



**New Albany Planning Commission Meeting Agenda**  
Monday, August 18, 2025, at 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comments at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

**I. Call to order**

**II. Roll call**

**III. Action on minutes:** July 21, 2025

**IV. Additions or corrections to the agenda**

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

**V. Hearing of visitors for items not on tonight's agenda**

**VI. Cases:**

**FDP-57-2025 Nationwide Children's Hospital FDP**

Final development plan to develop a pediatric medical center generally located south and southwest of State Route 161, north of East Dublin-Granville Road, east of Johnstown Road/U.S. Route 62, and west of Kitzmiller Road (PIDs: 222-005431 and 222-005432).

**Applicant: Bryce Shirley**

*Motion of acceptance of staff reports and related documents into the record for FDP-57-2025.*

*Motion of approval for application FDP-57-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.*

**CU-55-2025 Courtyards at Haines Creek CU**

Conditional use request to allow a temporary sales trailer with associated landscaping, parking, and signage for the Courtyards at Haines Creek subdivision on a 0.341-acre site located at 5675 Lourdes Drive (PID: 222-005481).

**Applicant: EC New Vision Ohio, LLC**

*Motion of acceptance of staff reports and related documents into the record for CU-55-2025.*

*Motion of approval for application CU-55-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval.*

**FDM-58-2025 Courtyards at Haines Creek FDP Modification**

Final development plan modification to provide updated architecture elevations for the Courtyards at Haines Creek subdivision generally located at the northwest corner of Central College Road and Jug Street Road (PID: 222-005158 and 47 others). See page 3 for the full parcel list.

**Applicant: EC New Vision Ohio, LLC**

*Motion of acceptance of staff reports and related documents into the record for FDM-58-2025.*

*Motion of approval for application FDM-58-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval*

**VAR-59-2025 4 Highgrove Farms Variance**

Variance to encroach into the 30-foot rear yard setback on 0.85 acres of land located at 4 Highgrove Farms (PID: 222-004626-00).

**Applicant: Ghiloni Custom Builders c/o Vince Ghiloni**

*Motion of acceptance of staff reports and related documents into the record for VAR-59-2025.*

*Motion of approval for application VAR-59-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval*

**CU-62-2025 Nottingham Trace Model Home CU Extension**

Conditional use extension to allow an existing model home to continue operations in the Nottingham Trace subdivision (PIDs: 222-004904, 222-004905 and 222-004906).

**Applicant: Nicki Martin**

*Motion of acceptance of staff reports and related documents into the record for CU-62-2025.*

*Motion of approval for application CU-62-2025 based on the findings in the staff report with the conditions listed in the staff report, subject to staff approval*

**VII. Other business**

1. City Code Amendment: C.O. 1105.02 – Zoning Definitions
2. City Code Amendment: C.O. 1153 General Employment – Architectural Changes
3. City Code Amendment: C.O. 1157 Architectural Review Overlay District
4. City Code Amendment: C.O. 1169.08 – Sign Area and Other Measurement Calculations

**VIII. Poll members for comment****IX. Adjournment**

**THE COURTYARDS AT HAINES CREEK  
PARCELS INCLUDED IN DEVELOPMENT TEXT MODIFICATION  
APPLICATION**

Franklin County Auditor Parcel Numbers:

222-005158 222-005466 222-005468  
222-005159 222-005447 222-005467  
222-005498 222-005448  
222-005486 222-005449  
222-005487 222-005450  
222-005488 222-005451  
222-005490 222-005452  
222-005491 222-005453  
222-005492 222-005454  
222-005484 222-005455  
222-005485 222-005481  
222-005483 222-005480  
222-005482 222-005479  
222-005456 222-005478  
222-005457 222-005477  
222-005458 222-005476  
222-005459 222-005475  
222-005460 222-005474  
222-005461 222-005473  
222-005462 222-005472  
222-005463 222-005471  
222-005464 222-005470  
222-005465 222-005469

\*Reserves A, B, F, G, H, & I have been omitted as they are not affected by the elevation updates submitted in application (222-05493; 222-005494; 222-0055495; 222- 222-005496; 222-005497; 222-005489).



COMMUNITY CONNECTS US

Planning Commission Staff Report  
August 18, 2025 Meeting

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**4 HIGHGROVE FARMS  
BUILDING SETBACK VARIANCE**

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LOCATION: 4 Highgrove Farms (PID: 222-004636)  
APPLICANT: Ghiloni Custom Builders c/o Vince Ghiloni  
REQUEST: Variance to the West Nine 2 Subarea C 4(d) to reduce the rear yard setback requirement from 30 feet to 14 feet  
ZONING: West Nine 2 C-PUD (Comprehensive Planned Unit Development)  
STRATEGIC PLAN: Residential  
APPLICATION: VAR-59-2025

Review based on: Application materials received on July 24, 2025

*Staff report prepared by Kylie Blackburn, Planner.*

**I. REQUEST AND BACKGROUND**

The applicant is requesting a variance to the West Nine Zoning Text to reduce the required 30-foot rear yard building setback to 14 feet for an addition connecting to the existing home and be located in the northwestern portion of the property.

The addition will consist of two garage spaces, a pool house, and a carriage house-type living space.

A similar request was approved in 2017 for 7014 Hanby’s Loop to allow for a reduction of the 30-foot rear yard building setback to 15 feet for the construction of a single-family residence (VAR-62-2017). It was approved with conditions by PC, requiring the applicant not to encroach into the setback no more than one foot as presented to the Commission and to keep their AC unit out of the setback. This property is in the same zoning district as the presented variance and is located south of 4 Highgrove Farms

**II. SITE DESCRIPTION & USE**

The property is 0.85 acres and contains a single-family home on a corner lot. The lot is located within the New Albany Country Club Section 28 Ebrington. The home was built in 2016, and the current owner bought the house in 2023. The property is southwest of the intersection of Highgrove and Highgrove Farms and west of the New Albany Country Club. The property is surrounded by other residential properties.

**III. EVALUATION**

The application complies with application submittal requirements in C.O. 1113.03 and is considered complete. The property owners within 200 feet of the property in question have been notified.

***Criteria***

The standard for granting of an area variance is set forth in the case of Duncan v. Village of Middlefield, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:



All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the “practical difficulties” standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (Section 1113.06):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

#### **IV. ASSESSMENT**

##### ***Consideration and Basis for Decision***

##### **(A) Variance to West Nine 2 C-PUD Zoning Text Subarea C 4(d) to encroach into the 30-foot rear yard setback**

The following should be considered in the board’s decision:

1. This variance request is to allow the addition to be 14 feet from the rear property line, where the West Nine 2 C-PUD Zoning Text Subarea C 4(d) permits a minimum 30-foot rear yard setback.
2. The applicant seeks to add an addition that will consist of two garage spaces, a pool house, and a carriage house-type living space.
3. Special conditions and circumstances exist that are specific to this parcel and are not common to other properties in the zoning district. This property is a corner lot with frontage on two public streets, and due to how the lot was originally platted—before a home was designed—the orientation of the home resulted in the western lot line being classified as a rear lot line, triggering the 30-foot setback. In contrast, neighboring lots along Highgrove Farms have much larger acreage and greater flexibility in building placement. In addition, the orientation of the existing driveways and existing easements on the north, south, and west of the property creates a unique constraint on development options.

4. The proposed variance will not significantly alter the character of the neighborhood or create a substantial detriment to adjacent properties. The property to the west shares a boundary with what is classified as the rear lot line of Lot 4A, yet under current zoning regulations, that neighboring home could add onto its structure as close as 7 feet from this shared line. In contrast, the proposed garage on Lot 4A would maintain a setback of approximately 14 feet at its nearest point—twice the minimum distance permitted for the adjacent lot. The plans for the addition also show a significant amount of landscaping that will be added onto the site acting as a form of screening from the neighboring properties. This is consistent with the existing development patterns in the area.
5. The variance preserves the spirit and intent of the zoning requirement. While the West Nine 2 C-PUD Zoning Text requires a 30-foot rear yard setback in Subarea C, it also permits 15-foot rear setbacks for lots 42–55 in the adjacent Ebrington section of the same zoning district, indicating that reduced rear setbacks are consistent with the broader development goals. In this case, although the proposed addition would encroach into the rear yard, the property will still maintain a 30-foot setback along the southern lot line, which serves as its side yard but would have been the rear yard had the home been oriented differently. This orientation also aligns with the existing pattern of homes on Highgrove Farms, helping to preserve a consistent and intentional streetscape. The variance allows the property to conform with both the zoning’s intent and the character of surrounding development.
6. The variance request does not appear to be substantial. The proposed garage would be only one foot closer to the rear lot line than what is permitted for other properties under the same zoning text. If the home had been oriented with the rear yard on the south side, the structure would meet all setback requirements without a variance. Additionally, allowing this variance supports a consistent streetscape, as it aligns the home’s orientation with neighboring properties in Highgrove Farms. This creates a more unified and aesthetically appropriate appearance within the development.
7. The granting of the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
8. This variance does not negatively impact the delivery of government services.

#### **IV. SUMMARY**

The applicant requests a variance to allow an addition—consisting of two garage spaces, a pool house, and a carriage house-style living space—to be constructed 14 feet from the rear property line, where a 30-foot setback is required by the West Nine 2 C-PUD Zoning Text. Unique site conditions, including the lot’s corner configuration, dual street frontage, existing easements, and the orientation of the original home, result in the western property line being classified as the rear yard, creating a unique circumstance. The proposed setback is consistent with development patterns in the area and maintains a greater distance from the shared lot line than what is permitted for the neighboring property to the west. The variance supports a cohesive streetscape and preserves the overall intent of the zoning code.

#### **V. ACTION**

Should the Planning Commission find that the application has sufficient basis for approval, the following motion is appropriate.

Move to approve application VAR-59-2025 based on the findings in the staff report (conditions of approval may be added).

**Approximate Site Location:**



Source: NearMap





Community Development Planning Application

Submission	Submit planning applications and all required materials via email to <a href="mailto:planning@newalbanyohio.org">planning@newalbanyohio.org</a>																									
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.																									
Project Information	Site Address <u>4 Highgrove Farms</u>																									
	Parcel Numbers <u>222-004636-00</u>																									
	Acres <u>.85</u>	# of lots created <u>1</u>																								
Project Information	<table><tr><th>Choose Application Type</th><th>Description of Request:</th></tr><tr><td><input type="checkbox"/> Appeal</td><td><input type="checkbox"/> Extension Request</td></tr><tr><td><input type="checkbox"/> Certificate of Appropriateness</td><td><input checked="" type="checkbox"/> Variance</td></tr><tr><td><input type="checkbox"/> Conditional Use</td><td><input type="checkbox"/> Vacation</td></tr><tr><td><input type="checkbox"/> Development Plan</td><td></td></tr><tr><td><input type="checkbox"/> Plat</td><td></td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td></tr><tr><td><input type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr><tr><td><input type="checkbox"/> Zoning Text Modification</td><td></td></tr></table>		Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	<input type="checkbox"/> Extension Request	<input type="checkbox"/> Certificate of Appropriateness	<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Vacation	<input type="checkbox"/> Development Plan		<input type="checkbox"/> Plat		<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification					
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Contacts	<table><tr><th colspan="2">Applicant Information</th><th colspan="2">Property Owner Information</th></tr><tr><td>Name</td><td>Ghiloni Custom Builders - Vince Ghiloni</td><td>Name</td><td>Daniel &amp; Kelli Sa</td></tr><tr><td>Address</td><td>3232 Canyon Rd</td><td>Address</td><td>4 Highgrove Farms</td></tr><tr><td>City, State, Zip</td><td>Granville, Ohio 43023</td><td>City, State, Zip</td><td>New Albany, Ohio 43054</td></tr><tr><td>Phone Number</td><td>740-334-9977</td><td>Phone Number</td><td>614-226-7345</td></tr><tr><td>Email</td><td>maryjane@ghilonigroup.com</td><td>Email</td><td>dsa@nfmlending.com</td></tr></table>		Applicant Information		Property Owner Information		Name	Ghiloni Custom Builders - Vince Ghiloni	Name	Daniel & Kelli Sa	Address	3232 Canyon Rd	Address	4 Highgrove Farms	City, State, Zip	Granville, Ohio 43023	City, State, Zip	New Albany, Ohio 43054	Phone Number	740-334-9977	Phone Number	614-226-7345	Email	maryjane@ghilonigroup.com	Email	dsa@nfmlending.com
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	Email	maryjane@ghilonigroup.com	Email	dsa@nfmlending.com																						
	Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																								
		<table><tr><td>Signature of Owner</td><td><u>Daniel Sa</u> <small>Digitally signed by Daniel Sa Date: 2025.07.17 14:50:38 -0400</small></td><td>Date:</td><td><u>7/17/25</u></td></tr><tr><td>Signature of Applicant</td><td><u>Daniel Sa</u> <small>Digitally signed by Daniel Sa Date: 2025.07.17 14:50:55 -0400</small></td><td>Date:</td><td></td></tr></table>		Signature of Owner	<u>Daniel Sa</u> <small>Digitally signed by Daniel Sa Date: 2025.07.17 14:50:38 -0400</small>	Date:	<u>7/17/25</u>	Signature of Applicant	<u>Daniel Sa</u> <small>Digitally signed by Daniel Sa Date: 2025.07.17 14:50:55 -0400</small>	Date:																
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Signature of Applicant	<u>Daniel Sa</u> <small>Digitally signed by Daniel Sa Date: 2025.07.17 14:50:55 -0400</small>	Date:																								

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

The logo for Ghiloni Custom Builders Inc. features the company name in a serif font, with 'GHILONI' on the top line, 'CUSTOM' on the second line, and 'BUILDERS INC.' on the third line. A large, stylized, light gray 'G' is positioned behind the text, with its top loop extending above 'GHILONI' and its bottom loop extending below 'BUILDERS INC.'.

# GHILONI CUSTOM BUILDERS INC.

*We start with clients – We finish with friends*

Names and addresses of all property owners with 200 feet, contiguous to, and directly across the street from the property, as appearing on the Franklin County Auditor's current tax list.

- Owner Name – Jacob and Lindsey Osborn  
Address – 5 Highgrove Farms – New Albany, Ohio 43054  
Parcel - #222-004637-00
- Owner Name – Kevin Klingerman TTEE (The K2 Real Estate Trust)  
Address – 3 Highgrove Farms – New Albany, Ohio 43054  
Parcel - #222-004635-00
- Owner Name – Donna B Akins TR  
Address – 6 Highgrove Farms – New Albany, Ohio 43054  
Parcel - #222-004638-00
- Owner Name – Randall Welch and Cynthia Heit-Welch  
Address – 7 Highgrove Farms – New Albany, Ohio 43054  
Parcel - #222-004639-00
- Owner Name – 8 Highgrove Farms LLC  
Address – 8 Highgrove Farms – New Albany, Ohio 43054  
Parcel - #222-004640-00
- Owner Name – Eric and Heather Hunter TR  
Address – 9 Highgrove Farms – New Albany, Ohio 43054  
Parcel - #222-004641-00
- Owner Name – Jason M Hurst TR  
Address – 1 Highgrove Farms – New Albany, Ohio 43054  
Parcel - #222-004634-00
- Owner Name – New Albany Co LLC  
Address – 1 Club Lane – New Albany, Ohio 43054  
Parcel - #222-000568-00

3232 Canyon Road  
Granville, Ohio 43023  
Phone 740-587-0777  
[www.ghiloni-custom-builders.com](http://www.ghiloni-custom-builders.com)

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# GHILONI CUSTOM BUILDERS INC.

*We start with clients – We finish with friends*

- Owner Name – New Albany Co LLC  
Address – 1 Club Lane – New Albany, Ohio 43054  
Parcel - #222-002955-00

3232 Canyon Road  
Granville, Ohio 43023  
Phone 740-587-0777  
[www.ghiloni-custom-builders.com](http://www.ghiloni-custom-builders.com)

## VARIANCE APPLICATION SUPPORTING STATEMENT

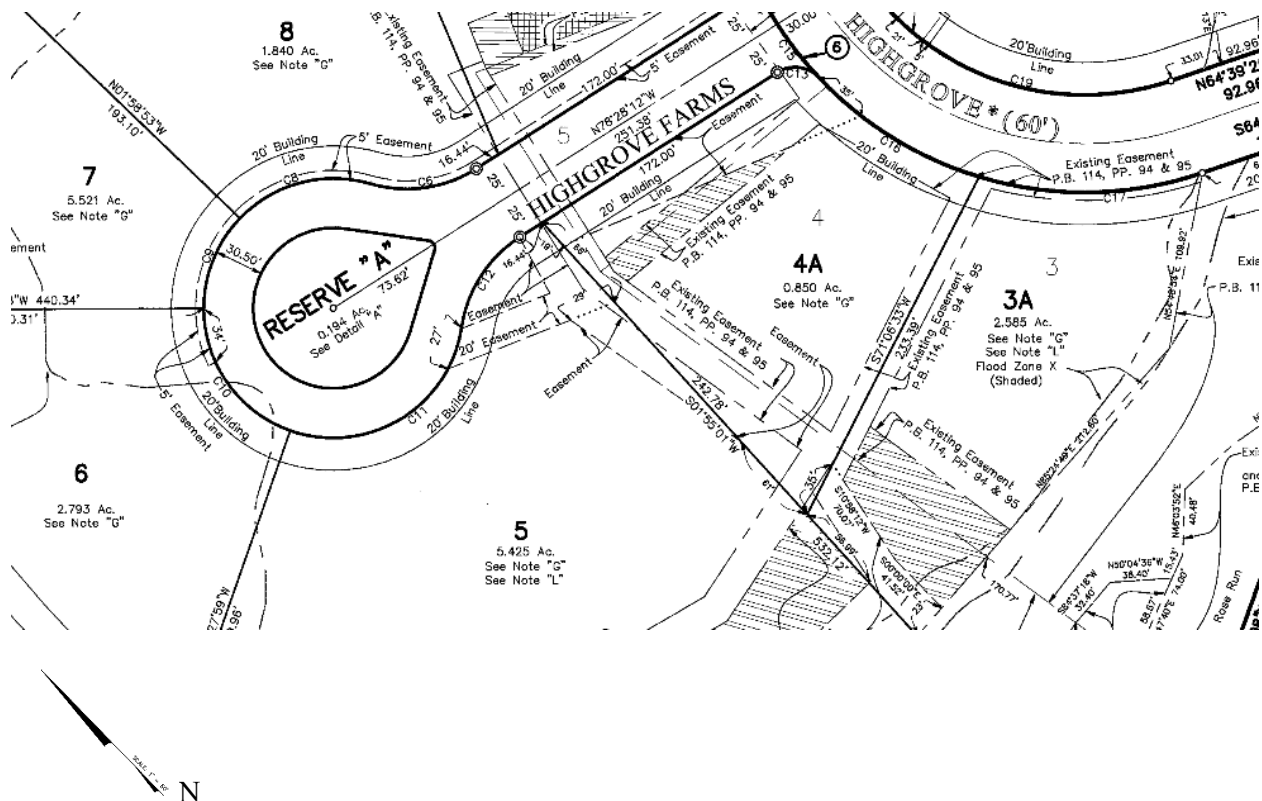
### 4 HIGHGROVE FARMS

#### Variance Request

This variance request applies to real property located generally to the southwest of and adjacent to the intersection of the two public streets known as Highgrove and Highgrove Farms, specifically Franklin County Auditor Parcel Number 222-004636. It seeks to reduce the required minimum rear yard setback on the property from 30 feet to 14 feet.

The Property is zoned C-PUD, Comprehensive Planned Unit Development in the West Nine 2 C-PUD, which was approved in 2007. It is located in Subarea C of that district, and the applicable zoning provides the 30-foot rear yard setback requirement. An existing home exists on the property and was built in 2016. The applicant acquired the property in 2023 and is planning improvements to the parcel which include an addition connecting to the existing home and to be located in the northwestern portion of the property. The addition will consist of two garage spaces, a pool house, and a carriage house-type living space, bringing the total on the site from three garages to five.

The parcel is a corner lot, known as Lot 4A of Highgrove Farms. The image below provides a snapshot of the lot on the plat:



At the time Lot 4A was platted, it was unknown on which public street a future home would front. That later decision effectively defined which perimeter boundary line for the parcel would be deemed to be the rear lot line and which other boundary lines would be side lot lines. The home was



constructed facing the street known as Highgrove (meaning it faces eastward), and therefore the western lot line for Lot 4A is now deemed to be the rear lot line:



The requested variance is to allow the new garage to be placed a minimum of 14 feet from the rear property line. The geometry of the lot, combined with the existing curb cut location from the street known as Highgrove Farms on the north, the location of the existing home, and the existence of easements on the parcel create a practical difficulty necessitating the variance. The Codified Ordinances provide the factors to be considered when reviewing a variance application. Section 1113.06 provides that a variance shall be approved if the findings are made which are detailed in subsections (a) through (e) thereof (detailed below). Additionally, in *Duncan v. Middlefield* (1986), 23 Ohio St.3d 83, the Ohio Supreme Court provided factors to be weighed in addition to that required by local code. It should be noted that the case provides for a weighing of factors. Not all of them must be met and no single factor controls. The test is described as being a determination of the existence of a “practical difficulty.”

#### **Codified Ordinance Factors**

The factors that are to be considered when reviewing a variance request pursuant to Code Sections 1113.06(a)-(e) are in bold below, with each being followed by an analysis of that factor in the context of this variance request.



**(a) That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.**

As mentioned above, when the subject property was zoned in 2007 and later platted in 2013, no home had been designed for construction thereon. With frontages on two public streets, it was undetermined which street would be considered to be the “frontage street” for a future home. A home was later designed with frontage on the street known as Highgrove, resulting in the western boundary of the lot being considered as the rear lot line, and the side lot lines being on the north and south. In addition to having vehicular access to the public street system from a driveway connecting to the Highgrove frontage street, another vehicular access point was provided via a driveway running through the northern side yard and connecting to the street known as Highgrove Farms.

The applicable zoning text provides for a minimum rear yard setback of 30 feet but would provide for minimum setback of 7 feet if the lot line in question were a side lot line. So, if the home had been constructed with its front being oriented northward toward the street known as Highgrove Farms, then it could have been constructed within 7 feet of the western lot line. With the orientation being eastward instead, it increased the minimum setback requirement significantly. The point being that, with the approval of this variance, it will result in an accessory structure being located at its closest point to the rear lot line at double the minimum distance from the western property line for the subject property than would have been the case for a much more substantial primary dwelling structure had been constructed facing northward. In fact, the western lot line of the subject parcel serves as the side lot line of the adjacent parcel to the west.

The existence of wide easements along the rear of the lot ensures that the home addition only gets as close to 14 feet from the rear lot line at one corner. The home addition is designed off of parallel with the rear lot line to avoid these easements, meaning that it only reaches the proposed reduced setback at its northwestern corner. Please see accompanying exhibit(s) illustrating easement locations.

In summary, collectively these are the special conditions and circumstances that are peculiar to the land and structure s involved:

- Lot 4A is a corner lot.
- The choice of the home’s primary street frontage results in a large discrepancy in the setback requirements from the western lot line.
- The existing driveway providing access to the public street on the north, combined with the shapes and sizes of the easements burdening the western side of the lot, create limitations on where the garage portion of the home addition may be located.
- The western lot line serves as the rear lot line for the subject parcel but tis the side lot for the adjacent parcel to the west.

**(b) That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.**

A literal interpretation of the zoning provision in this case deprives the property owner of rights commonly enjoyed by other properties in the same zoning district. The only logical location on the lot for additional garage space is the location where the addition is proposed. Architecturally it is not appropriate

to be placed to the front of the existing home or within the southern side yard of the lot, where the only plausible and legal placement of a garage may be a single bay with a garage door facing the street. No other homes in Highgrove have a garage door oriented to the front lot line. Without the home addition, the lot will contain three garage bays while other lots while neighboring homes contain seven bays, 6 bays, and 4 bays, respectively.

**(c) That the special conditions and circumstances do not result from the action of the applicant.**

The current applicant did not own the property at the time the home was built, so a prior owner designed it. The neighborhood in which Lot 4A is located was designed to allow for the construction of custom homes. When the site was zoned and then later platted, a specific site plan for development was not required. Eventually a home was constructed which was oriented eastward. For an estate home of this size located on a corner lot in New Albany, two vehicular access points are common and certainly make sense here: One for visitor access, and one for resident access to garage parking. Due to traffic safety considerations, those access points are best placed as far away from a street intersection as practical, subject to design considerations for the home. The location of the northern vehicular access point for Lot 4A shrinks the buildable area for a new garage, given the rear yard setback requirement. If the western boundary line were considered to be a side yard, the same constraint would not be present. None of these conditions were the result of direct action by the applicant.

**(d) That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.**

No special privileges will be granted to the applicant as a result of this variance. The lot's condition as a corner lot distinguishes it from most others. The adjacent parcel to the west has its side lot line sharing the boundary with what is technically Lot 4A's rear boundary. Therefore, that parcel owner could construct an addition to the exiting dwelling extending to as close as 7 feet to the shared boundary line. The requested variance on Lot 4A will allow a garage to be located at a distance at its closest point which is double the adjacent parcel's required setback from the same line.

**(e) That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.**

The variance will have no adverse effects on health and safety and will not in any manner affect the public welfare or be injurious to private property or public improvements. It will allow a setback condition that will exceed what would otherwise be required if the western lot line were considered to be a side yard rather than a rear yard. The adjacent neighbor has the right to construct structures closer to the shared lot line than would be permitted by this variance, and the approved zoning for the neighborhood illustrates a policy decision by the City that structures which are in this close of proximity to a lot line are safe. The subject lot's southern boundary line effectively serves as its rear lot line, and the setback provided under existing conditions respects the 30-foot setback that would apply if it were, in fact, the rear lot line.

### **Duncan v. Middlefield Factors**

The factors to be considered and weighed in determining whether a property owner seeking an area variance has encountered practical difficulties in the use of its property include, according to the Ohio Supreme Court in *Duncan v. Middlefield*, those which are bolded below (analysis of this variance is

provided after each). Again, the case provides for a weighing of factors. Not all of them must be met and no single factor controls.

**(1) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;**

There can be beneficial use of the property without the variance, but it will not realize the same benefits as other properties in the neighborhood without it. Within the Highgrove community, four or more garages are present on most, if not all, lots. The site constraints that are present on Lot 4A greatly diminish the capacity of the parcel to accommodate improvements which are common in close proximity and inhibit the design of an architecturally compatible and appropriate garage addition.

**(2) Whether the variance is substantial;**

This variance is not substantial. It requests that the new structure will reach as close as 14 feet to the rear lot line at only a limited point, with the structure being designed to be further from the lot line as one moves southward. It will exceed minimum setbacks that apply to the other side of the western lot line.

**(3) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance;**

The variance will not alter the essential character of the area. It will facilitate an addition to the lot that provides more garage space and other usable square footage such as a pool house, which is common in Highgrove. Moreover, the applicable zoning standards demonstrate that relatively small setbacks from lot lines were contemplated and encouraged at the time of zoning.

**(1) Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);**

The variance will not adversely affect the delivery of governmental services. It will have no impact on any of them.

**(5) Whether the property owner purchased the property with knowledge of the zoning restriction;**

The current property owner presumably could have researched the required setbacks prior to purchasing the home. However, until a decision was made to design the proposed additional improvements, it is unlikely that the restraints that the setback requirement provides would have been evident.

**(6) Whether the property owner's predicament feasibly can be obviated through some method other than a variance;**

A variance is the only practical means to remedy the property owner's predicament. Without the variance, given the existing driveway condition on the north side of the property the significant setback requirement, and the architectural incompatibility with neighborhood precedent that would be present if another location on the lot were used for an addition, it is unlikely that a home addition that is consistent with the scope of those which are present on other parcels in the vicinity would be possible.

**(7) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance.**

The spirit and intent of the underlying zoning requirement will be observed and substantial justice will be done by granting the variance. The setback requirements of the underlying zoning for the property clearly were contemplated in the context of a lot with frontage on only a single public street. The unique conditions described above, in concert with the corner lot condition, justify the variance.

Daniel and Kelli Sa  
4 Highgrove Farms  
New Albany, Ohio 43054

July 12, 2025

Dear Neighbor:

Thank you for the recent conversations concerning the proposed additions to our home. We believe that these improvements, including additional garage space, a carriage house, and related amenities, will not only enhance our property but also the aesthetics of the neighborhood.

Given the pride that all of us have in our community, we thought it was important to reach out to you proactively to make you aware of our plans before beginning work on these enhancements. We have gained the approval of the project from the New Albany Country Club Association's Architectural Review Board. Based on applicable zoning regulations, in order to proceed we will need to obtain a variance from the required minimum rear yard setback for structures on our lot. An application for this variance will be filed with the City of New Albany in the coming days.

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If you are willing, please provide your signature, printed name, and address below to acknowledge that you are supportive of the variance. Thank you very much for your consideration. During the variance review process and throughout construction activities on our property, please feel free to reach out at any time with questions.

Sincerely,

Daniel and Kelli Sa

Paul + Paran Judge  
8 Highgrove Farms, New Albany  
OH. 43054

  
(PARAN JUDGE)

  
(PAUL JUDGE)

7/16/25

**Daniel and Kelli Sa**  
**4 Highgrove Farms**  
**New Albany, Ohio 43054**

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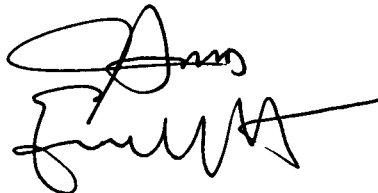
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Sincerely,

Daniel and Kelli Sa

Jason & Emily Hurst

1 Highgrove  
New Albany, OH  
43054





**Daniel and Kelli Sa  
4 Highgrove Farms  
New Albany, Ohio 43054**

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Daniel and Kelli Sa

Donna Akins  
6 Highgrove Farms

*Donna B. Akins*



Daniel and Kelli Sa  
4 Highgrove Farms  
New Albany, Ohio 43054

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Daniel and Kelli Sa

Lindsey Osborn

Jacob Osborn

LINDSEY + JACOB OSBORN  
5 HIGHGROVE FARMS

Daniel and Kelli Sa  
4 Highgrove Farms  
New Albany, Ohio 43054

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Sincerely,

Daniel and Kelli Sa

*Heather Hunter*

Heather Hunter

9 Highgrove Farms, New Albany



Daniel and Kelli Sa  
4 Highgrove Farms  
New Albany, Ohio 43054

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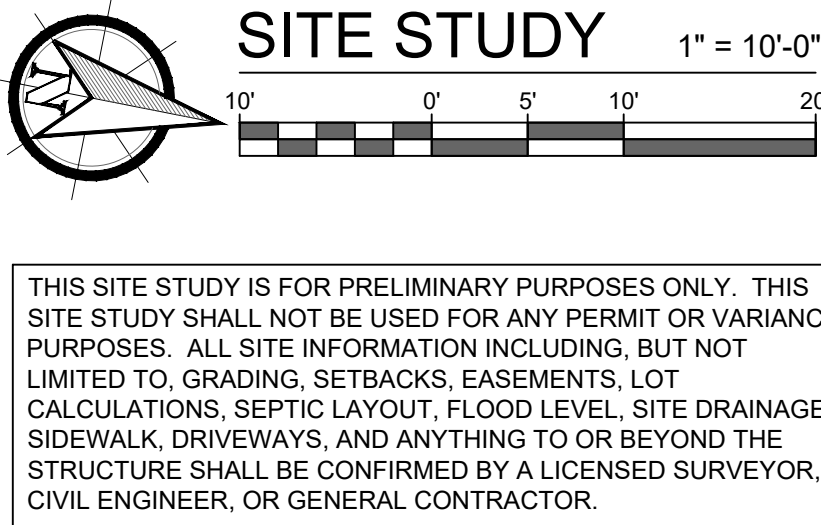
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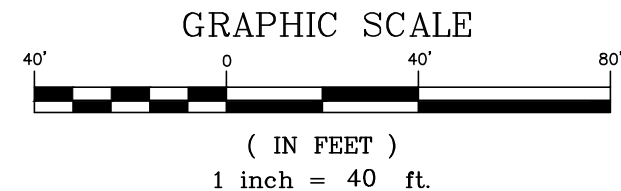
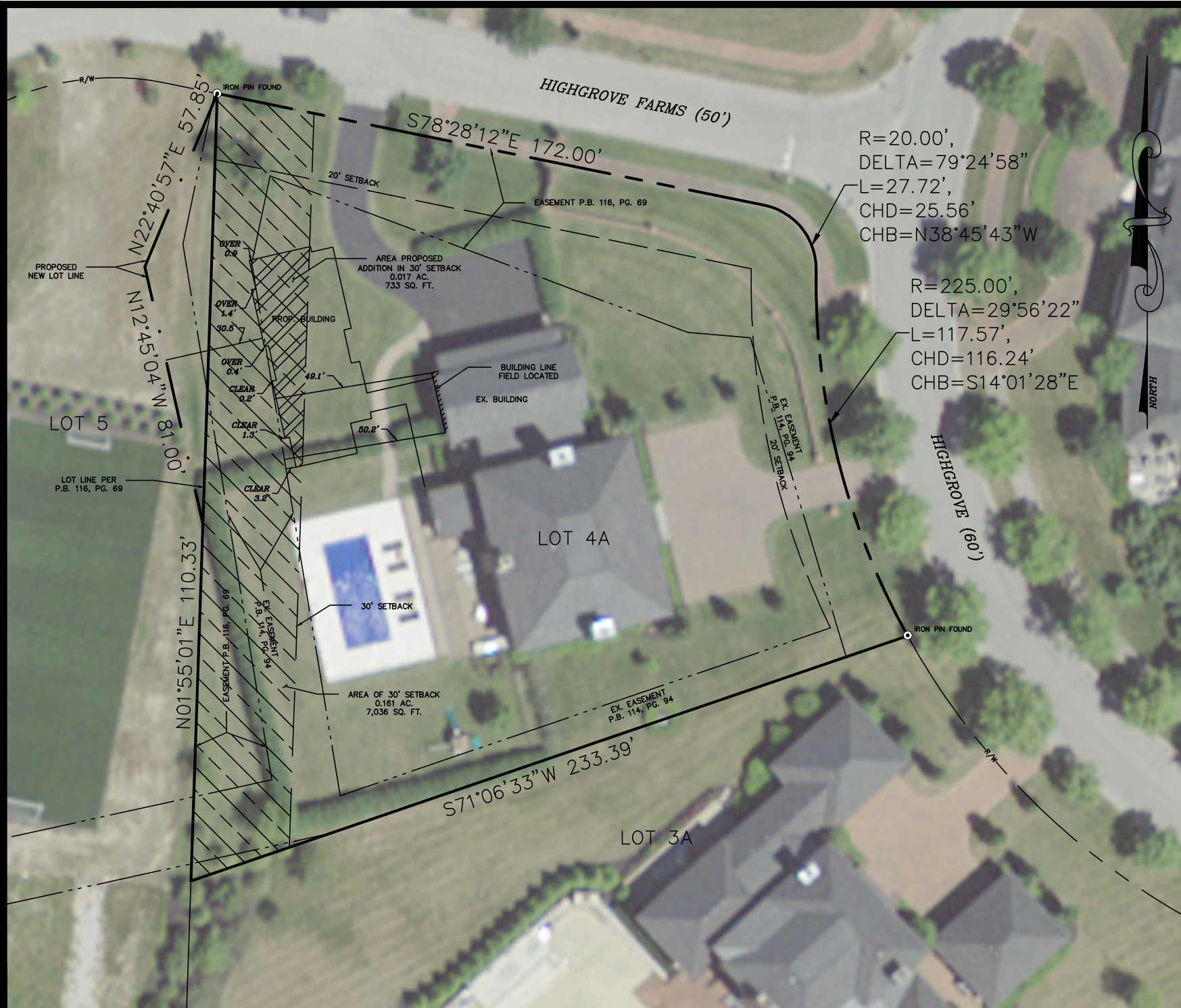
Daniel and Kelli Sa

Fully Support  
Kevin Klingerman  
3 Highgrove  
Kelli



	SCALE: 1" = 10'-0"
	SHEET # / DESCRIPTION
	SITE STUDY
	<b>A0-1</b>
	DATE: 07.30.2025
PRELIMINARY DESIGN	
SBA STUDIOS PROJECT # 2025-150	





## PROPOSED BUILDING ADDITION

LOT 4A OF HIGHGROVE FARMS SUBDIVISION,  
PLAT BOOK 116, PAGE 69  
CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO  
BUILDER: GHILONI CUSTOM BUILDERS  
OWNER: 4 HIGHGROVE, LLC (I.N. 202503110023243)  
ADDRESS: 4 HIGHGROVE, NEW ALBANY, OH 43054  
AUDITOR'S P.N.: 222-004636-00

WEST EDGE GARAGE FIELD LOCATED ON  
12/09/2024.

POOL AND SURROUNDING CONCRETE WAS NOT  
LOCATED AT TIME OF SURVEY.

PHOTO BACKGROUND IS APPROXIMATE AND  
SHOULD NOT BE USED FOR CONSTRUCTION  
PURPOSES.

THIS IS NOT A BOUNDARY SURVEY PER OAC  
4733-37.

INFORMATION SHOWN HEREON IS FROM RECORD  
PLATS, PLANS PROVIDED BY CLENT AND FIELD  
WORK PERFORMED 12/09/2024.



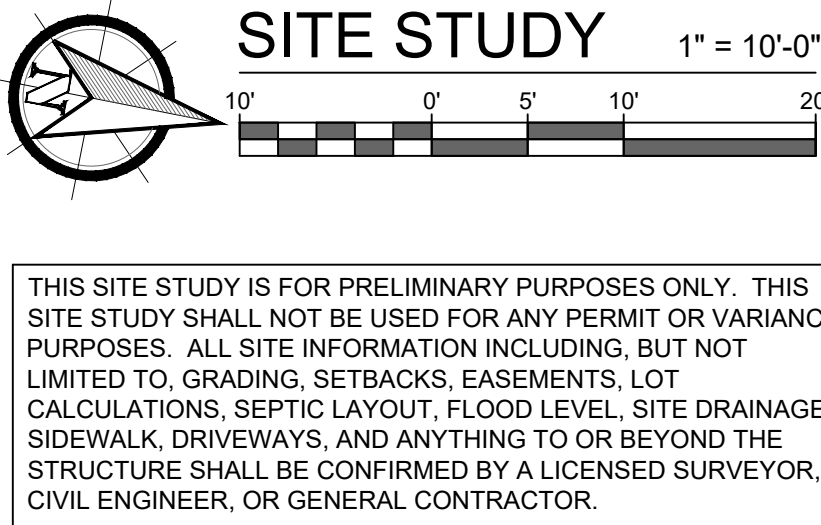
07/17/2025


Job No. 879301

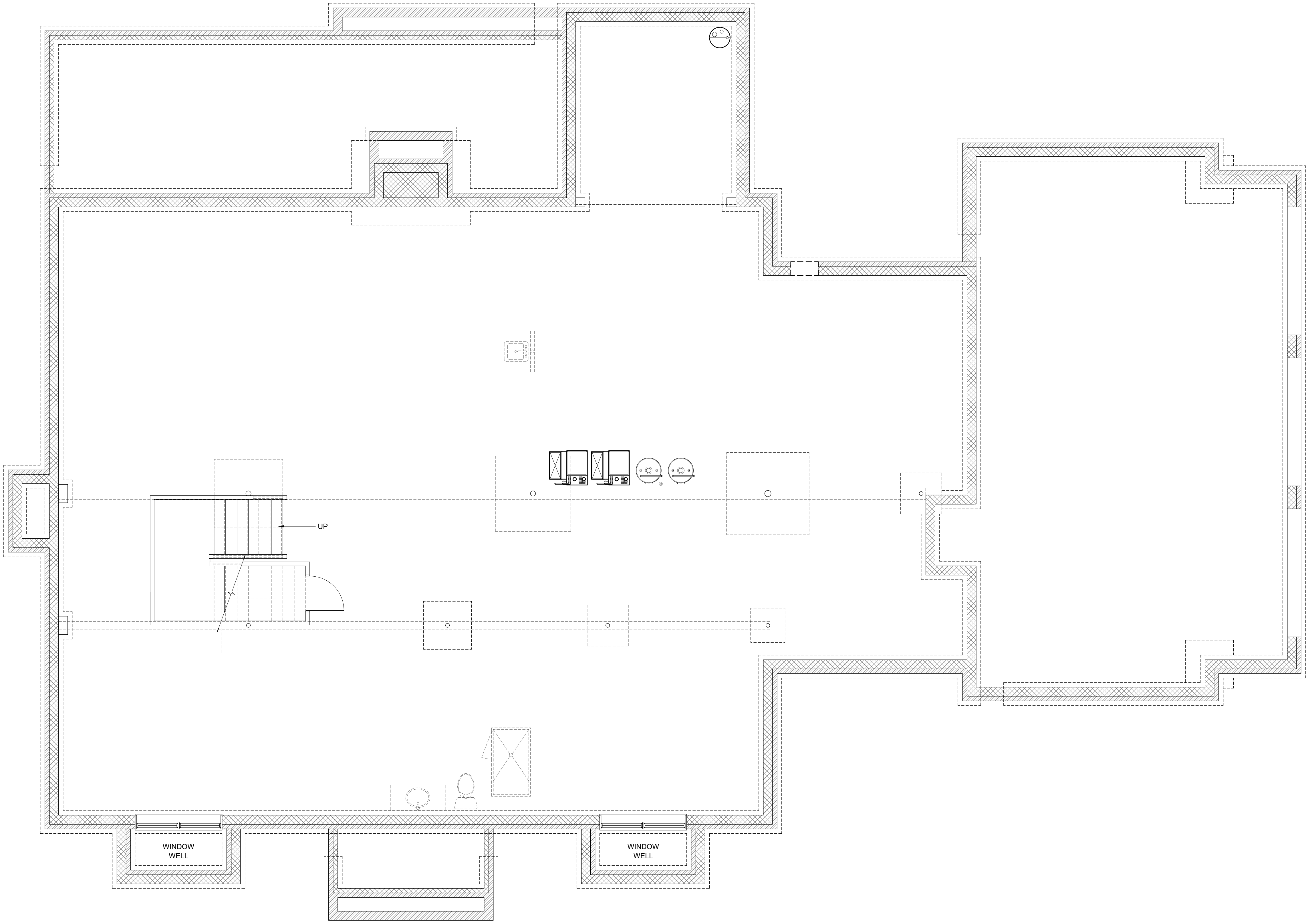
**SMART**  
SURVEYING • ENGINEERING • ENVIRONMENTAL  
SERVICES

88 W. CHURCH STREET, NEWARK, OHIO 43055  
PHONE: (740) 345-4700 FAX: (740) 522-4706





	SCALE: 1" = 10'-0"
	SHEET # / DESCRIPTION
	SITE STUDY
	<b>A0-1</b>
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DEMOLITION NOTES

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DEMOLITION WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL / ITEMS TO BE REMOVED

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054



STATE OF OHIO  
SCOTT BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

PRELIMINARY  
CONSTRUCTION

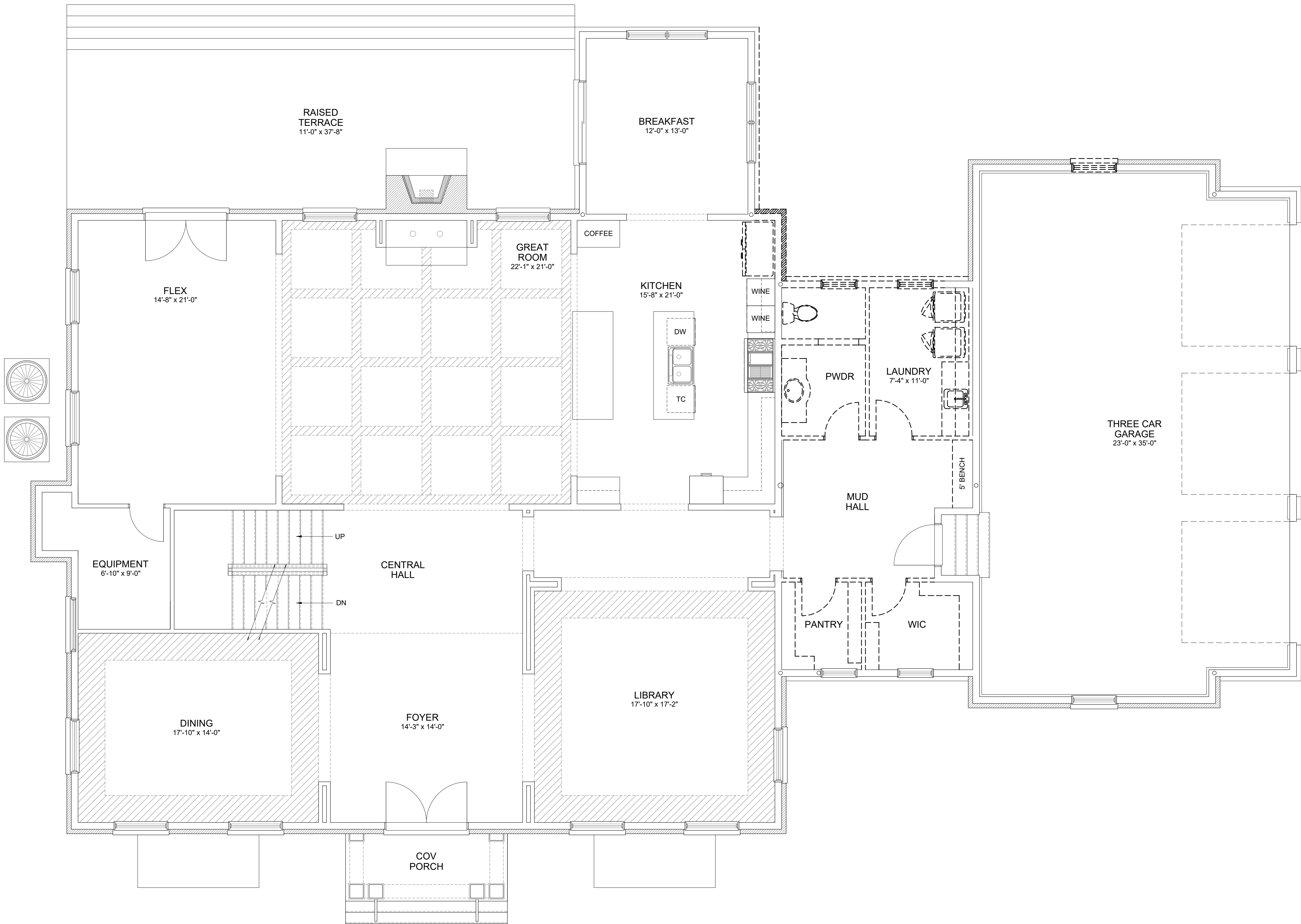
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SHEET # / DESCRIPTION  
BASEMENT DEMO PLAN

D1-0

DATE: 07.30.2025  
PRELIMINARY DESIGN  
SBA STUDIOS PROJECT # 2025-150





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SA ADDITION  
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NEW ALBANY, OH 43054



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION

1ST FLOOR DEMO PLAN

D1-1

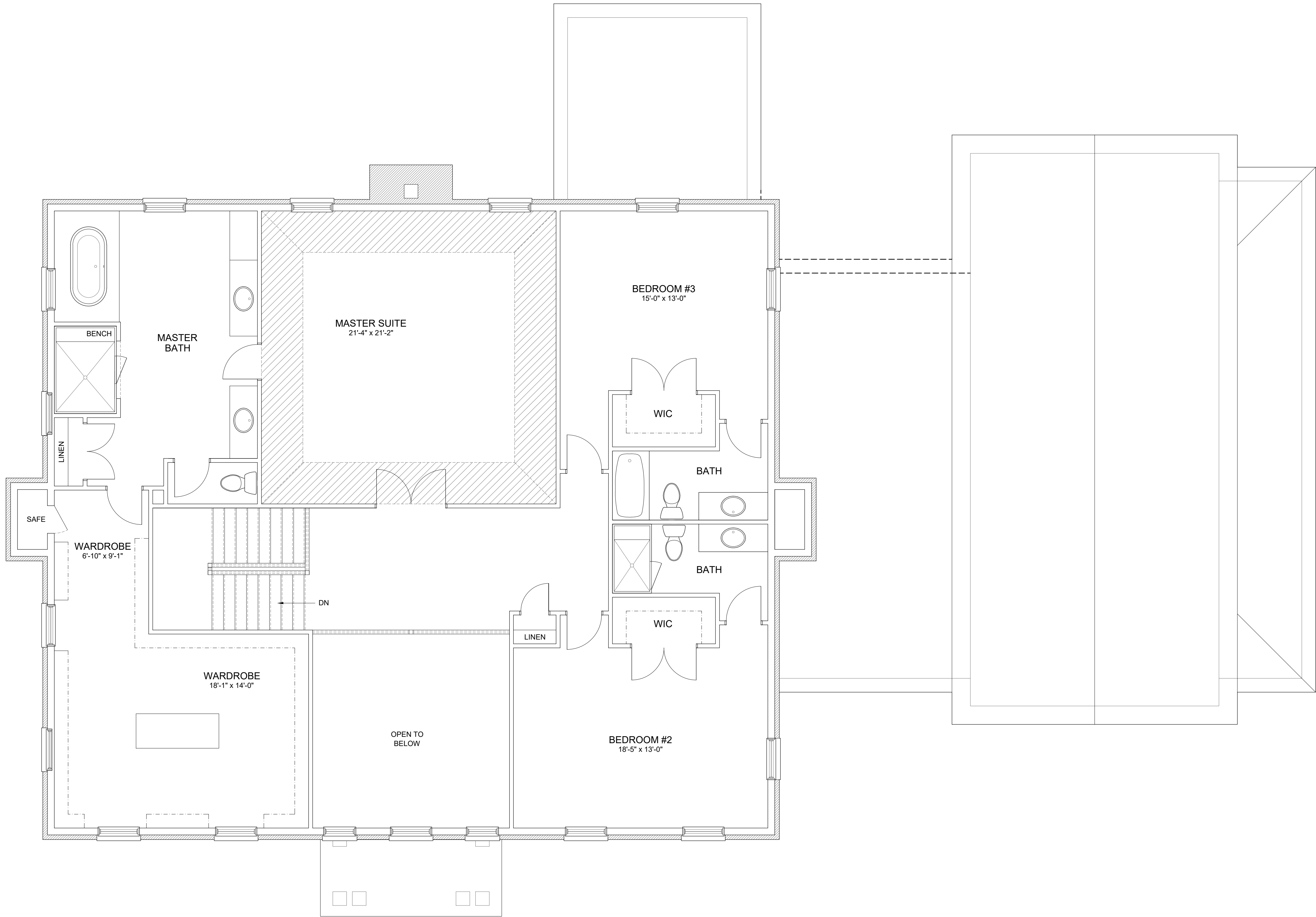
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PRELIMINARY DESIGN

SCOTT BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

SBA STUDIOS PROJECT # 2025-150





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2. AFTER UNCOVERING THE WORK, INSPECT EXISTING CONDITIONS AFFECTING INSTALLATION OF NEW WORK.
3. IF UNCOVERED CONDITIONS ARE NOT ANTICIPATED, IMMEDIATELY NOTIFY SBA STUDIOS, LLC IN WRITING AND SECURE NEEDED DIRECTIONS. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.
4. PROVIDE ALL REQUIRED PROTECTION INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK AND ANY ADJOINING STRUCTURES, PUBLIC WALKWAYS AND STREETS.
5. PERFORM ALL REQUIRED EXCAVATING AND BACK FILLING AS REQUIRED. PERFORM CUTTING, REMOVAL AND DEMOLITION WORK BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK AND SURROUNDING PUBLIC, PERSONAL AND REAL PROPERTY.

NOTE TO CONTRACTORS

1. IT IS VERY DIFFICULT TO CONFIRM EXACT EXISTING, PRE-BUILT ARCHITECTURAL CONDITIONS SUCH AS ROOF PITCHES, TOPOGRAPHIES, ENCLOSED STRUCTURAL MATERIALS, AND EXISTING MECHANICAL AND PLUMBING CONDITIONS. IF DISCREPANCIES OR CONFLICTS BETWEEN NEWLY DESIGNED SPACES AND EXISTING PORTIONS APPEAR, NOTIFY SBA STUDIOS, LLC IN WRITING IMMEDIATELY AND BEFORE CONTINUING CONSTRUCTION. CONTINUING CONSTRUCTION COULD LEAD TO ADDITIONAL AND POTENTIALLY EXPENSIVE ACCUMULATIVE CIRCUMSTANCES OCCURRING.

DEMOLITION WALL LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL / ITEMS TO BE REMOVED

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054



STATE OF OHIO  
COUNTY OF CUYAHOGA  
SCOTT BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

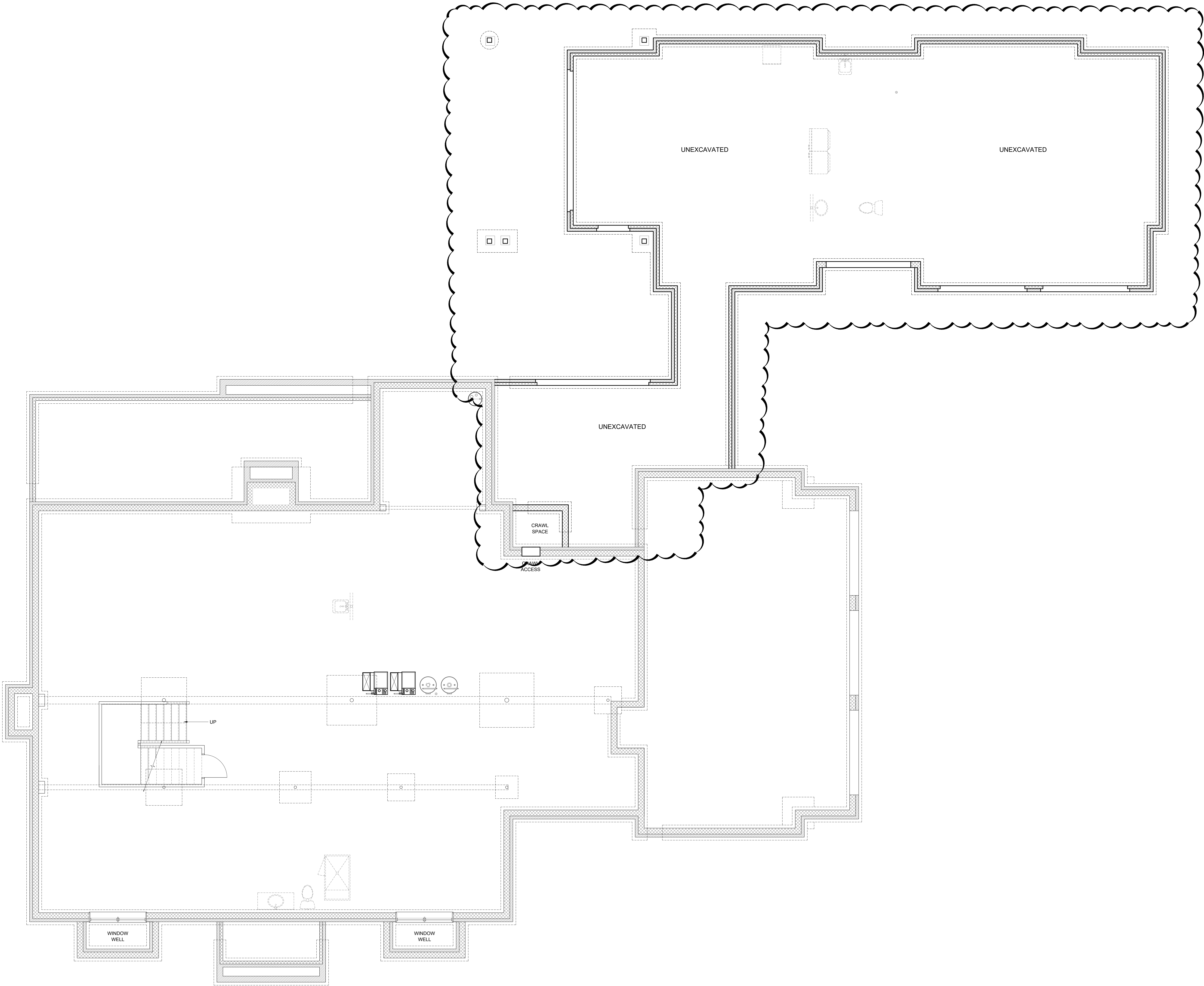
PRELIMINARY DESIGN  
SBA STUDIOS PROJECT # 2025-150

SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION  
2ND FLR DEMO PLAN

D1-2

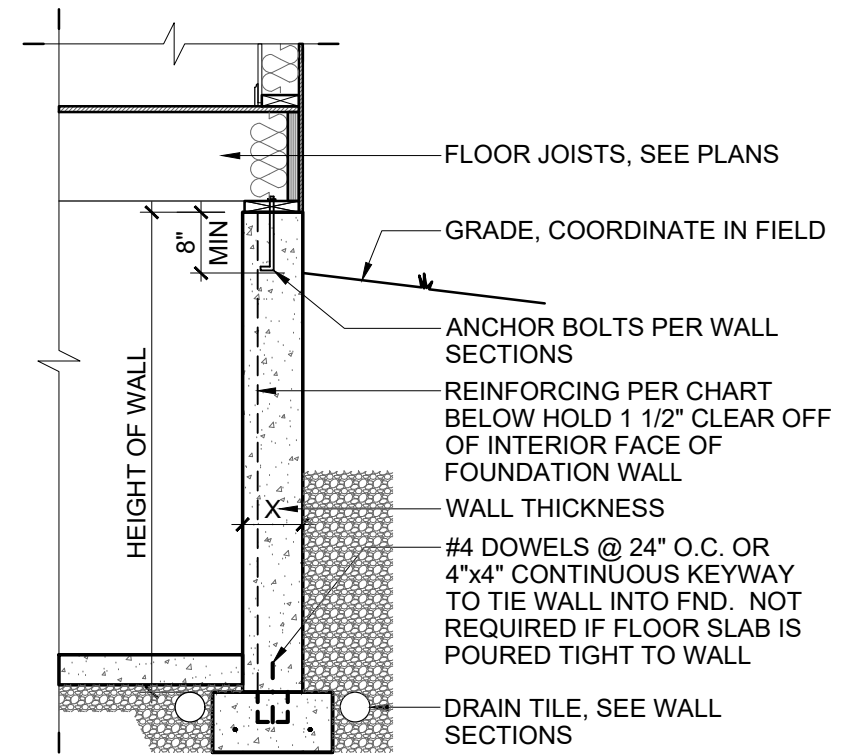
DATE: 07.30.2025



FOUNDATION NOTES

- ALL 8" FOUNDATION WALLS SHALL HAVE A MINIMUM 16" x 8" CONTINUOUS POURED CONCRETE FOOTING. SEE WALL SECTIONS.
- CONTRACTOR TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION.
- CEILING HEIGHTS IN BASEMENTS WITH HABITABLE SPACES OR HALLWAYS SHALL NOT BE LESS THAN 7'-0" CLEAR, EXCEPT UNDER BEAMS, DUCTS OR OTHER OBSTRUCTIONS WHERE THE CLEAR HEIGHT SHALL BE 6'-4" MINIMUM.
- ALL PREFABRICATED CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE 8" MINIMUM BEARING AT EACH END. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION.

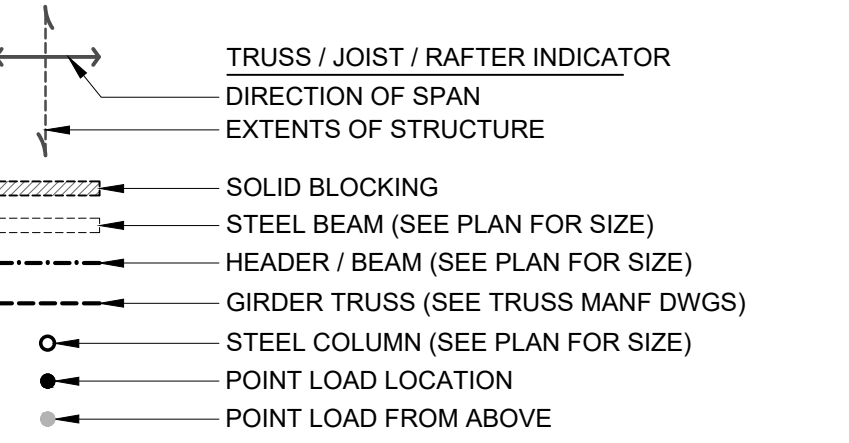
FOUNDATION WALL REINFORCING



MINIMUM HORIZONTAL REINFORCING: 8'-0" OR LESS IN HEIGHT: (1) #4 BAR WITHIN 12" OF TOP OF WALL AND AT MID HEIGHT. GREATER THAN 8'-0" IN HEIGHT, PROVIDE (1) #4 BAR WITHIN 12" OF TOP OF WALL AND AT THIRD POINTS OF THE WALL.

FOUNDATION WALL DESIGN - POURED WALLS				
CONCRETE = f <sub>c</sub> MIN = 3,000 PSI   REINFORCING f <sub>y</sub> MIN = 60,000 PSI, MAXIMUM EQUIVALENT SOIL PRESSURE = 55 PSF				
WALL MAX HEIGHT	WALL THICKNESS	WALL THICKNESS		
		8" THICK WALL	10" THICK WALL	12" THICK WALL
8'-0"	#5 @ 24" O.C.	NONE	NONE	NONE
9'-0"	#6 @ 32" O.C.	#6 @ 40" O.C.	NONE	NONE
10'-0"	#6 @ 16" O.C.	#6 @ 24" O.C.	#6 @ 32" O.C.	NONE

STRUCTURAL LEGEND



SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD (KS) & (1) JACK STUD (JS) EACH SIDE OF OPENING. U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION  
BASEMENT PLAN

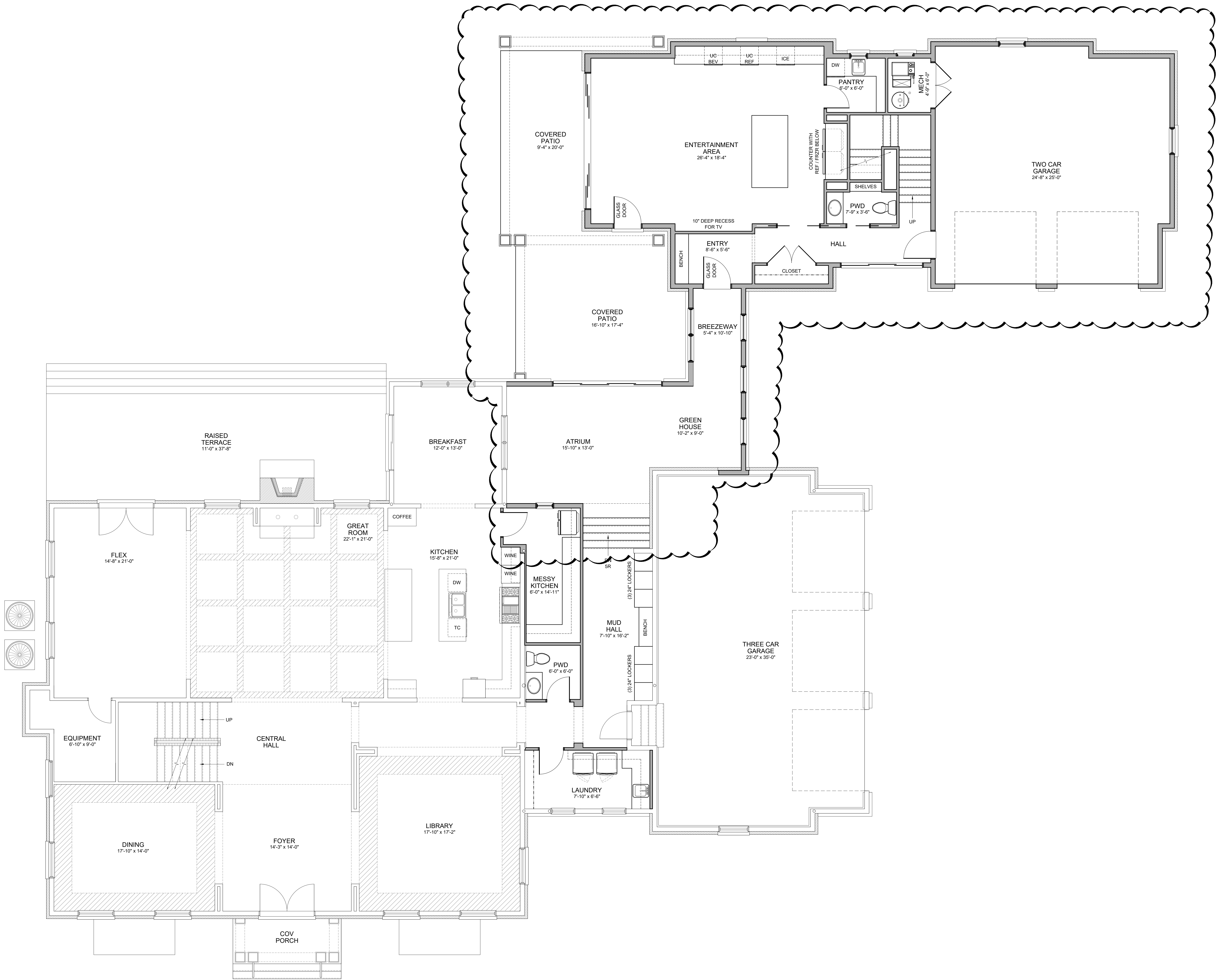
**A1-0**

DATE: 07.30.2025  
PRELIMINARY DESIGN

SCOTT BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

SBA STUDIOS PROJECT # 2025-150





FLOOR PLAN NOTES

1. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD.
2. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
3. ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O.
4. ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL U.N.O.
5. BEDROOM WINDOWS SHALL MEET THE REQUIREMENTS OF 2019 RCO CHAPTER 311 FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
6. EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". WINDOW SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
7. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
8. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY OR IN DIRECT CONTACT WITH THE GROUND.
9. SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER. ALL SMOKE ALARMS TO USE IONIZATION AND PHOTOELECTRIC TECHNOLOGY ON ALL LEVELS. SMOKE ALARMS OUTSIDE OF BEDROOMS TO USE PHOTOELECTRIC TECHNOLOGY.
10. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.
11. LVL SHEETS TO BE PROVIDED AT FRAMING INSPECTION.
12. BLOCK ALL BEARING POINTS TO BEAM OR TO FOUNDATION.
13. ALL VERTICAL AND HORIZONTAL JOINTS IN THE EXTERIOR WALL SHEATHING ARE TO FALL ON A STUD, PLATE, BAND BOARD OR 2x BLOCKING.

DOOR LEGEND

3068 = 3'-0" WIDE x 6'-8" TALL DOOR  
(3080 = 3'-0" WIDE x 8'-0" TALL DOOR)

DOOR ABBREVIATIONS:

- PD = POCKET DOOR
- BP = BYPASS DOOR
- BF = BI-FOLD DOOR
- OH = OVERHEAD DOOR
- SGD = SLIDING GLASS DOOR
- BARN = SLIDING BARN DOOR

WALL LEGEND

EXISTING WALL TO REMAIN

NEW STUD WALL

STRUCTURAL LEGEND

TRUSS / JOIST / RAFTER INDICATOR

DIRECTION OF SPAN

EXTENTS OF STRUCTURE

SOLID BLOCKING

STEEL BEAM (SEE PLAN FOR SIZE)

HEADER / BEAM (SEE PLAN FOR SIZE)

GIRDER TRUSS (SEE TRUSS MANF DWGS)

STEEL COLUMN (SEE PLAN FOR SIZE)

POINT LOAD LOCATION

POINT LOAD FROM ABOVE

SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED. (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD (KS) & (1) JACK STUD (JS) EACH SIDE OF OPENING. U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION

FIRST FLOOR PLAN

A1-1

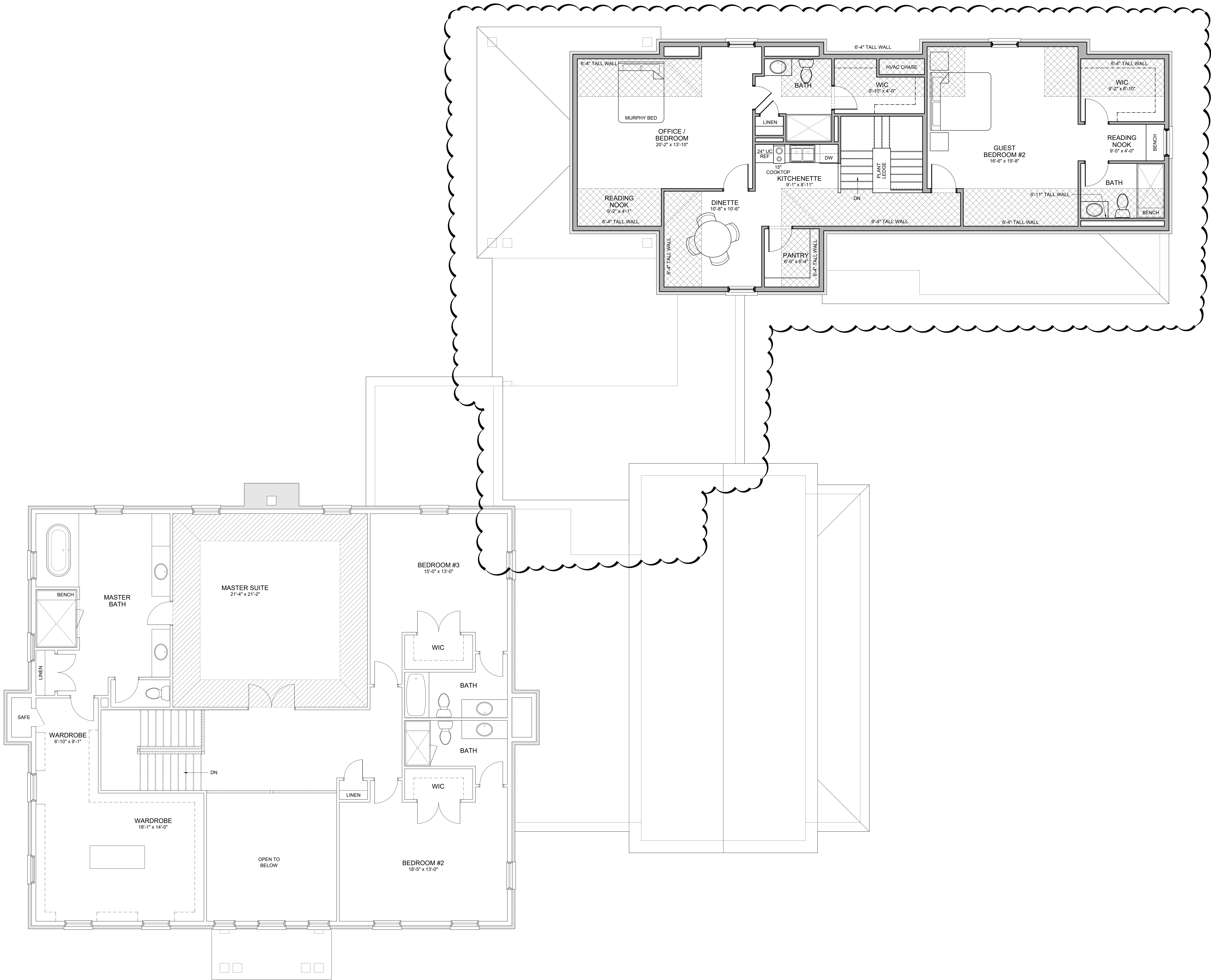
DATE: 07.30.2025

PRELIMINARY DESIGN

SCOTT BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

SBA STUDIOS PROJECT # 2025-150

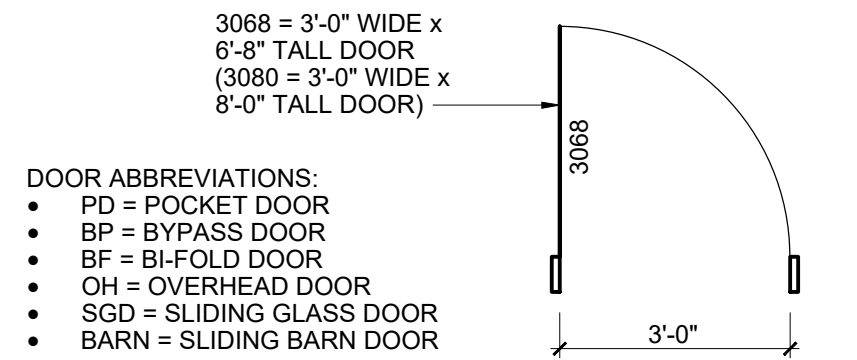




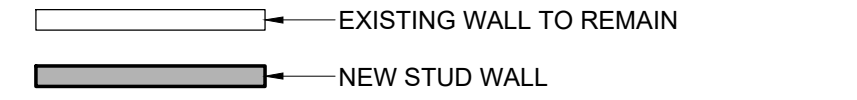
FLOOR PLAN NOTES

1. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD.
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11. LVL SHEETS TO BE PROVIDED AT FRAMING INSPECTION.
12. BLOCK ALL BEARING POINTS TO BEAM OR TO FOUNDATION.
13. ALL VERTICAL AND HORIZONTAL JOINTS IN THE EXTERIOR WALL SHEATHING ARE TO FALL ON A STUD, PLATE, BAND BOARD OR 2x BLOCKING.

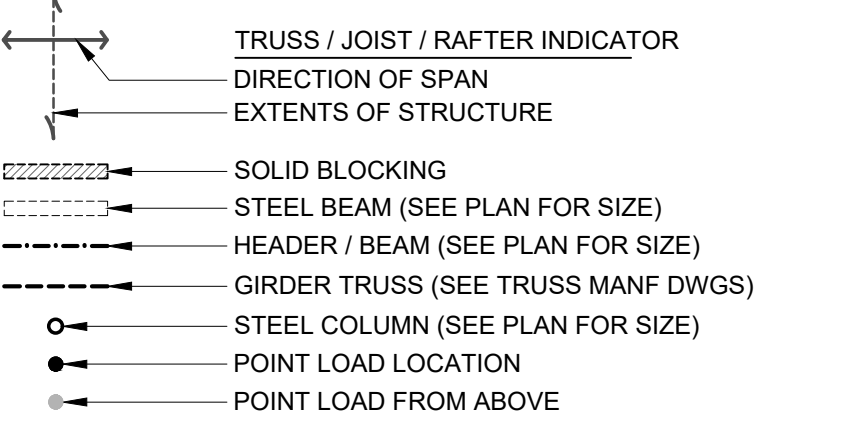
DOOR LEGEND



WALL LEGEND



STRUCTURAL LEGEND



SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD (KS) & (1) JACK STUD (JS) EACH SIDE OF OPENING, U.N.O.

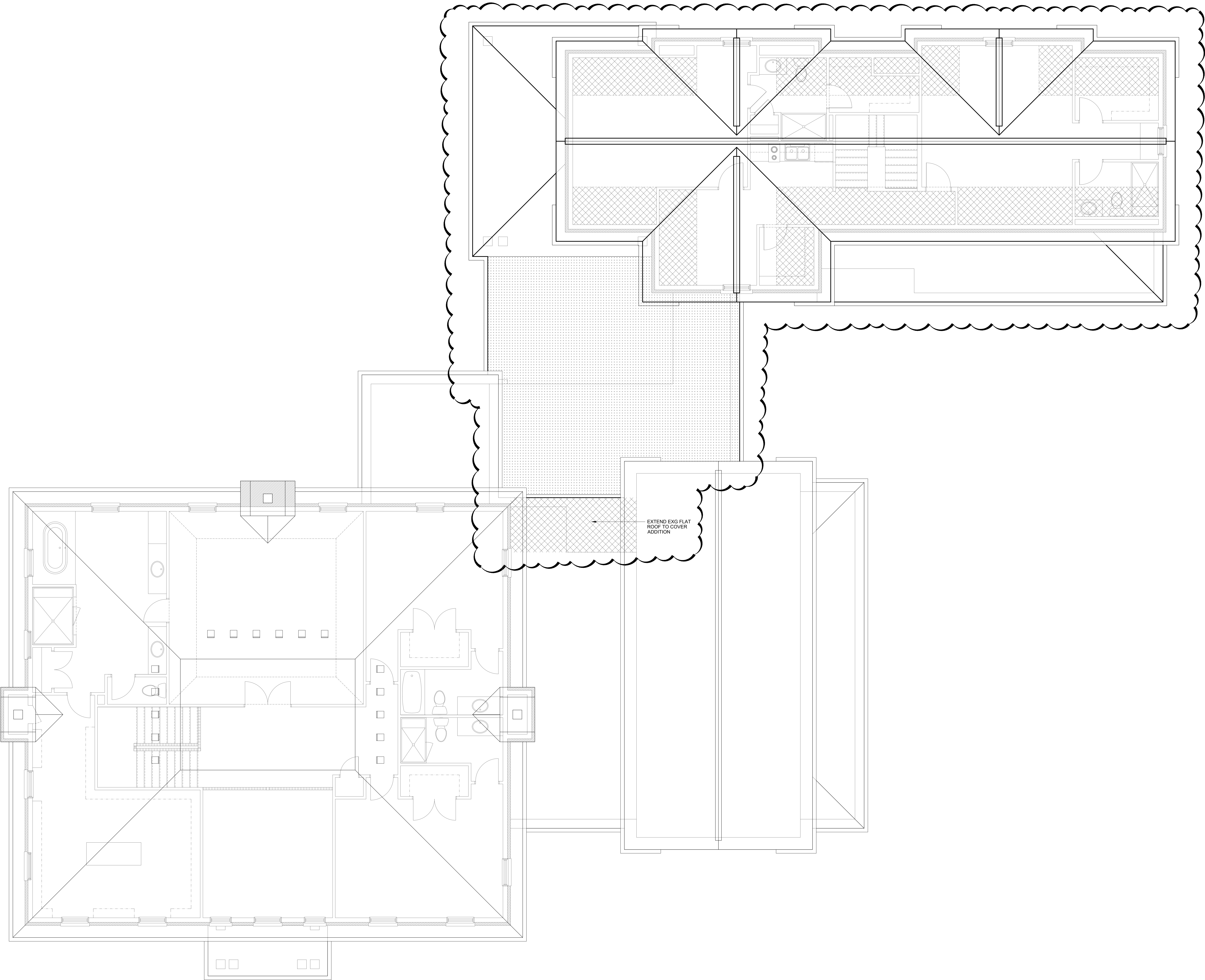
#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
SECOND FLOOR PLAN
A1-2
DATE: 07.30.2025
PRELIMINARY DESIGN
SCOTT BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2025
SBA STUDIOS PROJECT # 2025-150





ROOF PLAN NOTES

1. CONTRACTOR TO DETERMINE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER CODE FOR PROPER ROOF DRAINAGE.
2. FALSE CHIMNEYS, DORMERS, CUPOLAS AND OTHER SIMILAR FEATURES SHOULD NOT BE FRAMED AS A BOX ON THE ROOF. THE BOX SHOULD BE FRAMED DOWN INTO THE ROOF TO THE CEILING LEVEL AND STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS OR TRUSSES. THE EXTERIOR SHEATHING SHALL EXTEND DOWN TO THIS LEVEL OTHER THAN WHERE A METAL FLU NEEDS TO GO THROUGH FROM A FIREBOX. PROVIDE MINIMUM 22"x30" ATTIC ACCESS OPENING INTO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. PROVIDE MINIMUM 22"x30" ATTIC OPENINGS INTO OVERLAY FRAMED ROOF AREAS. ATTIC ACCESS OPENINGS FROM CONDITIONED SPACES TO BE GASKETED.
3. ROOFS TO HAVE A 1'-0" OVERHANG FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO OUTSIDE FACE OF FASCIA, U.N.O.

TRUSS NOTES

1. TRUSS PROFILES (SEE ELEVATIONS) ARE FOR TRUSS MANUFACTURER'S REFERENCE ONLY. TRUSS MANUFACTURER TO VERIFY ALL TRUSS SIZES AND DIMENSIONS ARE CORRECT PER THE CONSTRUCTION DOCUMENTS.
2. FINAL TRUSS LAYOUT AND DESIGN ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. VERIFY INTERIOR SLOPES OF SCISSOR TRUSSES AND HEIGHTS OF TRAY CEILINGS W/ BUILDER/ OWNER PRIOR TO FABRICATION. IF TRUSS DESIGN DIFFERS FROM THESE DOCUMENTS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT.
3. TRUSS MANUFACTURER TO ENSURE TRUSSES ARE DESIGNED SUCH THAT ALL FASCIA ALIGN PER EXTERIOR ELEVATIONS.

RAFTER NOTES

1. ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE RAFTERS ARE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE WHICH SHALL BE LOCATED AS NEAR TO THE PLATE AS PRACTICAL. RAFTER TIES SHALL NOT BE SPACED MORE THAN 48" O.C.
2. RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.
3. RIDGE BOARDS SHALL BE AT LEAST 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 11 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2x12 WITH AN ADDITIONAL 2x FURRED TO THE BOTTOM EDGE OF THE 2x12.
4. VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
5. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A SUPPORTING PARTITION WALL, OR BE DESIGNED TO CARRY / DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.

STRUCTURAL LEGEND

- TRUSS / JOIST / RAFTER INDICATOR
- DIRECTION OF SPAN
- EXTENTS OF STRUCTURE
- SOLID BLOCKING
- STEEL BEAM (SEE PLAN FOR SIZE)
- HEADER / BEAM (SEE PLAN FOR SIZE)
- GIRDER TRUSS (SEE TRUSS MANF DWGS)
- STEEL COLUMN (SEE PLAN FOR SIZE)
- POINT LOAD LOCATION
- POINT LOAD FROM ABOVE

SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED. (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD (KS) & (1) JACK STUD (JS) EACH SIDE OF OPENING, U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION

ROOF PLAN

**A1-3**

DATE: 07.30.2025

PRELIMINARY DESIGN

SCOTT BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

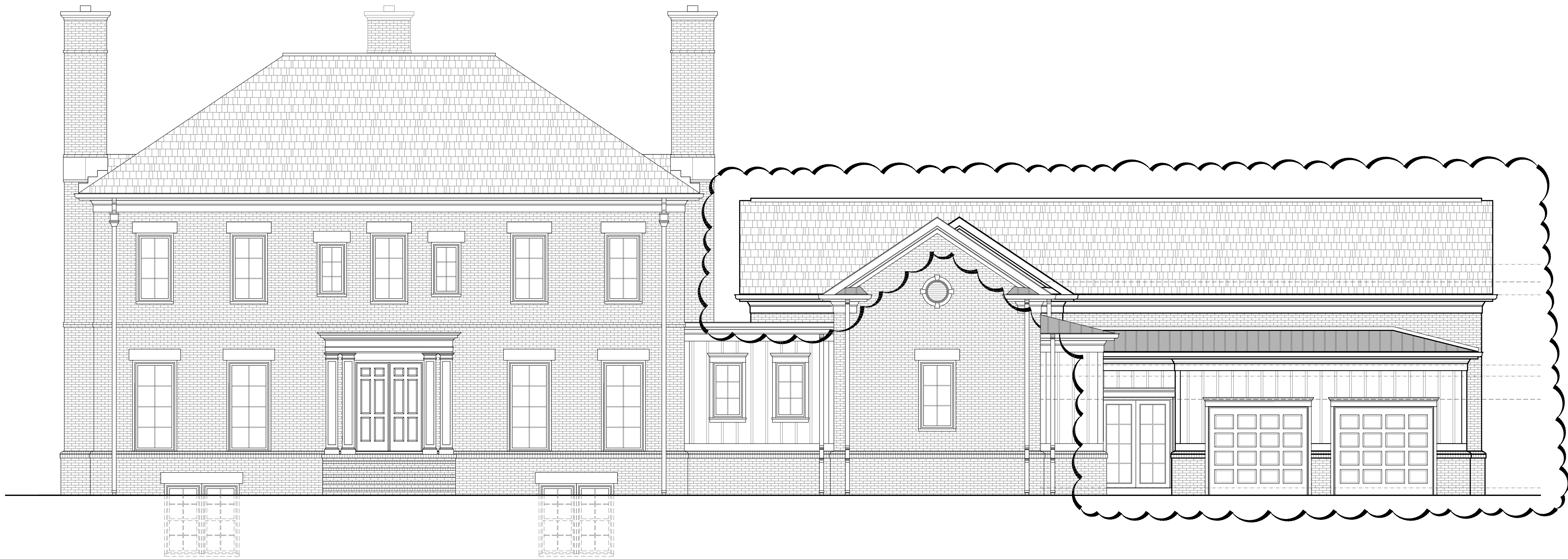
SBA STUDIOS PROJECT # 2025-150

PRELIMINARY  
NOT FOR  
CONSTRUCTION





2 EXISTING FRONT ELEVATION



1 FRONT ELEVATION SHOWN WITH PROPOSED REMODEL

ELEVATION MATERIAL LEGEND

- SLATE ROOF
- STANDING SEAM METAL ROOF
- BOARD & BATTEN SIDING
- BRICK VENEER

ALL WINDOWS TO HAVE 3 1/2" BRICK MOLD  
PER DESIGN GUIDELINES  
EXTERIOR FLASHING, CONDUITS, VENT PIPES, OR SIMILAR,  
TO COLOR MATCH ADJACENT MATERIALS. TYP. UNLESS  
PROHIBITED BY THE MANUFACTURER AND / OR CODE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054



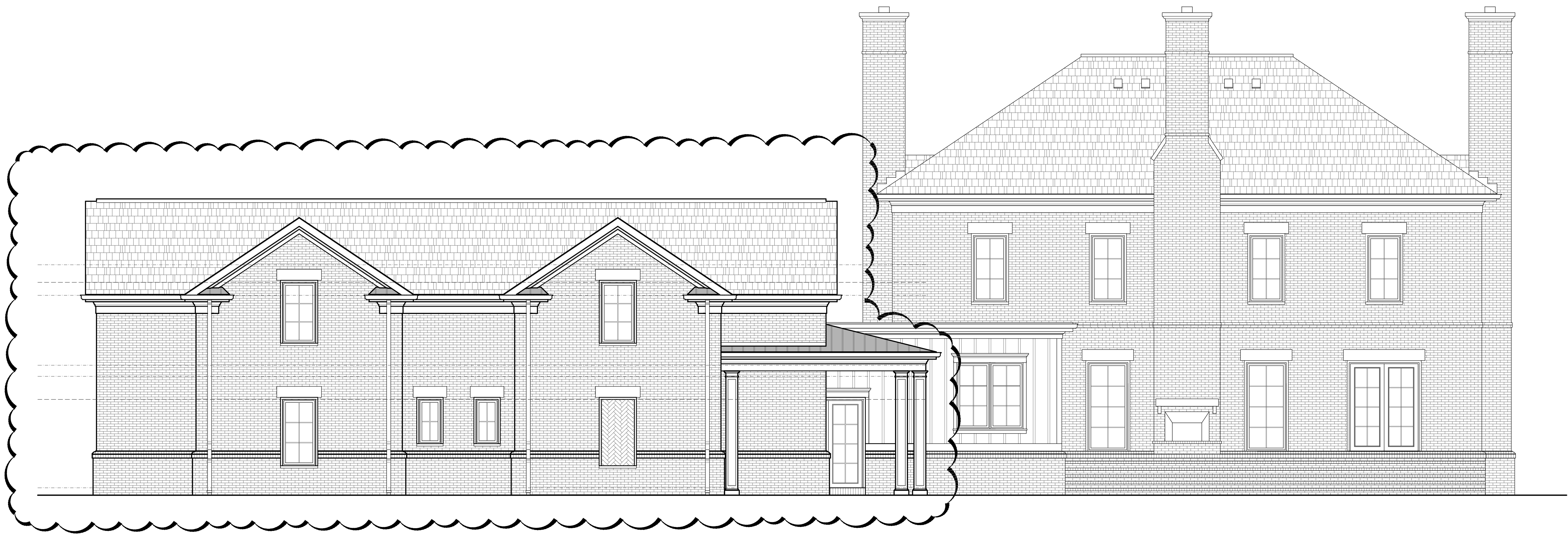
STATE OF OHIO  
SCOTT D. BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

PRELIMINARY  
FOR CONSTRUCTION

SCALE: 3/16" = 1'-0"  
SHEET # / DESCRIPTION  
EXTERIOR ELEVATIONS  
A2-1  
DATE: 07.30.2025  
PRELIMINARY DESIGN  
SBA STUDIOS PROJECT # 2025-150

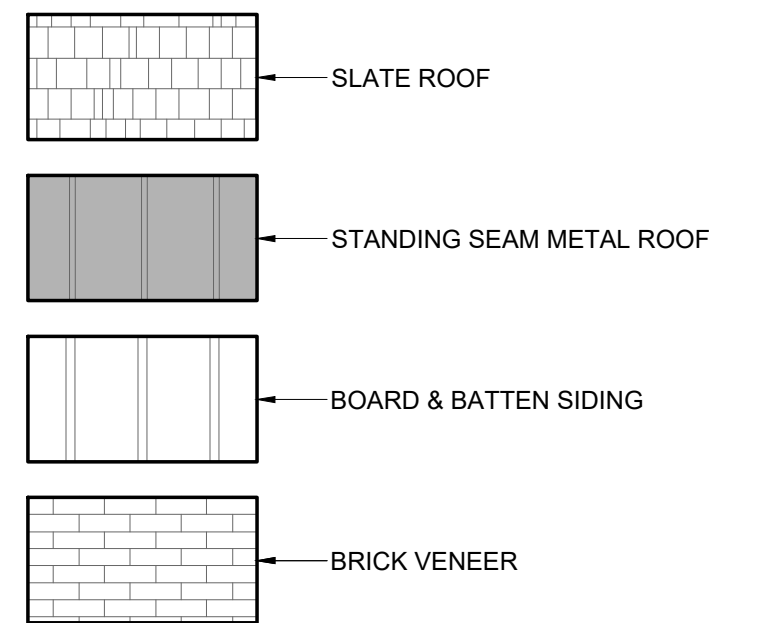


2 EXISTING REAR ELEVATION



1 REAR ELEVATION SHOWN WITH PROPOSED REMODEL

ELEVATION MATERIAL LEGEND



ALL WINDOWS TO HAVE 3 1/2" BRICK MOLD  
PER DESIGN GUIDELINES  
EXTERIOR FLASHING, CONDUITS, VENT PIPES, OR SIMILAR,  
TO COLOR MATCH ADJACENT MATERIALS. TYP. UNLESS  
PROHIBITED BY THE MANUFACTURER AND / OR CODE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054

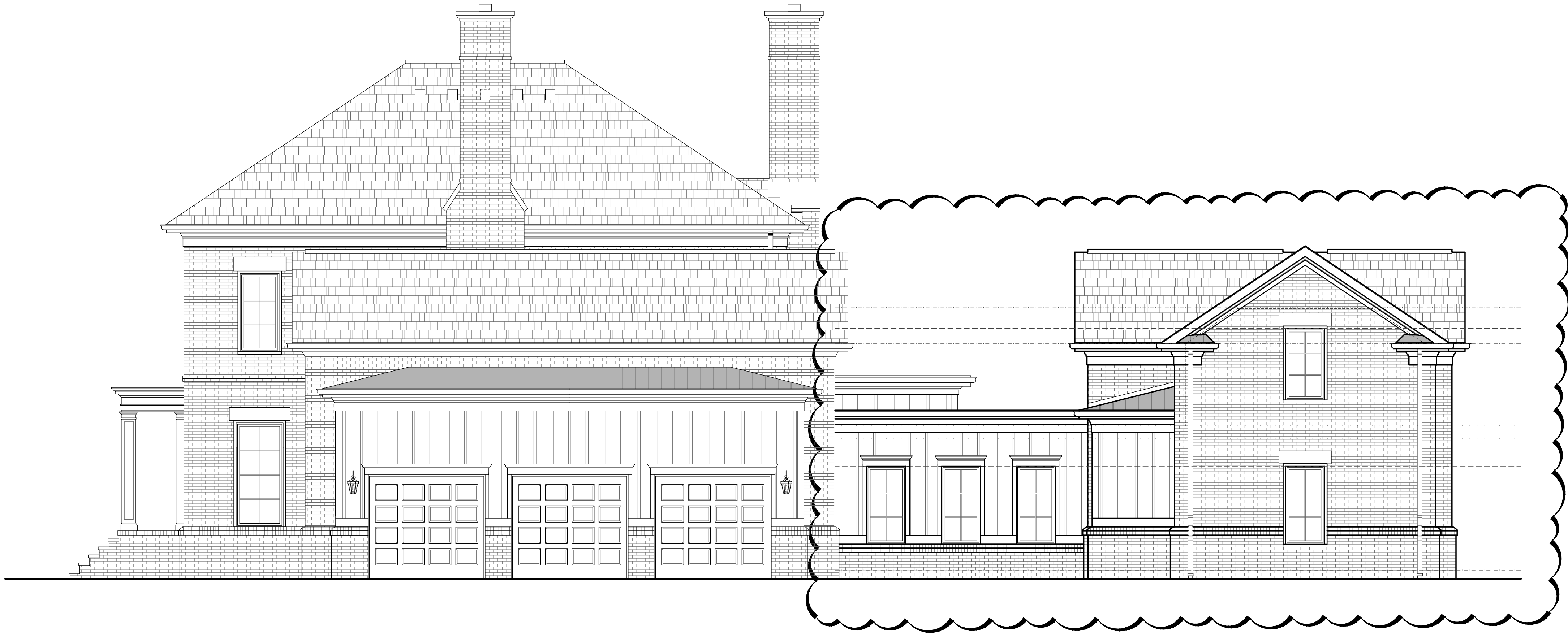


SCALE: 3/16" = 1'-0"	SHEET # / DESCRIPTION
DATE: 07.30.2025	EXTERIOR ELEVATIONS
PRELIMINARY DESIGN	A2-2
SCOTT BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2025	SBA STUDIOS PROJECT # 2025-150



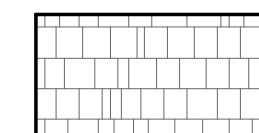



2 EXISTING RIGHT SIDE ELEVATION

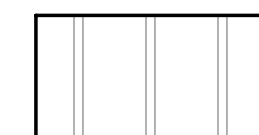


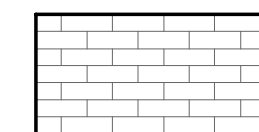
1 RIGHT SIDE ELEVATION SHOWN WITH PROPOSED REMODEL

ELEVATION MATERIAL LEGEND

SLATE ROOF

STANDING SEAM METAL ROOF

BOARD & BATTEN SIDING

BRICK VENEER

ALL WINDOWS TO HAVE 3 1/2" BRICK MOLD  
PER DESIGN GUIDELINES

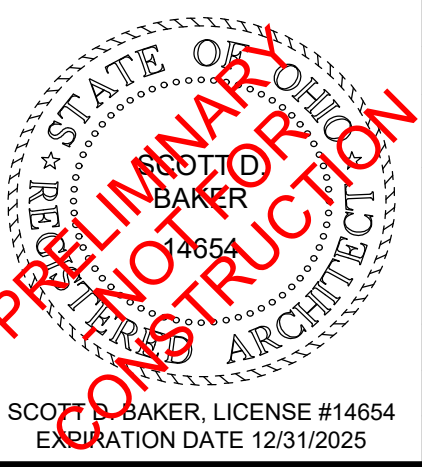
EXTERIOR FLASHING, CONDUITS, VENT PIPES, OR SIMILAR,  
TO COLOR MATCH ADJACENT MATERIALS, TYP. UNLESS  
PROHIBITED BY THE MANUFACTURER AND / OR CODE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054

**SBA**  
STUDIOS  
ARCHITECTURAL DESIGN  
614.562.7761 WWW.SBA-STUDIOS.COM





PRELIMINARY  
NOT FOR  
CONSTRUCTION

SCALE: 3/16" = 1'-0"

SHEET # / DESCRIPTION

EXTERIOR ELEVATIONS

**A2-3**

DATE: 07.30.2025

PRELIMINARY DESIGN

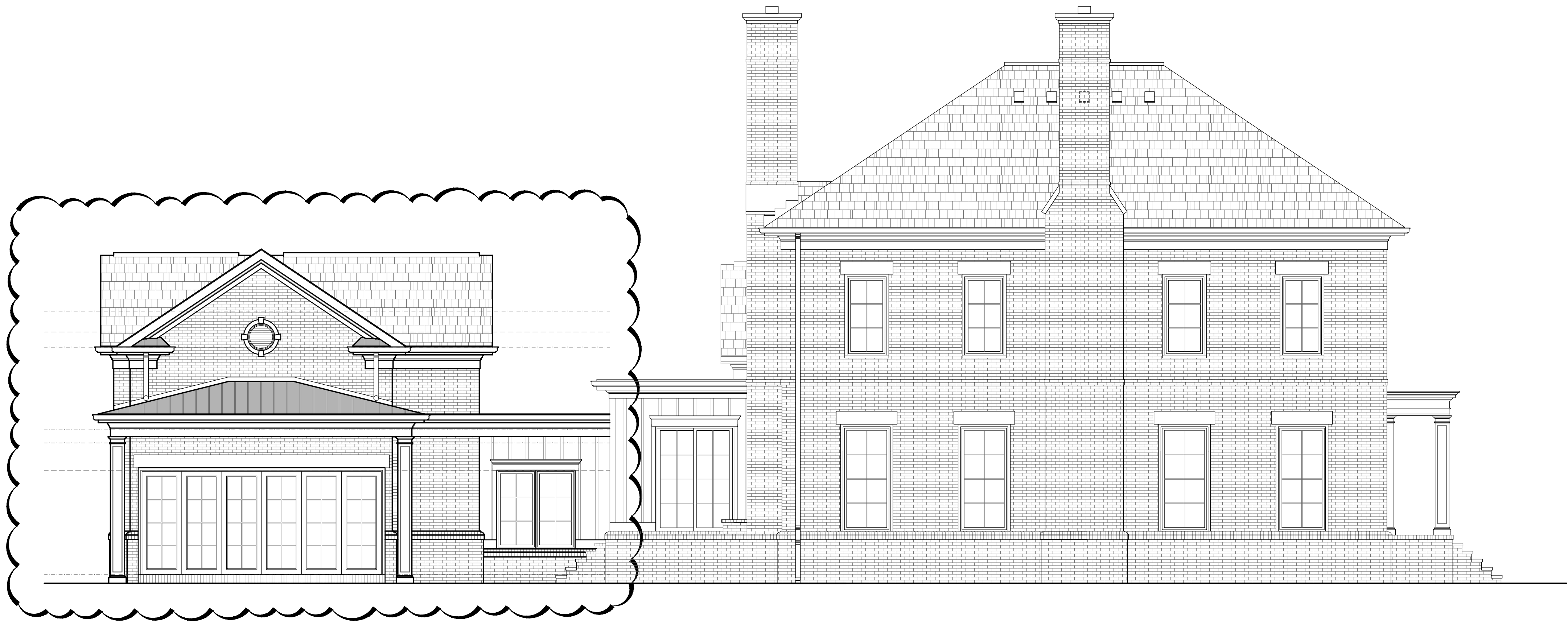
SCOTT BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

SBA STUDIOS PROJECT # 2025-150



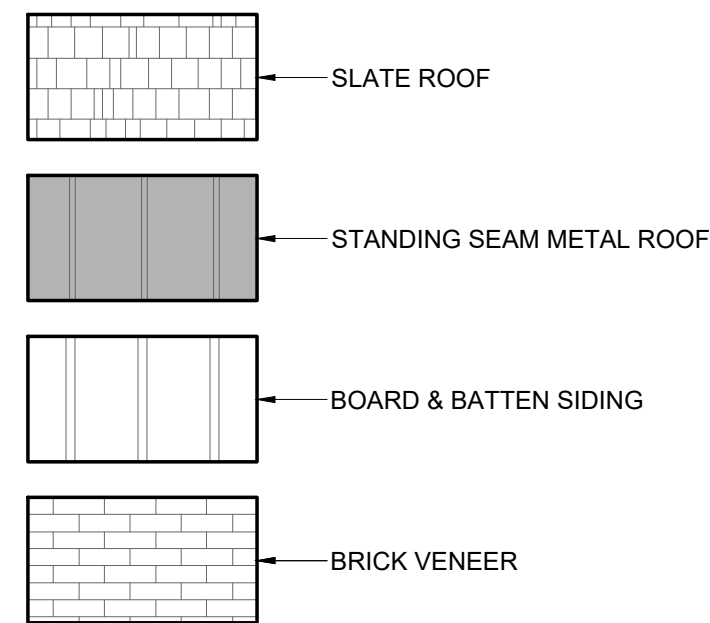


2 EXISTING LEFT SIDE ELEVATION



1 LEFT SIDE ELEVATION SHOWN WITH PROPOSED REMODEL

ELEVATION MATERIAL LEGEND



ALL WINDOWS TO HAVE 3 1/2" BRICK MOLD  
PER DESIGN GUIDELINES  
EXTERIOR FLASHING, CONDUITS, VENT PIPES, OR SIMILAR,  
TO COLOR MATCH ADJACENT MATERIALS. TYP. UNLESS  
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SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054



STATE OF OHIO  
SCOTT D. BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

PRELIMINARY  
FOR CONSTRUCTION

SCALE: 3/16" = 1'-0"

SHEET # / DESCRIPTION  
EXTERIOR ELEVATIONS

A2-4

DATE: 07.30.2025  
PRELIMINARY DESIGN

SBA STUDIOS PROJECT # 2025-150



2 REAR ELEVATION OF PROPOSED ADDITION SHOWING INTERIOR COURTYARD VIEW WITH EXISTING RESIDENCE



1 FRONT ELEVATION OF PROPOSED REMODEL SHOWN WITHOUT EXISTING RESIDENCE

ELEVATION MATERIAL LEGEND

- SLATE ROOF
- STANDING SEAM METAL ROOF
- BOARD & BATTEN SIDING
- BRICK VENEER

ALL WINDOWS TO HAVE 3 1/2" BRICK MOLD  
PER DESIGN GUIDELINES  
EXTERIOR FLASHING, CONDUITS, VENT PIPES, OR SIMILAR,  
TO COLOR MATCH ADJACENT MATERIALS. TYP. UNLESS  
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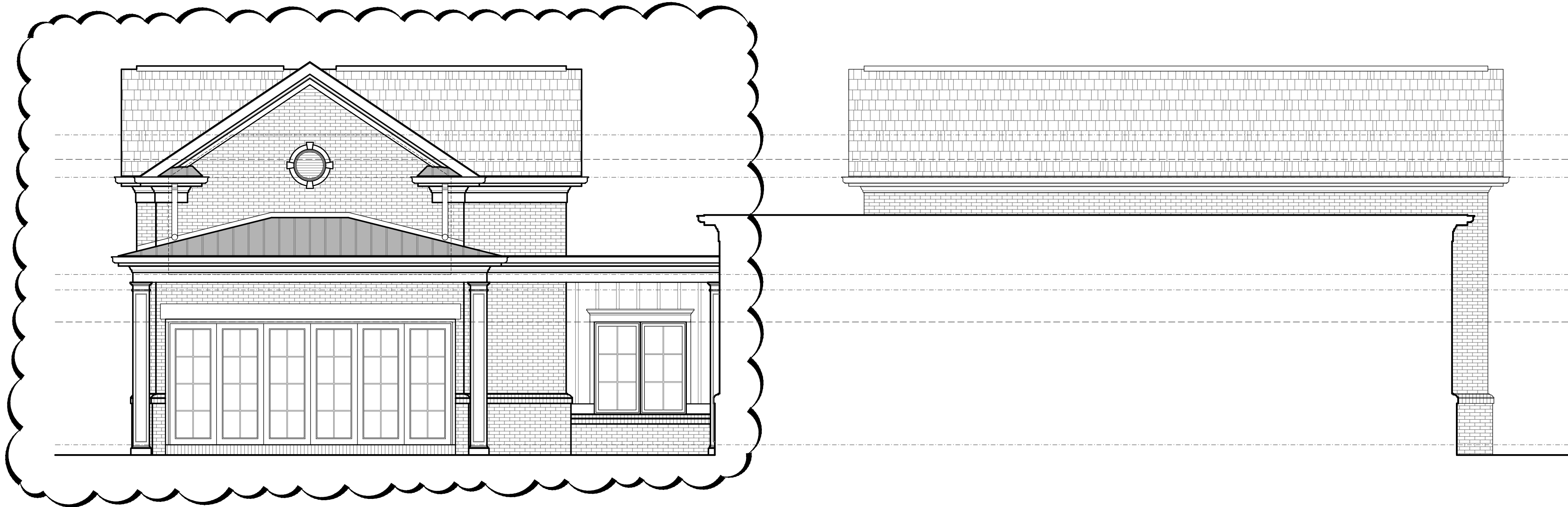


STATE OF OHIO  
SCOTT A. BAKER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

PRELIMINARY  
FOR CONSTRUCTION

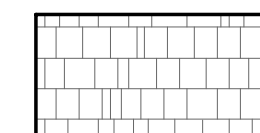
SCALE: 3/16" = 1'-0"  
SHEET # / DESCRIPTION  
EXTERIOR ELEVATIONS  
A2-5  
DATE: 07.30.2025  
PRELIMINARY DESIGN  
SBA STUDIOS PROJECT # 2025-150

2 NOT USED




1 RIGHT SIDE ELEVATION OF PROPOSED REMODEL SHOWN WITHOUT EXISTING RESIDENCE WITH SHOWING EXISTING GARAGE BEYOND

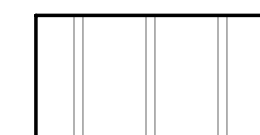
ELEVATION MATERIAL LEGEND



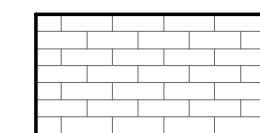
SLATE ROOF



STANDING SEAM METAL ROOF



BOARD & BATTEN SIDING



BRICK VENEER

ALL WINDOWS TO HAVE 3 1/2" BRICK MOLD  
PER DESIGN GUIDELINES

EXTERIOR FLASHING, CONDUITS, VENT PIPES, OR SIMILAR,  
TO COLOR MATCH ADJACENT MATERIALS. TYP. UNLESS  
PROHIBITED BY THE MANUFACTURER AND / OR CODE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

SA ADDITION  
4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054

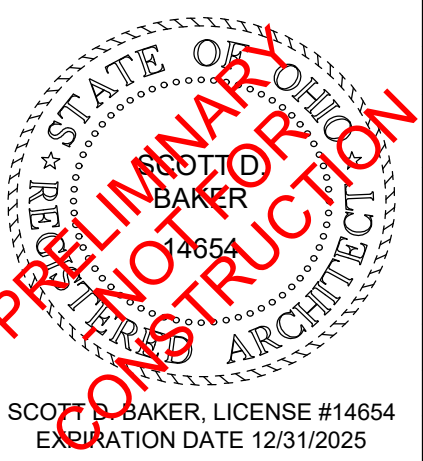
SBA

STUDIOS

ARCHITECTURAL DESIGN

614.562.7761 WWW.SBA-STUDIOS.COM





SCALE: 3/16" = 1'-0"

SHEET # / DESCRIPTION

EXTERIOR ELEVATIONS

A2-6

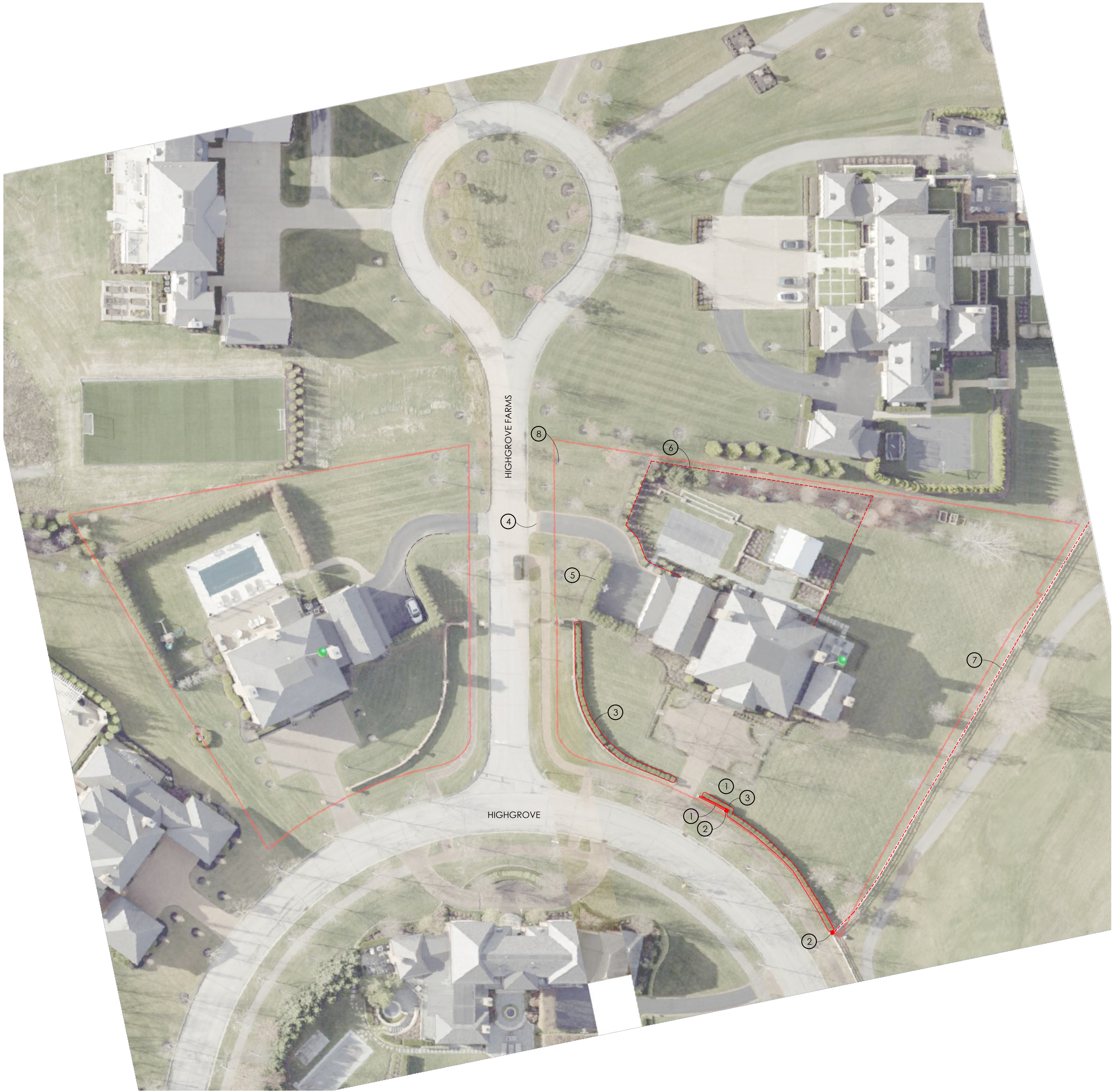
DATE: 07.30.2025

PRELIMINARY DESIGN

SCOTT SAWYER, LICENSE #14654  
EXPIRATION DATE 12/31/2025

SBA STUDIOS PROJECT # 2025-150





ELEMENTS TO BE MATCHED:

- ① BRICK WALL  
20 LF EXTENSION OF BRICK WALL OPPOSITE DRIVEWAY
- ② COLUMNS  
COLUMN TO END BRICK WALL EXTENSION AND COLUMN TO MARK PROPERTY CORNER
- ③ HEDGE ROW  
BOXWOOD HEDGE PLANTED DIRECTLY BEHIND BRICK WALL AND EXTENDED TO CORNER COLUMN
- ④ DRIVEWAY DETAIL  
SOLDIER AND SAILOR BRICK COURSES LINING EDGES OF ASPHALT DRIVEWAY
- ⑤ EVERGREEN SCREENING  
TALL EVERGREEN SCREENING BY DRIVEWAY
- ⑥ POOL FENCING  
POOL FENCE FOLLOWING WESTERN PROPERTY LINE
- ⑦ PROPERTY LINE FENCING  
FENCE FOLLOWING PROPERTY LINE
- ⑧ TREE LAWN  
RANDOMLY PLACED TREES IN LAWN

NOTE: AERIAL IMAGE PROVIDED BY FRANKLIN COUNTY AUDITOR.  
PROPERTY LINES ARE NOT NECESSARILY ACCURATE.



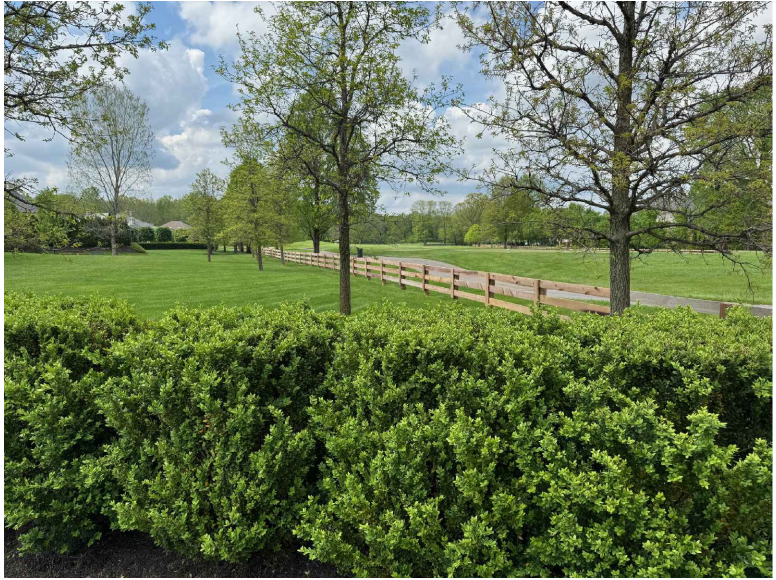
BRICK WALL, COLUMNS, AND HEDGE ROW



DRIVEWAY DETAIL



EVERGREEN SCREENING, POOL FENCING, TREE LAWN



PROPERTY LINE FENCING

spruce

271 S. CASSINGHAM RD.  
COLUMBUS, OH 43209  
T (626) 676-3330

SETS & REVISIONS:		DATE:
ARC SUBMISSION		4-17-25
ARC SUBMISSION V2		5-14-25

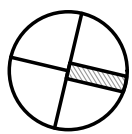
SA RESIDENCE

4 HIGHGROVE FARMS

NEW ALBANY, OH 43054

SITE ANALYSIS

ALL DRAWING ARE THE ORIGINAL WORK OF SPRUCE LLC. AND MAY NOT BE DISCLOSED, USED OR DUPLICATED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF SPRUCE LLC. SPRUCE LLC RESERVES THE RIGHT TO SUBSTITUTE PLANTS DUE TO AVAILABILITY AND QUALITY.







ELEMENTS TO BE MATCHED:

- ① BRICK WALL  
20 LF EXTENSION OF BRICK WALL OPPOSITE DRIVEWAY
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FENCE FOLLOWING PROPERTY LINE
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RANDOMLY PLACED TREES IN LAWN

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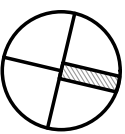
SA RESIDENCE

4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054

SITE ANALYSIS

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L-2









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SETS & REVISIONS:	DATE:
ARC SUBMISSION	4-17-25
ARC SUBMISSION V2	5-14-25

## SA RESIDENCE

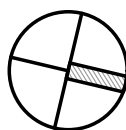
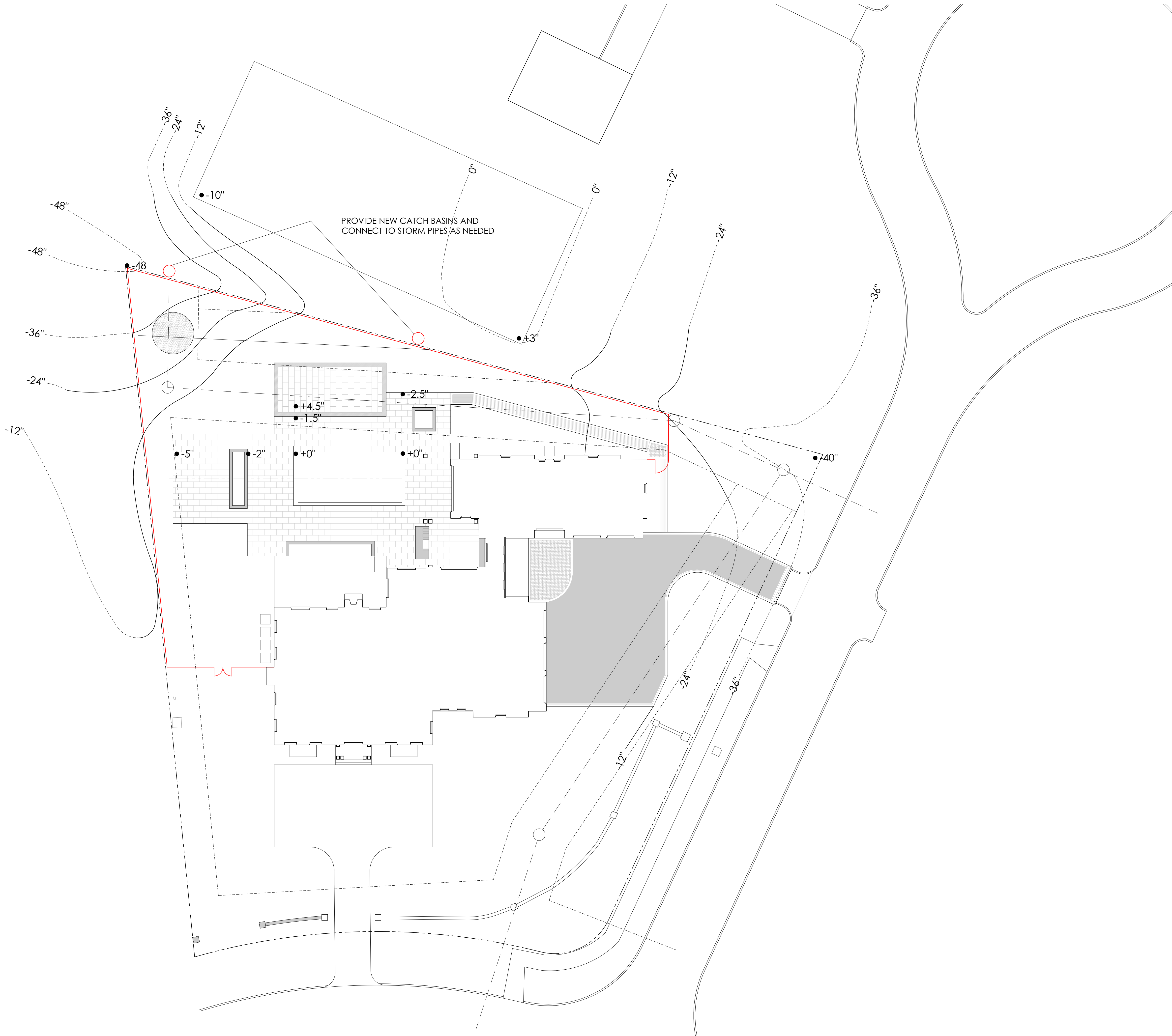
4 HIGHGROVE FARMS

NEW ALBANY, OH 43054

## PRELIMINARY GRADING PLAN

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# L-4



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SETS & REVISIONS:		DATE:
ARC SUBMISSION		4-17-25
ARC SUBMISSION V2		5-14-25

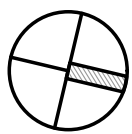
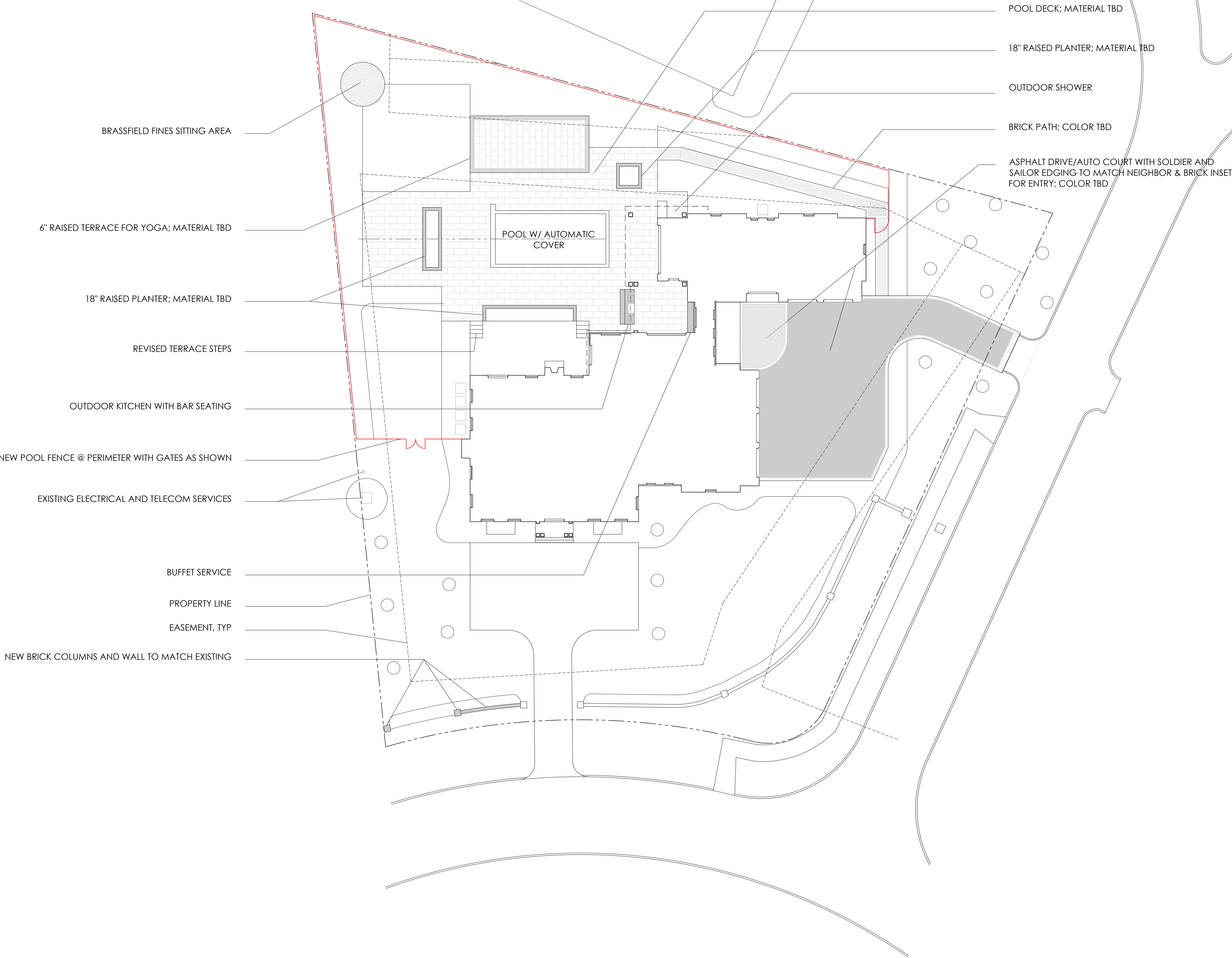
SA RESIDENCE

4 HIGHGROVE FARMS

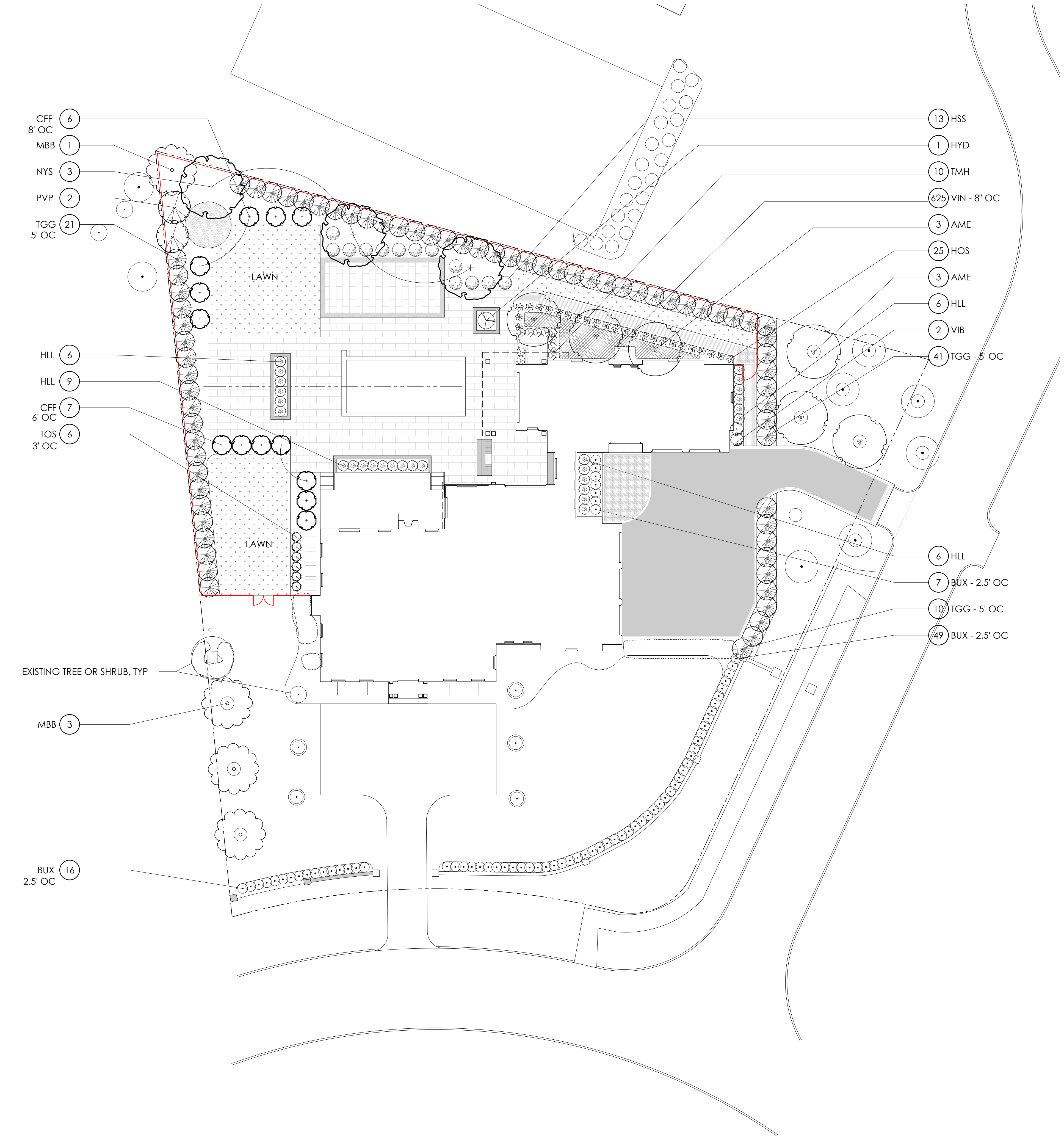
NEW ALBANY, OH 43054

PRELIMINARY  
HARDSCAPE PLAN

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PLANT LIST				
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)				
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
6	AME	AMELANCHIER X G. 'AUTUMN BRILLIANCE'	SERVICEBERRY	8-10'
13	CFF	CARPINUS BETULUS 'FRANZ FONTAINE'	COLUMNAR HORNBEAM	1.5"
4	MBB	MAGNOLIA G. 'BRACKEN'S BROWN BEAUTY'	SOUTHERN MAGNOLIA	8-10'
3	NYS	NYSSA SYLVATICA	BLACK GUM	2"
2	PVP	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	LIMBER PINE	8-10'
SHRUBS				
72	BUX	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	#5
1	HYD	HYDRANGEA PANICULATA 'LIMELIGHT' - TREE FORM	HYDRANGEA TREE	36" STD
27	HLL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	#5
13	HSS	HYDRANGEA PANICULATA 'STRAWBERRY SUNDAE'	STRAWBERRY SUNDAE HYDRANGEA	#5
10	TMH	TAXUS X MEDIA 'HICKSII'	HICKS YEW	3-4'
6	TOS	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6-7'
622	TGG	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8-10'
2	VIB	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	#5
PERENNIALS/ GRASSES				
25	HOS	HOSTA FRANCEE	HOSTA	#1
12.5	VIN	VINCA MINOR (625 PLANTS TOTAL)	PERIWINKLE	501



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ARC SUBMISSION V2		5-14-25

SA RESIDENCE

4 HIGHGROVE FARMS  
NEW ALBANY, OH 43054

PRELIMINARY  
LANDSCAPE PLAN

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L-6



