North 58° 04' 54" East, with a northwesterly line of the remainder of said 30.885 acre tract, with the southeasterly line of said 1.332 acre tract, that 1.114 acre tract conveyed to _____, by deed of record in Instrument Number _____, and that 2.564 acre tract conveyed to _____, by deed of record in Instrument Number _____, a distance of 373.42 feet to an iron pin set at the northerly corner of the remainder of said 30.885 acre tract and at the westerly corner of that 2.498 acre tract conveyed to Forest New Albany LP by deed of record in Instrument Number 201612160173729;

Thence South 31° 54' 38" East, with the northeasterly line of the remainder of said 30.885 acre tract and with the southwesterly line of said 2.498 acre tract, a distance of 318.66 feet to an iron pin set in the northerly right-of-way line of Forest Drive (width varies), as dedicated in Plat Book 114, Page 1;

Thence with the northerly right-of-way line of said Forest Drive, with the southeasterly line of the remainder of said 30.885 acre tract, the following courses and distances:

South 58° 05' 22" West, a distance of 2.58 feet to an iron pin set;

South 60° 57' 06" West, a distance of 100.12 feet to an iron pin set;

South 58° 05' 22" West, a distance of 128.33 feet to an iron pin set at a point of curvature;

with the arc of a curve to the left, having a central angle of 12° 41' 32", a radius of 202.91 feet, an arc length of 44.95 feet, a chord bearing of South 51° 44' 36" West and chord distance of 44.86 feet to a point of reverse curvature; and

with the arc of a curve to the right, having a central angle of 82° 47' 06", a radius of 40.00 feet, an arc length of 57.79 feet, a chord bearing of South 86° 47' 23" West and chord distance of 52.90 feet to an iron pin set on the arc of a curve in the northeasterly right-of-way line of said Smith's Mill Road;

thence with the northeasterly right-of-way line of said Smith's Mill Road, the southwesterly line of the remainder of said 30.885 acre tract, with the arc of a curve to the right, having a central angle of 11° 23' 14", a radius of 1489.00 feet, an arc length of 295.93 feet, a chord bearing of North 46° 07' 28" West and chord distance of 295.44 feet to the TRUE POINT OF BEGINNING, containing 2.607 acres, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

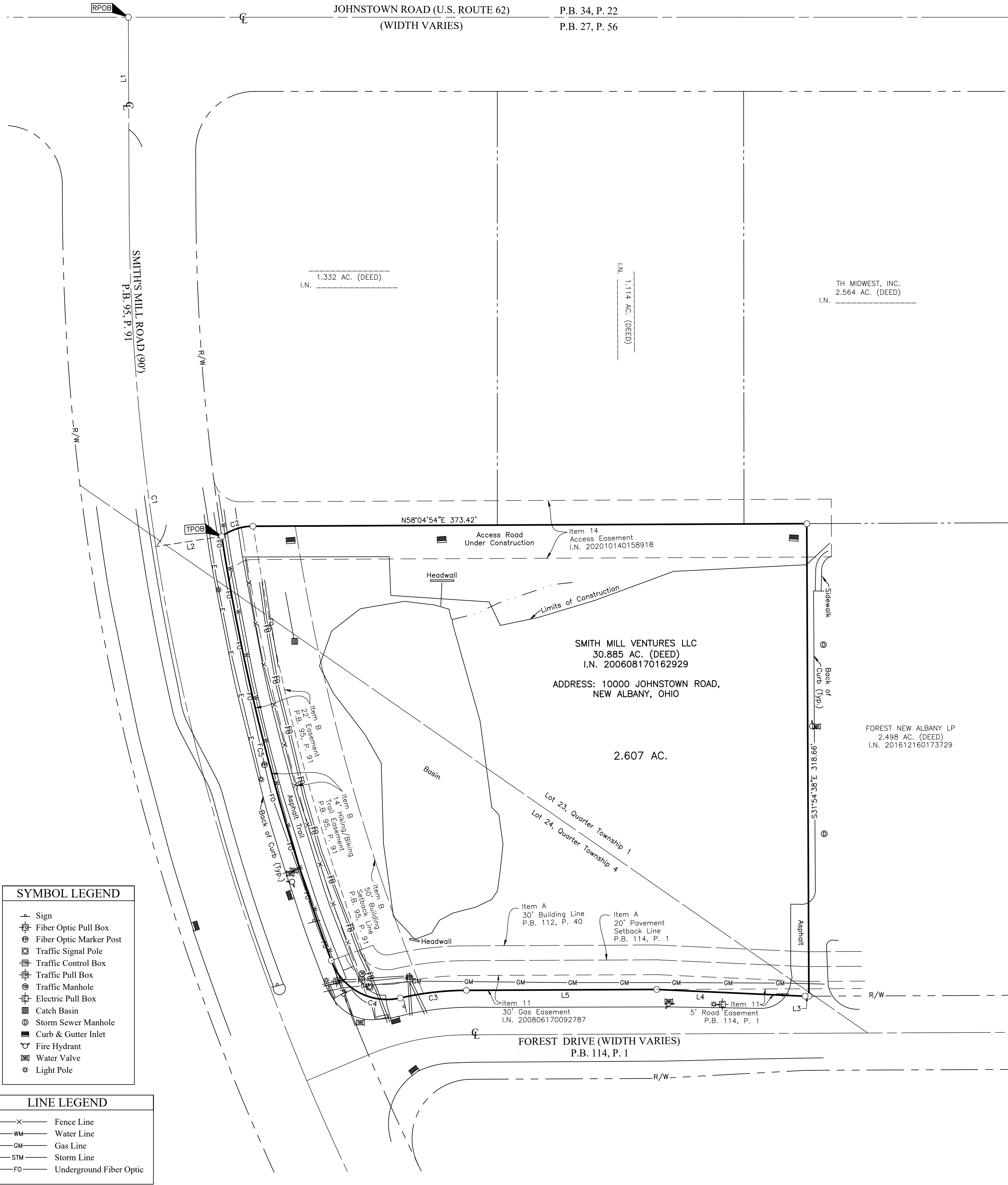
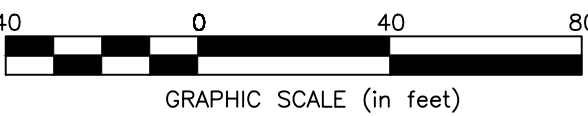
Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The bearings shown hereon are based on North 58°05'22" East for the southeasterly right-of-way line of Forest Drive, of record in Plat Book 114, Page 1, Recorder's Office, Franklin County, Ohio.

This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.

- Iron Pin Set
- Iron Pin Found
- Stone Found
- P.K. Nail Found
- Monument Found
- Magnetic Nail Set
- ▲ Magnetic Nail Found
- ▲ Railroad Spike Found

Iron Pins Set are 13/16" I.D. iron pipes 30" long with cap inscribed EMHT INC.



SYMBOL LEGEND	
—x—	Sign
—F—	Fiber Optic Pull Box
—M—	Fiber Optic Marker Post
—S—	Traffic Signal Pole
—C—	Traffic Control Box
—P—	Traffic Pull Box
—M—	Traffic Manhole
—E—	Electric Pull Box
—B—	Catch Basin
—S—	Storm Sewer Manhole
—C—	Curb & Gutter Inlet
—F—	Fire Hydrant
—W—	Water Valve
—L—	Light Pole

LINE LEGEND	
—x—	Fence Line
—WM—	Water Line
—GM—	Gas Line
—STM—	Storm Line
—FO—	Underground Fiber Optic

Schedule B Items from Title Commitment No. 8618 issued by Stewart Title Guaranty Company with an effective date of November 3, 2023 at 8:00 A.M.

Items 1-9 NOT SURVEY RELATED ITEMS.

Item 10 Building lines, easements and restrictions shown on the recorded plat/map of Hugh Subdivision as Plat Book 27, Page 56; as partially vacated in Miscellaneous Volume 169, Page 215. THE SUBJECT TRACT IS NOT LOCATED IN THE AREA DESCRIBED.

Item 11 Building lines, easements and restrictions shown on the recorded plat/map of Forest Drive Dedication and Easements Section 2 Phase 1 as Plat Book 112, Page 40; as modified by the Affidavit in Aid of Title of record in Instrument 201703030029794. THE SUBJECT TRACT IS NOT LOCATED IN THE AREA DESCRIBED.

Item 12 Declaration of Covenants and Restrictions for The New Albany Community Authority of record in Official Record 16999, Page C04; with the Ninth Supplemental Declaration of record in Official Record 21466, Page C20, as re-recorded in Official Record 21693, Page H19; with the Acceptance of Duties of record in Official Record 23377, Page F07; with the Designation of Successor Declarant of record in Instrument 1998102000268024. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED.

Item 13 Declaration of Covenants, Conditions, Restrictions and Easements for The New Albany Business Park of record in Instrument 200007030130348, as re-recorded in Instrument 200101100006699; as amended in Instrument 200308180260678; with the Twelfth Supplemental Declaration of record in Instrument 200609060177774. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED.

Item 14 Declaration of Covenants, Conditions, Restrictions and Easements for Smith Mill Ventures, LLC of record in Instrument 200801180009215; with the First Supplemental Declaration of record in Instrument 201303190045760, as corrected in Instrument 201501280011279; with the Second Supplemental Declaration of record in Instrument 201412050162233; with the Third Supplemental Declaration of record in Instrument 201703200037811; with the Fourth Supplemental Declaration of record in Instrument 202010140158918. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED. THE ACCESS EASEMENT IS LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON.

Item 15 Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 1755, Page 190. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; THERE IS NO POLE LINE WITHIN THE LIMITS OF THE SUBJECT TRACT.

Item 16 Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 1785, Page 163. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; THERE IS NO POLE LINE WITHIN THE LIMITS OF THE SUBJECT TRACT.

Item 17 Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 2030, Page 172. THE EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 18 Memorandum of Agreement, including terms and conditions thereof as recorded in Instrument 199811170294968. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED.

Item 19 Development Agreement, including terms and conditions thereof as recorded in Instrument 199908090202331; with the First Amendment of record in Instrument 201804110047519. THE SUBJECT TRACT IS NOT LOCATED IN THE AREA DESCRIBED.

Item 20 Deed of Easement granted to the Village of New Albany, as more fully set forth in the document recorded as Instrument 200711130196074. THE EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 21 Easement granted to Columbia Gas of Ohio, Inc., as more fully set forth in the document recorded as Instrument 200806100088936. THE GAS LINE EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 22 Easement & Right of Way granted to Ohio Power, as more fully set forth in the document recorded as Instrument 201208060113180. THE ELECTRIC EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

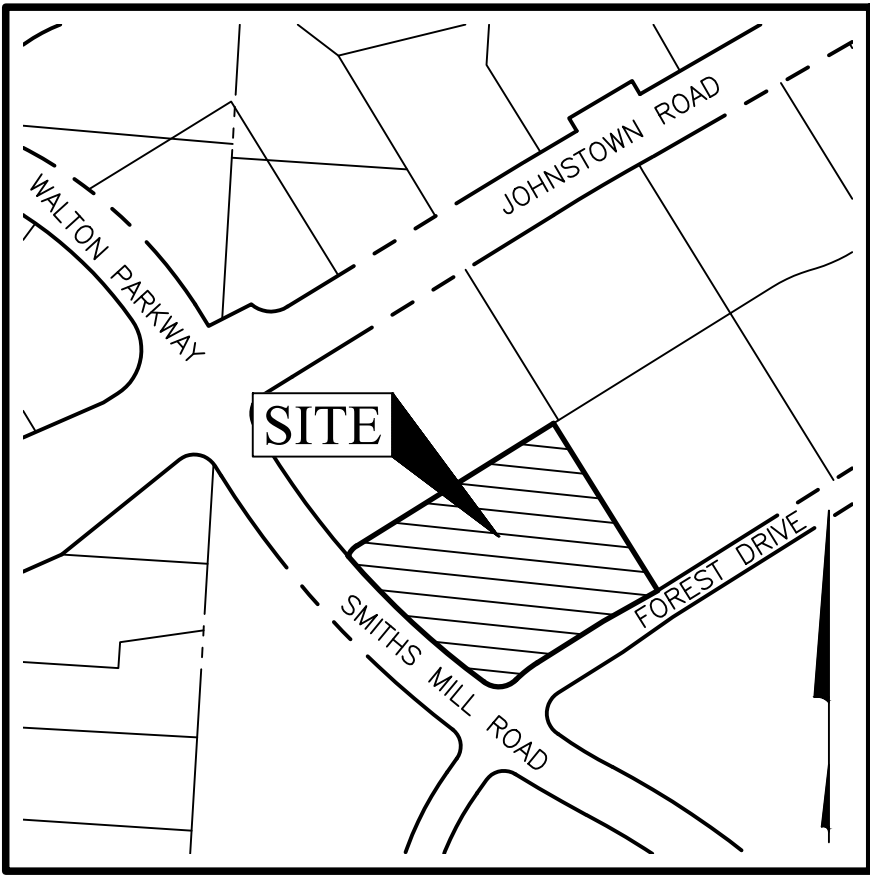
Item 23 Declaration of Use Restriction of record in Instrument 201703200037814. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED AS "RESTRICTED PROPERTY".

Items 24-27 NOT SURVEY RELATED ITEMS.

ITEMS NOT INCLUDED IN TITLE COMMITMENT:

Item A Building lines, easements and restrictions shown on the recorded plat/map of Forest Drive Dedication and Easements Section 2 Phase 2 as Plat Book 114, Page 1. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; SETBACK LINES AND EASEMENTS ARE LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON.

Item A Building lines, easements and restrictions shown on the recorded plat/map of Smith's Mill road Dedication and Easements as Plat Book 95, Page 91. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; SETBACK LINES AND EASEMENTS ARE LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON.



LOCATION MAP AND BACKGROUND DRAWING
NOT TO SCALE

LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S31°54'37"E	129.78'	L4	S60°57'06"W	100.12'
L2	N49°34'10"E	45.00'	L5	S58°05'22"W	128.33'
L3	S58°05'22"W	2.58'			

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CH. BEARING	CH. DIST.
C1	8°31'14"	1533.99'	228.12'	S36°10'14"E	227.91'
C2	35°42'43"	36.00'	22.44'	N40°13'33"E	22.08'
C3	12°41'32"	202.91'	44.95'	S51°44'36"W	44.86'
C4	82°47'06"	40.00'	57.79'	S86°47'23"W	52.90'
C5	11°23'14"	1489.00'	295.93'	N46°07'28"W	295.44'

BASIS OF BEARINGS:

The bearings shown hereon are based on North 58°05'22" East for the southeasterly right-of-way line of Forest Drive, of record in Plat Book 114, Page 1, Recorder's Office, Franklin County, Ohio.

FEMA NOTE:

According to the Federal Emergency Management Agency's Flood Insurance Rate Map No. 39049C0208K (dated June 17, 2008), the subject tract shown hereon lies within Zone X (areas determined to be outside of the 0.2% annual chance floodplain). Any floodplain lines shown are georeferenced and are not based on actual field elevations.

UTILITY STATEMENT:

A Utility Marking and Plans request was submitted to OHIO811 on November 11, 2023. The utilities shown hereon have been located from field survey information. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities shown are in the exact location indicated, although she does certify that they are located as accurately as possible.

SURVEY NOTE:

This survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey.

TABLE A OPTIONAL ITEM NOTES:

- No buildings were observed on the subject tract at the time the fieldwork was conducted.
- No parking striping was observed on the subject tract at the time the fieldwork was conducted.

CERTIFICATION: Commitment No. 8618

To: Smith Mill Center LLC, Smith Mill Ventures, LLC, Stewart Title Guaranty Company and RET Solutions, LLC:

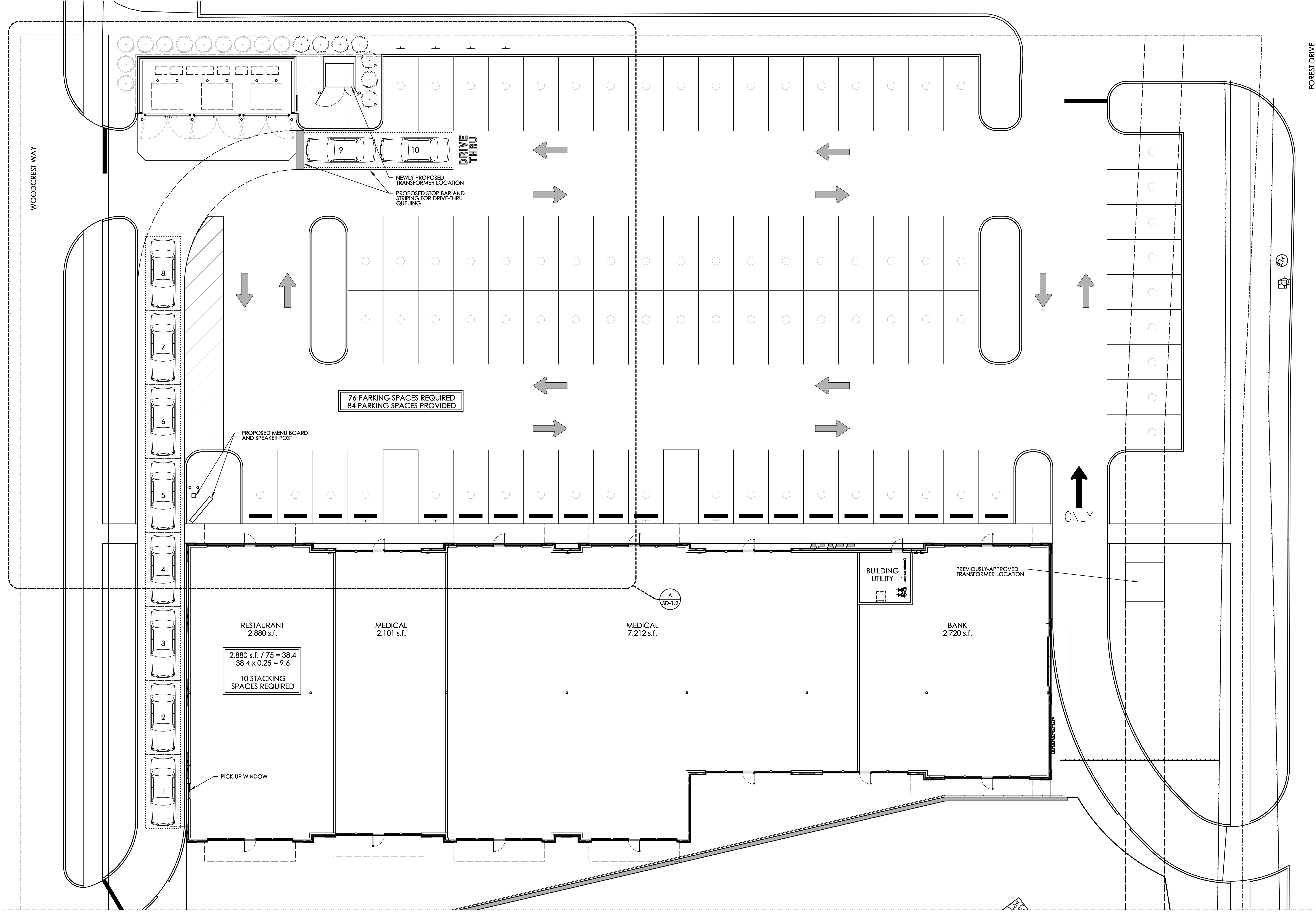
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys", jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9 and 13 of Table A thereof. The fieldwork was completed on November 27, 2023.

DRAFT

By Heather L. King
Professional Surveyor No. 8307
hking@emht.com

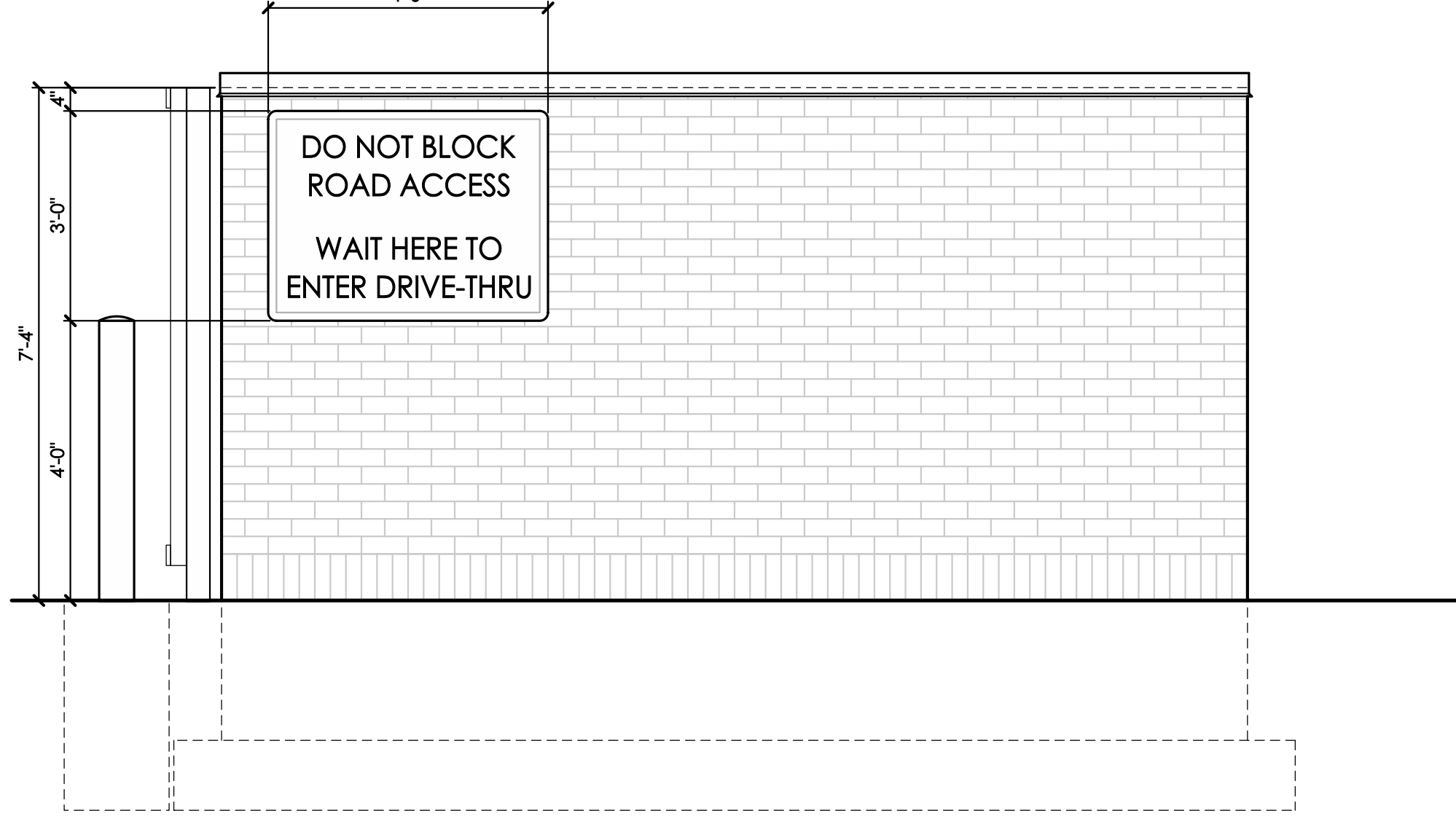
Date _____

EMHT			Date: December 8, 2023
Evans • Viechworth • Hamilton & Tilson, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43254 Phone: 614.775.4200 Tel. Fax: 614.775.3448 emht.com			Scale: 1" = 40'
			Job No: 2023-0968
			Sheet: 1 of 1
REVISIONS			
MARK	DATE	DESCRIPTION	





A AERIAL PHOTO
SCALE: N.T.S.



B DUMPSTER ENCLOSURE & SIGN ELEVATION
SCALE: 1/2" = 1'-0"



C MENU BOARD & SPEAKER
SCALE: N.T.S.



PERSPECTIVE ENTERING DRIVE-THRU QUEUE

BEAN

J. CARTER BEAN ARCHITECT
4400 NORTH HIGH STREET
SUITE 401 • COLUMBUS
OHIO • 43214
TEL 614 262 5111
FAX 614 262 2529

STATE OF OHIO

J. CARTER BEAN
1015234

REGISTERED ARCHITECT

J. CARTER BEAN, LICENSE #1015234
EXPIRATION DATE: 12/31/2025
COPYRIGHT 2024
ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF
J. CARTER BEAN ARCHITECT
AND MAY NOT BE USED, REPRODUCED OR ALTERED
WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

SMITHS MILL RETAIL CENTER

5065 FOREST DRIVE
NEW ALBANY, OHIO 43054

FOR
CANINI & ASSOCIATES LTD
P.O. Box 887, New Albany, Ohio 43054

DRAWING STATUS	
STATUS	DATE
PLANNING COMMISSION	MAY 21, 2025

DRAWING TITLE

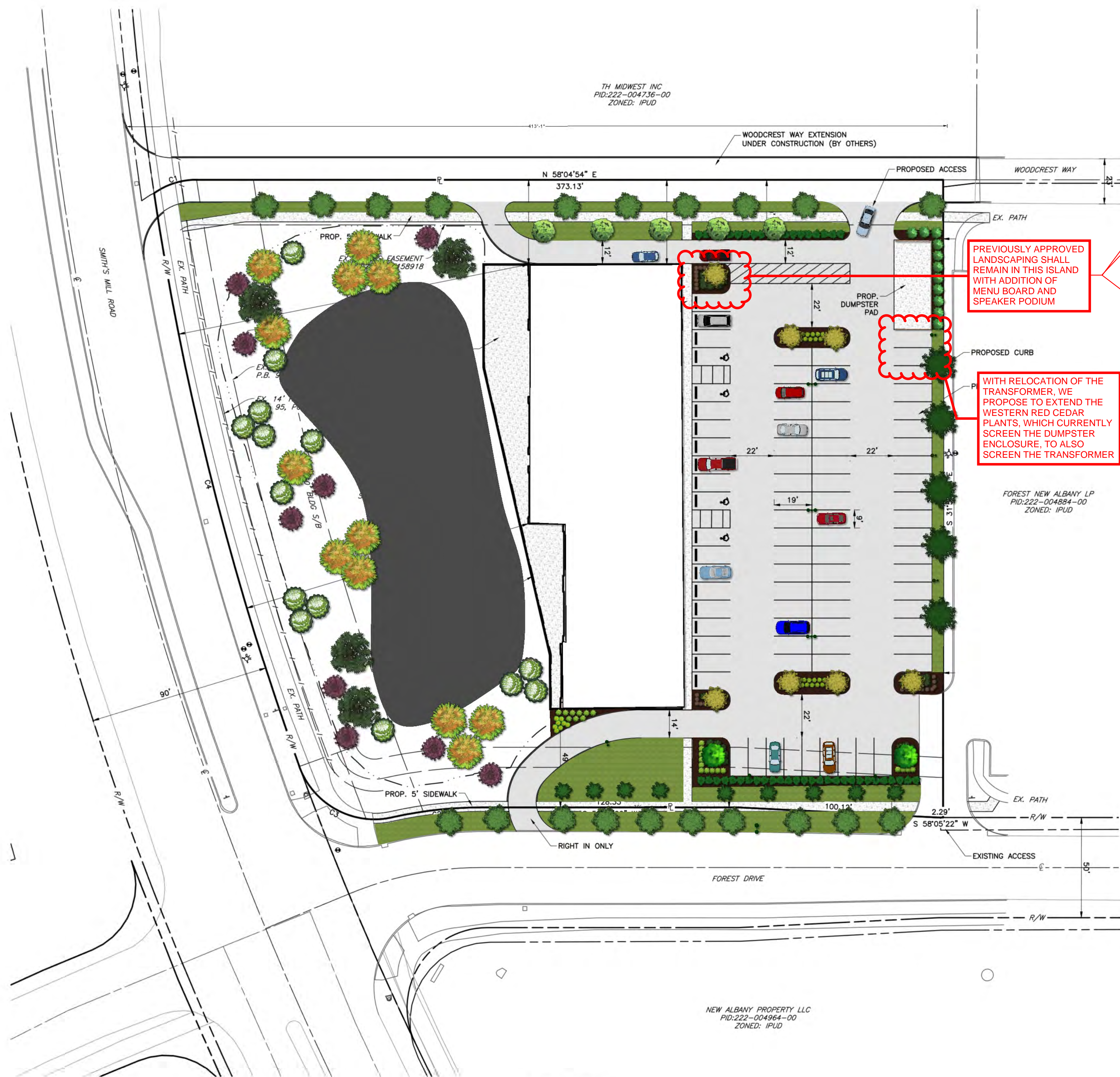
AERIAL PHOTO
AND DETAILS

DRAWING NUMBER

SD-2.1

BEAN #000000.00

P:\135-000\135-271-CAD\Drawings\001- Final Development Plan\135751-001-C000 SITE PLAN.dwg (2/25/2023 11:54 AM) - User: 12/15/2023 11:54 AM



SITE PLAN
1"=30'

Symbol	Qty	Common	Botanical	Location	Size
2	2	Amur Maackia	Maackia amurensis	Parking Lot Tree	2.5' cal
12	12	Bald Cypress	Taxodium distichum	Buffer Tree	2.5' cal
5	5	Black Gum	Nyssa sylvatica	Site Tree	2.5' cal
31	31	Yuki Cherry Blossom Deutzia	Deutzia x	Landscape	3 gal
40	40	Tortuga Juniper	Juniperus communis 'Tortuga'	Landscape	3 gal
8	8	Daylily	Hemerocallis sp.	Landscape	1 gal
9	9	Eastern Redbud	Cercis canadensis	Buffer Tree	1.5' cal
23	23	Feather Reed Grass	Calamagrostis acutiflora	Landscape	2 gal
14	14	Spring Snow Crabapple	Malus 'Spring Snow'	Buffer Tree	1.5' cal
9	9	Japanese Tree Lilac	Syringa reticulata	Buffer Tree	1.5' cal
5	5	Japanese Zelkova	Zelkova serrata 'Mussashino'	Site Tree	2.5' cal
47	47	Sea Green Juniper	Juniperus Chin 'Sea Green'	Parking Screen	24"
7	7	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	Parking Lot Tree	2.5' cal
28	28	Red Chokeberry	Aronia Low Slope Mound	Landscape	3 gal
20	20	Red Sunset Maple	Acer rubrum 'Red Sunset'	Street Tree	2.5' cal
4	4	Swamp White Oak	Quercus bicolor	Buffer Tree	2.5' cal
11	11	Western Red Cedar	Thuja plicata	Dumpster Screen	5'

PREVIOUSLY APPROVED LANDSCAPING SHALL REMAIN IN THIS ISLAND WITH ADDITION OF MENU BOARD AND SPEAKER PODIUM

WITH RELOCATION OF THE TRANSFORMER, WE PROPOSE TO EXTEND THE WESTERN RED CEDAR PLANTS, WHICH CURRENTLY SCREEN THE DUMPSTER ENCLOSURE, TO ALSO SCREEN THE TRANSFORMER

LANDSCAPE ZONING CODE REQUIREMENTS

171.05(c)(2). LANDSCAPING SCREENING.
Between twenty thousand (20,000) and fifty thousand (50,000) square feet: A minimum of one tree for every five thousand (5,000) square feet of ground coverage and a total tree planting equal to ten (10) inches plus one-half inch in tree trunk size for every two thousand (2,000) square feet over twenty thousand (20,000) feet in ground coverage.

Parking: 32,343 sq ft. Building: 15,458 sq ft. 48,801 sq ft coverage: 5000 = 9.66 trees, 17' cal required.

10 trees @ 2.5' cal provided, 20 total caliper inches provided.

171.06(c)(3). PARKING LOT LANDSCAPING.
For each one hundred (100) square feet, or fraction thereof, of parking area, a minimum total of five (5) square feet of landscaped area shall be provided. Zoning text @ 8%.

Parking: 32,343/100 = 328.43 x 5 = 1642 sq ft required or 32,843 x .08 = 2627 required.

2700 sq ft landscape provided.

Parking areas should contain a minimum of one deciduous canopy tree for every ten (10) parking spaces.

85 spaces/10 = 8.5 trees required.

9 provided.

Zoning 8a.04(4)(a). PARKING LOT SCREENING.

Parking lot screening from rights of way.

Forest Drive and Woodcrest Way screening with Sea Green Juniper hedges spaced 4' o.c. Growth to 4'-6'.

STREET TREE REQUIREMENT.

Street trees along Forest Drive: one tree per 30' minimum 30' o.c. 300' span, minimum 2.5' cal.

10 trees @ 2.5' cal provided.

Street trees along Woodcrest Way per FOP-69-2014, Red Sunset Maples @ 30' o.c.

10 Maples @ 2.5' cal provided.

Zoning 8a.04(5). BUFFER LANDSCAPE.

Eight deciduous or ornamental trees per 100 lineal feet in setback areas along Smith's Mill Road and Forest Drive.

600 total lineal feet 100 = 8 x 6 = 48 buffer trees required.

48 trees provided.

Zoning 8a.04(6)(7)(a). GENERAL REQUIREMENTS.

Site Landscaping: Tree plantings shall be required within site parking and service areas. Trees shall be a minimum of 2 1/2 inches in caliper at installation.

Minimum tree size shall be no less than 2 1/2 inch caliper for street and/or shade trees and 1 1/2 inch caliper for ornamental trees.

All trees planted @ 2.5" caliper for site parking, service, street and buffer shade trees. 1.5" caliper for buffer ornamental trees.

REVISION RECORD

NO. DATE DESCRIPTION

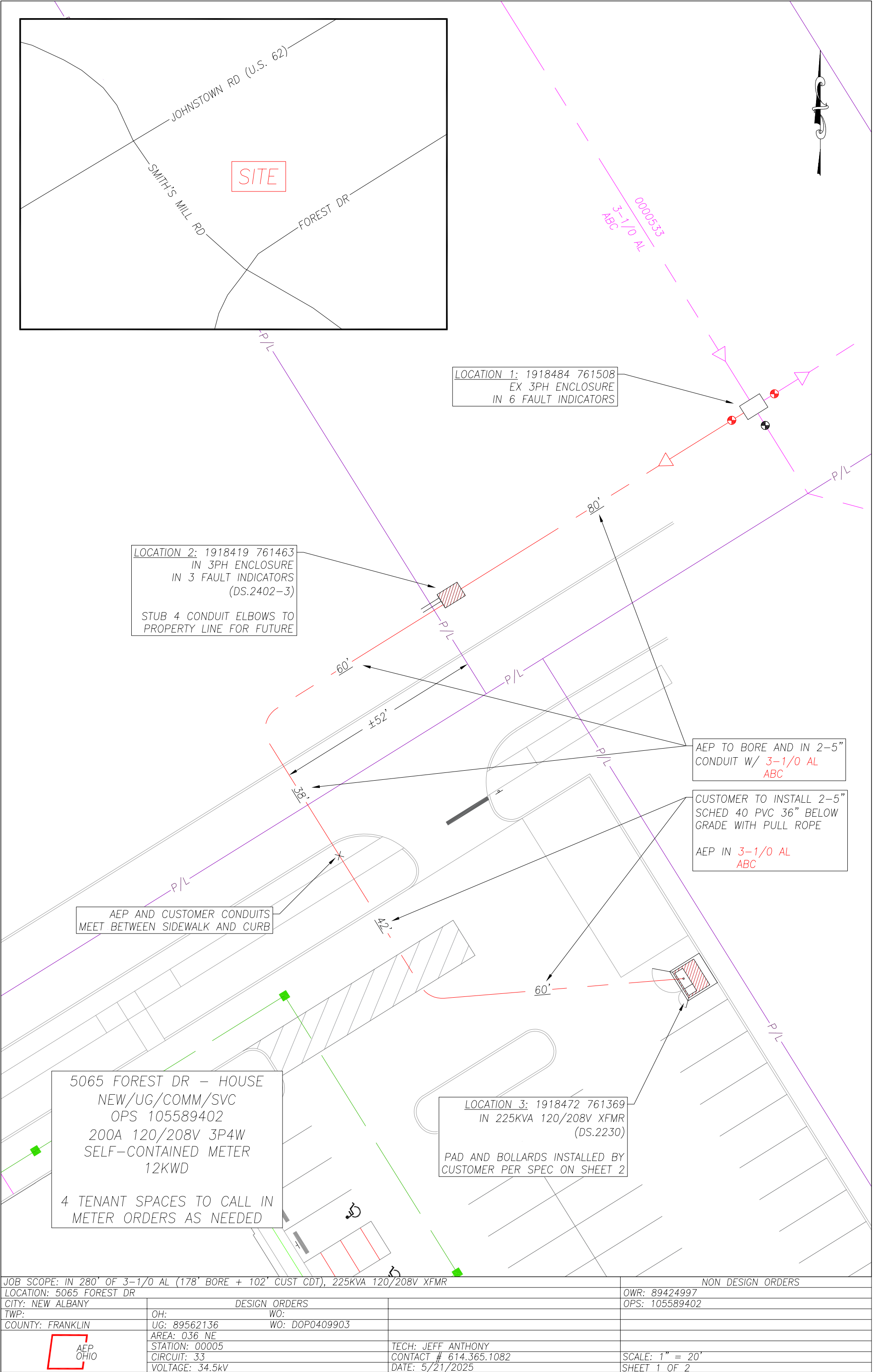
15 Jan 24

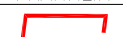
CANINI & ASSOCIATES, LTD.
SMITHS MILL LOT #14
CITY OF NEW ALBANY
FRANKLIN COUNTY, OHIO

LANDSCAPE PLAN

DRAWING NO.:

SHEET



JOB SCOPE: IN 280' OF 3-1/0 AL (178' BORE + 102' CUST CDT), 225KVA 120/208V XFMR			NON DESIGN ORDERS	
LOCATION: 5065 FOREST DR			OWR: 89424997	
CITY: NEW ALBANY	DESIGN ORDERS		OPS: 105589402	
TWP:	OH:	WO:		
COUNTY: FRANKLIN	UG: 89562136	WO: DOP0409903		
	AREA: 036 NE			
	STATION: 00005		TECH: JEFF ANTHONY	
	CIRCUIT: 33		CONTACT # 614.365.1082	
	VOLTAGE: 34.5kv		SCALE: 1" = 20'	
			DATE: 5/21/2025	
			SHEET 1 OF 2	

INSPECTION PROCEDURE NOTES:

AFTER THE TRANSFORMER PAD IS FRAMED AND THE DUCT IS IN PLACE, THE FOLLOWING PROCEDURES MUST BE FOLLOWED BEFORE CONCRETE IS POURED:

1. CONTACT JEFF ANTHONY AT 614.365.1082 FOR A FIELD REVIEW OF INSTALLATION. ALLOW AT LEAST 24 HOURS TO SCHEDULE REVIEW
2. AEP REPRESENTATIVE WILL MEET CONTRACTOR AT JOB SITE AND REVIEW INSTALLATION TO ASSURE AEP SPECIFICATIONS ARE MET.
3. WHEN INSTALLATION MEETS AEP SPECIFICATIONS, THE ENGINEERING REPRESENTATIVE WILL SIGN A CONSTRUCTION DRAWING AND LEAVE A COPY WITH THE CONTRACTOR.

TERMS ACCEPTED AND APPROVED FOR CUSTOMER:

CUSTOMER

BY

CUSTOMER'S REPRESENTATIVE

DATE

INSTALLATION APPROVED FOR POURING CONCRETE AND COMPLETING PAD:

ENGINEERING REPRESENTATIVE - AMERICAN ELECTRIC POWER

DATE

REQUIREMENTS FOR THREE PHASE
PADMOUNT TRANSFORMER FOUNDATIONS

FAILURE TO FOLLOW ALL CONDITIONS ON THIS SHEET MAY
RESULT IN A DELAY OF SERVICE - PLEASE READ CAREFULLY

- A. THE NUMBER OF PRIMARY CONDUITS TO BE DETERMINED BY AEP ENGINEERING. SEE DETAIL "A" FOR PLACEMENT.
- B. THE NUMBER AND PLACEMENT OF SERVICE/METERING CONDUITS AND SIZE OF SERVICE CABLES TO BE DETERMINED BY CUSTOMER'S ENGINEER AND APPROVED BY AEP ENGINEERING.
- C. AFTER PRIMARY AND SECONDARY CONDUITS ARE IN PLACE, THE AREA FOR THE TRANSFORMER FOUNDATION MUST BE THOROUGHLY COMPACTED BEFORE PLACING CRUSHED STONE OR GRAVEL AND BEFORE POURING FOUNDATION
- D. CONCRETE TO BE CITY OF COLUMBUS OR STATE OF OHIO DEPARTMENT OF TRANSPORTATION CLASS "C" WITH 6% +/- 8% AIR ENTRAPMENT, 2"-4" SLUMP, AND 3500 PSI MINIMUM. PAD TO BE CONSTRUCTED OF A MINIMUM 3 INCH COVER OVER ALL REBAR. WIRE MESH WITH A MINIMUM CROSS-SECTIONAL AREA OF 0.176 SQUARE INCHES PER FOOT OF PAD WIDTH MAY BE USED IN PLACE OF REBAR.
- E. THE TYPE, THICKNESS, AND REINFORCING OF THE FOUNDATION IS A MINIMUM DESIGN, ACTUAL FOUNDATION FURNISHED MAY EXCEED THESE REQUIREMENTS, BUT MUST BE APPROVED BY AEP ENGINEERING. PRIMARY AND SECONDARY MUST COME THROUGH THE FOUNDATION IN DESIGNATED AREAS.
- F. THE FOUNDATION SHALL BE LOCATED AWAY FROM WINDOWS, DOORS, FIRE ESCAPES, ENTRANCES, AND VENTILATING DUCTS. THE LOCATION MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR OIL INSULATED TRANSFORMERS INSTALLED OUTDOORS.
- G. THE FOUNDATION SHALL BE PLACED 3'-0" HORIZONTALLY FROM BUILDING OR STRUCTURE. SINGLE-STORY BUILDINGS WITH ROOF OVERHANGS REQUIRE THAT THE FOUNDATION BE PLACED NO CLOSER THAN 3'-0" HORIZONTALLY OUT FROM THE EDGE OF THE OVERHANG. A 10' UNOBSTRUCTED AREA IN FRONT OF THE TRANSFORMER IS REQUIRED FOR SWITCHING.
- H. FINAL PAD INSTALLATION SHALL BE LEVEL AS MEASURED BY CARPENTER'S LEVEL FOR ALL DIRECTIONS.
- I. THE CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ANY INSPECTIONS OR APPROVALS NECESSARY TO ENSURE COMPLIANCE WITH ALL APPLICABLE BUILDING OR FIRE CODES, AND LOCAL ORDINANCES AND LAWS.

NOTES

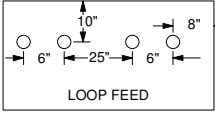
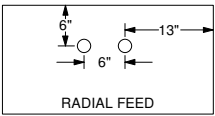
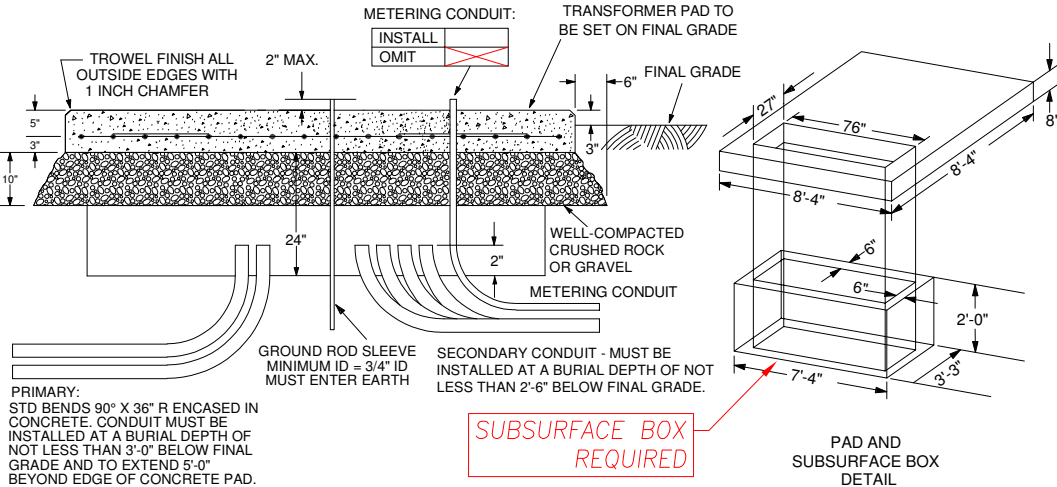
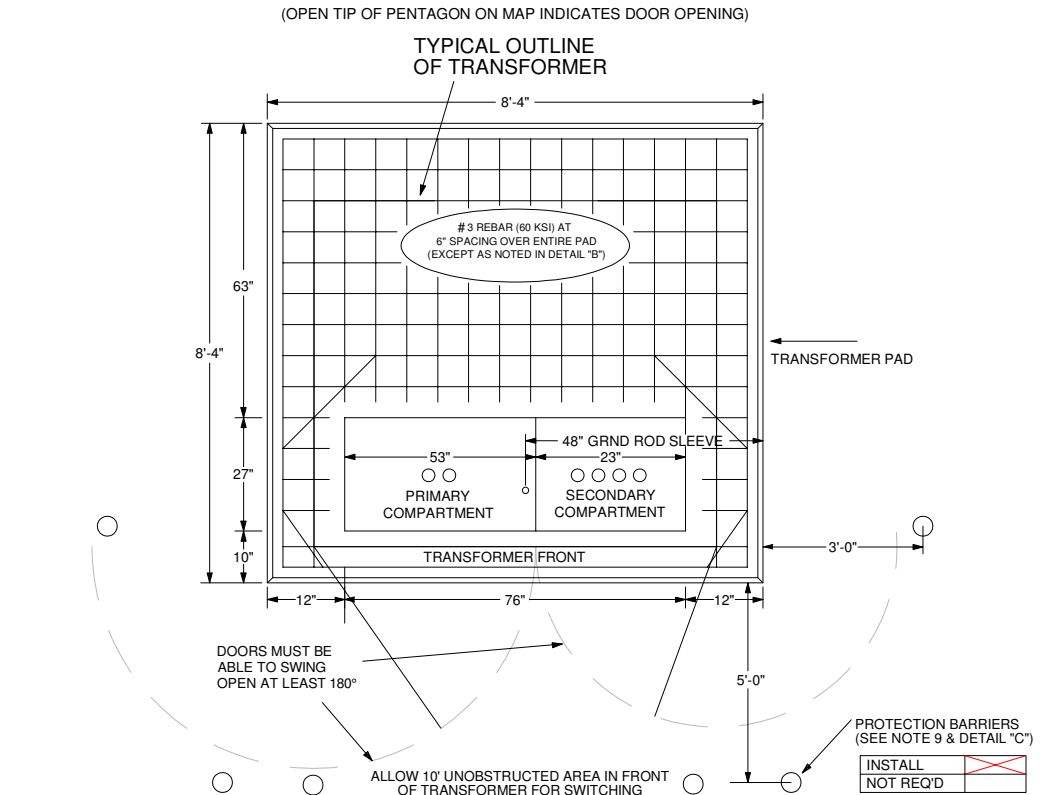
1. CUSTOMER'S PORTION SUBJECT TO INSPECTION BY LOCAL GOVERNMENT, BUILDING AUTHORITIES AND AEP PRIOR TO ACTIVATING TRANSFORMER.
2. METER LOCATION AND ROUTE OF METERING CONDUIT SHALL BE APPROVED BY AEP PRIOR TO INSTALLATION.
3. THE DESIGN OF CUSTOMER OWNED CABLES, INCLUDING SIZE AND NUMBER ENTERING OR LEAVING COMPANY EQUIPMENT MUST BE APPROVED BY AEP PRIOR TO INSTALLATION. AEP IS TO BE NOTIFIED OF ANY CHANGES.

SIZE: 4-500 CU NUMBER: 4 SETS APPROVED: JA

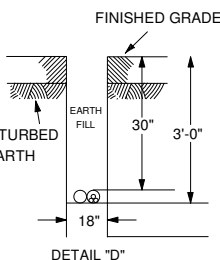
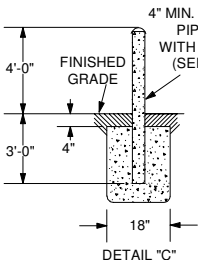
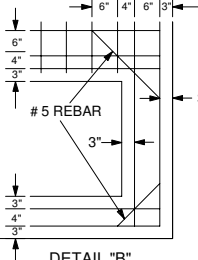
4. COMPRESSION TYPE CONNECTORS SHOULD BE USED WHEN ATTACHING ANY CABLE TO COMPANY EQUIPMENT. CONNECTORS MUST HAVE NEMA STANDARD DRILLING. USE 2-HOLE CONNECTORS FOR 350 MCM AND LARGER CABLES. CONNECTORS MUST BE COMPATIBLE WITH THE METAL USED IN THE CABLE. NO DOUBLE STACKING LUGS PERMITTED. LUG WIDTH MUST ALLOW LUGS TO BE INSTALLED SIDE BY SIDE WITHOUT INTERFERING WITH THE NEXT ROW OF HOLES ON THE SPADES. THE OWNER OF EACH CABLE SHALL FURNISH AND INSTALL CONNECTORS ON EACH OF THEIR CABLES. CABLES MUST BE INSTALLED AND TERMINATED TO PLACE A MIN-IMUM STRAIN ON THE POINT OF ATTACHMENT TO THE EQUIPMENT. THE OWNER OF THE CABLE SHALL ATTACH THE CABLE TO THE EQUIPMENT USING BOLTS PROVIDED BY THE EQUIPMENT OWNER. THE BOLTS MUST BE INSTALLED FINGER TIGHT ONLY. THE OWNER OF THE EQUIPMENT SHALL SECURELY TIGHTEN THE BOLTS.
5. PASSAGE TO PROPOSED TRANSFORMER LOCATION MUST BE ACCESSIBLE BY TRUCK REQUIRING 12' HIGH BY 10' WIDE OPENING IN WALLS AND FENCES AND PASSABLE REGARDLESS OF WEATHER OR SOIL CONDITIONS.
6. TRANSFORMER COMPARTMENT SHALL BE ACCESSIBLE TO AEP ONLY.
7. UNDERGROUND CABLE ROUTE BETWEEN TERMINAL POLE AND TRANSFORMER PAD TO BE WITHIN 6" OF FINAL GRADE.
8. SECONDARY ENCLOSURE IS REQUIRED WHEN SPECIFIED BY AEP. AEP WILL FURNISH, INSTALL AND MAINTAIN SECONDARY ENCLOSURE WHEN REQUIRED. SECONDARY ENCLOSURE TO BE ACCESSIBLE TO AEP ONLY. PAD FOR SECONDARY ENCLOSURE (INCLUDING CONDUITS) TO BE FURNISHED BY CUSTOMER AND CONST- RUCTED IN ACCORDANCE WITH AEP SPECIFICATIONS AND STANDARDS. CUSTOMER TO PERMANENTLY MARK CONDUITS ROUTED TO TRANSFORMER AND TO LOAD.
9. PROTECTION BARRIER - 4" MIN. STEEL POSTS FILLED WITH CONCRETE AND SET IN CONCRETE, MINIMUM HEIGHT 4 FEET, MUST BE PROVIDED. LOCATIONS SHALL BE SPECIFIED BY THE AEP ENGINEER TO INSURE ACCESS TO TRANSFORMER. BARRIERS SHALL BE PLACED SO THAT BOTH TRANSFORMER DOORS CAN FREELY SWING OPEN AT LEAST 180°. NO NEW BARRIERS SHALL BE PLACED OR EXISTING ONES MOVED AFTER TRANSFORMER INSTALLATION. ANY EXCEPTIONS TO THIS RULE MUST BE APPROVED BY THE AEP ENGINEER IN WRITING, AFTER CONSULTING THE APPLICABLE LINE DEPARTMENT.
- 10.COMBUSTIBLE MATERIALS, COMBUSTIBLE BUILDINGS OR PART OF BUILDINGS, FIRE ESCAPES, AND DOOR AND WINDOW OPENINGS SHALL BE SAFEGUARDED FROM TRANSFORMER FIRES BY APPROVED SEPARATIONS, FIRE WALLS OR ENCLOSURES.
- 11.METERING CONDUIT 2" GALVANIZED STEEL OR RIGID CONDUIT OF SCH 40 OR DB. LESS THAN 25' IN LENGTH.
- 12.DUCTS THAT WILL HAVE PRIMARY CABLE ARE TO BE INSTALLED SIDE BY SIDE TOWARDS THE FRONT OF THE PAD. PRIMARY DUCTS MAY EXTEND IN ANY DIRECTION AS REQUIRED TO TERMINAL POLE. DO NOT INSTALL MORE THAN 2 ELBOWS TO A TERMINAL POLE.

RESPONSIBILITY MATRIX

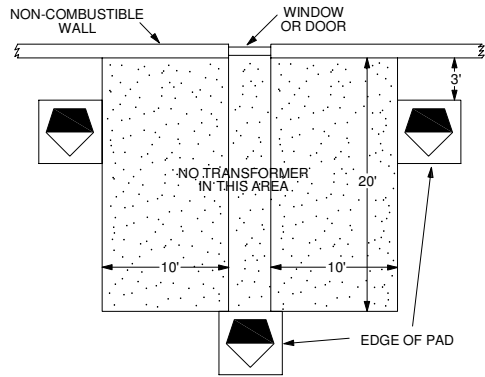
ITEMS TO BE FURNISHED & INSTALLED X- INDICATES RESPONSIBILITY TO FURNISH OR INSTALL	AEP TO FURNISH	AEP TO INSTALL	CUSTOMER TO FURNISH	CUSTOMER TO INSTALL
EASEMENT OR RIGHT OF WAY				
TERMINAL POLE AND FRAMING				
PRIMARY RISER				
TRENCHING (SEE DETAIL "D")				
PRIMARY CONDUIT				
SECONDARY CONDUIT				
SECONDARY CONDUCTORS & LUGS (SEE NOTE 4)				
METERING CONDUIT FROM TRANSFORMER TO METER TRIM				
PULLING ROPE IN CONDUITS				
SLEEVE FOR GROUNDING ROD				
CONCRETE PAD AND SUBSURFACE PADBOX				
PROTECTION BARRIER (SEE DETAIL "C")				
TRANSFORMER				
SECURITY PADLOCK				
GROUNDING OF TRANSFORMER				
PRIMARY CABLE				
LOADBREAK CONNECTORS (ELBOWS)				
TERMINATORS				
METER				
METER TRIM				
METERING TRANSFORMERS APPROVED BY METER DEPT. DATE				
METER WIRE FROM METERING TRANSFORMERS TO METER				



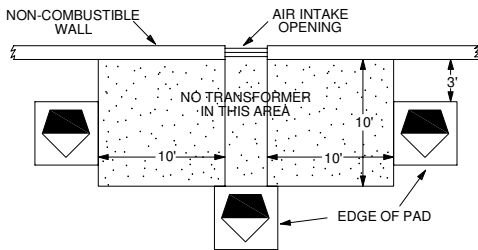
DETAIL "A" PRIMARY COMPARTMENT



MAINTAIN 36" FROM PARALLEL UTILITIES AND 12" SEPARATION AT ALL UTILITY CROSSINGS



TRANSFORMER SHOULD NOT BE LOCATED WITHIN A ZONE EXTENDING 20' OUTWARD AND 10' TO EITHER SIDE OF A BUILDING DOOR OR WINDOW.



TRANSFORMER SHOULD NOT BE LOCATED WITHIN A ZONE EXTENDING 10' OUTWARD AND 10' TO EITHER SIDE OF AN AIR INTAKE OPENING. IF THE AIR INTAKE IS ABOVE THE TRANSFORMER, THERE MUST BE A 25' VERTICAL DISTANCE FROM THE OPENING TO THE TRANSFORMER

TRANSFORMER SIZE 225kVA PRIMARY VOLTAGE 34.5 kV TOTAL CONNECTED LOAD kW
SECONDARY VOLTAGE 120/208 V ESTIMATED DEMAND 200kW

JOB SCOPE: IN 280' OF 3-1/0 AL (178' BORE + 102' CUST CDT), 225kVA 120/208V XFMR

LOCATION: 5065 FOREST DR

CITY: NEW ALBANY

TWP: OH: WO:

COUNTY: FRANKLIN UG: 89562136 WO: DOP0409903



AREA: 036 NE

STATION: 00005

CIRCUIT: 33

VOLTAGE: 34.5kV

TECH: JEFF ANTHONY

CONTACT # 614.365.1082

DATE: 5/21/2025

NON DESIGN ORDERS

OWR: 89424997

OPS: 105589402

SHEET 2 OF 2