



New Albany Planning Commission Meeting Agenda

Monday, December 1, 2025, at 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comments at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes: November 17, 2025

IV. Additions or corrections to the agenda

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

V. Hearing of visitors for items not on tonight's agenda

VI. Cases:

ZC-78-2025 6600 New Albany-Condit Road I-PUD Rezoning

Request to allow a zoning change from the Rural Residential sub-district of the Urban Center Code to Infill-Planned Unit Development (I-PUD) for 1.116+/- acres of land at 6600 New Albany-Condit Road (PID: 222-000640).

Applicant: Rob Riddle c/o Aaron Underhill, Esq., Underhill & Hodge LLC

Motion of acceptance of staff reports and related documents into the record for ZC-78-2025.

Motion of approval for application ZC-78-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval.

FDM-93-2025 The Courtyards at Haines Creek FDP Modification

Request for centralized mailbox units (CBUs) to be located at The Courtyards at Haines clubhouse on a 1.478-acre site located at 9470 Antioch Drive (PID: 222-005497).

Applicant: EC New Vision Ohio, LLC

Motion of acceptance of staff reports and related documents into the record for FDM-93-2025.

Motion of approval for application FDM-93-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval.

ZC-94-2025 US-62 Business Zoning District Rezoning

Request to rezone 101+/- acres located on Johnstown Road from Agricultural District (AG) to Limited General Employment (L-GE) for an area to be known as the U.S. 62 Business Zoning District (PIDs: 220-000463, 222-002160, 222-002159, 220-002130, 220-001121, 220-000908, and 222-000068).

Applicant: MJB Holdings, LLC c/o Aaron Underhill, Esq.

Motion of acceptance of staff reports and related documents into the record for ZC-94-2025.

Motion of approval for application ZC-94-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval.

ZC-95-2025 Faith Life Church Expansion Rezoning

Request to rezone 2+/- acres located at 2365 Beech Rd from Agricultural District (AG) to the existing Infill Planned Unit Development (I-PUD) known as the Faith Life Church I-PUD Zoning District (PID: 222-005343).

Applicant: Faith Life Church c/o Aaron Underhill, Esq.

Motion of acceptance of staff reports and related documents into the record for ZC-95-2025.

Motion of approval for application ZC-95-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval.

VII. Other business

VIII. Poll members for comment

IX. Adjournment



New Albany Planning Commission

Monday, November 17, 2025 Meeting Minutes - DRAFT

I. Call to order

The New Albany Planning Commission held a regular meeting on Monday, November 17, 2025 in the New Albany Village Hall. Chair Kirby called the meeting to order at 7:03 p.m. and asked to hear the roll.

II. Roll call

Those answering the roll:

Mr. Kirby	present
Mr. Wallace	present
Mr. Schell	present
Ms. Briggs	absent
Mr. Larsen	present
Council Member Wilttrout	present

Having four voting members present, the commission had a quorum to transact business.

Staff members present: Law Director Albrecht, Planner I Blackburn, Planning Manager Christian, Planner I Sauter, Development Engineer Wood.

III. Action on minutes: October 20, 2025

Chair Kirby asked if there were any corrections to the minutes from the October 20, 2025 meeting.

Commissioner Wallace remarked that he thinks there is a discrepancy in the documents motion for CU-79-2025. The minutes reflect that Commissioner Briggs seconded the documents motion, however his notes reflect that he seconded the documents motion. Deputy Clerk Madriguera stated that she would check the recording and correct the minutes, if needed.

Hearing no further corrections, Commissioner Wallace moved to approve the October 20, 2025 meeting minutes as corrected if needed. Chair Kirby seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Wallace yes, Mr. Kirby yes, Mr. Schell yes, Mr. Larsen yes. Having four yes votes, the motion passed and the October 20, 2025 meeting minutes were approved as corrected, if needed.

Deputy Clerk's Note: On November 18, 2025 I checked the October 20th meeting recording. The documents motion for CU-79-2025 is about 2 hours and 33 minutes into the recording. The recording reflects that, although Commissioner Wallace and Commissioner Briggs may have spoken at the same time, that it was Commissioner Briggs who ultimately seconded the documents motion for CU-79-2025. I sent an email to Commissioner Wallace to let him know that I thought the minutes were correct as submitted. He agreed and responded that no correction was needed.

IV. Additions or corrections to the agenda

Chair Kirby asked whether there were any additions or corrections to the agenda.

Planning Manager Christian answered none from staff.

Chair Kirby administered the oath to all present who wished to address the commission.

V. Hearing of visitors for items not on tonight's agenda

Chair Kirby asked whether there were any visitors present who wished to address the commission for an item not on the agenda.

Hearing none, he introduced the first case and asked to hear the staff report.

VI. Cases:

FDP-83-2025 Dutch Bros Coffee Shop Final Development Plan

Final development plan for a new Dutch Bros coffee shop on a 0.70-acre site in the Canini Trust Corp. located at 9930 Johnstown Road (PID: 222-005166).

Applicant: Galloway c/o Aaron McLean

Planner I Sauter delivered the staff reports for FDP-83-2025, CU-84-2025, and VAR-85-2025 in a single presentation.

Chair Kirby asked to hear from the applicant, and asked him whether the walkup window meets safety egress.

Applicant Aaron McLean answered that yes, it meets firesafety egress, he further stated that they plan to comply with all relevant safety codes.

Chair Kirby asked how many employees would be working at the facility during shifts and during the shift changes, noting that parking was minimal.

Mr. McLean responded that shifts could have four to six workers, or 10 – 12 workers. He noted that some employees would use public transportation.

Chair Kirby confirmed that use of public transportation was not a condition of employment, and stated that he was concerned the coffee shop was underparked.

Planning Manager Christian stated that he would check whether there was a shared parking agreement with neighboring businesses.

Commissioner Schell asked the applicant whether this is their traditional business model, he asked whether other locations have parking issues and whether the walk up window presented safety issues.

Mr. McLean answered yes, this is their model and that it has been used in Dayton and Cincinnati. He stated that he was unaware of parking issues.

Planner I Sauter remarked that there was shared parking between the other neighbors.

Commissioner Wallace asked what were the odds of patrons of neighboring businesses using the spots closest to Dutch Brothers.

Planning Manager Christian responded that it is possible but seems unlikely considering that the peak times.

Chair Kirby asked about the logistics of the multi-lane ordering and converging lane pick up, what stopped cars from crowding each other out.

Mr. McLean stated that it is generally not a problem, this also worked well with other drive through restaurants such as Chic-Fil-A.

Commissioner Wallace discussed pedestrian access, what it would look like, where people would be walking, and whether it will be cement and marked. He observed that it appeared as though the pedestrians will have to move through the stacking area.

Mr. McLean answered that they would but it has not been a problem in other locations.

Commissioner Wallace asked whether there has been issues with near zero foot candles.

Planning Manager Christian added that the city has used in the past is 0.3 foot candles.

Commissioner Wallace encouraged the inclusion of numbers.

Chair Kirby asked the applicant how married he is to the monument sign.

Mr. McLean answered that it is the logo and they wanted to request it, but they recognize that it could be an issue in New Albany.

Chair Kirby agreed that it was an issue. He remarked that, not brighter than a legally lit monument sign, seems to be workable language. He further stated that if this does get to precedent that he would like it in a small box. He asked the applicant whether he has any problem with the conditions in the staff report.

Mr. McLean answered, not really.

Commissioner Wallace confirmed that staff is willing to work with the applicant on condition 11, if needed.

Chair Kirby stated that the fire code would take precedence, if there was a conflict.

Community Development Engineer Woods delivered the engineering report. He further remarked that the applicant has done a good job of responding to comments and added that there are a few comments that are encompassed in condition 11 of the final development plan staff report.

Chair Kirby discussed the following variance requests, see *infra* VAR-85-2025. He noted that there are no staff recommended conditions.

A – parking:

Chair Kirby mentioned shared parking as discussed earlier.

Commissioner Wallace stated that Popeye's and Dunkin were mentioned and asked whether either place has issues.

Planning Manager Christian answered no.

B – Doors:

Chair Kirby stated that firecode may require more than one door.

Commissioner Wallace remarked the requirement is largely aesthetic. Placing a door on every side could be dangerous considering the location of the drive-thru lanes.

Planning Manager Christian agreed and added that staff has encouraged avoiding a blank façade.

There was discussion of other businesses with drive throughs and limited parking that required pedestrians to cross the drive-through lane.

Chair Kirby noted the size of the business, 936 square feet, and remarked that a house of this size could not be built in New Albany.

C – additional signage:

Chair Kirby remarked that the commission has rejected requests to have the name on all four sides in the past.

D – illuminated monument sign:

Council Member Wiltout led a discussion about the distinction between an electronic sign and an illuminated monument sign. She confirmed that it is not a menu board, but rather it is an illuminated logo.

Chair Kirby asked if there was anyone from the public present who wished to comment on the application. Hearing none, he closed the public hearing.

Chair Kirby asked for further questions from the commission.

Commissioner Larsen remarked that there is no precedent for variance requests D and E.

Chair Kirby agreed and explained the function of variances, they are designed to alleviate a hardship. These requests did not articulate a hardship. He further asked whether it was known who initiated the lot split and whether the commission's vote makes it hard to work with this property because of its size.

Commissioner Wallace agreed and stated that this raises the question of the appropriate use of the property. He remarked that there is nothing unique about this property to justify variance requests C, D, and E.

Commissioner Schell remarked that the commission very much appreciates this new business in New Albany and all of the work that has gone into this application. Nonetheless, the variances, C, D, and E, were substantial departures from New Albany's regulations and granting these variances would be precedential.

Hearing no further questions, Chair Kirby moved to admit the staff reports and related documents into the record for FDP-83-2025. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Mr. Larsen yes, Mr. Schell yes. Having four yes votes the motion passed and the staff reports and related documents for FDP-83-2025.

Chair Kirby moved for approval of application FDP-83-2025 based on the findings in the staff report with the conditions in the staff report as modified by the commission, and the following additional condition, subject to staff approval:

Condition 11 modified as follows: noting that fire department requirements control in addition to the required numbers on the monument sign.

Additional Condition: 14. That the applicant confirm that a shared parking agreement exists, and if so, to offer shared parking.

Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Mr. Larsen yes, Mr. Schell yes. Having four yes votes, the motion passed and FDP-83-2025 was approved.

CU-84-2025 Dutch Bros Coffee Shop Drive-Through Conditional Use

Request for the conditional use of a drive-through for a new coffee shop on a 0.70-acre site in the Canini Trust Corp. located at 9930 Johnstown Road (PID: 222-005166).

Applicant: Galloway c/o Aaron McLean

Chair Kirby moved to accept the staff reports and related documents into the record for CU-84-2025. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Mr. Larsen yes, Mr. Schell yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted to the record for CU-84-2025.

Chair Kirby moved for approval of CU-84-2025 based on the findings in the staff report with the conditions in the staff report, subject to staff approval. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Mr. Schell yes, Mr. Larsen yes. Having four yes votes the motion passed and CU-84-2025 was granted.

VAR-85-2025 Dutch Bros Coffee Shop Variances

Request for variances from parking space requirements, signage requirements, and active front door requirements for a new coffee shop on a 0.70-acre site in the Canini Trust Corp. located at 9930 Johnstown Road (PID: 222-005166).

Applicant: Galloway c/o Aaron McLean

Chair Kirby moved to accept the staff reports and related documents into the record for VAR-85-2025. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Mr. Schell yes, Mr. Larsen yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted into the record for VAR-85-2025.

Commissioner Schell moved for approval of **VAR-85-2025, variance request A**. Commissioner Wallace seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Schell yes, Mr. Wallace yes, Mr. Larsen yes, Mr. Kirby yes. Having four yes votes, the motion passed and Variance A was granted.

Commissioner Larsen moved for approval of **VAR-85-2025, variance request B**. Chair Kirby seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Larsen yes, Mr. Kirby yes, Mr. Wallace yes, Mr. Schell yes. Having four yes votes, the motion passed and Variance B was granted.

Chair Kirby moved for approval of **VAR-85-2025, variance request C**. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby no, Mr. Schell no, Mr. Larsen no, Mr. Wallace no. Having zero yes votes and four no votes, the motion failed and variance request C was denied.

Chair Kirby explained that he voted no because of the precedential value of granting this variance, and that this request did not meet the *Duncan* criteria – there was nothing particular about this property to support the variance.

Commissioner Schell concurred.

Commissioner Wallace concurred.

Commissioner Larsen concurred.

Commissioner Larsen moved for approval of **VAR-85-2025, variance request D**. Chair Kirby seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Larsen no, Mr. Kirby no, Mr. Wallace no, Mr. Schell no. Having zero yes votes and four no votes, the motion failed.

Commissioner Larsen explained that the relief sought was not specific to this lot.

Chair Kirby concurred.

Commissioner Wallace concurred.

Commissioner Schell concurred.

Chair Kirby moved for approval of **VAR-85-2025, variance request E**. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby no, Mr. Larsen no, Mr. Wallace no, Mr. Schell no.

Chair Kirby explained that he voted no because granting this variance would afford a benefit to this applicant not afforded to the neighbors.

Commissioner Larsen concurred.

Commissioner Wallace concurred.

Commissioner Schell concurred and further stated that the commission appreciates Dutch Bros. coming to New Albany.

The commission thanked the applicant and wished him good luck.

Chair Kirby introduced the next two cases and asked to hear from staff.

CU-91-2025 Woodhaven Model Homes Conditional Use 1

Conditional use extension to allow an existing model home to continue operations on lot 52 within the Woodhaven subdivision (PID: 222-005343).

Applicant: Bob Webb c/o Kirk Denyes

Planner I Blackburn delivered the staff report for CU-91-2025.

Chair Kirby asked if there were any comments from engineering.

Development Engineer Wood answered there were none.

The Applicant, Kirk Denyes explained that they are just trying to extend the current model until our lease is up. He further stated he was happy to answer any questions.

Chair Kirby asked if there was anyone from the public who wished to comment on the application. He then confirmed that the hours of operation would remain the same.

Hearing no further questions, Chair Kirby moved to accept the staff reports and related documents into the record for CU-91-2025. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Wallace yes, Mr. Larsen yes, Mr. Schell yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted into the record for CU-91-2025.

Commissioner Wallace moved for approval of CU-91-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Wallace yes, Mr. Schell yes, Mr. Larsen yes, Mr. Kirby yes. Having four yes votes, the motion passed and CU-91-2025 was granted.

CU-92-2025 Woodhaven Model Homes Conditional Use 2

Conditional use approval for a residential model home to be located on lot 51 within the Woodhaven subdivision (PID: 222-005342).

Applicant: Bob Webb c/o Kirk Denyes

Planner I Blackburn delivered the staff report.

Commissioner Schell confirmed that it could be extended beyond two years and asked the applicant whether he thought it could be limited to two years.

Mr. Deynes stated that he hoped they would be done within two years.

Planning Manager Christian clarified for the record that the timer does not start until the certificate of occupancy is issued.

There was further discussion of whether and how long to restrict the term.

Chair Kirby asked if anyone from the public was present to speak on the application. Hearing none, he moved to accept the staff reports and related documents into the record for CU-92-2025. Commissioner Larsen seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Larsen yes, Mr. Schell yes, Mr. Wallace yes. Having four yes votes, the motion passed and the staff reports and related documents were admitted into the record for CU-92-2025.

Commissioner Schell moved to approve CU-92-2025 based on the findings in the staff report with the condition in the staff report as modified below, subject to staff approval:

Up to three years or until the last age-restricted lot in the subdivision is sold, subject to staff approval.

Commissioner Larsen seconded the motion. Chair Kirby asked whether there was any discussion on the motion. Hearing none he asked to hear the roll.

Upon roll call: Mr. Schell yes, Mr. Larsen yes, Mr. Kirby yes, Mr. Wallace yes. Having four yes votes the motion passed and CU-92-2025 was granted.

VII. Other business

VIII. Poll members for comment

IX. Adjournment

Having completed their agenda, and having no other business or comment from the members, Chair Kirby adjourned the November 17, 2025 meeting at 8:20 p.m. without objection. Submitted by Deputy Clerk Madriguera, Esq.

Appendix

FDP-83-2025

Staff Report

Record of Action

CU-84-2025

Staff Report

Record of Action

VAR-85-2025

Staff Report

Record of Action

CU-91-2025

Staff Report

Record of Action

CU-92-2025

Staff Report

Record of Action



Planning Commission Staff Report November 17, 2025 Meeting

DUTCH BROS COFFEE SHOP FINAL DEVELOPMENT PLAN

LOCATION: 9930 Johnstown Road (US-62) (PID: 222-005166-00)
APPLICANT: Galloway c/o Aaron McLean
REQUEST: Final Development Plan
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp. subarea 8a
STRATEGIC PLAN: Retail
APPLICATION: FDP-83-2025

Review based on application materials received September 23, 2025, and November 1, 2025.

Staff report prepared by Lauren Sauter, Planner

I. REQUEST AND BACKGROUND

The application is a final development plan for a proposed Dutch Bros Coffee shop located within the Canini Trust Corp. The development plan includes a 986-square-foot coffee shop with two drive-through lanes on a 0.701-acre site. The proposed user operates exclusively for drive-through and walk-up service, with interior access limited to staff. Walk-up service is facilitated through a walk-up window, where staff can serve customers in a manner similar to service through a drive-through window.

The zoning text allows Office buildings and the permitted uses contained in the Codified Ordinances of the Village of New Albany, OCD Office Campus District, Section 1144.02 and C-2, Commercial District, Section 1147.02, and the conditional uses contained in Section 1147.02, which includes restaurants with drive-through facilities.

This request has been submitted in conjunction with a conditional use application (CU-84-2025) for the drive-through use and five variances (VAR-85-2025) from parking, signage, and front door requirements related to this final development plan. All three applications are scheduled to be heard by the Planning Commission at this meeting. Information and evaluation of the conditional use and variance requests are included in separate staff reports.

II. SITE DESCRIPTION & USE

The site is currently undeveloped and comprises 0.701 acres within the Canini Trust Corp. at 9930 Johnstown Road, located generally north of Smith's Mill Road. It is abutted by Johnstown Road on its front and Woodcrest Way to its rear. Existing surrounding uses include fast-food restaurants with drive-throughs, including an adjacent Dairy Queen and Wendy's; gas stations, including Turkey Hill; and hotels, including Home2Suites by Hilton and Courtyard by Marriott.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under C.O. Chapter 1159.

The Commission should consider, at a minimum, the following (per C.O. Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per C.O. Section 1159.02, PUDs are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*

- i. Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- j. Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;
- k. Provide an environment of stable character compatible with surrounding areas; and
- l. Provide for innovations in land development, especially for affordable housing and infill development.

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan recommends the following development standards for the Neighborhood Retail future land use category:

1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
2. Combined curb cuts and cross access easements are encouraged.
3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
4. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
5. Integrate outdoor spaces for food-related businesses.

Additionally, the city adopted the US-62 Interchange Focus Area Plan addendum to the Strategic Plan in September 2025. This focused land use plan identifies the future land use character for the subject site to be US-62 Commercial Core. The plan identifies the following purpose for this land use:

1. Encourage vibrant, pedestrian-friendly commercial and retail uses that reflect the community's preference for less auto-oriented development along the corridor.
2. Identify strategies for tenant curation in collaboration with landowners to attract retail, commercial, and accommodation uses that align with the community's aspirations for this corridor.
3. Incorporate community input throughout the development process to ensure future land uses align with local values and aspirations.
4. Promote uses that complement and support existing anchor uses. Existing anchor uses include hotels, medical facilities, and civic/event spaces.

Use, Site, and Layout

1. The applicant proposes to develop a 986-square-foot Dutch Bros Coffee shop with two drive-through lanes. The full site is 0.701 acres in size. The coffee shop will operate exclusively for drive-through and walk-up service, with interior access limited to staff.
2. Commercial development is a permitted use within this zoning district. Drive-throughs associated with restaurant facilities are a conditional use within this zoning district. *The applicant proposes a drive-through and has applied for this conditional use to be heard by the Planning Commission at this meeting under case CU-84-2025.*
3. The proposed use is appropriate given the proximity of this site to State Route 161 and the surrounding commercial development along U.S. Route 62. Existing surrounding uses include fast-food restaurants with drive-throughs, including Dairy Queen and Wendy's; gas stations, including Turkey Hill; and hotels, including Home2Suites by Hilton and Courtyard by Marriott.
4. Before being subdivided in 2023, the lot was part of one larger lot with the site to the west that is currently occupied by Wendy's. The lot was split in a manner such that the subject parcel is smaller in acreage and shorter in width (and frontage on U.S. Route 62) than other surrounding sites.
5. As recommended by the City Landscape Architect, the proposed building setback aligns with the adjacent existing building façades.
6. Zoning text section 8a.01(7) requires that the total lot coverage, which includes areas of pavement and building, not exceed 80 percent. The plan meets this requirement with a proposed lot coverage of approximately 64 percent.

7. Zoning text section 8a.01 requires the following applicable setbacks for buildings and pavement:

<i>Table 1</i>		
Road	Requirement	Proposed
Johnstown Road	50 feet	50.65 feet – meets code
Woodcrest Way (private drives)	20 feet	20+ feet – meets code
Side yards	0 feet	West pavement: 10 feet – meets code East pavement: 0 feet – meets code

Access, Loading, Parking

1. The site can be accessed from any of the three proposed curb cuts:
 - a. One new full-access shared curb cut with Wendy's that attaches to an existing right-in, right-out curb cut to Woodcrest Way, a private road;
 - b. One existing full-access shared curb cut with the Wendy's on the west side;
 - c. One new full-access shared curb cut with the Dairy Queen on the east side.
2. The zoning text encourages shared access drives between sites by allowing for zero pavement setbacks and by including a provision stating that, where appropriate, shared access and joint parking agreements between adjacent parcels may be required by the Village Development Director. In addition to city staff and the Planning Commission historically encouraging shared curb cuts and connecting drive aisles between sites, the US-62 Interchange Focus Area Plan recommends developments in this area align their drive access points strategically to minimize congestion and unsafe turning movements, with a preference for shared access drives and cross-parcel connections. The proposed development establishes drive aisles for shared access with the properties on both its east and west sides.
3. The proposed building is surrounded by a parking lot, two drive-through lanes, and internal drive aisles. The drive-through appears to be appropriately positioned on the site where it does not interfere with traffic on the rest of the site and will not cause traffic to back up onto public roads.
4. C.O. 1167.05(d)(4) requires a minimum of one parking space for every 75 square feet of restaurant floor area space. The building is 986 square feet, which necessitates 13 parking spaces. The applicant proposes nine parking spaces and has applied for a variance to be heard by the Planning Commission at this meeting under case VAR-85-2025, item A.
5. C.O. 1167.05(d)(4) requires a minimum number of stacking spaces equal to 25 percent of the total required parking spaces for the drive-through tenant space. The building requires 13 parking spaces, which necessitates three stacking spaces; the applicant exceeds this requirement with 15 stacking spaces.
6. Per C.O. 1167.03(a), the minimum parking space dimensions required are nine feet wide and 19 feet long. The proposed parking spaces meet these specifications. One ADA parking space is provided, which is 11 feet wide and 19 feet long.
7. Per C.O. 1167.03(a), the minimum maneuvering lane width size is 22 feet for this development type. The proposed maneuvering lane width meets this requirement with a 24-foot maneuvering lane width.
8. Per C.O. 1165.06(a)(1), a 5-foot-wide concrete sidewalk is required to be installed along the Woodcrest Way site frontage. The applicant proposes to meet this requirement via connection to the existing sidewalks on the adjacent parcels.
9. As recommended by staff and the City Landscape Architect, the applicant has included a five-foot-wide sidewalk and pavement striping from the Johnstown Road leisure trail to the front of the building.

Architectural Standards

1. The purpose of the New Albany Design Guidelines and Requirements is to help ensure that the New Albany community enjoys the highest possible quality of architectural

- design. The zoning text contains architectural standards and is regulated by Section 6: Commercial Outside Village Center of the Design Guidelines and Requirements.
2. The zoning text states that the maximum building height within this zoning district shall not exceed 45 feet. Staff recommends a condition of approval that the building height not exceed 45 feet (condition #1).
 3. The applicant proposes to use brick for the majority of the building. The proposal also includes metal for the trim. The zoning text permits the use of these materials such as brick, pre-cast stone, wood, glass, and other synthetic materials are permitted as long as they are used appropriately. The design of the building and use of materials is appropriate and consistent with other buildings in the immediate area.
 4. Zoning text section 8a.03(1) states that all visible elevations of a building shall receive similar treatment in style, materials and design so that no visible side is of a lesser visual character than any other. The applicant meets this requirement by use of bricked-in windows, projecting overhangs, and high-quality architectural features on all four sides of the building.
 5. DGR Section 6(I)(A)(12) states that buildings shall have operable and active front doors along all public and private roads. The applicant proposes a building without operable and active front doors along its Johnstown Road and Woodcrest Way frontages and has applied for a variance to be heard by the Planning Commission at this meeting under case VAR-85-2025, item B.
 6. Zoning text section 8a.05(3) requires that trash receptacles and exterior storage areas be fully screened from public roads, and C.O. 1171.05(b) states that all trash and garbage container systems must be screened. The applicant meets these requirements by providing an enclosure that fully screens the dumpster and landscaping around two sides of the enclosure. The dumpster screening matches the building exterior by use of a brick wall enclosure; the doors are proposed to be corrugated metal shown as a dark blue color in the submittal.
 7. A roof plan was submitted. In accordance with zoning text section 8a.05(2), staff recommends a condition of approval that all rooftop mechanical equipment not be visible from and screened from all public roads and adjacent properties (condition #2).
 8. Zoning text section 8a.03(3)(b) states that if a flat roof is used, strong cornice lines must be integrated. The applicant is meeting this requirement.
 9. The City Architect reviewed the proposed final development plan and found the design to be well-proportioned and well-detailed, with the projected overhangs substantially helping to provide detail on the windowless façade, especially on the western side elevation on which a deep covered patio is proposed. The City Architect recommended the applicant include faux or bricked-in windows on the building façade where there is no projected overhang, and the applicant has fulfilled this request.



*Image: proposed west building elevation, where walk-up service occurs.
(The front is to the left and the rear is to the right.)*

Parkland, Buffering, Landscaping, Open Space, Screening

1. Parking lot landscaping requirements:
 - o C.O. 1171.06(a)(2) requires a minimum of five square feet of landscaped area for each 100 square feet of parking area or fraction thereof. The proposed landscape plan

shows 1,672 square feet of parking area, which necessitates 83.6 square feet of landscaped area. The proposal includes 1,863 square feet of landscaped area and exceeds this requirement.

- Zoning text section 8a.04(4)(c) requires a minimum amount of interior landscaping equal to eight percent of the total area of parking lot pavement, and for the interior landscaping to visually break up large expanses of pavement. The proposed landscape plan shows 15,107 square feet of parking lot pavement, which necessitates 1,208 square feet of parking lot landscaping. The proposal includes 1,863 square feet of landscaped area and exceeds this requirement.
 - C.O. 1171.06(a)(3) requires one tree per 10 parking spaces. The applicant provides nine parking spaces and the proposed landscape plan proposes at least one tree and meets the requirement.
 - Zoning text section 8a.04(4)(a) requires parking lots to be screened from rights-of-way with a minimum 36-inch-tall (three-foot-tall) evergreen landscape hedge or wall, and C.O. 1171.06(b) requires parking lots to be screened from primary streets and open space with a minimum 3.5-foot-tall evergreen hedge or masonry wall. The landscape plan meets these requirements with evergreen landscape hedges that exceed the minimum height requirement (the proposed types of evergreen hedges are four, five, and 10 feet in height). The hedges are proposed along the north and south sides of the development to screen it from the Johnstown Road and Woodcrest Way rights-of-way.
2. General site landscaping requirements:
- C.O. 1171.05(e) requires developments with a ground coverage (structures and vehicular use area) of up to 20,000 square feet to have a minimum of one tree per 5,000 square feet of ground coverage and a total tree planting equal to one inch in tree trunk size for every 2,000 square feet of ground coverage. The application shows 16,341 square feet of ground coverage, which necessitates three trees and eight inches in tree trunk size. The applicant proposes three trees. Staff recommends a condition of approval that the three trees required by C.O. 1171.05(e) have a minimum of an eight-inch caliper (condition #3).
3. Street tree landscaping and buffering requirements:
- Zoning text section 8a.04(2) requires street trees along Johnstown Road with a minimum 2.5-inch caliper and spaced at a minimum distance of 30 feet on center. Three trees currently exist along Johnstown Road in front of the site; two are within the parcel, and one is outside of the parcel in the tree lawn between the road and the leisure trail.
 - Zoning text section 8a.04(5) requires a minimum of eight deciduous trees with a 2.5-inch caliper or ornamental trees with a 1.5-inch caliper per 100 lineal feet to be planted throughout the setback areas along Johnstown Road. The landscape plan shows nine deciduous trees in the site's 102 lineal feet of frontage on Johnstown Road, where two have a three-inch caliper and seven have a two-inch caliper. Staff recommends a condition of approval that the tree caliper for the required trees in the Johnstown Road setback area be increased to a 2.5-inch caliper (see condition #4).
 - The Woodcrest Way final development plan (FDP-69-2014) describes additional landscape requirements for the subarea, which includes the installation of red sunset maple trees in the five-foot-wide tree lawn between Woodcrest Way and the five-foot-wide sidewalk. The applicant is providing three trident maple trees in the tree lawn along Woodcrest way. Staff recommends a conditional of approval that the applicant install the red sunset maple trees to the specifications outlined in the Woodcrest Way Landscape Plan, subject to staff approval (condition #5).
4. Zoning text section 8a.02 requires on-site bicycle racks. The applicant has proposed bike racks along the western building façade.

Lighting

1. The applicant has submitted a photometric plan that shows zero or near-zero footcandles at the property line along Johnstown Road and Woodcrest Way. However, the plan shows

- higher levels of light along portions of both the east and west property lines. Staff recommends a condition of approval that there be zero or near-zero footcandles along all property lines, subject to staff approval (condition #6).
2. Zoning text section 8a.05(e) and (f) requires all parking lot and private driveway light poles to be cut-off and downcast, no more than 20 feet in height, painted New Albany Green, and consistent with other lighting used in the subarea. The applicant proposes 17-foot-tall light fixtures that meet these criteria.

Signage

1. As part of this final development plan application, the applicant has submitted a sign plan for the site. The final development plan shows signage that differs from the sign plan package. Staff recommends a condition of approval that the proposed signage follow the specifications of the sign plan and not the final development plan (condition #7).
2. Zoning text section 8a.06(3)(i) permits one wall-mounted sign per retail tenant on each elevation of the building that fronts or sides on a public or private road. The proposed building faces two roads (one public road and one private road) and is permitted to use a total of two signs (one on each elevation facing a road). One square foot of sign face is permitted per each lineal foot of the building, not to exceed 80 square feet in size. The applicant proposes wall signs that do not meet location and quantity requirements and has applied for a variance to be heard by the Planning Commission at this meeting under case VAR-85-2025, item C. The applicant proposes the following wall signs:

Johnstown Road wall sign (front elevation)

- a. Area: 32.24 square feet—meets code
- b. Lettering height: 18.75 inches—meets code (maximum: 24 inches)
- c. Location: front elevation—meets code
- d. Lighting: face-lit—requires variance from code
- e. Relief: 5 inches—meets code (minimum: 1 inch)
- f. Color: three colors, excluding white—meets I-PUD text (maximum: three colors, excluding black and white)
- g. Materials: acrylic, vinyl—meets code (C.O. 1169.12(g)(2))

West (right) side elevation wall sign

- a. Area: 32.24 square feet—meets code
- b. Lettering Height: 18.75 inches—meets code (maximum: 24 inches)
- c. Location: side elevation, not facing a road—requires variance from code
- d. Lighting: face-lit—requires variance from code
- e. Relief: 5 inches—meets code (minimum 1-inch relief required)
- f. Color: three colors, excluding white—meets I-PUD text (maximum: three colors, excluding black and white)
- g. Materials: acrylic, vinyl—meets code (C.O. 1169.12(g)(2))

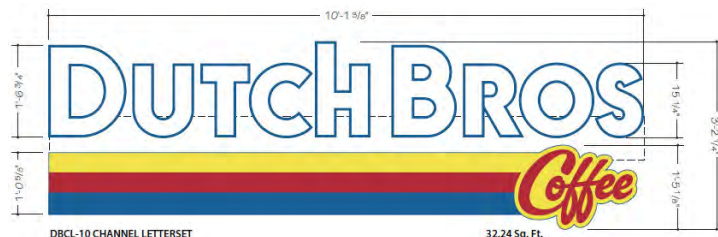


Image: proposed Johnstown Road and west elevation wall sign.

East (left) side elevation wall sign

- a. Area: 18.4 square feet—meets code
- b. Lettering height: not applicable
- c. Location: side elevation, not facing a road—requires variance from code
- d. Lighting: face-lit—requires variance from code

- e. Relief: 5 inches—meets code (minimum 1-inch relief required)
- f. Color: one color, excluding white—meets I-PUD text (maximum: three colors, excluding black and white)
- g. Materials: acrylic—meets code (C.O. 1169.12(g)(2))

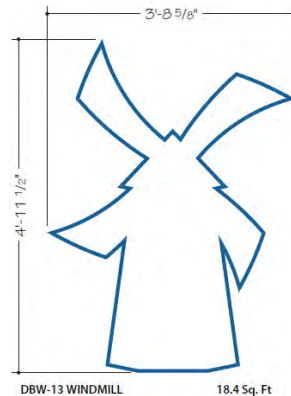


Image: proposed east elevation wall sign.

3. The applicant proposes one monument sign on the site along Johnstown Road. Zoning text section 8a.06(3)(iii) allows one ground-mounted identification sign in front of each building that does not exceed six feet in height and 40 square feet in area. The monument sign is six feet tall (with a two-foot-tall base) and meets these requirements. However, monument signs along Johnstown Road are also required to follow the 2013 Trust Corp. Signage Recommendations Plan, which was adopted by the city to ensure the design of monument signs remain consistent throughout the area. The applicant proposes a monument sign that does not follow the specifications of the 2013 Trust Corp. Signage Recommendations Plan and has applied for a variance to be heard by the Planning Commission at this meeting under case VAR-85-2025, item D. Further details of the sign and an analysis of the variance are included in the variance staff report.

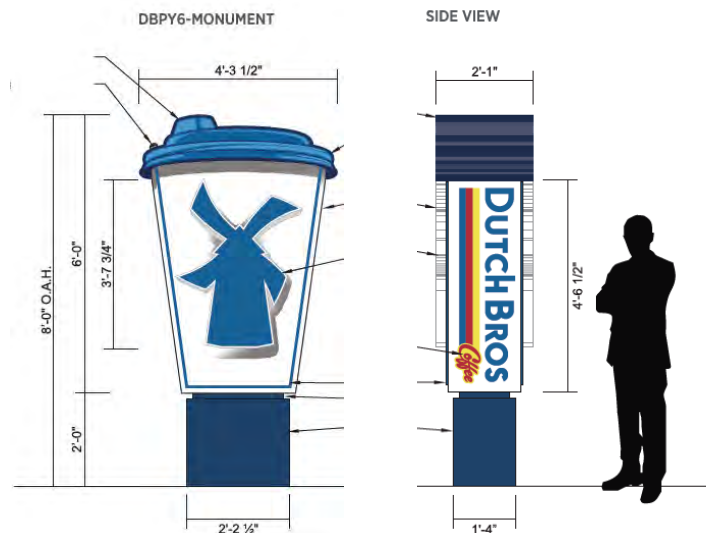
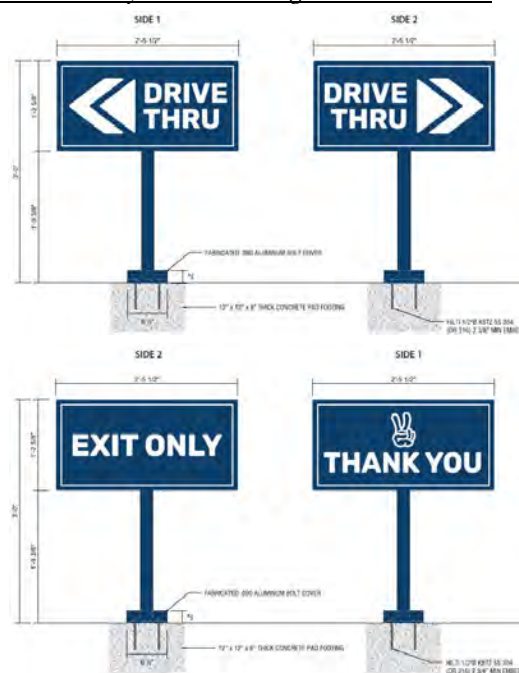


Image: proposed monument sign.

4. C.O. 1169.11(c) requires drive-through menu board signs to be no more than 32 square feet in size and not visible from the public right-of-way. The applicant proposes the installation of two drive-through menu board signs to serve the two drive-through lanes; these signs are identical and include a main 10.39-square-foot menu sign and two 5.5-square-foot snap frames on both sides. The signs meet the maximum size requirement of 32 square feet and are not visible from the public right-of-way.

5. Additionally, the applicant proposes to install a total of 10 wall-mounted menu board signs, divided equally between the east elevation around the drive-through and the west elevation around the walk-up window.
 - The city sign code does not have standards for wall-mounted menu board signs. C.O. 1169.11(c) specifically applies to *drive-through* menu board signs; however, because the walk-up menu board signs are similar in function, appearance, and intent to drive-through menu signs, staff considers this code section to be appropriate in evaluating these signs. The Planning Commission should evaluate the appropriateness of the wall-mounted walk-up menu board signs with C.O. 1169.11(c) in mind.
 - The walk-up menu board signs will not be visible from a public right-of-way or from any public or private road. They are located on the sides of the building, which face similar retail uses that utilize drive-through menu board signs.
 - The walk-up menu board signs are single-face only and do not exceed 32 square feet in size.
 - Because service is limited to the exterior of the development, a menu board is needed on this exterior to serve customers at the walk-up window.
 - C.O. 1169.12(b)(4) states that signs should avoid repeated functionality. Developments should to avoid repetitive signage or “over-signing” of the building façade. The drive-through menu board signs may adequately serve drive-through customers, and there is a lack of precedence in allowing five wall signs or menu board signs on any building façades. Staff recommends a condition of approval that the wall-mounted menu board signs be eliminated from the drive-through elevation and reduced to only the number necessary to display the menu on the walk-up window elevation (condition #8).
6. Both the drive-through and walk-up menu board signs are proposed to be internally illuminated. This is consistent with many nearby drive-through menu board signs in the area. C.O. 1169.11(c)(5) provides standards for electronic menu board signs that are applicable to these signs, including requirements that the sign is turned off when the business is closed and an automatic dimmer is installed that controls the sign brightness to ensure the sign is not overly bright throughout the day. Staff recommends a condition of approval that the drive-through and walk-up menu board signs have an automatic dimmer and are turned off outside of business hours (condition #9).
7. Zoning text section 8a.06(3) and 8a.06(6)(h) prohibit signs from being internally illuminated. The applicant proposes wall signs and a monument sign that are internally illuminated and has applied for a variance to be heard by the Planning Commission at this meeting under case VAR-85-2025, item E.
8. Two directional ground-mounted signs are proposed on the site. In accordance with zoning text section 8a.06(2), they do not contain an identification logo or name. They are three feet in height, which meets the zoning text maximum of three feet. They are 2.82 square feet in area, which meets the zoning text maximum of three square feet.
 - One directional sign (right, top image) has the text “DRIVE THRU” with an arrow pointing generally south on both sides, directing automobile traffic to the drive-through entrance. This sign is located near the northwestern corner of the building.
 - One directional sign (right, bottom image) has the text “EXIT ONLY” on one side and “THANK YOU” with an icon of a hand holding up two fingers on one side. It is located by the drive-through exit.



- Other developments in this subarea, such as the adjacent Dairy Queen and the nearby Popeye's, use directional signage that is consistent in appearance; they are black in color and include no imagery. Staff recommends a condition of approval that the directional signs be black and the icon be removed from the "Thank You" sign face (condition #10).
9. The applicant proposes one address sign on the front elevation facing Johnstown Road. C.O. 1169.18 states these signs do not count toward the maximum number of permitted sign types, and C.O. 1169.18(c)(2) allows one retail address sign that is a maximum of four square feet. The proposed sign is just under three square feet and meets these requirements. However, most existing developments within the Canini Trust Corp. do not include an address sign on the front building façade (typically the address is included on a monument sign along Johnstown Road); including the address sign here may deviate from the character of the subarea. Staff recommends a condition of approval that the address sign be relocated to the monument sign, subject to staff approval (condition #11).
 10. The parking lot for this development will include three parking spaces designated for mobile order pick-up by three identical aluminum signs. The signs include the words "RESERVED FOR MOBILE PICKUP" and a small Dutch Bros Coffee logo. Historically, staff and the Planning Commission have not allowed developments to include a logo on parking lot signage. Staff recommends a condition of approval that the logo be removed from the mobile order pick-up signs (condition #12).
 11. The applicant proposes to install one awning-mounted clearance sign above the drive-through.
 12. All proposed signage is consistent in design and color. Except for the wall sign on the front elevation and the sides of the monument sign, all proposed signage uses only white and dark blue colors.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the initial submittal and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition #13).

1. Refer to Exhibit A attached. Add notes and the title block depicted on Exhibit A to the cover sheet.
2. Revise the month reference on the Cover Sheet title block.
3. Refer to sheet C1.0. Show the instrument number for the recorded cross access easement.
4. Update the Site Data Table on sheet C1.0 to show stalls/ADA stalls required.
5. Add a major flood routing arrow to the legend on sheet C2.0 and show major flood routing in plan view.
6. Show stop bars/signs at all curb cuts and show the site distance triangles. Remove impediments to motorist view at all curb cuts.
7. Provide a photometrics plan for staff approval. Please show the maximum/minimum and average/minimum uniformity ratios on the photometrics plan.

V. SUMMARY

The proposed final development plan for a Dutch Bros Coffee shop meets many of the goals of the Engage New Albany Strategic Plan, the Canini Trust Corp. zoning district text, and the city codified ordinances. The development facilitates pedestrian access along both adjacent roadways and into the site, and it utilizes high-quality architectural features and building materials as well as an appropriate scale and use that are consistent with that of other buildings in the immediate area. The location for this development is appropriate given the context of the surrounding area and as an amenity that serves the New Albany Business Park.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application **FDP-83-2025**, subject to the following conditions:

1. The building height shall not exceed 45 feet.
2. All rooftop mechanical equipment shall either not be visible from or shall be screened from all public roads and adjacent properties.
3. The three trees required by C.O. 1171.05(e) have a minimum of an eight-inch caliper.
4. The tree caliper for the required trees in the Johnstown Road setback area shall be increased to a 2.5-inch caliper.
5. The applicant shall install the red sunset maple trees to the specifications outlined in the Woodcrest Way Landscape Plan, subject to staff approval.
6. There shall be zero or near-zero footcandles along all property lines, subject to staff approval.
7. The proposed signage shall follow the specifications of the sign plan and not the final development plan.
8. The wall-mounted menu board signs shall be eliminated from the drive-through elevation and reduced to only the number necessary to display the menu on the walk-up window elevation.
9. The drive-through and walk-up menu board signs shall have an automatic dimmer and be turned off outside of business hours.
10. The directional signs shall be black and the icon shall be removed from the “Thank You” sign face.
11. The address sign shall be relocated to the monument sign, subject to staff approval.
12. The logo shall be removed from the mobile order pick-up signs.
13. The comments of the City Engineer shall be addressed, subject to staff approval.

Approximate Site Location:



Source: Nearmap

404.755-02
October 20, 2025

To: Lauren Sauter
City Planner

From: Matt Ferris, P.E., P.S.
By: Jay M. Herskowitz, P.E., BCEE

Re: Dutch Bros FDP

We reviewed the referenced submittal in accordance with Code Sections 1159.07 (b)(3) FDP.
Our review comments are as follows:

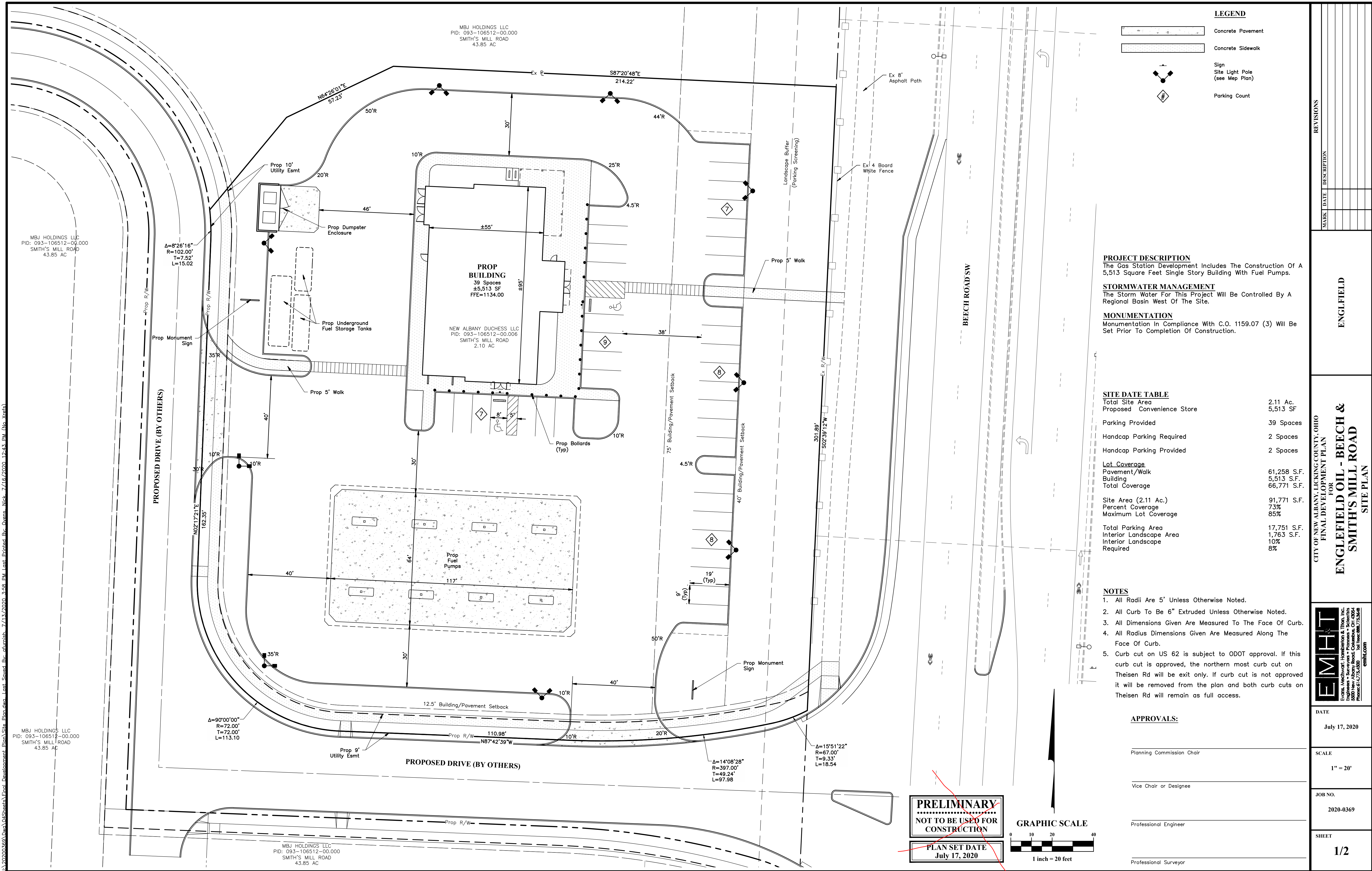
1. Refer to Exhibit A attached. Add notes and the title block depicted on Exhibit A to the cover sheet.
2. Please delete sheet C0.1. These notes are applicable to construction plans only.
3. Please remove the "Preliminary...Not for Construction" note from all sheets.
4. Revise the month reference on the Cover Sheet title block.
5. Refer to sheet C1.0. Show the instrument number for the recorded cross access easement.
6. Provide a Fire Truck Turning Radius analysis.
7. Update the Site Data Table on sheet C1.0 to show stalls/ADA stalls required.
8. Add a major flood routing arrow to the legend on sheet C2.0 and show major flood routing in plan view.
9. Show stop bars/signs at all curb cuts and show the site distance triangles. Remove impediments to motorist view at all curb cuts.
10. Provide a photometrics plan for staff approval. Please show the maximum/minimum and average/minimum uniformity ratios on the photometrics plan.
11. We will evaluate storm water management, water distribution, sanitary sewer collection and other construction related details once detailed construction plans become available.

MEF/JMH

(attachment)

cc: Josh Albright, Development Engineer
Jeremiah Wood, Development Engineer

\\20200369.Dwg\045Sheets\Final Development Plan\Site Plan.dwg - Last Saved By: omarish 7/13/2020 3:58 PM Last Printed By: Owens Nick 7/16/2020 12:43 PM (No Xrefs)



LEGEND

- Concrete Pavement
- Concrete Sidewalk
- Sign
- Site Light Pole (see Mep Plan)
- Parking Count

PROJECT DESCRIPTION

The Gas Station Development Includes The Construction Of A 5,513 Square Feet Single Story Building With Fuel Pumps.

STORMWATER MANAGEMENT

The Storm Water For This Project Will Be Controlled By A Regional Basin West Of The Site.

MONUMENTATION

Monumentation In Compliance With C.O. 1159.07 (3) Will Be Set Prior To Completion Of Construction.

SITE DATE TABLE

Total Site Area	2.11 Ac.
Proposed Convenience Store	5,513 SF
Parking Provided	39 Spaces
Handcap Parking Required	2 Spaces
Handcap Parking Provided	2 Spaces
Lot Coverage	
Pavement/Walk	61,258 S.F.
Building	5,513 S.F.
Total Coverage	66,771 S.F.
Site Area (2.11 Ac.)	91,771 S.F.
Percent Coverage	73%
Maximum Lot Coverage	85%
Total Parking Area	17,751 S.F.
Interior Landscape Area	1,763 S.F.
Interior Landscape Required	8%

NOTES

- All Radii Are 5' Unless Otherwise Noted.
- All Curb To Be 6" Extruded Unless Otherwise Noted.
- All Dimensions Given Are Measured To The Face Of Curb.
- All Radius Dimensions Given Are Measured Along The Face Of Curb.
- Curb cut on US 62 is subject to ODOT approval. If this curb cut is approved, the northern most curb cut on Theisen Rd will be exit only. If curb cut is not approved it will be removed from the plan and both curb cuts on Theisen Rd will remain as full access.

APPROVALS:

Planning Commission Chair

Vice Chair or Designee

Professional Engineer

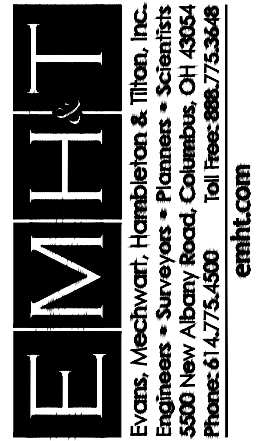
Professional Surveyor

REVISIONS

MARK	DATE	DESCRIPTION

ENGLEFIELD

CITY OF NEW ALBANY, LICKING COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
ENGLEFIELD OIL - BEECH &
SMITH'S MILL ROAD
SITE PLAN



DATE

July 17, 2020

SCALE

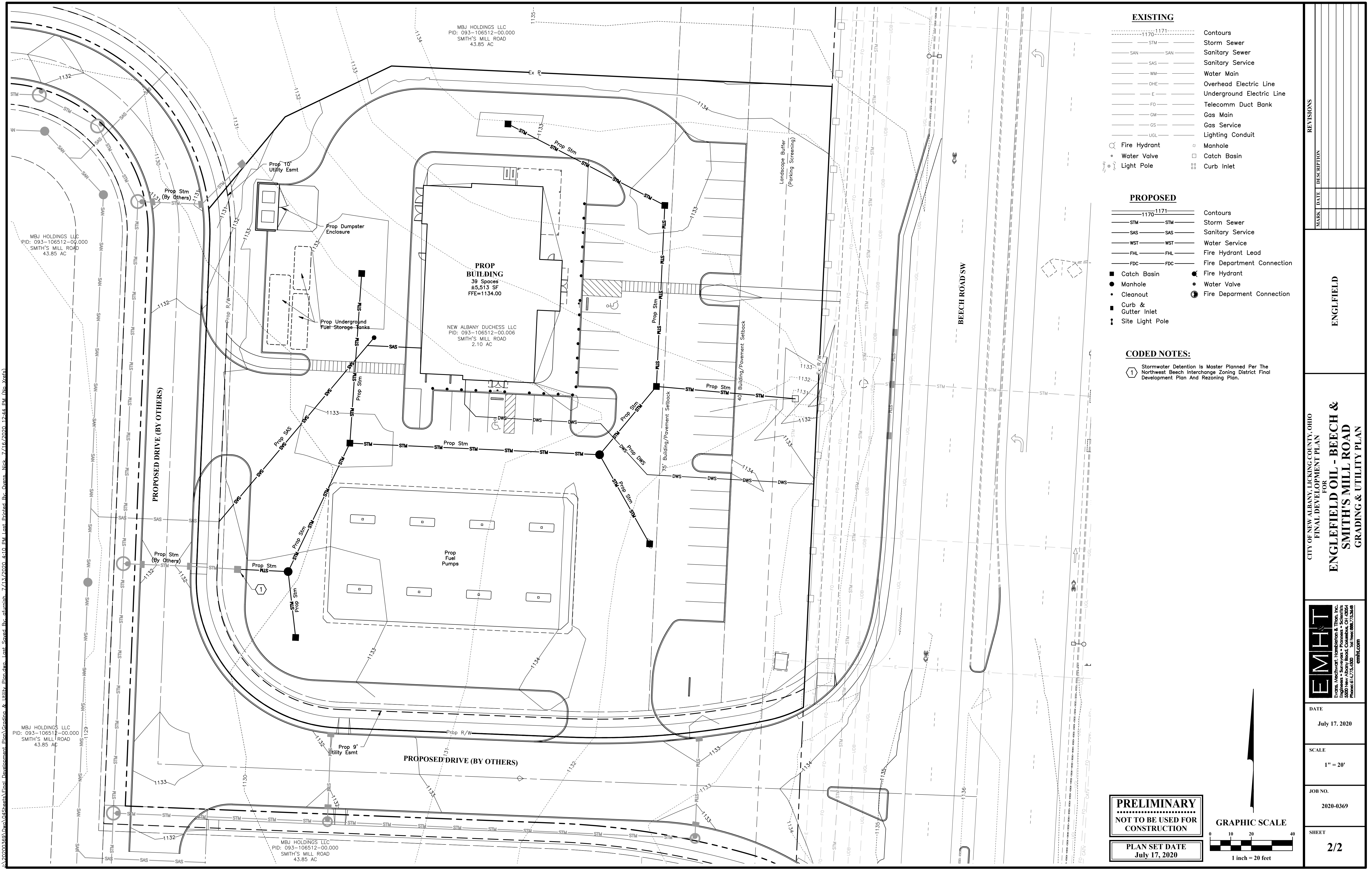
1" = 20'

JOB NO.

2020-0369

SHEET

1/2



EXISTING

- 1170-1171 Contours
- STM Storm Sewer
- SAN Sanitary Sewer
- SAS Sanitary Service
- WM Water Main
- OHE Overhead Electric Line
- E Underground Electric Line
- FO Telecomm Duct Bank
- GM Gas Main
- GS Gas Service
- UGL Lighting Conduit
- Fire Hydrant
- Water Valve
- Light Pole
- Manhole
- Catch Basin
- Curb Inlet

PROPOSED

- 1170-1171 Contours
- STM Storm Sewer
- SAS Sanitary Service
- WST Water Service
- FHL Fire Hydrant Lead
- FDC Fire Department Connection
- Catch Basin
- Manhole
- Cleanout
- Curb & Gutter Inlet
- Site Light Pole
- Fire Hydrant
- Water Valve
- Fire Department Connection

CODED NOTES:

1 Stormwater Detention Is Master Planned Per The Northwest Beech Interchange Zoning District Final Development Plan And Rezoning Plan.

REVISIONS	
MARK	DESCRIPTION

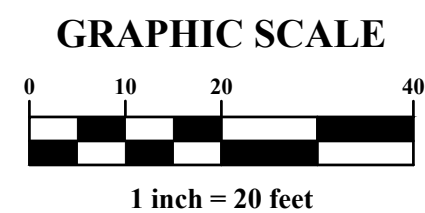
ENGLFIELD	

CITY OF NEW ALBANY, LICKING COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
ENGLFIELD OIL - BEECH &
SMITH'S MILL ROAD
GRADING & UTILITY PLAN

EMHT
Eric M. Hight, Inc.
Surveyors & Engineers
5000 New Albany Road, Columbus, OH 43244
Phone: 614.757.5500 Fax: 614.757.5501
emht.com

DATE	July 17, 2020
SCALE	1" = 20'
JOB NO.	2020-0369
SHEET	2/2

PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION
PLAN SET DATE
July 17, 2020





Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Galloway,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Wednesday, November 19, 2025

The New Albany Planning Commission took the following action on 11/17/2025.

Final Development Plan

Location: 9930 Johnstown Road, New Albany, OH 43054

Applicant: Galloway

Application: PLFDP20250083 (FDP-83-2025)

Request: Request for approval of a final development plan for a new Dutch Bros coffee shop

Motion: To approve

Commission Vote: Motion Approved with Conditions, 4-0

Result: Final Development Plan PLFDP20250083 was Approved with Conditions by a vote of 4-0.

Recorded in the Official Journal this November 19, 2025

Condition(s) of Approval:

1. The building height shall not exceed 45 feet.
2. All rooftop mechanical equipment shall either not be visible from or shall be screened from all public roads and adjacent properties.
3. The three trees required by C.O. 1171.05(e) have a minimum of an eight-inch caliper.
4. The tree caliper for the required trees in the Johnstown Road setback area shall be increased to a 2.5-inch caliper.
5. The applicant shall install the red sunset maple trees to the specifications outlined in the Woodcrest Way Landscape Plan, subject to staff approval.
6. There shall be zero or near-zero footcandles along all property lines, subject to staff approval.
7. The proposed signage shall follow the specifications of the sign plan and not the final development plan.
8. The wall-mounted menu board signs shall be eliminated from the drive-through elevation and reduced to only the number necessary to display the menu on the walk-up window elevation.
9. The drive-through and walk-up menu board signs shall have an automatic dimmer and be turned off outside of business hours.
10. The directional signs shall be black and the icon shall be removed from the "Thank You" sign face.
11. The address sign shall be relocated to the monument sign, subject to staff approval. If the fire department requires an address sign to be located on the building, an address sign will be included on the building in addition to the monument sign, subject to staff approval.
12. The logo shall be removed from the mobile order pick-up signs.
13. The comments of the City Engineer shall be addressed, subject to staff approval.
14. The shared parking agreement shall be confirmed to exist and offered to neighbors.

Staff Certification:

Lauren Sauter

Lauren Sauter
Planner



**Planning Commission Staff Report
November 17, 2025 Meeting**

**DUTCH BROS COFFEE SHOP
DRIVE-THROUGH CONDITIONAL USE**

LOCATION: 9930 Johnstown Road (US-62) (PID: 222-005166-00)
APPLICANT: Galloway c/o Aaron McLean
REQUEST: Conditional Use
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8a
STRATEGIC PLAN: Retail
APPLICATION: CU-84-2025

Review based on application materials received September 23, 2025, and November 1, 2025.

Staff report prepared by Lauren Sauter, Planner

I. REQUEST AND BACKGROUND

The applicant requests approval of a conditional use to allow a two-lane drive-through to be developed as part of a proposed Dutch Bros Coffee restaurant use. The Canini Trust Corp. (I-PUD) zoning text allows the C-2 General Business (Commercial) District, which permits restaurant uses. Drive-through facilities associated with a permitted use are conditional uses.

This request has been submitted in conjunction with a final development plan (FDP-83-2025) and associated variances (VAR-85-2025) for the Dutch Bros coffee shop. All three applications are scheduled to be heard by the Planning Commission for this meeting.

II. SITE DESCRIPTION & USE

The site is currently undeveloped and comprises 0.701 acres within the Canini Trust Corp. at 9930 Johnstown Road, located generally north of Smith's Mill Road. Existing surrounding uses include fast-food restaurants with drive-throughs, including an adjacent Dairy Queen and Wendy's; gas stations, including Turkey Hill; and hotels, including Home2Suites by Hilton and Courtyard by Marriott.

III. EVALUATION

The general standards for conditional uses are contained in Codified Ordinance Section 1115.03. The Planning Commission shall not approve a conditional use unless it shall, in each specific case, make specific findings of fact directly based on the particular evidence presented to it that support conclusions that such use at the proposed location meets all of the following requirements:

- (a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*

Objectives and purposes of the zoning district and codified ordinances are outlined in the following categories:

Uses:

- The applicant proposes to develop a 986-square-foot Dutch Bros coffee shop with a drive-through. The existing site comprises 0.701 acres. Restaurants with drive-through facilities are a conditional use within this zoning district.
- The Engage New Albany Strategic Plan identifies this area as the retail future land use area, and the US-62 Interchange Focus Area Plan identifies this area as part of the US-62 Commercial Core future land use character. The proposed use is appropriate based on its future use designations and its proximity to State Route 161, the New Albany Business Park, and the surrounding uses. Additionally, the site is located within the Canini Trust Corp. zoning district, which envisions this type of use.
- The building is surrounded by a parking lot, two drive-through lanes, and internal drive aisles. The drive-throughs appear to be appropriately positioned in the side yard of the site, where they do not interfere with traffic throughout the rest of the site. Utilizing two lanes rather than one will further prevent excessive stacking lengths that may interfere with traffic circulation.
- The proposed drive-through uses are not anticipated to alter the character of the surrounding area. The area is zoned to allow retail and personal service uses such as restaurants and banks, which typically have drive-through facilities. Additionally, the Planning Commission has approved multiple drive-throughs in the area, including for the nearby developments of Popeyes, Wendy's, Dairy Queen, Sheetz, and Dunkin Donuts. This subarea of the Canini Trust Corp. also contains other car-oriented businesses, such as a Turkey Hill gas station and Valvoline oil change service.

Architecture:

- The design of the commercial building and use of materials is appropriate and consistent with other buildings in the immediate area. The building is well-designed and meets the majority of code requirements and the city's Design Guidelines and Requirements.
- The drive-through window is appropriately scaled and designed. The window is located on the east elevation of the building, which faces an existing Dairy Queen and is not facing any primary streets. Its design is appropriate, as it uses the same building materials and general design that is used on other elevations of the building.

Parking & Circulation:

- C.O. 1167.05(d)(4) requires a minimum of one parking space for every 75 square feet of restaurant floor area space. The building is 986 square feet, which necessitates 13 parking spaces. *The applicant proposes nine parking spaces and has applied for a variance to be heard by the Planning Commission at this meeting under case VAR-85-2025.*
- C.O. 1167.05(d)(4) requires a minimum number of stacking spaces equal to 25 percent of the total required parking spaces for the drive-through tenant space. The building requires 13 parking spaces, which necessitates three stacking spaces; the applicant exceeds this requirement with 15 stacking spaces.
- The additional stacking spaces for the drive-through may help to mitigate the proposal for fewer than the required number of parking spaces.
- The building is surrounded by:
 - A parking lot to the north (front).
 - Two drive-through lanes starting at the south (rear) and wrapping around the east (side).
 - Internal drive aisles along the west (side) and north (front).The drive-throughs appear to be appropriately positioned in the side yard of the site, where they do not interfere with traffic throughout the rest of the site. Utilizing two lanes rather than one will further prevent excessive stacking lengths that may interfere with traffic circulation.

- The Trust Corp. site has a strong internal roadway network that supports car-oriented developments. The lot is surrounded by a public road to the north and a private road to the south, and it is accessed from any of three different cross-access curb cuts that allow traffic to and from the site to be dispersed.

Landscaping:

- A landscape plan has been submitted with the final development plan application for this site. The proposed landscaping meets code requirements.
- (b) *The proposed use will be harmonious with the existing or intended character of the general vicinity and such use will not change the essential character of the same area.*
- The proposed use is harmonious with the existing and intended character of the general vicinity and will not change the essential character of the area.
 - The proposed use is appropriate due to its proximity to the State Route 161 interchange and the New Albany Business Park.
 - This site is located within the Canini Trust Corp., which envisions this type of use. There are existing restaurants with drive-through facilities that are developed in this zoning district.
 - The New Albany Strategic Plan identifies the future land use of the area to be retail.
- (c) *The use will not be hazardous to existing or future neighboring uses.*
- The use is not anticipated to be hazardous to existing or future neighboring uses. It appears that this is an appropriate location for a drive-through facility.
- (d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection; drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*
- Sewer and water service are available in this location.
 - The proposed commercial development will produce no new students for the school district.
- (e) *The proposed use will not be detrimental to the economic welfare of the community.*
- The use is not anticipated to be detrimental to the economic welfare in the city. The creation of jobs by this use will generate income taxes and provide amenities for the business park.
- (f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*
- The use is not anticipated to involve operations that will be detrimental to adjacent uses. This area of the city is automobile-oriented and in close proximity to State Route 161. U.S. Route 62 is currently heavily traveled; it is reasonable to assume that this development will be frequently visited and serve as an important asset to those in the surrounding area.
- (g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*
- The site is proposed to be accessed via three curb cuts:
 - One new full-access shared curb cut with Wendy's that attaches to an existing right-in, right-out curb cut to Woodcrest Way, a private road;
 - One existing full-access shared curb cut with the Wendy's on the west side;
 - One new full-access shared curb cut with the Dairy Queen on the east side.
 - The building is surrounded by a proposed parking lot and internal drive aisles. The proposed drive-through lanes appear to be properly designed on the site so that the

drive through traffic does not interfere with the traffic circulation on the rest of the site.

III. SUMMARY

The overall proposal is consistent with the code requirements for conditional uses. The proposed use is appropriate for the site based on the current zoning and the Engage New Albany Strategic Plan land use recommendations. Retail has historically been approached in a thoughtful and prescribed way that promotes a planned amount of land being dedicated to this use. Due to the proximity of this site to State Route 161 and a portion of the business park, the drive-through is appropriate in this location.

The proposed use will not change the character of the US-62 corridor, as there are existing restaurants and other developments with drive-through facilities within the Canini Trust Corp. subarea and along the same street.

The drive-through lanes are in appropriate locations given their orientation, and the travel pattern appears to be appropriately designed so it will not interfere with traffic circulation on the rest of the site.

Overall, the proposed development meets city development standards; the drive-through still allows the site to include walkways and landscaping to enhance visual aspects of and pedestrian connection to the development.

ACTION

The Commission shall approve, approve with supplementary conditions, or disapprove the application as presented. If the application is approved with supplementary conditions, the Planning Commission shall direct staff to issue a zoning permit listing the specific conditions listed by the Planning Commission for approval.

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application CU-84-2025 with the following conditions:

1. The conditional use permit will become void if or a different kind of business, other than a restaurant, occupies this tenant space.

Approximate Site Location:



Source: Nearmap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Galloway,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Wednesday, November 19, 2025

The New Albany Planning Commission took the following action on 11/17/2025.

Conditional Use

Location: 9930 Johnstown Road, New Albany, OH 43054

Applicant: Galloway

Application: PLCU20250084 (CU-84-2025)

Request: Request for the conditional use of a drive-through for a new Dutch Bros coffee shop.

Motion: To approve

Commission Vote: Motion Approved with Conditions, 4-0

Result: Conditional Use PLCU20250084 was Approved with Conditions by a vote of 4-0.

Recorded in the Official Journal this November 19, 2025.

Condition(s) of Approval:

1. The conditional use permit will become void if a different kind of business, other than a restaurant with no inside customer access, occupies the tenant space

Staff Certification:

Lauren Sauter

Lauren Sauter
Planner



**Planning Commission Staff Report
November 17, 2025 Meeting**

**DUTCH BROS COFFEE
VARIANCES**

LOCATION: 9930 Johnstown Road (US-62) (PID: 222-005166-00)
APPLICANT: Galloway c/o Aaron McLean
REQUEST: (A) Variance from C.O. 1167.05(d)(4) to allow fewer than the required number of parking spaces.
(B) Variance from Design Guidelines and Requirements Section 6(I)(A)(12) to not require an operable and active front door along all public and private roads.
(C) Variance from I-PUD zoning text section 8a.06(3)(i) to allow signage on elevations not fronting a public or private road.
(D) Variance from the Trust Corp Signage Package to not meet monument sign standards.
(E) Variance from I-PUD zoning text section 8a.06(3) and 8a.06(6)(h) to allow signage that is internally illuminated.
ZONING: Infill Planned Unit Development (I-PUD): Canini Trust Corp, subarea 8a
STRATEGIC PLAN: Retail
APPLICATION: VAR-85-2025

Review based on application materials received September 23, 2025, and November 1, 2025.

Staff report prepared by Lauren Sauter, Planner

I. REQUEST AND BACKGROUND

The applicant requests five variances related to a final development plan for a proposed Dutch Bros Coffee shop building with a drive-through located within the Canini Trust Corp.

The applicant requests the following variances:

- (A) Variance from C.O. 1167.05(d)(4) to have fewer than the required number of parking spaces.
- (B) Variance from Design Guidelines and Requirements Section 6(I)(A)(12) to not require an operable and active front door along all public and private roads.
- (C) Variance from I-PUD zoning text section 8a.06(3)(i) to allow signage on elevations not fronting a public or private road.
- (D) Variance from the Trust Corp. Signage Package to not meet monument sign standards.
- (E) Variance from I-PUD zoning text section 8a.06(3) and 8a.06(6)(h) to allow signage that is internally illuminated.

This request has been submitted in conjunction with a final development plan (FDP-83-2025) and a conditional use application (CU-84-2025) for the Dutch Bros Coffee shop. All three applications are scheduled to be heard by the Planning Commission for this meeting.

II. SITE DESCRIPTION & USE

The site is currently undeveloped and comprises 0.701 acres within the Canini Trust Corp. at 9930 Johnstown Road. The development is proposed to be a retail use with a drive-through.

Existing surrounding uses include fast-food restaurants with drive-throughs, including an adjacent Dairy Queen and Wendy's; gas stations, including Turkey Hill; and hotels, including Home2Suites by Hilton and Courtyard by Marriott.

III. EVALUATION

The application complies with application submittal requirements in C.O. 1113.03 - Application for Variances and Appeals and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance.

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the "practical difficulties" standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a "substantial detriment."*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the "spirit and intent" of the zoning requirement and whether "substantial justice" would be done by granting the variance.*

Plus, the following criteria should be considered as established in the zoning code (C.O. Section 1113.06):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

III. ASSESSMENT

Considerations and Basis for Decision

(A) Variance from C.O. 1167.05(d)(4) to have fewer than the required number of parking spaces.

1. Codified Ordinances Section 1167.05 - Required Number of Off-Street Parking Spaces requires restaurants with drive-through facilities (section (d)(4)) to have one parking space for each 75 square feet of gross floor area plus additional spaces in the drive-through lanes equal to 25 percent of the required number of parking spaces. The proposed building is 986 square feet, which necessitates 13 parking spaces per code.
2. The applicant proposes to develop a site with nine parking spaces.
 - a. The proposed parking spaces meet size requirements.
 - b. The proposed parking spaces include three spaces designated for mobile order pick-up.
3. The proposed Dutch Bros Coffee shop operates exclusively for drive-through and walk-up service, with interior access limited to staff.
 - a. This configuration significantly reduces the need for customer parking when compared to other retail or restaurant establishments that offer indoor seating and public access.
 - b. Customer behavior for the proposed development and use will involve short-duration visits either through the dual-lane drive-through or brief parking for walk-up or mobile pick-up orders. The absence of indoor seating or extended customer stays correlates to a lower overall parking demand.
 - c. Applying the codified parking requirements may not accurately reflect the operational characteristics of the proposed development. A reduced parking requirement is appropriate and aligns with the site's function and general traffic circulation design.
4. Special conditions exist that set the parcel apart from other lots in the subarea. The subject site was originally part of a larger parcel that also included the lot currently occupied by Wendy's, located immediately to the west. In 2023, the original parcel was subdivided, resulting in two smaller and more narrow lots. The applicable zoning text was established prior to this division and did not anticipate the creation of smaller, more narrow lots such as the one that exists today. As a result, the subject parcel is smaller in both area and width than any other parcel within the same subarea of the Canini Trust Corp.
5. The business model of the proposed user is well-suited to the site's size and configuration, as the building is not open to the public and customer activity is limited to drive-through and walk-up service. Other potential users and uses would likely require a larger building footprint and thus a greater number of parking spaces under the codified ordinances, which would be difficult to accommodate on a lot of this size.
6. The applicant proposes 15 drive-through stacking spaces, exceeding the minimum number required for a development of this scale. Given the site's operational model and emphasis on drive-through service, the stacking lane configuration may be considered an appropriate alternative to parking spaces.
7. The variance meets the spirit and intent of the zoning requirement, which is to ensure sufficient parking is provided for the size, use, and function of the development.
8. The essential character of the neighborhood will not be altered if the variance request is granted. The parking configuration appears similar to that which is used on adjacent properties along Johnstown Road. Meeting parking requirements could cause the site to appear overcrowded. Additionally, the parking is located behind trees and landscaping, and the parking spaces meet size requirements.
9. The variance request may be substantial, as very few variance requests have been made to not fulfill parking requirements. One instance within the same subarea includes a variance in 2021 for Popeye's to have 22 parking spaces where code would require 44 parking spaces; the Planning Commission allowed the development to have 31 parking

spaces (VAR-91-2021). The proposed development does not allow internal public access, while the Popeye's development does—as do all other developments in the subarea, lending to unique circumstances.

10. The variance is not anticipated to affect the delivery of government services or the health and safety of persons residing or working in the vicinity of the proposed development.

(B) Variance from Design Guidelines and Requirements Section 6(I)(A)(12) to not require an operable and active front door along all public and private roads.

The following should be considered in the Planning Commission's decision:

1. Design Guidelines and Requirements Section 8: Commercial Outside Village Center section (I)(A)(12) states buildings should have operable and active front doors along all public and private roads.
2. The applicant proposes to develop a building without an operable and active front door along Johnstown Road (public road) or Woodcrest Way (private road).
 - a. No operable and active front doors are proposed for the development. Two service doors for employee access are located on the rear (south) elevation of the building.
3. Dutch Bros Coffee shops are not designed for interior public access. Instead, they are intended to serve customers through drive-through and walk-up windows. Providing an operable and active front door may not be appropriate for this type of development. The coffee shop employs a walk-up window on its side elevation instead of allowing interior public access via an operable and active door.
4. As required by the zoning text, all sides of the building are designed with the same caliber of finish using the same building materials, so none of the elevations appear as a "lesser" side of the building. The applicant is providing strong architectural features and materials to allow the building to address each road frontage architecturally. Each elevation utilizes an awning to add visual variety and character, including over a large display window on the front elevation, facing Johnstown Road. Large bricked-in windows additionally help to enhance the building façade where the awnings are not projecting from the elevation.
5. The variance may meet the spirit and intent of the zoning requirement, which is to ensure that buildings maintain a presence on the street, not contain blank or "empty" building elevations, and contain architectural vibrancy and interest on all sides. This site and other developments within the Canini Trust Corp. are automobile-oriented by design; as such, it does not appear that maintaining an entrance on every street is necessary in this development scenario.
6. The essential character of the neighborhood may be altered if the variance request is granted for the front elevation. Neighboring developments have operable and active front doors facing Johnstown Road, and an operable and active door is a key element to addressing Johnstown Road architecturally. However, the essential character of the neighborhood will not be altered if the variance request is granted for the rear elevation facing Woodcrest Way, as developments such as Turkey Hill have had variances approved to not meet this requirement along the private drive.
7. Visual impact or inconsistency with adjacent developments may be reduced due to the smaller relative size of the building and lot and due to the trees and landscaping that buffer it from Johnstown Road.
8. The variance may not be substantial, as numerous variance requests to eliminate the same requirement along Johnstown Road have been approved for developments within the Canini Trust Corp., including for Popeye's, Dunkin Donuts, and Aldi. Other developments have received approval to eliminate the requirement along Woodcrest Way or other private roads, such as Panda Express and Duke and Dutchess.
9. The variance is not anticipated to affect the delivery of government services or the health and safety of persons residing or working in the vicinity of the proposed development.

(C) Variance from I-PUD zoning text section 8a.06(3)(i) to allow signage on elevations not fronting a public or private road.

1. Canini Trust Corp. I-PUD zoning text section 8a.06(3)(i) allows one wall-mounted sign on each elevation of the building that fronts or sides on a public or private road.
2. The applicant proposes the following signs:
 - a. One wall sign on the front elevation—*permitted* by the zoning text, as this elevation fronts Johnstown Road.
 - b. One wall sign on the right (west) elevation—*not permitted* by the zoning text, as this elevation does not front a public or private road.
 - c. One wall sign on the left (east) elevation—*not permitted* by the zoning text, as this elevation does not front a public or private road.
3. The variance request appears to be substantial. Except for being internally illuminated (see variance item E), the wall signs meet all other applicable zoning code, and many developments in the same zoning district have had similar variance requests approved by the Planning Commission (including the nearby Courtyard by Marriott, Dairy Queen, and Panda Express developments). However, the proposed building is smaller than existing nearby buildings in the zoning district, and allowing the wall sides on the side elevations along with the five proposed wall-mounted menu board signs on each elevation will cause the façade to become “over-signed.” If the number of wall-mounted menu board signs were to be reduced, the variance request will be less substantial.
4. The variance request may not meet the spirit and intent of the zoning text, which is to prevent excessive signage and visual clutter on the building exterior. Two wall signs are permitted for the property, and the applicant proposes three wall signs. Allowing signs that are not permitted may cause the façade to become “over-signed.”
5. The essential character of the neighborhood could be altered if the variance request is granted. There are properties in the Canini Trust Corp. that are permitted to use three wall signs, which are a part of the existing character; however, developments with only two road frontages are still required to have only two wall signs by code.
6. The variance is not anticipated to affect the delivery of government services or the health and safety of persons residing or working in the vicinity of the proposed development.



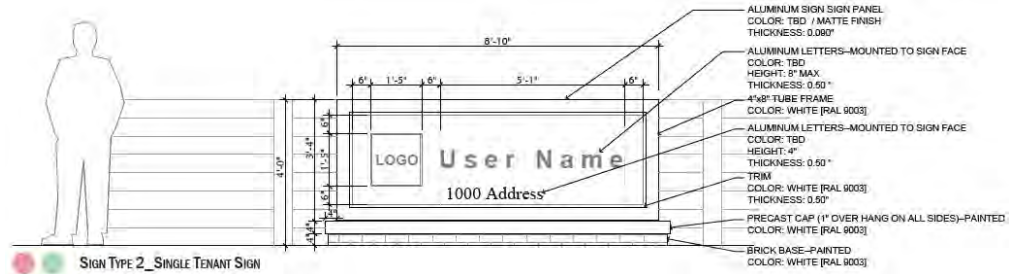
Images: West (top) and east (bottom) elevation wall signs as they are proposed to appear on the side elevations. (Menu board signs not shown here.)

(D) Variance from the 2013 Trust Corp. Signage Recommendations Plan to not meet monument sign standards.

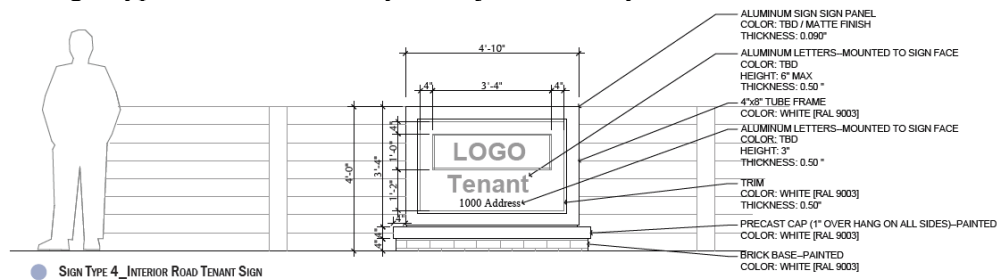
1. The Trust Corp. Signage Recommendations Plan was adopted by the city in 2013 to ensure the design of monument signs remains consistent throughout the zoning district.

Since its adoption, many monument signs have been installed, and they meet the requirements of the sign plan, which includes specifications for sizes, colors, and locations. Staff recommends meeting the requirements for one of the two following sign types:

- a. Sign Type 2, which is recommended by the plan for this location, and which is similar in size and details to the adjacent Dairy Queen monument sign:



- b. Sign Type 4, which is used by the adjacent Wendy's:



2. The applicant proposes a monument sign that does not follow the specifications of the Trust Corp. Signage Recommendations Plan. The proposed sign substantially deviates from height, color, scale, and content requirements. The sign is six feet tall, sits on a two-foot-tall base, and includes the logo on its sides. The shape of the sign resembles a coffee cup and lid.

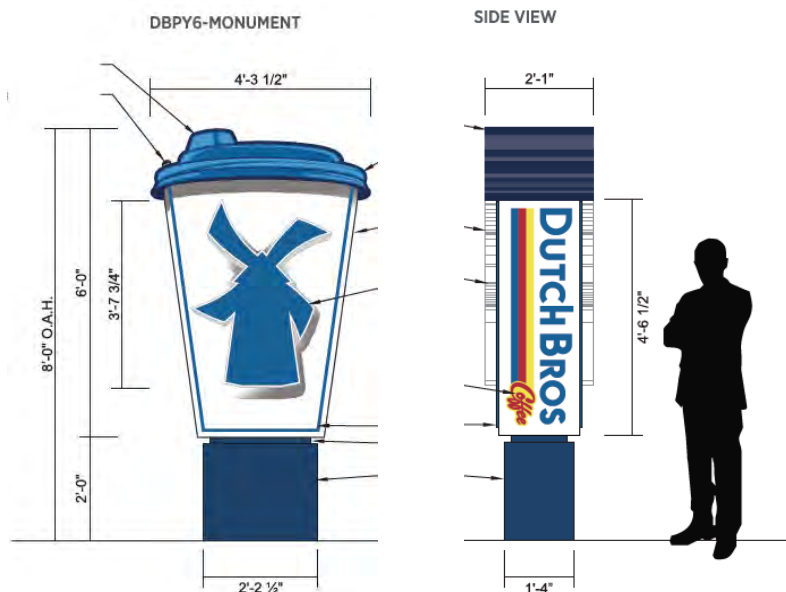


Image: Proposed monument sign.

3. The variance request is substantial, as all existing monument signs along Johnstown Road and Woodcrest Way within the Canini Trust Corp. zoning district comply with the Signage Recommendation Plan's requirements for monument signs, and the Planning Commission has not approved variances from the Signage Recommendations Plan. In 2024, the Planning Commission denied a variance request (VAR-41-2024) for a

monument sign on Woodcrest Way for Moo Moo Car Wash to not meet the signage recommendations plan requirements. Additionally, the request is further made substantial by U.S. Route 62 (Johnstown Road) being a heavily traveled principal arterial road.

4. The essential character of the neighborhood will be altered if the variance request is granted. The proposed sign differs in scale, character, and design from those used by other developments in the zoning district. In total, the sign is twice the height of the monument signs recommended by the Signage Recommendations Plan.



Images: Examples of monument signage along Johnstown Road in the subarea.

5. The variance is not anticipated to affect the delivery of government services or the health and safety of persons residing or working in the vicinity of the proposed development.

(E) Variance from I-PUD zoning text section 8a.06(3) and 8a.06(6)(h) to allow signage that is internally illuminated.

1. Canini Trust Corp. I-PUD zoning text section 8a.06(3) states no internally illuminated signage is permitted; however, ground-mounted signage may be externally illuminated, and backlighting of individual letters on wall-mounted signage may be permitted subject to approval by the Planning Commission. Zoning text section 8a.06(6)(h) reiterates that internally lit signs are prohibited.
2. The applicant proposes internal LED illumination of the proposed monument sign and wall signs.
3. The drive-through and walk-up menu board signs are not a part of this variance request; however, they are proposed to be illuminated. Historically, staff has not interpreted this restriction on internal sign illumination to apply to menu board signs. The proposed menu boards rely on internal illumination for functionality and legibility, and similar internally illuminated menu board signs are in use within the zoning district and elsewhere.
4. While internal illumination is prohibited in this zoning district, external illumination and halo lighting are permitted by the zoning text and by code, provided they meet the requirements of C.O. 1169.12(c). The applicant has the option to use external or halo lighting, such as external illumination via gooseneck lighting above the signs.
5. The essential character of the neighborhood would be altered and the spirit and intent of the zoning code may not be preserved if the variance is granted. The intent is to maintain consistency between developments in the zoning district, which would not be upheld, as no other wall signs or monument signs in the zoning district use internal illumination.
6. The variance request does appear substantial. Variance requests to allow internal illumination of signage in the Canini Trust Corp. have not been requested or approved in the past, and approving this would set precedence.
7. The variance is not anticipated to affect the delivery of government services or the health and safety of persons residing or working in the vicinity of the proposed development.

II. SUMMARY

The applicant requests five variances for a proposed Dutch Bros Coffee shop development in the Canini Trust Corp. along U.S. Route 62. The development operates exclusively for drive-through and walk-up service, with interior access limited to staff; as such, the applicant proposes variances to allow fewer than the required number of parking spaces and to allow no operable and active front doors on the Johnstown Road and Woodcrest Way building frontages.

Because of the development's unique operational needs and the limited site acreage and width, the variance to allow nine parking spaces when zoning code requires 13 parking spaces appears appropriate. The need for customer parking is reduced compared to other retail or restaurant establishments that offer indoor seating and public access. Additionally, having no public access to the interior of the building supports the request to exclude operable and active front doors from the building façade.

Three of the five variance requests pertain to proposed signage. The applicant proposes wall signs on elevations not fronting a roadway and a monument sign that does not meet the standards of the Trust Corp. Signage Recommendations Plan. The additional wall signs may “over-sign” the building façade and deviate from the spirit and intent of the zoning code, though the adjacent developments use wall signs on their side elevations facing the subject site. The proposed monument sign is a substantial request and would alter the essential character of the area. Additionally, internal illumination of the wall signs and monument sign could further contribute to altering the area's essential character.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application VAR-85-2025 (conditions may be added).

Approximate Site Location:



Source: Nearmap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Galloway,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Wednesday, November 19, 2025

The New Albany Planning Commission took the following action on 11/17/2025.

Variance

Location: 9930 Johnstown Road, New Albany, OH 43054

Applicant: Galloway

Application: PLVARI20250085

Request: (A) Variance from C.O. 1167.05(d)(4) to allow 9 parking spaces instead of the 13 required parking spaces.
(B) Variance from Design Guidelines and Requirements Section 6(I)(A)(12) to not have an operable and active front door along public and private roads.
(C) Variance from I-PUD zoning text section 8a.06(3)(i) to allow signage on elevations not fronting a public or private road.
(D) Variance from the Trust Corp Signage Package to not meet monument sign standards.
(E) Variance from I-PUD zoning text section 8a.06(3) and 8a.06(6)(h) to allow wall and monument signage that is internally illuminated.

Motion: To approve

Commission Vote: (A) Motion **Approved**, 4-0
(B) Motion **Approved**, 4-0
(C) Motion **Denied**, 0-4
(D) Motion **Denied**, 0-4
(E) Motion **Denied**, 0-4

Result: Variance PLVARI20250085 was Approved by a vote of 4-0.

Recorded in the Official Journal this November 19, 2025.

Condition(s) of Approval:

- N/A

Staff Certification:

Lauren Sauter

Lauren Sauter
Planner



**Planning Commission Staff Report
November 17, 2025 Meeting**

**WOODHAVEN SUBDIVISION
LOT 52 MODEL HOME CONDITIONAL USE**

LOCATION: 7275 Steeple Chase Lane North Lot 52 (PID: 222-005343)
APPLICANT: Bobb Webb Group c/o Kirk Denyes
REQUEST: Conditional Use
ZONING: Woodhaven I-PUD Zoning District
STRATEGIC PLAN: Residential District
APPLICATION: CU-91-2025

Review based on: Application materials received September 15, 2025, and October 20, 2025.
Staff report completed by Kylie Blackburn, Planner.

I. REQUEST

The applicant requests a renewed conditional use approval for a residential model home to be located on lot 52 within the Woodhaven subdivision. The Planning Commission originally approved the conditional use on November 20th, 2023 and is set to expire November 20th of this year. The model is for the age-restricted home type, which is permitted to be developed in the subdivision. The applicant requests the conditional use to be approved until the end of February 2026.

The Planning Commission reviewed the zoning change and preliminary development plan for the subdivision on June 7, 2021 (ZC-15-2021) and the zoning change was adopted by city council on July 7, 2021 (O-22-2021). The Planning Commission approved the final development plan for the subdivision on September 20, 2021 (FDP-83-2021).

There is an additional conditional use application for a single-family model home on the November 17th Planning Commission meeting agenda, which is evaluated under a separate staff report (CU-92-2025).

II. LOCATION

The Woodhaven subdivision is located at the southwest corner of Bevelhymer Road and Walnut Street. The site is located immediately east of the Upper Clarenton subdivision, generally south the Rocky Fork Metro Park and Bevelhymer Park. All of the public streets have been installed in the subdivision and there are several homes actively under construction.

III. EVALUATION

General Standards for Conditional Uses (C.O. 1115.03)

The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location shall meet all of the following requirements:

- (a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*

- (b) *The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.*
- (c) *The use will not be hazardous to existing or future neighboring uses.*
- (d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*
- (e) *The proposed use will not be detrimental to the economic welfare of the community.*
- (f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*
- (g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*

Residential model homes. Per Code, these are newly constructed homes or temporary structures placed in a newly constructed subdivision and used by a homebuilder or developer to display home styles and lot availability in a subdivision to promote the sale of new housing units. The model home may be staffed and furnished. (C.O. 1165.11)

The criteria and the applicability of this application are detailed below (Section 1165.11(a)):

1. *Appropriate location within the community.*
The proposed model home is located on lot 52 in the subdivision, addressed off of Steeple Chase Lane North. The model home is located close to the subdivision entrance when entering from Bevelhymer Road using Woodhaven Drive. The proposed location appears to be appropriate as it is easily accessible and identifiable when entering the subdivision. Additionally, the home is accessible by sidewalks and leisure trail adjacent to the site.
2. *It is integrated in the existing community with customary exterior residential lighting.*
The home will continue to utilize coach lighting fixtures consistent with the style and architectural features present on the other homes planned within the subdivision. This lighting was approved by the Planning Commission with the original conditional use application. The previous approval conditions that the garage doors be changed to single bay doors and the updated submittal materials show that condition has been met.
3. *The use is approved with limited duration.*
The applicant states that they would like to utilize the model home until the leaseback agreement with the homeowner is up in February of 2026, and the model home on lot 51 is able to start operation. Historically, the Planning Commission has approved conditional uses for other model homes within the community for 1-3 years, depending on the size of the subdivision. Staff recommends a condition of approval that the model home be permitted to operate until the end of February 2026 (condition #1).
4. *One sign is permitted.*
The applicant proposes to keep the one ground sign, which is evaluated in this staff report.
5. *Shall not be used as a general real estate brokerage office.*
The applicant states that the model home will not be used as a general real estate brokerage office.

The Planning Commission is also to consider the following (*1165.11 (b)*):

1. *Hours of operation*

The model home will operate Thursday through Monday, from 12:00pm to 5:00pm which is generally consistent with other model homes that have been approved by the Planning Commission.

2. *Number of employees and maximum number of employees at the site at one time.*

The applicant states that there will be one employee for both of the proposed model homes in the subdivision.

3. *Provisions for parking for employees and customers*

The applicant states that staff and customers will park on the driveway and use on street parking which is permitted in the subdivision.

4. *Size, lighting, content and location of signage*

The previously approved sign was approved with conditions due to not meeting size and height requirements found in C.O. 1169.10(e). The applicant has since revised the sign to meet code requirements and there are no proposed changes.

5. *Landscaping and screening*

There are no proposed changes to the previously approved site landscaping.

IV. RECOMMENDATION

Staff recommends approval of the conditional use renewal request. There are no proposed changes to what was originally approved by the Planning Commission, all previous conditions of approval have been complied with, and no complaints have been made about the site. The operational aspects of the model home are consistent with successfully operating model homes in other New Albany neighborhoods.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application CU-91-2025 with the following condition, subject to staff approval:

- 1) The model home is permitted to operate until the end of February 2026.

Approximate Site Location:



Source: NearMap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Bob Webb Group, Inc.,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, November 18, 2025

The New Albany Planning Commission took the following action on 11/17/2025 .

Conditional Use

Location: 7515 Steeplechase Lane N, Unit:52

Applicant: Bob Webb Group, Inc.,

Application: PLCU20250091

Request: Conditional use extension to allow an existing model home to continue operations on lot 52 within the Woodhaven subdivision (PID: 222-005343).

Motion: To Approve with Conditions

Commission Vote: Motion Approval with Conditions, 4-0

Result: Conditional Use, PLCU20250091 was Approval with Conditions, by a vote of 4-0.

Recorded in the Official Journal this November 18, 2025

Condition(s) of Approval:

1. The model home is permitted to operate until the end of February 2026.

Staff Certification:

Kylie Blackburn
Planner



**Planning Commission Staff Report
November 17, 2025 Meeting**

**WOODHAVEN SUBDIVISION
LOT 51 MODEL HOME CONDITIONAL USE**

LOCATION: 7507 Steeple Chase Lane North Lot 51 (PID: 222-005342)
APPLICANT: Bobb Webb Group c/o Kirk Denyes
REQUEST: Conditional Use
ZONING: Woodhaven I-PUD Zoning District
STRATEGIC PLAN: Residential District
APPLICATION: CU-92-2025

Review based on: Application materials received October 20, 2025.

Staff report completed by Kylie Blackburn, Planner.

I. REQUEST

The applicant requests a conditional use approval for a residential model home to be located on lot 51 within the Woodhaven subdivision. The model is for the age-restricted home type, which is permitted to be developed in the subdivision. The applicant requests the conditional use to be approved for at least 2 years or until the last age-restricted lot within the community has been sold.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 7, 2021 (ZC-15-2021) and the zoning change was adopted by city council on July 7, 2021 (O-22-2021). The Planning Commission approved the final development plan for the subdivision on September 20, 2021 (FDP-83-201).

There is an additional conditional use application for an age-restricted model home on the November 17th Planning Commission meeting agenda, which is evaluated under a separate staff report (CU-91-2025).

II. LOCATION

The Woodhaven subdivision is located at the southwest corner of Bevelhymer Road and Walnut Street. The site is located immediately east of the Upper Clarenton subdivision, generally south the Rocky Fork Metro Park and Bevelhymer Park. All of the public streets have been installed in the subdivision and there are several homes actively under construction.

III. EVALUATION

General Standards for Conditional Uses (C.O. 1115.03)

The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location shall meet all of the following requirements:

- (a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*

- (b) *The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.*
- (c) *The use will not be hazardous to existing or future neighboring uses.*
- (d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*
- (e) *The proposed use will not be detrimental to the economic welfare of the community.*
- (f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*
- (g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*

Residential model homes. Per Code, these are newly constructed homes or temporary structures placed in a newly constructed subdivision and used by a homebuilder or developer to display home styles and lot availability in a subdivision to promote the sale of new housing units. The model home may be staffed and furnished. (C.O. 1165.11)

The criteria and the applicability of this application are detailed below (Section 1165.11(a)):

1. *Appropriate location within the community.*

The proposed model home is located on lot 51 in the subdivision, addressed off of Steeple Chase Lane North. The model home is located close to the subdivision entrance when entering from Bevelhymer Road using Woodhaven Drive. The proposed location appears to be appropriate as it is easily accessible and identifiable when entering the subdivision. Additionally, the home is accessible by sidewalks and leisure trail adjacent to the site.

2. *It is integrated in the existing community with customary exterior residential lighting.*

The home will continue to utilize coach lighting fixtures consistent with the style and architectural features present on the other homes planned within the subdivision.

3. *The use is approved with limited duration.*

The applicant states that they would like to utilize the model home once the current model home expires in February of 2026 and be in use for at least 2 years or until the last age-restricted lot in the subdivision has been sold. Historically, the Planning Commission has approved conditional uses for other model homes within the community for 1-3 years, depending on the size of the subdivision. Staff recommends the model home approval be permitted for two (2) years or until the last age-restricted lot is sold, and that any extension in time is subject to review and approval by the Planning Commission (condition #1).

4. *One sign is permitted.*

The applicant proposes to install one ground sign which is evaluated in the staff report below.

5. *Shall not be used as a general real estate brokerage office.*

The applicant states that the model home will not be used as a general real estate brokerage office.

The Planning Commission is also to consider the following (1165.11 (b)):

1. *Hours of operation*

The model home will operate Thursday through Monday, from 12:00pm to 5:00pm which is generally consistent with other model homes that have been approved by the Planning Commission.

2. *Number of employees and maximum number of employees at the site at one time.*
The applicant states that there will be one employee for the proposed model homes in the subdivision.
3. *Provisions for parking for employees and customers*
The applicant states that staff and customers will park on the driveway and use on-street parking, which is permitted in the subdivision.
4. *Size, lighting, content and location of signage*
C.O. 1169.10(e) of the city sign code permits one (1) sign not to exceed 6 square feet in size and no taller than 4 feet. Model home signs are not permitted to be illuminated and must be setback 10 feet from the adjacent street right-of-way. The applicant proposes to install a model home sign with the following dimensions. Staff recommends a condition of approval that the sign's location meets the code requirement found in C.O. 1169.10(e) (condition #2).
 - a) Size: 6 sq. ft. [meets code].
 - b) Height: 4 feet [meets code].
 - c) Location: The location of the sign is not indicated on the site plan. The sign is required to be set back 10 feet from the street right-of-way per C.O. 1169.10(e).
 - d) Lighting: none proposed [meets code].
5. *Landscaping and screening*
The applicant installed landscaping in landscape beds in front of the home. In addition, evergreen trees and a deciduous tree have been installed along the rear property line, as well as screening around the mechanical units located on the side of the home. All the landscaping is complementary and generally consistent with other residential homes in New Albany and the Woodhaven subdivision. According to the approved building permit plans, 3 street trees are to be installed within the street yard in front of the home.

IV. RECOMMENDATION

Staff recommends approval of the conditional use renewal request. The proposed model home is like previous model homes within the subdivision, and there have been no complaints about the previous model homes. The operational aspects of the model home are consistent with successfully operating model homes in other New Albany neighborhoods.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application CU-92-2025 with the following conditions, subject to staff approval:

- 1) The model home is permitted to operate for at least two years or until the last age-restricted lot in the subdivision is sold.
- 2) The model home sign must be revised to meet all code requirements found C.O. 1169.10(e).

Approximate Site Location:



Source: NearMap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Bob Webb Group, Inc.,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, November 18, 2025

The New Albany Planning Commission took the following action on 11/17/2025 .

Conditional Use

Location: 7505 Steeplechase Lane N, Unit:51

Applicant: Bob Webb Group, Inc.,

Application: PLCU20250092

Request: Conditional use approval for a residential model home to be located on lot 51 within the Woodhaven subdivision (PID: 222-005342).

Motion: To Approve with Conditions

Commission Vote: Motion Approval with Conditions, 4-0

Result: Conditional Use, PLCU20250092 was Approval with Conditions, by a vote of 4-0.

Recorded in the Official Journal this November 18, 2025

Condition(s) of Approval:

1. The model home is permitted to operate for at least three years or until the last age-restricted lot in the subdivision is sold whichever comes first.
2. The model home sign must be revised to meet all code requirements found C.O. 1169.10(e).

Staff Certification:

Kylie Blackburn
Planner



**Planning Commission Staff Report
December 1, 2025 Meeting**

**6600 NEW ALBANY-CONDIT ROAD
I-PUD REZONING**

LOCATION: 6600 New Albany-Condit Road (PID: 222-000640)
APPLICANT: Rob Riddle c/o Aaron Underhill, Esq., Underhill & Hodge LLC
REQUEST: Certificate of Appropriateness
ZONING: Urban Center Code to Infill-Planned Unit Development (I-PUD)
STRATEGIC PLAN: Village Center
APPLICATION: ZC-78-2025

Review based on application materials received Sept. 17, Oct. 28, and Nov. 13, 2025.

Staff report prepared by Lauren Sauter, Planner.

I. REQUEST AND BACKGROUND

This application is a Certificate of Appropriateness for a rezoning (also “zoning amendment,” “zoning change”) of approximately 1.116 acres located at 6600 New Albany-Condit Road. The site is currently zoned Urban Center Code within the Rural Residential sub-district. The applicant proposes to rezone the property from the Rural Residential sub-district to an Infill-Planned Unit Development (I-PUD), thereby establishing a new zoning text.

The application includes a preliminary development plan in conjunction with the rezoning. The preliminary development plan and rezoning are intended to facilitate updates to the existing buildings and site. As such, this report evaluates the appropriateness of both the rezoning (including the implications of the new zoning text for future development) and the preliminary development plan. The evaluation of the preliminary development plan at this stage is general in nature and intended to assess the overall compliance with city regulations and compatibility with the site and adjacent areas; the full, more detailed and technical review will be conducted at the time of the final development plan, which requires review and approval by the Architectural Review Board and the Planning Commission.

The Architectural Review Board recommended approval with conditions for this application in its meeting on October 13, 2025.

UPDATE:

The Planning Commission tabled this application in its meeting on October 20, 2025.

Some modifications have been made to the proposed I-PUD zoning text since it was presented at the Planning Commission meeting on October 20, 2025. These changes include:

1. A reduction in parking to a maximum of 20 spaces rather than a minimum of 33 spaces. This change is reflected in the preliminary development plan. A space for a box truck is additionally included in the northeastern area of the site.
2. Commitments to keep lighting fixtures low to the ground with no off-site spillage. Examples of fixtures are also provided.
3. Examples of opaque fencing to be installed along the southern property line.

4. The removal of rights to future redevelopment of the site without a rezoning.
5. A designated area for a possible on-site stormwater basin in the preliminary plan.

Because of these changes, some items have been modified from the October 20 Planning Commission staff report. Items with an asterisk (*) imply a related standard has been removed from the staff report and zoning text, typically such that it no longer anticipates the future reuse of the site; these deletions have not changed the preliminary development plan or remaining regulations. Underlined items imply a standard has been changed or added in the staff report and zoning text.

II. SITE DESCRIPTION & USE

The subject property comprises approximately 1.116 acres of land and is located within the Village Center, where it is zoned under the Urban Center Code as part of the Rural Residential sub-district. The site currently contains a single-family residence and two accessory detached structures. The property fronts State Route 605, also known as New Albany-Condit Road.

Properties to the immediate south and west of the property are of similar low-density, single-family residential uses that are likewise designated within the Rural Residential sub-district of the Urban Center Code. To the east, the property abuts the Windsor subdivision, which is designated within the Village Residential sub-district of the Urban Center code. This neighboring development consists of single-family residential uses that are relatively higher in density. To the south, The New Albany-Plain Local Schools campus and associated athletic fields are located in proximity to the subject property.

Moreover, the site is located at the northern boundary of the Village Center district, which, along with the parcel itself, is demarcated by the east-west alignment of State Route 161. A noise wall is planned for installation in the near future along the northern boundary of the subject parcel. New Albany-Condit Road extends northward from the property, crossing over State Route 161 via an overpass to reach areas generally zoned for office uses. South of the property, New Albany-Condit Road transitions into North High Street and eventually intersects U.S. Route 62 and East Dublin-Granville Road.

III. EVALUATION

Rezoning Process and Review Criteria

Per Codified Ordinance Section 1157.08(b)(2), for zoning changes in a Planned Unit Development zoning district within the Village Center, the Architectural Review Board shall review the proposal and make a recommendation to the Planning Commission. The Planning Commission will review the recommendation and application to make its recommendation to City Council, which takes final action on all rezoning applications.

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.09. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to City Council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances.

Per Codified Ordinance Section 1111.06, in making its decision on the zoning amendment, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

Per Codified Ordinance Chapter 1159.08 the basis for approval of a preliminary development plan in an I-PUD shall be:

- (a) That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;
- (b) That the proposed development is in general conformity with the Strategic Plan or portion thereof as it may apply;
- (c) That the proposed development advances the general welfare of the Municipality;
- (d) That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;
- (e) Various types of land or building proposed in the project;
- (f) Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density of dwelling units may not violate any contractual agreement contained in any utility contract then in effect;
- (g) Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;
- (h) Building heights of all structures with regard to their visual impact on adjacent facilities;
- (i) Front, side and rear yard definitions and uses where they occur at the development periphery;
- (j) Gross commercial building area;
- (k) Area ratios and designation of the land surfaces to which they apply;
- (l) Spaces between buildings and open areas;
- (m) Width of streets in the project;
- (n) Setbacks from streets;
- (o) Off-street parking and loading standards;
- (p) The order in which development will likely proceed in complex, multi-use, multi-phase developments;
- (q) The potential impact of the proposed plan on the student population of the local school district(s);
- (r) The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);
- (s) The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).

New Albany Strategic Plan

The subject lot is located in the Village Center future land use district of the Engage New Albany Strategic Plan. The Strategic Plan identifies the active mixed-use Village Center as the type of authentic, walkable environment that office users are seeking; the plan highlights adding office space to the Village Center as an important effort, and careful integration and appropriate design of office development will expand the city's offerings.

At the location of the subject parcel, New Albany-Condit Road is identified as both a Business Park Transitional Road (extending north) and a Village Center Road (extending south). The Business Park to the north is characterized by office uses. As a transitional area into the Village Center, the proposed commercial office uses are appropriate in allowing the reuse of the site in a way that is sensitive to its surrounding context, including the office uses to the north and the architectural qualities of the immediate vicinity.

Proposed I-PUD Zoning Text Regulations

The first two sections of the proposed I-PUD zoning text summarize its regulatory intent and general development standards. Where the zoning text is silent on regulations, the Urban Center Code will apply. The specifications set forth in the preliminary development plan are in accordance with the proposed I-PUD regulations.

A. Uses, Development Standards, and Lot and Setback Commitments

The subject property is proposed to be rezoned to an Infill-Planned Unit Development (I-PUD); where standards or requirements are not outlined in the I-PUD zoning text, the zoning regulations described in the Urban Center Code will apply.

1. The I-PUD zoning texts lists the following permitted uses, and states that a single use or multiple uses may be operated at one time:

Table 1: Proposed I-PUD Permitted Uses

Administrative and business offices not carrying on retail trade with the public and having no stock of goods maintained for sale to customers, such as, but not necessarily limited to:

Real estate sales and associated services.

Insurance agents and brokers and associated services.

Professional, legal, engineering and architectural services.

Accounting, auditing and bookkeeping services.

Brokers and dealers in securities, investments and associated services, not including banks and savings institutions.

Organizations and associations organized on a profit or non-profit basis for promotion of membership interests, including:

Business associations.

Professional membership organizations.

Civic, social and fraternal organizations.

Charitable organizations.

Storage within the existing accessory building, limited to materials and equipment associated with another permitted use in this zoning district.

- The preceding land use standards are similar to a few uses outlined in the “Services/Business/Professional/Financial” category of the Urban Center Code, including “Administrative and business offices” and “Non-profit or for-profit membership organizations.”
- Storage within the existing accessory building will not necessarily be the only use of the building. A second user may operate on the site within this building.
- As a transitional area into the Village Center, the proposed commercial office uses are appropriate in allowing the reuse of the site in a way that is sensitive to its surrounding context, including the office uses to the north and the architectural qualities of the immediate vicinity.
- As mentioned in the submitted School Impact Statement, the rezoning will eliminate the possibility of additional housing on the property and eliminate occupancy by students.

2. The zoning text establishes the following minimum setbacks (see the proposed zoning text for specific standards). The buildings and pavement specifications in the preliminary development plan are in accordance with the proposed setbacks.

Table 2: Proposed I-PUD Setbacks

New Albany-Condit Road (front)

Pavement setback: 15 feet

Building setback:* 15 feet

State Route 161 (side/north)

Pavement setback: 5 feet

Building setback: 5 feet

Eastern (rear) boundary line of the zoning district

Pavement setback: 15 feet

Building setback: 50 feet

Southern (side/south) boundary line of the zoning district	
Pavement setback:	5 feet
Pavement setback for the driveway:*	2.5 feet
Building setback:*	5 feet

B. Access, Loading, Parking, and Other Traffic Commitments

1. Vehicular access to the zoning district and subject parcel will be provided from New Albany-Condit Road in its existing condition.*
2. A maximum of 20 vehicular parking spaces will be provided. Additionally, one loading space will be provided on the north side of the accessory building. Vehicular parking and loading will remain behind the existing home.* Box trucks may park in the northeastern corner of the property in the area shown in the preliminary development plan.
3. The Strategic Plan has identified the proximal portion of State Route 605 as an area of importance for future pedestrian and vehicular connectivity to the Village Center, and the city is in the preliminary stages of a roadway connectivity plan to guide future roadway and pedestrian improvements. At present, a pedestrian path exists along only a portion of the subject parcel, starting and extending north of the existing vehicular access point. However, right-of-way and topographical constraints cause the extension of the existing sidewalk to be difficult, and once this roadway and connectivity plan is complete, the property owner will pay a fee in lieu of an extension of the path at such time that the City manager or their designee deems appropriate. The fee-in-lieu amount will be approved by City Council.

C. Architectural Standards

1. Remodeling and updates of existing buildings will be completed in accordance with the images and drawings in the preliminary development plan application, and more specifically in accordance with the images, drawings, and specifications in an approved final development plan.*
2. The maximum building height is not to exceed 35 feet.
3. The renovations proposed in the preliminary development plan are generally aligned with applicable Design Guidelines and Requirements. Some standards have been modified by the I-PUD zoning text that allow the development to be more compatible with the existing buildings and be respectful of the site's context with adjacent properties. Modifications to the design standards that are included in the zoning text include standards pertaining to building height, recommended façade materials, and window specifications.

D. Buffering, Landscaping, and Screening Commitments

1. Deciduous street trees will be planted within the right-of-way along New Albany-Condit Road at an average distance of 30 feet on center. Alternatively, the developer may pay the city a fee-in-lieu that is approved by city staff.
2. A new fence will be installed along the southern boundary line of the property at a height not exceeding six feet. Where installed, the fence will provide complete opacity between the zoning district and the adjacent property to the south.
3. Parking lot landscaping will be provided as generally illustrated in the preliminary development plan and as set forth and approved in a future final development plan.
4. Surface parking areas, external mechanical equipment, roof-mounted equipment, service areas, and dumpsters are required to be screened to the specifications outlined in the proposed zoning text.

E. Lighting

1. Lighting will be provided along the perimeters of the parking lot and vehicular drive as included in a final development plan. Such lighting will not exceed three feet in height, will be black or New Albany green, and will be provided in a manner that eliminates off-site light spillage.*

2. Building uplighting and landscape uplighting is prohibited.* Any permitted ground lighting will be shielded and landscaped.
3. Permanent colored lights or neon lights on the exterior of any building is prohibited.
4. All other lighting will be in accordance with the codified ordinances.

F. Graphics and Signage Commitments

1. One wall sign is permitted on the front façade of the existing main building that identifies the user of the main building. The sign will comply with the codified ordinances for a wall sign located in the Historic Core or Village Core sub-district of the Village Center.
2. One single-post sign is permitted that identifies the user of the accessory building if that user is different from the user occupying the converted home. The sign will comply with the codified ordinances for a single-post sign located in the Historic Core or Village Core of the Village Center, except that it will have a maximum sign area of 12 square feet per side. The sign will be set back at least five feet from the right-of-way and from any side property line.
3. Architectural Review Board review and approval will be required at a later date for the aforementioned signage and any future proposed signage.
4. Internally illuminated signs are prohibited. Interior window advertisements and signs painted directly on the surface of a building, wall, or fence are prohibited.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the subject preliminary development plan and provided the following comments. Staff recommends a condition of approval that these comments be addressed by the applicant, subject to staff approval (condition #1).

1. The applicant shall provide evidence that any onsite wastewater treatment or well water systems located on the parcel have been abandoned in accordance with all applicable governmental regulations.
2. The applicant shall provide a Traffic Access Study to determine if improvements in public right-of-way are required to support the project.
3. The applicant shall provide a revised plan showing the curb cut proposed for the development and thoroughly evaluate vehicle site distance.
4. The applicant shall provide more information regarding provision of gravity sewer service for the development.

V. SUMMARY

The proposed rezoning will allow office uses at 6600 New Albany-Condit Road and establish development standards that are sensitive to the site's existing character. The change is appropriate given the surrounding context and is accompanied by a preliminary development plan aimed at site and building improvements. The current evaluation is general in nature, with a more detailed review to occur at the final development plan stage.

Located at a transitional point between the New Albany Business Park and the Village Center, the site is well-suited for low-impact office uses. The proposed I-PUD zoning text includes modifications to the Village Center Commercial Design Guidelines and Requirements that are appropriate given the physical context. The plan reflects principles from other sections of the Design Guidelines and Requirements, which support compatibility with surrounding development and encourage maintaining residential character when adapting existing homes for commercial use.

VI. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

Move to recommend approval of zoning change application ZC-78-2025 to the New Albany City Council with the following conditions:

1. That the engineer's comments be addressed by the applicant, subject to staff approval.

Approximate Site Location:



Source: NearMap



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org																										
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.																										
Project Information	Site Address <u>6600 New Albany-Condit Road</u>																										
	Parcel Numbers <u>222-000640</u>																										
Project Information	Acres <u>1.116+/-</u>	# of lots created <u>N/A</u>																									
	<table border="1"><thead><tr><th>Choose Application Type</th><th>Description of Request:</th></tr></thead><tbody><tr><td><input type="checkbox"/> Appeal</td><td>Rezoning of the subject property from UCC, Urban Center</td></tr><tr><td><input type="checkbox"/> Certificate of Appropriateness</td><td>Code Rural Residential subdistrict to I-PUD, to allow</td></tr><tr><td><input type="checkbox"/> Conditional Use</td><td>for office uses and development rather than residential</td></tr><tr><td><input checked="" type="checkbox"/> Development Plan</td><td>uses and development</td></tr><tr><td><input type="checkbox"/> Plat</td><td></td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td></tr><tr><td><input checked="" type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr><tr><td><input type="checkbox"/> Zoning Text Modification</td><td></td></tr><tr><td><input type="checkbox"/> Extension Request</td><td></td></tr><tr><td><input type="checkbox"/> Variance</td><td></td></tr><tr><td><input type="checkbox"/> Vacation</td><td></td></tr></tbody></table>		Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	Rezoning of the subject property from UCC, Urban Center	<input type="checkbox"/> Certificate of Appropriateness	Code Rural Residential subdistrict to I-PUD, to allow	<input type="checkbox"/> Conditional Use	for office uses and development rather than residential	<input checked="" type="checkbox"/> Development Plan	uses and development	<input type="checkbox"/> Plat		<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input checked="" type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification		<input type="checkbox"/> Extension Request		<input type="checkbox"/> Variance		<input type="checkbox"/> Vacation
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Contacts	<table border="1"><thead><tr><th colspan="2">Applicant Information</th><th colspan="2">Property Owner Information</th></tr></thead><tbody><tr><td>Name</td><td>Rob Riddle</td><td>Name</td><td>Same as applicant</td></tr><tr><td>Address</td><td></td><td>Address</td><td></td></tr><tr><td>City, State, Zip</td><td></td><td>City, State, Zip</td><td></td></tr><tr><td>Phone Number</td><td></td><td>Phone Number</td><td></td></tr><tr><td>Email</td><td></td><td>Email</td><td></td></tr></tbody></table>		Applicant Information		Property Owner Information		Name	Rob Riddle	Name	Same as applicant	Address		Address		City, State, Zip		City, State, Zip		Phone Number		Phone Number		Email		Email		
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Address		Address																									
City, State, Zip		City, State, Zip																									
Phone Number		Phone Number																									
Email		Email																									
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																										
	<table><tr><td>Signature of Owner</td><td><u>B7: [Signature]</u></td><td>Date:</td><td><u>9/16/25</u></td></tr><tr><td>Signature of Applicant</td><td><u>B7: [Signature]</u></td><td>Date:</td><td><u>9/16/25</u></td></tr></table>		Signature of Owner	<u>B7: [Signature]</u>	Date:	<u>9/16/25</u>	Signature of Applicant	<u>B7: [Signature]</u>	Date:	<u>9/16/25</u>																	
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Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054



Aaron L. Underhill
8000 Walton Parkway, Suite 260
New Albany, Ohio 43054

P: 614.335.9321
F: 614.335.9329
[REDACTED]

September 16, 2025

Mr. Chris Christian
Planning Manager
City of New Albany
99 W. Main Street
New Albany, Ohio 43054

**RE: School Impact of Zoning of 1.116+/- Acres Located at 6600 New Albany-Condit Road
New Albany, Ohio**

Dear Chris:

The applicant, Rob Riddle, owns 1.116+/- acres of real property (the “Property”) located to the south of and adjacent to State Route 161 and to the east of and adjacent to New Albany-Condit Road. This letter accompanies an application to rezone the Property from the UCC, Urban Center Code subdistrict Rural Residential classification to an Infill Planned Unit Development, I-PUD designation. The site is located in the New Albany Plain Local School District and currently contains a home being used for residential purposes as well as two accessory structures.

The proposed zoning seeks to implement standards and requirements for the Property to allow the existing home to be converted to a neighborhood office use, with plans to operate a real estate office there. The larger of the two existing accessory structures also will be repurposed from storage space to professional office use as well. In the longer term, the zoning will allow for the possible redevelopment of the Property with a more traditional neighborhood office building and related improvements.

The current zoning of the Property allows for residential uses with a minimum lot area of 20,000 square feet, which could yield two homes since the real estate consists of 1.116 acres. The rezoning will allow for the existing home to be remodeled for office uses and will eliminate the possibility of residential occupancy. Also, it will eliminate the possibility of a second home being constructed on the Property as permitted under the current zoning. The conversion of use rights from residential to office will provide an obvious benefit to the school district by eliminating any occupancy by students that would bring costs to the district to educate.

The applicant is pleased to bring forth this application and looks forward to working with the City. Please let me know if you have any questions.

Sincerely,

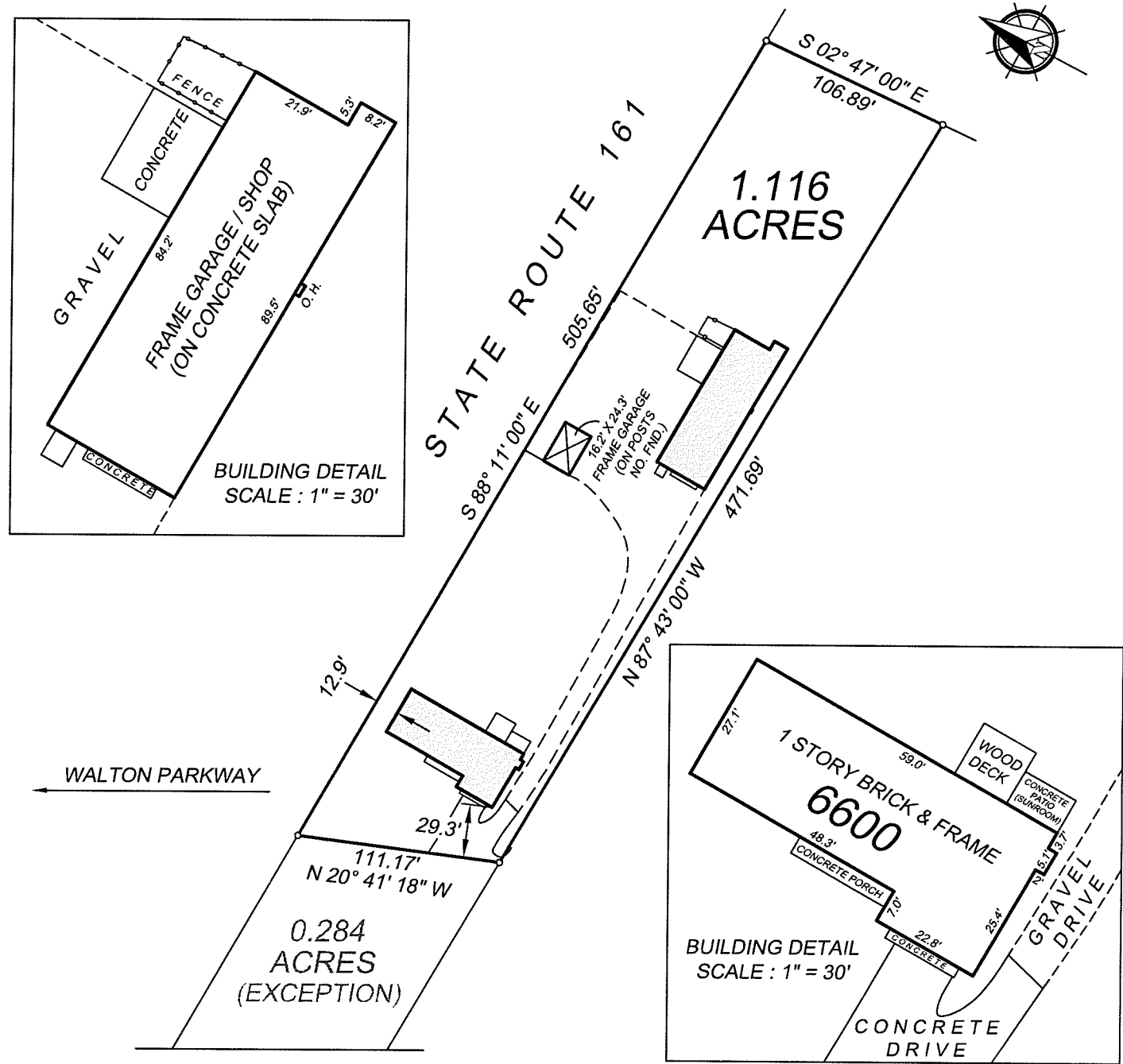
Aaron L. Underhill
Attorney for the Applicant

HOY LAND SURVEYING
1767 McCorkle Blvd #1767
Westerville, Ohio 43086
Phone: 614-679-1186



JOB NUMBER #: 4191-2024 S DATE OF DRAWING 8-13-24

CERTIFIED TO CALIBER TITLE AGENCY, LLC & STEWART TITLE GUARANTY COMPANY
LENDER REVOLUTION BUYER RIDDLE
LEGAL DESC. 1.116 ACRES ~ PART OF LOT 40, SECTION 4, TOWNSHIP 2, RANGE 16, UNITED STATES MILITARY LANDS INST. 202305220049218
CITY/TWP. PLAIN TWP. COUNTY FRANKLIN DRN. KLH CK. SJH DRAWING SCALE 1" = 80'
FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0208K MAP DATE 6-17-08



NEW ALBANY CONDIT ROAD

ENCROACHMENT INFORMATION
NONE NOTED

I / WE HAVE RECEIVED A COPY OF THIS SURVEY
AND FIND THE CONDITIONS ACCEPTABLE.
[Signature]
BUYER / OWNER

BUYER / OWNER

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner and is not to be used to erect fences or other structures. Easements shown on this plat were taken from the subdivision plat of record. Additional easements affecting this property may exist.

By [Signature]

STATE OF OHIO
Steven J. Hoy
7313
REGISTERED
PROFESSIONAL SURVEYOR

605 NEIGHBORHOOD OFFICE DISTRICT
INFILL PLANNED DEVELOPMENT (I-PUD)

DEVELOPMENT STANDARDS TEXT

November 13, 2025

I. Summary: The property which is the subject of this text consists of 1.116+/- acres known as Franklin County Auditor parcel number 222-000640. It is located to the east of and adjacent to New Albany-Condit Road and to the south of and adjacent to State Route 161. An existing home consisting of approximately 1,516 square feet of gross floor area is located within the western portion of the site, and an accessory structure containing approximately 3,000 square feet of gross floor area is located within the eastern portion of the property. A second accessory structure is located between them and will be removed from the site following approval of this rezoning. The home is currently being leased as a residence and the accessory structure is being used for storage. An unpaved access drive and unpaved parking areas also exist on the site. This application is to facilitate updates of the home (including, without limitation, the conversion of the garage in the home) and the accessory structure in order to allow them to be used as professional office space and related uses and to provide for paving and striping of parking areas.

The property is presently zoned under the Urban Center Code's Rural Residential subdistrict. The permitted uses in that sub-district include residential located within a "large detached structure", parkland and open space, and the following non-residential uses located within a "campus" setting: convalescent/congregate care centers, general and special hospital and clinics, day care centers, government facilities, educational facilities, and religious uses. Given the property's adjacency to the State Route 161 expressway and the planned construction of a sound barrier wall within the highway's right-of-way running parallel to the property's northern boundary line, the site is not attractive for development of a new large detached home. With the relatively small amount of acreage on the property, and the property's adjacency to the highway and the sound barrier, it would not provide optimal open space nor does it lend itself to development of a "campus-like" setting.

Office uses are much more appropriate and practical along the edge of the highway. The repurposing of the home will enhance aesthetics and provide a modest economic development opportunity for the City. A preliminary development plan for the use of and updates to the subject property has been filed along with this text.

II. Development Standards - Generally: Unless otherwise specified in the submitted drawings or in this written text, the standards and requirements of the City's Urban Center Code shall apply to this zoning district. In the event of a conflict between this text or the submitted drawings and a specific provision of the provision of the Codified Ordinances, this text and/or the drawings shall govern.

III. Uses:

A. Permitted uses in this zoning district shall include the following. A single use or multiple permitted uses may be operated at any time.

1. Administrative and business offices not carrying on retail trade with the public and having no stock of goods maintained for sale to customers such as (but not necessarily limited to):

- a. Real estate sales and associated services.
- b. Insurance agents and brokers and associated services.
- c. Professional, legal, engineering and architectural services.
- d. Accounting, auditing and other bookkeeping services.
- e. Brokers and dealers in securities, investments and associated services, not including commercial banks and savings institutions.

2. Organizations and associations organized on a profit or non-profit basis for promotion of membership interests, including:

- a. Business associations.
- b. Professional membership organizations.
- c. Civic, social and fraternal organizations.
- d. Charitable organizations.

3. Storage within the existing accessory building on the property, limited to materials and equipment associated with another permitted use in this zoning district.

IV. Lot and Setback Commitments:

A. Minimum Parcel Size and Frontage: A lot or parcel within this zoning district shall be a minimum of 1.0 acre in size and shall have a minimum of 100 feet of frontage on a public street.

B. New Albany-Condit Road: There shall be a minimum pavement and building setback of 15 feet as measured from the right-of-way of New Albany-Condit Road.

C. State Route 161: There shall be a minimum pavement and building setback of 5 feet from the right-of-way of State Route 161.

D. Other Perimeter Boundaries: There shall be a minimum pavement setback of 15 feet and a minimum building setback of 50 feet from the eastern (rear) boundary line of the zoning district. There shall be a minimum pavement and building setback of 5 feet from the southern (side) boundary line of the zoning district, except that pavement for the driveway may encroach into the southern boundary line setback up to 2.5 feet.

E. Lot Coverage: There shall be a maximum lot coverage of 80%.

V. Access, Loading, Parking and Other Traffic Commitments

A. Parking and Loading: A maximum of 20 vehicular parking spaces shall be provided. In addition, box trucks may park in the northeastern corner of the property in the area generally shown on the preliminary development plan. All parking spaces shall be located to the rear of a line running along the rear of the existing home structure and extending north and south to the side perimeter boundary lines of the zoning district. One loading space shall be provided along the northern portion of the existing accessory building that is to remain.

B. Vehicular Access: Vehicular access to the zoning district shall be provided from one full movement access point on New Albany-Condit Road in its existing location.

C. Pedestrian Access: An existing pedestrian path exists along a portion of this zoning district which is located to the north of the existing vehicular access point. The extension of this path southward is inhibited by existing grade. The City has identified this section of State Route 605 as an important pedestrian and vehicular connection that establishes a gateway into the Village Center. Due to the existing right-of-way and topographical constraints along this roadway, the City is in the process of starting a roadway and connectivity plan that will guide future roadway and pedestrian improvements along State Route 605. Once this roadway and connectivity plan is complete, the property owner shall pay a fee in lieu of the construction of an extension of the path at such time as the City Manager or their designee deems it to be appropriate. The fee in lieu amount shall be approved by City Council.

D. Rights-of-Way: No additional right-of-way shall be required to be dedicated along New Albany-Condit Road or State Route 161.

E. Loading and Service Areas: Loading and service areas shall be fully screened from off-site view of property adjacent to the zoning district to the south and east by the use of buildings, walls, fences, and/or landscaping.

VI. Architectural Standards:

A. Application of Urban Center Code: The remodeling and updates of existing buildings that are to remain on the property shall be completed generally in accordance with the images and drawings which accompany the preliminary development plan application, and more specifically in accordance with the images, drawings, and specifications in an approved final development plan.

B. Height: Maximum building height (as measured per the Codified Ordinances) shall not exceed 35 feet. Existing buildings are permitted to be one story in height.

C. Pavement: Driveways and parking areas shall be asphalt, brick, stone, or simulated stone.

D. Materials: Building façade materials shall be wood, brick, or Hardie board.

E. Windows: The existing buildings may retain their existing windows and shutters.

VII. Buffering, Landscaping, and Screening Commitments

A. Street Trees: Deciduous street trees shall be planted within the right-of-way along New Albany-Condit Road. Trees shall be spaced at an average distance of 30 feet on center. Street trees shall not obstruct site distance or signage, subject to staff approval. As an alternative to installing the street trees, the developer may pay the City a fee in lieu that is equal to the amount of trees required to be planted. This fee in lieu shall be approved by City staff.

B. New Fencing: A new fence shall be installed along the southern boundary line of the property. The fence shall not exceed 6 feet in height and shall have a design and specifications as approved in a final development plan application. Where installed, the fence shall provide complete opacity as between this zoning district and the adjacent property to the south.

C. Screening of Parking: Any surface parking areas shall be screened from the right-of-way or from adjacent property with a minimum of a 3.5-foot-tall continuous planting hedge, fence, or wall or any combination of the foregoing. Height shall be measured from the adjacent parking area. No such screening shall be required where existing trees instead provide adequate screening.

D. Minimum Tree Sizes.

<u>Tree</u>	<u>Perimeter Minimum Tree Size</u>	<u>Parking Lot Minimum Tree Size</u>
Ornamental Tree	2" Caliper	2" Caliper
Deciduous Shade Trees	2 ½" Caliper	2 ½" Caliper
Evergreen Trees	6' – 8' tall	4' tall

E. Interior Landscaping. Parking lot landscaping shall be provided as generally illustrated in the preliminary development plan and as more particularly set forth in an approved final development plan.

F. Mechanical Equipment: Any external mechanical equipment shall be screened at ground level from all adjacent public streets and from properties which are outside of but adjacent to this zoning district with materials that are similar to or the same as used on the majority of the relevant building or with fencing and/or landscaping. Complete screening of all roof-mounted equipment from perimeter property boundary lines and adjacent properties shall be required on all four sides of buildings with materials that are consistent and harmonious with the building's façade and character. Such screening shall be provided in order to screen the equipment from off-site view and to buffer sound generated by such equipment.

G. Service Areas and Dumpsters: All service areas (including, without limitation, loading docks) and dumpsters shall be fully screened from all public roads and from adjacent properties located outside of this zoning district at ground level with walls, fencing, or landscaping. Existing trees may be used to provide this screening where appropriate. Walls shall be of the same materials used on the building walls and shall be complemented with landscaping. Exterior storage of materials, supplies, equipment, or products is prohibited.

VIII. Lighting:

A. Street Lighting: No new street lighting shall be required along the perimeter rights-of-way adjacent to this zoning district.

B. Parking Lots and Driveways: Lighting shall be provided along the perimeters of the parking lot and the vehicular drive in accordance with specifications provided in a final development plan. Such lighting shall not exceed three (3) feet in height and shall have fixtures that are black or New Albany green. Lighting within these areas shall be provided in a manner that eliminates off-site light spillage.

C. Ground-Mounted Lighting: Landscape uplighting shall not be permitted. Any ground lighting that is permitted shall be shielded and landscaped.

D. Prohibited Lighting: No permanent colored lights or neon lights shall be used on the exterior of any building.

E. Consistent Appearance: Exterior lighting fixtures shall be similar in appearance on each structure. Uplighting of buildings is prohibited.

F. Other Requirements: All other lighting on the site shall be in accordance with the City's Codified Ordinances.

IX. Graphics and Signage Commitment

A. Locations: A wall sign shall be permitted on the front façade of the home that is being converted to office use and shall identify the user within that structure. This sign shall comply with the requirements of the Codified Ordinances for wall signage on a structure located in the Historic Core or the Village Core of the Village Center. In addition, a single post sign shall be permitted to identify the user of the accessory building that is to remain on the site if that

user is different from the user occupying the converted home. It shall comply with the requirements in the Codified Ordinances for this type of sign if it were located in the Historic Core or the Village Core of the Village Center, except that it shall have a maximum sign area of 12 square feet per side. The post sign shall be set back at least 5 feet from the right-of-way of New Albany-Condit Road and at least 5 feet from any side property line of the zoning district. For any new building, permitted sign types and specifications shall be based on the building typology that is constructed pursuant to the Urban Center Code.

B. Specifications: Permitted sizes, designs, colors, shapes, and other specifications for ground and building signs shall be in accordance with the Codified Ordinances.

C. Illumination: Internally illuminated wall-mounted and ground-mounted signage shall be prohibited.

D. Prohibited Signs: No signs shall be painted directly on the surface of the building, wall or fence. Temporary or permanent interior window advertisements are prohibited.

X. General Matters:

A. Review Procedures:

1. Rezoning: The rezoning procedures of Codified Ordinances Chapters 1111, 1157, and 1159 shall apply to this zoning district.

2. Final Development Plans: The initial final development plan application for this zoning district shall be reviewed by the City's Architectural Review Board (ARB) prior to being presented for review by the Planning Commission. The ARB shall provide a recommendation of approval, approval with conditions, or disapproval of a final development plan application to the Planning Commission using the same review criteria for a final development plan application as is required to be applied by the Planning Commission pursuant to relevant provisions of the Codified Ordinances. The Planning Commission shall be the decision-making body as to the approval, approval with conditions, or disapproval of each final development plan application in accordance with the requirements of the Codified Ordinances.

Redevelopment of the property in this zoning district which involves the voluntary demolition of one or both structures that are being converted to office uses and/or the construction of a new building shall not be permitted unless a further rezoning of the property occurs. Redevelopment of the property after an involuntary action (such as a property casualty event) with buildings and structures which are similar in floor area and height to those which are to remain on the property in accordance with this text shall not require a rezoning but instead may approved as part of a final development plan to be reviewed by the ARB (which shall make a recommendation) and by the Planning Commission (which shall make a final decision on the application).

3. Other Modifications: Site modifications proposed outside of an initial final development plan application for this zoning district or which do not otherwise require review and approval of a final development plan as contemplated in the second paragraph of Section X.A.2 above shall be subject to certificate of appropriateness review under Codified Ordinances Section 1157.07.

4. Demolition: At the time of approval of the preliminary development plan, there are three existing structures on the site. A certificate of appropriateness to allow for the demolition of accessory structures may be reviewed and approved by city staff and shall not require Architectural Review Board approval. Demolition of the existing home that is being converted to office use requires a certificate of appropriateness to be issued by the Architectural Review Board who shall review the application in accordance with the standards found in Codified Ordinances Section 1157.10.

B. Appeals:

1. Taking of Appeals: Appeals to the Board of Zoning Appeals concerning interpretation or administration of the text or the underlying zoning ordinance by the Zoning Officer or any other administrative official may be taken by any person aggrieved, including a tenant, or by a governmental officer, department, board, or bureau. Such appeal shall be taken within twenty days after the date of the decision by filing a notice of appeal specifying the grounds thereof with the officer from whom the appeal is taken and the Board of Zoning Appeals.

2. Imminent Peril: An appeal shall stay all proceedings in furtherance of the action appealed from, unless the Zoning Officer certifies to the Board of Zoning Appeals, after notice of appeal shall have been filed with him, that by reason of facts stated in the application a stay would, in his opinion, cause imminent peril to life or property. In such case, the proceeding shall not be stayed other than by a restraining order which may, on due cause shown, be granted by the Board of Zoning Appeals, after notice to the Zoning Officer or by judicial proceedings.

C. Waivers:

1. Deviations from development standards in this text or in the Codified Ordinances, as part of a final development plan application, are subject to the waiver process as described in city code. The consideration of a waiver request shall be deemed to constitute an administrative proceeding. The Planning Commission shall be the decision-making body as to the approval, approval with conditions, or disapproval of each waiver application in accordance with the requirements of this text that are associated with a final development plan. In considering a request for a waiver, the Planning Commission shall conduct a public meeting in conjunction with the application.

2. Deviations from development standards in this text or in the Codified Ordinances, as part of a certificate of appropriateness application, are subject to the waiver process as described in city code. The consideration of a waiver request shall be deemed

to constitute an administrative proceeding, The Architectural Review Board shall be the decision-making body as to the approval, approval with conditions, or disapproval of each waiver application in accordance with the requirements of this text that are associated with a certificate of appropriateness application. In considering a request for a waiver, the Architectural Review Board shall conduct a public meeting in conjunction with the application.

6600 NEW ALBANY CONDIT RD

NEW ALBANY, OH, 43054

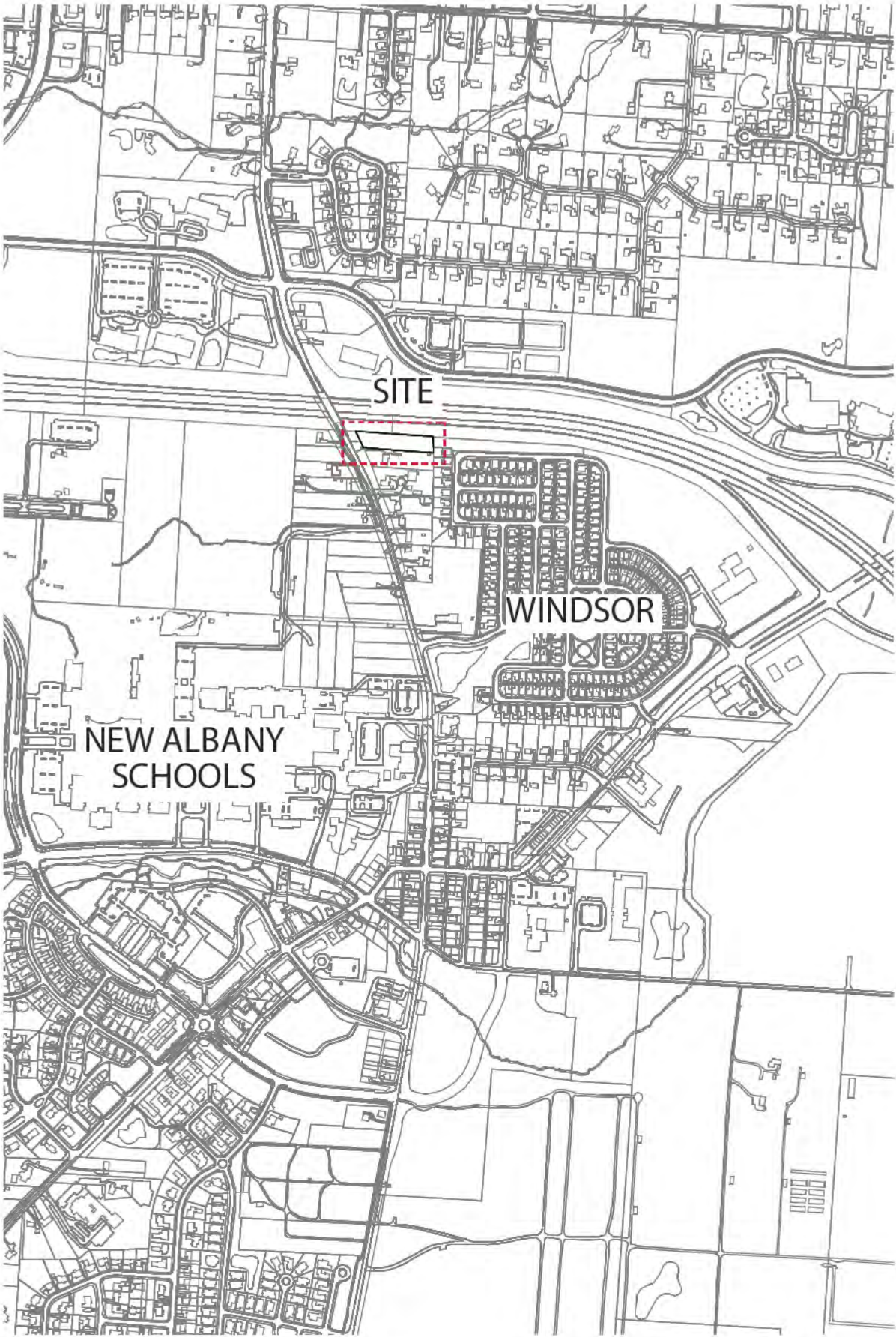
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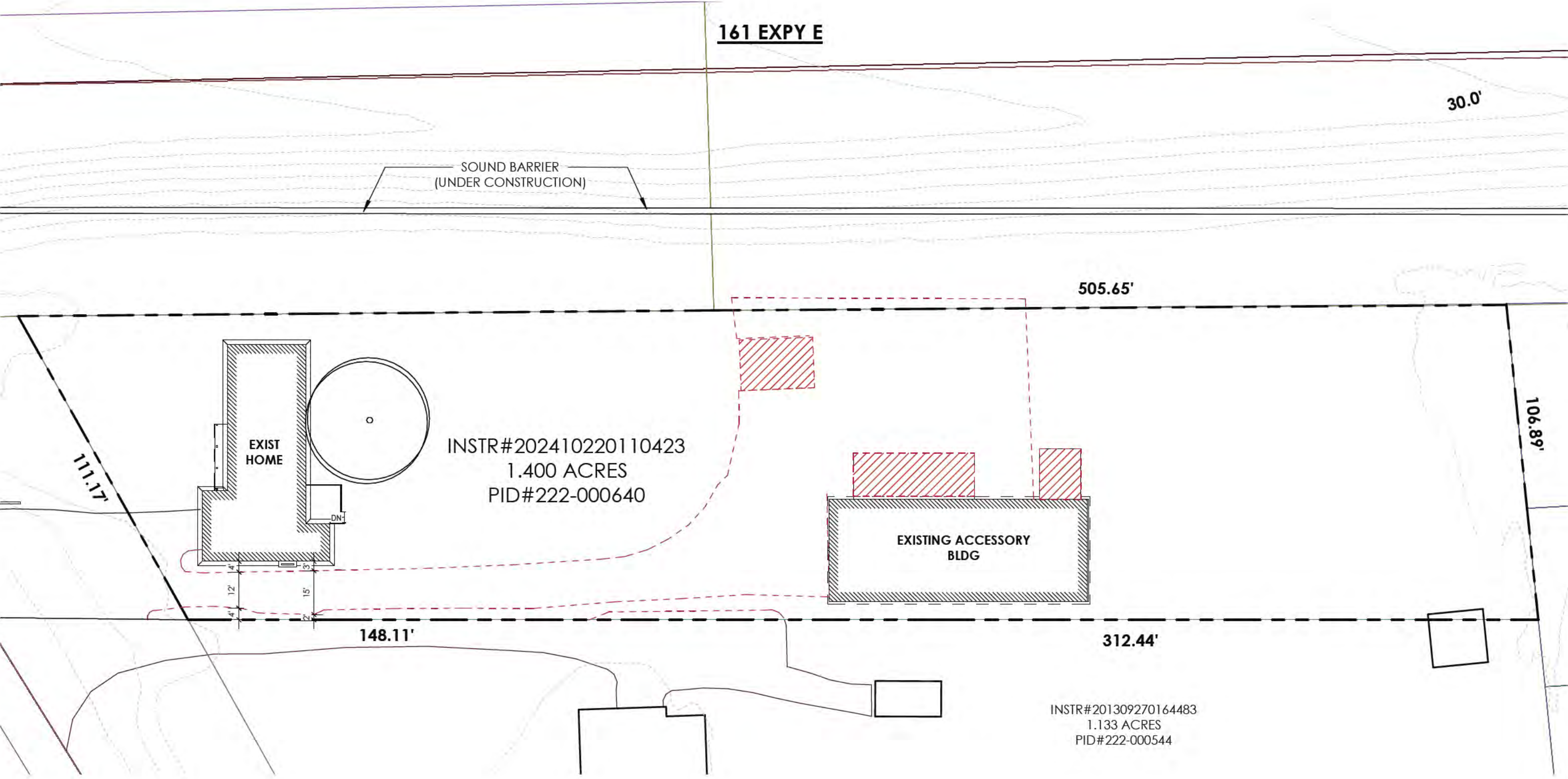
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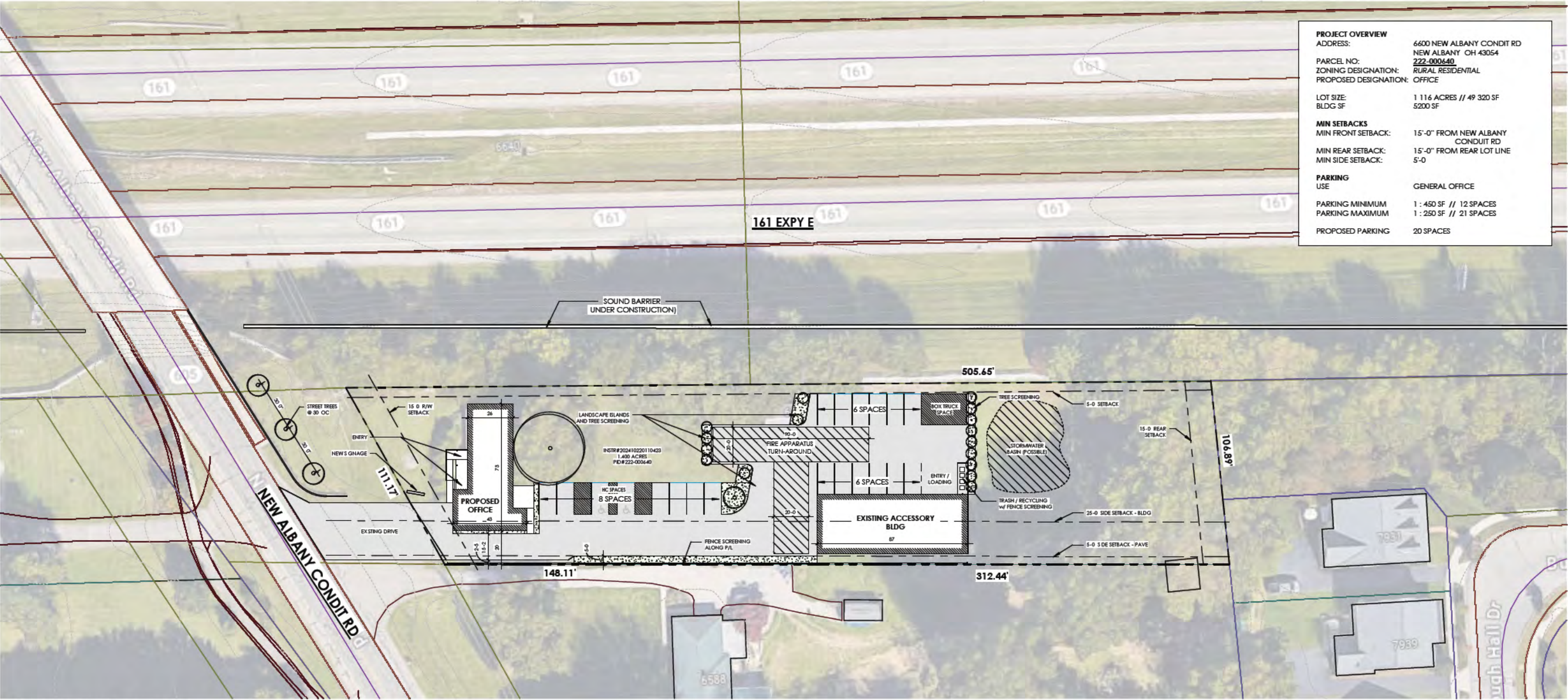
LOCATION MAP



EXISTING SITE PLAN

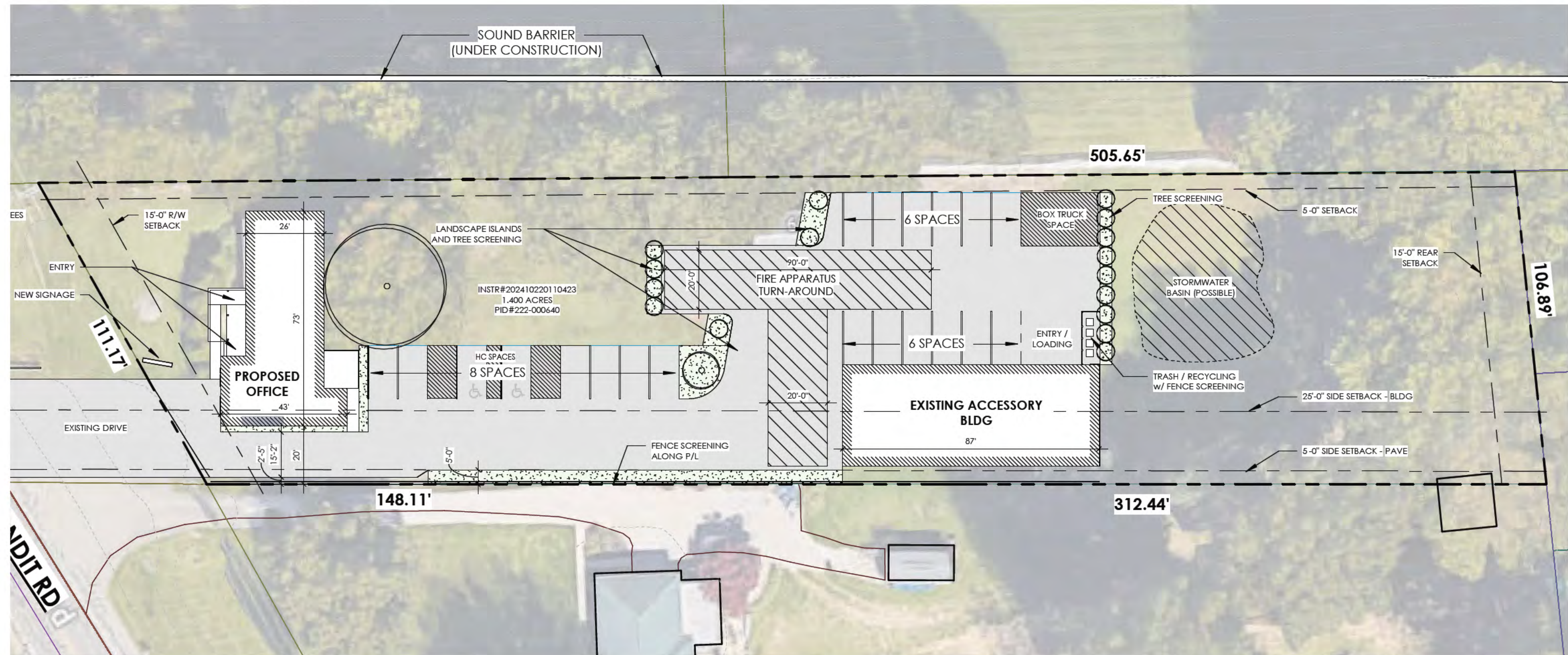


PROPOSED SITE PLAN



② SITE PLAN PROPOSED
1/32" = 1'-0"

PROPOSED SITE PLAN

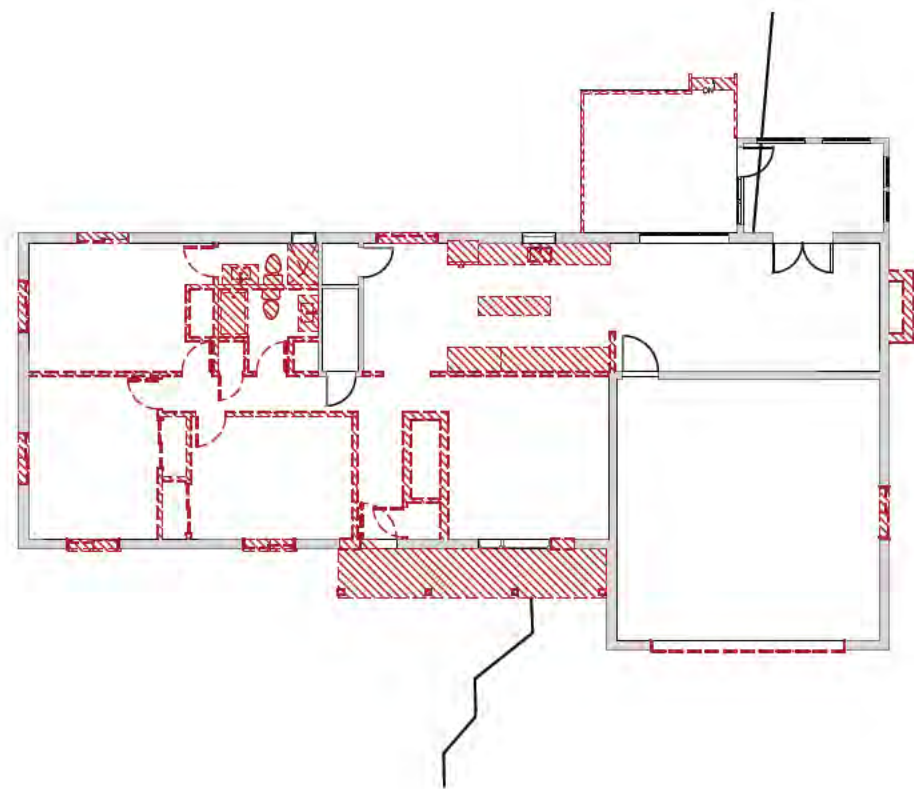




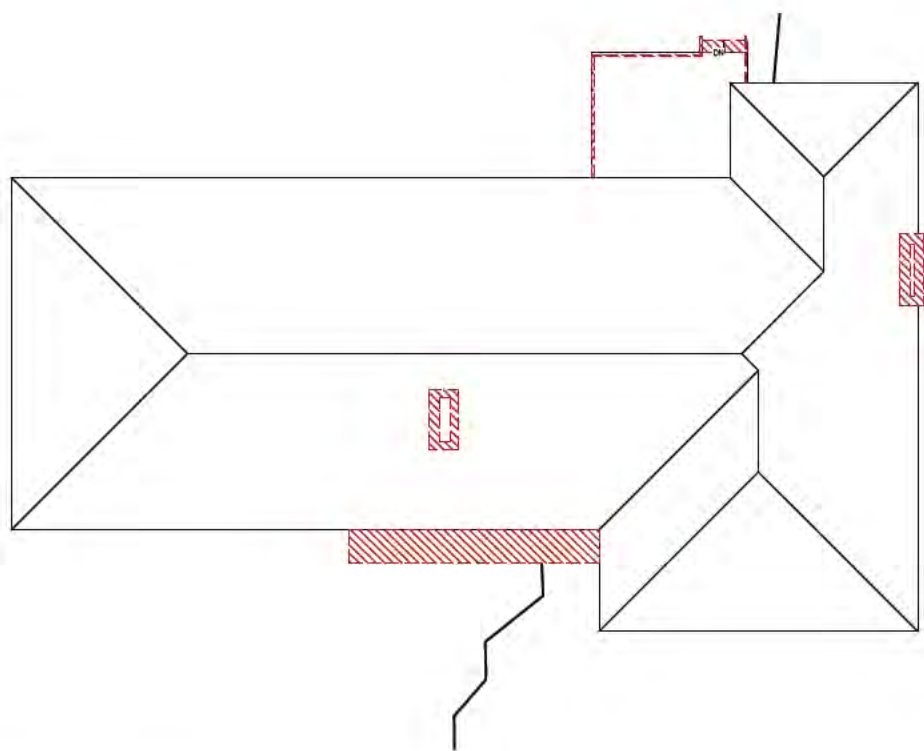
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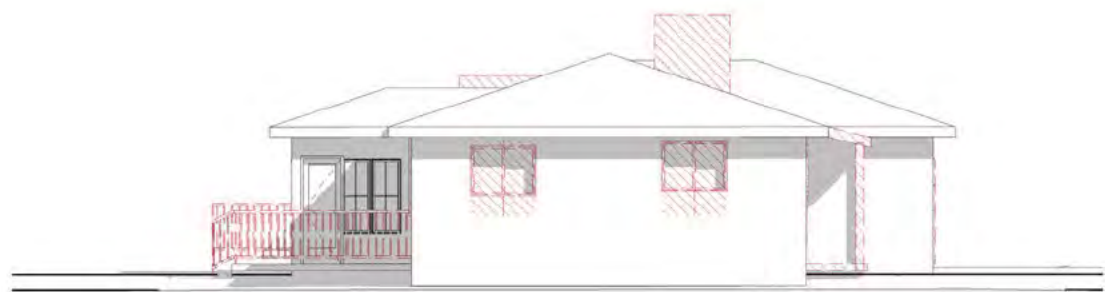


1 FIRST FLOOR EXISTING
1/8" = 1'-0"

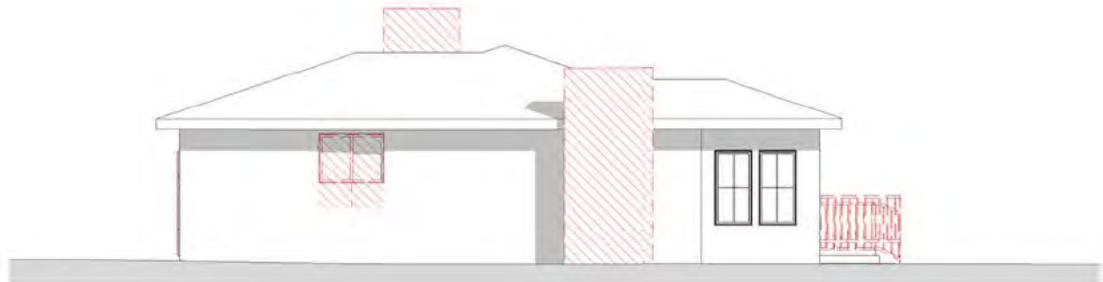


2 ROOF PLAN EXISTING
1/8" = 1'-0"

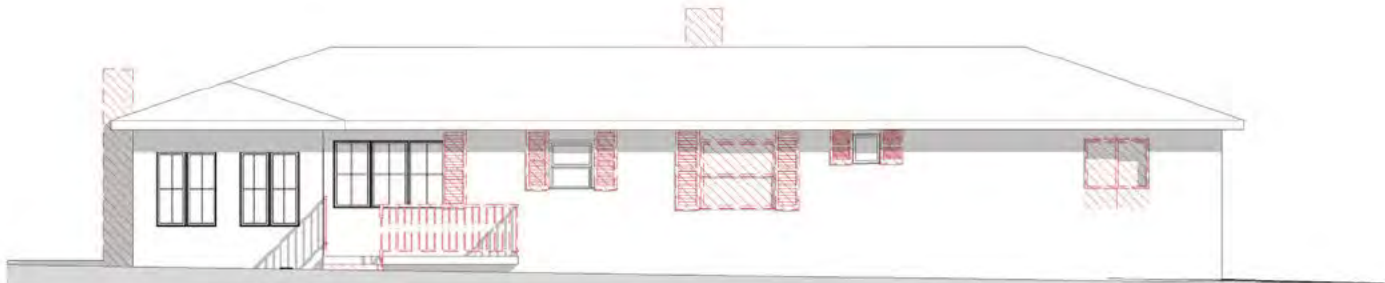
EXISTING



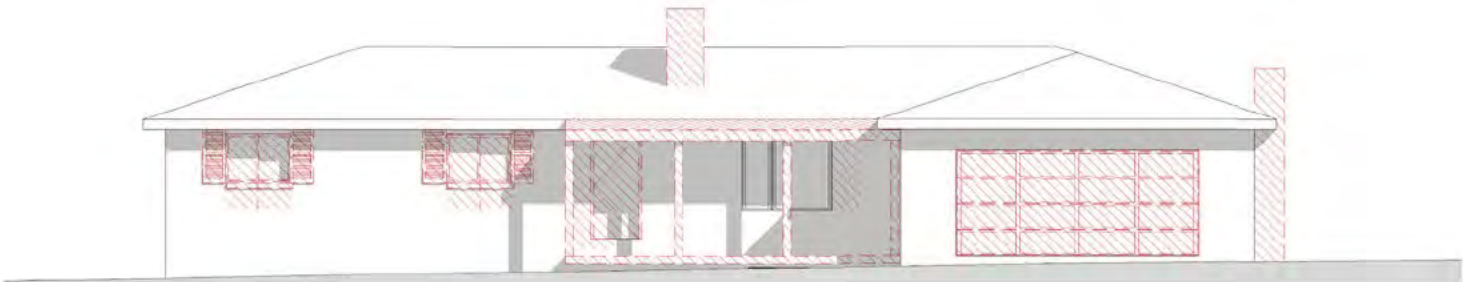
EX (LEFT) SIDE ELEVATION
1/8" = 1'-0"



EX (RIGHT) SIDE ELEVATION
1/8" = 1'-0"



EX REAR ELEVATION
1/8" = 1'-0"



EX FRONT ELEVATION
1/8" = 1'-0"

PROPOSED



FRONT ELEVATION

1/8" = 1'-0"



SIDE (RIGHT) ELEVATION

1/8" = 1'-0"

PROPOSED

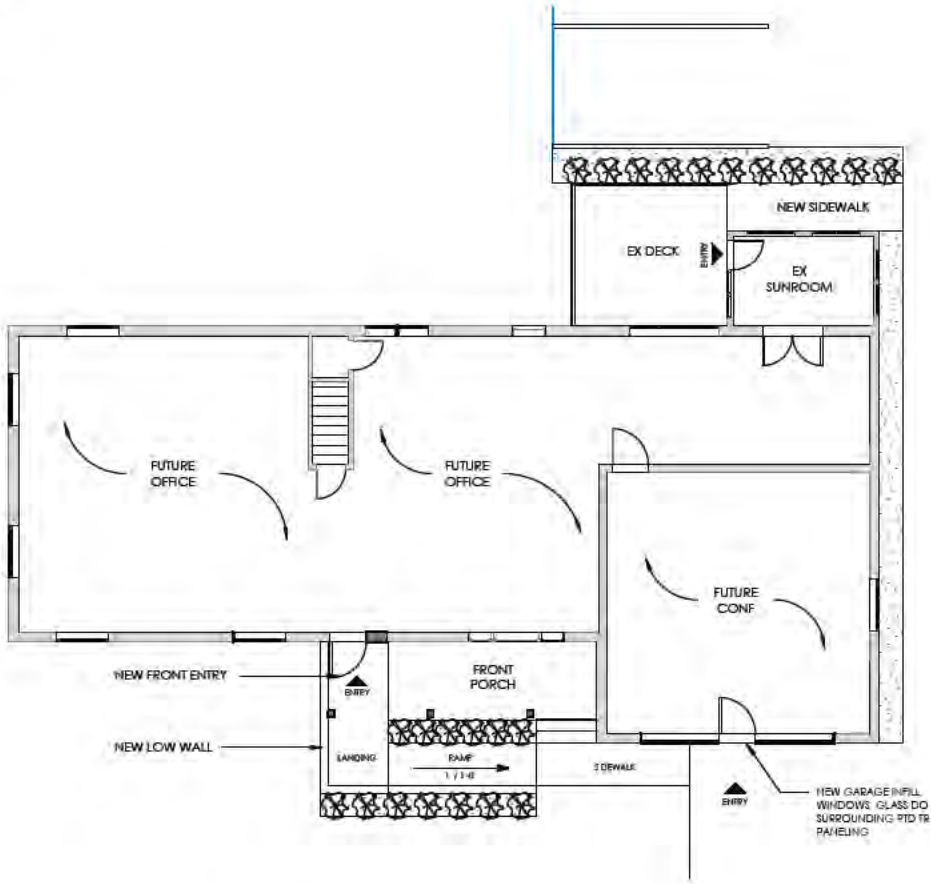


SIDE (LEFT) ELEVATION
1/8" = 1'-0"

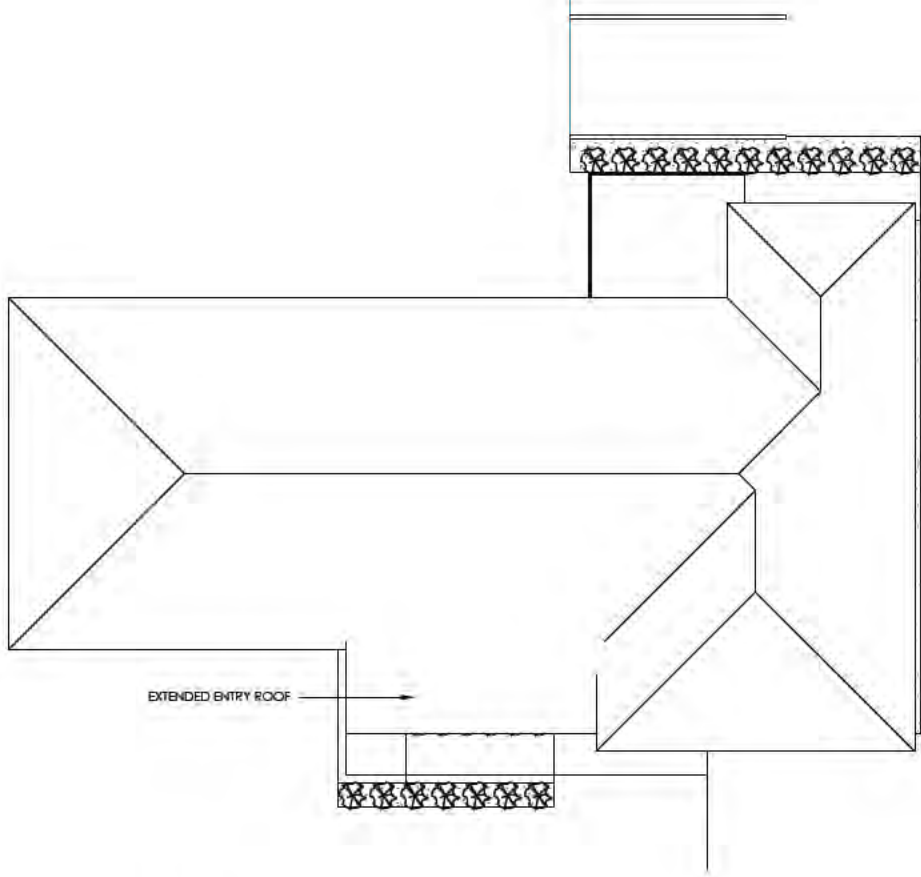


REAR ELEVATION
1/8" = 1'-0"

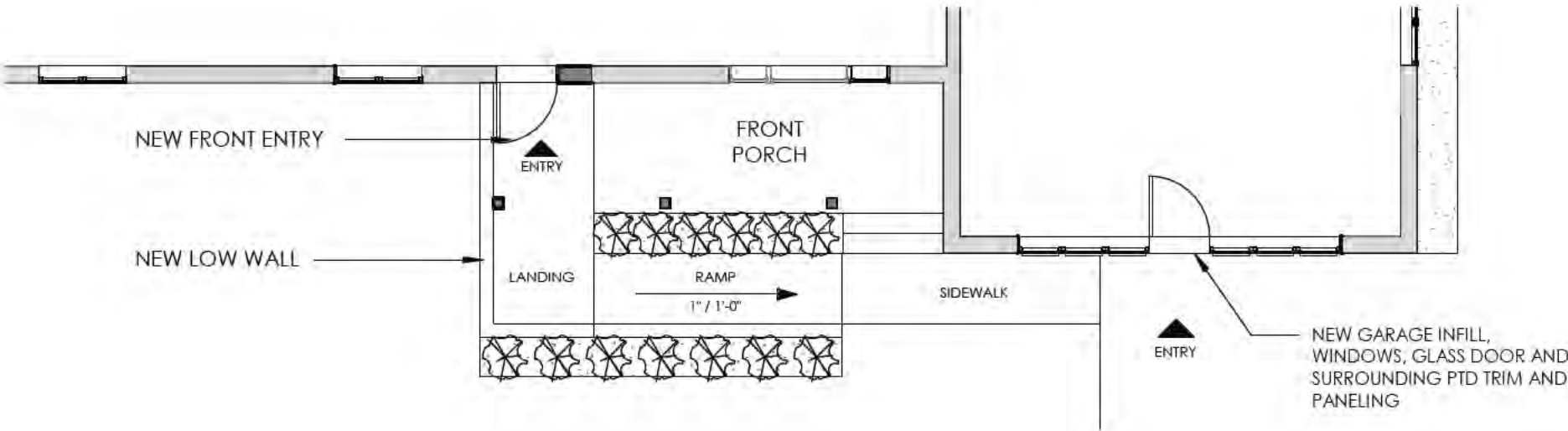
PROPOSED



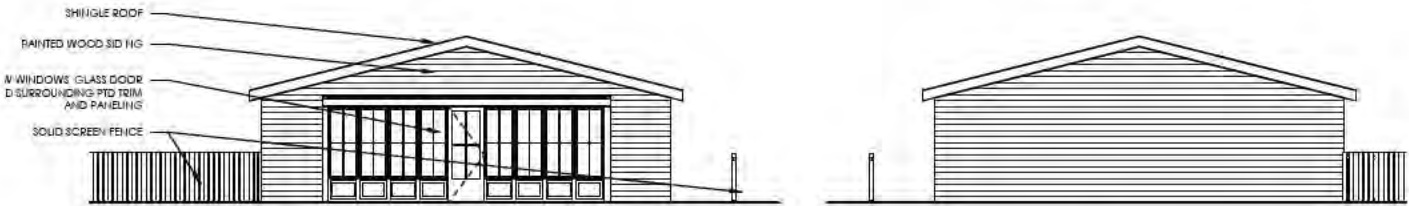
1 FIRST FLOOR PROPOSED
1/8" = 1'-0"



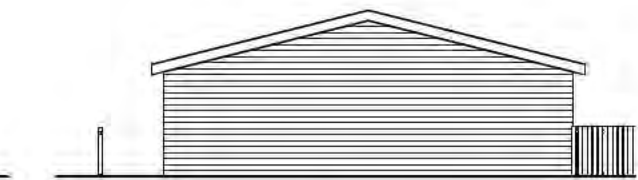
2 ROOF PLAN PROPOSED
1/8" = 1'-0"



PROPOSED



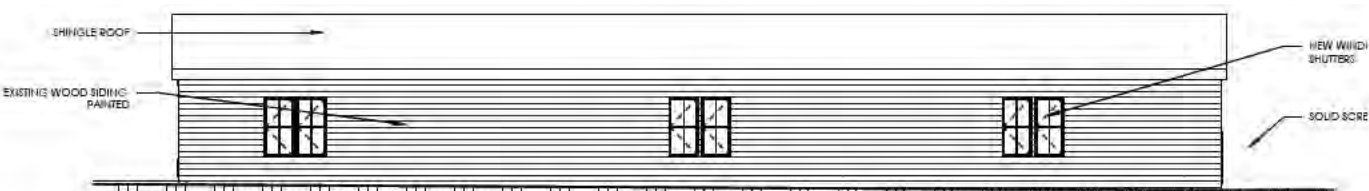
6 ACC BLDG ELEV 1
1/8" = 1'-0"



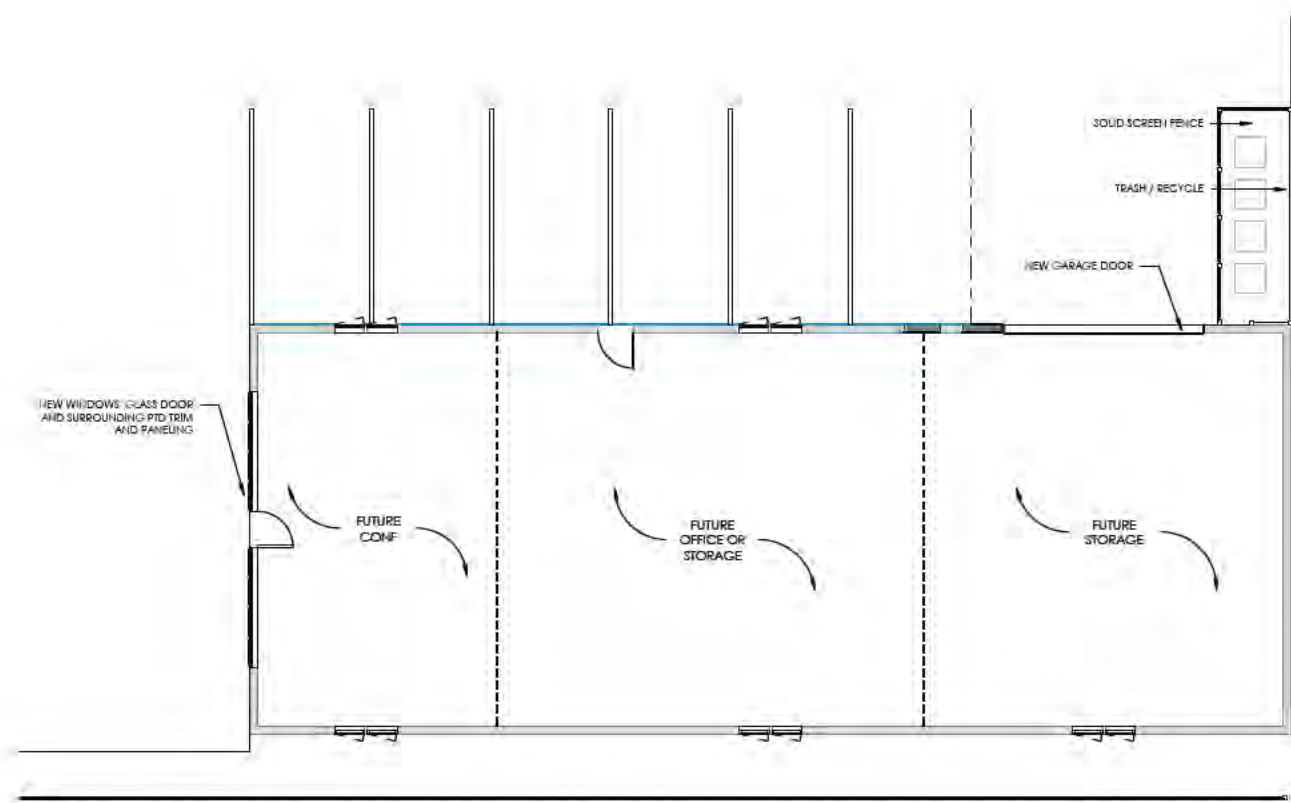
5 ACC BLDG ELEV 4
1/8" = 1'-0"



4 ACC BLDG ELEV 2
1/8" = 1'-0"

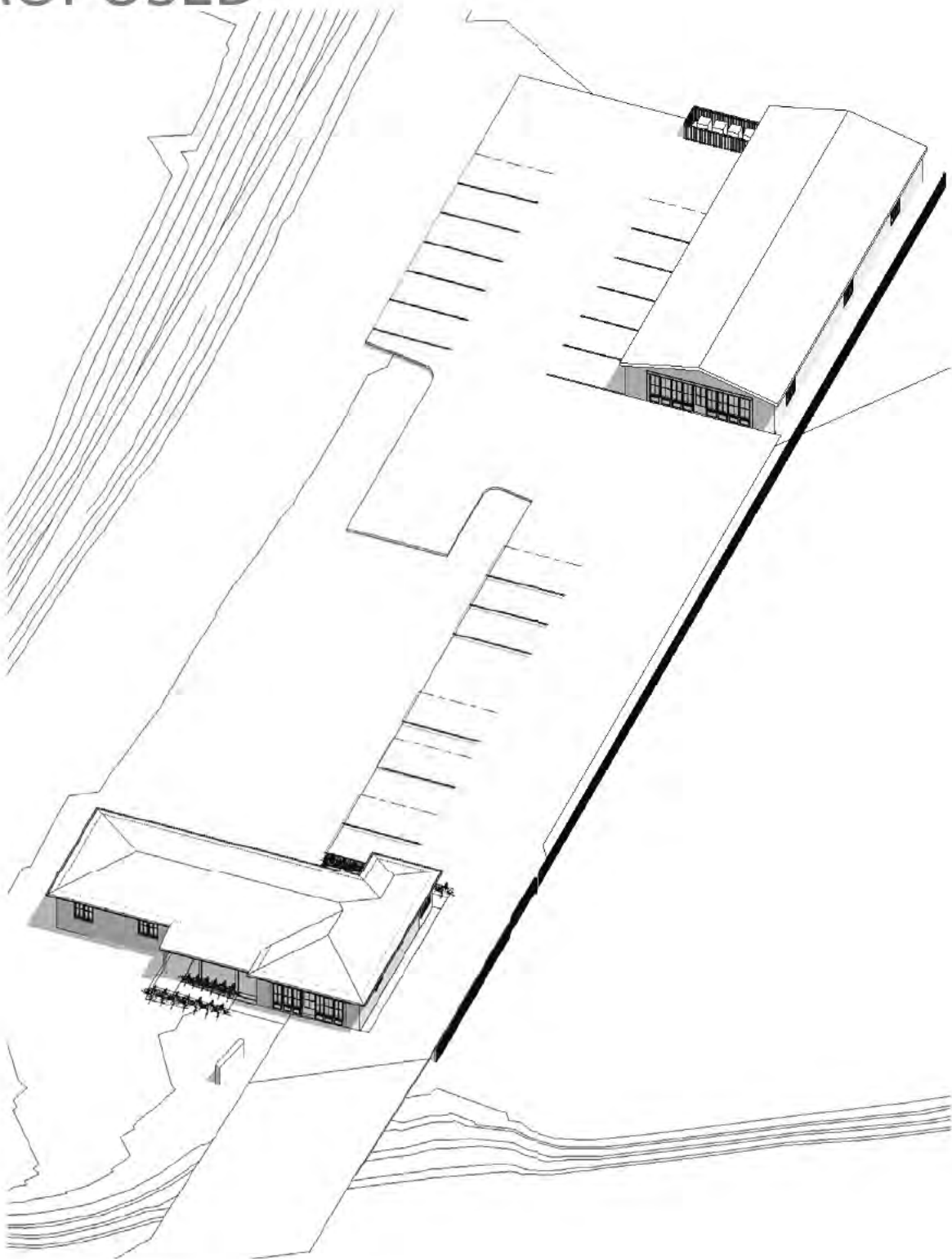


3 ACC BLDG ELEV 3
1/8" = 1'-0"



1 ACCESSORY BLDG PLAN
1/8" = 1'-0"

PROPOSED



② ROOF AXON




① PERSPECTIVE 1




④ PERSPECTIVE 2

SITE ILLUMINATION



In-grade luminaire
Ground surface illuminator

A series of LED in-grade luminaires to illuminate ground surfaces. Equipped with one, two or four light apertures to meet different lighting requirements. These luminaires are designed to bear pressure loads up to 8800 lbs. from vehicles with pneumatic tires. The luminaires must not be used for traffic lanes where they are subject to horizontal pressure from vehicles braking, accelerating and changing direction.
Die-cast aluminum - Clear safety glass - Reflector made of pure anodized aluminum
LED color temperatures: 2700K, 3000K, 3500K, 4000K
All BEGA standard finishes are matte, textured powder coat with minimum 2 mil thickness. BEGA Unidure® finish a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White, as well as optionally available RAL and custom colors, are a polyester powder.
NRTL listed to North American standards - Suitable for wet locations - Protection class IP 67



IN-GROUND SURFACE ILLUMINATOR
2" ABOVE GROUND

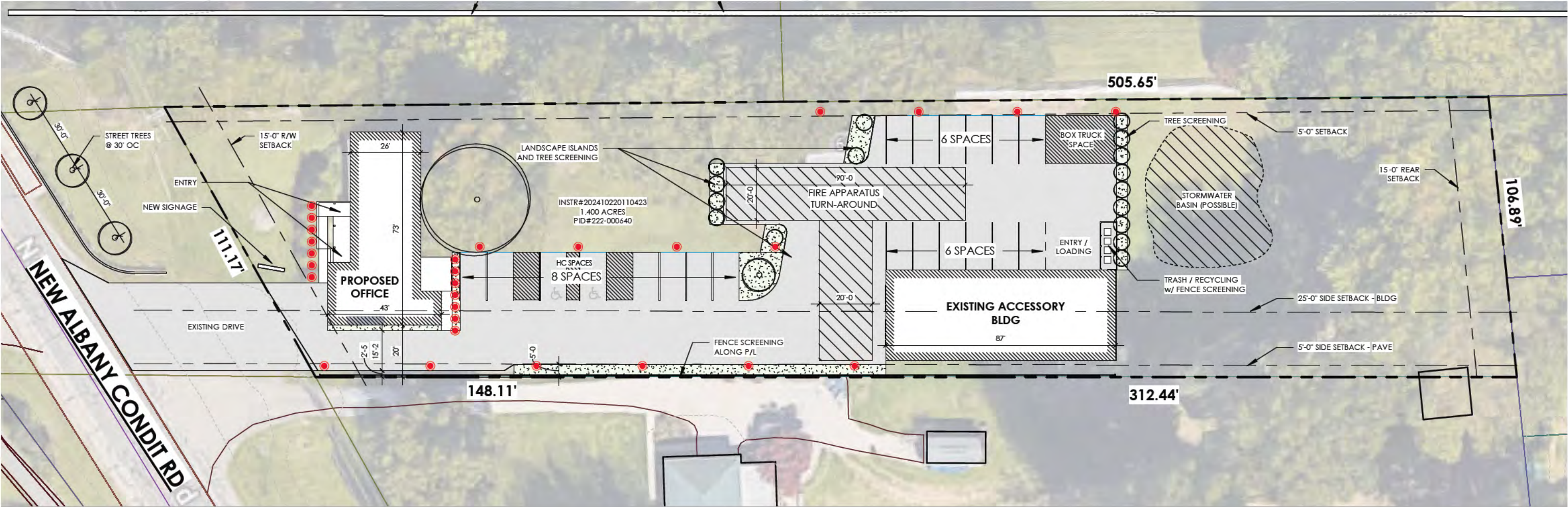


Bollard
Symmetric

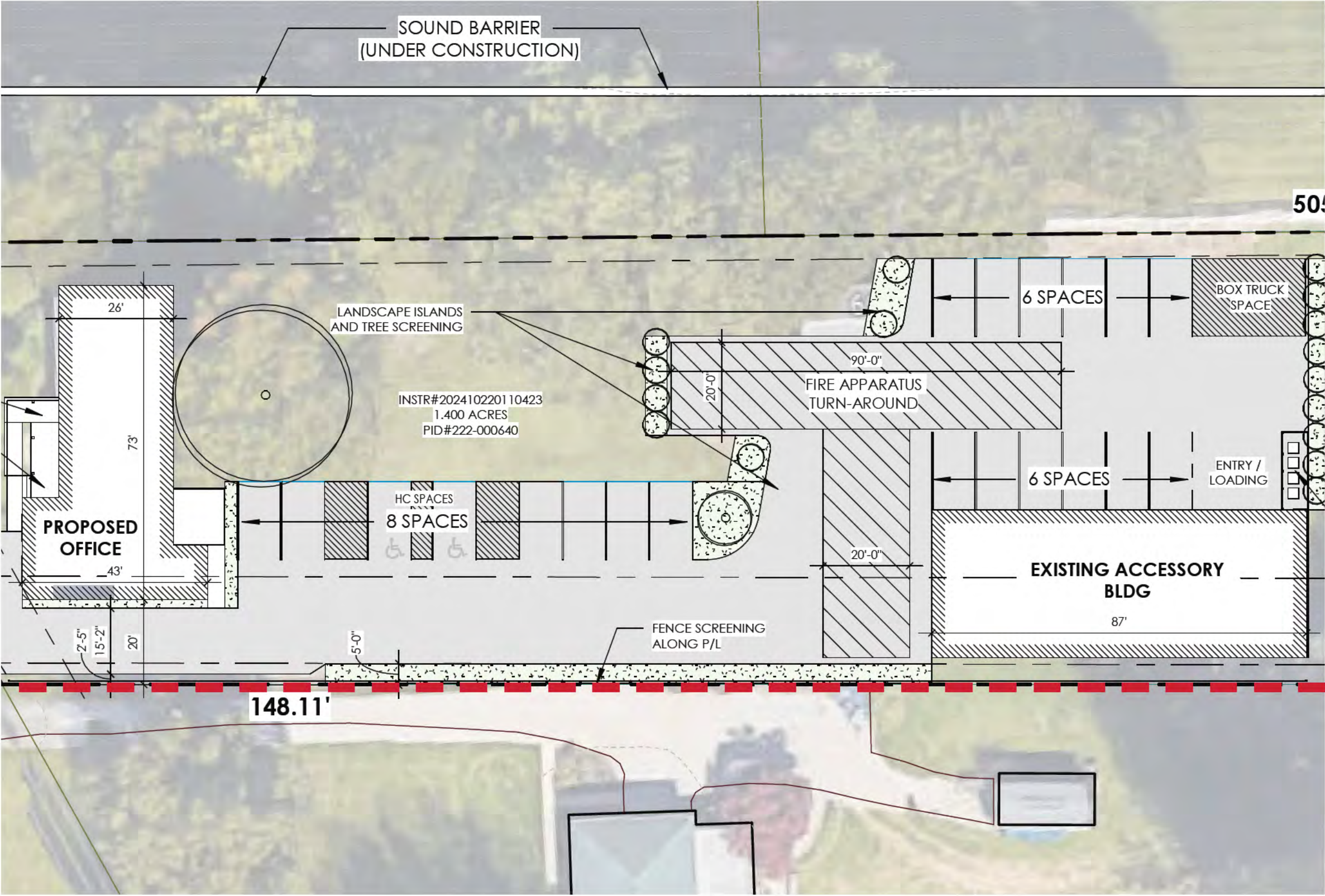
A series of LED bollard luminaires with unshielded 360° light distribution. Luminaires in this family are provided without safety guard and hand-blown three-ply opal glass for even illumination. Designed for use in the illumination of gardens and residential installations.
Die-cast and extruded aluminum - Three-ply opal glass diffuser
LED color temperatures: 2700K, 3000K, 3500K, 4000K
All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White, as well as optionally available RAL and custom colors, are a polyester powder.
NRTL listed to North American standards - Suitable for wet locations - Protection class IP 65



IN-GROUND BOLLARD
AVAILABLE IN 28" & 36" HEIGHT



SOLID SCREEN FENCING



WOOD SCREENING
(IMAGES ARE REPRESENTATIVE)



To: Planning Commission

From: City Staff

Re: FDM-93-2025 – The Courtyards at Haines Creek (Centralized Mailbox Units)

Date: November 24, 2025

Final Development Plan Modification

As the city code is silent on whether major or minor final development plan modifications require review and approval by the Planning Commission, any change must be reviewed and approved by the Planning Commission. The Planning Commission approved The Courtyards at Haines Creek clubhouse (FDM-21-2025) on April 21, 2025. The site is located northwest of the intersection of Central College Road and Jug Street and is approximately 1.47 acres.

The applicant is requesting a minor change to the clubhouse site. The change is to include centralized mailbox units (CBU) on the site to serve the residences of The Courtyards at Haines Creek. These centralized mailbox units have been used throughout other developments in New Albany, including but not limited to Nottingham Trace and The Courtyards at New Albany. The proposed mailbox units have been approved by the postmaster and can be found in the application materials. These specific CBUs can be seen at The Courtyards at New Albany, but on a smaller scale. There are no additional changes to the clubhouse site outside of this request. Staff do not have any concerns with the request as shown.

ACTION

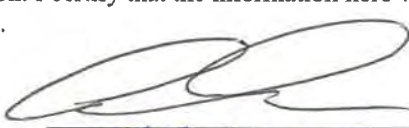
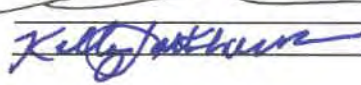
Should the Planning Commission find that the application has sufficient basis for approval, the following motion is appropriate. Move to approve application FDM-93-2025 based on the findings in the staff report (conditions of approval may be added).

Move to approve application FDM-93-2025 based on the findings in the staff report (conditions of approval may be added).





Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org	
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.	
Project Information	Site Address <u>9530 Wooster Drive, New Albany 43054</u> ; clubhouse address: <u>9470 Antioch Drive, New Albany 43054</u>	
	Parcel Numbers <u>222-005497</u>	
	Acres <u>1.478</u>	# of lots created <u>0-Reserve H</u>
Project Information	Choose Application Type	Description of Request:
	<input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification	<input type="checkbox"/> Extension Request <input type="checkbox"/> Variance <input type="checkbox"/> Vacation To allow CBU locaitons at clubhouse
Contacts	Applicant Information	Property Owner Information
	Name <u>EC New Vision Ohio, LLC</u>	Name <u>Epcon Haines Creek, LLC</u>
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.	
	Signature of Owner Signature of Applicant	  Date: <u>10/28/25</u> Date: <u>10/28/25</u>

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

Appeal		250.00	
Certificate of Appropriateness			
ARB – single and two family residential		100.00	
ARB – All other residential or commercial		300.00	
ARB - Signage		75.00	
Conditional Use		600.00	
Development Plan – Preliminary PUD or Comprehensive			
Planning fee	First 10 acres	750.00	
	Each additional 5 acres or part thereof	50.00 / each	
Engineering fee	1-25 lots	155.00 / each	
	Minimum fee	1000.00	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Final PUD			
Planning fee	First 10 acres	650.00	
	Each additional 5 acres or part thereof	50.00	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Non-PUD		300.00	
Development Plan / Text Amendment		600.00	600.00
Plat – Road Preliminary			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Road Final			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Subdivision Preliminary			
Planning		650.00	
	Plus each lot	50.00 / each	
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 / each	
Engineering fee	26 – 50 lots	3875.00	
	Each lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each lot over 51	50.00 / each	

Plat – Subdivision Final			
Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots		
	(minimum fee \$1,000.00)	155.00 /each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____
Lot Changes		200.00	_____
Minor Commercial Subdivision		200.00	_____
Vacation (Street or Easement)		1200.00	_____
Variance			
	Non-single family, commercial, subdivision, multiple properties	600.00	_____
	Single Family residence	250.00	_____
	In conjunction with Certification of Appropriateness	100.00	_____
Extension Request		0.00	_____
Zoning			
	Rezoning - First 10 acres	700.00	_____
	Each additional 5 acres or part thereof	50.00 / each	_____
	Rezoning to Rocky Fork Blacklick Accord	250.00	_____
	Text Modification	600.00	_____
Easement Encroachment		800.00	_____

APPLICANT:

EC New Vision Ohio, LLC

[REDACTED]
[REDACTED]

PROPERTY OWNER:

[REDACTED]
[REDACTED]
[REDACTED]

**SURROUNDING
PROPERTY OWNERS:**

[REDACTED]
[REDACTED]
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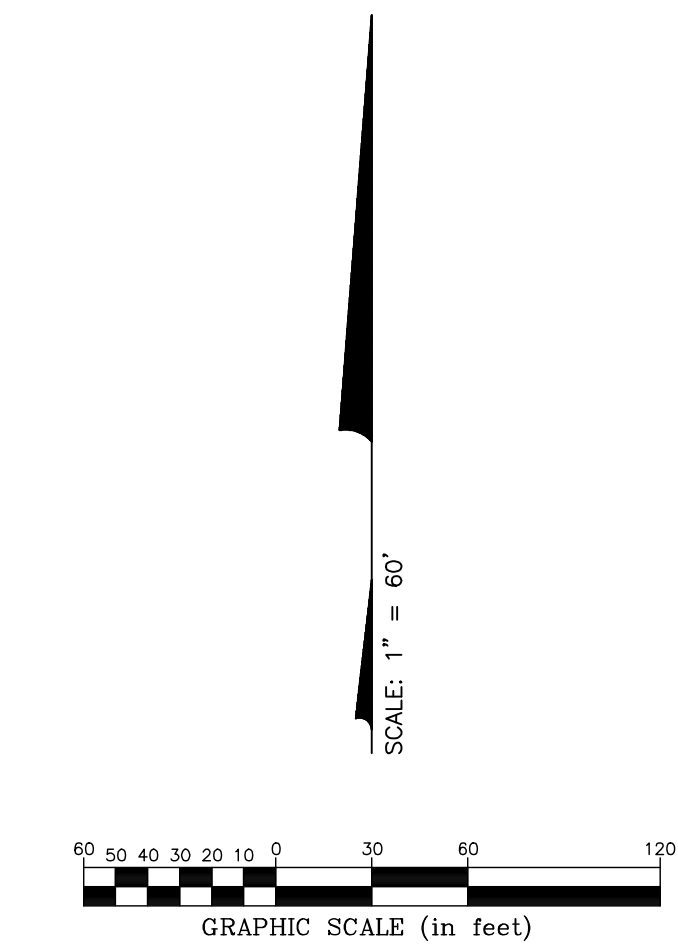
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[REDACTED]
[REDACTED]
[REDACTED]

- (A) CITY OF NEW ALBANY
I.N. 202206240094052
- (B) RICHARD EUGENE ULERY
DEBBIE LEE ULERY
O.R. 27800C14
- (C) MICHAEL HAIRSTON
I.N. 202208290123903
- (D) TASE HOMES LLC
I.N. 202407160070736
- (E) TASE HOMES LLC
I.N. 202406030053841
- (F) PAUL K. STAMM
CHRISTINE BURIK STAMM
I.N. 200309120291097

- Line Type Legend
- Existing Property Line
 - Existing R/W Line
 - Existing R/W Centerline
 - Existing Easement Line
 - Subdivision Boundary Line
 - Lot Line
 - R/W Line
 - R/W Centerline
 - Easement Line
 - Stream Preservation Zone Line
 - Tree Preservation Zone Line

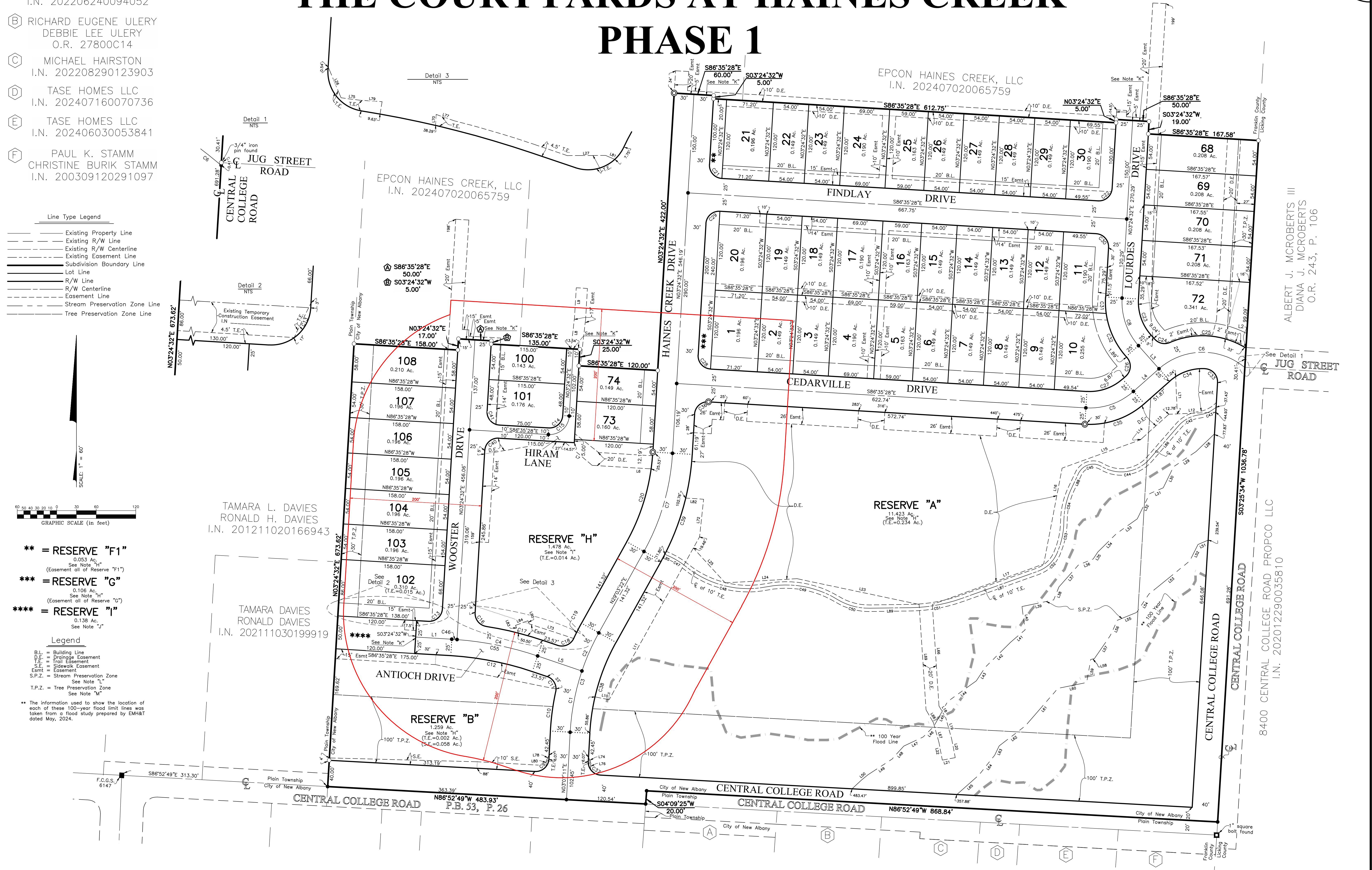


- ** = RESERVE "F1"
0.053 Ac.
See Note "H"
(Easement all of Reserve "F1")
- *** = RESERVE "G"
0.106 Ac.
See Note "H"
(Easement all of Reserve "G")
- **** = RESERVE "I"
0.138 Ac.
See Note "J"

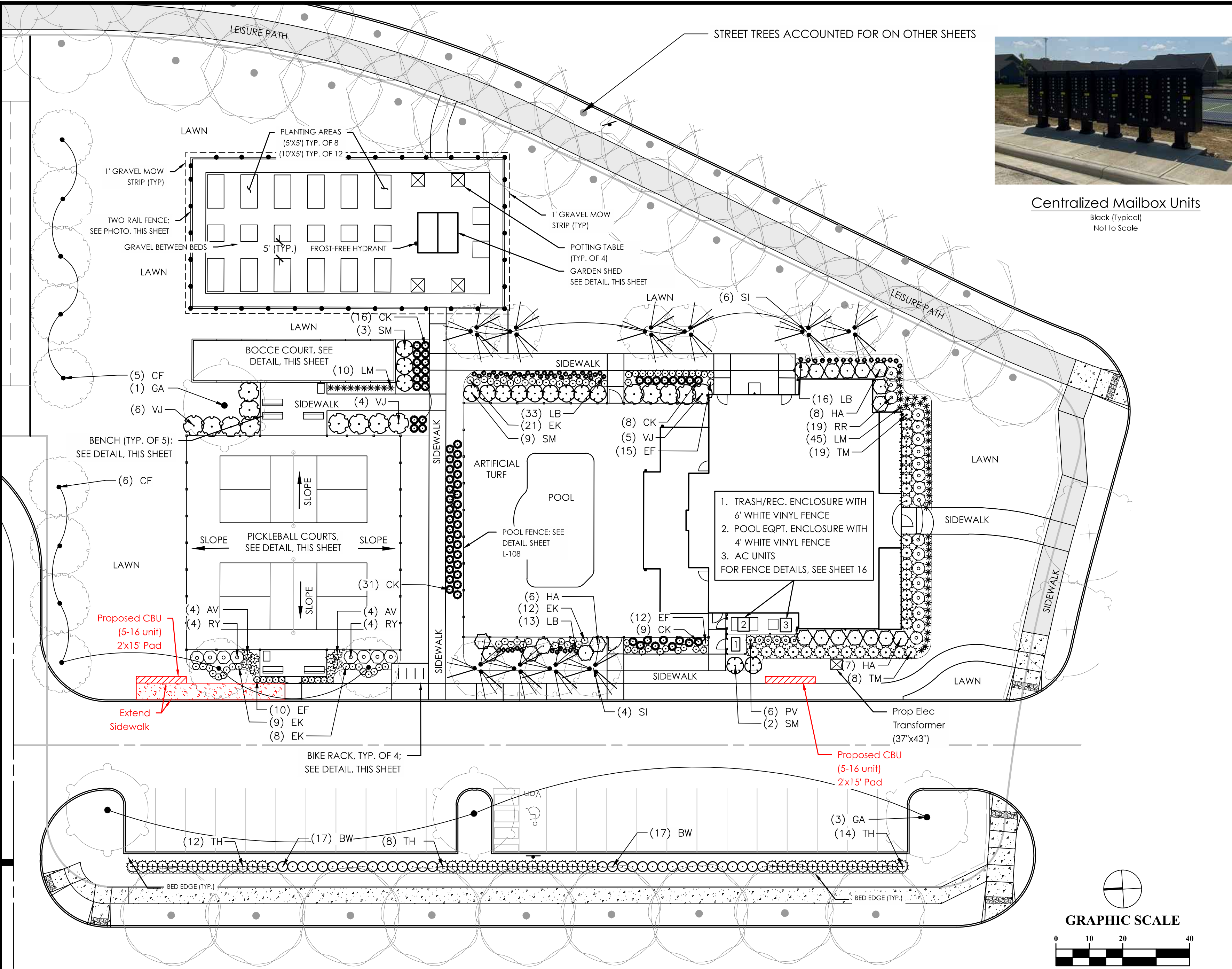
- Legend
- B.L. = Building Line
 - D.E. = Drainage Easement
 - S.E. = Sidewalk Easement
 - Esmt. = Easement
 - S.P.Z. = Stream Preservation Zone
 - T.P.Z. = Tree Preservation Zone
- ** The information used to show the location of each of these 100-year flood limit lines was taken from a flood study prepared by EMH&T dated May, 2024.

THE COURTYARDS AT HAINES CREEK

PHASE 1



J:\20230575\Draw\04Sheets\Final Development - Plan\EDP-11_Amenity Area.dwg, Last Saved By: sbosley, 10/27/2025 2:58 PM, Last Printed By: Bosley, Ethan, 10/27/2025 2:58 PM
1 Notes: 20171086 - IS-REF-B 20171086 - TBK 20171086 - VS-1080-F

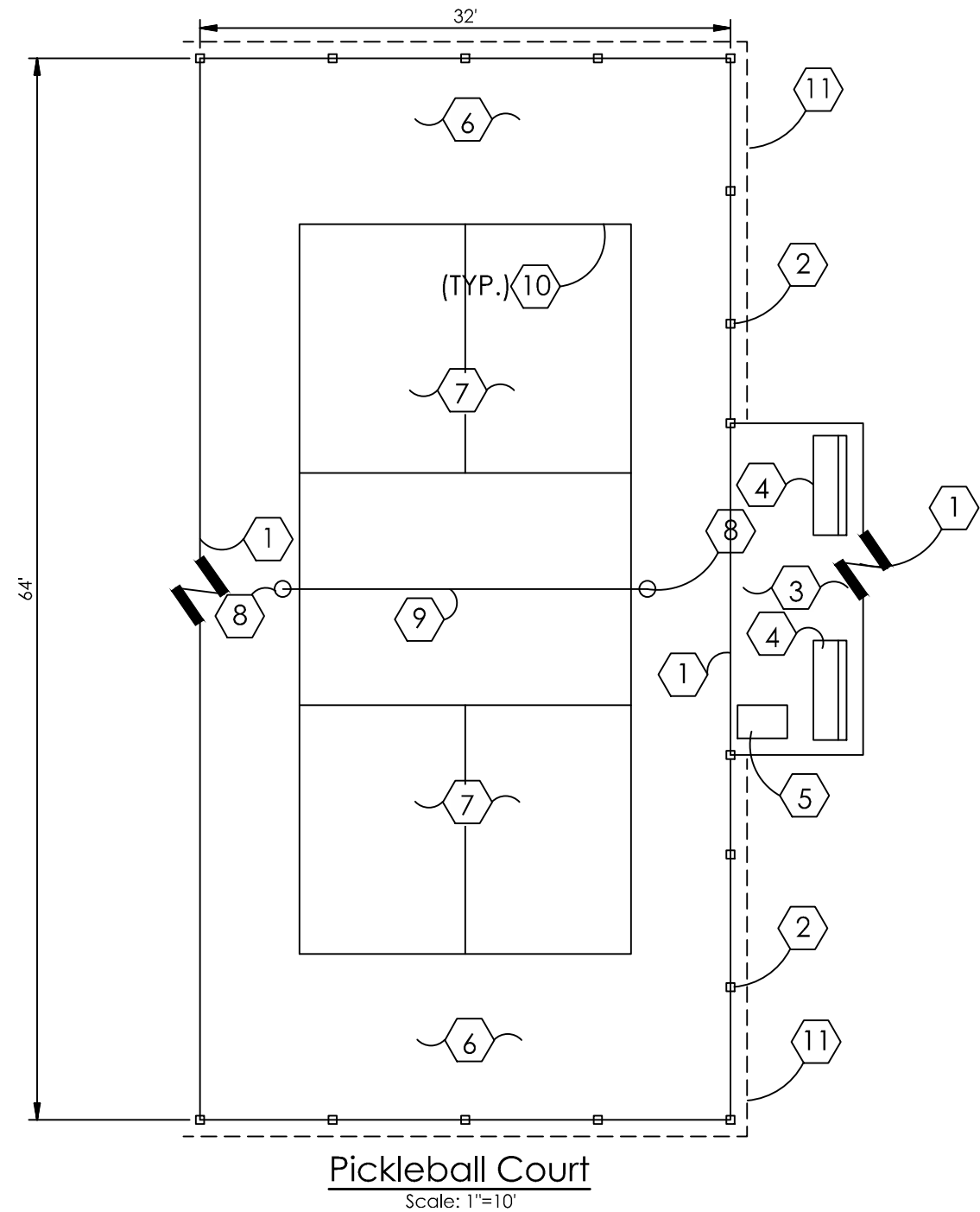


Centralized Mailbox Units

Black (Typical)
Not to Scale

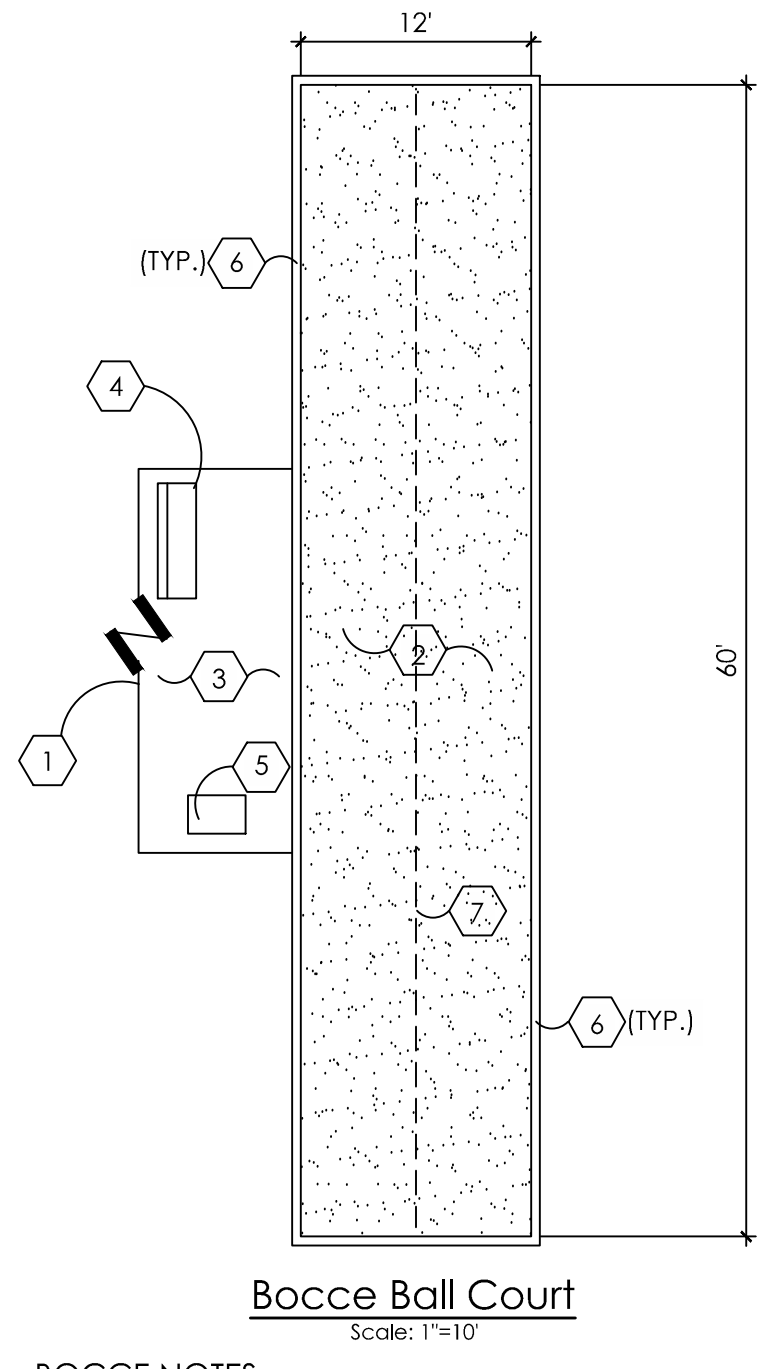
PLANT SCHEDULE AMENITY AREA

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
TREES						
	CF	11	Carpinus b. 'Fastigiata'	Columnar Hornbeam	2.5" Cal.	B&B
	GA	4	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	2.5" Cal.	B&B
	SI	10	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5" Cal.	B&B
SHRUBS						
	BW	34	Buxus microphylla japonica 'Winter Gem'	Winter Gem Japanese Boxwood	24"	Cont.
	HA	21	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	36" Ht.	B&B
	RY	8	Rosa x 'Radsunny'	Yellow Knock Out Rose	#3	Cont.
	RR	19	Rosa x 'Radtko'	Red Double Knock Out Rose	#3	Cont.
	SM	14	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24" Ht.	B&B or Cont.
	TH	44	Taxus x media 'Hicksii'	Hicks Yew	24" Ht.	Cont.
	TM	32	Taxus x media 'Everlow'	Everlow Anglo-Japanese Yew	18" Ht.	B&B
	VJ	15	Viburnum x juddii	Judd Viburnum	36" Ht.	B&B
PERENNIALS/ORN. GRASSES						
	AV	8	Astilbe chinensis 'Vision in Pink'	Vision in Pink Chinese Astilbe	#1	Cont.
	CK	64	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2	Cont.
	EF	37	Echinacea purpurea 'Fragrant Angel'	Fragrant Angel Coneflower	#1	Cont.
	EK	50	Echinacea purpurea 'Kim's Knee High'	Kim's Knee High Coneflower	#1	Cont.
	LB	62	Liriope muscari 'Big Blue'	Big Blue Lilyturf	#1	Cont.
	LM	55	Liriope muscari 'Silvery Sunproof'	Silvery Sunproof Lilyturf	#1	Cont.
	PV	6	Panicum virgatum 'Northwind'	Northwind Switch Grass	#1	Cont.



PICKLEBALL NOTES

- PAVEMENTS TO MEET FLUSH.
- 48" HGT. BLACK VINYL COATED CHAIN LINK FENCE, OR OWNER APPROVED EQUAL. 3" TERMINALS AND 2.5" LINE POSTS TO BE SET IN CONCRETE FOOTING WITH 1 3/8" TOP AND BOTTOM RAILS.
- SEATING AREA, FINISH MATERIALS AND COLOR BY OWNER
- 6 FT. OUTDOOR PARK BENCH WITH BACK - STEEL SLAT - BLACK, BY GLOBAL INDUSTRIAL, OR OWNER APPROVED EQUAL. WWW.GLOBALINDUSTRIAL.COM, SEE DETAIL, THIS SHEET
- OUTDOOR STORAGE BOX, BY OWNER. ONE (1) BOX PER TWO COURTS.
- ASPHALT COURT PLAYING SURFACE IN GREEN COATING
- ASPHALT COURT PLAYING SURFACE IN BLUE COATING
- NET POST IN SLEEVE, INSTALL STEEL GROUND SLEEVES IN CONCRETE FOOTING FOR 3" INTERNAL WIND NET POST. AVAILABLE THROUGH TOTAL TENNIS, INC., OR OWNER APPROVED EQUAL. WWW.TOTALTENNISINC.COM
- TI1 CHAMPIONSHIP PICKLEBALL NET, OR OWNER APPROVED EQUAL, AVAILABLE THROUGH TOTAL TENNIS, INC. WWW.TOTALTENNISINC.COM
- WHITE TEXTURED LINE PAINT, USE NOVATEX TEXTURED LINE PAINT OR OWNER APPROVED EQUAL
- 6" RIVER WASH ROCK OUTSIDE OF FENCE

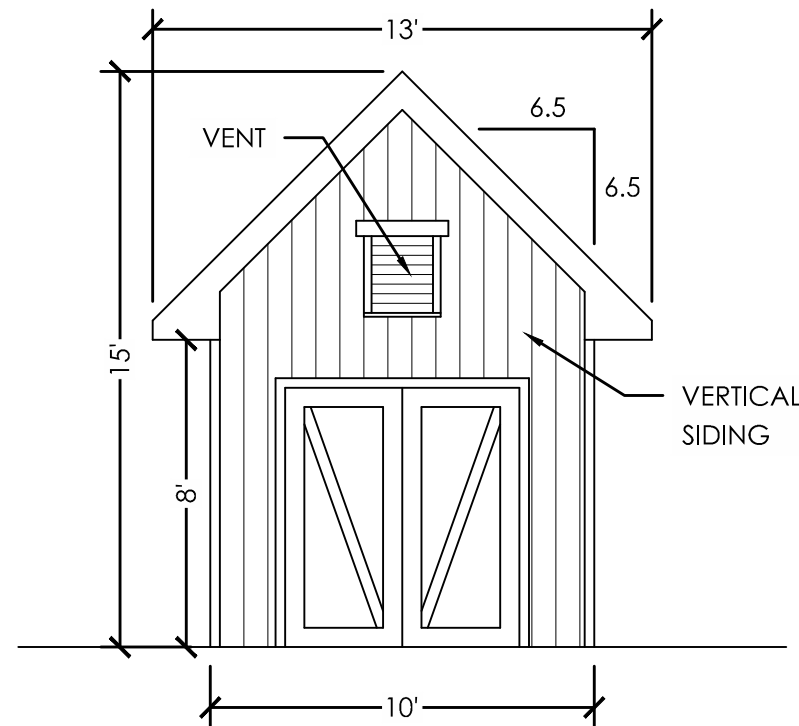


BOCCIE NOTES

- PAVEMENTS TO MEET FLUSH.
- BRASSFIELD FINES BOCCIE COURT.
- SEATING AREA, FINISH MATERIALS AND COLOR BY OWNER.
- 6 FT. OUTDOOR PARK BENCH WITH BACK - STEEL SLAT - BLACK, BY GLOBAL INDUSTRIAL, OR OWNER APPROVED EQUAL. WWW.GLOBALINDUSTRIAL.COM, SEE DETAIL, THIS SHEET
- OUTDOOR STORAGE BOX, BY OWNER
- BOCCIE COURT EDGING,
- 6" DUAL PERFORATED DRAINAGE PIPE, SLOPE AT MIN. .75%, TIE INTO LOCAL DRAINAGE STRUCTURE.

Notes:

- All dimensions as shown hereon are approximate and will be confirmed with Final Engineering.



Garden Shed Detail

Scale: 1"=3'

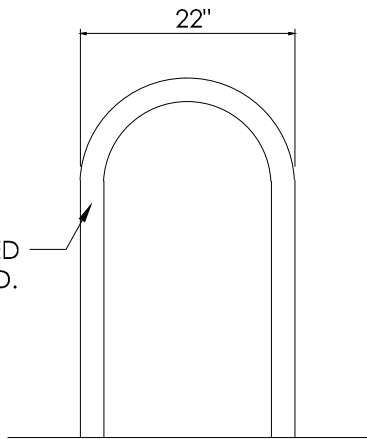


Fence, Potting Table, And Garden Shed



MANUFACTURER: GLOBAL INDUSTRIAL
ITEM #: WG694854BK
6' Metal Bench with Back
Or Owner Approved Equal
Not to Scale

U SHAPE FORMED FROM 2-3/8" O.D. SCHEDULE 40 STEEL PIPE



Bike Rack Detail (Black)

Not to Scale
Bike rack location to be approved by the City

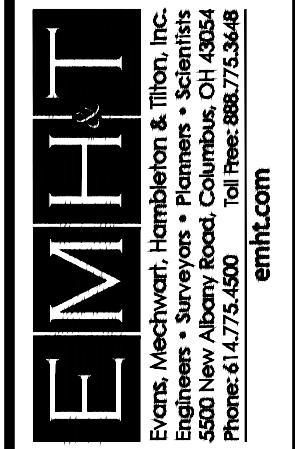


MANUFACTURER: GLOBAL INDUSTRIAL
ITEM #: TP2621138KKD
6' Metal Backless Bench
Or Owner Approved Equal
Not to Scale

REVISIONS			
DATE	DESCRIPTION	REVISIONS	BY
2/7/24	REVISED PER STAFF COMMENTS		
2/27/25	REVISED CH FOOTPRINT/ARCH		
10/27/25	CH CBU MODIFICATION		



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
THE COURTYARDS AT HAINES CREEK
AMENITY AREA ENLARGEMENT



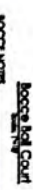
DATE	February 7, 2024
SCALE	AS NOTED
JOB NO.	20230578
SHEET	14/23



OH 43054

OCT 22 2025

USPS



- ① Medicated to treat skin.
 - ② Stimulated the blood count.
 - ③ Severe skin, hair, nail and oral cavity problems.
 - ④ It is caused by an infection of the immune system, but it is not contagious.
 - ⑤ Skin, nail, hair, oral cavity, and other affected areas.
 - ⑥ www.hidradenoma.com, 800.664.1188
 - ⑦ Ocular physical exam, CT scans
 - ⑧ Ocular blood vessels.
 - ⑨ Fungal infections stimulate the body's immune system.
 - ⑩ In medical, bacterial infections.
- Notes:**
- As dermatitis is shown, hives are spontaneous and will be confirmed with biopsy.



**Planning Commission Staff Report
December 01, 2025 Meeting**

**U.S. 62 BUSINESS ZONING DISTRICT
ZONING AMENDMENT**

LOCATION: Generally located east of Johnstown Road and north of Walnut St (PIDs: 220-000463, 222-002160, 222-002159, 220-002130, 220-001121, 220-000908, and 222-000068).
REQUEST: Zoning Amendment
ZONING: Agricultural (AG) to Limited General Employment District (L-GE)
STRATEGIC PLAN: Metro Park Zone
APPLICATION: ZC-94-2025
APPLICANT: MBJ Holdings LLC, c/o Aaron Underhill, Esq.

Review based on: Application materials received October 31, 2025.

Staff report completed by Kylie Blackburn, Planner I

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation to rezone approximately 101.1+/- acres. The request proposes to create a new limitation text for the area known as the “U.S. 62 Business Zoning District” and will be zoned Limited General Employment (L-GE). The proposed rezoning serves as an expansion of the New Albany International Business Park.

The proposed zoning is a limitation text. A limitation text can only establish more restrictive requirements than the zoning code. The Limited General Employment District permits office, data center, manufacturing & production, warehouse & distribution, and research & production uses. The text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts that are also zoned Limited General Employment (L-GE) in the immediate area.

II. SITE DESCRIPTION & USE

The overall 101.1+/- acre site consists of 7 properties, located within Licking County. The site is generally located east of Johnstown Road and north of Walnut Street in Franklin County. The subject parcels are currently being annexed into the city. The annexation is scheduled for its first reading at city council on December 16, 2025, and its second reading is scheduled for January 06, 2026. This case is also scheduled to be heard on December 01, 2025, by the Rocky Fork-Blacklick Accord Panel for a recommendation of approval.

The site is comprised of farm fields and residential homes. The neighboring uses and zoning districts include L-GE and unincorporated agricultural and residential.

III. PLAN REVIEW

Planning Commission’s review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.09. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to City Council. Staff’s review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

A. New Albany Strategic Plan

The Engage New Albany strategic plan designates the area as the Metro Park Zone future land use category. However, given the proposed rezoning, staff has evaluated this proposal against the Employment Center standards. The strategic plan lists the following development standards for the Employment Center land use category:

- 1. No freeway / pole signs are allowed.
- 2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
- 3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
- 4. Sites with multiple buildings should be well organized and clustered if possible.
- 5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
- 6. All office developments should plan for regional stormwater management.
- 7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
- 8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
- 9. Combined curb cuts and cross-access easements are encouraged.
- 10. The use of materials, colors, and texture to break up large-scale facades is required.

B. Use, Site and Layout

- 1. The request proposes to create a new limitation text for the area known as the “U.S. 62 Business Zoning District” and will be zoned Limited General Employment (L-GE). The proposed zoning text is a limitation text. A limitation text can only establish more restrictive requirements than the zoning code.
- 2. The text contains the same list of permitted, conditional, and prohibited uses as other similar zoning districts that are also zoned Limited General Employment (L-GE), which includes the Business and Commerce L-GE Zoning District.
- 3. The limitation text will allow for manufacturing & production, general office activities, warehouse & distribution, data centers, and research & production uses. Personal service and retail product sales and services are only allowed as accessory uses to a permitted use in this subarea.
- 4. Prohibited uses include industrial product sales and services, mini-warehouses, vehicle services, radio/television broadcast facilities, off-premise signs and sexually oriented business.
- 5. The proposed uses are consistent with the zoning in the surrounding area. Due to the proximity of this site to U.S Route 62 and Beech Road, and its location adjacent to commercially zoned land in the existing New Albany International Business Park to the east, the site appears to be most appropriate for commercial development.
- 6. The proposed L-GE text requires the following setbacks that are generally consistent with those in the surrounding area.
 - U.S. Route 62: minimum pavement and building setback of 185 feet from the centerline of U.S. Route 62.
 - Eastern Perimeter Boundaries: minimum pavement and building setback of 25 feet from the eastern perimeter boundary line.

- Southern Perimeter Boundaries: minimum pavement and building setback of 100 feet from the southern perimeter boundary line of this Zoning District.

C. Access, Loading, Parking

1. The text states the developer shall work with the City Manager, or their designee, to determine the need for appropriate timing and phasing of street improvements to serve this zoning district. Subject to other provisions in this text, on public rights-of-way which exist on the date of this text the number, locations, and spacing of curb cuts shall be determined and approved by the City Manager, or their designee, in consultation with the developer at the time that a certificate of appropriateness is issued for a project in this Zoning District.
2. Parking and loading will be provided per code requirements (Chapter 1167) and will be evaluated at the time of development for each individual site.
3. The zoning text states that there shall be dedicated right-of-way for U.S. Route 62 to the appropriate governmental entity at a distance of 60 feet as measured from the existing centerline of U.S. Route 62. The property owner shall grant easements to the city which are adjacent to the aforementioned right-of-way to the extent necessary to provide for the installation and maintenance of streetscape improvements, public utility lines, and leisure paths.

D. Architectural Standards

1. The proposed rezoning implements many of the same standards and limitations set forth in the New Albany Architectural Design Guidelines and Requirements and neighboring commercial zoning districts.
2. The same architectural requirements as the existing Business and Commerce L-GE Zoning District are proposed such as building materials and design.
3. There are no maximum building height requirements in the zoning text.
4. The New Albany Design Guidelines and Requirements do not provide architectural standards for warehouse and distribution type facilities. Due to the inherent size and nature of these facilities, careful attention must be paid to their design to ensure they are appropriately integrated into the rest of the business park. The limitation text includes the same specific design requirements for uses not governed by the DGRs as those in the other subareas of the business park, which ensures the quality and consistent design of these buildings throughout this portion of the business park.
5. Zoning text section IV(D)(6) requires complete screening of all roof-mounted equipment on all four sides of the building using materials that are consistent and harmonious with the building's façade and character. The text indicates that the screening is provided with screen equipment from off-site view but also to buffer sound generated by the equipment.

E. Parkland, Buffering, Landscaping, Open Space, Screening

1. Maximum lot coverage for this subarea is 75%, which is the same requirement as the surrounding L-GE zoning districts.
2. Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.
3. For those perimeter boundaries which abut residentially zoned and used properties (if two contiguous properties have an intervening public street right-of-way between them, they shall still be considered to be abutting) that are not owned by the developer, then the required landscaping and/or mounding (or some combination thereof) within minimum required pavement setback areas shall be enhanced to provide an opacity of 75% on the date that is five (5) years after planting to a total height of 10 feet above ground level when viewed from off-site.
4. There shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or treed areas). Parking lots shall be designed to accommodate parking lot islands with trees at the end of parking aisles.

5. An 8-foot-wide asphalt leisure trail is required to be installed along the U.S. Route 62 frontage of the site.

F. Lighting & Signage

1. No signage is proposed at this time. Per the text all signage shall meet the standards set forth in Codified Ordinance 1169 (City Sign Code).
2. All lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.
3. The maximum height of light poles is 30 feet.
4. The zoning text requires lighting details to be included in the landscape plan which is subject to review and approval by the City Landscape Architect.

G. Other Considerations

1. The property owner has submitted a school impact statement which states the proposed L-GE zoning will result in fewer children in the New Albany Plain Local School District and add significant value to the land, resulting in a substantial financial benefit to the school district.

IV. ENGINEER'S COMMENTS

The city Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided the following comments. Staff recommends a condition of approval that the city engineer's comments be addressed at the time of engineering permits, subject to staff approval.

1. The internal roadway network be constructed to public street standards.
2. A Traffic Impact Study be prepared to help determine what traffic signal modifications or capacity improvements may be required in the vicinity.
3. A tree survey be performed, and staff approve all trees proposed for removal.
4. A flood plain study for the blue-line stream be provided for review and approval.
5. The developer provides documentation showing that all existing private well and septic systems have been abandoned in accordance with all applicable environmental regulations.
6. Engineering agrees with the recommendation in the text to provide a 60' r/w dedication along the frontage as measured from the road centerline.
7. Work with the Rocky Fork-Blacklick Accord to establish a rural buffer along the frontage.

IV. SUMMARY

The limitation text provides for stricter limitations in use and design than the straight General Employment zoning districts and retains or improves upon many of the requirements found in adjacent existing zoning texts. Due to the proximity of this site to State Route 62 and Beech Road, and its location adjacent to commercially zoned land in the existing New Albany Business Park to the east, the site appears to be most appropriate for commercial development.

The change in use for the area enables the continued growth and success of the New Albany International Business Park and ensures a consistent development pattern throughout this general area, as envisioned in the Engage New Albany Strategic Plan. The zoning text takes into account the nearby residential properties and includes various landscape restrictions to remain sensitive to those existing uses.

1. The large scale of the rezoning will result in a more comprehensive planned redevelopment of the area and will ensure compatibility between uses (1111.06(a)).
2. The L-GE rezoning application is an appropriate application for the request (1111.06(e)).
3. The overall effect of the development advances and benefits the general welfare of the community (1111.06(f)).
4. The proposed rezoning will allow for the development of businesses that will generate revenue for the school district while eliminating residential units having a positive impact on the school district (1111.06(h)).

V. ACTION

Suggested Motions for ZC-94-2025:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added):

Move to approve application ZC-94-2025 based on the findings in the staff report with the following condition:

1. That the city engineer's comments be addressed at the time of engineering permits, subject to staff approval.

Approximate Site Location:



401.60-153
November 21, 2025

To: Kylie Blackburn
City Planner

From: Matt Ferris, P.E., P.S., Consulting City Engineer
By: Jay M. Herskowitz, P.E., BCEE

Re: US 62 Business Zoning
District - Rezoning

Our review comments are as follows:

- 1) We recommend that the internal roadway network be constructed to public street standards.
- 2) We recommend that a Traffic Impact Study be prepared to help determine what traffic signal modifications or capacity improvements may be required in the vicinity.
- 3) We recommend that a tree survey be performed and staff approve all trees proposed for removal.
- 4) We recommend that a flood plain study for the blue-line stream be provided for review and approval.
- 5) We recommend that the developer provide documentation showing that all existing private well and septic systems have been abandoned in accordance with all applicable environmental regulations.
- 6) We agree with the recommendation in the text to provide a 60' r/w dedication along the frontage as measured from the road centerline.
- 7) Work with the Rocky Fork Blacklick accord to establish a rural buffer along the frontage.

MEF/JMH

CC: Josh Albright, Development Engineer



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org																										
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.																										
Project Information	Site Address <u>0, 11428, 111510, 11530, and 11640 Johnstown Road</u>																										
	Parcel Numbers <u>220-000463, 222-002160, 222-002159, 220-002130, 220-001121, 220-000908, and 220-000068</u>																										
Project Information	Acres <u>101.1+/-</u> # of lots created <u>N/A</u>																										
	<table border="1"><thead><tr><th>Choose Application Type</th><th>Description of Request:</th></tr></thead><tbody><tr><td><input type="checkbox"/> Appeal</td><td>Rezoning from AG, Agricultural District</td></tr><tr><td><input type="checkbox"/> Certificate of Appropriateness</td><td>to L-GE, Limited General Employment</td></tr><tr><td><input type="checkbox"/> Conditional Use</td><td>District</td></tr><tr><td><input type="checkbox"/> Development Plan</td><td></td></tr><tr><td><input type="checkbox"/> Plat</td><td></td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td></tr><tr><td><input checked="" type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr><tr><td><input type="checkbox"/> Zoning Text Modification</td><td></td></tr><tr><td><input type="checkbox"/> Extension Request</td><td></td></tr><tr><td><input type="checkbox"/> Variance</td><td></td></tr><tr><td><input type="checkbox"/> Vacation</td><td></td></tr></tbody></table>	Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	Rezoning from AG, Agricultural District	<input type="checkbox"/> Certificate of Appropriateness	to L-GE, Limited General Employment	<input type="checkbox"/> Conditional Use	District	<input type="checkbox"/> Development Plan		<input type="checkbox"/> Plat		<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input checked="" type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification		<input type="checkbox"/> Extension Request		<input type="checkbox"/> Variance		<input type="checkbox"/> Vacation	
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City, State, Zip																											
Phone Number																											
Email																											
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																										
	<table><tr><td>Signature of Owner</td><td><u>By: [Signature]</u></td><td>Date: <u>10/31/25</u></td></tr><tr><td>Signature of Applicant</td><td><u>By: [Signature]</u> <u>Aaron Underhill, attorney</u></td><td>Date: <u>10/31/25</u></td></tr></table>		Signature of Owner	<u>By: [Signature]</u>	Date: <u>10/31/25</u>	Signature of Applicant	<u>By: [Signature]</u> <u>Aaron Underhill, attorney</u>	Date: <u>10/31/25</u>																			
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Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

U.S. 62 BUSINESS ZONING DISTRICT

LIMITATION (L-GE) TEXT

October 31, 2025

The U.S. 62 Business Zoning District (hereinafter, the “Zoning District”) consists of 101.1+/- acres located to the south and east of and adjacent to U.S. Route 62 and to the west of and adjacent to the shared boundary line of Franklin County and Licking County. This rezoning serves to extend the same or similar zoning and development standards to property being annexed to the City as currently apply to much of the New Albany International Business Park.

I. Zoning Designation: L-GE, Limited General Employment District

II. Permitted Uses: The permitted and conditional uses contained and described in the Codified Ordinances of the City of New Albany, GE, General Employment District, Sections 1153.02 and 1153.03, provided that conditional uses are approved in accordance with Chapter 1115, Conditional Uses. The following uses from these code sections shall be prohibited:

- A. Industrial product sales (See Section 1153.03(a)(1));
- B. Industrial service (See Section 1153.03(a)(2));
- C. Mini-warehouses (See Section 1153.03(a)(4)(c)). For purposes of clarification, this prohibition only applies to such facilities that are made available for rental to the general public;
- D. Personal service (See Section 1153.03(b)(2)) and retail product sales and service (See Section 1153.03(b)(3)), except that such uses shall be allowed as accessory uses to a permitted use in this Zoning District;
- E. Vehicle services (See Section 1153.03(b)(4));
- F. Radio/television broadcast facilities (See Section 1153.03(c)(1));
- G. Sexually-oriented businesses (See Section 1153.03(c)(3)); and
- H. Off-premises signs (See Section 1153.03(c)(2)).

III. Lot and Setback Commitments:

A. Lot Coverage: There shall be a maximum lot coverage in this Zoning District of 75%.

B. Setbacks:

1. U.S. Route 62: There shall be a minimum pavement and building setback of 185 feet from the centerline of the right-of-way of U.S. Route 62.

2. Eastern Perimeter Boundary: There shall be a minimum pavement

and building setback of 25 feet from the eastern perimeter boundary line of this Zoning District.

3. Southern Perimeter Boundary: There shall be a minimum pavement and building setback of 100 feet from the southern perimeter boundary line of this Zoning District.

4. Elimination of Setbacks: In the event that a parcel located within this Zoning District and an adjacent parcel located within or outside of this Zoning District (i) come under common ownership or control, (ii) are zoned to allow compatible non-residential uses, and (iii) are combined into a single parcel, then any minimum building, pavement, or landscaping setbacks set forth in this text as they apply to common property lines shall no longer apply with respect to these parcels. Section 1153.04(g) of the Codified Ordinances also shall apply to this Zoning District.

IV. Architectural Standards:

A. Service and Loading Areas: Service areas and loading areas shall be screened in accordance with the Codified Ordinances.

B. Building Design:

1. Building designs shall not mix architectural elements or ornamentation from different styles.

2. Buildings shall be required to employ a comparable use of materials on all elevations.

3. The number, location, spacing, and shapes of windows and door openings shall be carefully considered. Primary entrances to buildings shall be made sufficiently prominent that they can be easily identified from a distance.

4. For office buildings and complexes, achieving a human or pedestrian scale is of less concern. When achieving such a scale is desired, it may be achieved by careful attention to width of facades, size and spacing of window and door openings, and floor to floor heights on exterior walls.

5. All elevations of a building that are visible from a public right-of-way shall receive similar treatment in terms of style, materials, and design so that such elevations are not of a lesser visual character than any other.

6. Use of elements such as shutters, cupolas, dormers, and roof balustrades shall be avoided in building designs that are not based on

traditional American architectural styles. Such elements may be employed only when they are common elements of a specific style, and this style shall be replicated in its entirety. When shutters are employed, even if they are non-operable, they must be sized and mounted in a way that gives the appearance of operability.

7. Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, basement window enclosures, and trash containers shall be designed, located, or screened so as to minimize their visibility and visual impact from off-site. Solar energy systems shall be excluded from the requirements of this section.

8. Accessory or ancillary buildings, whether attached or detached, shall be of similar design, materials and construction as the nearest primary structure. Fenestration themes that employ windows, panels and piers that are consistent with the architectural vocabulary of the building are encouraged. Accessory structures, generators, storage tanks, trash receptacles or any other similar improvement must be located behind a building façade that does not front on a public right-of-way.

C. Building Form:

1. All building elevations shall be designed to be compatible with each other and to reflect a consistent design approach.

2. Gable or hip roofs shall be avoided unless a building design replicates a traditional American architectural style that employs such roof forms. In non-stylistic contemporary designs, low or flat roofs may be employed. Roof visibility shall be minimized.

D. Materials:

1. Exterior building materials shall be appropriate for contemporary suburban designs and shall avoid overly reflective surfaces. Traditional materials such as, but not limited to, wood, stone, brick, and concrete shall be permitted, and contemporary materials such as, but not limited to, aluminum, metal, glass, stucco, or cementitious fiberboard (e.g., hardiplank or equivalent) shall be permitted on buildings not employing traditional styles. Architectural precast concrete panels and/or poured-in-place concrete tilt-up panels shall be permitted. The use of reflective or mirrored glass shall be prohibited.

2. Prefabricated metal buildings and untreated masonry block structures are prohibited. Notwithstanding the foregoing, ancillary structures built and operated for the purpose of enclosing equipment and

which are not occupied by tenants or persons on a regular basis may be constructed using pre-engineered metal.

3. Generally, the quantity of materials selected for a building shall be minimized.

4. Loading docks are not required to have the same degree of finish as a main entry unless they are visible from a public right-of-way.

5. Additional Standards for Uses Not Governed by DGRs: Buildings that are constructed to accommodate certain uses are not governed by the City's Design Guidelines and Requirements (DGRs). For example, buildings that are constructed for the operation of data centers, warehousing and/or distribution uses are not subject to the DGRs and can present challenges in meeting the community standard for architectural design. Such buildings are necessarily large and typically include long walls that together form a square or rectangular box. The goal for the development of buildings that are not subject to the DGRs is to balance the practical needs of these buildings with the desire to provide exterior designs that are attractive and complimentary to the architecture that will be found elsewhere in this Zoning District.

Architecture by its nature is a subjective medium, meaning that the adoption of strict objective standards in all instances may not provide the best means for achieving appropriate design. In recognition of this fact, the standards set forth herein provide guidelines and suggestions for designing buildings that are not subject to the DGRs in an effort to set expectations for the quality of architecture that will be expected for these structures. On the other hand, these standards are meant to allow for some flexibility to encourage innovative design provided that the spirit and intent of these provisions are met.

In conjunction with an application for a certificate of appropriateness for each building or structure in this Zoning District that is not subject to or governed by the DGRs, the applicant shall be required to submit to the City illustrations of the proposed exterior design of the building or structure for review and approval by the Design Review Committee contemplated in Section 1157.08(a)(1)(D) of the City Code. In designing such buildings, the user or applicant shall consider the following, which are intended to set a level of expectation for the quality of design:

a. Architectural design for all portions of a building or structure that are visible from a public right-of-way (excluding public rights-of-way whose primary purpose is to accommodate truck traffic or service loading areas) shall meet the community standard in terms of quality while considering the unique nature of the use(s) that will be found therein.

b. Uninterrupted blank wall facades shall be prohibited to the extent that they are visible from a public right-of-way. Design variations on long exterior walls shall be employed in order to create visual interest. Examples of such design variations include, but are not limited to, the use of offsets, recesses and/or projections, banding, windows, and/or reveals; scoring of building facades; color changes; texture or material changes; and variety in building height.

c. The use of one or more architectural or design elements may be used to soften the aesthetics of the building, such as but not limited to canopies, porticos, overhangs, arches, outdoor patios, community spaces, or similar devices.

d. Contemporary exterior designs, while not required, shall be encouraged in order to create architecture that does not look aged or dated even many years after the facility is built.

e. Landscaping and/or the use of existing vegetation shall be utilized where appropriate to enhance the aesthetics of the building and to lessen its visual impact when viewed from public rights-of-way.

6. Roof-Mounted Equipment: Complete screening of all roof-mounted equipment shall be required on all four sides of buildings with materials that are consistent and harmonious with the building's façade and character. Such screening shall be provided in order to screen the equipment from off-site view and to buffer sound generated by such equipment.

V. Access, Parking, Site Circulation, and Traffic Commitments:

A. Vehicular Access: The developer shall work with the City Manager or their designee to determine the need for appropriate timing and phasing of street improvements to serve this Zoning District. Subject to other provisions in this text, on public rights-of-way which exist on the date of this text the number, locations, and spacing of curbcuts shall be determined and approved by the City Manager or their designee in consultation with the developer at the time that a certificate of appropriateness is issued for a project in this Zoning District.

B. Parking and Loading: Parking and loading spaces shall be provided for each use per Chapter 1167 of the Codified Ordinances of the City of New Albany.

C. Rights-of-Way: The property owner shall dedicate right-of-way for U.S. Route 62 to the appropriate governmental entity at a distance of 60 feet as measured from the existing centerline of U.S. Route 62. The property owner shall grant easements to the City which are adjacent to the aforementioned right-of-way to the extent necessary to provide for the installation and maintenance of streetscape improvements, public utility

lines, and leisure paths.

D. Private Roads: Any creation of private roads is subject to staff approval.

VI. Buffering, Landscaping, Open Space, and Screening: A landscaping plan shall be approved as part of the City's review of a certificate of appropriateness application for each portion of this Zoning District that is proposed for development. The following landscaping requirements shall apply to this Zoning District:

A. Tree Preservation: Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.

B. Landscaping Required Adjacent to Residential Uses: For those perimeter boundaries which abut residentially zoned and used properties (if two contiguous properties have an intervening public street right-of-way between them, they shall still be considered to be abutting) that are not owned by the developer, then the required landscaping and/or mounding (or some combination thereof) within minimum required pavement setback areas shall be enhanced to provide an opacity of 75% on the date that is five (5) years after planting to a total height of 10 feet above ground level when viewed from off-site. Existing trees may be utilized to meet this opacity requirement. The requirements of this paragraph shall not apply in locations where any utility easement that exists prior to the date of this text prohibits the installation of mounding and/or landscaping within it.

C. Fencing: A standard New Albany white four-board horse fence may (but shall not be required to) be provided within the public right-of-way.

D. Stormwater Management: Wet and dry stormwater basins shall conform to the standards set forth in Section 1171.08 of the Codified Ordinances of the City of New Albany.

E. Perimeter Landscaping: In addition to street trees a tree row shall be established within the building and pavement setback along U.S. Route 62 frontage and shall contain eight (8) trees for every one hundred (100) feet of street frontage. Trees may be grouped or regularly spaced. Street trees shall be located within the right-of-way. Minimum street tree size at installation shall be three (3) caliper inches. This requirement may be waived in areas where existing vegetation occurs or in areas subject to overhead electric transmission lines, subject to approval of the City Landscape Architect.

F. Parking Areas: Within this Zoning District, there shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or treed areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles.

G. Pedestrian Circulation: An 8-foot-wide asphalt leisure path shall be installed along the U.S. Route 62 frontage of the site.

H. Minimum On-Site Tree Sizes: Unless otherwise set forth herein, minimum tree size at installation shall be no less than two and one half (2 ½) inches in caliper for shade trees, six (6) feet in height for evergreen trees, two (2) inches in caliper for ornamental trees, and thirty (30) inches in height for shrubs. Caliper shall be measured six (6) inches above grade.

I. Bonding: All street trees that are not installed prior to infrastructure acceptance shall be bonded to guarantee installation.

VII. Lighting:

A. All parking lot and private driveway lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.

B. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed 30 feet in height.

C. Lighting details shall be included in the landscape plan which is subject to review and approval by the City Landscape Architect.

D. Landscape uplighting from a concealed source shall be subject to staff approval. All uplighting fixtures must be screened by landscaping. Lighting details shall be included in the landscape plan which is subject to review and approval by the City Landscape Architect.

E. No permanent colored lights or neon lights shall be used on the exterior of any building.

F. All other lighting on the site shall be in accordance with City Code. Street lighting must meet the City standards and specifications.

G. Solar Panels may be incorporate and installed as appropriate.

VIII. Signage: All signage shall conform to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany.

IX. Utilities: All new utilities installed solely to serve this Zoning District shall be installed underground.

X. Noise Regulations: The Codified Ordinances currently contain provisions relating to sound which are broad, meaning that noise impacts are evaluated on a site-specific

basis. Generally, the goal is to ensure that overall sound levels on a property following development will not impose material negative impacts on neighboring property owners. The City intends to begin evaluating potential updates to the Codified Ordinances to provide more objective standards for evaluating potential and existing sound impacts.

Following approval of this zoning, the applicant will work diligently with the City to identify best practices to mitigate sound impacts from new development within this Zoning District, which shall include consultation and coordination with experts to be hired by the City. Should the Codified Ordinances be updated at the time when the first building permit application is filed for development in any portion of the Zoning District, then such development shall comply with those updated standards. In the event that the Codified Ordinances have not been updated by that time, then as a condition of building permit issuance the applicant for this zoning application and the City staff shall negotiate and execute an agreement, to be signed by the City Manager and a representative of the applicant, which details sound mitigation measures and requirements to be applied to the site. Once such an agreement is signed, its contents shall constitute an addendum to the approved zoning text and the standards set forth therein shall become requirements for the Zoning District which are enforceable in the same manner as other zoning requirements. Ultimately, each new user is responsible for maintaining and mitigating noise levels in accordance with such an agreement.

101.1± ACRES

Situated in the State of Ohio, County of Franklin, Township of Plain, lying in Section 1, Township 2, Range 16, being all of that 94.634 acre tract conveyed to MBJ Holdings, LLC by deed of record in Instrument Number 202211170158119 (Franklin County) and those 2.338 and 2.725 acre tracts conveyed to MBJ Holdings, LLC by deed of record in Instrument Number 202211170158118 (Franklin County), all of that 1.500 acre tract conveyed to Liu Yun by deed of record in Instrument Number 199808250216073 (Franklin County), and all of that 5.010 acre tract conveyed to Jeffrey A. Cotrill and Kelly K. Cotrill by deed of record in Instrument Number 200312050387666 (Franklin County), (all references are to the records of the Recorder's Office, Franklin and Licking Counties, Ohio, as noted) being more particularly described as follows:

Beginning, for reference, at FCGS 1571 found at the easterly common corner of said Section 1 and Section 10, Township 2, Range 16, in the westerly line of Lot 37, Quarter Township 2, Township 2, Range 15, United States Military District, being on the line common to Franklin County and Licking County, the line common to Plain Township and City of New Albany, being in the easterly line of that 57.87 acre tract conveyed to Olde Albany Limited Liability Company by deed of record in Instrument Number 200209130228211 (Franklin County), the westerly line of 197.341 acre tract conveyed to Microsoft Corporation by deed of record in Instrument Number 202403120004091 (Licking County) and that existing City of New Albany corporation line as established by Ordinance Number O-15-2023, of record in Instrument Number 202304200006825 (Licking County);

Thence North 03° 06' 55" East, with said County line, said existing City of New Albany corporation line (O-15-2023) and that existing City of New Albany corporation line established by Ordinance Number O-28-2022, of record in 202211160027367 (Licking County), the line common to Plain Township and City of New Albany, the easterly line of said Section 1, said 57.87 acre tract and that 30.15 acre tract conveyed to Sridhar Reddy Thumma by deeds of record in Instrument Numbers 202204130057131 and 202204130057132 (Franklin County), the westerly line of said Lot 37 and Lot 38, Quarter Township 2, said 197.341 acre tract and that 201.001 acre tract conveyed to Amazon Data Services, Inc. by deed of record in Instrument Number 202301170000954 (Licking County), a distance of 1150.59 feet to a point at the common corner of said 94.634 acre and 30.15 acre tracts, being the TRUE POINT OF BEGINNING;

Thence North 86° 18' 53" West, with the line common to said 94.634 acre and 30.15 acre tracts, a distance of 1314.46 feet to a point at the northeast corner of that 11.632 acre tract conveyed to Daniel S. Wilson by deed of record in Instrument Number 200912180183050 (Franklin County);

Thence North 86° 51' 53" West, with the line common to said 94.634 acre and 11.632 acre tracts, a distance of 605.80 feet to a 3/4 inch iron pipe found at the northeasterly corner of that 5.100 acre tract conveyed to TCC Properties by deed of record in Instrument Number 201003110029046 (Franklin County);

Thence North 85° 15' 23" West, with the southerly line of said 94.634 acre tract, the northerly line of said 5.100 acre tract and that 1.5 acre tract conveyed to E. M. Management Services Inc. by deed of record in Instrument Number 202310170108705 (Franklin County), a distance of 799.50 feet to a point in the centerline of right-of-way of Johnstown Road (I.C.H. No. 23; Columbus-Millersburg Road)(U.S. 62)(Variable Width);

Thence North 03° 25' 06" East, with said centerline of right-of-way, the westerly line of said 94.634 acre tract, a distance of 126.54 feet to a point of curvature in the centerline of construction of said Johnstown Road;

Thence with said centerline of construction, the westerly line of said 94.634 acre and 2.725 acre tracts, with the arc of a curve to the right, having a central angle of 39° 33' 00", a radius of 383.06 feet, an arc length of 264.42 feet, a chord bearing of North 23° 11' 36" East and chord distance of 259.20 feet to a point of tangency;

Thence North 42° 58' 06" East, with said centerline of right-of-way, the westerly lines of said 2.725 and 2.338 acre tracts, a distance of 224.95 feet to a point at the southwesterly corner of said 5.010 acre tract;

101.1± ACRES

- 2 -

Thence North 44° 40' 32" East, with the centerline of said Johnstown Road, the northwesterly line of said 5.010 acre, 1.500 acre, and 94.634 acre tracts, a distance of 1122.73 feet to a point;

Thence with the centerline of said Johnstown Road and the northwesterly line of said 94.634 acre tract, the following courses and distances:

North 49° 59' 06" East, a distance of 789.62 feet to a point;

North 66° 23' 06" East, a distance of 606.95 feet to a point; and

North 65° 46' 06" East, a distance of 700.70 feet to a point in the lines common to said Franklin County and Licking County, said Section 1 and Lot 39 of said Township 2, Range 15, the easterly line of said Plain Township, at the northerly common corner of said 94.634 acre and 201.001 acre tracts, and an angle point in said existing City of New Albany corporation line (O-28-2022);

Thence South 03° 06' 55" West, with said County line, the line common to said 94.634 acre and 201.001 acre tracts, said Plain Township and City of New Albany, with said existing City of New Albany corporation line (O-28-2022), the easterly line of said Section 1, the westerly line of said Lots 39 and 38, a distance of 2553.49 feet to the TRUE POINT OF BEGINNING, containing 101.1 acres, more or less.

This description is for annexation purposes only and should not be used for transfer or be interpreted as a boundary survey.

Total perimeter of annexation area is 9103.94 feet, of which 2553.49 feet is contiguous with the City of New Albany giving 28.0% perimeter contiguity.



HILK: wjp
101.1 ac 20250094-VS-ANNX-01.docx

EVANS, MECHWART, HAMBLETON & TILTON, INC.

Heather L. King 5/29/25
Heather L. King Date
Professional Surveyor No. 8307

PRELIMINARY APPROVAL
ADAM W. FOWLER, P.E., P.S.

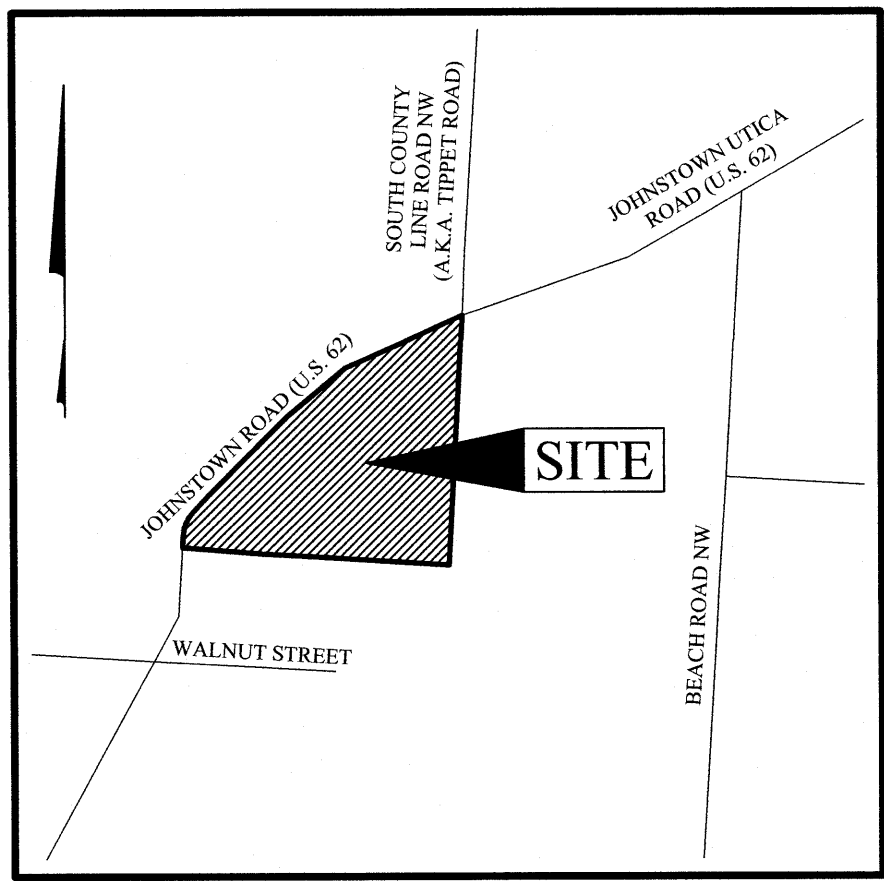
fasante

05/23/2025 11:31:09 AM
PENDING ORIGINALS

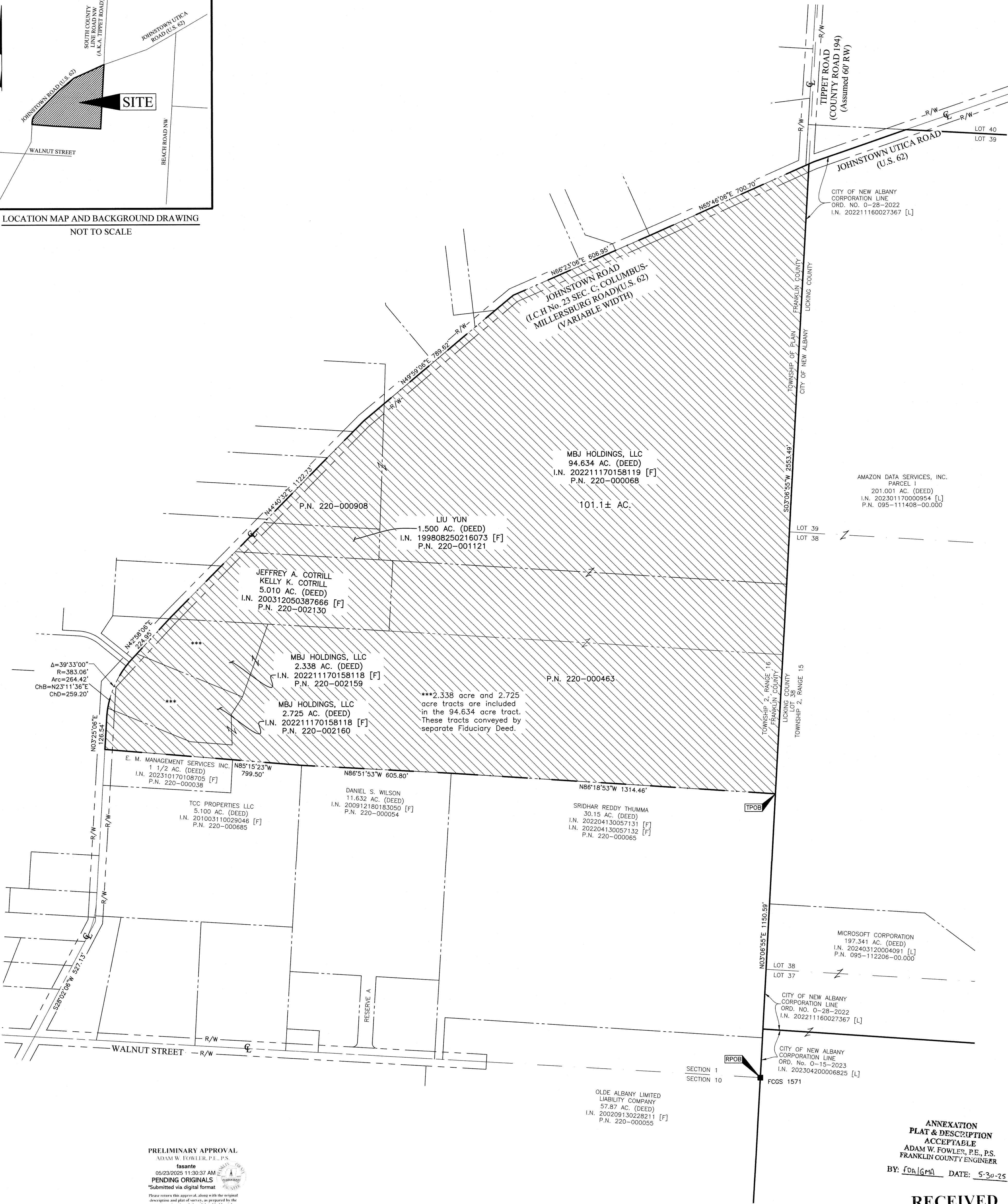
*Submitted via digital format

Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed, and dated in blue ink.

EXHIBIT "B"
PROPOSED ANNEXATION OF 101.1± ACRES
TO THE CITY OF NEW ALBANY FROM PLAIN TOWNSHIP
SECTION 1, TOWNSHIP 2, RANGE 16
UNITED STATES MILITARY DISTRICT
TOWNSHIP OF PLAIN, COUNTY OF FRANKLIN, STATE OF OHIO



LOCATION MAP AND BACKGROUND DRAWING
NOT TO SCALE



PRELIMINARY APPROVAL
ADAM W. FOWLER, P.E., P.S.
fasante
05/23/2025 11:30:37 AM
PENDING ORIGINALS
*Submitted via digital format
Please return this approval, along with the original
description and plat of survey, as prepared by the
surveyor, signed, sealed, and dated in blue ink.

ANNEXATION
PLAT & DESCRIPTION
ACCEPTABLE
ADAM W. FOWLER, P.E., P.S.
FRANKLIN COUNTY ENGINEER
BY: fow/gma DATE: 5-30-25

RECEIVED

MAY 30 2025

FRANKLIN COUNTY ENGINEER
ADAM W. FOWLER, P.E., P.S.

SURVEY NOTE:
This exhibit is for annexation purposes only and should not be interpreted
as a boundary survey.

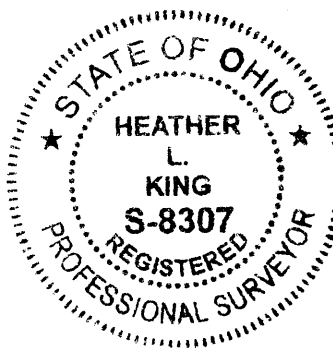
NOTE:
[L] = Licking County Recorder's Office
[F] = Franklin County Recorder's Office

AREA TO BE ANNEXED
PROPOSED CITY OF NEW ALBANY CORPORATION LINE
EXISTING CITY OF NEW ALBANY CORPORATION LINE

CONTIGUITY NOTE:
Total perimeter of annexation area is 9103.94 feet, of which 2553.49
feet is contiguous with the City of New Albany giving 28.0%
perimeter contiguity.

NOTE:
This annexation does not create islands of unincorporated areas within the
limits of the area to be annexed.

0 200
SCALE (in feet)



Heather L. King
Professional Surveyor No. 8307
hking@emht.com

EMHT		Date:	May 19, 2025
Evans, Mechwart, Hambleton & Tilton, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43054 Phone: 614.775.4500 Toll Free: 866.775.3446 emht.com		Scale:	1" = 200'
		Job No:	2025-0094
		Sheet:	1 of 1
REVISIONS			
MARK	DATE	DESCRIPTION	



Aaron L. Underhill
8000 Walton Parkway, Suite 260
New Albany, Ohio 43054

P: 614.335.9321
F: 614.335.9329
aaron@uhlfirm.com

October 31, 2025

Mr. Chris Christian
Planning Manager
City of New Albany
99 W. Main Street
New Albany, Ohio 43054

RE: School Impact of Zoning of 101.1+/- Acres Located at 11640 Johnstown Road

Dear Chris:

MBJ Holdings, LLC owns or controls 101.1+/- acres of real property (the "Property") located to the south and east of and adjacent to U.S. Route 62 and to the west of and adjacent to the shared boundary line between Franklin County and Licking County. The Property is in the process of being annexed to the City of New Albany. This letter accompanies an application to rezone the Property from the AG, Agricultural District classification (which is the designation provided to newly annexed property) to the L-GE, Limited General Employment classification. The site is located in the New Albany Plain Local School District..

The proposed rezoning will facilitate the development and operation of the same types of uses that are found throughout the New Albany International Business Park. The Property presently includes four houses. By applying the L-GE zoning classification to the Property, once development of the site occurs then the four existing homes will be removed. It also should be noted that the AG zoning classification permits residential development at a density of one unit per five acres, so upon annexation there would be a right for up to 20 homes to be located on the site. Therefore, this rezoning presents an opportunity to eliminate residential density in the school district. In addition, this rezoning will provide the means to facilitate a new property tax revenue source for the district.

The applicant is pleased to bring forth this application and looks forward to working with the City. Please let me know if you have any questions.

Sincerely,

Aaron L. Underhill
Attorney for the Applicant

U.S. 62 BUSINESS ZONING DISTRICT (L-GE)

Information concerning specific Code requirements for rezoning submittal

Per C.O. 1111.04(c) and (d), a written statement of the existing use and zoning district a written statement of the proposed use and zoning district.

Response: Currently the subject property contains four homes and portions of it are farmed. Several homes are located on parcels that are being annexed to the City. The classification of the property into the L-GE, Limited General Employment District will allow it to be developed with uses consistent with those found throughout the New Albany International Business Park.

Per C.O. 1111.03(g), a statement as to how the proposed zoning amendment will impact adjacent and proximate properties.

Response: The subject property will provide use and development standards which are substantially the same as those which apply to a large amount of land to the east and southeast which is zoned L-GE. As a result, any development on the site will be consistent with planned development on those other properties. Unimported properties are found to the south, as well as to the west and north across U.S. Route 62. To the extent that residential uses are located near to the subject property, they will be screened and buffered from development with significant mounding and landscaping in the same manner that has occurred in many other locations throughout the City.

Per C.O. 1111.03(i), any deed restrictions, easements, covenants and encumbrances to be imposed to control the use, development and maintenance of the area to be rezoned.

Response: The property will be subject to The New Albany Business Park East CCRs and will be part of The New Albany Business Park East Association. It is anticipated that new easements for utilities may be needed in the future based on actual development patterns.

Per C.O. 1159.07(b)(2)(F) The schedule of site development, construction of structures and associated facilities. Such schedule shall include the proposed use or reuse of existing features such as topography, streets, easements and natural areas.

Response: Development of the site will occur based on market demand after final zoning approval is received.

Per C.O. 1159.07(b)(2)(J) Verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain a Water Quality Certification Permit from the Ohio Environmental Protection Agency. In the case of an isolated wetland either a general state or individual state isolated wetland permit must be obtained from the Ohio Environmental Protection Agency (Sections 6111.021. - 6111.024 of House Bill 231).

Response: See separate written communication from EMH&T.

Per C.O. 1159.07(b)(2)(K) Verification that an application, if required, has been submitted to the U.S. Army Corps of Engineers, in compliance with Section 404 of the Clean Water Act in which anyone who

wishes to discharge dredged or fill material into waters of the United States must obtain either a nationwide or individual permit from the U.S. Army Corps of Engineers.

Response: See separate written communication from EMH&T.



**Planning Commission Staff Report
December 01, 2025 Meeting**

**FAITH LIFE CHURCH ZONING DISTRICT EXPANSION
ZONING AMENDMENT**

LOCATION: 2365 Beech Road (PID: 037-111510-00.005)
REQUEST: Zoning Amendment
ZONING: Agricultural (AG) to Infill Planned Unit Development (I-PUD)
STRATEGIC PLAN: Employment Center
APPLICATION: ZC-95-2025
APPLICANT: Faith Life Church, c/o Aaron Underhill, Esq.

Review based on: Application materials received October 31, 2025.

Staff report completed by Kylie Blackburn, Planner I

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation for the zoning of approximately 2+/- acres. The request proposes to add the parcel located at 2365 Beech Road into the already existing limitation text known as the "Faith Life Church Zoning District" and will be zoned Infill Planned Development (I-PUD). The proposed rezoning serves as an expansion of the Faith Life Church religious campus. This request is strictly to add the parcel at 2365 Beech Road into the zoning text; no modifications will be made to the site or to any existing zoning provisions. Should any changes to the site be proposed in the future, the applicant will need to submit a Final Development Plan for separate approval.

This I-PUD permits churches and other religious institutions, temporary residential living facilities, a provision outreach center, accessory uses to the religious facility, facilities support building, and playgrounds/open space. The proposed addition to the existing I-PUD text does not seek to make changes to the original zoning text. The Faith Life Church Zoning District was originally approved by the Planning Commission on June 04, 2018, and by city council on July 03, 2018.

II. SITE DESCRIPTION & USE

The current church site is 36.24+/- acres and is proposing to add a 2+/- acre lot to the church campus. The 2+/- lot is currently a residential property containing a single-family home and detached structure in Licking County. The site is generally located west of Beech Road and north of Innovation Campus Way. The overall area is surrounded by Limited General Employment zoned areas and unincorporated parcels. The subject parcel is currently being annexed into the city. The annexation is scheduled for its first reading at city council on November 18, 2025, and its second reading is scheduled for December 16, 2025. The image below outlines the existing Faith Life Church Zoning District in blue and the new parcel in red.



III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02 and 1159.09. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to City Council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

A. New Albany Strategic Plan

The Engage New Albany strategic plan designates the area as the Employment Center future land use category. While the site is located in this district, the strategic plan does not offer any development standards for Religious/Institutional Uses. Institutional uses are not a specific land use category identified in the strategic plan. As such, these institutional uses are intended to be integrated throughout the community, and this rezoning assists in accomplishing that goal.

B. Use, Site and Layout

- 1. The zoning text is a Planned Unit Development text which allows flexibility in both design and uses.
- 2. There are no proposed changes to the existing Faith Life Church Zoning District text standards.

- However, there is a minimum building and pavement setback of 100 feet from the existing edge of the right-of-way of Beech Road. Sidewalks may encroach up to 10 feet into the required minimum pavement setback.
 - Staff recommends a condition of approval that this setback is met with the new addition to the zoning district (condition #1).
- Conformity of Existing Improvements: Structures and pavement which exist on the effective date of this text shall be considered to be legally conforming under this zoning text and the Codified Ordinances and may be repaired and/or replaced in the event of a casualty event such as (but not limited to) storm, fire, or flood damage. New structures not being constructed for the purpose of replacing existing structures that have been damaged or destroyed by a casualty event shall be required to adhere to the minimum setback requirements of this text.

C. Access, Loading, Parking

1. The rezoning proposal is solely for adding land to the site and does not modify any exterior development standards.
 - However, the zoning text states that there shall be a dedicated right-of-way for Beech Road to the appropriate governmental entity at a distance of 50 feet as measured from the existing centerline of Beech Road. The city Engineer has commented on this provision; see the Engineering Comments section.

D. Architectural Standards

1. There are no proposed changes to the existing Faith Life Church Zoning District text standards.

E. Parkland, Buffering, Landscaping, Open Space, Screening

1. There are no proposed changes to the existing Faith Life Church Zoning District text standards.
2. A street tree row shall be established along the Beech Road right-of-way behind the white horse fence that is contemplated in the immediately preceding provision and shall contain 1 tree for every 30 feet of street frontage. Trees may be grouped or regularly spaced. Minimum street tree size at installation shall be three (3) caliper inches. This requirement may be waived in areas where existing vegetation occurs, subject to approval of the City Landscape Architect.
3. All landscaping which exists in this zoning district on the effective date of this text shall be deemed to be permitted and legally conforming with this zoning. At such time as any existing landscaping is replaced for any reason, the replacement landscaping shall conform to the requirements of this Section VII.

F. Lighting & Signage

1. There are no proposed changes to the existing Faith Life Church Zoning District text standards.

G. Other Considerations

1. A school impact statement has been submitted. The applicant states that rezoning the property will allow for the expansion of the church, as opposed to residential development. This use will not create the possibility of new students entering the district and will have no negative impact on the school district.

IV. ENGINEER'S COMMENTS

The city Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and provided the following comments. Staff recommends a condition of approval that the city engineer's comments be addressed at the time of engineering permits, subject to staff approval.

1. Please dedicate 50' of r/w along the parcel frontage as measured from the Beech Rd. centerline.

2. Provide documentation indicating that existing onsite residential wells and onsite wastewater treatment systems have been abandoned in accordance with all applicable environmental regulations.

IV. SUMMARY

The proposed rezoning is appropriate given that this is already home to the Faith Life Church campus. The zoning is already in existence, and the only changes to the zoning would be to include language around the new property rather than changing existing standards. The proposed permitted and accessory uses are consistent with other religious uses and churches within the community. The applicant gives specific guidelines and requirements for the future of the campus, which help to guide additions like the proposed.

V. ACTION

Suggested Motions for ZC-95-2025:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added):

Move to approve application ZC-95-2025 based on the findings in the staff report with the following condition:

1. The 100-foot setback for Beech Road is met with the new addition to the zoning district.
2. That the city engineer's comments be addressed at the time of engineering permits, subject to staff approval.

Approximate Site Location:



401.01-152
November 19, 2025

To: Kylie Blackburn
City Planner

From: Matt Ferris, P.E., P.S.
By: Jay M. Herskowitz, P.E., BCEE

Re: Faith Life Church
Rezoning

Our review comments are as follows:

1. Please dedicate 50' of r/w along the parcel frontage as measured from the Beech Rd. centerline.
2. Provide documentation indicating that existing onsite residential wells and onsite wastewater treatment systems have been abandoned in accordance with all applicable environmental regulations.

cc: Josh Albright, Development Engineer



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org	
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.	
Project Information	Site Address <u>2365 Beech Road</u>	
	Parcel Numbers <u>Licking County 037-111510-00.005</u>	
	Acres <u>2.0+/-</u>	# of lots created <u>N/A</u>
Project Information	Choose Application Type	Description of Request:
	<input type="checkbox"/> Appeal <input type="checkbox"/> Certificate of Appropriateness <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Plat <input type="checkbox"/> Lot Changes <input type="checkbox"/> Minor Commercial Subdivision <input checked="" type="checkbox"/> Zoning Amendment (Rezoning) <input type="checkbox"/> Zoning Text Modification	<input type="checkbox"/> Extension Request <input type="checkbox"/> Variance <input type="checkbox"/> Vacation Rezoning of property from AG, Agricultural classification to I-PUD, Infill Planned Unit Development classification for religious use
Contacts	Applicant Information	Property Owner Information
	Name Faith Life Church, Inc. Address <div></div> City, State, Zip <div></div> Phone Number <div></div> Email <div></div>	Name Same as applicant Address <div></div> City, State, Zip <div></div> Phone Number <div></div> Email <div></div>
Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.	
	Signature of Owner By: [Signature] Signature of Applicant By: [Signature]	Date: <u>10/31/25</u> Date: <u>10/31/25</u>

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

Exhibit A

PROPOSED ANNEXATION OF
2.0± ACRES

FROM: JERSEY TOWNSHIP

TO: CITY OF NEW ALBANY

Situated in the State of Ohio, County of Licking, Township of Jersey, lying in Lot 33, Quarter Township 2, Township 2, Range 15, United States Military Lands, being all of that 2.000 acre tract conveyed to Faith Life Church, Inc. by deed of record in Instrument Number 202209260023391 (all references refer to the records of the Recorder's Office, Licking County, Ohio) being more particularly described as follows:

Beginning, for reference, in the centerline of Beech Road (County Road 88) at the common corner of said Lot 33 and Lots 31, 32 and 34 of said Quarter Township 2, Township 2, Range 16, being in the existing City of New Albany Corporation Line as established by Ordinance Number O-33-2010, of record in Instrument Number 201011040022449 and City of New Albany Corporation Line as established by Ordinance Number O-07-2018, of record in Instrument Number 201808140016837, being the common easterly corner of that 11.625 acre tract conveyed to Faith Life Church, Inc. by deed of record in Instrument Number 2020103000292356 and that tract conveyed to Deanna J. Boehm-Napoli by deeds of record in Official Record 718, Page 620 and Instrument Number 202408150014002;

Thence South 03° 27' 52" West, with the centerline of said Beech Road, with the line common to said Sections 32 and 33, and with said existing City of New Albany Corporation Line (O-33-2010) and (O-07-2018), a distance of 498.17 feet to the TRUE POINT OF BEGINNING;

Thence South 03° 27' 52" West, continuing with the centerline of said Beech Road, with the line common to said Sections 32 and 33, with the easterly line of said 2.000 acre tract and with said existing City of New Albany Corporation Line (O-33-2010) and (O-07-2018), a distance of 174.13 feet to a point;

Thence North 86° 57' 43" West, with the southerly line of said 2.000 acre tract and with the existing City of New Albany Corporation Line (O-07-2018), a distance of 500.39 feet to a point at the southwesterly corner of said 2.000 acre tract and in the easterly line of that 22.622 acre tract conveyed to Faith Life Church, Inc. by deed of record in Instrument Number 202010300029235;

Thence North 03° 27' 52" East, with the westerly line of said 2.000 acre tract, with the easterly line said 22.622 acre tract and with said existing City of New Albany Corporation Line (O-07-2018), a distance of 174.13 feet to a point at the northwesterly corner of said 2.000 acre tract;

Thence South 86° 57' 43" East, with the northerly line of said 2.000 acre tract, with the southerly line of said 22.622 acre tract and with said existing City of New Albany Corporation Line (O-07-2018), a distance of 500.39 feet to the TRUE POINT OF BEGINNING, containing 2.000 acres, more or less.




EVANS, MECHWART, HAMBLETON & TILTON, INC.

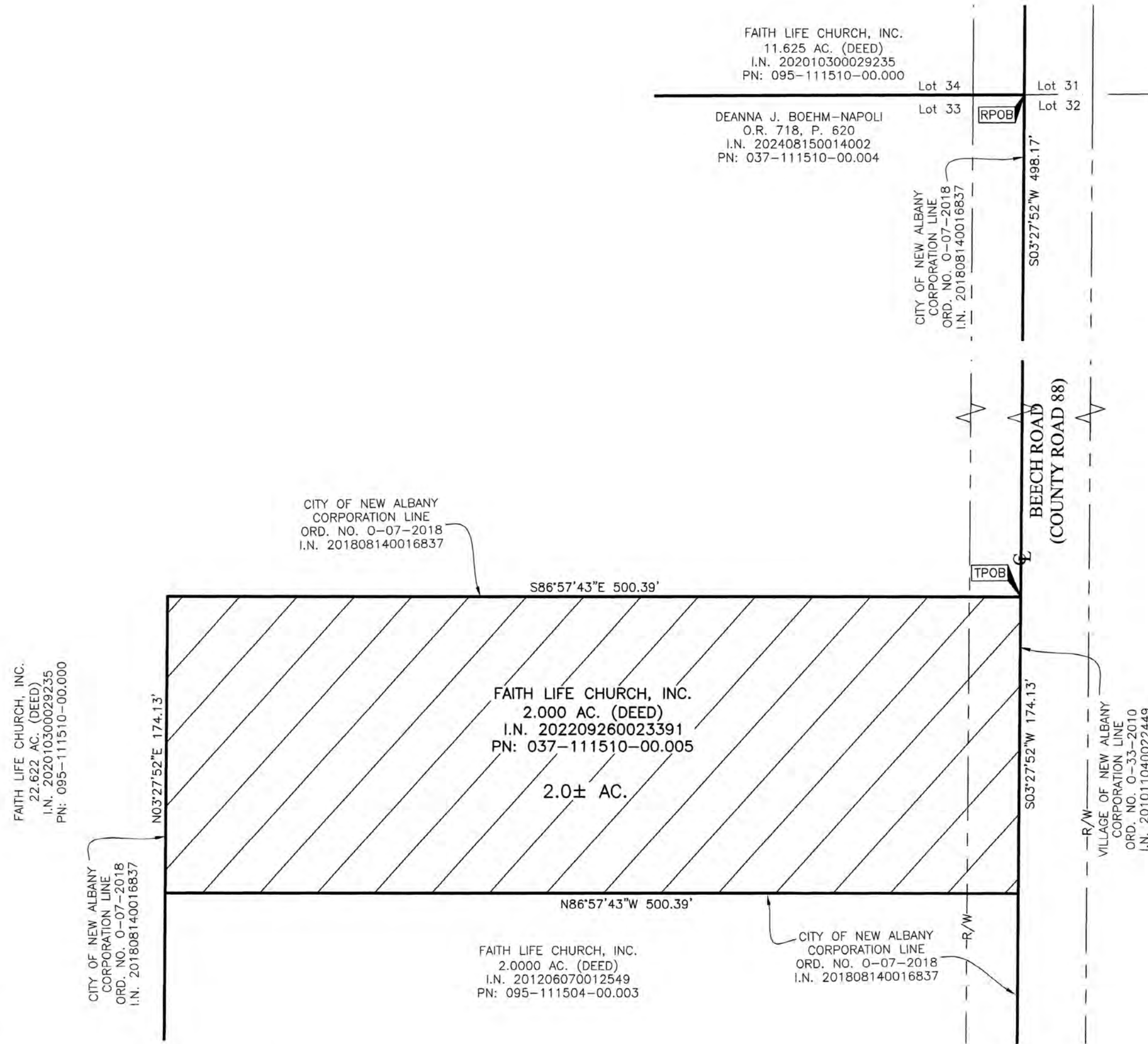
A handwritten signature in black ink, appearing to read "Joshua M. Kleemeyer".

Joshua M. Kleemeyer
Professional Surveyor No. 8790

12/9/24

PRE-APPROVAL	
LICKING COUNTY ENGINEER	
APPROVED <input checked="checked" type="checkbox"/>	CONDITIONAL <input type="checkbox"/>
APPROVED BY: 	
DATE: 12/12/2024	

**PROPOSED ANNEXATION OF 2.0 ± ACRES
TO THE CITY OF NEW ALBANY FROM JERSEY TOWNSHIP**
LOT 33, QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 15
UNITED STATES MILITARY LANDS
TOWNSHIP OF JERSEY, COUNTY OF LICKING, STATE OF OHIO



Proposed Annexation
of 2.0 +/- acres to the City of New Albany

The within map marked exhibit "A" and made a part of the petition of annexation filed with the Board of Commissioners of Licking County, Ohio, on _____, 20____, under Chapter 709 of the Ohio Revised Code, is submitted as an accurate map of the territory in said petition described under the requirements of said Chapter 709 of the Ohio Revised Code.

Agent for Petitioners

The Board of County Commissioners of Licking County, Ohio, having received a petition bearing the signed names and addresses of the parties interested in the annexation to the City of New Albany, Ohio, of the territory shown hereon and having given due consideration to the prayer of said petition, do hereby grant the same.

Board of Licking County Commissioners

Petition Received _____, 20____

Commissioner

Petition Approved _____, 20____

Commissioner

Commissioner

Transferred this ____ day of _____, 20____, upon the duplicates of this office.

Containing _____ acres.

Transfer Fee _____

Licking County Auditor

Received for Record _____, 20____, at _____ (AM-PM) and recorded _____, 20____, in plat ordinance, petition, etc. in Plat Book Volume _____, Page _____.

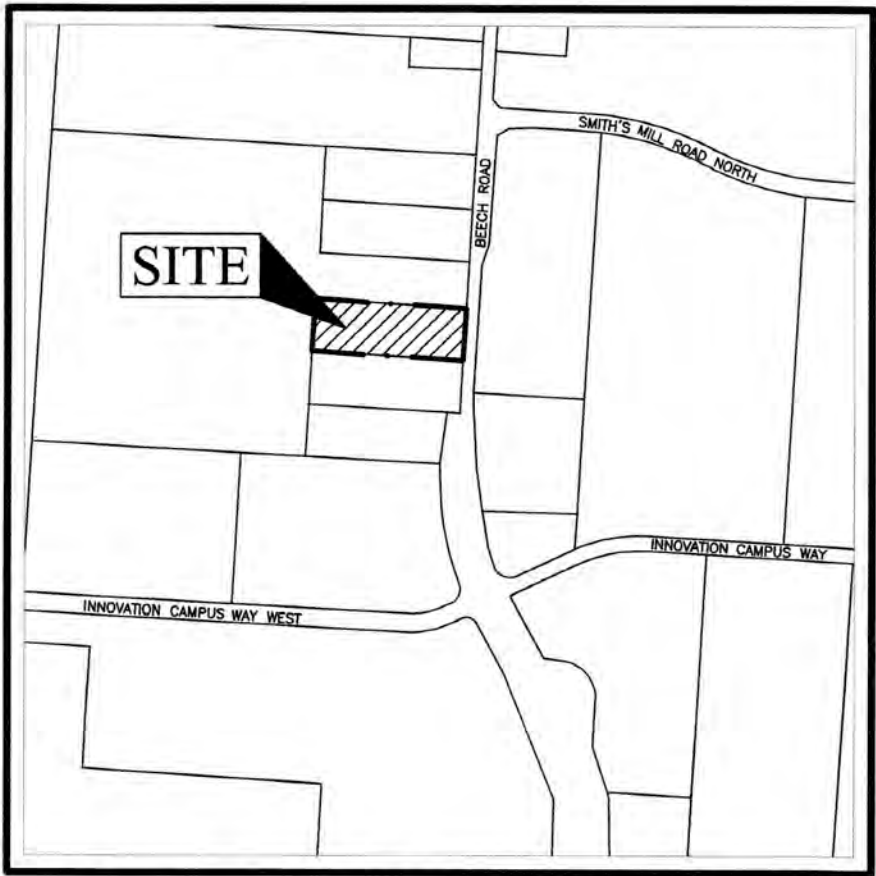
Plat Fee _____

Ordinance, etc. Fee _____

Licking County Recorder

Council for the City of New Albany, Ohio, by ordinance _____ passed _____, 20____, and approved by the mayor on _____, 20____, did accept the territory shown hereon for annexation to the City of New Albany, Ohio, a municipal corporation.

Attest _____
Clerk, City of New Albany



LOCATION MAP AND BACKGROUND DRAWING
SCALE: 1" = 1000'

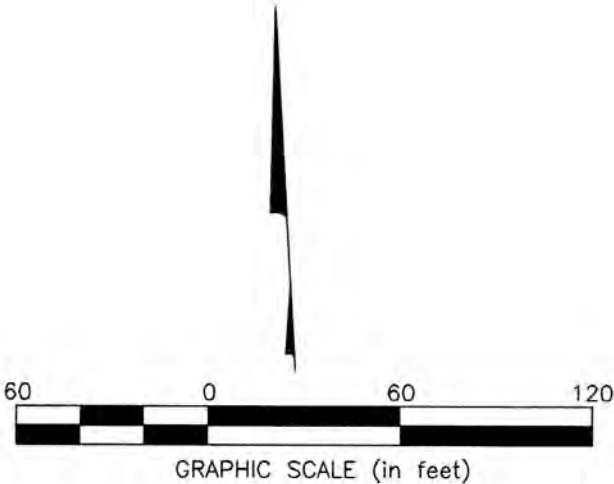
AREA TO BE ANNEXED

PROPOSED CITY OF NEW ALBANY CORPORATION LINE

EXISTING CITY OF NEW ALBANY CORPORATION LINE

Contiguity Note:
Total perimeter of annexation area is 1349.0 feet, of which 1349.0 feet is contiguous with the City of New Albany by Ordinance Numbers O-33-2010 and O-07-2018, giving 100% perimeter contiguity.

Note:
This annexation does not create islands of unincorporated areas within the limits of the area to be annexed.



By Joshua M. Kleemeyer 12/9/24
Joshua M. Kleemeyer
Professional Surveyor No. 8790
jkleemeyer@emht.com

EMHT		Date: December 9, 2024
Evans, Mechwart, Hambleton & Tilton, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43054 Phone: 614.775.4500 Toll Free: 888.775.3648 emht.com		Scale: 1" = 60'
		Job No: 2023-0031
		Sheet: 1 of 1
REVISIONS		
MARK	DATE	DESCRIPTION



Aaron L. Underhill
8000 Walton Parkway, Suite 260
New Albany, Ohio 43054

P: 614.335.9321
F: 614.335.9329
aaron@uhlfirm.com

October 31, 2025

Mr. Chris Christian
Planning Manager
City of New Albany
99 W. Main Street
New Albany, Ohio 43054

RE: School Impact of Zoning of 2.0+/- Acres Located at 11640 Johnstown Road

Dear Chris:

Faith Life Church owns 2.0+/- acres of real property (the “Property”) located to the west of and adjacent to Beech Road and adjacent to its existing church campus. This letter accompanies an application to rezone the Property from the AG, Agricultural District classification (which is the designation provided to newly annexed property) to the I-PUD, Infill Planned Unit Development classification. The site is located in the Johnstown Monroe Local School District..

The proposed rezoning will facilitate the use of an existing home on the Property for religious purposes. While these uses could include temporary housing for certain underprivileged individuals, it will not include housing for children. Therefore, this rezoning presents an opportunity to eliminate a residential use on the Property which may otherwise include the housing of a family with schoolchildren.

The applicant is pleased to bring forth this application and looks forward to working with the City. Please let me know if you have any questions.

Sincerely,

Aaron L. Underhill
Attorney for the Applicant

FAITH LIFE CHURCH EXPANSION ZONING DISTRICT

Information concerning specific Code requirements for rezoning submittal

Per C.O. 1111.04(c) and (d), a written statement of the existing use and zoning district a written statement of the proposed use and zoning district.

Response: Currently the subject property contains a home and a detached garage. The classification of the property into the I-PUD, Infill Planned Development District will allow it to be used for religious purposes.

Per C.O. 1111.03(g), a statement as to how the proposed zoning amendment will impact adjacent and proximate properties.

Response: The subject property will remain unchanged in terms of the built environment in the short term, with existing structures and improvements to remain. Any future redevelopment of the property will be undertaken as part of the larger adjacent Faith Life Church campus. A fire substation is located to the north of the property and data center development to the east. Otherwise, the property is surrounded by the existing church campus. Therefore, this rezoning will facilitate uses and development that are appropriate for the location.

Per C.O. 1111.03(i), any deed restrictions, easements, covenants and encumbrances to be imposed to control the use, development and maintenance of the area to be rezoned.

Response: None.

Per C.O. 1159.07(b)(2)(F) The schedule of site development, construction of structures and associated facilities. Such schedule shall include the proposed use or reuse of existing features such as topography, streets, easements and natural areas.

Response: No development or construction is anticipated on the property in the near term. Any future redevelopment of the site will require review and approval of a final development plan.

Per C.O. 1159.07(b)(2)(J) Verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain a Water Quality Certification Permit from the Ohio Environmental Protection Agency. In the case of an isolated wetland either a general state or individual state isolated wetland permit must be obtained from the Ohio Environmental Protection Agency (Sections 6111.021. - 6111.024 of House Bill 231).

Response: No such application is required.

Per C.O. 1159.07(b)(2)(K) Verification that an application, if required, has been submitted to the U.S. Army Corps of Engineers, in compliance with Section 404 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain either a nationwide or individual permit from the U.S. Army Corps of Engineers.

Response: No such application is required.

FAITH LIFE CHURCH ZONING DISTRICT EXPANSION

INFILL PLANNED DEVELOPMENT (I-PUD) DEVELOPMENT STANDARDS TEXT

October 31, 2025

I. Summary: This I-PUD zoning district consists of 2.0+/- acres located to the west of and adjacent to Beech Road in Licking County, generally between Jug Street on the north and Innovation Campus Way West on the south. The property within this zoning district is being annexed to the City from Jersey Township. The property presently contains an existing home and detached garage that will remain. The intent of this zoning is to facilitate the integration of the property into the existing Faith Life Church campus and to provide similar rights to it as apply to the campus.

II. Development and Use Standards: Unless otherwise specified in this written text, the same use and development standards that apply to the Faith Life Church campus as approved in City Council Ordinance ORD-13-2018 shall apply to this zoning district. The previously approved zoning text that was included in ORD-13-2018 is hereby incorporated herein by reference. In addition to other permitted and accessory uses, the temporary residential living facilities that are permitted to be operated on the campus as detailed in Section III.B of the zoning text approved in ORD-13-2018 shall be permitted to be operated on the 2.0+/- acres of property that is included in this text.

III. Existing Conditions: The existing improvements to the property that is the subject of this text shall be permitted to remain and no final development plan approval shall be required for the same. Modifications to these improvements or redevelopment of the property shall require approval of a final development plan.