

THE ROCKY FORK-BLACKLICK ACCORD
STAFF REPORT
December 18, 2025 Meeting

City of New Albany Rezoning Application Case No: ZC-80-2025

Review and Action on the Plain Township Fire Station rezoning application for 6.350+/- acres generally located at the northwest intersection of State Route 605 and New Albany Road East (Parcel ID: portion of 222-005258)

Request: Rezone *L-GE (Limited General Employment)* to *CF (Community Facilities)*

Proposed Use: Proposal to rezone to allow for a new fire station

Applicant: Schorr Architects c/o Nathan Gammella

INTRODUCTION/PROPOSAL SUMMARY:

This request is for review and recommendation to the New Albany Planning Commission to rezone 6.350+/- acres to Community Facilities (CF) from Limited General Employment (L-GE). The proposed zoning allows for a new fire station.

The site is located in the Accord's Office district. Although a fire station is not a land use typically associated with the Accord's Office District, it serves as an essential community facility. Fire stations provide critical public safety services, ensure rapid emergency response, and support both existing and future development. Even though it does not align with the traditional office-focused uses envisioned for the district, its presence represents an important civic investment that directly benefits surrounding neighborhoods, businesses, and the broader community. Given that this fire station serves both the township and the city, its location is strategically positioned to provide convenient access for both jurisdictions.

CONSIDERATIONS:

- The site is located within the Accord's Office district. The Engage New Albany strategic plan designates the area as the Employment Center future land use category. While the site is located in this district, the strategic plan does not offer any development standards for governmental uses. Governmental uses are not a specific land use category identified in the strategic plan. As such, these uses are intended to be integrated throughout the community, and this rezoning assists in accomplishing that goal.
- Due to the proximity of this site to both Plain Township and within the city, the site is appropriate for a public service/governmental development. The Rocky Fork-Blacklick Accord plan (hereinafter, "Accord plan") identifies the Walnut Street and State Route 605 area as a likely location for a future fire station, which aligns with the proposed site location.
- Another overall goal listed on page 15 of the Accord plan is to protect natural resources: creeks, wooded areas, and open space. The applicant is preserving the treed area on the north side of the property which achieves this goal. Additionally, the applicant shows a stream corridor protection zone along the north side of the property, where no development is proposed.
- The Accord plan identifies a town and five villages, each designed to include community centers that incorporate essential civic facilities such as schools, parks, governmental offices, and public service buildings—including police, fire, and public works. Locating the fire station near

SPECIAL NOTE: This review is based on the proposed application's conformance to the Rocky Fork-Blacklick Accord. Nothing noted in this review is intended to speak to the application's conformance with other city zoning requirements and policies.

surrounding neighborhoods supports this vision by incorporating essential public safety services directly into the community.

- The Accord plan encourages retention basins as a way to control runoff and prevent localized flooding. The proposal includes a naturalized retention basin behind the fire station, enhanced with surrounding plantings.
- The proposal meets the Community Facilities zoning district's 50-foot side and rear yard requirements for governmental buildings, and the 125-foot front setback contributes to maintaining the rural character.
- The Accord plan recommends no more than 70% lot coverage including buildings and parking lots. This site contains 18.8% building and pavement coverage, meaning there is significant open space proposed.

STAFF COMMENTS:

The proposed rezoning to Community Facilities allows for the development of the Plain Township Fire Station. Fire stations deliver essential public safety services, enable rapid emergency response, and support both current and future development. While the use differs from the Accord's Office district, it represents a significant civic investment that directly benefits nearby neighborhoods, businesses, and the wider community. Because this station will serve both the township and the city, its location is appropriate to provide efficient access for both jurisdictions. Furthermore, the Accord plan identifies the Walnut Street and State Route 605 area as a likely location for a future fire station, which aligns with the site proposal.

One of the Rocky Fork-Blacklick Accord plan's goals is to protect natural resources: creeks, wooded areas, and open space. The proposed development supports this goal by providing a stream corridor protection zone and preserving the existing wooded area on the north side of the property. Additionally, the site exceeds 70% of open space.

This proposal scores 92.4% on the report card for the Accord's Office development standards.

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APPENDIX:

Below is a table containing various aspects of a rezoning application and their applicability to each stage of the overall rezoning review and approval process.

Topic	Reviewing Body			Comments
	Rocky Fork-Blacklick Accord	New Albany Planning Commission	New Albany City Council	
Land Use & Density	✓	✓	✓	The score card serves to assist the Accord in determining the appropriateness of the land use & density against the Accord standards and recommendations.
Traffic		✓	✓	The Accord contains street typology and character standards for the panel to evaluate but does not have standards for traffic management and studies. These technical documents contain recommendations on items such as intersection improvements, turn lanes, signalization and are evaluated by the Planning Commission and City Council.
Architecture	✓	✓	✓	The Accord contains specific architectural standards for the panel to evaluate.
Setbacks & Character of Public Rights-of-Way	✓	✓	✓	The Accord contains a thoroughfare plan with streetscape standards that consists of pavement width, right-of-way, sidewalks, tree lawn, and setbacks that the panel is to evaluate with each proposal.
Setbacks from Neighboring Residential		✓	✓	While Accord contains standards for buildings' setback from streets it does not contain recommended side and rear yard setbacks from neighboring, existing residential or commercial uses.
Civic & Open Space	✓	✓	✓	The Accord contains standards and strategies to preserve and maximize open space.
Natural Features: Streams, Creeks	✓	✓	✓	The Accord contains setbacks standards from the three major stream systems but does contain any standards for smaller water bodies such as creeks.
Natural Features: Soils		✓	✓	One of Accord's standards is to preserve natural features, but technical documents such as soils reports are reviewed by the City Engineer prior to development occurring.

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PROJECT: Plain Township Fire Station Rezoning – ZC-80-2025 (6.350+/- acres)
APPLICANT: SCHORR ARCHITECTS, c/o NATHAN GAMMELLA
EXISTING ZONING: LIMITED GENERAL EMPLOYMENT (L-GE)
RFBA DISTRICT: OFFICE

EVALUATION CHECKLIST
 EVALUATED FOR RFBA: DECEMBER 18, 2025
 BY: SIERRA SAUMENIG (CNA)

SUB-AREA	REQUESTED ZONING	RFBA DISTRICT	USE TYPE	ACREAGE	SQ. FT. OR # OF UNITS	PROPOSED DENSITY	RFBA PERMITTED DENSITY		PUBLIC PARKLAND	
							BASE (10k/acre)	BONUS (12k/acre)	PROVIDED	REQUIRED
	CF	Office	Fire Station	6.350 +/-	N/A	N/A	63,000 s.f.	76,200 s.f.	N/A	N/A
TOTAL ACREAGE				6.350 +/-						
TOTAL RETAIL SPACE							N/A	N/A		
TOTAL OFFICE SPACE							63,000 s.f.	76,000 s.f.		

EVALUATION SUMMARY		YES	PARTIAL	NO	?	COMMENTS
1.0	Key Principles	5	0	0	0	
2.0	Strategies	3	0	0	0	
3.0	General Development Standards	15	3	0	1	
4.0	District Development Standards	16	4	0	0	
TOTAL		39	7	0	1	92.4% compliant [42.5/46=92.4% including met and half for partials]

KEY:

✓ = met p = partially met ? = cannot determine (-) N/A = not applicable

1.0 Key Principles	Yes	No	Comments
1.1 Maintain aesthetic character of rural roads.	-		N/A The site is not located along any rural roads.
1.2 Use open space as an organization element.	✓		Landscape setbacks will create a hierarchy of space on the site for development.
1.3 Use a compact form of development in town and village clusters with defined edges such as green belts and natural corridors.	-	-	N/A area
1.4 Develop mixed uses in town and village centers.	-	-	N/A area
1.5 Develop diversity in housing prices and types.	-	-	N/A
1.6 Create a center focus that combines civic, cultural, and recreational uses,	-	-	N/A
1.7 Create an ample supply of squares, greens parks and landscaping.	✓		Large setbacks with the addition of landscaping will increase the amount of green areas and trees for the area. Parking areas and parking screening will be provided with landscaping. Additionally, the treed area on the north side of the property will be preserved and includes a stream corridor protection zone.
1.8 Guarantee permanent protection of greenbelts, streams, creeks, woodlands, grasslands, wetlands, and historic sites.	✓		The applicant proposes to preserve the wooded area on the north side of the property. Additionally, the applicant is providing a stream corridor protection zone on the north side of the property indicating no development in this area.
1.9 Development in town must be located within easy walking or biking distances of other neighborhoods, schools, retail centers and transit stops.	✓	-	Applicant is proposing a leisure trail and pedestrian connection into the site.
1.10 Development must pay its own way. <i>(No criteria to review this stnd established)</i>	✓	-	Required by city code.
2.0 Strategies	Yes	No	Comments
2.1 Development should be compatible with the rural landscape.	-		N/A
2.2 Higher density residential should be located adjacent to open space.	-	-	N/A
2.3 Reserve the natural features.	✓		The applicant proposes to preserve the wooded area on the north side of the property and shows a stream corridor protection zone.
2.4 Retail development should be community-based.	-	-	N/A
2.5 Developers should be encouraged to mix uses and housing types where appropriate.	-	-	N/A
2.6 Historic and cultural resources should be protected and preserved.	-	-	None known.
2.7 Scenic qualities along roadways should be maintained.	✓		Large setbacks along roads will preserve the character.
2.8 Rural character of the land along regional roads should be maintained.	-		N/A
2.9 Density bonuses and design flexibility are encouraged to allow cluster development.	-		N/A
2.10 Neighborhood commercial uses should be confined to the community centers or plazas.	-		N/A
2.11 Future development should have adequate facilities such as parkland, schools, and police protection, to support the new development. <i>(Community-wide strategy.)</i>	✓		Proposed use is a township/city service
2.12 Land that has direct access to the expressway should be designated for light industry, office or commercial use.	-		N/A
3.0 General Development Standards	Yes	No	Comments
3.1 Open Space			

3.1.1 Strategies to preserve and maximize open space.	✓		Large setbacks commitments and preservation areas provided and over 70% of open space is proposed.
3.1.2 Maintain major stream corridors in their natural state or allow such state over time.	✓		The proposed site plan shows a stream corridor protection zone with no development proposed within it.
3.1.3 Construct pathways through stream corridors.	-		N/A
3.1.4 Rural road open space should be left in its natural wooded state, be allowed to revert to that state, or remain as farmland or grassland.	-		N/A
3.1.5 Open space should connect with stream and rural road spaces and with each other.	-		N/A
3.1.6 Maximum lot coverage of buildings and parking lots shall not exceed 70%.	✓		Lot coverage of buildings and parking is 18.8%
3.2 General Landscape, Screening & Buffering			
3.2.1 Street trees on both sides of new public and private streets at a maximum separation of 30 feet apart, unless tree groupings (of equal quantity) are more practical.	✓		City code requirement.
3.2.2 Preserve or replace hedgerows on rural roads and arterials. Within rural road setback, provide 4 trees/100 lineal feet in natural hedgerow manner. Mix of 2" caliper trees.	P		The applicant has requested to move the required landscaping along the front setback to the north side of the property. The reasoning for this is for pedestrians and vehicles to be able to see emergency vehicles exiting the site.
3.2.3 Landscaping within the setback along roadways should appear natural in character.	P		Landscape plans for this subarea are subject to review and approval by the City Landscape Architect. The applicant has requested to move the required landscaping along the front setback to the north side of the property. The reasoning for this is for pedestrians and vehicles to be able to see emergency vehicles exiting the site.
3.2.4 Site layout should avoid unnecessary destruction of wooded areas. Attempt to preserve existing trees and tree rows.	✓		The applicant proposes to preserve the wooded area on the north side of the property and.
3.2.5 Landscape designs reviewed by registered landscape designer or architect.	✓		Landscaping was reviewed by the city's landscape architect.
3.2.6 Minimum size at installation shall be 2" caliper for deciduous shade and ornamental trees and 6' high for evergreen trees. Landscaping requirements may be waived if healthy plant material within the setback area is preserved.	✓		The proposed landscape plan shows deciduous trees at a 2.5" minimum and 6' high for evergreen trees.
3.2.7 Headlight screening of parking lots should be a minimum of 4 feet high.	✓		Headlight screening required by code and shown on the proposed landscaping plan.
3.2.8 Mounding for screening purposes are usually 4' foot high having a 3:1 slope beginning at the setback line, a 5' wide crest, and sloping gently to the R.O.W. line. Mounds should be landscaped with a mix of shrubs, deciduous, evergreen, and ornamental trees.	P		City code requirements and landscape design guidelines contain mounding requirements for this site however, the landscape guidelines allow for flexibility, and the applicant is not providing mounding along New Albany-Condit Road for safety reasons.
3.3 Lighting			
3.3.1 Fully shielded, cut-off lighting used.	✓		The applicant provided lighting specs showing full shielded, cut-off lighting.
3.3.2 Security lighting is "motion sensor" type.	✓		Shown as motion censored.
3.3.2 Outdoor light poles do not exceed 30 feet.	✓		Outdoor light poles do not exceed 30 feet.
3.3.4 All wiring is underground.	✓		All new utilities shall be installed underground.
3.3.5 All external outdoor lighting fixtures are similar.	✓		Lighting spec sheets show similar lighting fixtures.
3.3.6 Ground mounted lighting is shielded and landscaped.	?		Ground mounted lighting is not shown in the plans.
3.4 Roadways			

3.4.1 Roadways should follow the Roadway Plan.	✓	-	The developer is required to dedicate property to the City as right-of-way for a distance of 50 feet as measured from the centerline of New Albany-Condit Road. This meets the Roadway Plan.
3.4.2 Appropriateness of street light fixture, type, and light level of the luminaire.	-		N/A
3.4.3 Size and use of streets should be consistent with Accord.	✓	-	The developer is required to dedicate property to the City as right-of-way for a distance of 50 feet as measured from the centerline of New Albany-Condit Road
4.0 District Development Standards	Yes	No	Comments
4.1 Office			
4.1.1 The office zones are envisioned as campus-style suburban office development where greens and landscaping play a prominent role in public open space delineation.	✓		Green setbacks from adjacent properties and roadways are in place.
4.1.2 Office uses and other significant employment and revenue producing uses are permitted in this district.	-		N/A This is not a typical office use and is a public safety use.
4.1.2 Buildings should front major roadways with parking located behind the buildings.	P		The city's Design Guidelines and Requirements require buildings to have active and operable doors along public right-of-ways and cannot back onto streets. Parking may be located in front of the building.
4.1.3 Building arrangements should provide convenient and safe pedestrian connections between buildings and parking lots, and other civic or public uses.	✓		The applicant is proposing sidewalks within the parking areas and a pedestrian connection from the site to the leisure trail.
4.1.4 Permitted Base Density is 10,000 square feet per acre; with bonus up to 12,000 sf.	-		N/A
Streets			
4.1.5 Streets within the Office District should be two-way.	✓		City's Strategic Plan Business Park Roadway Characteristics call for 2-4 lanes
4.1.6 On-street parking is discouraged.	✓		None proposed
4.1.7 Sidewalks should be provided to encourage walking and should be setback a minimum of 10 feet from the street.	✓		City code requires sidewalks or leisure trail along all streets. City code requires an 8-foot-wide leisure trail along the New Albany-Condit Road frontage of the site.
4.1.8 Street trees should be provided on both sides of the street at a minimum of 40 feet on center.	✓		Zoning text requires street trees to be provided at a minimum of 30 feet on center line.
4.1.9 Streets should connect with each other. Cul-de-sacs are discouraged	-	-	No proposed streets
Parking			
4.1.10 Primary parking should be located behind office buildings and not between the primary street and the office buildings. Minimal short-term visitor and "drop-off" parking can be provided at the front of the building.	P		The site does include some parking in the front which is appropriate for this type of use.
4.1.11 Parking lots between buildings should be interconnected to encourage parking areas shared among buildings to reduce paved areas.	-		Shared parking is not appropriate for a fire station because it is an essential emergency service that requires immediate, unhindered access to all parking and circulation areas at all times. Fire personnel must be able to respond without delay, and any shared use could obstruct vehicle movement, compromise response times, or create safety concerns for both staff and the public.
4.1.12 Parking areas should be screened from view by evergreen landscape materials or masonry walls to a height of no less than four feet.	P		The parking lot landscaping requirements of C.O. 1171.06 apply to this zoning district which requires a minimum parking areas to be

			screened from public rights-of-way with a minimum 3.5 foot tall landscape hedge.
4.1.13 Parking areas located behind buildings should include curbed landscape spaces with deciduous trees. These landscaped areas shall amount to not less than five percent of the vehicular use area and be evenly distributed throughout the parking area to minimize the visual impact of the parking areas.	✓		Zoning code requirements require 5% of parking lot landscaping.
4.1.14 Use of non-automotive transportation such as walking and bicycling is encouraged. Bicycle parking should be convenient, covered and located near all building entrances.	P		Proposed site plan shows leisure trails to encourage walking and biking. The plan does not show bicycle parking.
4.1.15 The maximum amount of parking permitted is one space per 250 square feet.	✓		The city's codified ordinance does not indicate required parking for Fire Stations and thus, the Planning Commission will have discretion as to how many parking spaces is sufficient for this use. With the building being 9,125 square feet, maximum parking is 37 spaces and the applicant is providing 20.
Civic / Public Space			
4.1.16 Office buildings should be setback from the primary street right-of-way a minimum of 50 feet to maintain a natural greenway as a visual amenity.	✓		Front building setback is 125 feet from the New Albany-Condit Road right-of-way line.
4.1.17 Common open spaces or greens that are framed by buildings and that create a "campus-like" office environment are encouraged.	✓		The city's Design Guidelines and Requirements encourages this type of development and the site plan proposes significant open space around the fire station.
Site Orientation			
4.1.18 Buildings should be orientated to front the primary public roadways.	✓		The city's Design Guidelines and Requirements requires primary entrance to be significantly prominent and will address whichever street is its front door.
4.1.19 All lots should front on public or private roads.	✓		Required by city's Design Guidelines and Requirements.
4.1.20 When open space between buildings occurs, pedestrian connections shall be established between the rear parking area and the sidewalk in the front of the building.	✓		The site includes a pedestrian connection internal to the site from the proposed leisure trail.
Architecture			
4.1.21 Buildings should be sited in relationship to each other to provide convenient pedestrian connections between each building, to parking, and to any other civic or public uses within convenient walking distances.	✓		The proposed development includes convenient pedestrian connections to the parking lots and the proposed leisure trail.
4.1.22 The maximum building height is three stories, not to exceed 65 feet in height.	✓		The proposed fire station is two stories in height.
4.1.23 Any side of a building that faces a public right-of-way or green shall be of compatible materials and style as the other sides of the building.	✓		Required by city's Design Guidelines and Requirements and the proposed elevations show compatible materials and style on all four sides of the building.



Community Development Planning Application

Submission	Submit planning applications and all required materials via email to planning@newalbanyohio.org																									
	Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.																									
Project Information	Site Address _____																									
	Parcel Numbers _____																									
Project Information	Acres _____ # of lots created _____																									
	<table border="1"><thead><tr><th>Choose Application Type</th><th>Description of Request:</th></tr></thead><tbody><tr><td><input type="checkbox"/> Appeal</td><td><input type="checkbox"/> Extension Request</td></tr><tr><td><input type="checkbox"/> Certificate of Appropriateness</td><td><input type="checkbox"/> Variance</td></tr><tr><td><input type="checkbox"/> Conditional Use</td><td><input type="checkbox"/> Vacation</td></tr><tr><td><input type="checkbox"/> Development Plan</td><td></td></tr><tr><td><input type="checkbox"/> Plat</td><td></td></tr><tr><td><input type="checkbox"/> Lot Changes</td><td></td></tr><tr><td><input type="checkbox"/> Minor Commercial Subdivision</td><td></td></tr><tr><td><input type="checkbox"/> Zoning Amendment (Rezoning)</td><td></td></tr><tr><td><input type="checkbox"/> Zoning Text Modification</td><td></td></tr></tbody></table>	Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	<input type="checkbox"/> Extension Request	<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Variance	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Vacation	<input type="checkbox"/> Development Plan		<input type="checkbox"/> Plat		<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification						
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Signature	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																									
	Signature of Owner _____ Date: _____ Signature of Applicant _____ Date: _____																									

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

November 20, 2025

Christopher Christian
Planning Manager
City of New Albany
99 W. Main Street
PO Box 188
New Albany, OH 43054

Re: Fire Station 122; Property Rezoning

Mr. Christian,

The following information is submitted on behalf of Plain Township to request a zoning variance for the proposed parcel. The following is noted in accordance with section 1111.03.

- a) Names, addresses, and phone numbers of the applicants and owners are listed on the application form.
- b) Refer to the proposed lot split exhibit. A certified address has not been established for the portions of the two lots, 222-005258 & 222-005259. Plain Township and The New Albany Company, LLC are currently in the process of transferring the deed to the property highlighted in red, as well as establishing a new, certified address. Since Plain Township is not yet the property owner, The New Albany Company, LLC has drafted a letter of consent to allow the submission for the rezoning of the property.
 - a. The legal description of the address is as follows below. Please note that the description comes from Franklin County Auditor and does not reflect the lot split.
 - i. NEW ALBANY CONDIT RD
 - ii. R16 T2 1/4T2
 - iii. 11.692 ACRES
- c) The current zoning classification is I-PUD - Infill Planned Unit Development District.
- d) The proposed classification is CF - Community Facilities District.
- e) A site plan is included.
- f) The property owners within 200 feet of the parcel are as listed below. Having a fire station near these properties will have a positive impact on the community, due to decreased emergency response times. When fire trucks exit the property during an emergency, traffic will be alerted, and stopped for a brief duration.
 - 1. North: The New Albany Company, LLC; 8000 Walton Parkway, Suite 120, New Albany, Ohio 43054
 - 2. Northeast: Alawad Bashar, 5660 Harlem Road, New Albany, Ohio 43054
 - 3. East: American Regent, Inc., 960 Crupper Road, Shirley, New York 11967

4. Southeast: TJX Companies, Inc., 770 Cochituate Road, Framingham Massachusetts 01701
 5. South: Discover Properties, LLC, 2500 Lake Cook Road, Riverwoods, Illinois 60015
 6. Southwest/West: Edged Columbus, LLC, 30 Old Kings Highway South, Suite 1005 Darien, Connecticut 06820
 7. Northwest: The City of New Albany; 8000 Walton Parkway, Suite 120, New Albany, Ohio 43054
- g) The proposed change will allow the development of the site and the construction of a new fire station for the community.
- h) No impact on the student population of the local school district(s) is anticipated due to this development.
- i) Deed restrictions are a condition of the deed transfer, and all developments on the site are subject to NACO's approval.
- j) A traffic study is underway.
- k) There is a total of 20 spaces on the proposed site plan split between two situated on opposite sides of the building. The west (back) side of the building, which is screened from the road, has 12 spaces which are programmed for fire station personnel. The substation will have 6 firefighters on call at a given time, working in 3 shifts, for a total of 18 firefighters. Thus, in this lot there is a need for a minimum of 6 spaces, plus additional spaces for the overlap of shifts. The east lot contains 8 parking spaces, and it is solely for accommodating visitors from the community. The number of visitor parking spaces was determined based on the typical community needs observed at other fire stations. Splitting the lots allows visitors to easily navigate to parking, and keeps the vehicles separated.
- l) Schorr Architects will provide any additional information by request.

Sincerely,

Schorr Architects, Inc.



Nathan Gammella
Project Executive



DEMOLITION LEGEND

- SAWCUT LINE
- CLEAR EX TREE LINE
- REMOVE GRAVEL

CODED NOTES

- REMOVE TREELINE
- REMOVE SILT FENCE FROM ADJACENT CONSTRUCTION AREA
- REMOVE GRAVEL
- REMOVE FIRE HYDRANT, CONNECTING FIRE LINE, AND WATER VALVE.

THE KLEINGERS GROUP
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
www.kleingers.com
350 Worthington Rd
Suite H
Westerville, OH 43082
614.882.4311

SEAL:

NO. DATE DESCRIPTION

PLAIN TOWNSHIP
FIRE STATION 122

PROJECT NO: 250458.000

DATE: 11-26-2025

SCALE:



SHEET NAME:

DEMOLITION PLAN

SHEET NO:

C103

PLAIN TOWNSHIP FIRE STATION 122

TBD

PO BOX 273, 45 SECOND ST
NEW ALBANY, OH 43054

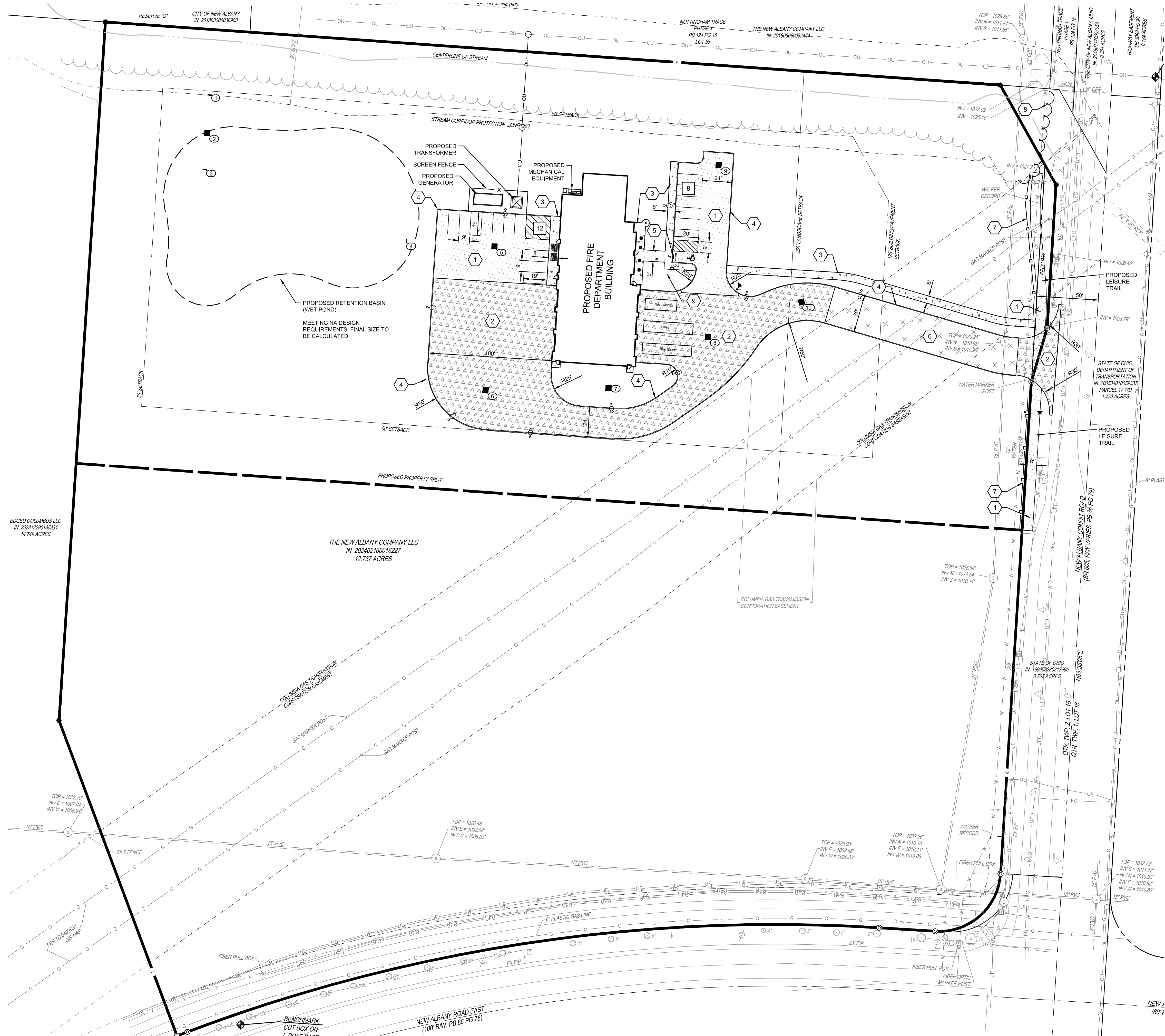
2347
PLAIN TOWNSHIP FIRE
STATION 122

REVISIONS

DEMOLITION PLAN

C103

SHEET ISSUED ON: 11.10.2025



- PROPOSED LEGEND**
- CATCH BASIN
 - CURB INLET
 - YARD DRAIN
 - HEADWALL
 - MANHOLE
 - STORM SEWER CLEANOUT
 - DOWNSPOUT
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - FIRE HYDRANT
 - WATER VALVE
 - POST INDICATOR VALVE
 - FIRE DEPARTMENT CONNECTION
 - LIGHT POLE
 - ASPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE WALK
 - HEAVY DUTY CONCRETE PAVEMENT
 - PARKING COUNT

- CODED NOTES**
- STANDARD DUTY ASPHALT
 - HEAVY DUTY CONCRETE PAVEMENT
 - EXTERIOR WALK
 - BARRIER CURB
 - ACCESSIBLE PARKING SIGN
 - HEAVY DUTY ASPHALT PAVEMENT
 - HORSE FENCE PER CITY'S STANDARD DETAIL
 - PROPOSED TREELINE
 - FLAGPOLE

- LOCATION PLAN NOTES:**
- ALL RADII ARE 5' TO FACE OF CURB UNLESS OTHERWISE NOTED
 - ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED



THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

www.kleingers.com
350 Worthington Rd
Suite 111
Westerville, OH 43082
614.882.4311

SEAL:

NO. DATE DESCRIPTION

**PLAIN TOWNSHIP
FIRE STATION 122**

PROJECT NO. 250458.000
DATE: 11-26-2025
SCALE:
0 20 40 80
SHEET NAME:
LOCATION PLAN
SHEET NO.
C104

PLAIN TOWNSHIP FIRE STATION 122

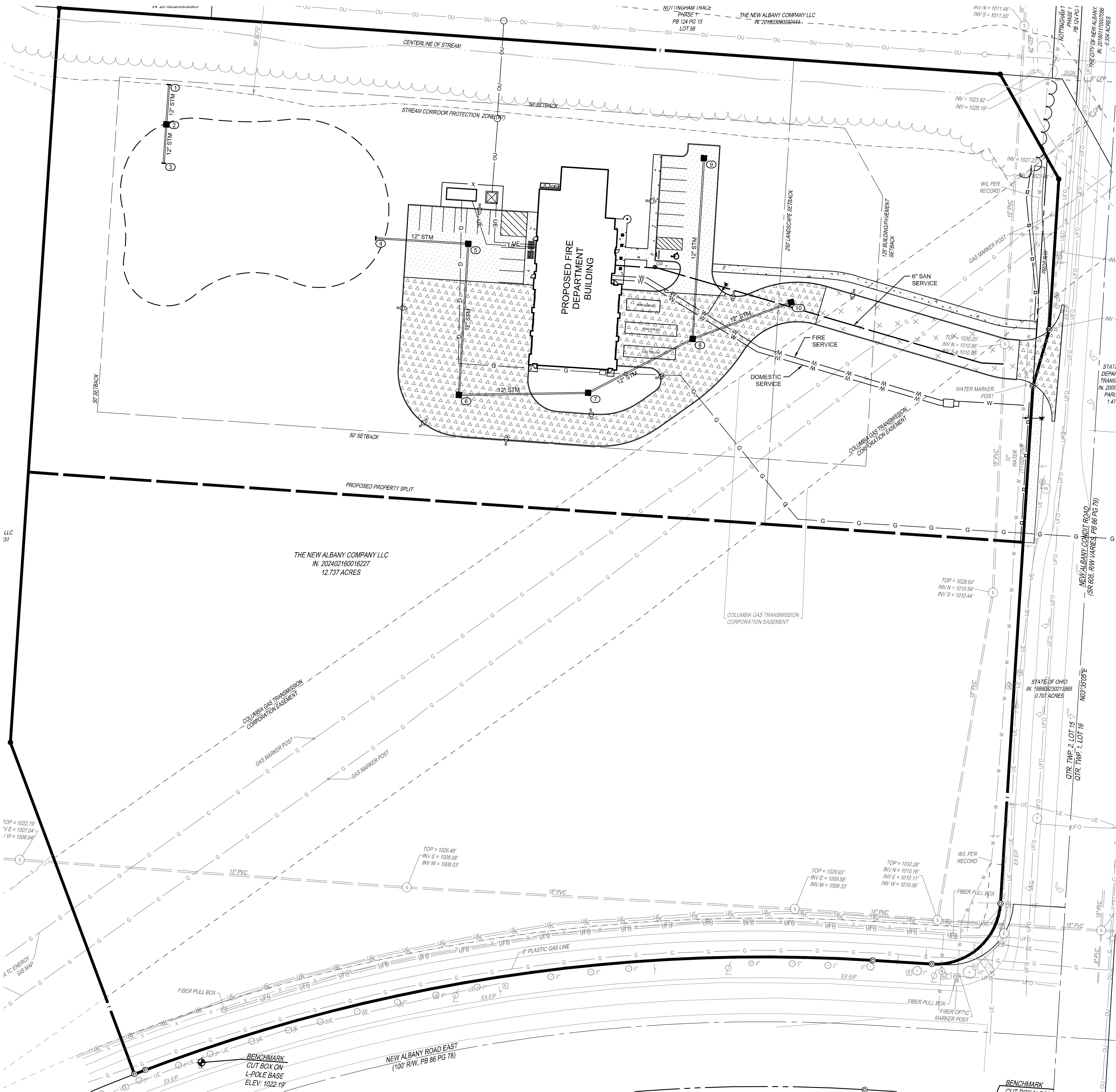
PO BOX 273, 45 SECOND ST
NEW ALBANY, OH 43054

2347
PLAIN TOWNSHIP FIRE
STATION 122

REVISIONS

LOCATION PLAN

C104



- PROPOSED LEGEND**
- STM STORM SEWER PIPE
 - 100 CATCH BASIN
 - 100 CURB INLET
 - 100 YARD DRAIN
 - 100 HEADWALL
 - 100 MANHOLE
 - 100 STORM SEWER CLEANOUT
 - 100 DOWNSPOUT
 - SAN SANITARY SEWER PIPE
 - 100 SANITARY SEWER MANHOLE
 - 100 SANITARY SEWER CLEANOUT
 - WAT WATERLINE PIPE
 - 100 FIRE HYDRANT
 - 100 WATER VALVE
 - 100 POST INDICATOR VALVE
 - 100 FIRE DEPARTMENT CONNECTION



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**PLAIN TOWNSHIP
FIRE STATION 122**

PROJECT NO: 250458.000
DATE: 11-26-2025
SCALE:
0 20 40 80

SHEET NAME:
UTILITY PLAN

SHEET NO:
C105

PLAIN TOWNSHIP FIRE STATION 122

PO BOX 273, 45 SECOND ST
NEW ALBANY, OH 43054

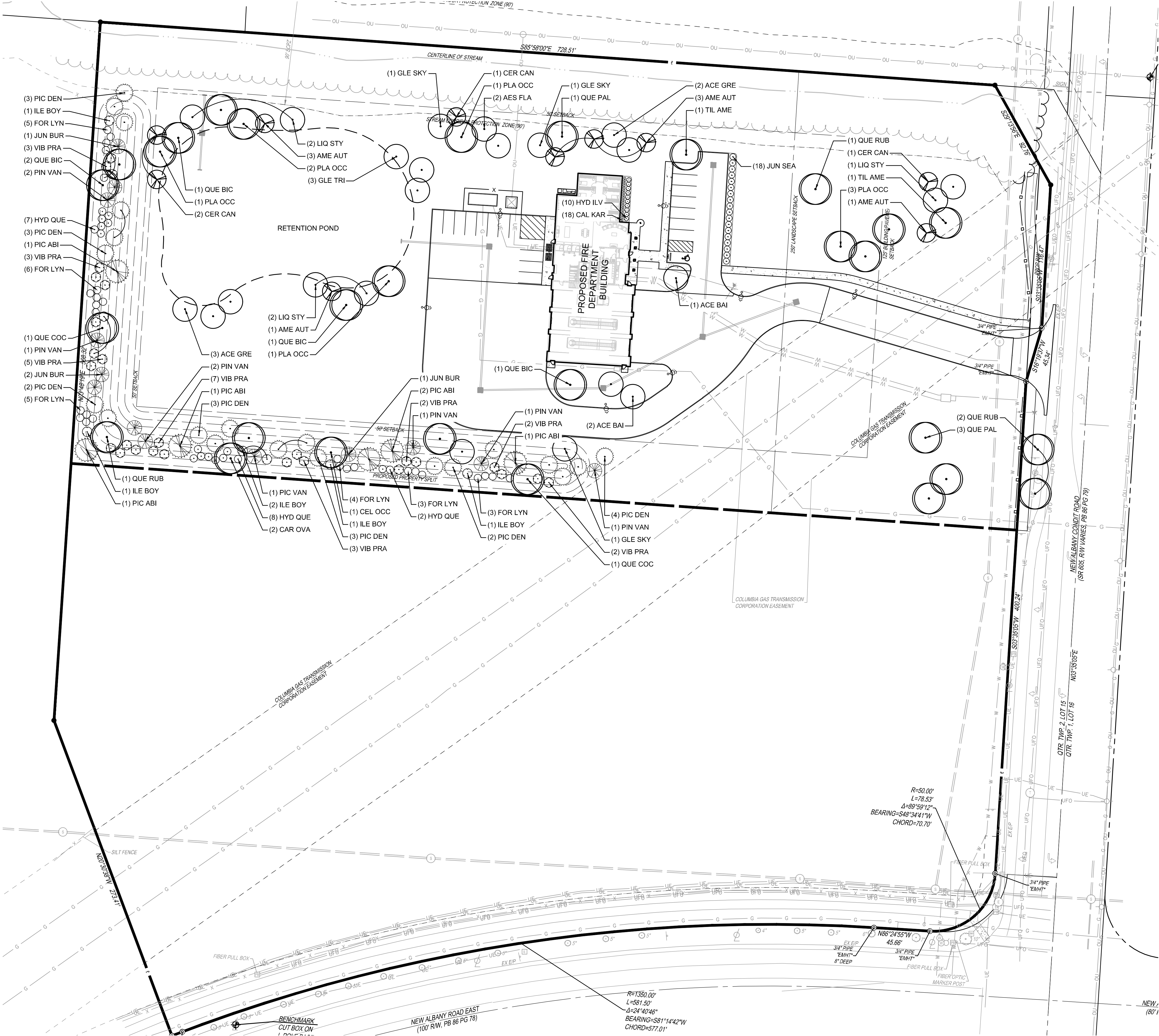
2347
PLAIN TOWNSHIP FIRE
STATION 122

REVISIONS

UTILITY PLAN

C105

SHEET ISSUED ON: 11-10-2025



- PLANTING NOTES**
1. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 2. CONTRACTOR SHALL VERIFY ALL PLANTING CONDITIONS FOR OBSTRUCTIONS, EXISTING TREE CANOPY COVERAGE, AND OVERHEAD ELECTRICAL POWER LINES PRIOR TO PLANTING. IF ADVERSE PLANTING CONDITIONS ARE OBSERVED, CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY.
 3. ALL SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, EDGED APPEARANCE.
 4. SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
 5. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED.
 6. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
 7. THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY ALIGNED AND SET PLUMB WITH PROPER RELATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED GRADE PRIOR TO PLANTING.
 8. ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED. IF SUBSTITUTIONS ARE APPROVED BY THE OWNER'S REPRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL CONFORM TO THOSE OF AMERICANHORT.
 9. PRIOR TO ORDERING PLANT MATERIAL, THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLAN, LABELS, AND PLANT SCHEDULE.
 10. SEE SHEET L102 FOR PLANT SCHEDULE AND PLANTING DETAILS.

LEGEND

	PROPERTY LINE	
	STANDARD CONCRETE TYP, SEE CIVIL DRAWINGS	
	DECIDUOUS TREE, TYP.	6 L102
	EVERGREEN TREE, TYP.	5 L102
	SHRUBS, PERENNIALS & ORNAMENTAL GRASSES, TYP.	2-4 L102
	EXISTING TREES TO REMAIN, PROTECT IN PLACE	

THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

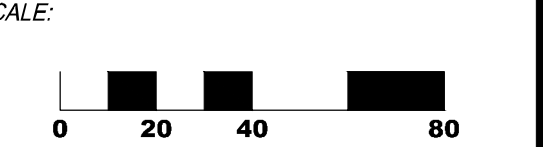
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SEAL:

NO.	DATE	DESCRIPTION

**PLAIN TOWNSHIP
FIRE STATION 122**

PROJECT NO: 250458.000
 DATE: 11-26-2025

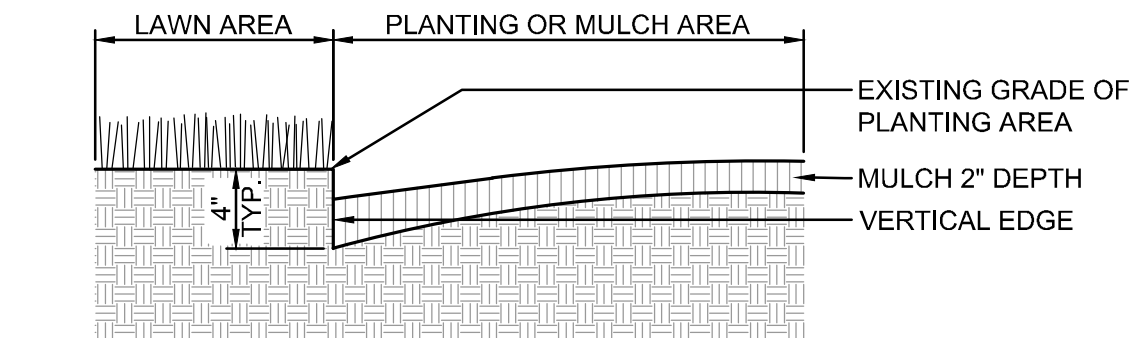


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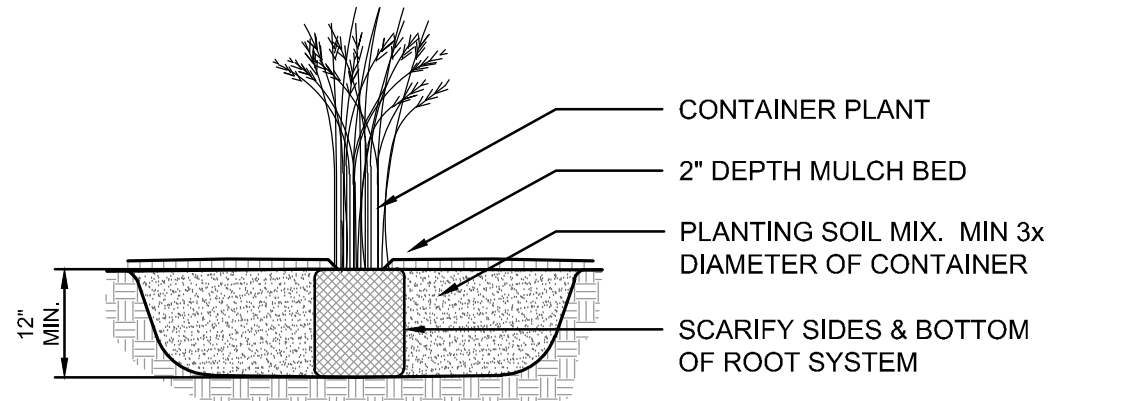
PLANTING PLAN

SHEET NO.

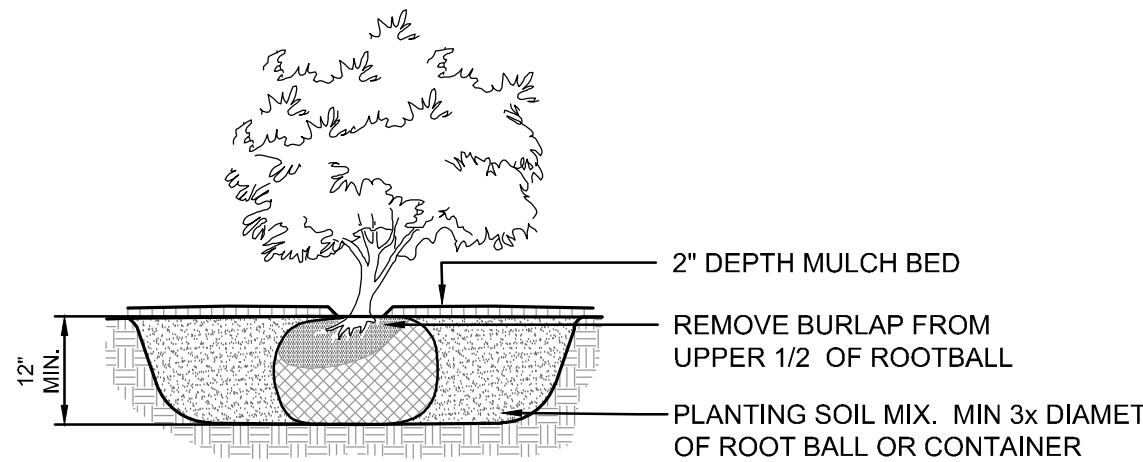
L101



1 PLANTING BED / TREE PIT EDGING DETAIL
N.T.S.

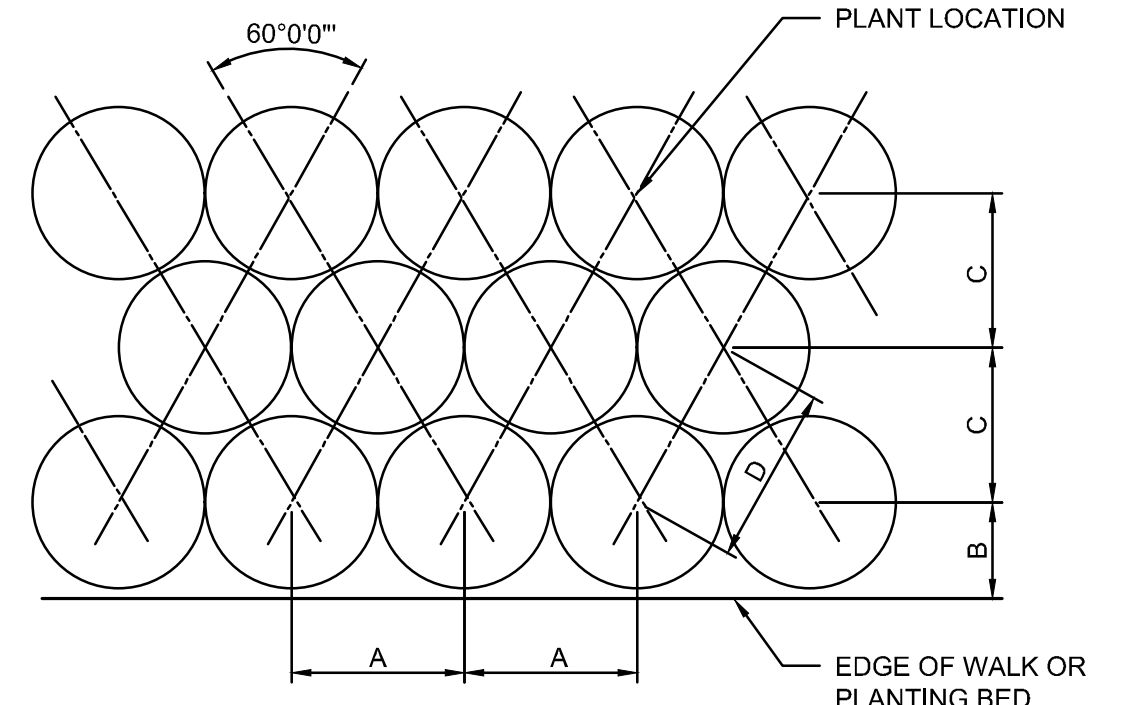


2 ORNAMENTAL GRASS PLANTING
N.T.S.

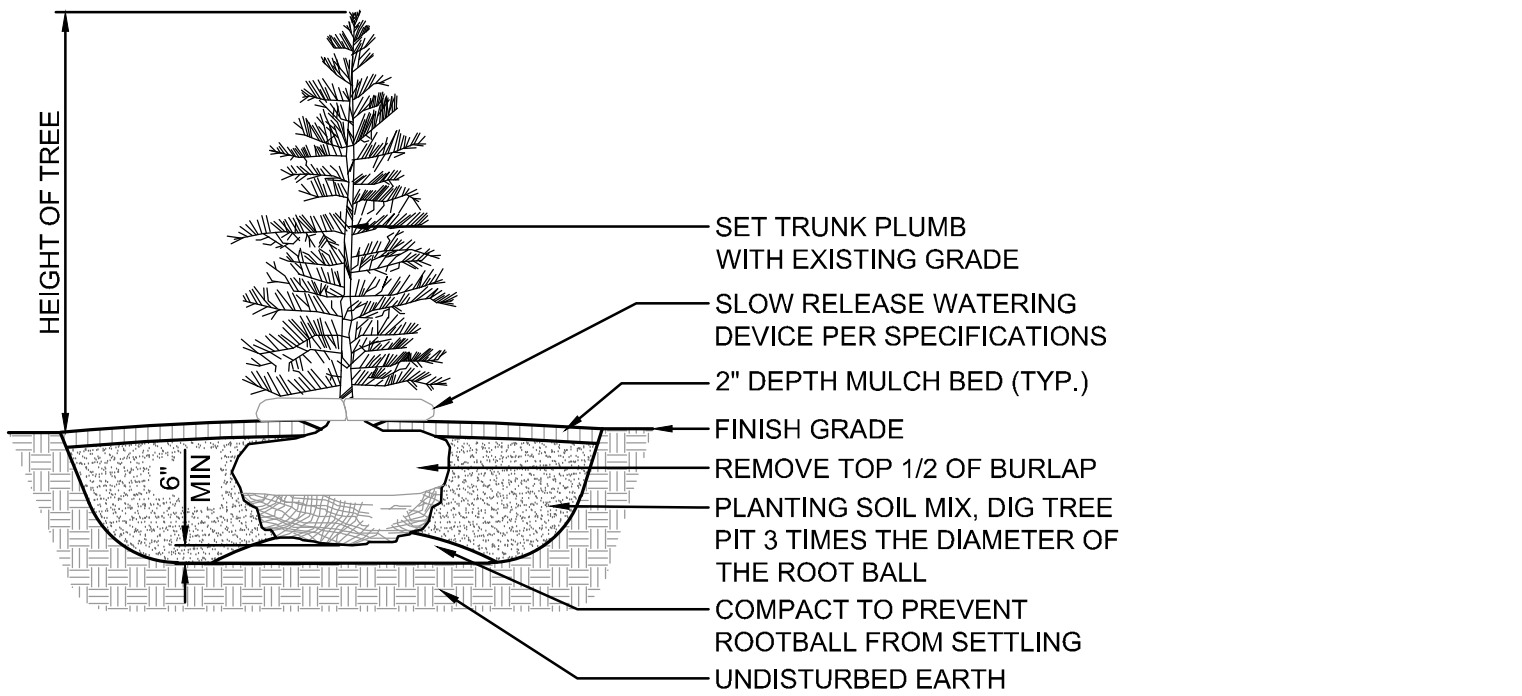


3 SHRUB PLANTING
N.T.S.

SPACING	A	B	C	D	
12"	12"	6"	10"	12"	A = SPACING B = SP/2 C = SP/1.2 D = SPACING
18"	18"	8"	15"	18"	
24"	24"	10"	20"	24"	
30"	30"	15"	25"	30"	
36"	36"	18"	31"	36"	
48"	48"	21"	41"	48"	

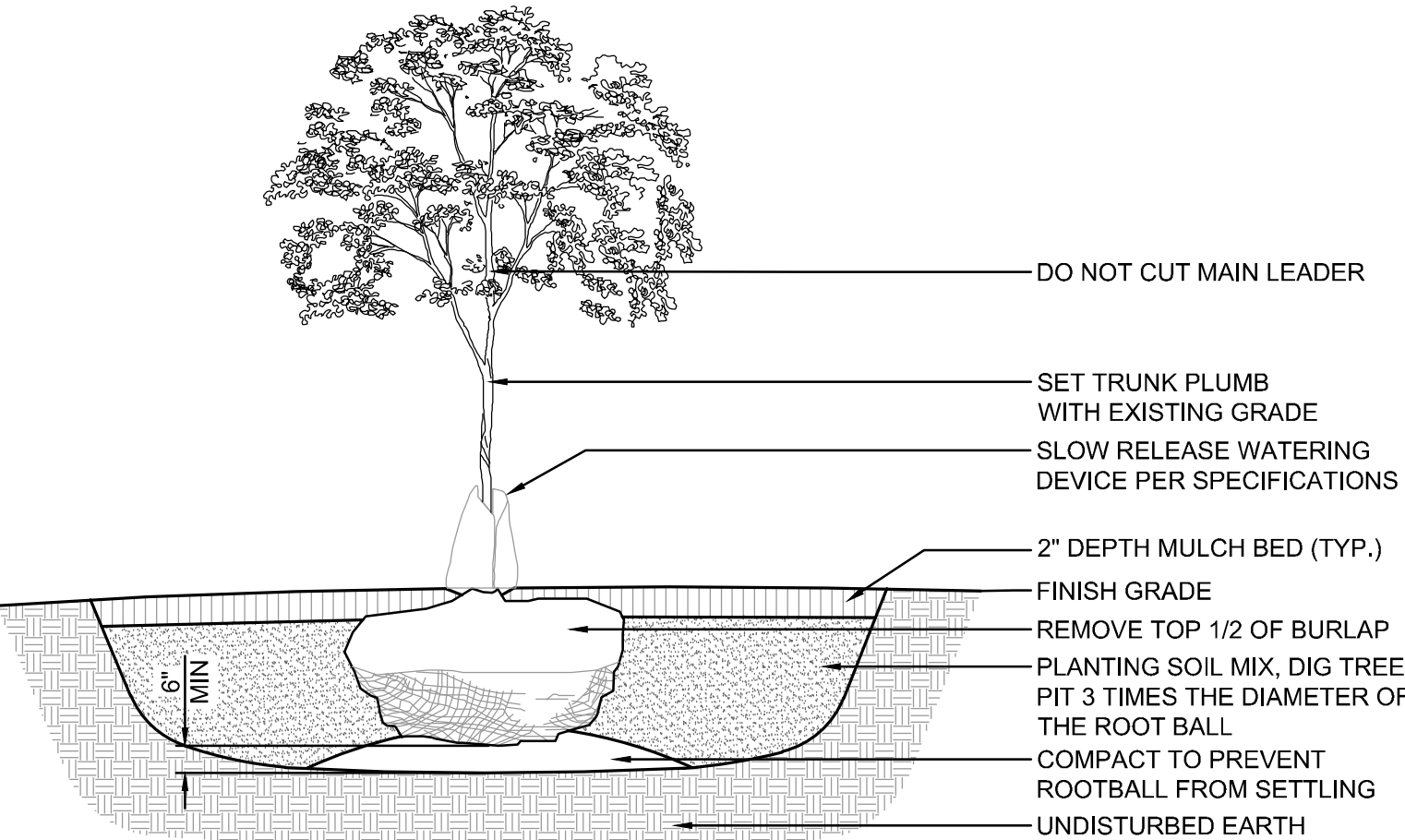


4 PLANT SPACING
N.T.S.



- NOTES:
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.
 2. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
 3. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY. DO NOT STAKE AND GUY TREES UNLESS NEEDED FOR STABILITY BASED ON SITE CONDITIONS OR A DIRECTED BY OWNER'S REPRESENTATIVE.

5 CONIFEROUS TREE PLANTING WITH WATERING DEVICE
N.T.S.



- NOTES:
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.
 2. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
 3. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.
 4. DO NOT STAKE AND GUY TREES UNLESS NEEDED FOR STABILITY BASED ON SITE CONDITIONS OR A DIRECTED BY OWNER'S REPRESENTATIVE.
 5. PROVIDE SLOW RELEASE WATERING DEVICE. ONE PER TREE. REFER TO SPECIFICATIONS.

6 DECIDUOUS TREE PLANTING WITH WATERING DEVICE
N.T.S.

LANDSCAPE ZONING REQUIREMENTS (NEW ALBANY ZONING CODE & DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE BUSINESS CAMPUS AT NEW ALBANY)

STREETSCAPE (1171.04)	REQUIRED	PROPOSED
STREET TREES	DECIDUOUS TREES INSTALLED AT 24' - 36' O.C. (3" CAL. MIN.) LOCATE TREES MINIMUM 15' FROM HYDRANTS / UTILITY POLES DO NOT LOCATE TREES WITHIN 25' SIGHT TRIANGLE AT INTERSECTIONS	STREET TREES PROPOSED AT 36' O.C. NO STREET TREES SHOWN WITHIN GAS EASEMENT

SITE LANDSCAPING (1171.05(e)(3))	REQUIRED	PROPOSED
LOT COVERAGE CALCULATIONS: BUILDING: 9,125 SF PAVEMENTS: 42,910 SF TOTAL LOT COVERAGE: 52,035 SF TOTAL LOT AREA: 276,608 SF 52,035 / 276,608 = 18.8% COVERAGE	PROVIDE 1 TREE FOR EVERY 5,000 SF OF GROUND COVERAGE AND A TOTAL TREE PLANTING EQUAL TO 25 INCHES + 0.5 INCH CALIPER FOR EVERY 4,000 SF OVER 50,000 SF IN GROUND COVERAGE 52,035 SF OF COVERAGE = 11 TREES WITH TOTAL CALIPER INCHES OF 25.5	11 TREES (2.5" CAL. MIN.)

PARKING LOT (1171.06)	REQUIRED	PROPOSED
SCREENING	PARKING LOTS SHALL BE SCREEN FROM PUBLIC RIGHTS-OF WAY WITH A 3'-6" HIGH EVERGREEN HEDGE	36" HIGH EVERGREEN HEDGE AT TIME OF INSTALLATION
INTERIOR LANDSCAPING	PROVIDE LANDSCAPE AREAS EQUAL TO A MINIMUM OF 5% OF THE TOTAL AREA OF PARKING LOT AREA 9,815 SF OF PARKING LOT = 491 SF OF LANDSCAPE AREA	574 SF OF LANDSCAPE AREA PROVIDED
PARKING LOT TREES	MIN. 1 TREE PER EVERY 10 SPACES (2.5" CAL. MIN.) 20 PARKING SPACES = 2 TREES	2 TREES

PERIMETER AREA	REQUIRED	PROPOSED
NEW ALBANY CONDIT ROAD (SR 605) (NCBZDLT, SECTION VII, B)	WITHIN THE 55' SETBACK, PROVIDE 3' - 12' HT. MIN. EARTH MOUND (6:1 SLOPE MIN.) + 10 DECIDUOUS / EVERGREEN TREES PER 100 LF OF ROAD FRONTAGE (70% OF TREES SHALL BE PLANTED ON THE ROAD SIDE OF THE MOUND) 297 LF - 118 (GAS EASEMENT) = 18 TREES	12 DECIDUOUS TREES + 6 TREES PLACED ELSEWHERE ON SITE NO MOUNDING PROVIDED
SIDE LOT LANDSCAPING (DECLARATION)	4' HT. MIN. EARTH MOUND + 5 DECIDUOUS / EVERGREEN TREES PER 100 LF + 2 DECIDUOUS SHRUBS PER TREE (80% OF THE SIDE LOT SHALL BE EVERGREEN TREES) NORTH PROPERTY LINE: EXISTING VEGETATION TO REMAIN WEST PROPERTY LINE: 359 LF = 18 TREES + 36 SHRUBS SOUTH PROPERTY LINE: 770 LF - 161 LF (GAS EASEMENT) = 31 TREES + 62 SHRUBS	WEST PROPERTY LINE: 15 EVERGREEN TREES + 3 DECIDUOUS TREES + 36 SHRUBS MOUNDING PROVIDED SOUTH PROPERTY LINE: 25 EVERGREEN TREES + 6 DECIDUOUS TREES + 42 SHRUBS MOUNDING PROVIDED EXCEPT AT SE CORNER

LANDSCAPE MATERIALS (NCBZDLT, SECTION VII, J)	REQUIRED	PROPOSED
PLANT SIZES	DECIDUOUS TREES: 2.5" MIN. CALIPER UNLESS OTHERWISE NOTED EVERGREEN TREES: 6' HT. MIN. + 1.5" MIN. CALIPER ORNAMENTAL TREES: 2" MIN. CALIPER SHRUBS / HEDGES: 30" HT. MIN.	PROVIDED

WET & DRY STORMWATER BASINS (1171.08(e))	REQUIRED	PROPOSED
TREES	LANDSCAPE TREATMENTS AT THE PERIMETER OF WET AND DRY STORMWATER BASINS SHALL BE DESIGNED EITHER WITH MAINTAINED TURF TO THE POND'S EDGE OR A NATURALIZED PLANTING OF NATIVE LANDSCAPE MATERIAL. THE LANDSCAPE PLANTINGS SHALL BE IN LARGE MASSES AND DRIFTS, AND SHALL NOT INCLUDE DECORATIVE LANDSCAPE BOULDERS, LARGE MULCH BEDS, OR SPECIMEN PLANTINGS.	TREE MASSINGS PROVIDED

PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES:					
ACE BAI	ACER SACCHARUM 'BAILSTA'	FALL FIESTA SUGAR MAPLE	2.5" CAL. MIN.	B&B	
ACE GRE	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2.5" CAL. MIN.	B&B	
AES FLA	AESCULUS FLAVA	YELLOW BUCKEYE	2.5" CAL. MIN.	B&B	
AME AUT	AMELANCHIER x GRANDIFOLIA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	7' HT. MIN.	B&B	MULTI-STEM
CAR OVA	CARYA OVATA	SHAGBARK HICKORY	2.5" CAL. MIN.	B&B	
CEL OCC	CELTIS OCCIDENTALIS	HACKBERRY	2.5" CAL. MIN.	B&B	
CER CAN	CERCIS CANADENSIS	REDBUD	2.5" CAL. MIN.	B&B	
GLE SKY	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5" CAL. MIN.	B&B	
LIQ STY	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	2.5" CAL. MIN.	B&B	
PLA OCC	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2.5" CAL. MIN.	B&B	
QUE BIC	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL. MIN.	B&B	
QUE COC	QUERCUS COCCINEA	SCARLET OAK	2.5" CAL. MIN.	B&B	
QUE PAL	QUERCUS PALUSTRIS	PIN OAK	2.5" CAL. MIN.	B&B	
QUE RUB	QUERCUS RUBRUM	RED OAK	2.5" CAL. MIN.	B&B	STREET TREES SHALL BE 3" CAL.
TIL AME	TILIA AMERICANA	AMERICAN LINDEN	2.5" CAL. MIN.	B&B	
EVERGREEN TREES:					
JUN BUR	JUNIPERUS VIRGINIANA 'BURKII'	BURK JUNIPER	6' HT. MIN.	B&B	PLANT 8" O.C.
PIC ABI	PICEA ABIES	NORWAY SPRUCE	6' HT. MIN.	B&B	PLANT AS SHOWN
PIC DEN	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	6' HT. MIN.	B&B	PLANT15' O.C.
PIN VAN	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	6' HT. MIN.	B&B	PLANT12' O.C.
SHRUBS:					
FOR LYN	FORSYTHIA x INTERMEDIA 'LYNWOOD GOLD'	LYNWOOD GOLD FORSYTHIA	30" HT. MIN.	B&B	PLANT 6' O.C.
HYD ILV	HYDRANGEA PANICULATA 'ILVOBO'	BOBO HYDRANGEA	24" HT. MIN.	CONT.	PLANT 3.5' O.C.
HYD QUE	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	30" HT. MIN.	CONT.	PLANT 6' O.C.
ILE BOY	ILEX x 'CHINA BOY'	CHINA BOY HOLLY	30" HT. MIN.	B&B	PLANT 8' O.C.
JUN SEA	JUNIPERUS x PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER	36" HT. MIN.	B&B	PLANT 5' O.C.
VIB PRA	VIBURNUM x PRAGENSE	PRAGUE VIBURNUM	30" HT. MIN.	B&B	PLANT 8' O.C.
PERENNIALS AND ORNAMENTAL GRASSES:					
CAL KAR	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	CONT.	PLANT 2' O.C.
TURFGRASS SEED: SEE SPECIFICATIONS					



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SEAL:

NO. DATE DESCRIPTION

PLAIN TOWNSHIP
FIRE STATION 122

PROJECT NO:	250458.000
DATE:	11-26-2025
SCALE:	

SHEET NAME:

PLANT SCHEDULE
& DETAILS


SHEET NO.

L102

FIRE SUBSTATION: SITE CONCEPT




- LEGEND
- 1. STAFF PARKING
 - 2. EXISTING TREE BUFFER TO REMAIN
 - 3. GAS LINE EASEMENT
 - 4. LANDSCAPE BUFFER
 - 5. RETENTION POND

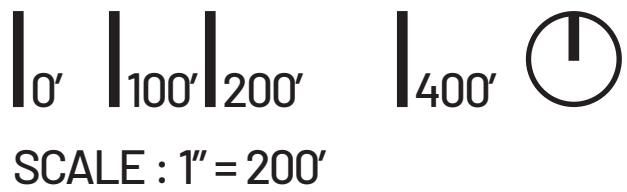
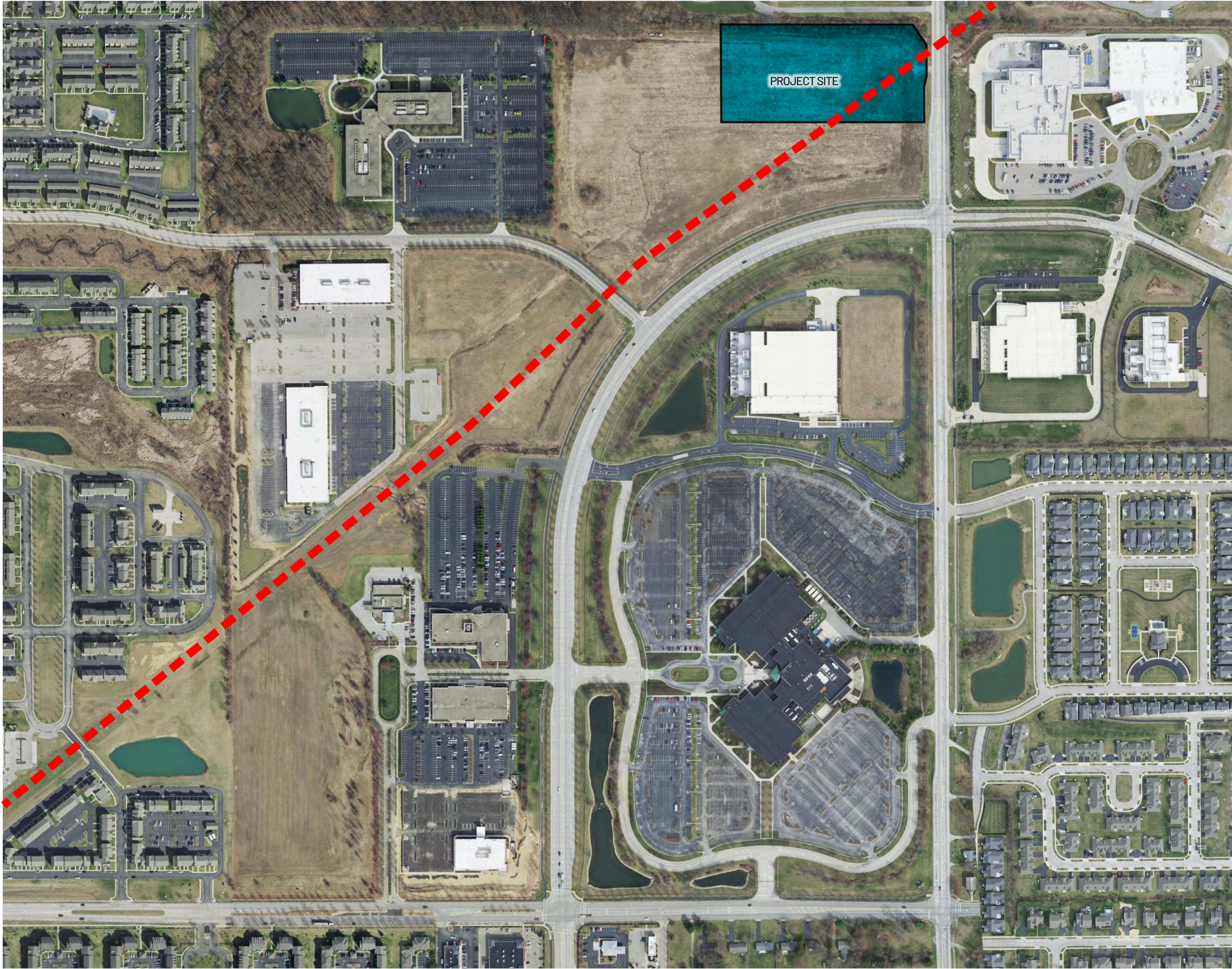
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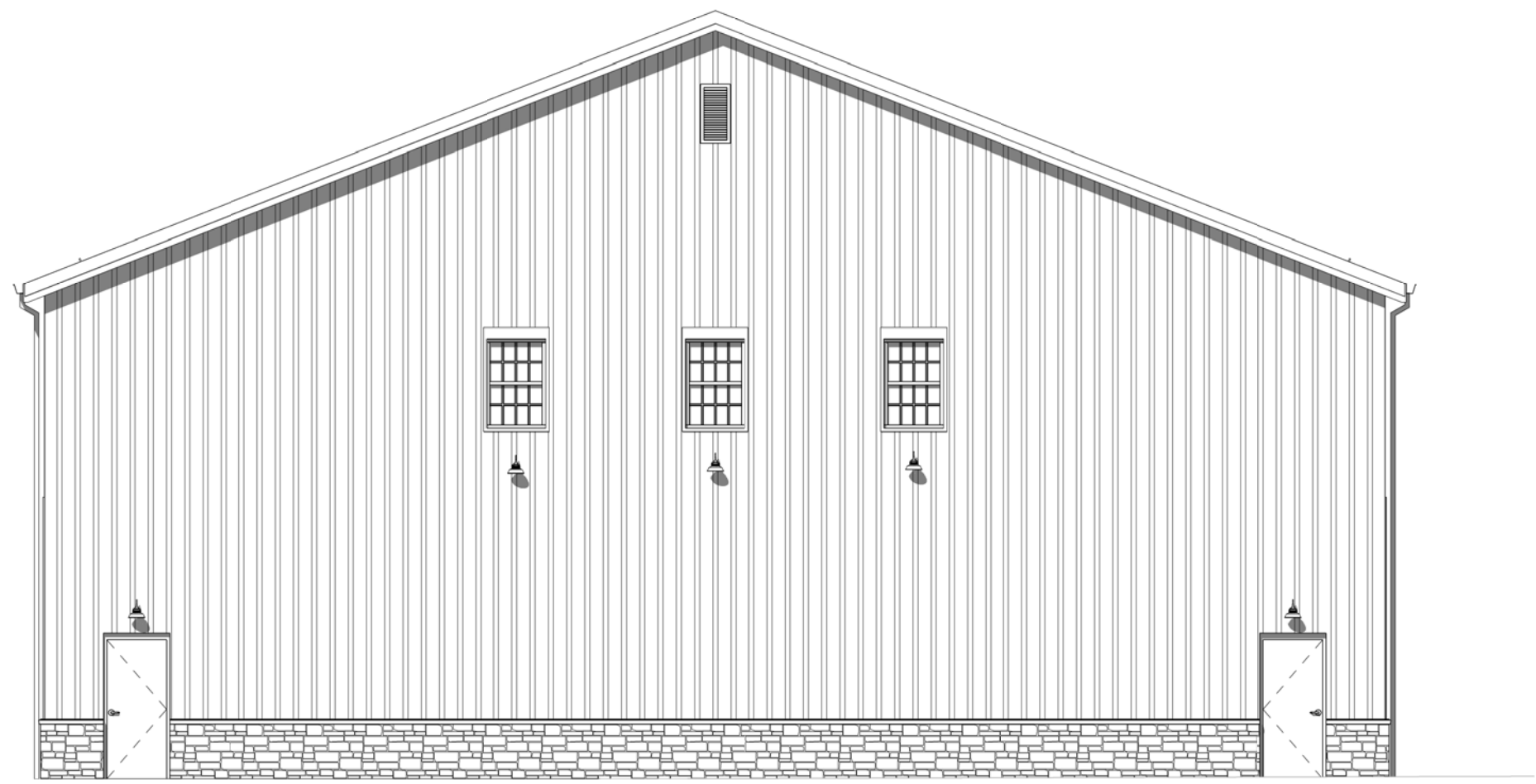
FIRE SUBSTATION: BUILDABLE AREA



10' 25' 50' 100' 
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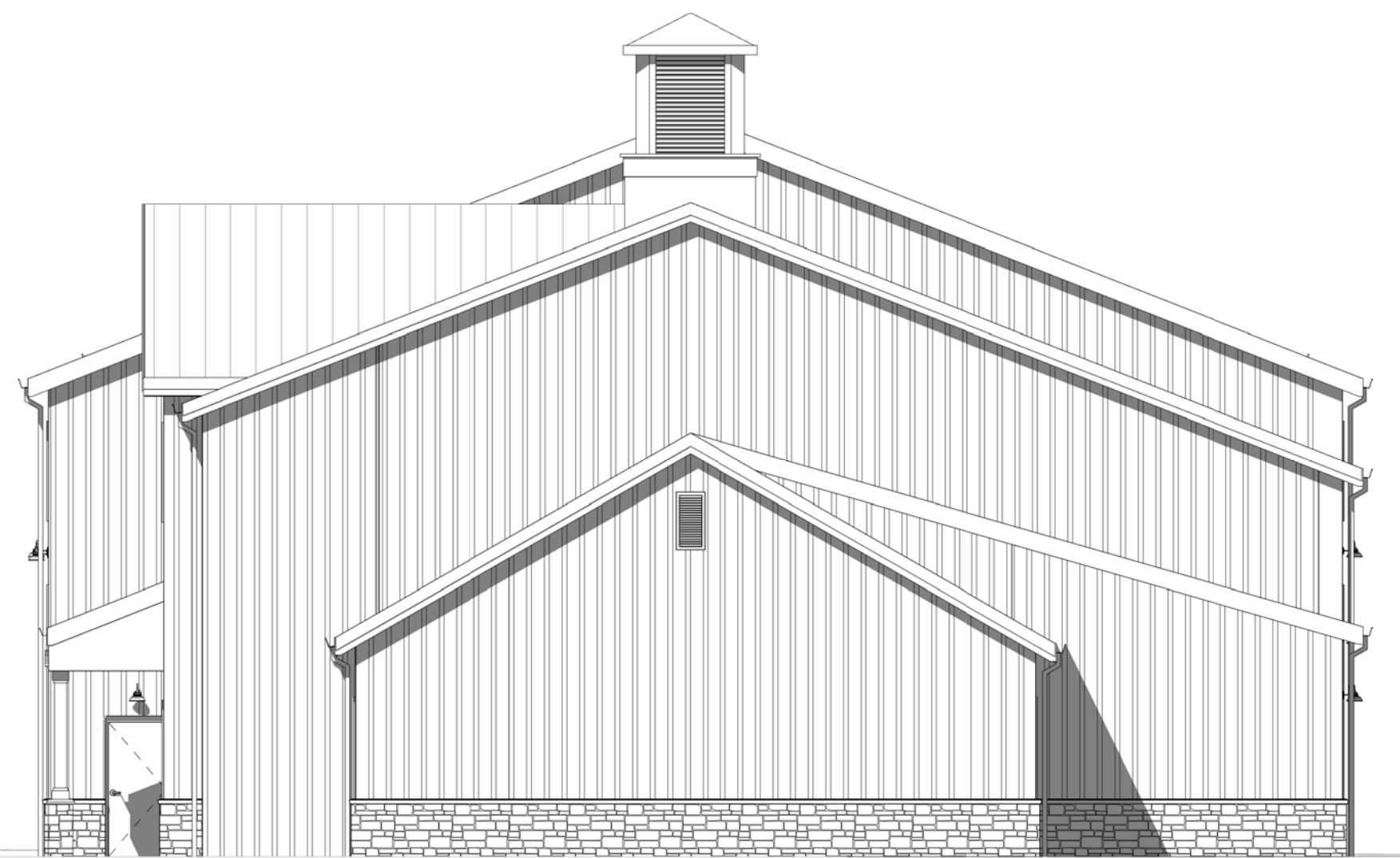
FIRE SUBSTATION: GAS EASEMENT





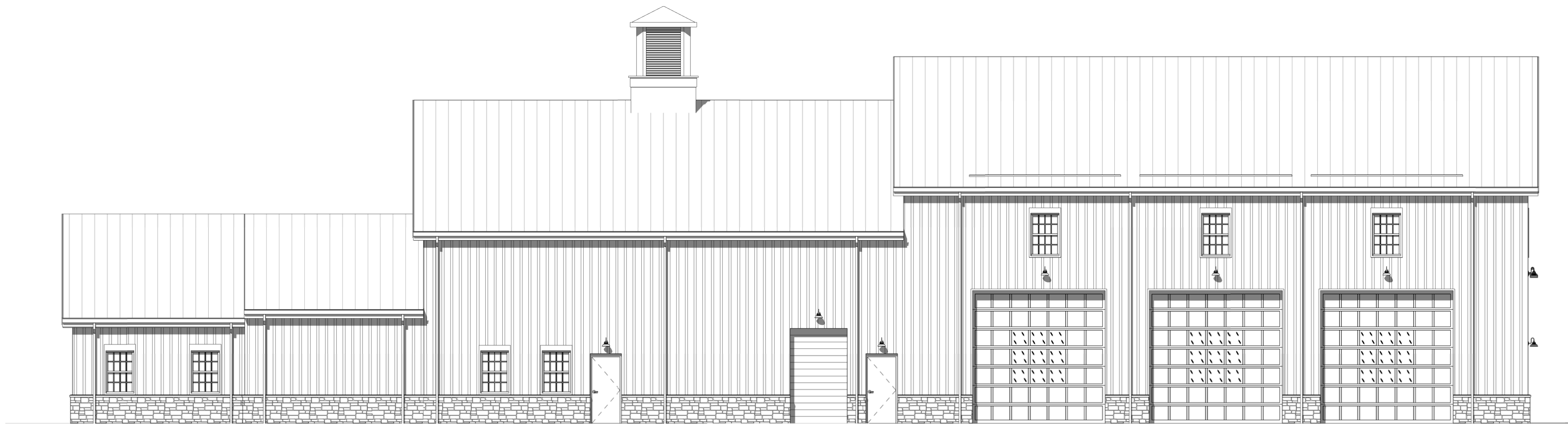
4 SOUTH ELEVATION

1/8" = 1'-0"



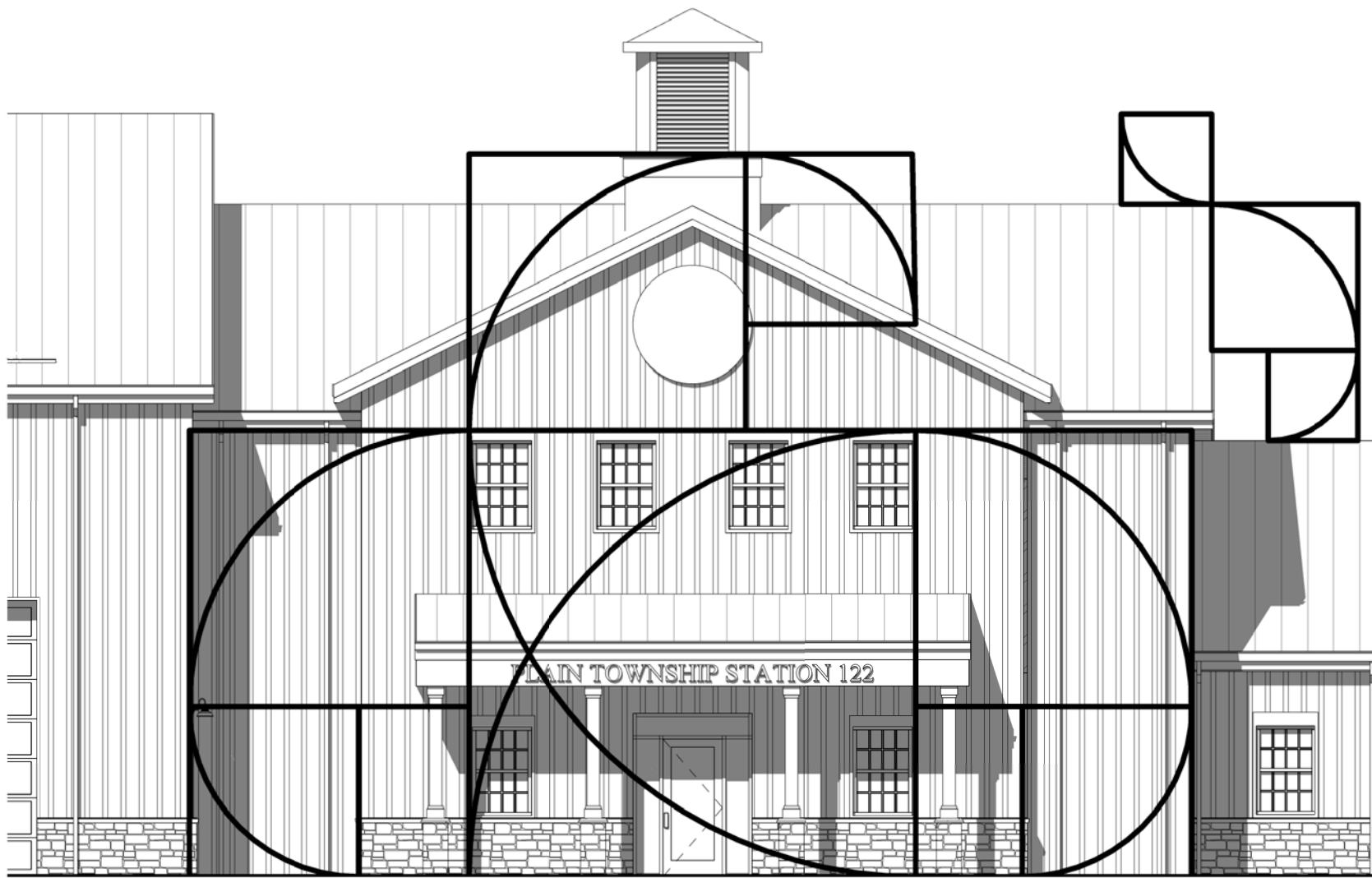
2 NORTH ELEVATION

1/8" = 1'-0"



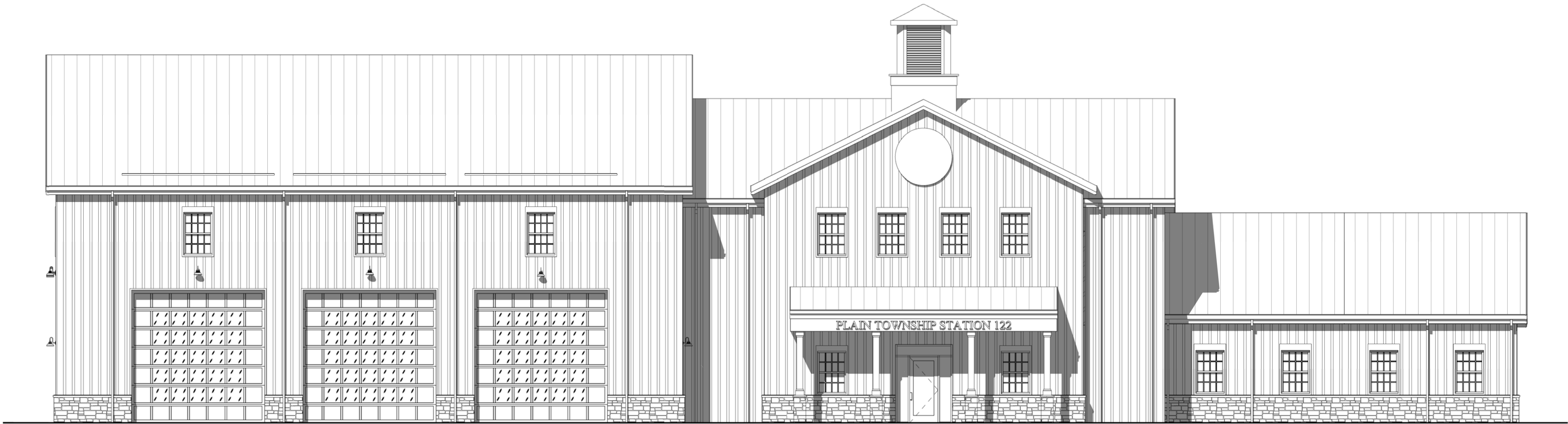
3 WEST ELEVATION

1/8" = 1'-0"



1.1 EAST ELEVATION

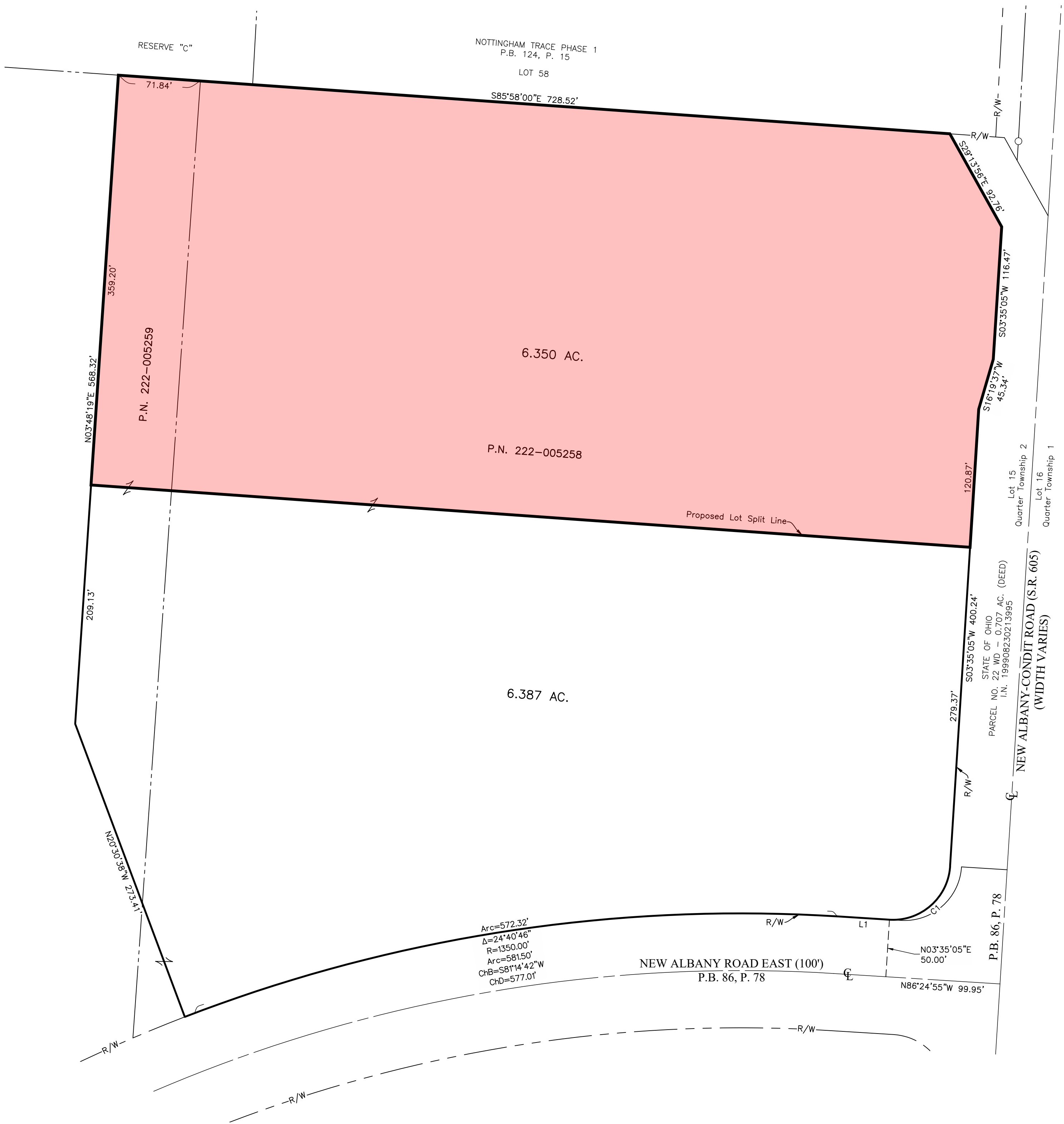
1/8" = 1'-0"



1 EAST ELEVATION

1/8" = 1'-0"

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Xrefs:



FIRE SUBSTATION: GAS EASEMENT

