



**Architectural Review Board Staff Report
October 13, 2025 Meeting**

**CERTIFICATE OF APPROPRIATENESS
NEW ALBANY POLICE STATION BUILDING ADDITION**

LOCATION: 50 W Village Hall Road (PID: 222-003477)
APPLICANT: City of New Albany c/o Horne and King
REQUEST: Certificate of Appropriateness
ZONING: Urban Center District within the Village Core and Traditional Commercial Building Typology
STRATEGIC PLAN: Village Center
APPLICATION: ARB-66-2025

Review based on: Application materials received on September 10 and September 30, 2025.

Staff report prepared by Jay Henderson, Planner I.

I. REQUEST AND BACKGROUND

This certificate of appropriateness application is for a proposed 5,750 sq. ft. building addition to the New Albany police station, located at 50 W Village Hall Road. The additions are being developed in association with the improvements of Rose Run II. The objectives for these improvements include additional offices, conference rooms, relocation of the storm shelter, and removal of the defense tactics area. In addition to the police station improvements, the overall site includes the restoration of the Rose Run stream corridor, celebration of veterans through a new memorial, and the provision of additional public parking. The master plan for this civic block is included in the meeting packet for your reference.

Per Section 1157.07(b), any major environmental change to a property located within the Village Center requires a certificate of appropriateness to be issued by the Architectural Review Board. The proposed police station addition classifies as a major environmental change; therefore, ARB review and approval is required. All other proposed improvements as part of the Rose Run II project that are mentioned above are classified as minor changes, which do not require ARB review.

The site is located within the Urban Center Code Village Core sub-districts and the 1998 NACO C-PUD Subarea 4B: NE Market Street zoning district. Per Codified Ordinance 1158.03(c), properties within the Architectural Review Overlay District that are zoned PUD before Chapter 1158 of the city code was adopted in 2011 are permitted to either develop under the requirements of the underlying PUD zoning or the Urban Center Code. The applicant has elected to develop under the Urban Center Code; therefore, the requirements of the Urban Center Code, the New Albany Design Guidelines and Requirements, and the city code apply to this site.

There is related certificate of appropriateness on October 13, 2025, meeting agenda to add a pavilion and new building typology to the Urban Center Code for the Rose Run II site. This application is evaluated under separate staff reports (ARB-76-2025 & ARB-81-2025). The report for this application evaluates the

police station additions based on the Urban Center code for the Traditional Commercial building typology.

II. SITE DESCRIPTION & USE

The development site is located at 50 W Village Hall Road. It consists of two accessory structures (garages) and the police station building, in addition to surface parking on the north and west sides of the property. The ARB reviewed and approved a COA for demolition of the police station garages during their meeting on January 9, 2023 (ARB-148-2022). However, as shown on the site plan, these garages will remain on site with the additions.

III. EVALUATION

The ARB's review is pursuant to C.O. Section 1157.06 (Architectural Review Overlay District). No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Design Appropriateness**, the building and site should be evaluated on these criteria:

A. Certificate of Appropriateness

1. The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.

- The applicant proposes to construct additions to the New Albany Police Station. The additions will include offices, a conference room, and a storm shelter.
- Section 8 of the New Albany Design Guidelines and Requirements (DGRs) provides the requirements for all civic and institutional buildings in New Albany. Section 8 (III)(2) states that the selection of architectural style shall be appropriate to the context, location, and function of the building. The style should be based on traditional practice in American architecture and as illustrated in the Design Principles and the "American Architectural Precedent" section. In general, high-style designs with grander scale are appropriate for major structures such as government buildings, schools, and churches, while less ornate and smaller-scaled styles are appropriate for buildings such as police and fire stations.
 - The city architect reviewed the proposal and is supportive of the overall design. Composite siding (Hardie material) is used on the walls of the addition above the brick base. Even though painted siding isn't found on the existing building, it is historically considered a complementary exterior material to brick when used on a secondary form, according to the city architect. The use of siding on the addition, in this case, preserves the architectural integrity of the existing building. If the brick were to clad the entirety of the new work, it would compete with the existing main form, throwing off the overall composition.
- DGR Section 8(III)(3) states that the entrances to civic and institutional buildings shall be oriented toward primary streets and roads and shall be of a distinctive character that makes them easy to locate. Entrances shall be scaled and detailed to match the scale and detail of interior public spaces.
 - The existing building fronts onto Village Hall Road, where the main entrance is oriented. There are no proposed changes to the existing entrances of the building; therefore, this requirement is met.
- DGR Section 8(III)(4) states that Civic and institutional designs shall follow the precedents of traditional American architectural designs, with particular care paid to the proportions of wall height to width; roof shape; and proportions of windows and doors, including vertically proportioned window panes. The details and design characteristics of the traditional style selected for a new building shall be carefully studied and faithfully rendered in the new building's design.
 - The city architect reviewed the proposal and stated that historically, when new work is added to an existing substantially scaled building, it benefits the

architecture to preserve the integrity of the primary building mass. The proposed design achieves this DGR requirement by hierarchically treating the addition as a dependency/second in nature with its shape and proportions.

- The applicant identifies the following exterior materials on the proposed plans:
 - Composite siding (painted)
 - Brick water table (match existing)
 - Face brick (match existing)
 - Asphalt roof shingles
 - Window trim (painted)
 - Fypon crown (match existing)
 - Engaged column (painted)

2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*

Landscape

- The Urban Center Code standards for this building typology require all street and side yards, where present, to be landscaped with trees, shrubs, grass, ground cover, and other plant materials. All landscape requirements for this project will be installed as part of the overall Rose Run II improvement project. More information will be provided with future submittals as part of the permit review process. During this process, city staff will ensure that all landscaping requirements found in city code section 1171 and the Urban Center Code are met.

Lighting

- A detailed lighting plan was not submitted for review and shall be provided for staff review during the permitting process.

Parking and Circulation

- As proposed, the building is accessed via two existing curb cuts, one along Village Hall Road and one on South High Street.
- As part of the development of Rose Run II, parking between Village Hall and the police station will be revamped as shown in the image below. This will provide sufficient parking for the entire block on which it is located. This includes the development of the Veterans Memorial, as well as potential future office, retail, or restaurant uses along the corridor. The Engage New Albany strategic plan recommends consideration of providing more regional parking solutions within the Village Center. As per the city's demand model, for the Rose Run II improvements, 160 spaces are needed, and a total of 171 are provided.



- There will be no changes to the existing sidewalk surrounding the police station. With the improvements associated with Rose Run II, connections will be provided into Village Hall and the police station, with the existing pedestrian infrastructure along Village Hall Road and South High Street.
- Per Urban Center Code Section 5.30.3, one bicycle parking space is required to be provided on site based on the number of off-street parking spaces. To meet this requirement, 6 bicycle parking spaces will be provided throughout the site with 5 bike racks per location.

Streetscape

- As proposed, there are no modifications to the existing, established streetscape for both South High Street and Village Hall Road.

Signage

- No signage was submitted for review. All new signage will be subject to ARB review and approval when submitted in the future.

3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
 - The site is currently occupied by the police station building. The city architect states that the proposed additions complement the existing building and preserve the architectural integrity.
4. *All buildings, structures and sites shall be recognized as products of their own time.*
 - The proposed additions are new construction and are appropriately designed.
5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
 - The city architect states that the shape, proportion, and breakdown of architectural elements are appropriate for the proposed architectural style and complement the existing building.
6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
 - Not applicable.

7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
- Not applicable.

B. Urban Center Code Compliance

The proposed building additions are evaluated using the table below against the development standards for the Traditional Commercial building typology of the Urban Center Code:

	Minimum	Maximum	Proposed
Lot Area	no min	no max	3.44 ac [meets code]
Lot Width – S. High Street	no min	200'	310' [meets code]*
Lot Width - Village Hall Road	no min	200'	634' [meets code]*
Lot Coverage	no min	100%	16.8% [meets code]
Street Yard/Front Yard	0'	20'	10' [meets code]
Side Yard	0'	20'	8' [meets code]
Rear Yard	15'	no max	175' [meets code]
Building Width – S. High Street	80%	100%	29.1% [meets code]*
Building Width – Village Hall Road	80%	100%	45.1% [meets code]*
Stories	2	3	2 [meets code]
Building Height	no min	55'	39.5' [meets code]

*Existing non-conforming dimensions.

IV. SUMMARY

The Architectural Review Board should evaluate the overall proposal based on the requirements in the Design Guidelines and Requirements, Urban Center Code, and city codified ordinances. The proposed building is appropriately scaled and positioned on the site, and the additions have been designed to be sensitive to the existing building.

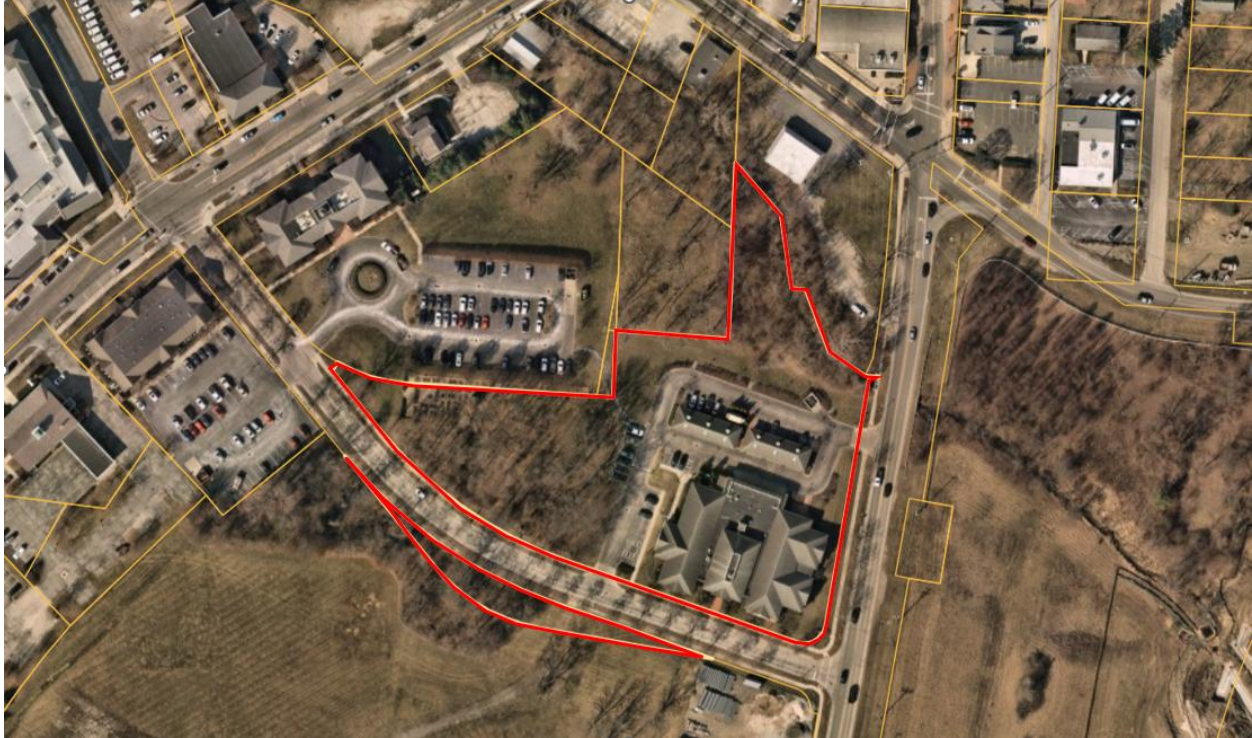
The overall proposal of the police station additions fits the existing building architecturally and maintains the quality of architecture throughout the Village Center. With the overall Rose Run II improvements, the expanded public parking will provide needed parking for the Village Center as a whole, as recommended in the Engage New Albany Strategic Plan. The New Albany Design Guidelines and Requirements explain that when additions are added to existing buildings, similar design elements shall be used. However, when reviewing best practices, the city architect states that it is appropriate to distinguish between the existing architecture versus the new building additions to sustain the integrity, massing, and scale of the existing building, which is accomplished with this proposal. Additionally, the proposed building utilizes high-quality building materials, accomplishing important goals of the New Albany Design Guidelines and Requirements. The Engage New Albany Strategic Plan, Design Guidelines and Requirements, and many other city planning documents state the importance of the preservation and enhancement of natural resources in the community. The civic improvements create additional public parking for the block in addition to the Rose Run II improvements, which contribute to the overall preservation and enhancement of the Rose Run stream corridor and will be important amenities for the entire community.

V. ACTION

Should the ARB find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

Move to approve application ARB-66-2025.

Approximate Site Location:



Source: NearMap



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.																									
Project Information	Site Address <u>50 Village Hall Rd. New Albany, OH 43054</u> Parcel Numbers <u>222-003477-00</u> Acres <u>3.44</u> # of lots created _____ <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 60%;">Choose Application Type</th><th style="width: 40%;">Description of Request:</th></tr> </thead> <tbody> <tr> <td>☐ Appeal</td><td>☐ Extension Request</td></tr> <tr> <td>☒ Certificate of Appropriateness</td><td>☐ Variance</td></tr> <tr> <td>☐ Conditional Use</td><td>☐ Vacation</td></tr> <tr> <td>☐ Development Plan</td><td></td></tr> <tr> <td>☐ Plat</td><td></td></tr> <tr> <td>☐ Lot Changes</td><td></td></tr> <tr> <td>☐ Minor Commercial Subdivision</td><td></td></tr> <tr> <td>☐ Zoning Amendment (Rezoning)</td><td></td></tr> <tr> <td>☐ Zoning Text Modification</td><td></td></tr> </tbody> </table>		Choose Application Type	Description of Request:	☐ Appeal	☐ Extension Request	☒ Certificate of Appropriateness	☐ Variance	☐ Conditional Use	☐ Vacation	☐ Development Plan		☐ Plat		☐ Lot Changes		☐ Minor Commercial Subdivision		☐ Zoning Amendment (Rezoning)		☐ Zoning Text Modification					
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Email	sjurawitz@horneandking.com	Email	jstefanov@newalbanyohio.org																							
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete. <table style="width: 100%;"> <tr> <td style="width: 30%;">Signature of Owner</td> <td style="width: 30%; text-align: center;"> </td> <td style="width: 20%;">Date: <u>09/23/2025</u></td> </tr> <tr> <td>Signature of Applicant</td> <td style="text-align: center;"> </td> <td>Date: <u>08/01/2025</u></td> </tr> </table>		Signature of Owner		Date: <u>09/23/2025</u>	Signature of Applicant		Date: <u>08/01/2025</u>																		
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Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

Fees & Submittal Information

Appeal		250.00	
Certificate of Appropriateness			
ARB – single and two family residential		100.00	
ARB – All other residential or commercial		300.00	
ARB - Signage		75.00	
Conditional Use		600.00	
Development Plan – Preliminary PUD or Comprehensive			
Planning fee	First 10 acres	750.00	
	Each additional 5 acres or part thereof	50.00 / each	
Engineering fee	1-25 lots	155.00 / each	
	Minimum fee	1000.00	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Final PUD			
Planning fee	First 10 acres	650.00	
	Each additional 5 acres or part thereof	50.00	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Non-PUD		300.00	
Development Plan / Text Amendment		600.00	
Plat – Road Preliminary			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Road Final			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Subdivision Preliminary			
Planning		650.00	
	Plus each lot	50.00 / each	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each lot over 51	50.00 / each	

Fees & Submittal Requirements

Plat – Subdivision Final

Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 /each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____
Lot Changes		200.00	_____
Minor Commercial Subdivision		200.00	_____
Vacation (Street or Easement)		1200.00	_____
Variance			_____
	Non-single family, commercial, subdivision, multiple properties	600.00	_____
	Single Family residence	250.00	_____
	In conjunction with Certification of Appropriateness	100.00	_____
Extension Request		0.00	_____
Zoning			_____
	Rezoning - First 10 acres	700.00	_____
	Each additional 5 acres or part thereof	50.00 / each	_____
	Rezoning to Rocky Fork Blacklick Accord	250.00	_____
	Text Modification	600.00	_____
Easement Encroachment		800.00	_____

SITE PLAN

LEGEND

- 1. Veterans Plaza
- 2. Founders Field
- 3. Ceremonial Lawn
- 4. Gold Star Statue
- 5. Hero's Walk
- 6. Stream Access
- 7. Pavilion
- 8. Northwest Plaza
- 9. Parking Lot
- 10. Village Hall Autocourt
- 11. Police Department Addition



Proposed Parking Demand

Village Hall.....	29,000 S.F.		62 Employee, and 15 Visitor Spaces + 10 Fleet Vehicles
Police Station.....	25,200 S.F.		43 Employee, 15 Cruiser, and 5 Visitor Spaces
Park.....	4.40 Acres		10 Spaces

Total Parking Demand.....160 Spaces

Parking Demand By Hour

9am - 5pm	160 Spaces		VH Employees, Police, Park
5pm - 9pm	50-100 Spaces		Police, Park, and Council Meetings
Overnight	35 Spaces		Police

Proposed Parking Provision

Village Hall Lot 154 Spaces

Police Station 17 Spaces

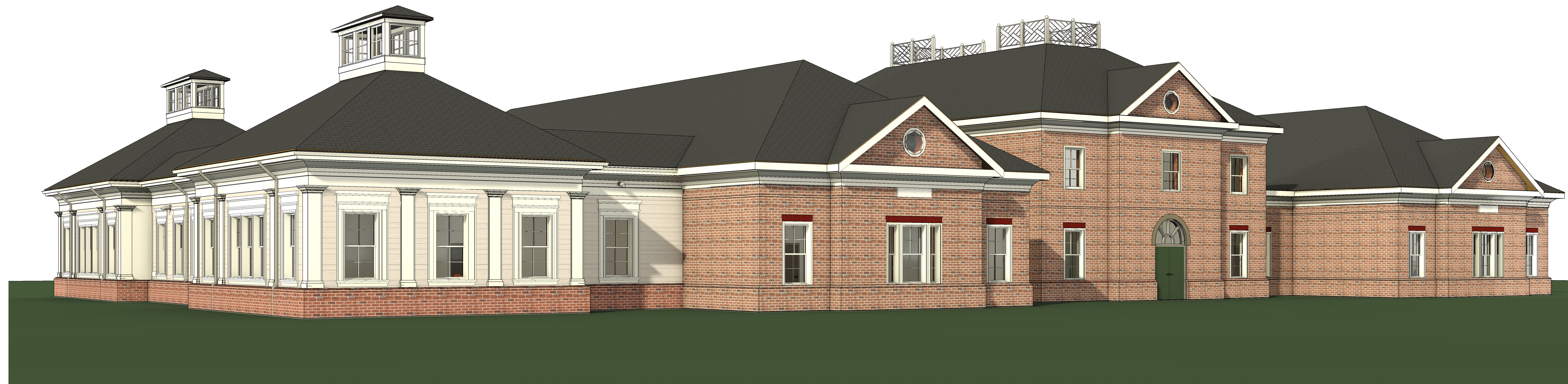
Total Parking Provision.....171 Spaces

PARKING REVIEW





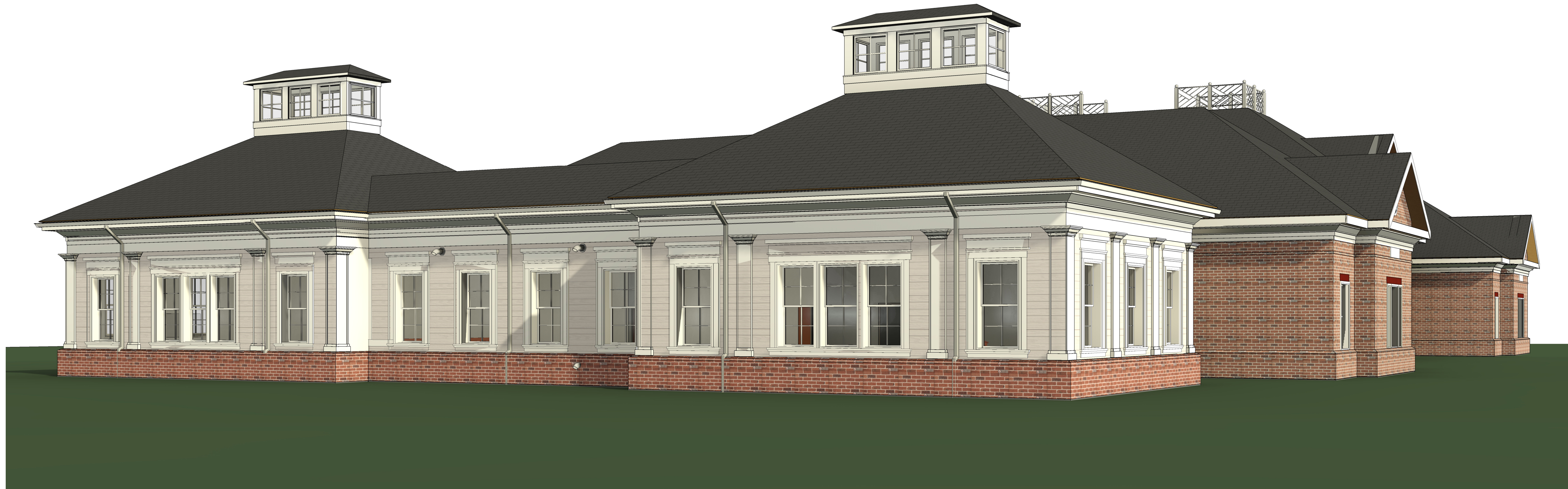
① front



② SW



③ NW CORNER



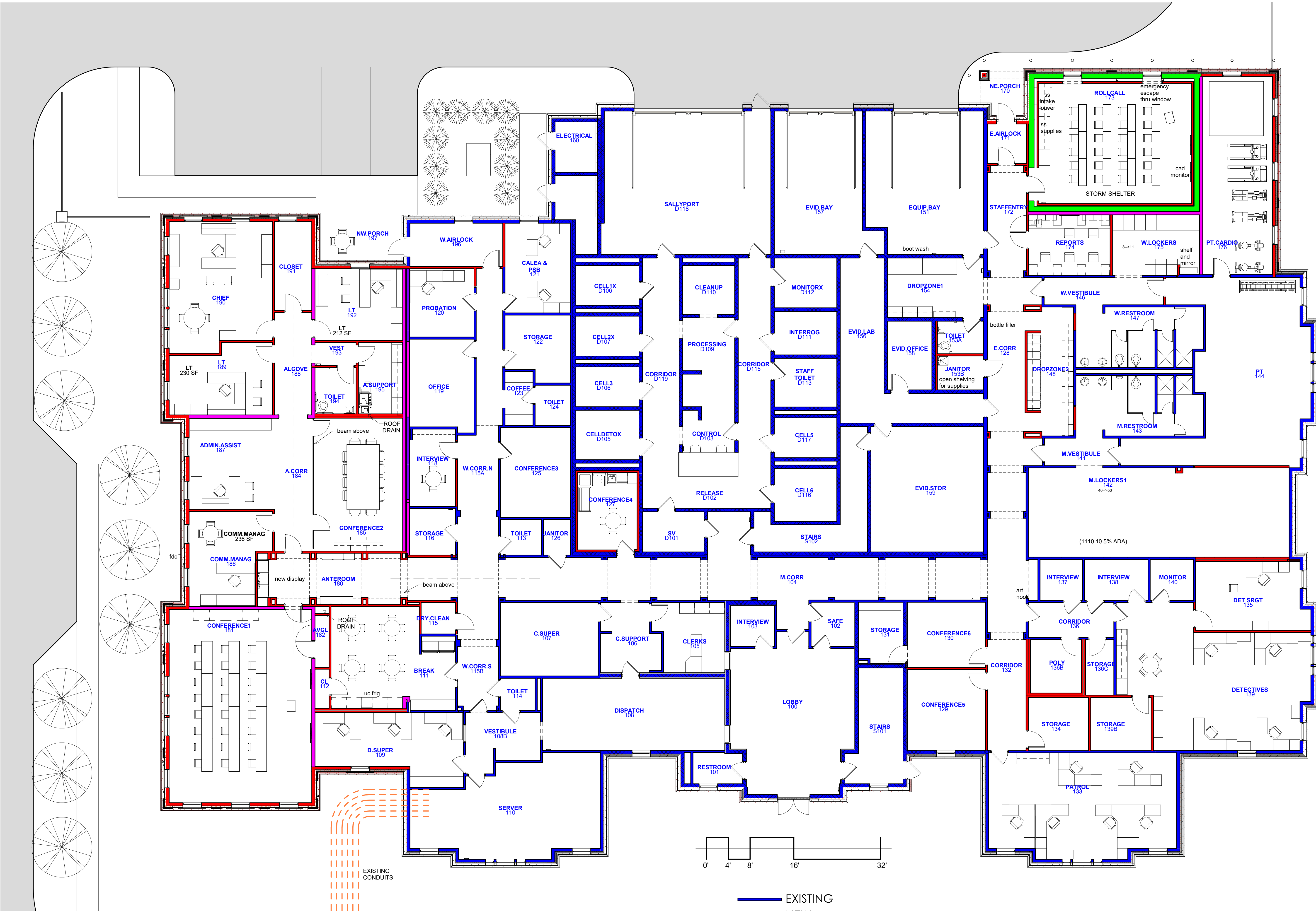
④ SW CORNER



① 3D NE CORNER



② 3D NORTH



N
FIRST FLOOR - SCHEMATIC
1/8" = 1'-0"

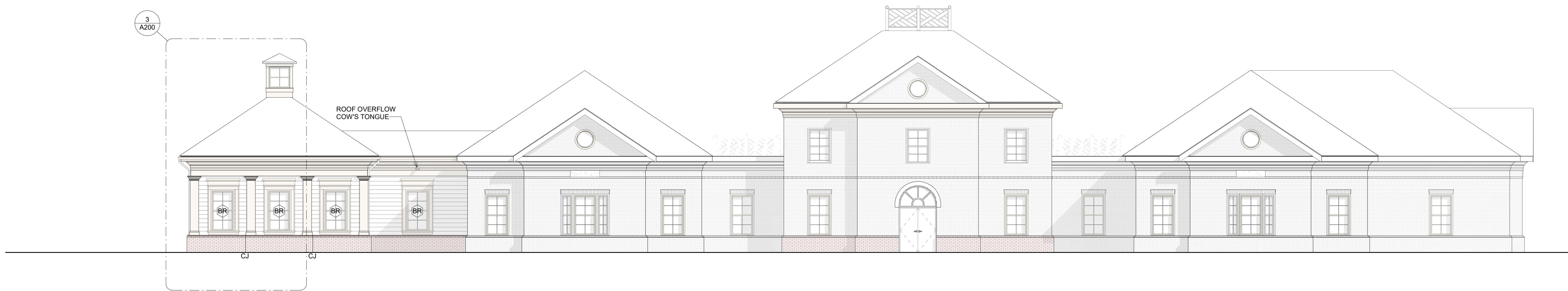
All drawings and written material appearing herein constitute the original and unpublished work of the architect and the same may not be duplicated, used or disclosed without the written consent of the architect.



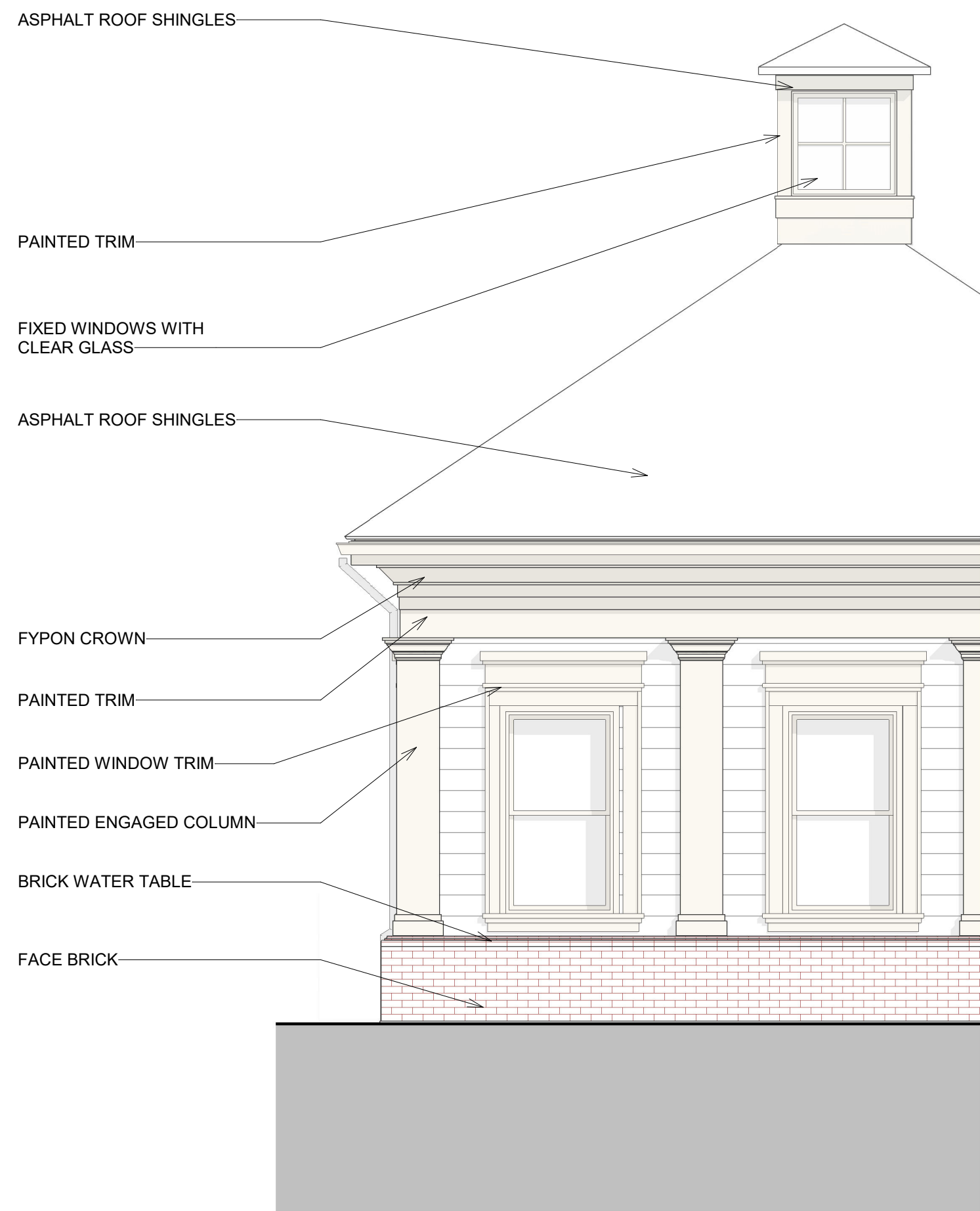
NEW ALBANY POLICE FACILITY
ADDITIONS AND RENOVATIONS
50 VILLAGE HALL ROAD
NEW ALBANY, OHIO 43054

SD SET:	05/30/2025
NACO SET:	07/21/2025
NACO SET:	08/22/2025
NACO & ARB SET:	09/10/2025

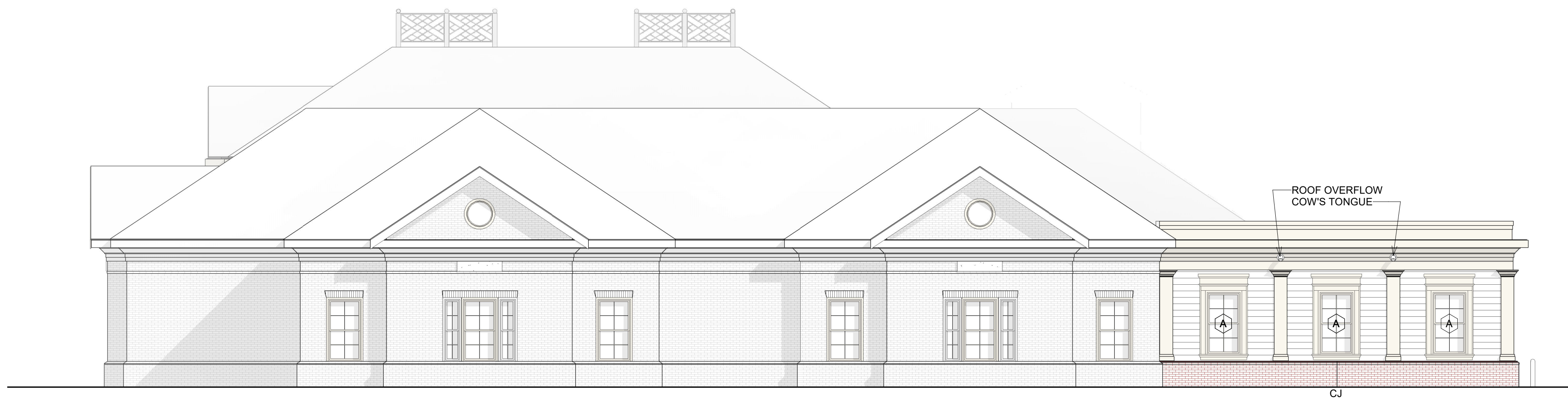
SCHEMATIC PLAN



1 SOUTH ELEVATION
1/8" = 1'-0"



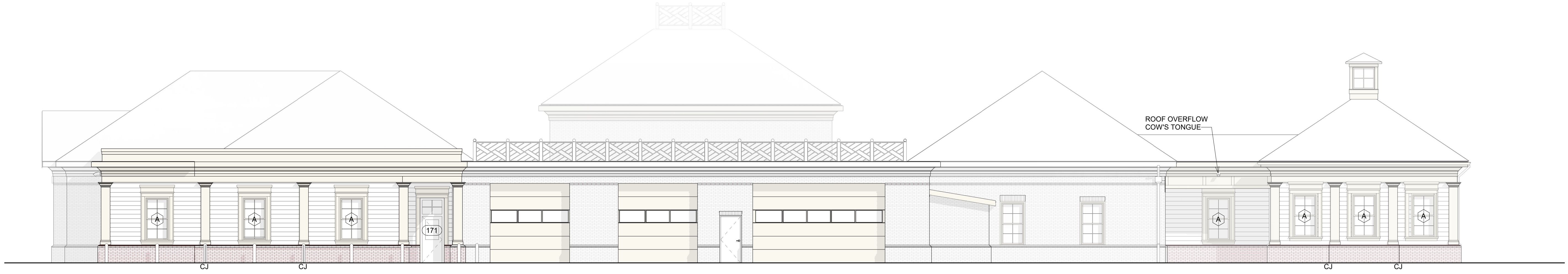
3 SOUTH ELEVATION - DETAIL
1/4" = 1'-0"



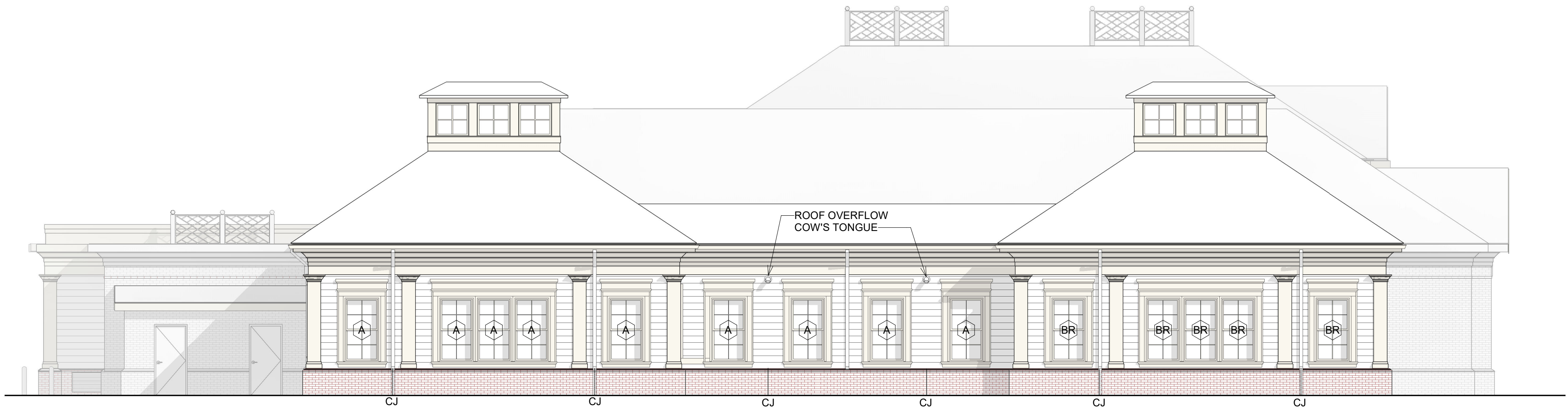
2 EAST ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH SELECTIONS:

BASIS OF DESIGN:	
04 21 13 BRICK:	MATCH EXISTING
CAST STONE:	MATCH EXISTING
SOFFIT:	MATCH EXISTING
07 42 13 EXTERIOR CEILING:	MATCH EXISTING
07 62 00 METAL PARAPET COPING:	MATCH EXISTING
07 62 00 GUTTERS & DOWNSPOUTS:	MATCH EXISTING
08 54 13 WINDOWS:	MATCH EXISTING
08 54 13 ENTRY DOOR:	MATCH EXISTING



① NORTH ELEVATION
1/8" = 1'-0"



② WEST ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH SELECTIONS:

BASIS OF DESIGN:	
04 21 13 BRICK:	MATCH EXISTING
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08 54 13 ENTRY DOOR:	MATCH EXISTING

INTERIOR PARTIAL HEIGHT 3'-8 1/2" OR 6" METAL STUDS @ 16" O.C. EXTEND METAL STUD MINIMUM 1'-0" ABOVE FINISH CEILING AND BRACE TOP OF WALL. REFER TO ARCHITECTURAL AND STRUCTURAL DOCUMENTS FOR SPECIFIC BRACING, KSI AND GAGE REQUIREMENTS. GIB BOTH SIDES AND EXTEND MINIMUM 1'-0" ABOVE FINISH CEILING. GIB FINISH AS INDICATED. EXCEPTIONS OR ADDITIONS NOTED.

METAL STUD WALLS:
RULL HEIGHT 3'-8 1/2" OR 6" METAL STUDS @ 16" O.C. EXTEND TO FLOOR/ROOF DECK OR BOTTOM CHORD OF ROOF TRUSSES ABOVE. REFER TO ARCHITECTURAL AND STRUCTURAL DOCUMENTS FOR SPECIFIC BRACING, KSI AND GAGE REQUIREMENTS. GIB BOTH SIDES AND EXTEND RULL HEIGHT. GIB FINISH AS INDICATED. EXCEPTIONS OR ADDITIONS NOTED.

MODIFICATIONS TO ABOVE
METAL STUD WALL CONSTRUCTIONS:

- ===== BULLET RESISTANT PANEL:
BULLET RESISTANT PANEL: APPLY BEHIND GIB AND EXTEND MINIMUM 1'-0" ABOVE FINISH CEILING. PROVE INDICATION SHOWS WHICH SIDE OF WALL TO PLACE PANELS. PROVIDE 20 GAGE METAL STUD CONSTRUCTION AT 16" O.C. RECEPTIVE BULLET RESIST PANELS. EXCEPTIONS OR ADDITIONS NOTED.
- ===== SECURITY PERIMETER PANEL:
1/2" GIBENT BORDERED PANELING: APPLY BEHIND GIB AND EXTEND TO FLOOR/ROOF DECK OR BOTTOM CHORD OF ROOF TRUSSES ABOVE. PROVE INDICATION SHOWS WHICH SIDE OF WALL TO PLACE PANELS. EXCEPTIONS OR ADDITIONS NOTED.
- ===== SOUND ATTENUATION BATT:
3 1/2" SOUND ATTENUATION BATT INSULATION. EXTEND TO FLOOR/ROOF DECK OR BOTTOM CHORD OF ROOF TRUSSES ABOVE. EXCEPTIONS OR ADDITIONS NOTED.
- ===== 1 HOUR FIRE SEPARATION:
SEE CODE DATA SHEET G401 FOR UL DESIGN ASSEMBLY.

CONCRETE MASONRY UNIT WALL:
PARTIAL HEIGHT WALL, 8" NOMINAL UNITS, EXTEND TO MINIMUM 1' CPU COURSE ABOVE FINISH CEILING. EXCEPTIONS OR ADDITIONS NOTED.

CONCRETE MASONRY UNIT WALL:
FULL HEIGHT WALL, 8" NOMINAL UNITS, EXTEND TO FLOOR/ROOF DECK OR BOTTOM CHORD OF ROOF TRUSSES ABOVE. EXCEPTIONS OR ADDITIONS NOTED.

MODIFICATIONS TO ABOVE
CONCRETE MASONRY UNIT WALL CONSTRUCTIONS:

- ===== SECURITY CONCRETE MASONRY:
RULLY GROUTED AND REINFORCED WITH VERTICAL #5 BARS @ 8" O.C. AND HEAVY DUTY HORIZONTAL JOINT REINFORCEMENT @ 8" O.C.
FOR STRUCTURAL BEARING SECURITY CONCRETE MASONRY UNIT WALL, THE VERTICAL REINFORCEMENT SHALL BE PROVIDED BY THE STRUCTURAL REQUIREMENTS SHALL GOVERN. HOWEVER, THE SPACING SHALL NOT BE LESS THAN LISTED ABOVE.
- ===== METAL FURRING:
1 1/2" METAL FURRING @ 16" O.C. EXTEND METAL FURRING MINIMUM 1'-0" ABOVE FINISH CEILING. GIB TO EXTEND MINIMUM 1'-0" ABOVE FINISH CEILING. GIB FINISH AS INDICATED. EXCEPTIONS OR ADDITIONS NOTED.
- ===== 1 HOUR FIRE SEPARATION:
SEE CODE DATA SHEET G401 FOR UL DESIGN ASSEMBLY.

GLASS MASONRY UNIT WALL:
8" NOMINAL, UNLESS OTHERWISE NOTED.

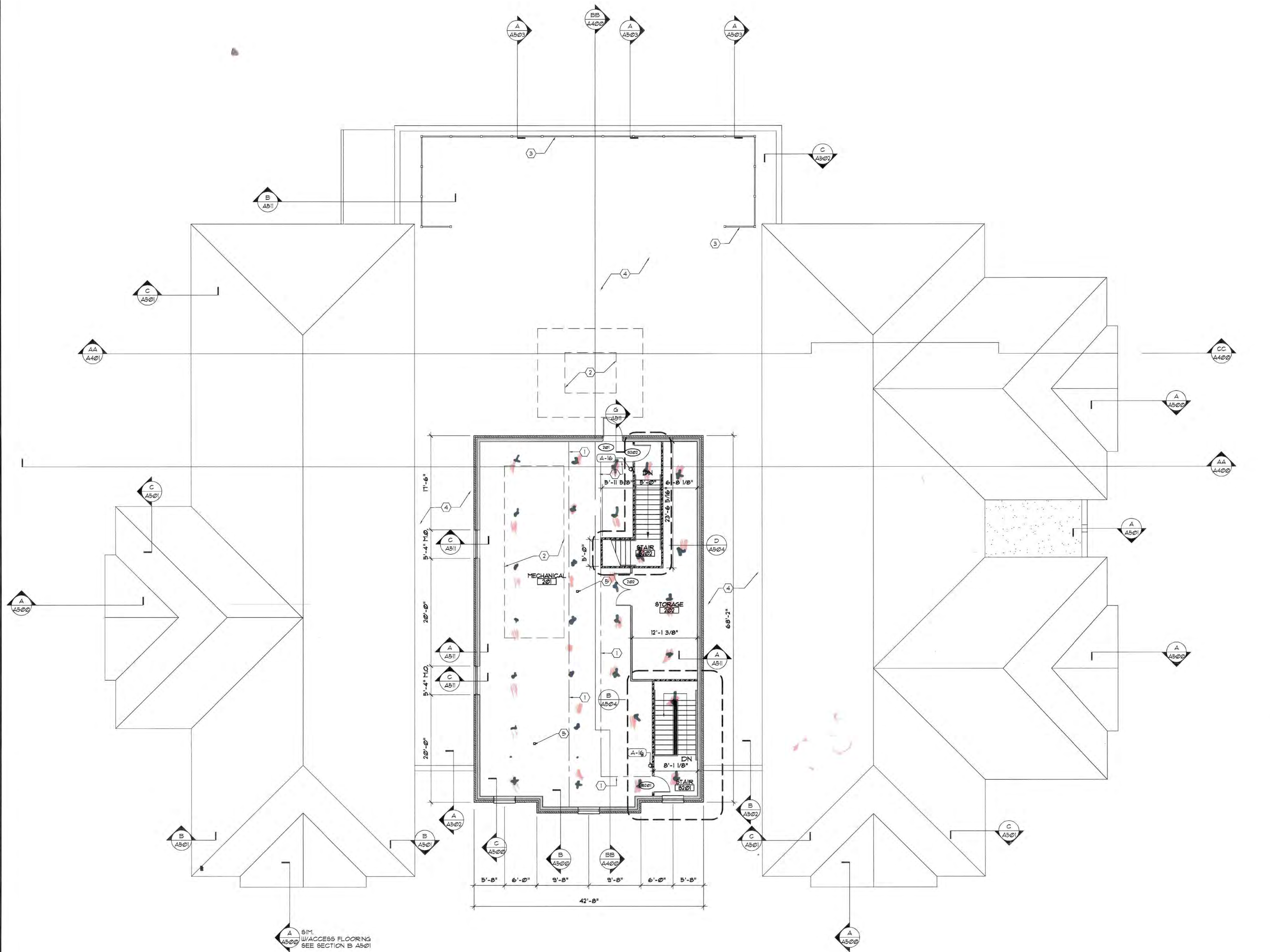
- (1) PAINTED EGRESS PATH LINE.
- (2) EQUIPMENT - SEE MECHANICAL DRAWINGS.
- (3) ORNAMENTAL RAILINGS - SEE SHEET A201 FOR DETAILS.
- (4) SEE ROOF PLAN SHEET A-200.
- (5) FLOOR DRAIN - SEE PLUMBING DRAWINGS.
- (6) FLUSHING RIM FLOOR DRAIN - SEE PLUMBING DRAWINGS.
- (7) SAFE - OFOI
- (8) REFRIGERATOR - OFCI
- (9) ADJUSTABLE SHELVES - SEE INTERIOR ELEVATIONS
- (10) CUT RECESS INTO CONCRETE FLOOR SLAB FOR ADA SHOULDER COORDINATE DEPTH WITH PLUMBING CONTRACTOR
- (11) CAMERA EQUIPMENT - OFOI
- (12) PROVIDE J- BOX FOR FUTURE POWER AND DATA - SEE ELECTRICAL DRAWINGS.
- (13) EMERGENCY SHOWER AND EYE WASH - SEE MECH. DWS.
- (14) 8"Ø FIRE RETARDANT TREATED PLYWOOD FROM TOP OF SLAB TO 8'-0" ABOVE ACCESS FLOOR.
- (15) 8"Ø FIRE RETARDANT TREATED PLYWOOD FROM TOP OF ACCESS FLOOR TO 8'-0" ABOVE ACCESS FLOOR.
- (16) 8" CHU (TOP OF WALL AT 5'-0" AFF)
- (17) 6" CHU (TOP OF WALL AT 4'-0" AFF)
- (18) 6" MTL. STUD FOR SINK CARRIER
- (19) 8" CHU (TOP OF WALL AT 4'-0" AFF)
- (20) PROVIDE MIRROR STARTING AT 20" ABOVE FLOOR TO 1'-0" AFF AND 6" WIDE.
- (21) VENDING MACHINES (OFOI)
- (22) COFFEE MACHINE (OFOI)
- (23) 12" CHU WALL
- (24) 3/8" 16 GA. MTL. STUDS @ 16" O.C ATTACHED TO TRUSSES ABOVE PROVIDE THESE STUDS FOR 2'-8" EA. SIDE OF SHOWER SEAT.
- (25) PROVIDE DIAGONAL BRACING AT 16" O.C.
- (26) DETOX BUNK SEE DETAIL K/ATII
- (27) CELL BUNK SEE DETAIL K/ATII
- (28) PROVIDE FOUR (4) A-314 FLAT SCREEN MONITOR MOUNTS
- (29) WINDOW FILM APPLIED TO WINDOW GLAZING
- (30) START FLAT FILM 24" X 24" ACCESS FLOOR PANEL AT EXTERIOR WALL
- (31) PROVIDE A MTL. STUD WALL FROM TOP OF CHU WALL TO THE UNDER SIDE OF ROOF DECK WALL CONSTRUCTION TO BE ULS. 463.
- (32) BOLLARD - SEE DETAIL M/ATII
- (33) AT SHOWER SEAT PROVIDE 3 3/8" 16 GA. MTL. STUD FRAMING AT 16" O.C., FLOOR JOIST OR END OF TRUSSES AND ATTACHED WITH A DEFLECTION TRACK AT TRUSSES.

1. FOUNDATION PLAN DIMENSIONS ARE TO FACE OF FOUNDATION. INTERIOR DIMENSIONS ON FIRST AND SECOND FLOOR PLANS ARE TO FACE OF BRICK. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF CHU UNLESS OTHERWISE NOTED.
2. INTERIOR DOOR JAMB LOCATIONS:
METAL STUD WALLS: 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
CHU WALLS: 8" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
3. REFER TO SHEET A100 FOR STANDARD ACCESSORY MOUNTING LOCATIONS.
4. REFER TO SHEETS A103 AND A104 FOR THE COMPLETE LISTING OF ACCESSORIES.
5. USE IMPACT RESISTANT BARS IN CORRIDORS AND PUBLIC AREAS, SPECIFICALLY ROOMS: 102, 102, 104, 102, 116, 128, 131, 138, 141, 144, 145, 146, AND 149.
6. REFER TO SHEET A800 FOR INTERIOR HOLLOW METAL FRAME ELEVATIONS.
7. DIMENSIONS TO INTERIOR WINDOWS ARE TO CENTER LINE OF MASONRY OPENING UNLESS OTHERWISE NOTED.
8. ALL EXPOSED CORNERS ON INTERIOR CHU, BOTH HORIZONTAL AND VERTICAL ARE TO BE BULLNOSE UNITS UNLESS OTHERWISE NOTED.
9. PROVIDE BLOCKING AT ALL WALL DOOR STOPS.

10. WHERE DISCREPANCIES OCCUR BETWEEN FLOOR PLANS AND DETAILS AND LARGE SCALE DRAWINGS, CONSULT ARCHITECT FOR CLARIFICATION. WHERE CONFLICTS OCCUR BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, CONSULT ARCHITECT FOR INTERPRETATION.
11. ARCHITECTURAL DRAWINGS DO NOT NECESSARILY SHOW ALL FRAMING/STRUCTURAL COMPONENTS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
12. ALL MATERIALS AND INFORMATION NOTED ON ANY OF THE WALL SECTIONS OR DETAILS ON DRAWINGS APPLIED TO ALL OTHER SECTIONS AND DETAILS ON THOSE SHEETS WHERE SHOWN OR WHERE SIMILAR CONDITIONS OCCUR WHETHER NOTED OR NOT.
13. COMPLY WITH ALL LOCAL, STATE, AND FEDERAL ORDINANCES THAT GOVERN PROJECT LOCATION.
14. TREATED PRESSURE-TREATED WOOD BLOCKING IN WALLS (FIRE RETARDANT PROVIDE WOOD BLOCKING IN FIRE RATED WALLS), AS REQUIRED FOR WALL MOUNTED EQUIPMENT AND HARDWARE INCLUDING TENON IDENTIFIED AS WALLS PROVIDED BY OWNER. VERIFY ALL MOUNTING REQUIREMENTS WITH ARCHITECT, OWNER, MANUFACTURER, OR EQUIPMENT SUPPLIER.

FIRST FLOOR PLAN

0' 8' 16'



GENERAL NOTES - PLAN

- FOUNDATION PLAN DIMENSIONS ARE TO FACE OF FOUNDATION. EXTERIOR DIMENSIONS ON FIRST AND SECOND FLOOR PLANS ARE TO FACE OF BRICK. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR FACE OF CMU UNLESS NOTED OTHERWISE.
- INTERIOR DOOR JAMB LOCATIONS: METAL STUD WALLS: 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE. CMU WALLS: 8" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- REFER TO SHEET A100 FOR STANDARD ACCESSORY MOUNTING LOCATIONS.
- REFER TO SHEETS A103 AND A104 FOR THE COMPLETE LISTING OF ACCESSORIES.
- USE IMPACT RESISTANT BOARD IN CORRIDORS AND PUBLIC AREAS, SPECIFICALLY ROOMS: 102, 102, 104, 112, 116, 128, 131, 138, 141, 144, 145, 146, AND 149.
- REFER TO SHEET A100 FOR INTERIOR HOLLOW METAL FRAME ELEVATIONS.
- DIMENSIONS TO EXTERIOR WINDOWS ARE TO CENTER LINE OF MASONRY OPENING UNLESS OTHERWISE NOTED.
- ALL EXPOSED CORNERS ON INTERIOR CMU, BOTH HORIZONTAL AND VERTICAL ARE TO BE BULLNOSE UNITS UNLESS OTHERWISE NOTED.
- PROVIDE BLOCKING AT ALL WALL DOOR STOPS.
- WHERE DISCREPANCIES OCCUR BETWEEN FLOOR PLANS AND DETAILS AND LARGE SCALE DRAWINGS, CONSULT ARCHITECT FOR CLARIFICATIONS. WHERE CONFLICTS OCCUR BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, CONSULT ARCHITECT FOR INTERPRETATION.

- ARCHITECTURAL DRAWINGS DO NOT NECESSARILY SHOW ALL FRAMING/STRUCTURAL COMPONENTS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL MATERIALS AND INFORMATION NOTED ON ANY OF THE WALL SECTIONS OR DETAILS ON DRAWINGS APPLY TO ALL OTHER SECTIONS AND DETAILS ON THOSE SHEETS WHERE SHOWN OR WHERE SIMILAR CONDITIONS OCCUR WHETHER NOTED OR NOT.
- COMPLY WITH ALL LOCAL, STATE, AND FEDERAL ORDINANCES THAT GOVERN PROJECT LOCATION.
- PROVIDE PRESSURE-TREATED WOOD BLOCKING IN WALLS (FIRE RETARDANT TREATED WOOD BLOCKING IN FIRE RATED WALLS) AS REQUIRED FOR WALL MOUNTED EQUIPMENT AND HARDWARE, INCLUDING ITEMS IDENTIFIED AS BEING PROVIDED BY OWNER. VERIFY ALL MOUNTING REQUIREMENTS WITH ARCHITECT, OWNER, MANUFACTURER, OR EQUIPMENT SUPPLIER.



SECOND FLOOR PLAN

WALL LEGEND

- METAL STUD WALLS:**
INTERIOR PARTIAL HEIGHT 3 5/8" OR 6" METAL STUDS @ 16" O.C. EXTEND METAL STUD MINIMUM 1'-0" ABOVE FINISH CEILING AND BRACE TOP OF WALL. REFER TO ARCHITECTURAL AND STRUCTURAL DOCUMENTS FOR SPECIFIC BRACING, KSI AND GAGE REQUIREMENTS. GUS BOTH SIDES AND EXTEND MINIMUM 1'-0" ABOVE FINISH CEILING. GUS FINISH AS INDICATED. EXCEPTIONS OR ADDITIONS NOTED.
- METAL STUD WALLS:**
FULL HEIGHT 3 5/8" OR 6" METAL STUDS @ 16" O.C. EXTEND TO FLOOR/ROOF DECK OR BOTTOM CHORD OF ROOF TRUSSES ABOVE. REFER TO ARCHITECTURAL AND STRUCTURAL DOCUMENTS FOR SPECIFIC BRACING, KSI AND GAGE REQUIREMENTS. GUS BOTH SIDES AND EXTEND FULL HEIGHT. GUS FINISH AS INDICATED. EXCEPTIONS OR ADDITIONS NOTED.
- MODIFICATIONS TO ABOVE:**
METAL STUD WALL CONSTRUCTIONS:
- BULLET RESISTANT PANEL:**
BULLET RESISTANT PANEL. APPLY BEHIND GUS AND EXTEND MINIMUM 1'-0" ABOVE FINISH CEILING. POCKET INDICATION SHOWS WHICH SIDE OF WALL TO PLACE PANELS. PROVIDE 20 GAGE METAL STUD CONSTRUCTION AT 16" O.C. FOR WALLS TO RECEIVE BULLET RESISTANT PANELS. EXCEPTIONS OR ADDITIONS NOTED.
- SECURITY PERIMETER PANEL:**
1/2" CEMENT BONDED PARTICLE BOARD. APPLY BEHIND GUS AND EXTEND TO FLOOR/ROOF DECK OR BOTTOM CHORD OF ROOF TRUSSES ABOVE. POCKET INDICATION SHOWS WHICH SIDE OF WALL TO PLACE PANELS. EXCEPTIONS OR ADDITIONS NOTED.
- SOUND ATTENUATION BATT:**
3 1/2" SOUND ATTENUATION BATT INSULATION. EXTEND TO FLOOR/ROOF DECK OR BOTTOM CHORD OF ROOF TRUSSES ABOVE. EXCEPTIONS OR ADDITIONS NOTED.
- 1 HOUR FIRE SEPARATION:**
SEE CODE DATA SHEET G401 FOR UL DESIGN ASSEMBLY.
- CONCRETE MASONRY UNIT WALL:**
PARTIAL HEIGHT WALL: 8" NOMINAL UNITS. EXTEND TO MINIMUM 1 CMU COURSE ABOVE FINISH CEILING. EXCEPTIONS OR ADDITIONS NOTED.
- CONCRETE MASONRY UNIT WALL:**
FULL HEIGHT WALL: 8" NOMINAL UNITS. EXTEND TO FLOOR/ROOF DECK OR BOTTOM CHORD OF ROOF TRUSSES ABOVE. EXCEPTIONS OR ADDITIONS NOTED.
- MODIFICATIONS TO ABOVE:**
CONCRETE MASONRY UNIT WALL CONSTRUCTIONS:
- SECURITY CONCRETE MASONRY:**
FULLY GROUTED AND REINFORCED WITH VERTICAL 5 BARS @ 8" O.C. AND HEAVY DUTY HORIZONTAL JOINT REINFORCING @ 8" O.C.
- FOR STRUCTURAL BEARING SECURITY CONCRETE MASONRY UNIT WALL, THE VERTICAL REINFORCING CALLED FOR BY THE STRUCTURAL REQUIREMENTS SHALL GOVERN. HOWEVER, THE SPACING SHALL NOT BE LESS THAN LISTED ABOVE.
- METAL FURRING:**
1 1/2" METAL FURRING @ 16" O.C. EXTEND METAL FURRING MINIMUM 1'-0" ABOVE FINISH CEILING. GUS TO EXTEND MINIMUM 1'-0" ABOVE FINISH CEILING. GUS FINISH AS INDICATED. EXCEPTIONS OR ADDITIONS NOTED.
- 1 HOUR FIRE SEPARATION:**
SEE CODE DATA SHEET G401 FOR UL DESIGN ASSEMBLY.
- GLASS MASONRY UNIT WALL:**
8" NOMINAL UNLESS OTHERWISE NOTED.

CODED NOTES-PLANS

- PAINTED EGRESS PATH LINE.
- EQUIPMENT - SEE MECHANICAL DRAWINGS.
- ORNAMENTAL RAILINGS - SEE SHEET A200 FOR DETAILS.
- SEE ROOF PLAN SHEET A-200.
- FLOOR DRAIN - SEE PLUMBING DRAWINGS.
- FLUSHING RM FLOOR DRAIN - SEE PLUMBING DRAWINGS.
- SAFE - CFOI
- REFRIGERATOR - CFOI
- ADJUSTABLE SHELVES - SEE INTERIOR ELEVATIONS
- CUT RECESS INTO CONCRETE FLOOR SLAB FOR ADA SHOWER COORDINATE DEPTH WITH PLUMBING CONTRACTOR
- CAMERA EQUIPMENT - CFOI
- PROVIDE J- BOX FOR FUTURE POWER AND DATA - SEE ELECTRICAL DUGS.
- EMERGENCY SHOWER AND EYE WASH - SEE MECH. DUGS.
- 5/8" FIRE RETARDANT TREATED PLYWOOD FROM TOP OF SLAB TO 8'-0" ABOVE ACCESS FLOOR.
- 5/8" FIRE RETARDANT TREATED PLYWOOD FROM TOP OF ACCESS FLOOR TO 8'-0" ABOVE ACCESS FLOOR.
- 8" CMU (TOP OF WALL AT 5'-0" AFF)
- 6" CMU (TOP OF WALL AT 4'-0" AFF)
- 6" MTL STUD FOR SINK CARRIER
- 8" CMU (TOP OF WALL AT 4'-0" AFF)
- PROVIDE MIRROR STARTING AT 20" ABOVE FLOOR TO 1'-0" AFF AND 6" WIDE.
- VENDING MACHINES (CFOI)
- COFFEE MACHINE (CFOI)
- 12" CMU WALL
- 3 5/8" 16 GA MTL STUDS AT 16" O.C ATTACHED TO TRUSSES ABOVE. PROVIDE THESE STUDS FOR 2'-0" EA. SIDE OF SHOWER SEAT. PROVIDE DIAGONAL BRACING AT 16" O.C.
- DETOX BUNK SEE DETAIL C/A111
- CELL BUNK SEE DETAIL K/A111
- PROVIDE FOUR (4) A-31A FLAT SCREEN MONITOR MOUNTS
- WINDOW FILM APPLIED TO WINDOW GLAZING
- START FULL 24" X24" ACCESS FLOOR PANEL AT EXTERIOR WALL
- PROVIDE A MTL STUD WALL FROM TOP OF CMU WALL TO THE UNDER SIDE OF ROOF DECK. WALL CONSTRUCTION TO BE UL 465.
- BOLLARD - SEE DETAIL M/A111
- AT SHOWER SEAT PROVIDE 3 5/8" 16 GA MTL STUD FRAMING AT 16" O.C. FLOOR TO BOT. OF ROOF TRUSSES AND ATTACHED WITH A DEFLECTION TRACK AT TRUSSES.

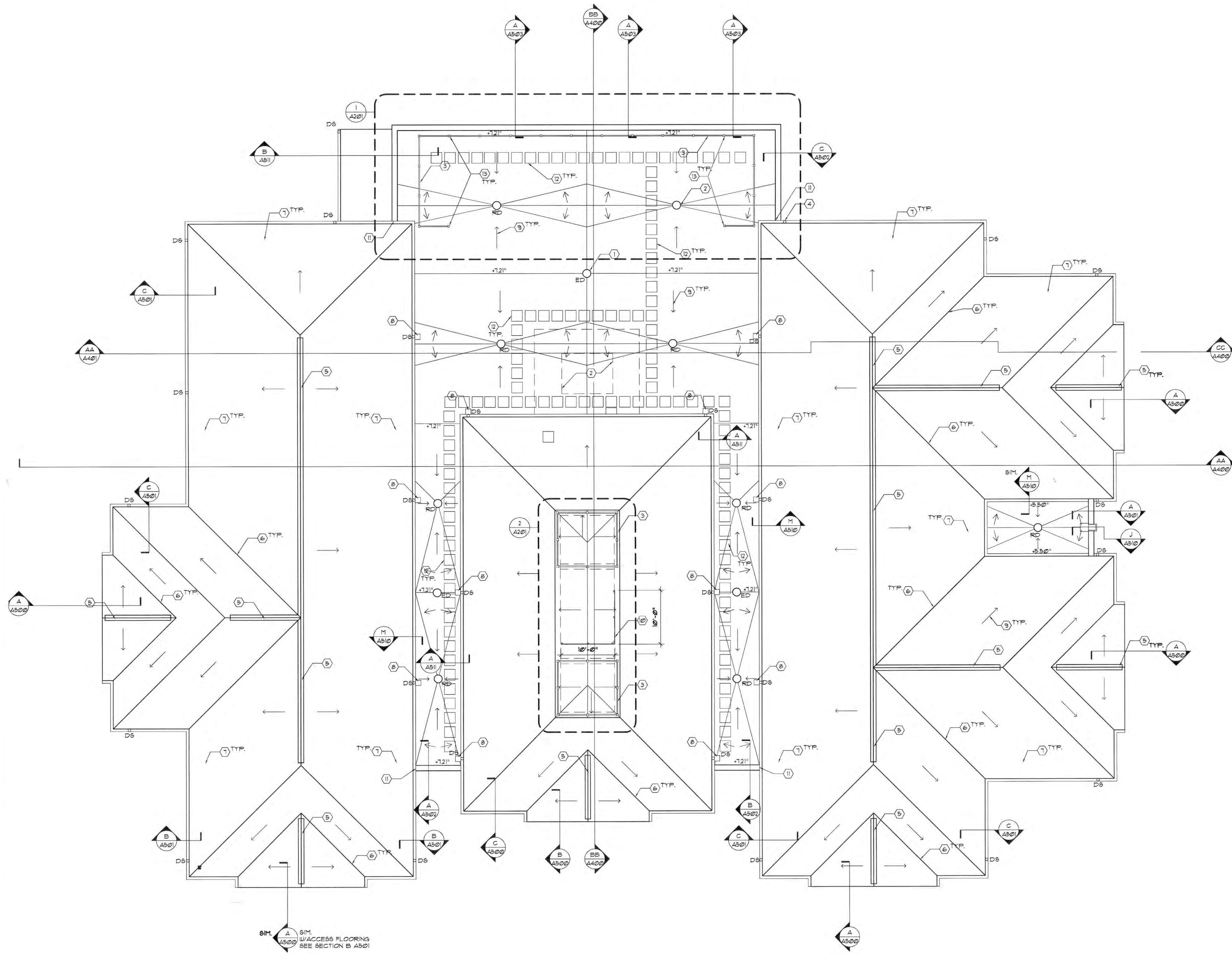
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PHASE MONTH XX, XXXX
BUREAU OF ADULT DETENTION - PHASE 3 6-02-09
BUILDING PERMIT / BIDDING 6-22-09
PROJECT NO. NA274

SECOND FLOOR PLAN
A120



CODING NOTES-ROOF PLAN

- ① EMERGENCY OVERFLOW ROOF DRAIN (ED)
- ② ROOF DRAIN (DR) - SEE DETAIL A/A510
- ③ ORNAMENTAL RAILING - SEE DETAILS SHEET A201
- ④ DOWNSPOUT (DS)
- ⑤ RIDGE VENT - SEE DETAIL G/A510
- ⑥ VALLEY ICE GUARD - SEE DETAIL C/A510
- ⑦ ICE GUARD - SEE DETAIL O/A510
- ⑧ SPLASH PAN
- ⑨ INDICATES SLOPE DIRECTION
- ⑩ ANTENNA SHALL BE ATTACHED TO TWO (2) 1 1/2" DIAMETER HORIZONTAL GALVANIZED PIPES (10'-0" LONG) ONE (1) EA. LEG AT 2'-0" ABOVE ROOF AND TWO (2) 1 1/2" DIAMETER HORIZONTAL GALVANIZED PIPES (10'-0" LONG) ONE (1) EA. LEG AT 3'-6" ABOVE ROOF. HORIZONTAL GALVANIZED PIPES ARE TO BE CONNECTED TO SIX (6) 3" DIAMETER VERTICAL GALVANIZED PIPES THREE (3) EA. LEG WHICH SHALL BE SECURELY ANCHORED DOWN THROUGH THE ROOF AND BOLTED TO THE STRUCTURE BELOW AT SEVERAL LOCATIONS. THERE SHALL BE SIX (6) ROOF PENETRATIONS INCLUDING:
 - THREE (3) FOR THE 3" DIAMETER PIPES AND
 - THREE (3) FOR THE 3" DIAMETER CABLE PENETRATIONS SPACING OF THE 3" PIPES SHALL BE COORDINATED WITH THE STRUCTURES TO INSURE ADEQUATE SUPPORT.
- ⑪ PARAPET TO STOP THE DEPTH OF GUTTER ALLOWING GUTTER TO BE CONTINUOUS RETURN COPING. PROVIDE FLASHING AND ROOFING MEMBRANE AT PARAPET TERMINATION.
- ⑫ WALK PADS
- ⑬ FIELD FABRICATED ALUM. BALUSTER SEAL - SIMILAR TO CARLISLE DETAIL U-W-A.

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PHASE NORTH 20' X 20' X 20'
 BUREAU OF ADULT DETENTION - PHASE 3 8-20-205
 BUILDING PERMIT / BIDDING 8-20-205

PROJECT NO. N4624

ROOF PLAN
 1/8" = 1'-0"

ROOF PLAN

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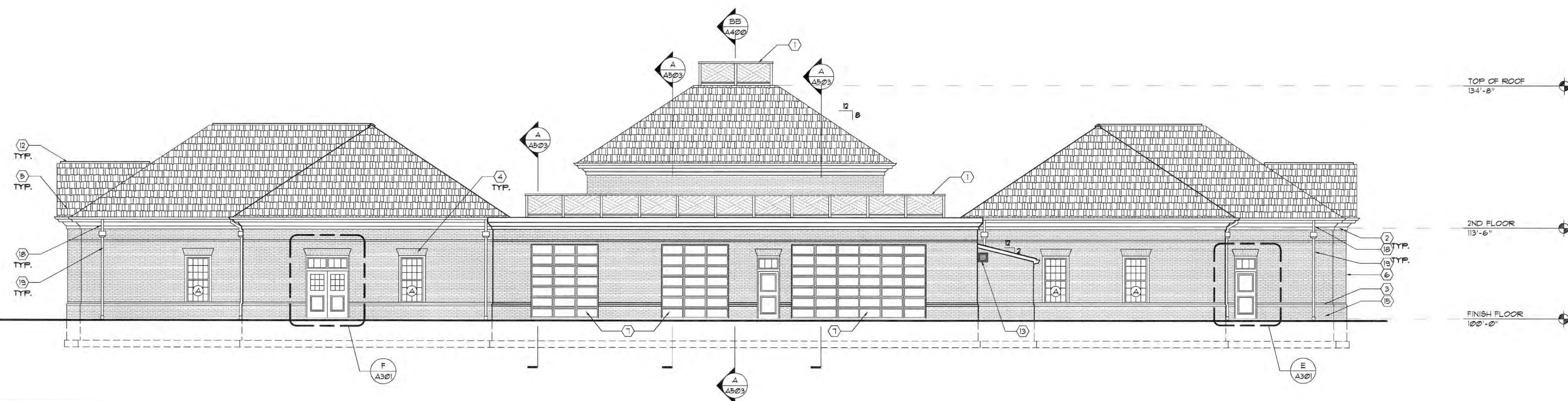
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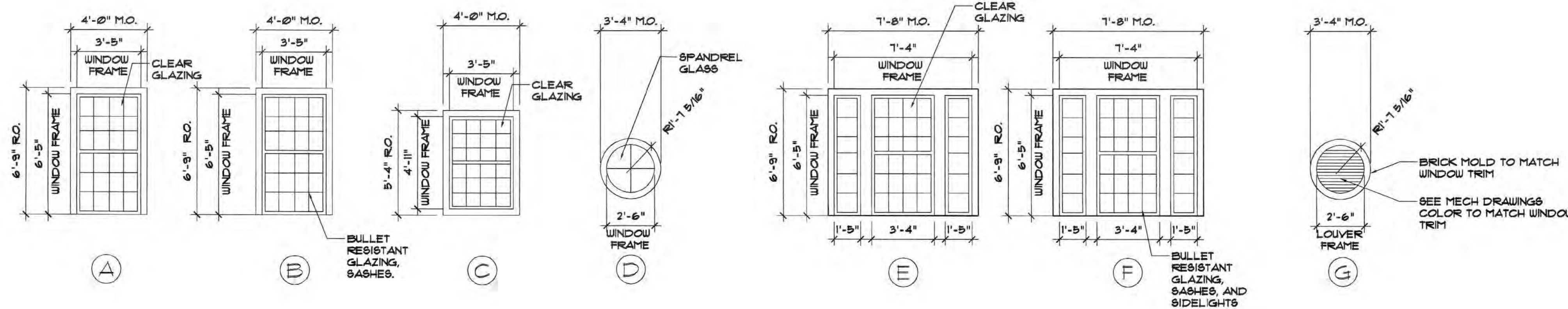
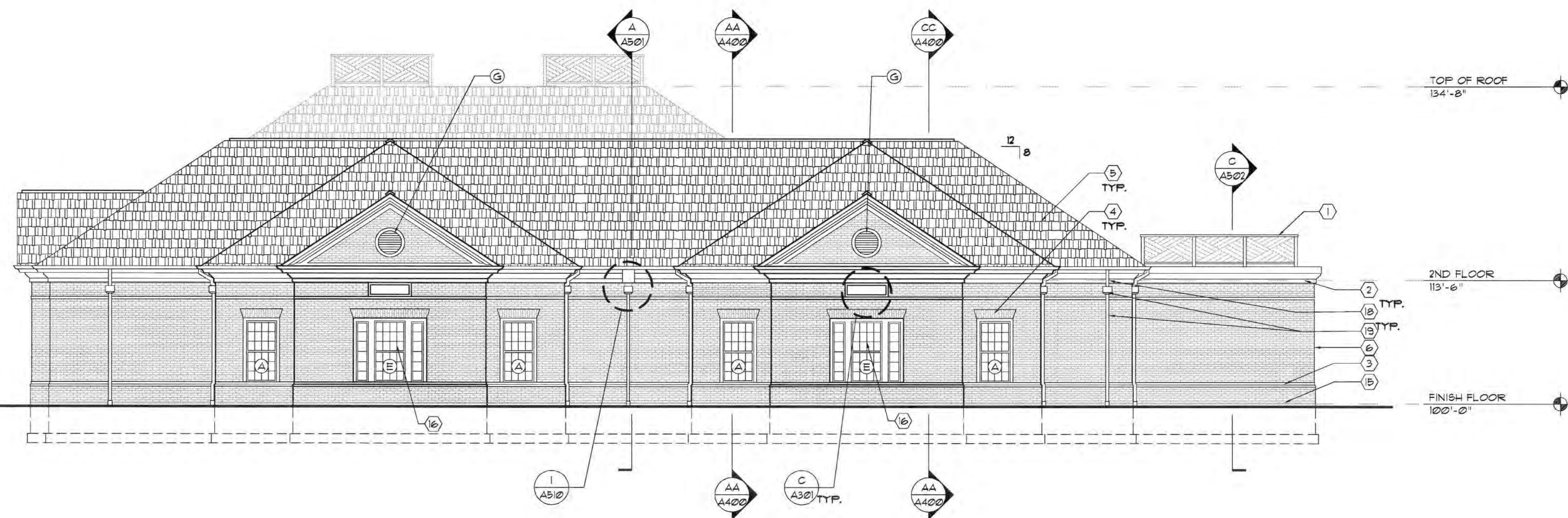
PHASE
BUREAU OF ADULT DETENTION - PHASE 2
BUILDING PERMIT / BUILDING 2-22-05
MONTH XXX, XXXX
PROJECT NO. NA674

EXTERIOR BUILDING
ELEVATIONS/EXT.
WINDOW ELEV.
A300

B NORTH ELEVATION
1/8" = 1'-0"



A EAST ELEVATION
1/8" = 1'-0"



WINDOW ELEVATIONS
3/8" = 1'-0"

CODED NOTES-ELEVATIONS

- 1 ORNAMENTAL RAILINGS - SEE SHEET A201 FOR DETAILS
- 2 PAINTED FASCIA MOULDING
- 3 BRICK WATER TABLE - (BRICK TYPE - 2)
- 4 BRICK JACK ARCH - (BRICK TYPE - 2)
- 5 ROOF SHINGLES
- 6 BRICK VENEER - (BRICK TYPE - 1)
- 7 OVER-HEAD DOORS
- 8 DOWNSPOUT
- 9 ATTIC LOUVER
- 10 GUTTER
- 11 PAINTED TRIM BOARD
- 12 RIDGE VENT
- 13 12"x12" LOUVER SEE MECH. DUGS. - PAINT TO MATCH BRICK
- 14 APPLIED FILM TO FROST WINDOW
- 15 BRICK TYPE - 2
- 16 FIXED TOP SASH
- 17 WALL MOUNTED SIGN, SEE DETAIL E/A513
- 18 DOWNSPOUT - COLOR A
- 19 DOWNSPOUT AND CONDUCTOR HEAD - COLOR B

NOTE:
BRICK IS GLEN-GERRY
TYPE 1 - BELGIAN REGULAR FLASH (TOASTED)
TYPE 2 - BROOKSHIRE REDBURN

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EXTERIOR
BUILDING
ELEVATIONS

A30



NOTE :
BRICK IS GLEN-GERY
TYPE 1 - BELGIUM REGULAR FLASH (TOASTED)
TYPE 2 - BROOKSHIRE REDBURN

