



New Albany Planning Commission Meeting Amended Agenda

Wednesday, January 21, 2026, 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comments at New Albany Village Hall at 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

I. Call to order

II. Roll call

III. Action on minutes: December 15, 2025

IV. Additions or corrections to the agenda

Administration of oath to all witnesses/applicants/staff who plan to speak regarding an application on tonight's agenda. "Do you swear to tell the truth and nothing but the truth."

V. Hearing of visitors for items not on tonight's agenda

VI. Cases:

ZC-80-2025 Fire Station Rezoning

Request for a zoning change from Limited General Employment (L-GE) to Community Facilities (CF) to allow for a proposed fire station on 6.350+- acres of land generally located at the northwest intersection of State Route 605 and New Albany Road East (Parcel ID: portion of 222-005258).

Applicant: Schorr Architects c/o Nathan Gammella

Presented by Sierra Saumenig

Motion of acceptance of staff reports and related documents into the record for ZC-80-2025.

Motion of approval for application ZC-80-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval.

VAR-98-2025 7108 Armscote End Pool Setback Variance

Request for a variance from the West Nine 2 Zoning Text, Subarea C (6)(d)(vii), to reduce the required pool setback from any property line at 7108 Armscote End (PID: 222-004853).

Applicant: Steve Kidwell

Presented by Kylie Blackburn

Motion of acceptance of staff reports and related documents into the record for VAR-98-2025.

Motion of approval for application VAR-98-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval.

FDP-97-2025 CME Credit Union FDP Extension

Request to extend approval of the final development plan for a CME Credit Union on 2.03+/- acres generally located at the intersection of Beech Road and Smith's Mill Road (PID: 093-106512-00.011).

Applicant: Tom Newcomb

Presented by Lauren Sauter

Motion of acceptance of staff reports and related documents into the record for FDP-97-2025.

Motion of approval for application FDP-97-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval.

CU-104-2025 The Courtyards at Haines Creek Model Home Conditional Use

Request for conditional use approval of a model home on lot 102 for The Courtyards at Haines Creek on 0.31+/- acres at 5535 Wooster Drive (PID: 222-005486).

Applicant: Kelly Fankhauser c/o Epcor Haines Creek, LLC

Presented by Jay Henderson

Motion of acceptance of staff reports and related documents into the record for CU-104-2025.

Motion of approval for application CU-104-2025 based on the findings in the staff report, with the conditions listed in the staff report, subject to staff approval.

VII. Other business**VIII. Poll members for comment****IX. Adjournment**



New Albany Planning Commission
Monday, December 15, 2025 Meeting Minutes - DRAFT

I. Call to order

The New Albany Planning Commission held a regular meeting on Monday, December 15, 2025 in the New Albany Village Hall. Chair Kirby called the meeting to order at 7:02 p.m. and asked to hear the roll.

II. Roll call

Those answering the roll:

Mr. Schell	present
Mr. Kirby	present
Mr. Wallace	present
Ms. Briggs	present
Mr. Larsen	present
Council Member Wiltrot	present

With all voting members present, the commission had a quorum to transact business.

Staff members present: Law Director Albrecht, Planner I Henderson, Planner II Saumenig, Development Engineer Wood, Deputy Clerk Madriguera.

III. Action on minutes: December 1, 2025

Chair Kirby made the following correction to the minutes. On page three, condition seven for ZC-78-2025 should read as follows:

7. Parking should go no further east than the east face of the existing accessory structure.

Commissioner Wallace made the following additional corrections to the minutes:

On page four it was Commissioner Wallace who seconded the motion to approve ZC-78-2025.

On page four, Commissioner Wallace's explanation for his no vote should read as follows:

Commissioner Wallace explained that he voted no because he did not find that the request meets the *Duncan* requirements; and the request is not compatible with adjacent uses. He further found that although conditions of approval are not unusual, the seven conditions imposed on an application like this one demonstrate that the request is unsuitable at this time.

On page six, in the third paragraph attributed to Mr. Rubey, the word "eminent," should be "imminent."

On page six, in the second to last paragraph attributed to Mr. Rubey the time should be 9:30.

On pages five and seven regarding the modification to condition three on ZC-ZC-94-2025. Condition three should be modified as follows:

3. Modified to reflect the following, The riparian corridor and wetlands will be established subject to staff approval, and then staff will approve all trees proposed for removal based on those areas that are established.

IV. Additions or corrections to the agenda

Deputy Clerk Madriguera congratulated Commissioner Schell on his recent election to the Plain Township Board of Trustees. Plain Township is fortunate to have him, and their good fortune is New Albany's loss. Hans' service has been exemplary and he will be missed.

Council Member Wiltrot congratulated Commissioner Schell and stated that she has learned so much and feels that she has watched him shepherd the commission through many difficult decisions. The city council is grateful to Hans and has confidence that he will continue to provide great leadership for years to come. She wished him the very best with Plain Township.

Planner II Saumenig said that on behalf of the Planning Staff, Commissioner Schell was a pleasure to work with, his preparation and attendance was outstanding.

Chair Kirby asked whether there were any further additions or corrections to the agenda. Hearing none, he administered the oath and advised everyone that now was a good time to silence cell phones.

V. Hearing of visitors for items not on tonight's agenda

Chair Kirby asked whether there were any visitors present who wished to speak on an item not on the agenda. Hearing none, he introduced the first case and asked to hear from staff.

VI. Cases:

FDP-96-2025 Stack Data Center Final Development Plan

Final Development Plan for a new Stack Infrastructure data center on the east side of Souder Road (PID: 222-005106).

Applicant: Nicholas Ovens, EMHT

Planner: Jay Henderson

Planner I Henderson delivered the staff report.

Chair Kirby asked about the nature of the easement would it be for overhead lines, noting that overhead lines meander and ingress is not threatened and no new curb cuts are needed.

Applicant and Attorney Aaron Underhill responded that the easement is for overhead lines. He further spoke in support of the application. He explained that this use and the design is consistent with existing uses and designs in the business park. He stated that the applicants agreed with the conditions.

Commissioner Schell asked if there had been comments from the neighbors.

Planner I Henderson responded that there have been no comments from the neighbors.

Commissioner Briggs confirmed that final development plans is a type of application that requires neighbor notification.

Chair Kirby confirmed that the first condition did not diminish the amount of required regular street trees.

Commissioner Larsen asked that the first condition be modified to require “a minimum of 27 street trees,” rather a total of 27 street trees.

Commissioner Briggs further discussed the site plan, the landscaping, the existing facility, the location of the proposed data center, and the adjacent properties.

Commissioner Schell asked whether the trees on the site plan were existing or proposed.

The applicant stated that it is a mixture.

Chair Kirby asked whether there was anyone from the public was present to comment on the application.

Hearing none, Chair Kirby moved to accept the staff reports and related documents into the record for FDP-96-2025. Commissioner Schell seconded the motion.

Chair Kirby asked whether there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Kirby yes, Mr. Schell yes, Mr. Wallace yes, Mr. Larsen yes, Ms. Briggs yes. Having five yes votes, the motion passed and the staff reports and related documents were admitted into the record for FDP-96-2025.

Commissioner Schell moved for approval of FDP-96-2025 based on the findings in the staff report with the conditions in the staff report and the fifth condition displayed on the screen (see below), and the first condition being modified to require a minimum of 27 street trees and noting that this does not apply to other areas of landscaping

5. The applicant works with staff during the permitting stages to determine proper landscaping on the north side of the property due to the potential AEP easement.

Chair Kirby seconded the motion. He then asked if there was any discussion on the motion. Hearing none, he asked to hear the roll.

Upon roll call: Mr. Schell yes, Mr. Kirby yes, Mr. Wallace yes, Mr. Larsen yes, Ms. Briggs yes. Having five yes votes the motion passed and FDP-96-2025 was approved.

The commission thanked the applicant and wished him good luck.

VII. Other business

Noting that there was no other business scheduled, Chair Kirby polled the members for comment.

VIII. Poll members for comment

Commissioner Briggs congratulated Commissioner Schell on his recent election. She noted that he has been her seat mate on the commission and she thanked him for welcoming her and for showing her the ropes. She stated that he will be missed.

Commissioner Schell thanked each of the members of the commission. He further thanked the staff members by name for their professionalism. He remarked that the growth that the commission has seen in New Albany has been exponential. He complimented the talent and the high level of professionalism on the board. He considers the board lifelong friends.

Commissioner Kirby echoed the sentiments shared. He thanked Hans for his tremendous service and stated that he will be missed.

Commissioner Wallace added his congratulations stated that it was an absolute pleasure to work with Hans. He further complimented Hans on all of his service beyond the commission, and stated that Hans will be missed

Commissioner Larsen thanked Hans for all of his work on the board and for his service to New Albany. It was an absolute pleasure to work with him. Hans was leaving behind big shoes to fill, and he congratulated him for moving on to bigger service opportunities.

IX. Adjournment

Having no further business and having completed their agenda, Chair Kirby wished happy holidays to everyone and adjourned the December 15, 2025 regular meeting of the New Albany Planning Commission without objection at 7:23 p.m.

Submitted by: Deputy Clerk Madriguera, Esq.

Appendix FDP-96-2025

Staff Report Record of Action



Planning Commission Staff Report
December 15, 2025 Meeting

STACK DATA CENTER
FINAL DEVELOPMENT PLAN

LOCATION: Generally located east on Souder Road and north of New Albany Road East (PID: 222-005106)
APPLICANT: Nicholas Ovens, EMHT
REQUEST: Final Development Plan
ZONING: Infill Planned Unit Development (I-PUD): Souder East Research and Information District, subareas 2 & 3
STRATEGIC PLAN: Employment Center
APPLICATION: FDP-96-2025

Review based on: Application materials received November 17 and November 26, 2025

Staff report prepared by Jay Henderson, Planner I

I. REQUEST AND BACKGROUND

The application is for a final development plan for a proposed Stack Infrastructure data center generally located east on Souder Road and north of New Albany Road East on approximately 16.81 acres.

The Planning Commission reviewed and approved a variance to the development text to allow for an increase in building height from 45 feet to 55 feet on October 20, 2025 (VAR-72-2025).

This site is located within subarea 2 & 3 of the Souder East Research and Information I-PUD zoning district, which was reviewed and approved by the Planning Commission on July 7, 2008 (ZC-04-2008) and by City Council on July 15, 2008 (O-16-2008).

II. SITE DESCRIPTION & USE

The 16.81-acre property is currently undeveloped. The zoning text permits the uses included in the OCD (Office Campus District) zoning district found in the city code, including administrative, business, and professional offices, warehousing as an ancillary use, and data centers. The Nationwide data center is located east and south of the property, with vacant land to the north and Souder Road to the west. There are no residentially zoned properties immediately surrounding the site.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*

- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi- phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on the purpose and intent. Per Section 1159.02, PUD's are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*
- g. *Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;*
- h. *Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;*
- i. *Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;*
- j. *Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;*
- k. *Provide an environment of stable character compatible with surrounding areas; and*
- l. *Provide for innovations in land development, especially for affordable housing and infill development.*

Engage New Albany Strategic Plan Recommendations

The Engage New Albany Strategic Plan lists the following development standards for the Employment Center future land use category:

1. No freeway/pole signs are allowed.
2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
3. Plan office buildings within the context of the areas, not just the site, including building heights within development parcels.
4. Sites with multiple buildings should be well organized and clustered if possible.
5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
6. All office developments should plan for regional stormwater management.
7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of the road.
9. Combined curb cuts and cross-access easements are encouraged.
10. The use of materials, colors, and textures to break up large-scale facades is required.

A. Use, Site and Layout

1. The applicant is proposing a two-story 330,000 +/- sq. ft. Stack Infrastructure data center on the 16.81 +/- acre site. The proposed use is appropriate for this location in the New Albany Business Park and is a permitted use in the zoning text.
2. The Nationwide data center is located east and south of the property, with undeveloped land to the north and Souder Road to the west. There are no residentially zoned properties immediately surrounding the property.
3. C.O. 1165.06(b)(1) and (2) require an 8-foot-wide leisure trail to be installed along Souder Road, and it is being met as there is an existing 8-foot-wide leisure trail along the site's frontage.
4. Zoning text section III(E)(7) and IV(E)(7) states that the maximum lot coverage is 70% which includes all proposed pavement and buildings. The applicant states that the current lot coverage will be 47%; therefore, this requirement is met.
5. The required setbacks for the property are listed below:

Perimeter Boundary	Required Setback	Proposed Setback
Souder Road	30-foot building and pavement	123' +/- building setback [meets code] 60' +/- pavement setback [meets code]
Eastern Boundary	20-foot pavement setback 40-foot building setback	80' +/- building setback [meets code] 24' +/- pavement setback [meets code]
Northern Boundary	15-foot building and pavement	395' +/- building setback [meets code] 47' +/- pavement setback [meets code]
Southern Boundary	15-foot building and pavement	143' +/- building setback [meets code] 20' +/- pavement setback [meets code]

6. The applicant indicates that the onsite stormwater will be conveyed to an onsite stormwater basin west of the site, adjacent to Souder Road, and an underground detention system located under the parking lot south of the building.

B. Access, Loading, Parking

1. Zoning text section IV(G)(3) permits a maximum of one full-service curb cut on Souder Road within this subarea, and any additional curb cuts must be reviewed and approved by the Planning Commission as part of a final development plan application. The applicant proposes one curb cut along Souder Road, thereby meeting this requirement.
2. C.O. section 1167.05(d)(18) states that one off-street parking space is required for each employee on the main shift. The applicant is required to provide 45 parking spaces and

has proposed 49 spaces, exceeding the requirement. The proposed parking spaces will be located along the southern façade of the building.

3. C.O. 1167.06(a)(3) requires 1 off-street loading space. The applicant is providing an off-street loading space at the north end of the building.
4. Per C.O. 1167.03(a), the minimum parking space dimensions required are 9 feet wide and 19 feet long, and the applicant is meeting this requirement.
5. Per C.O. 1167.03(a), the minimum maneuvering lane width size is 22 feet for this development type. The applicant proposes installing a 30-foot-wide drive aisle, providing circulation around the entire building; therefore, this requirement is being met.
6. Zoning text section IV(G)(4) states that bicycle parking shall be provided within reasonable distances of all buildings as approved as part of a final development plan application. The applicant is proposing a bike rack at the southwest corner of the property.

C. Architectural Standards

1. The zoning text requires that all building elevations visible from public rights-of-way receive consistent treatment in style, materials, and design so that no side appears of lesser visual quality. It also requires that comparable materials be used on every elevation. The proposed building meets these standards, as all materials are applied uniformly on all sides. Its contemporary design is also consistent with other data centers in the surrounding area.
2. The zoning text permits the following exterior materials:
 - Traditional materials such as wood, stone, brick, and concrete. Contemporary materials such as metal, aluminum, glass, and hardiplank are also permitted. The text prohibits the use of mirrored or reflective glass and allows EIFS to be used for accent elements.
 - The applicant submitted proposed building elevations with materials identified. The plans show that metal will be the primary building material. ACM panels are used as accent elements on the south and west elevations.
3. Zoning text section IV(F)(1) states that the maximum building height is 45 feet and that architectural elements such as parapets and monitors may exceed this height limitation. The applicant/property owner has recently received approval for a variance (VAR-72-2025) to increase the maximum building height to 55 feet. The proposed building height is 54 feet 6 inches; thus, this requirement is being met.
4. C.O. 1144.04(m) requires that all external mechanical equipment—including rooftop units—be fully screened from public roads and adjacent properties with materials that provide 100% opacity at ground level. The applicant proposes to meet this requirement by using fiber-reinforced panels or metal louvers to screen the rooftop equipment. An equipment yard is planned on the north side of the building, and it will be fully enclosed with insulated metal panels to ensure complete opaque screening.
 - In more recent employment center zoning texts, the Planning Commission has included additional requirements that such screening shall be provided for sight and sound for mechanical equipment. The applicant has proposed fully enclosed ground-mounted and roof-mounted screening to provide full opacity.
5. DGR Section 6(I)(A)(6) states that all visible elevations of a building must receive similar treatments in style, materials, and design so that no visible side is of a lesser character than any other. The applicant is using the same materials on all building elevations.
6. Zoning text section IV(F)(3)(c) states that primary entrances to buildings shall be made sufficiently prominent so that they can be easily identified from a distance. The building is designed with an active and operable front door internal to the parking lot.
7. C.O. 1171.05(b) states that all trash and garbage container systems must be screened, not be located in front yards, and meet the minimum required pavement setbacks. The applicant proposes installing a compactor situated on the north side of the lot in the

loading dock area with full screening on three sides and vegetative screening from the adjacent property to the north.

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. Per C.O. 1171.05(e), a minimum of one tree per 5,000 feet of ground coverage is required. The plans indicate a total ground coverage of 339,335 sq. ft.; therefore, 68 trees are required and 61.2" caliper. The applicant is proposing to provide 138 trees and a total of 359.5" caliper.
2. Per C.O. 1171.06(a)(3), a minimum of one deciduous tree is required to be planted for every 10 parking spaces. There are 49 parking spaces shown on the plan; therefore, 5 trees are required to be planted within the parking lot, and the applicant is proposing 6.
3. Per zoning text section IV(H)(2)(A), one street tree is required to be planted every 30 feet on center along Souder Road and have a minimum of 2.5 to 3 inches in caliper. The property has 800 feet of frontage along Souder Road; therefore, 27 street trees are required to be planted ($800/30 = 26.6$). The applicant proposes to install 11 street trees in addition to the 10 existing trees. Staff recommends a condition of approval that a total of 27 street trees must be planted (condition #1).
4. Per C.O. 1171.06(a)(2), a minimum of 5% of the overall parking area must be landscaped. The applicant is exceeding this requirement by providing 9% (1,392 sq. ft.) of landscape area within the parking areas.
5. Per C.O. 1171.06(b), parking lots are required to be screened from primary streets, residential areas, and open space by a minimum 3.5-foot-tall evergreen hedge or masonry wall, and this requirement is met with 3.5-foot-tall evergreen hedges.
6. Per the conditions of approval in the Record of Action from the Planning Commission meeting on October 20, 2025 (VAR-72-2025), the applicant is to "Screen the view from Traditions Drive; explore putting trees off-site. If that fails, adding trees on-site to screen the view from Traditions Drive." As shown on the landscape plan, the applicant has placed additional trees surrounding the basin on the property to the south.
7. Per the design and landscape standards for Research & Information Campus, four-rail fencing shall be installed along Souder Road. Staff recommends a condition of approval that the four-rail fence be installed and shown on the plans (condition #2).
8. The City Landscape Architect reviewed the proposal and had no additional comments.

E. Lighting & Signage

1. The applicant did not include any proposed signage as part of the application. Staff recommends a condition of approval that any future signage be subject to staff approval and must comply with the city sign code requirements (condition #3).
2. The applicant has submitted a detailed photometric plan, and it appears that the candle foot intensity along the property lines is shown at zero to near zero.
3. The zoning text contains various requirements related to on-site lighting, including but not limited to the following:
 - Zoning text section IV(I)(1) requires all parking lot lights to be cut-off and downcast
 - Zoning text section IV(I)(3) requires all light poles to be no taller than 30 feet and be black or New Albany Green.
 - Per zoning text section IV(I)(4), requires shoebox-type light fixtures from a controlled source for all parking lot lighting.

Staff recommends a condition of approval that all other zoning text requirements related to light fixtures are met (condition #4).

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application in accordance with the engineering-related requirements of Code Section 1159.07(b)(3) and has no comments.

V. SUMMARY

The proposed use is appropriate based on its location in the New Albany Business Park and close proximity to similar uses. The proposed building design is simple and contemporary, matching the design of other data centers in the immediate vicinity. The applicant has provided additional screening per the conditions of approval through the variance request (VAR-72-2025), therefore adhering to the commission's request.

As the New Albany Business Park has grown, the Planning Commission has included additional requirements in more recent zoning texts to ensure that screening for rooftop and ground-mounted mechanical equipment is provided for both sight and sound, particularly in areas where adjacent residential properties exist or are in proximity, to be sensitive in transitioning areas. The applicant is committing to these principles, and in addition to providing screen walls, the site landscaping has been designed so that existing trees and new landscape along property lines can be used to provide additional buffering between properties.

VI. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motions would be appropriate:

Move to approve final development plan application FDP-96-2025, subject to the following conditions:

1. A total of 27 street trees must be planted.
2. The four-rail fence is required to be installed and shown on the plans.
3. Any future signage will be subject to staff approval and must comply with the city sign code requirements.
4. That all zoning text requirements related to light fixtures are met.

Approximate Site Location



Source: NearMap



Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear EMH&T c/o Nicholas Ovens,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



Community Development Department

Decision and Record of Action

Tuesday, December 16, 2025

The New Albany Planning Commission took the following action on 12/15/2025 .

Final Development Plan

Location: PID: 222-005106

Applicant: EMH&T c/o Nicholas Ovens,

Application: PLFDP20250096

Request: Final Development Plan for a new Stack Infrastructure data center on the east side of Souder Road (PID: 222-005106).

Motion: To approve

Commission Vote: Motion Approved with Conditions, 5-0

Result: Final Development Plan, PLFDP20250096 was Approved with Conditions, by a vote of 5-0.

Recorded in the Official Journal this

Condition(s) of Approval:

1. A minimum of 27 street trees must be planted. This number does not apply to other areas of landscaping.
2. The four-rail fence is required to be installed and shown on the plans.
3. Any future signage will be subject to staff approval and must comply with the city sign code requirements.
4. That all zoning text requirements related to light fixtures are met.
5. The applicant work with staff during the permitting stages to determine proper landscaping on the north side of the property due to the potential AEP easement.

Staff Certification:

A handwritten signature in black ink that reads "Javon Henderson".

Jay Henderson
Planner



Planning Commission Staff Report
January 21, 2026 Meeting

**PLAIN TOWNSHIP FIRE STATION
ZONING AMENDMENT**

LOCATION: Generally located at the northwest intersection of State Route 605 and New Albany Road East (Parcel ID: portion of 222-005258)
REQUEST: Zoning Amendment
ZONING: North City Business Limited General Employment (L-GE) to Community Facilities (CF)
STRATEGIC PLAN: Employment Center
APPLICATION: ZC-80-2025
APPLICANT: Schorr Architects c/o Nathan Gammella

Review based on: Application materials received on October 22, 2025 and December 1, 2025

Staff report completed by Sierra Saumenig, Planner II

I. REQUEST AND BACKGROUND

The applicant requests review and recommendation to city council to rezone approximately 6.350+/- acres to Community Facilities (CF) from Limited General Employment (L-GE). Although the existing parcel comprises approximately 12.72 acres, the applicant intends to split the property and develop only the 6.350-acre portion. The proposed zoning allows for a new fire station which would serve as a substation for the Plain Township Fire Department

The proposed rezoning was heard at the Rocky Fork-Blacklick Accord meeting on December 18, 2025, and the board recommended approval.

Per Section 8 of the New Albany Design Guidelines and Requirements, civic and institutional facilities must submit a development plan for review by the Architectural Review Board. This application is scheduled to be heard by the ARB on February 9, 2026.

II. SITE DESCRIPTION & USE

The overall site is 12.72+/- acres and the applicant intends to split the lot. The proposed fire station would be developed on 6.350 acres. The site is generally located at the northwest intersection of State Route 605/New Albany-Condit Road and New Albany Road East. The site is currently vacant but includes a gas easement that runs through the site. Surrounding uses include the Nottingham subdivision to the north and office/commercial uses to the east, west, and south.

III. PLAN REVIEW

Planning Commission's review authority of the zoning amendment application is found under C.O. Chapters 1107.02, C.O. 1111, and C.O. 1151.05. Upon review of the proposed amendment to the zoning map, the Commission is to make recommendation to City Council. Staff's review is based on city plans and studies, proposed zoning text, and the codified ordinances. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text.

Per Codified Ordinance Chapter 1111.06 in deciding on the change, the Planning Commission shall consider, among other things, the following elements of the case:

- (a) Adjacent land use.
- (b) The relationship of topography to the use intended or to its implications.
- (c) Access, traffic flow.
- (d) Adjacent zoning.
- (e) The correctness of the application for the type of change requested.
- (f) The relationship of the use requested to the public health, safety, or general welfare.
- (g) The relationship of the area requested to the area to be used.
- (h) The impact of the proposed use on the local school district(s).

A. New Albany Strategic Plan

The Engage New Albany strategic plan lists the following development standards for the Employment Center future land use district:

- 1. No freeway / pole signs are allowed.
- 2. Heavy landscaping is necessary to buffer these uses from adjacent residential areas.
- 3. Plan office buildings within context of the area, not just the site, including building heights within development parcels.
- 4. Sites with multiple buildings should be well organized and clustered if possible.
- 5. All office developments are encouraged to employ shared parking or be designed to accommodate it.
- 6. All office developments should plan for regional stormwater management.
- 7. All associated mechanical operations should be concealed from the public right-of-way and screened architecturally or with landscape in an appealing manner.
- 8. Any periphery security should integrate with the existing landscape and maintain and enhance the character of road corridor.
- 9. Combined curb cuts and cross-access easements are encouraged.
- 10. The use of materials, colors, and texture to break up large-scale facades is required.

B. Use, Site and Layout

- 1. The rezoning request is to allow for a new 9,125 sq. ft. fire station that will serve Plain Township and New Albany.
- 2. The Rocky Fork-Blacklick Accord plan identifies the Walnut Street and State Route 605 area as a likely location for a future fire station, which aligns with the site proposal.
- 3. Although the existing parcel comprises approximately 12.72 acres, the applicant intends to split the property and develop only the 6.350-acre portion. Staff recommends a condition of approval that the lot split occur prior to the rezoning going into effect (condition #1).
- 4. The proposed zoning is Community Facilities which permits governmental uses.
- 5. The Engage New Albany strategic plan designates the area as the Employment Center future land use category. While the site is located in this district, the strategic plan does not offer any development standards for governmental uses. Governmental uses are not a specific land use category identified in the strategic plan. As such, these uses are intended to be integrated throughout the community, and the rezoning assists in accomplishing that goal.
- 6. The following table includes the required and proposed setbacks for Community Facilities:

Standard	Permitted	Proposed
Front Yards:	The front yard setback shall not be less than the largest required front yard setback for any adjacent zoning district.	New Albany-Condit Road: 250 feet which is not less than any adjacent zoning district.
Side and Rear Yard	50'	Side Yard: 50' (south side)

		Side Yard: 71' (north side) Rear Yard: 280'
Driveway	10'	50'
Parking Area	50'	71'

7. The existing zoning text requires a minimum pavement and building setback of 125' which the proposed development is exceeding.

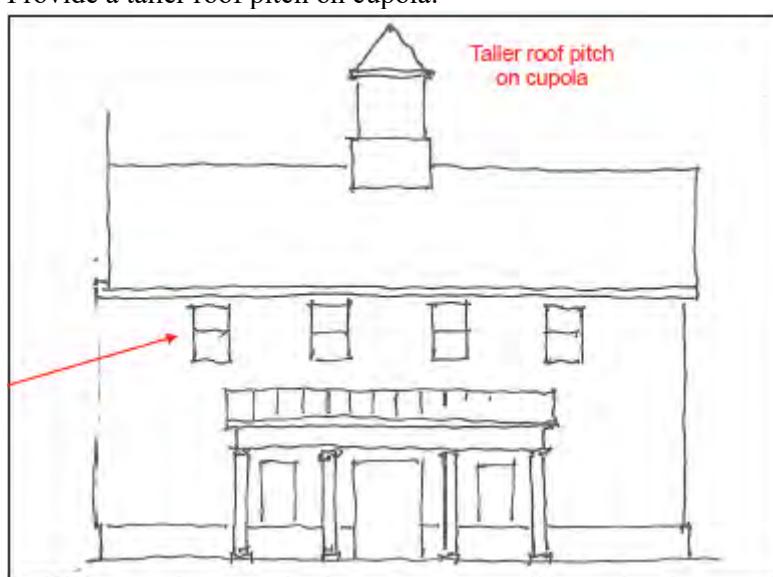
C. Access, Loading, Parking

1. The site is accessed from one proposed curb cut along New Albany-Condit Road.
2. A leisure path along New Albany-Condit Road is required and the applicant is showing that on the site plan. Due to an existing ditch on the north side of the property, the leisure path is proposed to go around the ditch and that is shown on the plans.
3. The applicant is proposing a pedestrian connection from the leisure trail into the site.
4. A four-rail horse fence is required to be installed, and it is shown on the renderings but not on the site plan. Staff recommends a condition of approval that the proposed horse fence is shown on the site plan (condition #2).
5. The city's codified ordinance does not indicate required parking for fire stations and thus, the Planning Commission has discretion as to how many parking spaces are sufficient for this use. The applicant has provided justification in the narrative statement included in the application packet. The applicant's justification is as follows:
 - o The proposed site plan provides a total of 20 parking spaces, divided between two parking areas located on opposite sides of the building. The west (rear) lot, which is screened from the roadway, includes 12 spaces designated for fire station personnel. The substation operates with six firefighters on duty at any given time across three shifts, totaling 18 firefighters. This operational structure requires a minimum of six parking spaces, with additional spaces necessary to accommodate shift overlap. The east lot provides eight parking spaces dedicated exclusively to community visitors. The number of visitor spaces is based on typical demand observed at comparable fire stations. Separating the parking into two distinct lots improves site circulation, allows visitors to easily identify and access appropriate parking, and maintains clear separation between staff and visitor vehicles.
6. The existing zoning text states that there shall be dedicated right-of-way for New Albany-Condit Road to the city for a distance of 50 feet measured from the centerline. Easements shall be required to be granted prior to the issuance of a building permit in this zoning district adjacent to public street rights-of-way at a distance necessary to accommodate city street capital improvement projects when insufficient right-of-way exists to accommodate these improvements. The applicant is showing the 50' right-of-way however, staff recommends a condition of approval that the applicant show the required easement, once the necessary dimension is determined during the engineering permit process (condition #3).
7. The site required a traffic access study and the applicant completed this. Staff recommends a condition of approval that the requirements of the traffic access study are met (condition #4).
 - o Add queuing analysis detail: distance from SB SR 605 stop bar at New Albany Road East to fire station driveway.
 - o Perform minor clearing & grubbing of west ditch north of driveway to meet sight distance requirements.
 - o Provide hard-wired interconnection between fire station button and SR 605/New Albany Road East signal for preemption, plus connection to recommended warning beacon.

D. Architectural Standards

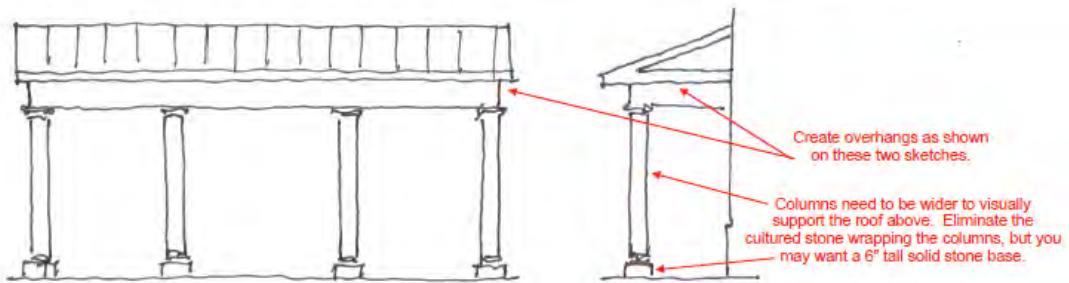
1. Requirements set forth in Section 8 of the Design Guidelines and Requirements apply to this site and the applicant has agreed to meet the requirements of the existing zoning text.

2. Section 8(III.2) of the Design Guidelines & Requirements states the selection of architectural style shall be appropriate to the context, location, and function of the building. Public recreational structures may be appropriately designed using vernacular forms as inspiration, such as a historic barn.
 - o The applicant proposes a barn style building including steel wall panels and a stone water table.
3. The existing zoning text states buildings shall be no more than 65 feet and the proposed fire station is 39 feet in height, thus meeting this requirement.
4. Section 8(III.3) of the Design Guidelines & Requirements (DGRs) states in keeping with traditional practice, the entrances to civic and institutional buildings shall be oriented toward primary streets and roads and shall be of a distinctive character that makes them easy to locate. Entrances shall be scaled and detailed to match the scale and detail of interior public spaces.
 - o The main entrance of the fire station is oriented towards New Albany-Condit Road.
5. Section 8(III.4) of the Design Guidelines & Requirements (DGRS) Civic and institutional designs shall follow the precedents of traditional American architectural designs, with particular care paid to the proportions of wall height to width; roof shape; and proportions of windows and doors, including vertically proportioned windowpanes. The details and design characteristics of the traditional style selected for a new building shall be carefully studied and faithfully rendered in the new building's design.
 - o The proposed building features a varied roof design, vertically proportioned windowpanes, and well-balanced doors integrated into the building facades.
6. The zoning text requires complete screening of elements such as meter boxes, utility conduits, etc. The plan shows ground equipment screened, behind the proposed fire station.
7. The zoning text requires complete screening of all roof-mounted equipment on all four sides of the building using materials that are consistent and harmonious with the building's façade and character. It does not appear there is rooftop equipment proposed on the building.
8. The city architect has reviewed the proposed development and has the following comments below. Staff recommends a condition of approval that the city architect comments are addressed subject to staff approval (condition #5).
 - o The two-story gable element at the main entry appears forced and out of character with the front façade. The city architect recommends removing the gable and redistributing the windows to create a more balanced and cohesive façade, generally as illustrated (below).
 - o Provide a taller roof pitch on cupola.



- o Create overhangs as shown on the sketch below

- Columns should be wide to visually support the roof above. Eliminate cultured stone wrapping the columns and use a 6' tall solid stone base.
- Align neck of columns.



E. Parkland, Buffering, Landscaping, Open Space, Screening

1. Maximum lot coverage under the existing zoning text is 75 percent. The proposed development proposes only 18.8 percent building and pavement coverage, which is well below and substantially exceeds the requirement for compliance.
2. Parking Lot Landscaping Requirement:
 - Codified Ordinance 1171.06(a)(3) requires one tree per 10 parking spaces. The applicant proposes 20 parking spaces thereby requiring two trees. The plan meets this requirement by providing two trees.
3. Parking lots shall be screened from rights-of-way with a minimum 36-inch-high evergreen landscape hedge or wall. The landscape plan meets this requirement with the proposed 36-inch-high evergreen landscape hedge.
4. General Site Landscaping Requirement:
 - Codified Ordinance 1171(5)(e) requires parking lots over 50,000 square feet to have a minimum of one tree per 5,000 square feet of ground coverage and a total tree planting equal to 25 in tree trunk size for every 4,000 square feet of ground coverage. The applicant states that the internal ground coverage is 52,035 sq. ft. requiring 11 trees at 25.5" total caliber (CAL). This requirement is met.
5. Street Tree Landscaping Requirement:
 - The existing zoning text requires 4 trees per lineal feet along New Albany-Condit Road. The applicant is providing a total of 5 trees at the southeast corner of the site. Due to site safety, these are proposed to be planted in a naturalized way. No trees are proposed within the gas easement.
6. The New Albany Business Park Research and Information Campus Landscape Design Guidelines and the existing zoning text require plantings and mounding along New Albany-Condit Road however, the applicant is requesting no mounding due to safety and sight reasons. Additionally, the applicant is requesting that the required plantings be relocated to the north side of the property.
 - Both the landscape guidelines and the zoning text provide flexibility regarding mounding and landscaping. Given that this site will function as a fire station, eliminating mounding is appropriate to ensure clear visibility for drivers and to allow emergency vehicles to safely and efficiently exit the site. However, the proposed planting plan is not showing the relocation of the plantings. Staff recommends a condition of approval that the applicant show the relocated plantings in the northwest corner subject to staff approval (condition #6)
7. Codified Ordinance 1171.08 states that basins should have a natural shape and are no steeper than 6:1. The applicant is proposing a naturalized dry basin and is meeting the slope requirement.
8. The zoning text requires a stream corridor protection zone to be provided along the northern property line, and the applicant is showing this on the site plans indicating no development within the zone.
9. The City Landscape Architect reviewed the proposed development and had no further comments on the revised plans.

F. Lighting & Signage

1. No signage is proposed at this time. Per the text all signage shall meet the standards set forth in Codified Ordinance 1169 (City Sign Code). Staff recommends a condition of approval that signage be evaluated and subject to staff approval (condition #7).
2. The applicant has submitted a photometric plan and the site has zero or near zero foot candles at the property lines.
3. The applicant submitted lighting specification sheets; however, the proposed height of the parking lot light poles is not clearly identified. The fixtures are proposed to be downcast, which complies with code requirements. Staff recommends a condition of approval requiring that all light poles not exceed 30 feet in height and be constructed of metal with a black or New Albany Green finish (Condition #8).

G. Other Considerations

1. The property owner has submitted a school impact statement which states the proposed rezoning will have no impact on the student population of New Albany Plain Local School District.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and had no further comments aside from the Traffic Access Study comments in Section C of this report.

IV. SUMMARY

The proposed rezoning to Community Facilities is intended to allow for the development of the Plain Township Fire Station, a critical piece of public safety infrastructure. Fire stations provide essential emergency services, facilitate rapid response times, and support the health, safety, and welfare of both existing and future development. Because this facility will serve both Plain Township and the City, the proposed location is well suited to provide efficient access for both jurisdictions. Furthermore, the Accord plan identifies the Walnut Street and State Route 605 area as a likely location for a future fire station, which aligns with the site proposal.

The site has been thoughtfully designed, with a layout that accommodates operational needs while preserving a substantial amount of green space. The proposed development meets or exceeds nearly all applicable setbacks and other requirements, demonstrating a high level of compliance with zoning standards. The primary building entrance is oriented toward the main roadway, reinforcing its civic presence, and incorporates architectural elements that enhance visibility and contribute positively to the streetscape. Overall, the proposed rezoning and site design are consistent with the intended purpose of the Community Facilities district and support the delivery of essential public services.

V. ACTION

Suggested Motions for ZC-80-2025:

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate (conditions may be added):

Move to approve application ZC-80-2025 based on the findings in the staff report with the following condition:

1. That the lot split occur prior to the effective date of the rezoning.
2. The proposed horse fence is shown on the site plan.
3. The applicant shows the required easement along New Albany-Condit Road.
4. The requirements of the traffic access study are met.
5. That the applicant meets the revisions from the City Architect.

6. The applicant show the relocated plantings in the northwest corner subject to staff approval.
7. Signage to be evaluated at a later date and subject to staff approval.
8. All light poles to not exceed 30 feet in height and be constructed of metal with a black or New Albany Green finish

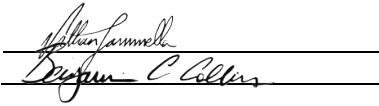
Approximate Site Location:



Source: NearMap



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																									
Project Information	<p>Site Address _____</p> <p>Parcel Numbers _____</p> <p>Acres _____ # of lots created _____</p> <table border="1" data-bbox="257 783 1465 1184"><thead><tr><th>Choose Application Type</th><th>Description of Request:</th></tr></thead><tbody><tr><td><input type="checkbox"/>Appeal</td><td><input type="checkbox"/> Extension Request</td></tr><tr><td><input type="checkbox"/>Certificate of Appropriateness</td><td><input type="checkbox"/> Variance</td></tr><tr><td><input type="checkbox"/>Conditional Use</td><td><input type="checkbox"/> Vacation</td></tr><tr><td><input type="checkbox"/>Development Plan</td><td></td></tr><tr><td><input type="checkbox"/>Plat</td><td></td></tr><tr><td><input type="checkbox"/>Lot Changes</td><td></td></tr><tr><td><input type="checkbox"/>Minor Commercial Subdivision</td><td></td></tr><tr><td><input type="checkbox"/>Zoning Amendment (Rezoning)</td><td></td></tr><tr><td><input type="checkbox"/>Zoning Text Modification</td><td></td></tr></tbody></table>		Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	<input type="checkbox"/> Extension Request	<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Variance	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Vacation	<input type="checkbox"/> Development Plan		<input type="checkbox"/> Plat		<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification					
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Contacts	<table border="1" data-bbox="257 1195 866 1543"><thead><tr><th colspan="2">Applicant Information</th></tr></thead><tbody><tr><td>Name</td><td></td></tr><tr><td>Address</td><td></td></tr><tr><td>City, State, Zip</td><td></td></tr><tr><td>Phone Number</td><td></td></tr><tr><td>Email</td><td></td></tr></tbody></table>	Applicant Information		Name		Address		City, State, Zip		Phone Number		Email		<table border="1" data-bbox="866 1195 1465 1543"><thead><tr><th colspan="2">Property Owner Information</th></tr></thead><tbody><tr><td>Name</td><td></td></tr><tr><td>Address</td><td></td></tr><tr><td>City, State, Zip</td><td></td></tr><tr><td>Phone Number</td><td></td></tr><tr><td>Email</td><td></td></tr></tbody></table>	Property Owner Information		Name		Address		City, State, Zip		Phone Number		Email	
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Property Owner Information																										
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Address																										
City, State, Zip																										
Phone Number																										
Email																										
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner _____ Date: _____</p> <p>Signature of Applicant _____ Date: _____</p> 																									

Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054



November 20, 2025

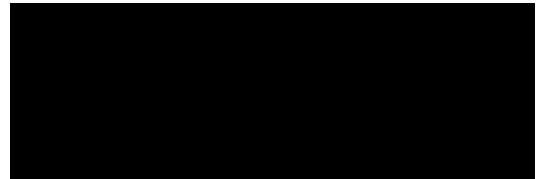
Christopher Christian
Planning Manager
City of New Albany
99 W. Main Street
PO Box 188
New Albany, OH 43054

Re: Fire Station 122; Property Rezoning

Mr. Christian,

The following information is submitted on behalf of Plain Township to request a zoning variance for the proposed parcel. The following is noted in accordance with section 1111.03.

- a) Names, addresses, and phone numbers of the applicants and owners are listed on the application form.
- b) Refer to the proposed lot split exhibit. A certified address has not been established for the portions of the two lots, 222-005258 & 222-005259. Plain Township and The New Albany Company, LLC are currently in the process of transferring the deed to the property highlighted in red, as well as establishing a new, certified address. Since Plain Township is not yet the property owner, The New Albany Company, LLC has drafted a letter of consent to allow the submission for the rezoning of the property.
 - a. The legal description of the address is as follows below. Please note that the description comes from Franklin County Auditor and does not reflect the lot split.
 - i. NEW ALBANY CONDIT RD
 - ii. R16 T2 1/4T2
 - iii. 11.692 ACRES
- c) The current zoning classification is I-PUD - Infill Planned Unit Development District.
- d) The proposed classification is CF - Community Facilities District.
- e) A site plan is included.
- f) The property owners within 200 feet of the parcel are as listed below. Having a fire station near these properties will have a positive impact on the community, due to decreased emergency response times. When fire trucks exit the property during an emergency, traffic will be alerted, and stopped for a brief duration.
 - 1. North: The New Albany Company, LLC; 8000 Walton Parkway, Suite 120, New Albany, Ohio 43054
 - 2. Northeast: Alawad Bashar, 5660 Harlem Road, New Albany, Ohio 43054
 - 3. East: American Regent, Inc., 960 Crupper Road, Shirley, New York 11967



4. Southeast: TJX Companies, Inc., 770 Cochituate Road, Framingham Massachusetts 01701
5. South: Discover Properties, LLC, 2500 Lake Cook Road, Riverwoods, Illinois 60015
6. Southwest/West: Edged Columbus, LLC, 30 Old Kings Highway South, Suite 1005 Darien, Connecticut 06820
7. Northwest: The City of New Albany; 8000 Walton Parkway, Suite 120, New Albany, Ohio 43054

- g) The proposed change will allow the development of the site and the construction of a new fire station for the community.
- h) No impact on the student population of the local school district(s) is anticipated due to this development.
- i) Deed restrictions are a condition of the deed transfer, and all developments on the site are subject to NACO's approval.
- j) A traffic study is underway.
- k) There is a total of 20 spaces on the proposed site plan split between two situated on opposite sides of the building. The west (back) side of the building, which is screened from the road, has 12 spaces which are programmed for fire station personnel. The substation will have 6 firefighters on call at a given time, working in 3 shifts, for a total of 18 firefighters. Thus, in this lot there is a need for a minimum of 6 spaces, plus additional spaces for the overlap of shifts. The east lot contains 8 parking spaces, and it is solely for accommodating visitors from the community. The number of visitor parking spaces was determined based on the typical community needs observed at other fire stations. Splitting the lots allows visitors to easily navigate to parking, and keeps the vehicles separated.
- l) Schorr Architects will provide any additional information by request.

Sincerely,

Schorr Architects, Inc.



Nathan Gammella
Project Executive

Nathan Gammella

From: [REDACTED]
Sent: [REDACTED]
To: [REDACTED]
Subject: [REDACTED]

Nathan,

Please see the email from Tom Rubey as a letter of consent.

Thank you,

Ben Collins
Township Administrator

45 Second Street
PO Box 273
New Albany, OH 43054
P: (614) 855-2085
F: (614) 855-2087
www.plaintownship.org

Begin forwarded message:

From: [REDACTED]
Date: [REDACTED]
To: Jill [REDACTED]
Cc: C [REDACTED]

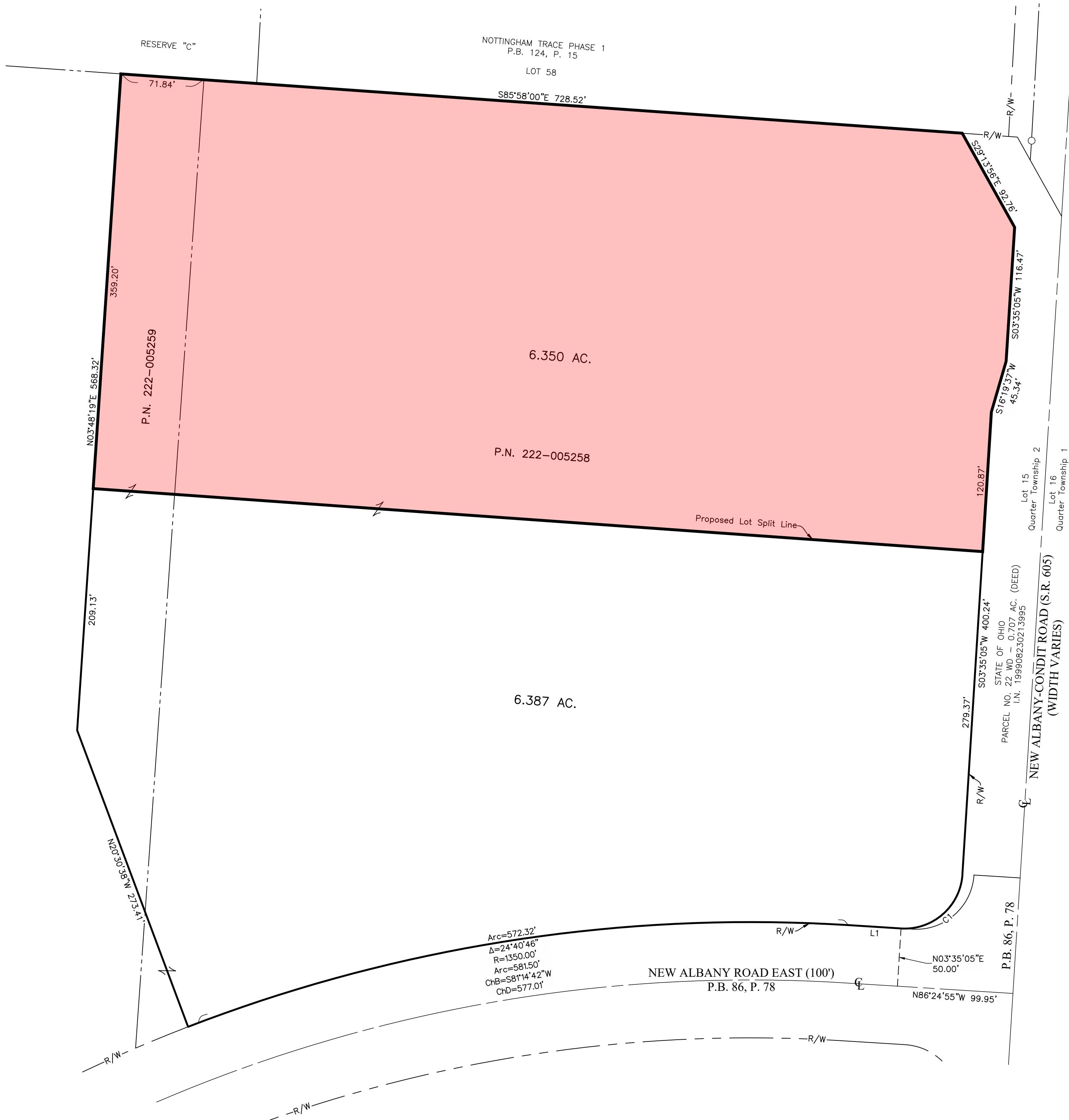
Ben,

Please accept this e mail as our consent as property owner for Plain Township to proceed with the City to allow zoning change and ARB Review, for the property on the northwest corner of 605 and New Albany Road East.

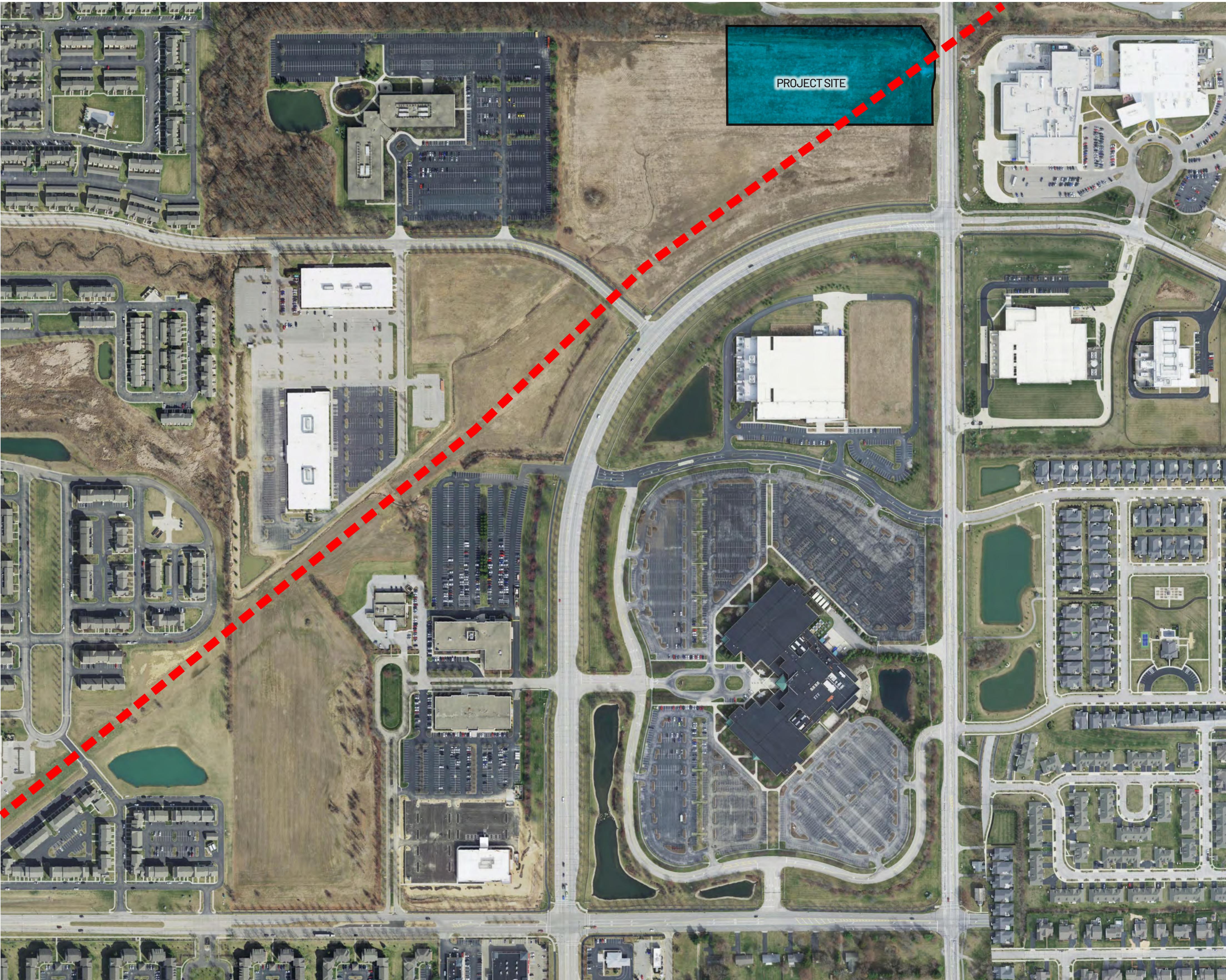
Please contact me directly if you have any questions or concerns.

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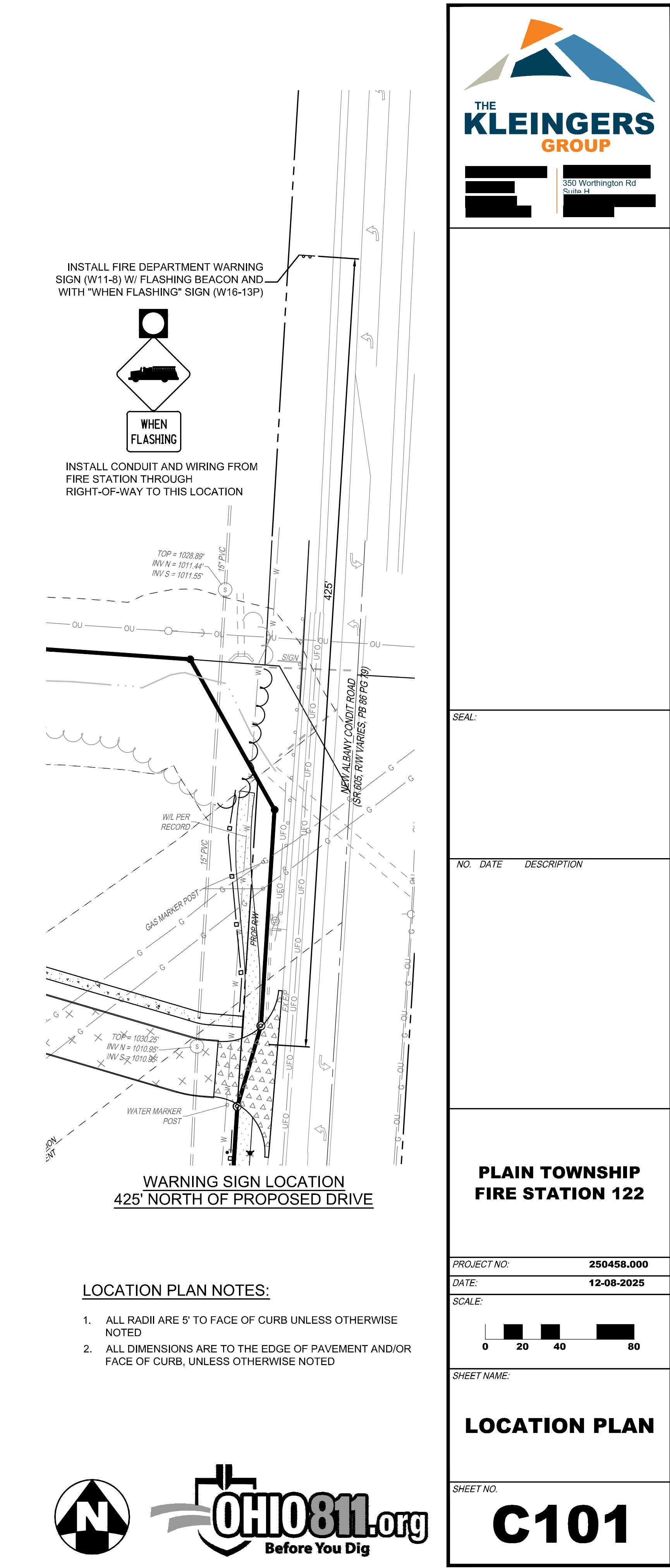
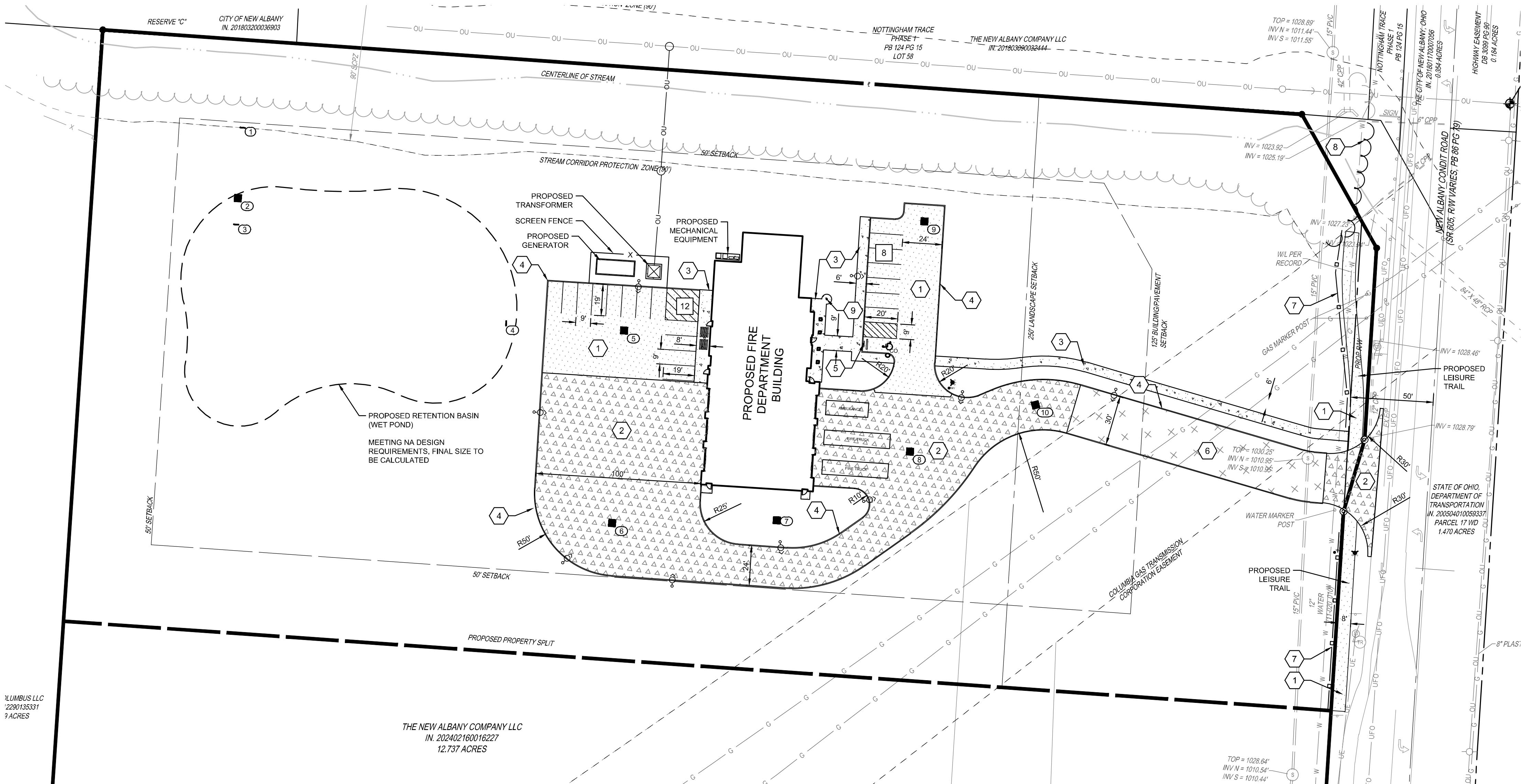
PROPOSED SPLIT EXHIBIT
LOT 15, SECTION 8, QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 16
UNITED STATES MILITARY DISTRICT
CITY OF NEW ALBANY, COUNTY OF FRANKLIN, STATE OF OHIO



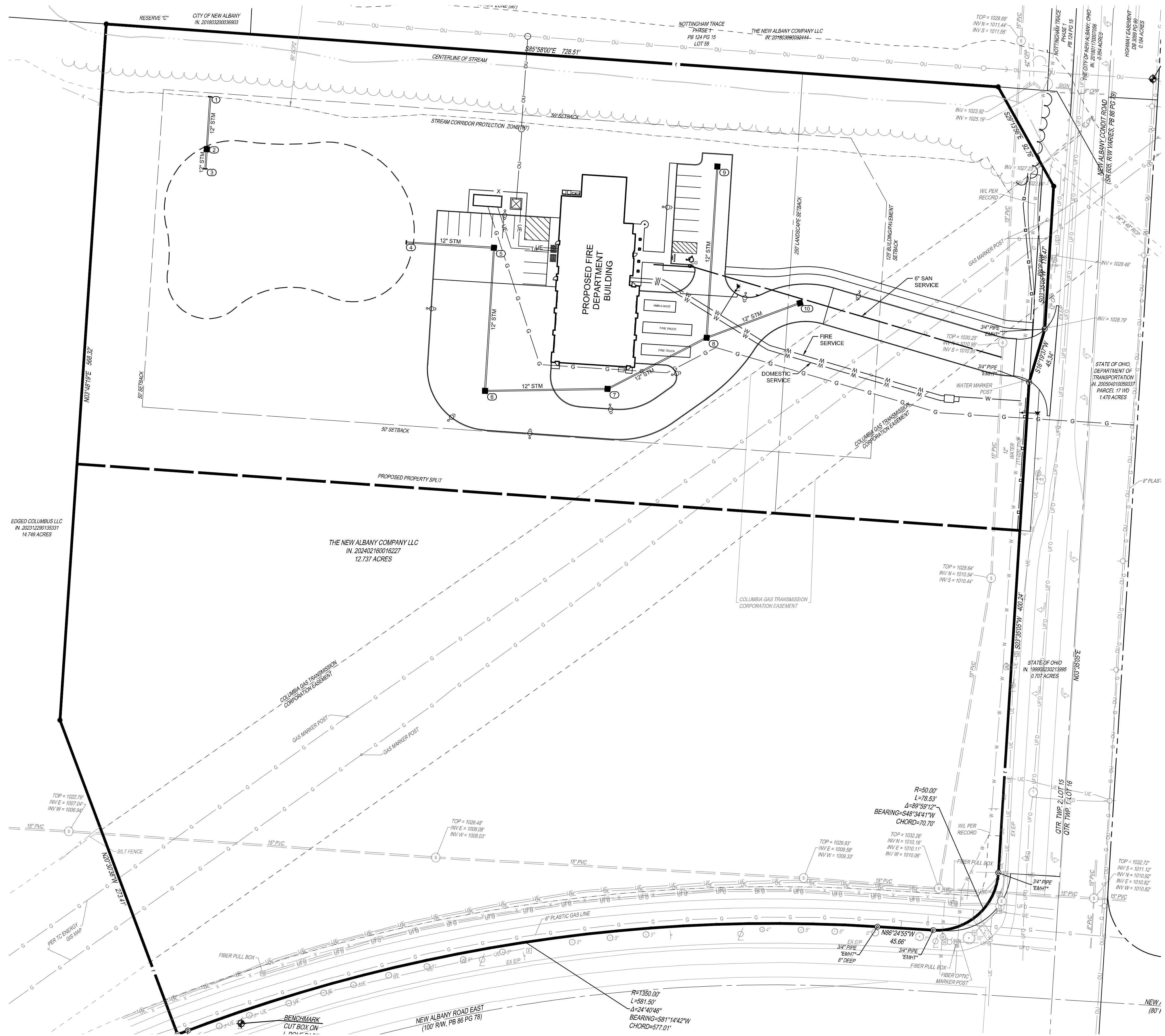
FIRE SUBSTATION: GAS EASEMENT



0' 100' 200' 400' 
SCALE : 1" = 200'



NO.
C101



OHIO811.org
Before You Dig

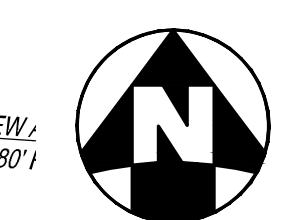
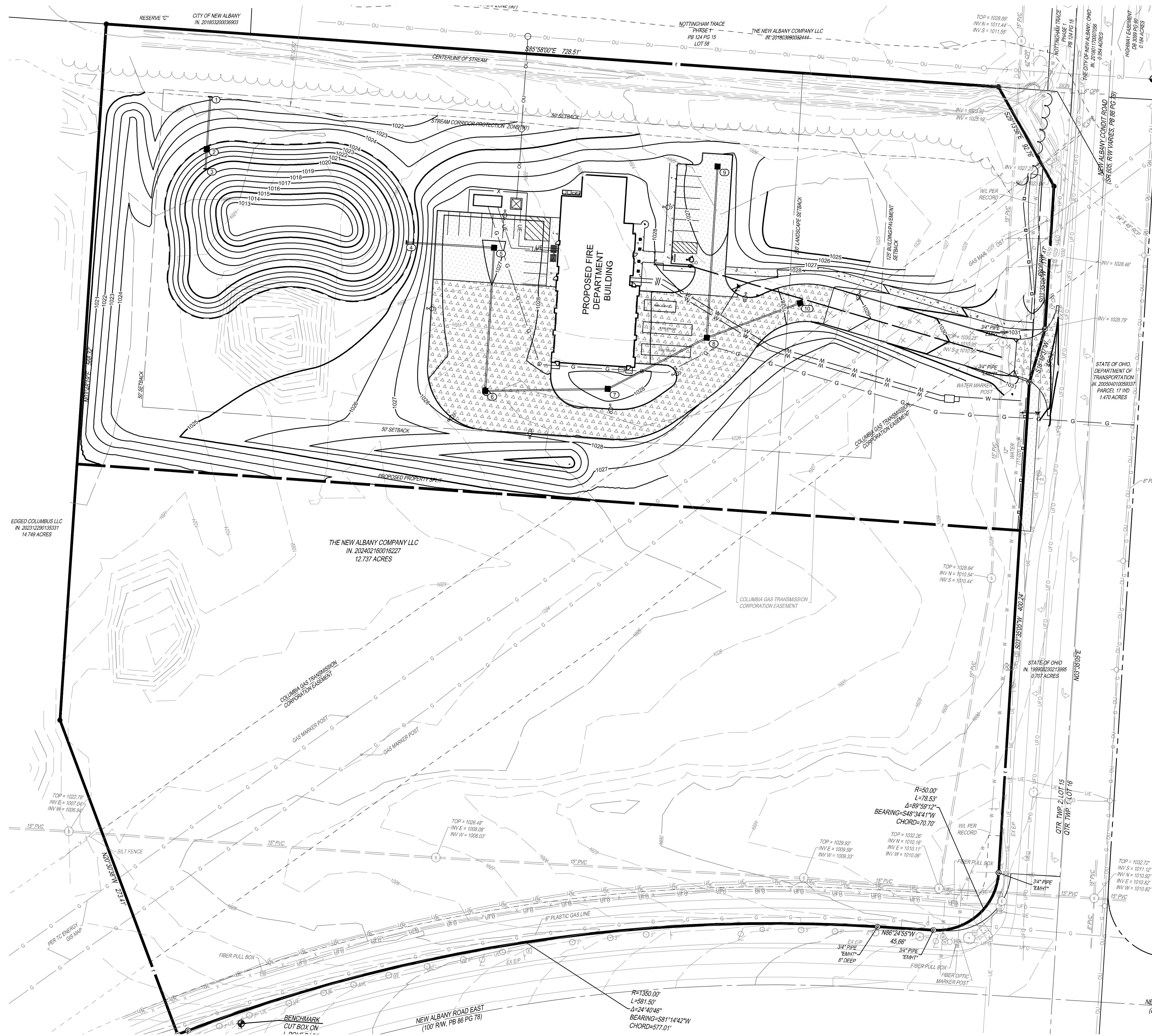
PLAIN TOWNSHIP FIRE STATION 122

PROJECT NO: 250458.00
DATE: 12-08-2025
SCALE: 0 20 40 80

SHEET NAME: UTILITY PLAN

SHEET NO: C102





SHEET NO.

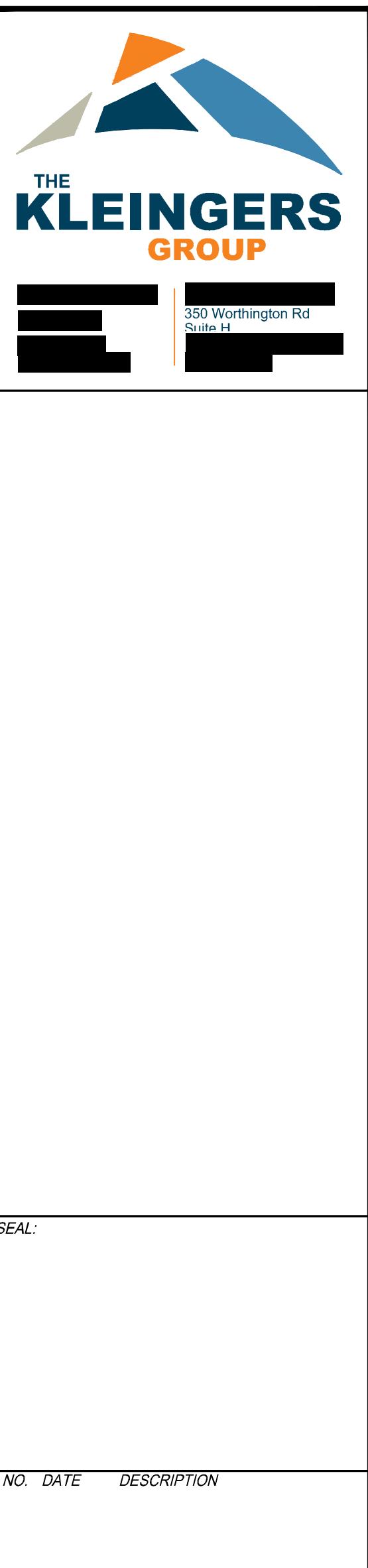
PLAIN TOWNSHIP FIRE STATION 122

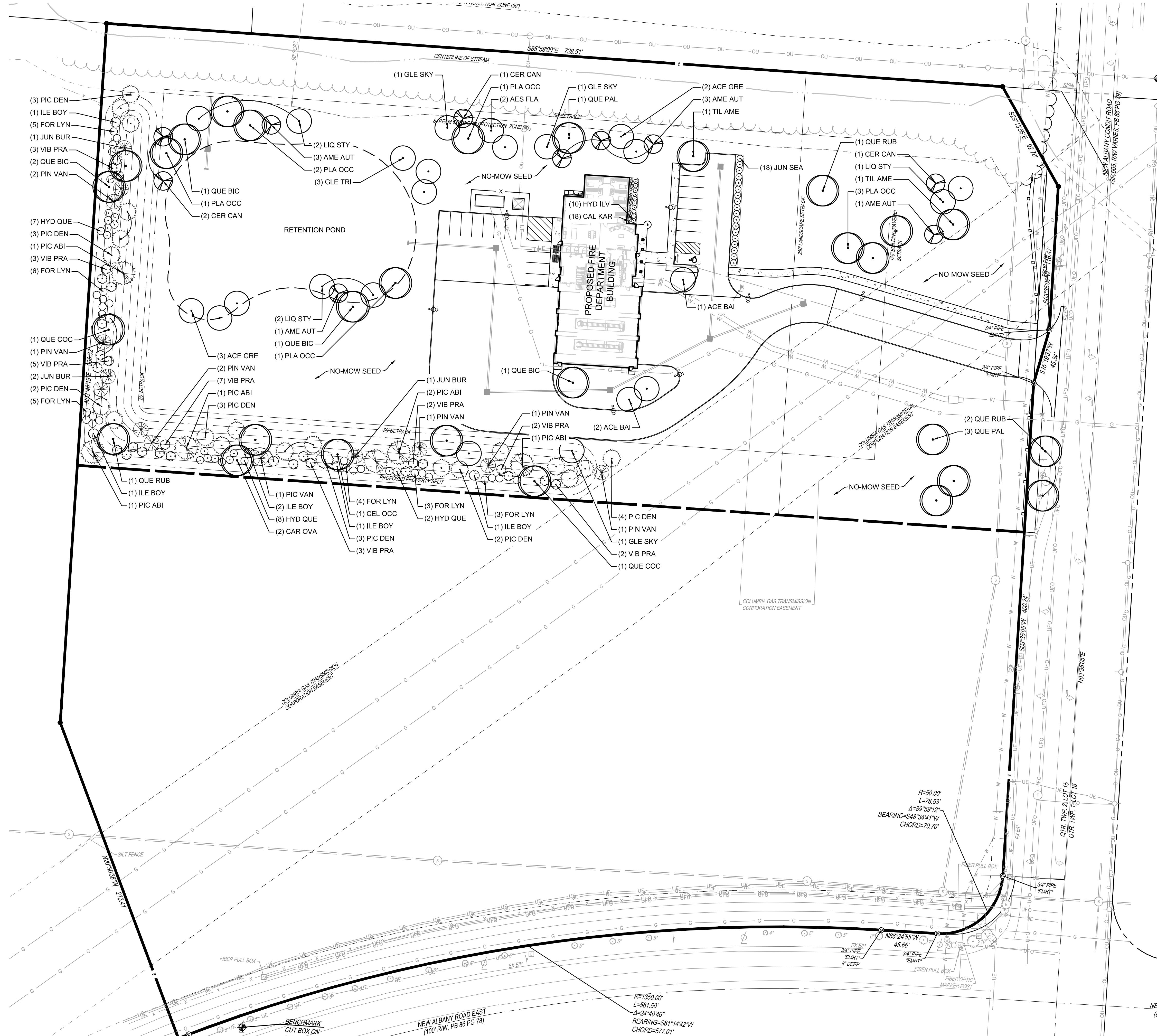
PROJECT NO: **250458.000**
DATE: **12-08-2025**
SCALE:

SWEET NAME:

GRADING PLAN

SHEET NO.





PLANTIN

CH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND
TECTING ALL EXISTING UTILITIES.

TRACTOR SHALL VERIFY ALL PLANTING CONDITIONS FOR
STRUCTURES, EXISTING TREE CANOPY COVERAGE, AND
ERHEAD ELECTRICAL POWER LINES PRIOR TO PLANTING. IF
VERSE PLANTING CONDITIONS ARE OBSERVED, CONTACT THE
NERS REPRESENTATIVE IMMEDIATELY.

SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS
LCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS
HAVE A NEAT, EDGED APPEARANCE.

SURFACE IMPROVEMENTS SHALL BE OBSERVED. THE
TRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION
RVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR
GING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES.
HALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT
CH UNDERGROUND UTILITIES.

AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED
D SEEDED.

TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
E CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED
EES ARE PERFECTLY ALIGNED AND SET PLUMB WITH PROPER
ATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED
ADE PRIOR TO PLANTING.

PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED.
UBSTITUTIONS ARE APPROVED BY THE OWNER'S
PRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL
INFORM TO THOSE OF AMERICANHORT.

OR TO ORDERING PLANT MATERIAL, THE CONTRACTOR SHALL
RIFY ALL PLANT QUANTITIES AND NOTIFY THE LANDSCAPE
CHITECT OF ANY DISCREPANCIES BETWEEN THE PLAN, LABELS,
D PLANT SCHEDULE.

E SHEET L102 FOR PLANT SCHEDULE AND PLANTING DETAILS.

LEGEND

PROPERTY LINE	
	STANDARD CONCRETE TYP, SEE CIVIL DRAWINGS
	DECIDUOUS TREE, TYP.
	EVERGREEN TREE, TYP.
	SHRUBS, PERENNIALS & ORNAMENTAL GRASSES, TYP.
	EXISTING TREES TO REMAIN, PROTECT IN PLACE

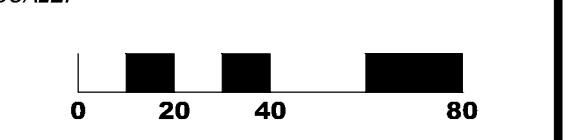
NO. DATE DESCRIPTION

PLAIN TOWNSHIP FIRE STATION 122

PROJECT NO: **250**

DATE: **12-**

SCALE:



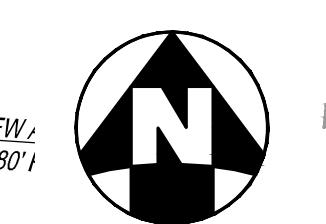
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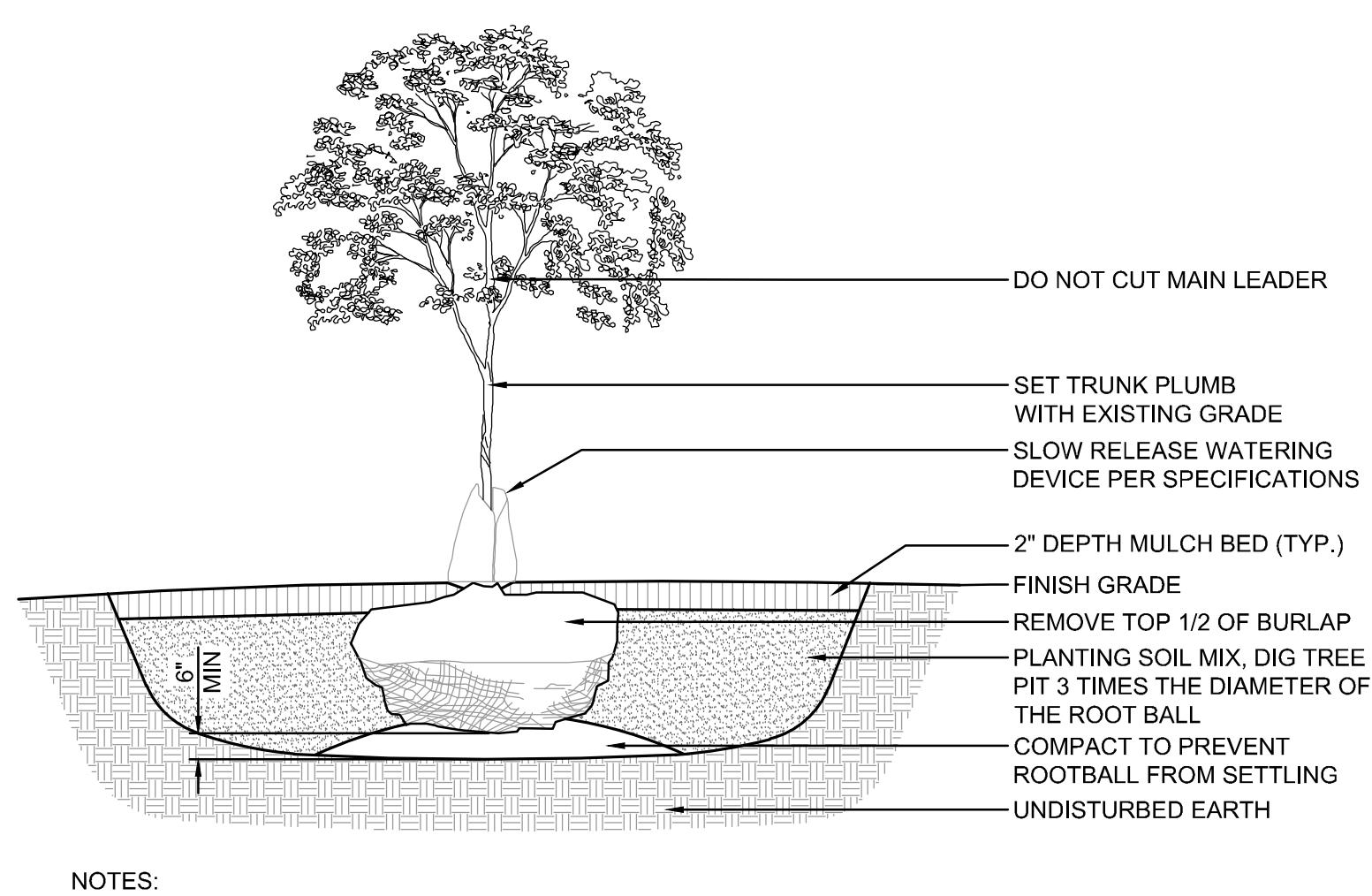
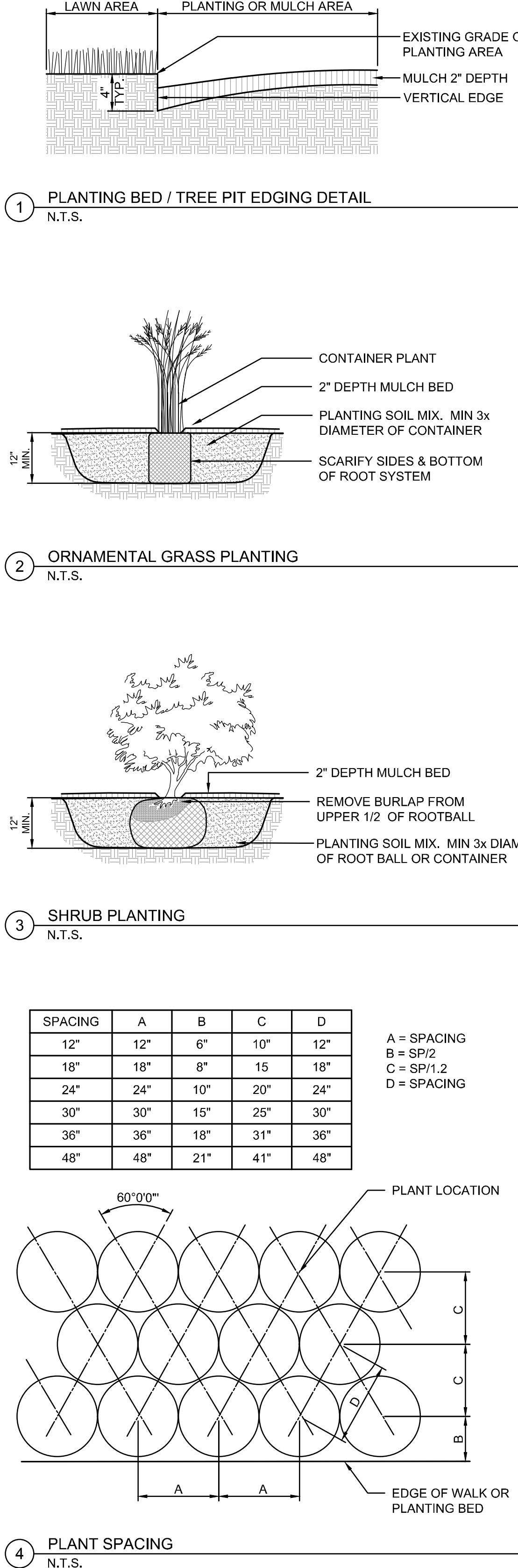
PLANTING PLAN

SHEET NO.

118

L101

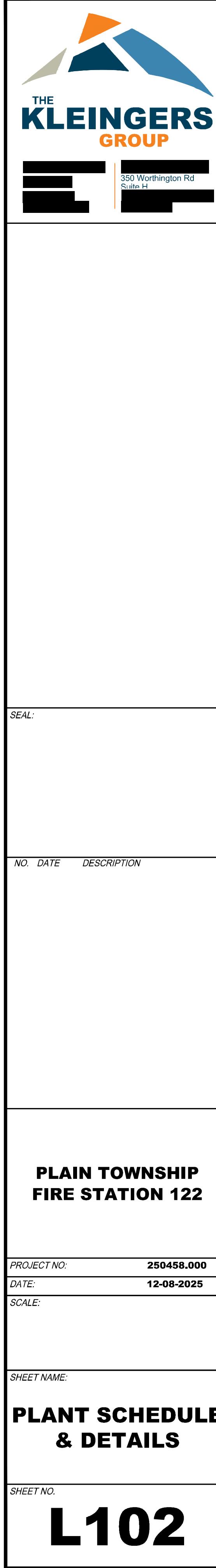




NOTES:
 1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.
 2. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
 3. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.
 4. DO NOT STAKE AND GUY TREES UNLESS NEEDED FOR STABILITY BASED ON SITE CONDITIONS OR A DIRECTED BY OWNER'S REPRESENTATIVE.

6. DECIDUOUS TREE PLANTING WITH WATERING DEVICE
N.T.S.

LANDSCAPE ZONING REQUIREMENTS (NEW ALBANY ZONING CODE & DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE BUSINESS CAMPUS AT NEW ALBANY)					
STREETSCAPE (1171.04)	REQUIRED	PROPOSED			
STREET TREES	DECIDUOUS TREES INSTALLED AT 24' - 36' O.C. (3" CAL. MIN.) LOCATE TREES MINIMUM 15' FROM HYDRANTS / UTILITY POLES DO NOT LOCATE TREES WITHIN 25' SIGHT TRIANGLE AT INTERSECTIONS	STREET TREES PROPOSED AT 36' O.C. NO STREET TREES SHOWN WITHIN GAS EASEMENT			
SITE LANDSCAPING (1171.05(e)(3))	REQUIRED	PROPOSED			
LOT COVERAGE CALCULATIONS: BUILDING: 9,125 SF PAVEMENTS: 42,910 SF TOTAL LOT COVERAGE: 52,035 SF TOTAL LOT AREA: 276,608 SF 52,035 / 276,608 = 18.8% COVERAGE	PROVIDE 1 TREE FOR EVERY 5,000 SF OF GROUND COVERAGE AND A TOTAL TREE PLANTING EQUAL TO 25 INCHES + 0.5 INCH CALIPER FOR EVERY 4,000 SF OVER 50,000 SF IN GROUND COVERAGE 52,035 SF OF COVERAGE = 11 TREES WITH TOTAL CALIPER INCHES OF 25.5	11 TREES (2.5" CAL. MIN.)			
PARKING LOT (1171.06)	REQUIRED	PROPOSED			
SCREENING	PARKING LOTS SHALL BE SCREEN FROM PUBLIC RIGHTS-OF WAY WITH A 3'-6" HIGH EVERGREEN HEDGE	36" HIGH EVERGREEN HEDGE AT TIME OF INSTALLATION			
INTERIOR LANDSCAPING	PROVIDE LANDSCAPE AREAS EQUAL TO A MINIMUM OF 5% OF THE TOTAL AREA OF PARKING LOT AREA 9,815 SF OF PARKING LOT = 491 SF OF LANDSCAPE AREA	574 SF OF LANDSCAPE AREA PROVIDED			
PARKING LOT TREES	MIN. 1 TREE PER EVERY 10 SPACES (2.5" CAL. MIN.) 20 PARKING SPACES = 2 TREES	2 TREES			
PERIMETER AREA	REQUIRED	PROPOSED			
NEW ALBANY CONDUIT ROAD (SR 605) (NCBZDLT, SECTION VII, B)	WITHIN THE 55' SETBACK, PROVIDE 3' - 12' HT. MIN. EARTH MOUND (6:1 SLOPE MIN.) + 10 DECIDUOUS / EVERGREEN TREES PER 100 LF OF ROAD FRONTRAGE (70% OF TREES SHALL BE PLANTED ON THE ROAD SIDE OF THE MOUND) 297 LF - 118 (GAS EASEMENT) = 18 TREES	12 DECIDUOUS TREES + 6 TREES PLACED ELSEWHERE ON SITE NO MOUNDING PROVIDED			
SIDE LOT LANDSCAPING (DECLARATION)	4' HT. MIN. EARTH MOUND + 5 DECIDUOUS / EVERGREEN TREES PER 100 LF + 2 DECIDUOUS SHRUBS PER TREE (80% OF THE SIDE LOT SHALL BE EVERGREEN TREES) NORTH PROPERTY LINE: EXISTING VEGETATION TO REMAIN WEST PROPERTY LINE: 359 LF = 18 TREES + 36 SHRUBS SOUTH PROPERTY LINE: 770 LF - 161 LF (GAS EASEMENT) = 31 TREES + 62 SHRUBS	WEST PROPERTY LINE: 15 EVERGREEN TREES + 3 DECIDUOUS TREES + 36 SHRUBS MOUNDING PROVIDED SOUTH PROPERTY LINE: 25 EVERGREEN TREES + 6 DECIDUOUS TREES + 42 SHRUBS MOUNDING PROVIDED EXCEPT AT SE CORNER			
LANDSCAPE MATERIALS (NCBZDLT, SECTION VII, J)	REQUIRED	PROPOSED			
PLANT SIZES	DECIDUOUS TREES: 2.5" MIN. CALIPER UNLESS OTHERWISE NOTED EVERGREEN TREES: 6' HT. MIN. + 1.5" MIN. CALIPER ORNAMENTAL TREES: 2" MIN. CALIPER SHRUBS / HEDGES: 30" HT. MIN.	PROVIDED			
WET & DRY STORMWATER BASINS (1171.08(e))	REQUIRED	PROPOSED			
TREES	LANDSCAPE TREATMENTS AT THE PERIMETER OF WET AND DRY STORMWATER BASINS SHALL BE DESIGNED EITHER WITH MAINTAINED TURF TO THE POND'S EDGE OR A NATURALIZED PLANTING OF NATIVE LANDSCAPE MATERIAL. THE LANDSCAPE PLANTINGS SHALL BE IN LARGE MASSES AND DRIFTS, AND SHALL NOT INCLUDE DECORATIVE LANDSCAPE BOULDERS, LARGE MULCH BEDS, OR SPECIMEN PLANTINGS.	TREE MASSINGS PROVIDED			
PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES:					
ACE BAI	ACER SACCHARUM 'BAILSTA'	FALL FIESTA SUGAR MAPLE	2.5" CAL. MIN.	B&B	
ACE GRE	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2.5" CAL. MIN.	B&B	
AES FLA	AESCULUS FLAVA	YELLOW BUCKEYE	2.5" CAL. MIN.	B&B	
AME AUT	AMELANCHIER x GRANDIFOLIA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	7' HT. MIN.	B&B	MULTI-STEM
CAR OVA	CARYA OVATA	SHAGBARK HICKORY	2.5" CAL. MIN.	B&B	
CEL OCC	CELTIS OCCIDENTALIS	HACKBERRY	2.5" CAL. MIN.	B&B	
CER CAN	CERCIS CANADENSIS	REDBUD	2.5" CAL. MIN.	B&B	
GLE SKY	GLEDTISIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5" CAL. MIN.	B&B	
LIQ STY	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	2.5" CAL. MIN.	B&B	
PLA OCC	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2.5" CAL. MIN.	B&B	
QUE BIC	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL. MIN.	B&B	
QUE COC	QUERCUS COCCINEA	SCARLET OAK	2.5" CAL. MIN.	B&B	
QUE PAL	QUERCUS PALUSTRIS	PIN OAK	2.5" CAL. MIN.	B&B	
QUE RUB	QUERCUS RUBRUM	RED OAK	2.5" CAL. MIN.	B&B	STREET TREES SHALL BE 3" CAL.
TIL AME	TILIA AMERICANA	AMERICAN LINDEN	2.5" CAL. MIN.	B&B	
EVERGREEN TREES:					
JUN BUR	JUNIPERUS VIRGINIANA 'BURKII'	BURK JUNIPER	6' HT. MIN.	B&B	PLANT 8' O.C.
PIC ABI	PICEA ABIES	NORWAY SPRUCE	6' HT. MIN.	B&B	PLANT AS SHOWN
PIC DEN	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	6' HT. MIN.	B&B	PLANT 15' O.C.
PIN VAN	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	6' HT. MIN.	B&B	PLANT 12' O.C.
SHRUBS:					
FOR LYN	FORSYTHIA x INTERMEDIA 'LYNWOOD GOLD'	LYNWOOD GOLD FORSYTHIA	30" HT. MIN.	B&B	PLANT 6' O.C.
HYD ILV	HYDRANGEA PANICULATA 'ILVOBO'	BOBO HYDRANGEA	24" HT. MIN.	CONT.	PLANT 3.5' O.C.
HYD QUE	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	30" HT. MIN.	CONT.	PLANT 6' O.C.
ILE BOY	ILEX x 'CHINA BOY'	CHINA BOY HOLLY	30" HT. MIN.	B&B	PLANT 8' O.C.
JUN SEA	JUNIPERUS x PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER	36" HT. MIN.	B&B	PLANT 5' O.C.
VIB PRA	VIBURNUM x PRAGENSE	PRAGUE VIBURNUM	30" HT. MIN.	B&B	PLANT 8' O.C.
PERENNIALS AND ORNAMENTAL GRASSES:					
CAL KAR	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	CONT.	PLANT 2' O.C.
TURFGRASS SEED: SEE SPECIFICATIONS					





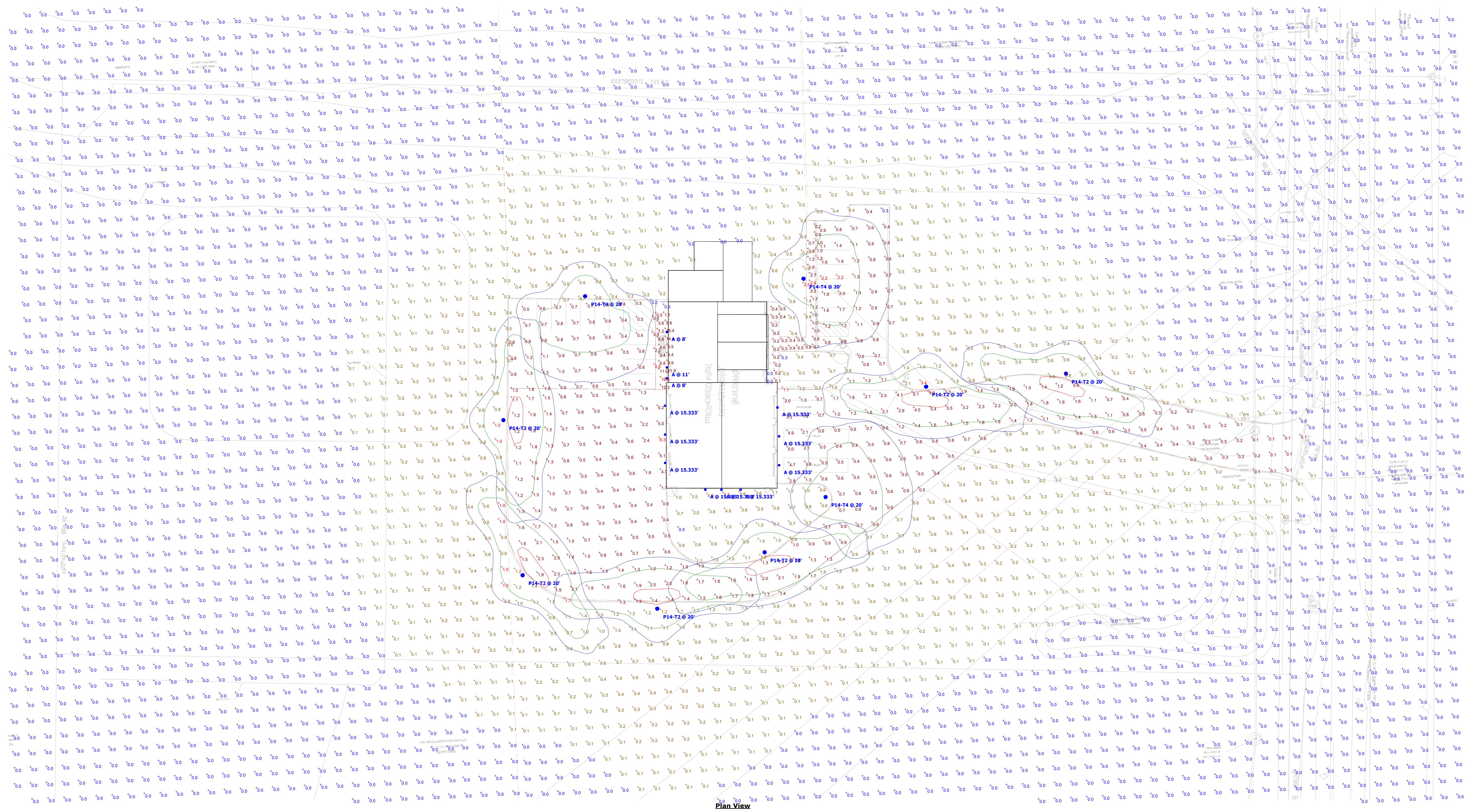












Designer
RDFA
Date
11/14/2025
Scale
Not to Scale
Drawing No.

Summary

**NEW
ALBANY**
COMMUNITY CONNECTS US
Planning Commission Staff Report
January 21, 2026 Meeting

**7108 ARMSCOTE END
POOL SETBACK VARIANCE**

LOCATION: 7108 Armscote End (PID: 222-004853)
APPLICANT: Steve Kidwell
REQUEST: Variance to the West Nine 2, Subarea C (6)(d)(vii) to reduce the required pool setback from any property line
ZONING: West Nine 2 C-PUD (Comprehensive Planned Unit Development)
STRATEGIC PLAN: Residential
APPLICATION: VAR-98-2025

Review based on: Application materials received on December 10, 2025

Staff report prepared by Kylie Blackburn, Planner

I. REQUEST AND BACKGROUND

The applicant is requesting a variance to the West Nine 2 Zoning Text to reduce the required 15-foot pool setback to 10 feet for a new pool in the rear yard of the property. This requirement differs from base code 1173.02(c), which requires pools and associated patios to be 15 feet away from any property line.

II. SITE DESCRIPTION & USE

The property is 0.33 acres and contains a single-family home. The lot is located within the New Albany Country Club Section 28 Ebrington. The home was built in 2018. The property is north of Hanbys Loop and west of Ebrington Rd and the New Albany Country Club. The property is surrounded by other residential properties.

III. EVALUATION

The application complies with application submittal requirements in C.O. 1113.03 and is considered complete. The property owners within 200 feet of the property in question have been notified.

Criteria

The standard for granting of an area variance is set forth in the case of *Duncan v. Village of Middlefield*, 23 Ohio St.3d 83 (1986). The Board must examine the following factors when deciding whether to grant a landowner an area variance:

All of the factors should be considered and no single factor is dispositive. The key to whether an area variance should be granted to a property owner under the “practical difficulties” standard is whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.

1. *Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*

3. *Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”*
4. *Whether the variance would adversely affect the delivery of government services.*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction.*
6. *Whether the problem can be solved by some manner other than the granting of a variance.*
7. *Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.*

Plus, the following criteria as established in the zoning code (Section 1113.06):

8. *That special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.*
9. *That a literal interpretation of the provisions of the Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Ordinance.*
10. *That the special conditions and circumstances do not result from the action of the applicant.*
11. *That granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to other lands or structures in the same zoning district.*
12. *That granting the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.*

IV. ASSESSMENT

Consideration and Basis for Decision

Variance to West Nine 2 C-PUD Zoning Text Subarea C (6)(d)(vii) to encroach into the 15-foot pool setback

The following should be considered in the board's decision:

1. The West Nine 2 C-PUD Zoning Text Subarea C (6)(d)(vii) does not indicate that the patio must be 15 feet off the property line, but rather the pool (water's edge).
2. The applicant seeks to add a pool with associated equipment and landscaping, and a 1200 sq ft patio into the rear of the property. This variance request is to allow the pool to be 10 feet from the side property line.
3. There are no special conditions and circumstances that exist that are specific to this parcel and are not common to other properties in the zoning district. The applicant has shown other versions of the pool layout that would be in compliance or encroach less into the setback. The house and current patio are at least 35.8 feet off the rear property line with a 13.5 foot easement off the rear property line leaving around 22 feet of usable yard depth.
4. The proposed variance could significantly alter the character of the neighborhood or create a substantial detriment to adjacent properties. There are other properties in the area that have pools that are meeting this setback requirement for the water's edge.
 - a. The applicant has included 3 different versions of the pool layout:
 - i. Option 1 would eliminate the need for the variance but leave the pool less than 2 feet away from the corner of the house.
 - ii. Option 2 would have the pool 12 feet away from the side property line, still requiring the variance, but less of an encroachment.
 - iii. Option 3 would eliminate the need for a variance, but leave the rear of the pool at the edge of the patio.
 - b. There is also the option to change the orientation of the pool which could create other options that would allow the pool to be installed without a variance.

5. The variance does not preserve the spirit and intent of the zoning requirement. The primary purpose of the setback requirement is to ensure adequate separation between uses on adjacent properties. Allowing the water's edge to be closer than permitted would reduce the intended separation between properties.
 - a. The lot located south of the subject property has not yet been developed.
 - b. However, the proposed project includes the installation of code-compliant pool fencing and additional landscaping, which will enhance privacy and help maintain visual and functional separation between properties.
6. The variance request does appear to be substantial. Allowing this variance could set a precedent for other properties in the area with similar lot configurations and easements, potentially leading to an increase in similar requests.
7. The granting of the variance will not adversely affect the health and safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity.
8. This variance does not negatively impact the delivery of government services.

IV. SUMMARY

The West Nine 2 C-PUD Zoning Text prohibits pools from being located within 15 feet of any property line; however, the applicant is requesting a variance to allow the pool to be located within the required setback. Approval of this variance could establish a precedent for other properties in the area with similar lot configurations and easements, potentially resulting in an increase in similar variance requests. There are no special conditions associated with the subject property, and staff is not aware of any previously approved variances of a similar nature within the same zoning text. While the applicant proposes to install the required pool fencing and provide additional landscaping to help maintain visual separation between adjacent lots and uses, the spirit and intent of the regulation may still not be met. The applicant has demonstrated that alternative design options are available that would reduce or eliminate the encroachment. Additionally, staff has recommended reorienting the pool to allow for installation with minimal or no encroachment.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion is appropriate.

Move to approve application VAR-98-2025 based on the findings in the staff report (conditions of approval may be added).

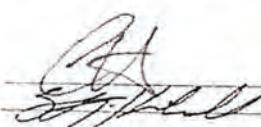
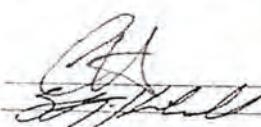
Approximate Site Location:



Source: NearMap

**NEW
ALBANY**

Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>			
Project Information	<p>Site Address <u>7108 Armistice End</u></p> <p>Parcel Numbers <u>222-004853-00</u></p> <p>Acres <u>.00</u> # of lots created <u>6</u></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; vertical-align: top; padding: 5px;"> Choose Application Type <p><input type="checkbox"/>Appeal <input type="checkbox"/>Certificate of Appropriateness <input type="checkbox"/>Conditional Use <input type="checkbox"/>Development Plan <input type="checkbox"/>Plat <input type="checkbox"/>Lot Changes <input type="checkbox"/>Minor Commercial Subdivision <input type="checkbox"/>Zoning Amendment (Rezoning) <input type="checkbox"/>Zoning Text Modification</p> </td> <td style="width: 50%; vertical-align: top; padding: 5px;"> Description of Request: <p><input type="checkbox"/> Extension Request <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Vacation</p> <p>Variance to change current side yard setback for pool from 15' to 6'</p> <p> </p> <p> </p> <p> </p> <p> </p> </td> </tr> </table>		Choose Application Type <p><input type="checkbox"/>Appeal <input type="checkbox"/>Certificate of Appropriateness <input type="checkbox"/>Conditional Use <input type="checkbox"/>Development Plan <input type="checkbox"/>Plat <input type="checkbox"/>Lot Changes <input type="checkbox"/>Minor Commercial Subdivision <input type="checkbox"/>Zoning Amendment (Rezoning) <input type="checkbox"/>Zoning Text Modification</p>	Description of Request: <p><input type="checkbox"/> Extension Request <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Vacation</p> <p>Variance to change current side yard setback for pool from 15' to 6'</p> <p> </p> <p> </p> <p> </p> <p> </p>
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Contacts	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; vertical-align: top; padding: 5px;"> Applicant Information <p>Name <u>Steve Kidwell</u></p> <p>Address</p> <p>City, State, Zip</p> <p>Phone Number</p> <p>Email</p> </td> <td style="width: 50%; vertical-align: top; padding: 5px;"> Property Owner Information <p>Name <u>Corey Heit</u></p> <p>Address</p> <p>City, State, Zip</p> <p>Phone Number</p> <p>Email</p> </td> </tr> </table>	Applicant Information <p>Name <u>Steve Kidwell</u></p> <p>Address</p> <p>City, State, Zip</p> <p>Phone Number</p> <p>Email</p>	Property Owner Information <p>Name <u>Corey Heit</u></p> <p>Address</p> <p>City, State, Zip</p> <p>Phone Number</p> <p>Email</p>	
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Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner  Signature of Applicant </p> <p>Date: <u>12/10/2025</u> Date: <u>12/10/2025</u></p>			

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054



LANDMARK SURVEY GROUP, INCORPORATED

2099 WEST FIFTH AVENUE, COLUMBUS, OHIO 43212
PHONE: (614) 485-9000 FAX: (614) 485-9003

REVISIONS	DESCRIPTION

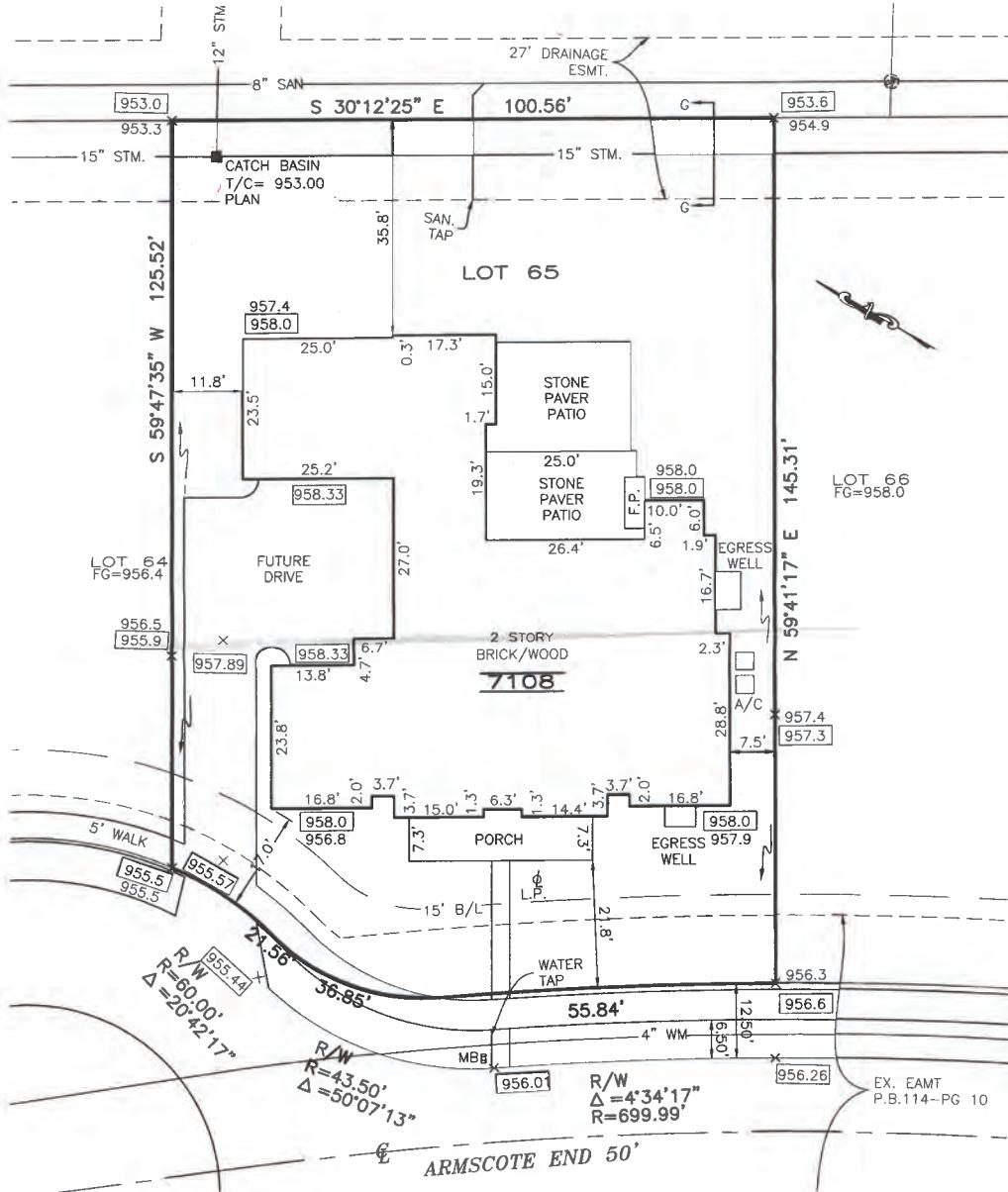
ORDER NO. 745.18

AS-BUILT SURVEY

DATE: 10/30/19

FOR JOSS CONSTRUCTION GROUP, LLC HOUSE STYLE EBRINGTON SPEC HOME COUNTY OF FRANKLIN
 LOT/SUBDIVISION LOT 65/NEW ALBANY COUNTRY CLUB SECTION 28, PART 2(EBRINGTON) CITY/TWP OF NEW ALBANY
 ADDRESS 7108 ARMSCOTE END SCALE 1" = 20 DRAWN BY: KB

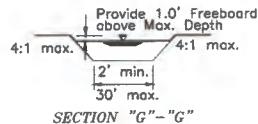
MINIMUMS: R: 30' S: 7' BK: 119 PG: 34



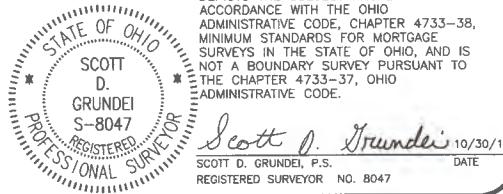
XXX.X PROPOSED GRADE

XXX.X EXISTING GRADE

FLOOD ROUTING CHANNELS



THIS PROPERTY IS LOCATED
 IN FLOOD ZONE X.
 MAP NO. 39049C0204K
 EFF. DATE: 6/17/08.



Applicant: Prime Outdoor Living

2020 James Pkwy Heath, Ohio 43056
740-975-6000

Property Address: 7108 Armscote End New Albany, Ohio 43054

Legal Description: New Albany Country Club

Section 28 Part 2
Lot 65

New Albany Code:

1173.02 - PRIVATE SWIMMING POOLS.

(c) Such pool, including any walks, paved areas, equipment, and appurtenances thereto, shall not be located in any front yard, nor closer than fifteen (15) feet to any property line.

Property owners within 200':

Property Owner	Parcel ID	Address
Eric Yang	222-004849-00	Armscote End
Gerald Mathers	222-004850-00	7109 Armscote End
Jesse Carmen	222-004851-00	7113 Armscote End
John Dejohn	222-004852-00	7112 Armscote End
Michael Bonasera	222-004853-00	7108 Armscote End
Mark Stetson	222-004760-00	3955 Ebrington Road
Zeyn Mirza	222-004854-00	7104 Armscote End

The nature of the special conditions giving rise to the application for approval.

Our plan if the variance is approved would provide safe and easy access to the pool without sacrificing the aesthetics of the residence or neighboring properties. We have attempted to alter the location of the pool multiple times within the setback, and each time it brings up another problem. The number one goal with the pool installation is safety for the clients and their friends and family. When the pool is shifted within the setback, there is not enough space between the house and the pool for safe passage. I have attached the options and circled the issues that arise.

The size and location of existing and proposed structures.

Provided on plans.

The proposed use of all parts of the lots and structures, including access, walks, off-street parking and loading spaces, and landscaping.

This variance would allow easy access around the pool. Without the variance there is a safety concern for pool access and rear house exit.

The relationship of the requested variance to the development standards.

Currently there is a 15' setback required for inground pools and the walkways around. We are requesting a 9' variance.

The use of land and location of structures on adjacent property.

The property currently has an empty lot on the South side.

The use for which variance/appeal is sought.

We are applying for a variance to change the side yard setback from 15' to 6'. This is to provide enough room for a small/medium size inground pool.

Details of the variance/appeal and the grounds on which it is claimed it should be granted, as the case may be. The statement should consider these factors, which are considerations made by the Board of Zoning Appeals and planning staff:

- **Whether the area zoning requirement, as applied to the property owner in question, is reasonable and practical.**

The variance would provide safe and easy access to all 4 sides of the pool. Without the variance 2 sides of the pool could not be accessed in a quick and safe manner.

- **Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without the variance.**

Without the variance, the pool would be placed with 1'6" of the corner of the house which would cause many problems.

- **Whether the variance is substantial.**

This would be a minor change.

- **Whether the essential character of the neighborhood would be substantially altered or adjoining properties suffer a “substantial detriment.”**

The client's property currently has mature evergreen trees that won't be damaged during construction so the neighboring property won't be affected negatively.

- **Whether the variance would adversely affect the delivery of government services.**

No.

- **Whether the property owner purchased the property with knowledge of the zoning restriction.**

No.

- **Whether the problem can be solved by some manner other than the granting of a variance.**

No, If the pool is shifted to align with the setback, it will only allow 1'6" of space between the corner of the pool and the house foundation.

- **Whether the variance preserves the “spirit and intent” of the zoning requirement and whether “substantial justice” would be done by granting the variance.**

Yes.

Specific reasons why the variance/appeal is justified according to the Ordinance. The statement should respond to these criteria for approval from C.O. 1113.06:

- Special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same zoning district.**

The layout of the client's house doesn't allow us to shift the pool to the north without getting too close to the house itself. There are at least 2 residences in the immediate area around the client's property that do have pools and their surrounding walkways/patios within 15' of property lines.

Neighbor Support Letter for Zoning Variance Application

Applicant: Corey & Kristin Heit

Property Address: 7108 Armscote End, New Albany, OH 43054

Variance Request: To allow the pool water edge to be 6 feet from the property line rather than the required 15 feet.

To Whom It May Concern,

As a nearby resident of Armscote End and the Ebrington Neighborhood, I have reviewed the Heit family's proposed backyard improvement project. I understand they are requesting a variance that would allow one side of their pool water edge (west side) to be 6 feet off of the property line rather than the required 15 feet.

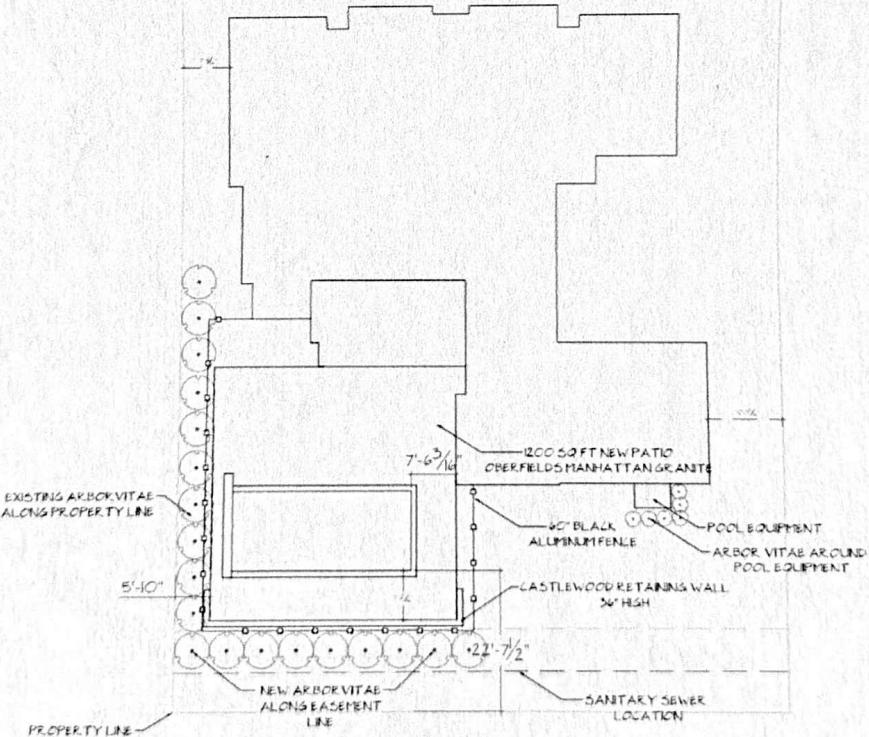
I support this request and believe the project will enhance the property while maintaining the character and integrity of our neighborhood. I have no objections to the proposed design and appreciate Heit's thoughtful approach to community alignment and aesthetics.

Name: John DeJohn

Address: 7113 ARMSCOTE END

Signature: John DeJohn

Date: 1-8-26



Neighbor Support Letter for Zoning Variance Application

Applicant: Corey & Kristin Heit

Property Address: 7108 Armscote End, New Albany, OH 43054

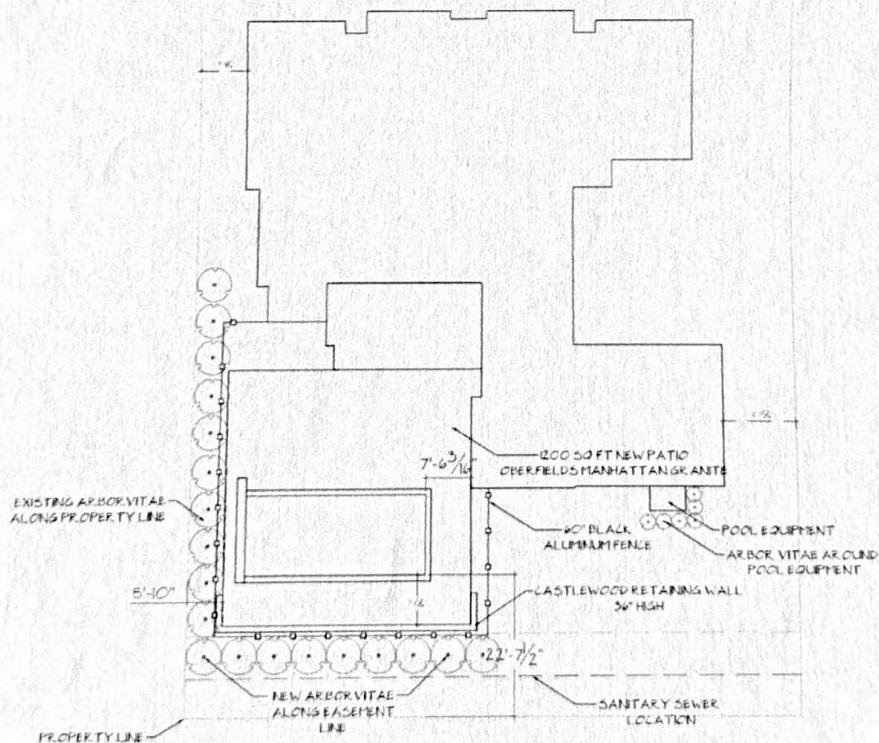
Variance Request: To allow the pool water edge to be 6 feet from the property line rather than the required 15 feet.

To Whom It May Concern,

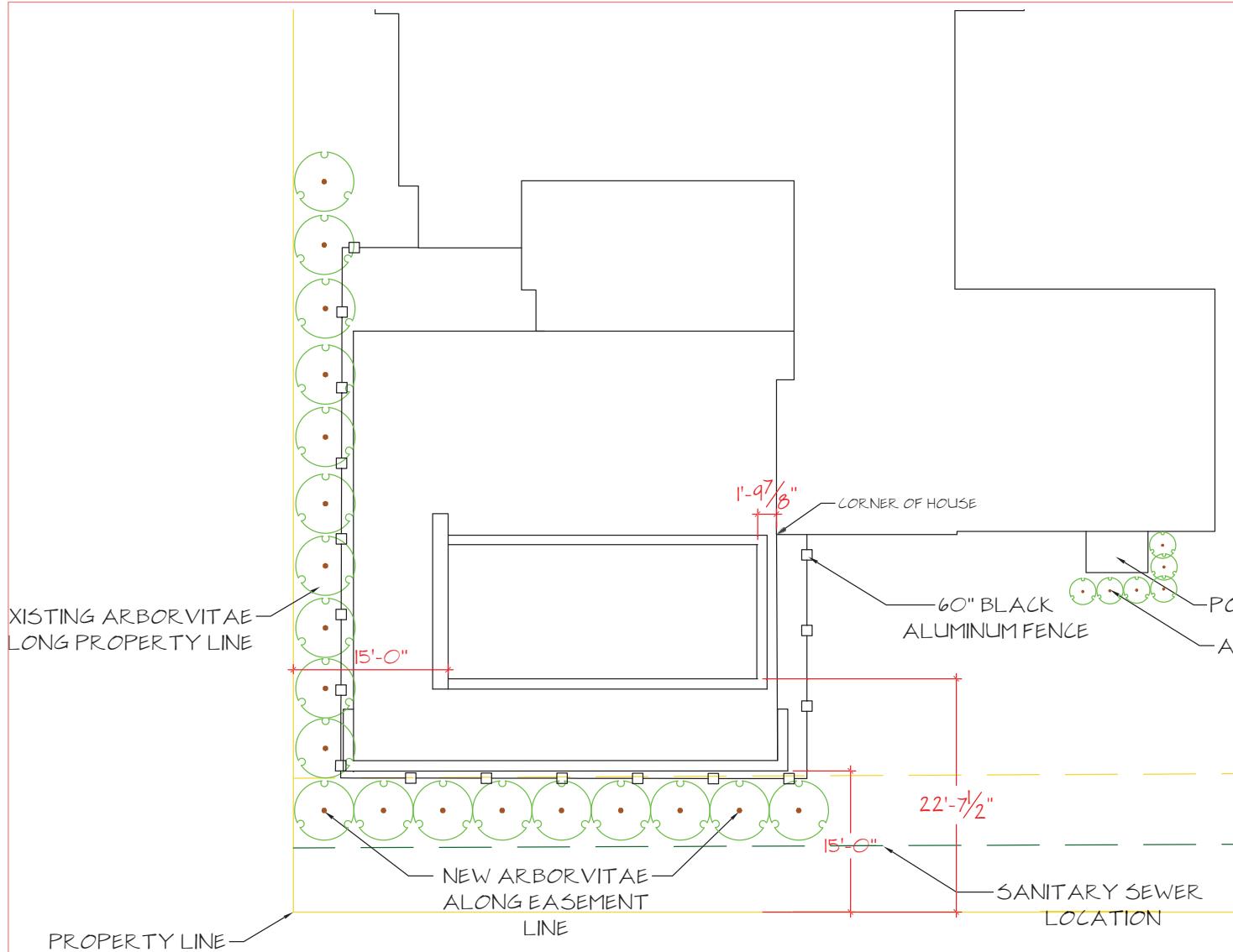
As a nearby resident of Armscote End and the Ebrington Neighborhood, I have reviewed the Heit family's proposed backyard improvement project. I understand they are requesting a variance that would allow one side of their pool water edge (west side) to be 6 feet off of the property line rather than the required 15 feet.

I support this request and believe the project will enhance the property while maintaining the character and integrity of our neighborhood. I have no objections to the proposed design and appreciate Heit's thoughtful approach to community alignment and aesthetics.

Name: Kristin De John
Address: 7108 Armscote End
Signature: K. De John
Date: 1/8/26



Option 1

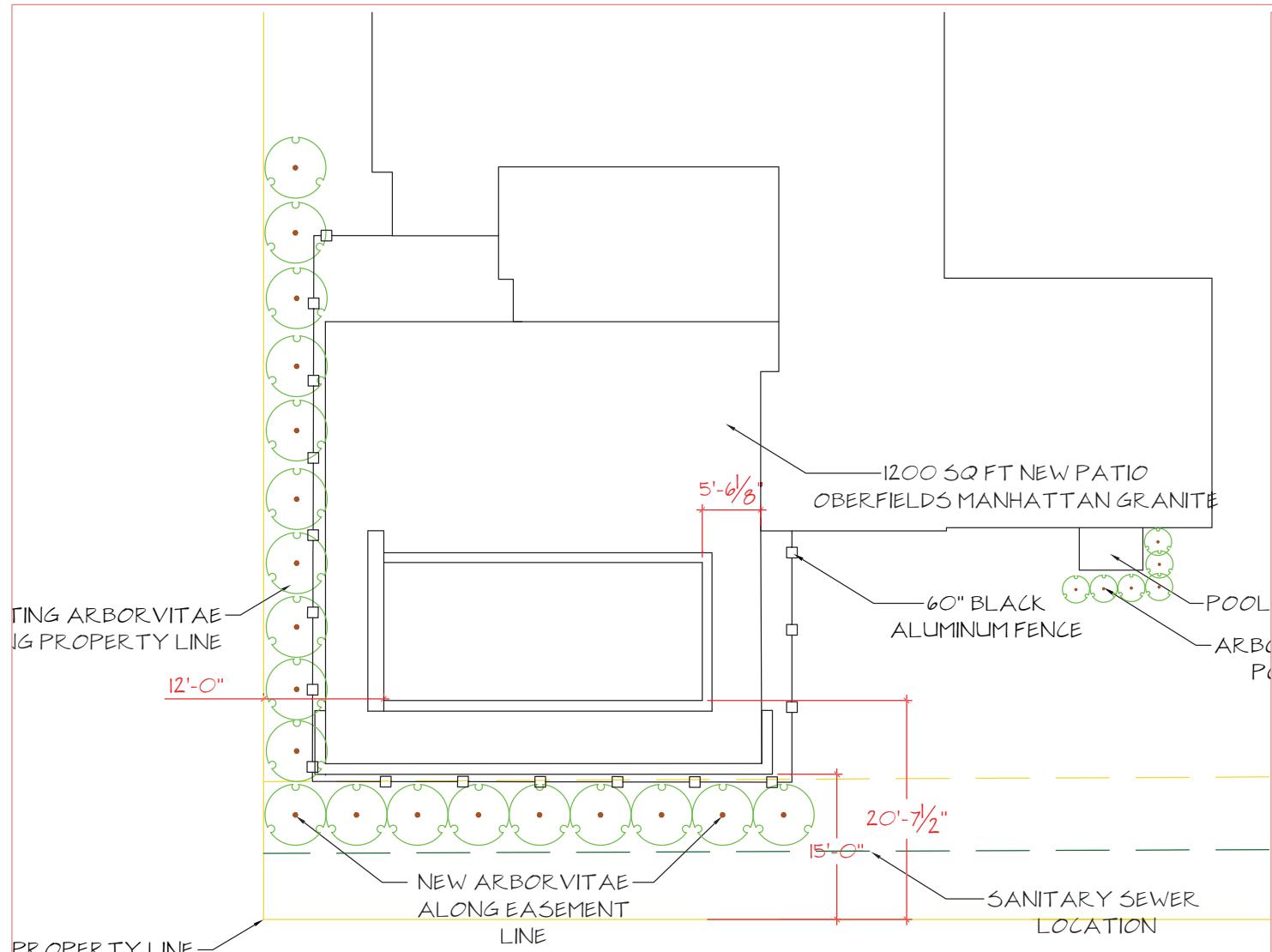


1	DESCRIPTION	YYYY/MM/DD
No.	Revision/Issue	Date

Designed By:
PRIME OUTDOOR LIVING
2020 JAMES PKWY
HEATH, OHIO 43056
740-975-6000
STEVE@POOLSBYPRIME.COM
WWW.POOLSBYPRIME.COM

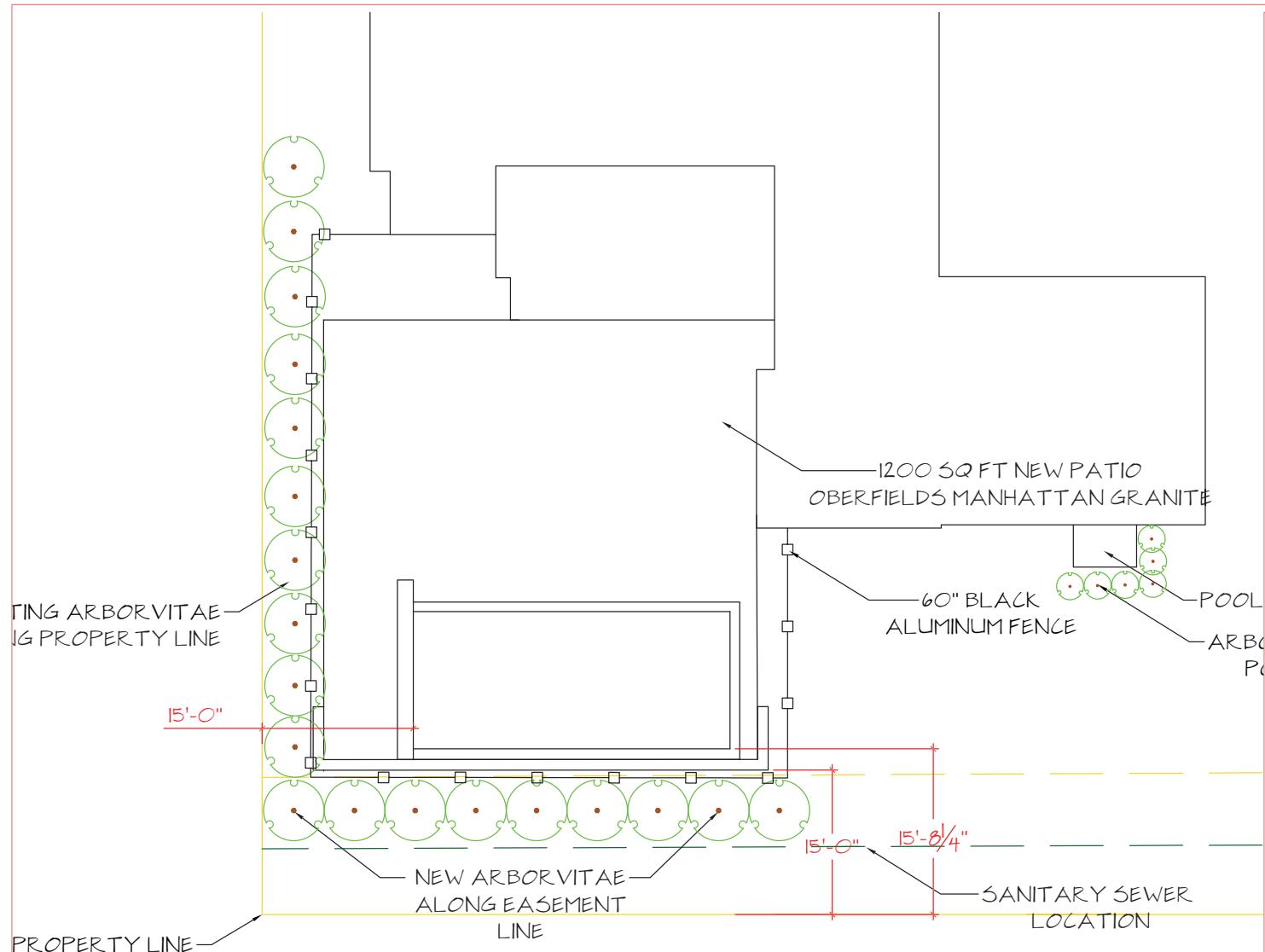
Project/Client:	KRISTIN & COREY HEIT
INGROUND POOL/PATIO	
7108 ARMSLOTE END	
NEW ALBANY, OHIO 43054	
Project	INGROUND POOL
Date	09/06/2025
Scale	1:###
Sheet	SHEET
DESCRIPTION	L#

Option 2



1	DESCRIPTION	YYYY/MM/DD
No.	Revision/Issue	Date
Designed By: PRIME OUTDOOR LIVING 2020 JAMES PKWY HEATH, OHIO 43056 740-975-6000 STEVE@POOLSBYPRIME.COM WWW.POOLSBYPRIME.COM		
Project/Client: KRISTIN & COREY HEIT INGROUND POOL/PATIO 7108 ARMSLOTE END NEW ALBANY, OHIO 43054		
Project INGROUND POOL	Sheet SHEET	DESCRIPTION L#
Date 09/06/2025	Scale 1:##	

Option 3



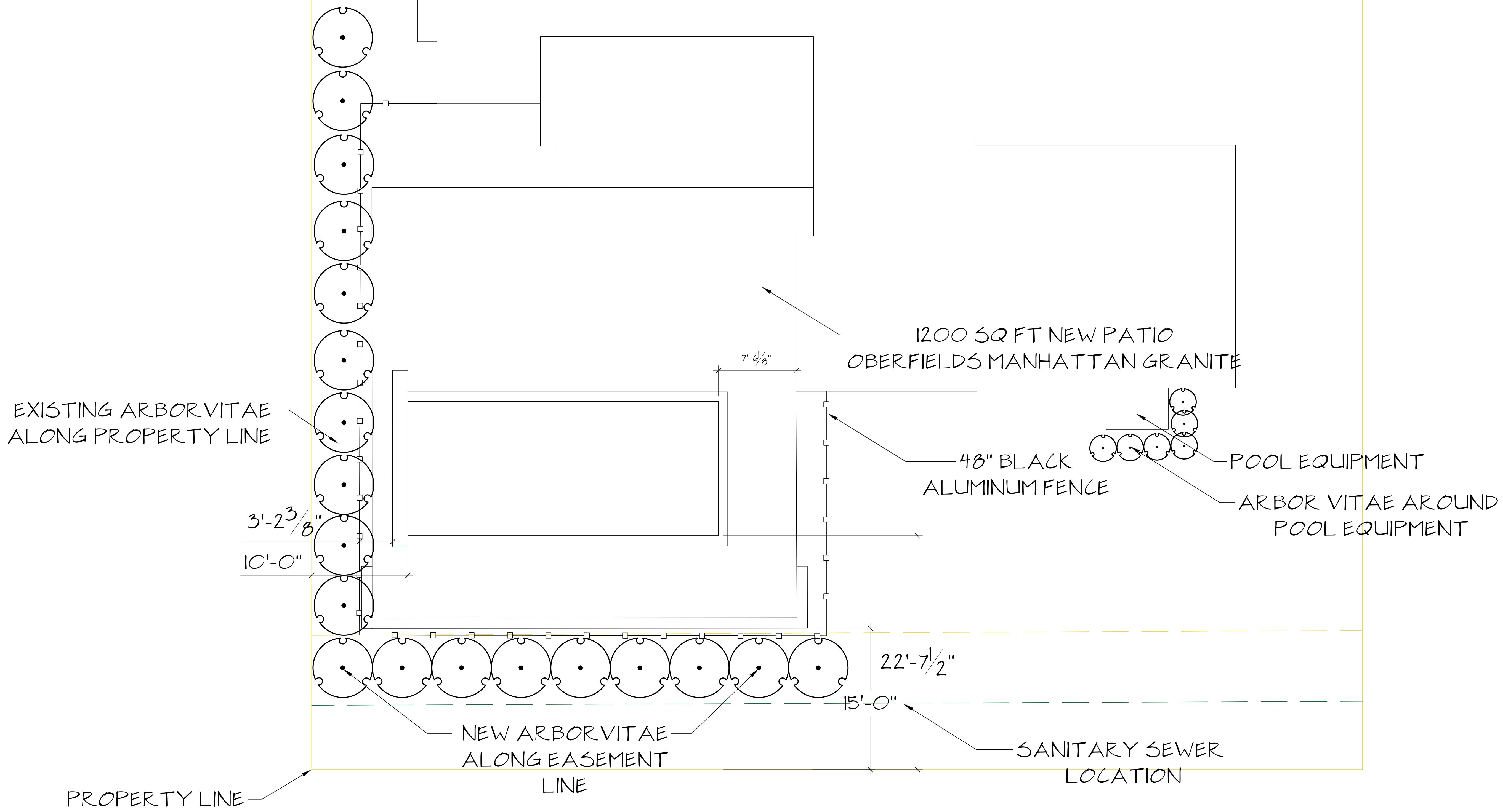
1	DESCRIPTION	YYYY/MM/DD
No.	Revision/Issue	Date

Designed By:
PRIME OUTDOOR LIVING
 2020 JAMES PKWY
 HEATH, OHIO 43056
 740-975-6000
 STEVE@POOLSBYPRIME.COM
 WWW.POOLSBYPRIME.COM

Project/Client:
KRISTIN & COREY HEIT
 INGROUND POOL/PATIO
 7108 ARMSLOC EEND
 NEW ALBANY, OHIO 43054

Project	Sheet
INGROUND POOL	SHEET
Date	DESCRIPTION
09/06/2025	L#
Scale	
1:##	

Proposed



General Notes		
1	DESCRIPTION	YYYY/MM/DD
No.	Revision/Issue	Date
Designed By: PRIME OUTDOOR LIVING INC. 2020 JAMES PKWY HEATH, OHIO 43056 740.475.6000 STEVE@POOLSBYPRIME.COM WWW.POOLSBYPRIME.COM		
P R I M E OUTDOOR LIVING		
Project/Client: KRISTIN & COREY HEIT INGROUND POOL/PATIO/LANDSCAPE 7108 ARMSLOC ROAD NEW ALBANY OHIO, 43054		
Project INGROUND POOL	Sheet SHEET	DESCRIPTION L#
Date 10/13/2025		
Scale 1:###		



Planning Commission Staff Report
January 21, 2026 Meeting

**CME CREDIT UNION AND CRIMPSON CUP COFFEE SHOP
FINAL DEVELOPMENT PLAN EXTENSION**

LOCATION: Located at the southwest corner of Beech Road NW and Smith's Mill Road (PID: 093-106512-00.011)
APPLICANT: Tom Newcomb
REQUEST: Final Development Plan Extension
ZONING: Beech Crossing I-PUD
STRATEGIC PLAN: Retail
APPLICATION: FDP-97-2025

Review based on application materials received December 3, 2025.

*Original staff report prepared by Chelsea Nichols, Planner
Updated staff report prepared by Lauren Sauter, Planner*

I. REQUEST AND BACKGROUND – UPDATE:

The applicant requests extension of the approval of a final development plan for a proposed CME credit union and Crimson Cup coffee shop with drive-throughs located at the southwest corner of Beech Road and Smith's Mill Road.

The Planning Commission approved this application with conditions at its hearing on November 20, 2023 (FDP-77-2023). According to C.O. Section 1159.11, if construction has not begun within two years of approval of the final development plan, all approvals shall be invalidated and canceled, and such two-year period may be extended by the commission for good cause. The applicant requests this extension. The proposed development has not been modified from its original approval; as such, the conditions of approval remain unchanged. The conditions of the original submittal would still apply and should be included in the motion.

The Planning Commission additionally approved an associated variance (VAR-79-2023) to eliminate the requirement that buildings have operable and active front doors along all public and private roads. The variance approval has not expired.

The subject property is zoned for Infill Planned Unit Development (I-PUD) and is located within the Beech Crossing Zoning District, which was reviewed and approved by the Planning Commission on January 22, 2020 (ZC-102-2019).

II. SITE DESCRIPTION & USE

The site is generally located north of State Route 161, south of Smith's Mill Road and west of Beech Road. The site is approximately 2.03 acres and is currently undeveloped. The Planning Commission approved final development plan applications for Duke and Duchess on October 20, 2020; Holiday Inn Express on February 19, 2020; and Taco Bell on August 21, 2023.

The zoning text permits most uses described by C.O. 1149, C-3, Highway Business District. The permitted uses within this zoning district include any use specified as a permitted or conditional use in the C-2 District. As such, although a drive-through for a bank is a conditional use in the C-

2 District, it is considered a permitted use in the C-3 District. The bank, coffee shop, and coffee shop drive-through are all permitted uses for this zoning district as well.

III. EVALUATION

Staff's review is based on New Albany plans and studies, zoning text, and zoning regulations. Primary concerns and issues have been indicated below, with needed action or recommended action in underlined text. Planning Commission's review authority is found under Chapter 1159.

The Commission should consider, at a minimum, the following (per Section 1159.08):

- a. *That the proposed development is consistent in all respects with the purpose, intent and applicable standards of the Zoning Code;*
- b. *That the proposed development is in general conformity with the Strategic Plan/Rocky Fork-Blacklick Accord or portion thereof as it may apply;*
- c. *That the proposed development advances the general welfare of the Municipality;*
- d. *That the benefits, improved arrangement and design of the proposed development justify the deviation from standard development requirements included in the Zoning Ordinance;*
- e. *Various types of land or building proposed in the project;*
- f. *Where applicable, the relationship of buildings and structures to each other and to such other facilities as are appropriate with regard to land area; proposed density may not violate any contractual agreement contained in any utility contract then in effect;*
- g. *Traffic and circulation systems within the proposed project as well as its appropriateness to existing facilities in the surrounding area;*
- h. *Building heights of all structures with regard to their visual impact on adjacent facilities;*
- i. *Front, side and rear yard definitions and uses where they occur at the development periphery;*
- j. *Gross commercial building area;*
- k. *Area ratios and designation of the land surfaces to which they apply;*
- l. *Spaces between buildings and open areas;*
- m. *Width of streets in the project;*
- n. *Setbacks from streets;*
- o. *Off-street parking and loading standards;*
- p. *The order in which development will likely proceed in complex, multi-use, multi-phase developments;*
- q. *The potential impact of the proposed plan on the student population of the local school district(s);*
- r. *The Ohio Environmental Protection Agency's 401 permit, and/or isolated wetland permit (if required);*
- s. *The U.S. Army Corps of Engineers 404 permit, or nationwide permit (if required).*

It is also important to evaluate the PUD portion based on purpose and intent. Per Section 1159.02, PUDs are intended to:

- a. *Ensure that future growth and development occurs in general accordance with the Strategic Plan;*
- b. *Minimize adverse impacts of development on the environment by preserving native vegetation, wetlands and protected animal species to the greatest extent possible*
- c. *Increase and promote the use of pedestrian paths, bicycle routes and other non-vehicular modes of transportation;*
- d. *Result in a desirable environment with more amenities than would be possible through the strict application of the minimum commitment to standards of a standard zoning district;*
- e. *Provide for an efficient use of land, and public resources, resulting in co-location of harmonious uses to share facilities and services and a logical network of utilities and streets, thereby lowering public and private development costs;*
- f. *Foster the safe, efficient and economic use of land, transportation, public facilities and services;*

- g. Encourage concentrated land use patterns which decrease the length of automobile travel, encourage public transportation, allow trip consolidation and encourage pedestrian circulation between land uses;
- h. Enhance the appearance of the land through preservation of natural features, the provision of underground utilities, where possible, and the provision of recreation areas and open space in excess of existing standards;
- i. Avoid the inappropriate development of lands and provide for adequate drainage and reduction of flood damage;
- j. Ensure a more rational and compatible relationship between residential and non-residential uses for the mutual benefit of all;
- k. Provide an environment of stable character compatible with surrounding areas; and
- l. Provide for innovations in land development, especially for affordable housing and infill development.

Engage New Albany Strategic Plan Recommendations

The Engage New Albany strategic plan recommends the following development standards for the Retail future land use category:

- 1. Parking areas should promote pedestrians by including walkways and landscaping to enhance visual aspects of the development.
- 2. Combined curb cuts and cross access easements are encouraged.
- 3. Curb cuts on primary streets should be minimized and well-organized connections should be created within and between all retail establishments.
- 4. Combined curb cuts and cross-access easements between parking areas are preferred between individual buildings.
- 5. Retail building entrances should connect with the pedestrian network and promote connectivity through the site.
- 6. Integrate outdoor spaces for food related businesses.

A. Use, Site and Layout

- 1. The proposed coffee shop with drive-through is a permitted use as a carry-out food and beverage establishment with drive-through facility. The proposed bank is permitted as a personal service. The drive-through associated with the bank is also a permitted use.
- 2. The applicant proposes to develop a 4,419-square-foot CME credit union and Crimson Cup coffee shop with drive-throughs.
 - a. The credit union floor area is 1,309 square feet.
 - b. The coffee shop floor area is 894 square feet.
 - c. The shared space floor area is 2,216 square feet.
- 3. The I-PUD zoning text requires the following setbacks from these perimeter boundaries:
 - a. Beech Road:
 - i. Required minimum: 40-foot pavement and 75-foot building setback.
 - ii. Proposed: 41.74+/- foot pavement and 112.24+/- foot building setback—meets code.
 - b. Smith's Mill Road:
 - i. Required minimum: 55-foot pavement and 75-foot building setback.
 - ii. Proposed: 65+/- foot pavement and 135.5+/- foot building setback—meets code.
 - c. Internal parcel boundaries (southern and western property lines):
 - i. Required minimum: 10-foot pavement and building setback.
 - ii. Proposed (western property line): 11.9-foot pavement and 118.9-foot building setback—meets code.
 - iii. Proposed (southern property line): 8.5+/- feet pavement and 65-foot building setback. The building setback requirement is met, but the pavement setback requirement is not met. A variance has not been requested. Staff recommends a condition of approval that the site plan be revised so that the pavement is at least 10 feet away from the southern property line at the time of permitting (condition #1).

- d. Outparcel Access Road (Beech Crossing):
 - i. Required minimum: 15-foot building and pavement setback.
 - ii. Proposed: 50+/- foot pavement (not counting drive aisle to enter the site) and 133+/- foot building setback—meets code.
- 4. The development site is accessed by a private road, which was reviewed and approved by the Planning Commission on October 21, 2019 (FDP-72-2019). This private road, Beech Crossing, was constructed by another private developer and includes street trees and a sidewalk along the road.
- 5. According to zoning text section C(1), the applicant is required to install a leisure trail along Smith's Mill Road. The site plan meets this standard by providing an eight-foot-wide leisure trail within the front yard of the lot along Smith's Mill Road.
- 6. Per zoning text section C(4), the applicant is required to connect into the existing pedestrian circulation system. The applicant is meeting this requirement by providing a direct connection into the future leisure trail along Smith's Mill Road, in addition to the existing leisure trail along Beech Road and the existing sidewalk along Beech Crossing.
- 7. The zoning text requires that the total lot coverage, which includes all areas of pavement and building, not exceed 80 percent of the total area. The proposed development is at 54 percent lot coverage, thereby meeting this requirement.
- 8. The Beech Crossing I-PUD zoning text places a limitation on total acreage that can be utilized for retail uses in the Beech Road / Smith's Mill Road area. The intent is to limit retail development to a maximum of 92 acres in this general area. Once 92 acres have been developed with retail uses found in the C-3 and GE zoning districts, the remainder of the land from all of these subareas can only allow non-retail General Employment (GE) zoning district uses listed in their respective zoning texts. This 2.03-acre development is subject to this overall 92-acre retail limitation.

B. Access, Loading, Parking

1. The site is accessed from one full-access curb-cut along Beech Crossing, which is near the southwest corner of the property. The site layout consists of two-way vehicular traffic traveling around three of the four sides of the building and the drive-through on the south side of the building. A dumpster, enclosure, and loading area are located toward the interior of the site, out of view from traffic on Beech Road and Smith's Mill Road. There are pedestrian entrances along Beech Road and Smith's Mill Road as well as on the west elevation.
2. The city engineer comments that the one-way lanes could potentially conflict with southbound circulation and for cars backing out of the first parking space. To remedy this comment, staff recommends a condition of approval that a private traffic circle be added to the site as suggested in the engineering comments and exhibit (and image below). The curb should be six-inch mountable curbs so as to not negatively affect fire truck turning (condition #2).

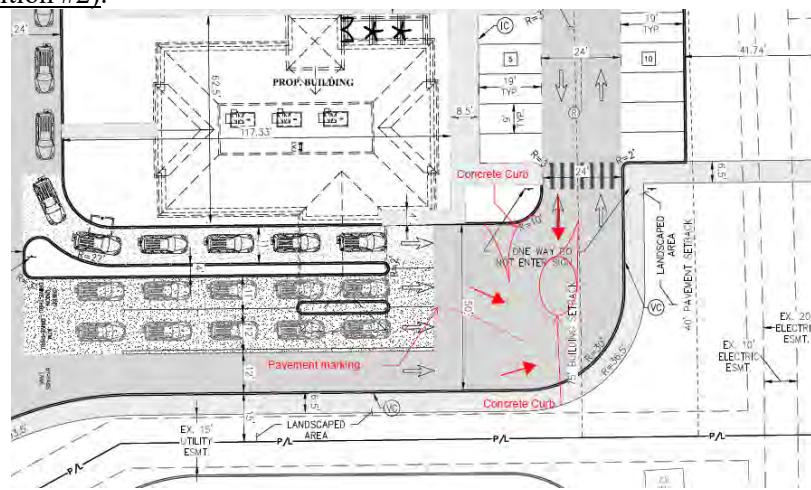


Image: Markup of condition #2.

3. Staff recommends a condition of approval that signage is installed to avoid improper vehicular circulation (i.e. right turns across entry drives in an effort to exit the site onto Beech Crossing). This shall be addressed at the time of permitting, subject to staff approval (condition #3).
4. The city parking code (C.O. 1167) contains the following parking standards for coffee shops associated with a bank use:
 - a. The bank requires one parking space per 200 square feet of gross floor area. The credit union area is calculated to be 2,417 square feet (1,309 square feet plus half of the shared floor area, which is 1,108 square feet), which necessitates 13 parking spaces for the credit union.
 - b. The coffee shop requires one parking space for each 75 square feet of gross floor area. The coffee shop area is calculated to be 2,002 square feet (894 square feet plus half of the shared floor area, which is 1,108 square feet), which necessitates 27 parking spaces for the coffee shop.
 - c. In total, 40 parking spaces are required for the proposed development. The applicant is providing 43 parking spaces.
 - d. The bank drive-through requires stacking spaces equal to 80 percent of the required number of parking spaces, which necessitates 11 stacking spaces. The proposal appears to include 11 stacking spaces for the credit union and meets requirements.
 - e. The coffee shop drive-through requires stacking spaces equal to 25 percent of the required number of parking spaces, which necessitates seven stacking spaces. The proposal appears to include 10 stacking spaces for the coffee shop and meets requirements.
5. Per C.O. 1167.03(a), the minimum parking space dimensions must be a minimum of nine feet wide and 19 feet long. The applicant is meeting this requirement.
6. Per C.O. 1167.03(a), the minimum maneuvering lane width size must be 22 feet for this development type. The applicant is exceeding this requirement with a 24-foot width.

C. Architectural Standards

1. The purpose of the New Albany Design Guidelines and Requirements (DGR) is to help ensure that the New Albany community enjoys the highest possible quality of architectural design. In addition to architectural standards contained in the zoning text, the site is regulated by DGR Section 6: Commercial Outside Village Center.
2. The zoning text states that retail buildings shall be a minimum of one story and a maximum of two stories in height. This requirement is being met, as the building is a one-story building.
3. The primary building material is brick, which is a permitted building material in the zoning text.
4. Zoning text section E.4(b) states that all rooftop mechanical units must be screened to limit off-site visibility and sound. The applicant meets this requirement.
5. DGR Section 6(I)(A)(4) states that the number, location, spacing, and shapes of window openings shall be carefully considered, particularly for buildings in retail use, and shall impart a sense of human scale. The applicant meets this requirement by designing the windows with consistent spacing and shapes. The number and location of the windows are also appropriate.
6. DGR Section 6(I)(A)(6) states that all visible elevations of a building must receive similar treatments in style, materials, and design so that no visible side is of a lesser character than any other. The applicant is meeting this requirement by using the same materials on all building elevations.
7. C.O. 1149.04 states dumpsters are to be located as to effectively be screened from view. The applicant is meeting this standard.
8. DGR Section 6(I)(A)(12) states that buildings shall have active and operable front doors along all public and private streets. The building fronts onto Smith's Mill Road to the north, Beech Road to the east, and Beech Crossing to the southwest. There is an active and operable front door fronting Beech Road and Smith's Mill Road; however, there is

not an active and operable front door facing Beech Crossing. *The Planning Commission approved a variance to allow no active and operable front doors on the Beech Crossing frontage at its hearing on November 20, 2023, under case VAR-79-2023.*

D. Parkland, Buffering, Landscaping, Open Space, Screening

1. Per Beech Crossing zoning text requirement G(3)(a), a four-board horse fence is required to be installed along Smith's Mill Road. This requirement is met.
2. Per zoning text requirement G(8), a master landscape plan shall be completed as part of the first final development plan that is submitted for a property located west of the previously approved "Outparcel Access Road," which is the existing Beech Crossing. This landscape plan is subject to the review and approval of the city landscape architect. The property owner had submitted the plan, and it had been approved by the city landscape architect ahead of the future Taco Bell site to the west. The landscape standards established along Smith's Mill Road and Beech Road surround the proposed site to the north and east.
3. Per zoning text requirement (G)(3)(b)(i), a minimum of six trees per 100 lineal feet must be installed within the required setback area along Smith's Mill Road and along Beech Road. This requirement is being met.
4. Per zoning text requirement G(3)(c), a minimum 3.5-foot-tall landscape buffer must be provided to screen parking areas along all public rights of way. The proposed landscape plan shows a 3.5-foot-tall landscape buffer along the parking areas that are along public rights of way; therefore, this requirement is being met.
5. Per zoning text requirement G(3)(d), a landscape buffer is required to be installed within the required setback of any interior side parcel line and shall consist of a 10-foot landscape buffer with grass and landscaping and deciduous trees planted at a rate of four trees for every 100 feet of side property line and deciduous shrubs must be planted under the trees. The applicant proposes to install these 10 trees and shrubs along the west side within the 10-foot setback. Therefore, this requirement is being met.
6. Per zoning text requirement G(5), street trees shall be planted at a rate of one tree for every 30 feet of street frontage. Trees shall be regularly spaced along Beech Road and Smith's Mill Road. The proposed landscape plan shows the existing street trees along Beech Road and the proposed nine trees along Smith's Mill Road; therefore, this requirement is being met.
7. Per zoning text requirement G(7), a minimum of one tree for every 10 parking spaces is required, and at least five percent of the vehicular use area shall be landscaped. The applicant is providing 43 parking spaces and is meeting this requirement by providing five trees. In addition, over five percent of the total parking area is landscaped. This requirement is being met.

E. Lighting & Signage

1. Section II(H)(1) of the zoning text requires all parking lot light poles to be downcast and use cut-off type fixtures in order to minimize light spilling beyond the boundaries of the site. The proposed light fixtures match the existing Duke and Duchess site with the development and meets the requirements. In addition, a detailed photometric plan was submitted showing that there is no light spillage from this site.
2. Section II(H)(3) states that all parking lot poles within the entire zoning district shall be black or New Albany Green, be constructed of metal, and not exceed 30 feet in height. Staff recommends this site uses the same black metal poles that are installed at the existing Duke and Duchess site so there is consistent and cohesive lighting within the development. As such, staff recommends a condition of approval that all parking lot light poles are black metal, are to not exceed 30 feet in height, and are subject to staff approval at the time of permitting (condition #4).
3. The applicant requests to install a drive-through menu board sign for the coffee shop. Drive-through menu board signs are permitted, and code states drive-through menu board signs shall not be visible from the public right-of-way. The development plan shows the drive-through menu board sign on the western side of the site, behind the building; the

sign location meets code.

- Details for the proposed monument sign have not been provided. Staff recommends a condition of approval that all other sign details be subject to staff approval and must meet code requirements (condition #5). Additionally, staff recommends a condition of approval that should any additional variances needed other than what is included in application VAR-79-2023, they must be subject to the review and approval of the Planning Commission at a later date (condition #6).

Wall Signs

- The zoning text and C.O. 1169.15(d) permit one wall sign per tenant on each of the building frontages, either on a public or private road, with one square foot in area per linear square foot of building frontage, not to exceed 50 square feet.
- This building has two tenants and three building frontages. This permits the building to have one wall sign per tenant on each of the three building frontages.
- Based on the architectural elevations, the applicant proposes one wall sign on the north elevation, four on the west elevation, and two on the east elevation. The west elevation currently shows one sign for the credit union and three signs for the coffee shop, where one sign displays the shop name and the other two identify the drive-through. The western elevation should be revised to show only one sign per tenant, as permitted by code; as such, staff recommends a condition of approval that all signage be revised to meet code requirements, subject to staff approval (condition #5).
- As shown on the architectural elevation sheets, the following wall signs are proposed. Some details are not specified or do not meet city code requirements; staff recommends a condition of approval that all signage be revised to meet code requirements, subject to staff approval (condition #5). The signage specifications that require revision or specification are underlined.

Smith's Mill Road northern elevation wall sign for CME:

The wall sign reads “CME Federal Credit Union” and features the company logo.

- Lettering height: information not provided (maximum of 24 inches); see condition #5.
- Area: information not provided (maximum 50 square feet); see condition #5.
- Location: northern elevation along Smith's Mill Road—meets code.
- Lighting: external—meets code.
- Relief: information not provided (minimum one-inch relief); see condition #5.
- Projection: information not provided (maximum 18 inches from building); see condition #5.
- Colors: five—does not meet code (maximum of four colors); see condition #5.
- Material: information not provided (must meet requirements of C.O. 1169); see condition #5.



Image: North elevation, with one proposed wall sign.

Beech Road eastern elevation wall sign for CME:

The wall sign reads “CME Federal Credit Union” and features the company logo.

- Lettering height: information not provided (maximum of 24 inches); see condition #5.

- b. Area: information not provided (maximum 50 square feet); see condition #5.
- c. Location: eastern elevation along Beech Road—meets code.
- d. Lighting: external—meets code.
- e. Relief: information not provided (minimum one-inch relief); see condition #5.
- f. Projection: information not provided (maximum 18 inches from building); see condition #5.
- g. Colors: five—does not meet code (maximum of four colors); see condition #5.
- h. Material: information not provided (must meet requirements of C.O. 1169); see condition #5.

Beech Road eastern elevation wall sign for Crimson Cup:

The wall sign reads “Crimson Cup coffee & tea.”

- a. Lettering height: information not provided (maximum of 24 inches); see condition #5.
- b. Area: information not provided (maximum 50 square feet); see condition #5.
- c. Location: eastern elevation along Beech Road—meets code.
- d. Lighting: external—meets code.
- e. Relief: information not provided (minimum one-inch relief); see condition #5.
- f. Projection: information not provided (maximum 18 inches from building); see condition #5.
- g. Colors: two—meets code (maximum of four colors).
- h. Material: information not provided (must meet requirements of C.O. 1169); see condition #5.



Image: Eastern elevation, with two proposed wall signs and an address sign.

Beech Crossing western elevation wall sign for CME:

The wall sign reads “CME Federal Credit Union” and features the company logo.

- a. Lettering height: information not provided (maximum of 24 inches); see condition #5.
- b. Area: information not provided (maximum 50 square feet); see condition #5.
- c. Location: facing northern elevation along Beech Crossing—meets code.
- d. Lighting: external—meets code
- e. Projection: information not provided (maximum 18 inches from building); see condition #5.
- f. Relief: information not provided (minimum one-inch relief); see condition #5.
- g. Colors: five—does not meet code (maximum of four colors); see condition #5.
- h. Material: information not provided (must meet requirements of C.O. 1169); see condition #5.

Beech Crossing western elevation wall sign for Crimson Cup:

The wall sign reads “Crimson Cup coffee & tea.”

- a. Lettering height: information not provided (maximum of 24 inches); see condition #5.
- b. Area: information not provided (maximum 50 square feet); see condition #5.
- c. Location: facing eastern elevation along Beech Crossing—meets code.
- d. Lighting: external—meets code.

- e. Relief: information not provided (minimum one-inch relief); see condition #5.
- f. Projection: information not provided (maximum 18 inches from building); see condition #5.
- g. Colors: two—meets code (maximum of four colors).
- h. Material: information not provided (must meet requirements of C.O. 1169); see condition #5.



Image: Western elevation.

Beech Road eastern elevation address sign

- a. Projection: information not provided (maximum six inches); see condition #5.
- b. Quantity: one—meets code (one per building).
- c. Area: information not provided (maximum four square feet); see condition #5.
- d. Width: information not provided (maximum five feet in any direction); see condition #5.
- e. Lighting: none—meets code.

IV. ENGINEER'S COMMENTS

The City Engineer has reviewed the application and provided the following comments. These comments can also be found in a separate memo attached to this staff report. Staff recommends a condition of approval that the comments of the city engineer are addressed, subject to staff approval (condition #8).

1. Refer to Exhibit A, note block 1.1.1. Delete the 2023 Specifications note block shown on sheet G.S. and add note 1.1.1 in its place.
2. Refer to sheet C1.01. Show the location of the stop bar and stop sign at the curb cut and provide a cross walk and signage that meets ADA requirements.
3. Refer to Exhibit B. Revise sheet C1.01 in accordance with this Exhibit. Consider mountable curb where concrete curb is proposed.
4. Refer to sheet L1.00. Provide a site distance triangle at the Beech Crossing curb cut and evaluate site distance relative to existing and proposed landscaping. Remove landscaping that may impede motorist view.
5. Provide parking lot lighting photometric analysis for staff review and approval.
6. Provide fire truck turning radius analysis.
7. In accordance with code sections 1159.07 (b)(3) sections Z. and AA, provide documentation indicating that all OPEA or ACOE issues have been addressed.
8. We will evaluate storm water management, water distribution, sanitary sewer collection and roadway construction related details once construction plans become available.

V. SUMMARY

The proposed use is appropriate for this site given its proximity to State Route 161 and the New Albany International Business Park. This site, and the Beech Crossing development, is auto-oriented but still incorporates strong pedestrian connectivity. The use appears to be appropriate and with the revisions the applicant has made to the site plan, the building is appropriately oriented to the public streets.

The Engage New Albany Strategic Plan recommends retail sites have a strong street presence and include architectural and landscaping features that respond to the existing New Albany character. Ensuring a strong street presence that appropriately addresses the intersection is important since the site is located at a prominent gateway into the city and business park. The building orientation has been updated in the current plan to better align with New Albany's principle planning standards found in the city codes and plans.

The building is surrounded by the parking lot, a drive-thru lane and internal drive aisles. With the addition of the traffic circle, vehicles will be able to safely traverse throughout the site, and results in a strong circulation plan. The drive-through appears to be appropriately positioned on the site where it does not interfere with traffic on the rest of the site and will not cause traffic to back up onto the private road. By having a one-way drive aisle on just one side of the building, the site layout provides desirable and convenient circulation.

The updated site plan also provides a strong landscape plan that exceeds code standards. The plan also provides space for a future gateway feature at the corner of this prominent corner of the city.

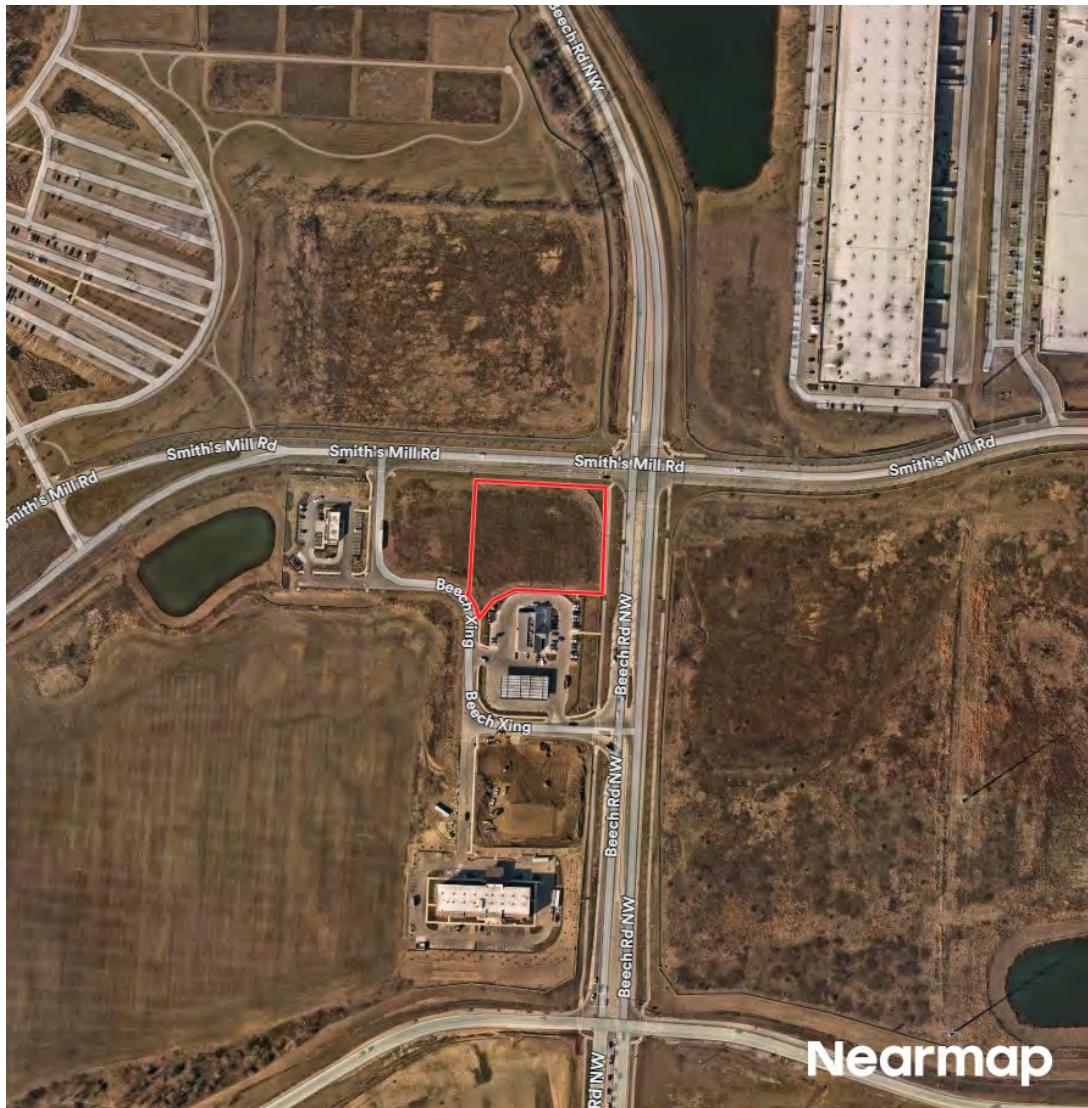
V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve final development plan application FDP-97-2025, subject to the following conditions:

1. The site plan shall be revised so that the pavement is at least 10 feet away from the southern property line at the time of permitting.
2. A private traffic circle shall be added to the site as suggested in the engineering comments and exhibit. The curb should be six-inch mountable curbs as to not negatively affect fire truck turning.
3. Signage shall be installed to avoid improper vehicular circulation (i.e. right turns across entry drives in an effort to exit the site onto Beech Crossing). This shall be addressed at the time of permitting, subject to staff approval.
4. All parking lot light poles shall match the neighboring Duke and Duchess, be colored black, and not exceed 30 feet in height, and are subject to staff approval at the time of permitting.
5. All sign details are subject to staff approval at the time of permitting and all signage shall be revised to meet code requirements, subject to staff approval.
6. Should any additional variances be needed other than what is included in application VAR-79-2023, they must be subject to the review and approval of the Planning Commission at a later date.
7. The city engineer's comments must be addressed, subject to staff approval.

Approximate Site Location



Source: NearMap



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																																									
Project Information	<p>Site Address <u>2175 Beech Rd NW</u> Parcel Numbers <u>093-106512-00.011</u> Acres <u>2.03</u> # of lots created _____</p> <table border="1" style="width: 100%;"><thead><tr><th style="text-align: left;">Choose Application Type</th><th style="text-align: left;">Description of Request:</th></tr></thead><tbody><tr><td><input type="checkbox"/>Appeal</td><td><input checked="" type="checkbox"/> Extension Request</td><td>Request for Conditional Use</td></tr><tr><td><input type="checkbox"/>Certificate of Appropriateness</td><td><input type="checkbox"/> Variance</td><td>Extension for a period of 1 year.</td></tr><tr><td><input type="checkbox"/>Conditional Use</td><td><input type="checkbox"/> Vacation</td><td>Conditional Use to include drive thru.</td></tr><tr><td><input type="checkbox"/>Development Plan</td><td></td><td>Approved 11/20/2023 for Final</td></tr><tr><td><input type="checkbox"/>Plat</td><td></td><td>Development Plan, PLFDP20230077.</td></tr><tr><td><input type="checkbox"/>Lot Changes</td><td></td><td></td></tr><tr><td><input type="checkbox"/>Minor Commercial Subdivision</td><td></td><td></td></tr><tr><td><input type="checkbox"/>Zoning Amendment (Rezoning)</td><td></td><td></td></tr><tr><td><input type="checkbox"/>Zoning Text Modification</td><td></td><td></td></tr></tbody></table>		Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	<input checked="" type="checkbox"/> Extension Request	Request for Conditional Use	<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Variance	Extension for a period of 1 year.	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Vacation	Conditional Use to include drive thru.	<input type="checkbox"/> Development Plan		Approved 11/20/2023 for Final	<input type="checkbox"/> Plat		Development Plan, PLFDP20230077.	<input type="checkbox"/> Lot Changes			<input type="checkbox"/> Minor Commercial Subdivision			<input type="checkbox"/> Zoning Amendment (Rezoning)			<input type="checkbox"/> Zoning Text Modification													
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Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner _____ Date: <u>12/3/25</u> Signature of Applicant _____ Date: <u>12/1/2025</u></p>																																									

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054



Monday, December 1, 2025
New Albany Planning Commission
City of New Albany
99 W. Main St.
P.O Box 188
New Albany, OH 43054
614-939-2254

Dear Planning Commission Members,

This letter is a request for an extension on the conditional approval for final development plan, PLFDP20230077. The request for a conditional use to construct a drive through located at the southwest corner of Beech Rd NW and Smith's Mill Rd. The original approval was granted on Nov 20, 2023 and was recorded on Nov 21, 2023.

Ongoing contractual discussions between the owner and tenant have delayed the construction process. We are requesting an extension to ensure that the project can proceed to completion. Construction is anticipated to begin in 2026.

We kindly request that the Planning Commission consider granting this extension in accordance with code 1115.07 for an additional period of 1 year.

Thank you for your time and consideration.

Regards,
Tom Newcomb

CME FEDERAL CREDIT UNION

CITY OF NEW ALBANY

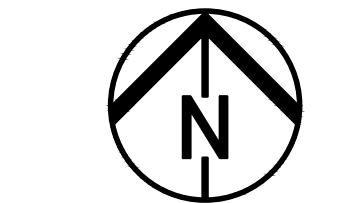
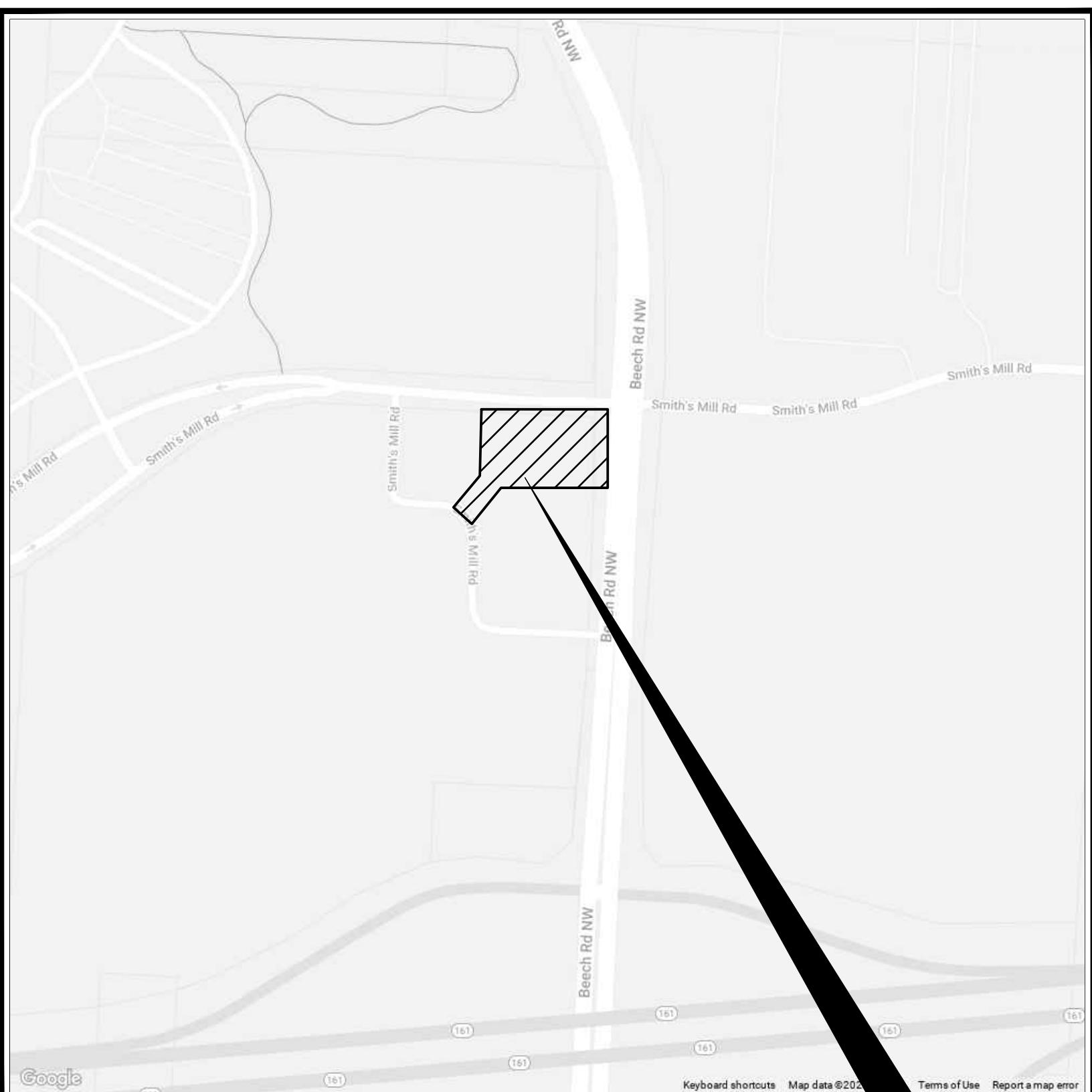
SOUTHWEST CORNER OF SMITHS MILL & BEECH ROAD

LICKING & FRANKLIN COUNTY, OHIO

ISSUED: 10/31/2023

SITE PLAN LEGEND

EXISTING	PROPOSED	
—	—	CENTERLINE/BASELINE CONSTRUCTION
—	—	PROPERTY LINE
Ex R/W	R/W	RIGHT OF WAY
—	—	EASEMENT
—	—	TEMPORARY RIGHT OF WAY
—	—	CONTOUR
—	—	SWALE (EDGE OF WATER)
—	—	FENCELINE
—	—	GUARDRAIL
—	—	RAILROAD TRACKS
—	—	STORM SEWER
—	—	SANITARY SEWER
—	—	SANITARY SEWER FORCEMAIN
—	—	WATER LINE
—	—	GAS LINE
—	—	GENERIC COMMUNICATIONS LINE
—	—	CABLE TV LINE
—	—	ELECTRIC LINE
—	—	FIBER OPTIC LINE
—	—	STEAM LINE
—	—	TELEPHONE LINE (UNDERGROUND)
—	—	TRAFFIC SIGNAL CONDUIT
—	—	TRAFFIC INTERCONNECT CONDUIT
—	—	STORM MANHOLES, CATCH BASINS, CURB INLETS
—	—	SANITARY MANHOLE, CLEANOUT, MARKER, VENT PIPE, SEPTIC TANK LID
—	—	FIRE HYDRANT, HYDRANT ASSEMBLY, WATER VALVE, METER, SERVICE BOX
—	—	GAS METER, VALVE, MANHOLE, MARKER, VENT PIPE
—	—	GROUND MOUNTED TRANSFORMER, ELECTRIC PULL BOX, METER, MANHOLE, VAULT
—	—	SIGNAL POLE, TRAFFIC PULL BOX, MANHOLE, CONTROLLER CABINET, PAD MOUNTED CABINET
—	—	CABLE TV BOX, TELEPHONE BOX, AIR CONDITIONER, SATELLITE DISH, CELLPHONE TOWER, GROUND LITE
—	—	MONITORING WELL, GAS WELL, OIL WELL, CISTERNS, SOIL BORING
—	—	TELEPHONE BOX, TELEPHONE MANHOLE, UNKNOWN UTILITY BOX, UNKNOWN MANHOLE
—	—	POWER POLE, TELEPHONE POLE, LIGHT POLE, COMBINATION POLES, GENERIC/GUY POLE, GUY WIRE
—	—	STREET SIGNS, STREET NAME SIGN, POST, MAILBOX, FLAG POLE, FLAG
—	—	DECIDUOUS TREE, EVERGREEN, SHRUB, STUMP, ROCK, TREE REMOVED/PRUNED
—	—	MONUMENT BOX, IRON PIN/PIPE



LOCATION MAP

SCALE: NTS

PLANS PREPARED AND RECOMMENDED BY:



2023 SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THESE PLAN BID DOCUMENTS SHALL GOVERN THIS IMPROVEMENT. FOR PURPOSES OF THIS PLAN, REFERENCES TO DIRECTOR OR ENGINEER SHALL BE CONSTRUED TO MEAN THE CITY ENGINEER AND/OR HIS REPRESENTATIVES.

CME Credit Union
New Albany, OH

CONSULTANT
NewGround International, Inc.
15450 South Outer Forty Drive
Suite 300
Chesterfield, MO 63017
Area Code 636 898-8100



DATE
10/31/2023
JOB NO.
29580-0002
SHEET
COVER SHEET
G.S.

ALTA/NSPS LAND TITLE SURVEY

HALF SECTION 15, QUARTER TOWNSHIP 3, TOWNSHIP 2, RANGE 15

UNITED STATES MILITARY DISTRICT

CITY OF NEW ALBANY, COUNTY OF LICKING, STATE OF OHIO

DESCRIPTION FROM TITLE COMMITMENT No. 8459:

Parcel I:

Situated in the State of Ohio, County of Licking, City of New Albany, located in Half Section 15, Quarter Township 3, Township 2, Range 15, United States Military District, being part of the remainder of that 49.534 acre tract conveyed to MBJ Holdings, LLC by deed of record in Instrument Number 20101006002026, (all references refer to the records of the Recorder's Office, Licking County, Ohio) and being more particularly described as follows:

Beginning, for reference, at a magnetic nail set at the centerline intersection Beech Road (width varies) with Smiths Mill Road (width varies), of record in Instrument Numbers 200505130014263 and 201108120014948;

Thence North $86^{\circ} 38' 10''$ West, with the centerline of said Smiths Mill Road (I.N. 200505130014263), a distance of 414.73 feet to a point;

Thence South $03^{\circ} 21' 50''$ West, across the right-of-way of said Smiths Mill Road, a distance of 45.00 feet to an iron pin set in the southerly right-of-way line thereof, the northerly line of said 49.534 acre tract, being THE POINT OF BEGINNING;

Thence South $86^{\circ} 38' 10''$ East, with said southerly right-of-way, the northerly line of said 49.534 acre tract, a distance of 319.08 feet to an iron pin set in the westerly line of that tract conveyed as Parcel No. 7-WDV4 to Board of Commissioners of Licking County, Ohio, at the intersection of the southerly right-of-way line of Smiths Mill Road with the westerly right-of-way line of said Beech Road, being the northeasterly corner of said 49.534 acre tract;

Thence South $01^{\circ} 49' 28''$ West, with said westerly right-of-way line and the line common to said 49.534 acre tract and said Parcel No. 7-WDV4, a distance of 229.72 feet to an iron pin set;

Thence South $02^{\circ} 39' 12''$ West, continuing with said right-of-way line and said common line, a distance of 32.64 feet to an iron pin set at the easterly common corner of a remainder of said 49.534 acre tract and that 2.107 acre tract conveyed to New Albany Duchess, LLC by deed of record in Instrument Number 202001030000267;

Thence with this line common to a remainder of said 49.534 acre tract and said 2.107 acre tract, the following courses and distances:

North $87^{\circ} 20' 48''$ West, a distance of 214.22 feet to an iron pin set;

South $64^{\circ} 26' 01''$ West, a distance of 57.23 feet to an iron pin set; and

South $39^{\circ} 42' 07''$ West, a distance of 58.12 feet to an iron pin set on the arc of a curve, being the northwesterly corner of said 2.107 acre tract;

Thence across said 49.534 acre tract, the following courses and distances:

With the arc of a curve to the left, having a central angle of $37^{\circ} 55'$, a radius of 102.00 feet, an arc length of 67.53 feet, a chord bearing of North $25^{\circ} 06' 54''$ West and chord distance of 66.30 feet to an iron pin set at a point of non-tangency;

North $39^{\circ} 42' 07''$ East, a distance of 7.91 feet to an iron pin set; and

North $03^{\circ} 21' 50''$ East, a distance of 274.79 feet to the TRUE POINT OF BEGINNING, containing 2.038 acres, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

The bearings shown heron are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (1986 Adjustment). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected Franklin County Engineering Department monuments Frank 80 and Frank 180. The portion of the centerline of Beech Road, having a bearing of North $03^{\circ} 25' 04''$ East, is designated the "basis of bearing" for this survey.

This description was prepared using documents of record, prior plats of survey and observed evidence located by an actual field survey.

Parcel II:

Together with the rights of access as contained in the Access Easement Agreement of record in Instrument 20200324006755.

Parcel III:

Together with the rights of drainage as contained in the Storm Water Drainage Easement of record in Instrument 202011300032409.

- Iron Pin Set
- Iron Pin Found
- Stone Found
- P.K. Nail Found
- Monument Found
- Magnetic Nail Set
- Magnetic Nail Found
- ▲ Railroad Spike Found

Iron Pins Set are 13/16" I.D. iron pipes
30" long with cap inscribed EMHT INC.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S $39^{\circ} 42' 07''$ W	58.12'
L2	N $39^{\circ} 42' 07''$ E	7.91'

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CH. BEARING	CH. DIST.
C1	37 $56' 56''$	102.00'	67.53'	N $25^{\circ} 06' 54''$ W	66.30'

30 0 30 60
GRAPHIC SCALE (in feet)

BASIS OF BEARINGS:

The bearings shown heron are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (1986 Adjustment). Said bearings originated from a field traverse which was tied (referenced) to said coordinate system by GPS observations and observations of selected Franklin County Engineering Department monuments Frank 80 and Frank 180. The portion of the centerline of Beech Road, having a bearing of North $03^{\circ} 25' 04''$ East, is designated the "basis of bearing" for this survey.

FEMA NOTE:

According to the Federal Emergency Management Agency's Flood Insurance Rate Map No. 39049c0209k (dated September 23, 2019), the subject tract shown heron lies within Zone X (areas determined to be outside of the 0.2% annual chance floodplain). Any floodplain lines shown are georeferenced and are not based on actual field elevations.

UTILITY STATEMENT:

A Utility Marking request was submitted to OHIO811 on October 26, 2022. The utilities shown heron have been located from field survey information. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities shown are in the exact location indicated, although s/he does certify that they are located as accurately as possible.

SURVEY NOTE:
The survey was prepared using documents of record, prior plats of survey, and observed evidence located by an actual field survey performed in November 3, 2022 and May 10, 2023.

TABLE A OPTIONAL ITEM NOTES:

7. No buildings were observed on the subject tract at the time the fieldwork was conducted.
9. No parking striping was observed on the subject tract at the time the fieldwork was conducted.

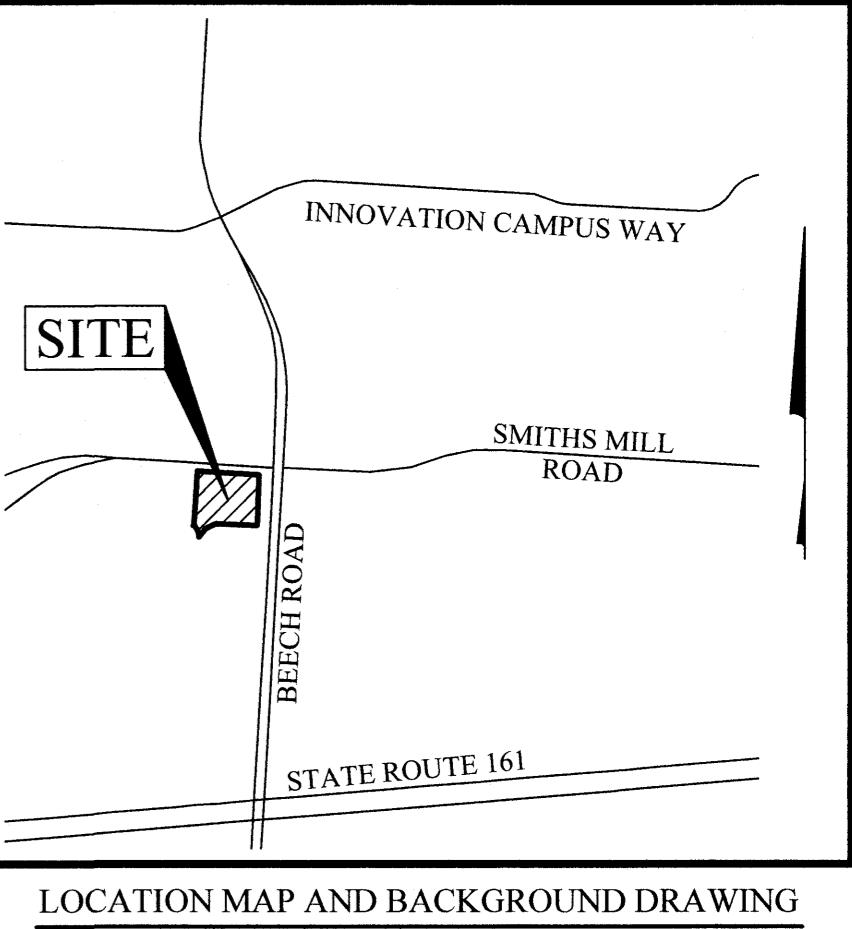
POTENTIAL ENCROACHMENT NOTE:

Except as noted below and shown heron, no evidence of potential encroachments was observed in the process of conducting the field work or determined in the course of analyzing the field work and preparing this survey. This includes potential encroachments: (1) extending from the subject tract onto an adjoining tract, (2) extending from an adjoining tract onto the subject tract, or (3) extending into an easement located on the subject tract. The undersigned makes these representations based solely on a physical observation of the subject tract and does NOT make any representation, opinion, or determination as to the legal validity of any potential encroachment that is shown heron.

- A. The concrete sidewalk extends up to 4.5 feet northwest of the southeast boundary line.
- B. The fence extends up to 39.3 feet southwest of the north and east boundary lines.

LINE LEGEND	
—X—	Fence Line
—GM—	Gas Line
—E—	Underground Electric
—C—	Underground Comm.
—CATV—	Underground Cable TV
—FO—	Underground Fiber Optic

SYMBOL LEGEND	
—S—	Sign
●	Telephone Manhole
□	Telephone Pedestal Box
○	Telephone Marker Post
■	Fiber Optic Pull Box
●	Fiber Optic Manhole
○	Fiber Optic Marker Post
□	Traffic Signal Pole
●	Traffic Pull Box
○	Traffic Crossing Button Post
■	Electric Pull Box
□	Transformer
○	Sanitary Sewer Manhole
■	Catch Basin
○	Storm Sewer Manhole
■	Curb & Gutter Inlet
●	Gas Marker Post
○	Water Service
□	Fire Hydrant
■	Water Valve
●	Electric Meter
—*	Light Pole



Schedule B Items from Title Commitment No. 8459 issued by Stewart Title Guaranty Company with an effective date of May 3, 2023 at 8:00 A.M.

Items 1-8 NOT SURVEY RELATED ITEMS.

Item 9 Easement & Right of Way granted to Licking Rural Electrification, Inc., as more fully set forth in the document recorded as Instrument 200402060040904. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED. THE 20' EASEMENT CANNOT BE DEPICTED FROM THE DOCUMENT OF RECORD.

Item 10 All matters shown on the plat of record as Instrument 200505130014263. THE 40' EASEMENT AND 50' BUILDING LINE ARE LOCATED ON THE SUBJECT TRACT (PARCEL I) AS SHOWN HEREON.

Item 11 Easement & Right of Way granted to Licking Rural Electrification, Inc., as more fully set forth in the document recorded as Instrument 201903180004909. THE 10' ELECTRIC EASEMENT IS LOCATED ON THE SUBJECT TRACT (PARCEL I) AS SHOWN HEREON.

Item 12 Intentionally Deleted - Reservations, restrictions, covenants, limitations, easements, assessments, and/or other conditions of record in Instrument 20112180024776. THE SUBJECT TRACT (ALL PARCELS) IS LOCATED IN THE AREA DEPICTED AS "RESTRICTED AREA"; NO EASEMENTS GRANTED THEREIN.

Item 13 Declaration of Covenants, Restrictions and Agreements for The New Albany East Community Authority of record in Instrument 20140107000343, as amended by the Second Amendment of record in Instrument 201507230015501, as amended by the Third Amendment of record in Instrument 201705190010466, as amended by the Fourth Amendment of record in Instrument 201708090016777, as amended by the Fifth Amendment of record in Instrument 201811090023836. THE SUBJECT TRACT IS LOCATED IN THE AREA DESCRIBED; NO EASEMENTS GRANTED THEREIN. PARCELS I, II AND IV ARE LOCATED IN THE AREA DESCRIBED "PROPERTY AREA G" AND PARCEL III IS LOCATED IN THE AREA DESCRIBED AS "PROPERTY AREA F" AND "PROPERTY AREA G".

Item 14 Intentionally Deleted - Declaration of Covenants, Conditions, Restrictions and Easements for The New Albany Business Park East of record in Instrument 201409080017225. THE SUBJECT TRACT IS NOT LOCATED IN THE AREA DESCRIBED AS SHOWN HEREON FOR REFERENCE. THE 25', 7.5' AND 15' UTILITY EASEMENTS ARE LOCATED ON THE SUBJECT TRACT (PARCEL I) AS SHOWN HEREON.

Item 15 Declaration of Covenants, Conditions and Easements for Beech Crossing Owners' Association of record in Instrument 201912180028131. As amended by the First Amendment in Instrument 20211030032404. THE ACCESS EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 16 Declaration of Covenants, Conditions and Easements for Highway Purposes granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 616 page 496. THE HIGHWAY EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 17 Intentionally Deleted - Easement granted to Sinclair Refining Co., as more fully set forth in the document recorded as Deed Book 533 page 468, as assigned to the Ohio River Pipe Line Company of record in Deed Book 663 page 69, as amended by Instrument 200906160013038. THE GAS EASEMENT (AS AMENDED) IS NOT LOCATED ON THE SUBJECT TRACT.

Item 18 Intentionally Deleted - Perpetual Easement for Highway Purposes granted to the State of Ohio, as more fully set forth in the document recorded as Deed Book 616 page 496. THE HIGHWAY EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 19 Intentionally Deleted - Easement for Highway Purposes granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 602 page 572. THE HIGHWAY EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 20 Intentionally Deleted - Easement granted to Columbus and Southern Ohio Electric Company, as more fully set forth in the document recorded as Deed Book 604 page 33. THE S' POWER EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 21 Intentionally Deleted - Easement granted to Sinclair Refining Co., as more fully set forth in the document recorded as Deed Book 354 page 33, as assigned in Deed Book 663 page 69. THE GAS EASEMENT (AS AMENDED IN I.N. 200906160013038) IS NOT LOCATED ON THE SUBJECT TRACT.

Item 22 Intentionally Deleted - Sanitary Sewer Easement granted to the City of New Albany, Ohio, as more fully set forth in the document recorded as Deed Book 601 page 166. THE SANITARY SEWER EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT AS SHOWN HEREON FOR REFERENCE.

Item 23 Declaration of Covenants, Conditions and Easements for Beech Crossing Owners' Association of record in Instrument 201912180028131. As amended by the First Amendment in Instrument 20211030032404. THE ACCESS EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.

Item 24 Subject to the terms and conditions of the easement contained in the Access Easement Agreement, as more fully set forth in the document recorded as Instrument 20200324006755. THE ACCESS EASEMENT IS LOCATED ON THE SUBJECT TRACT.

SMITH'S MILL ROAD

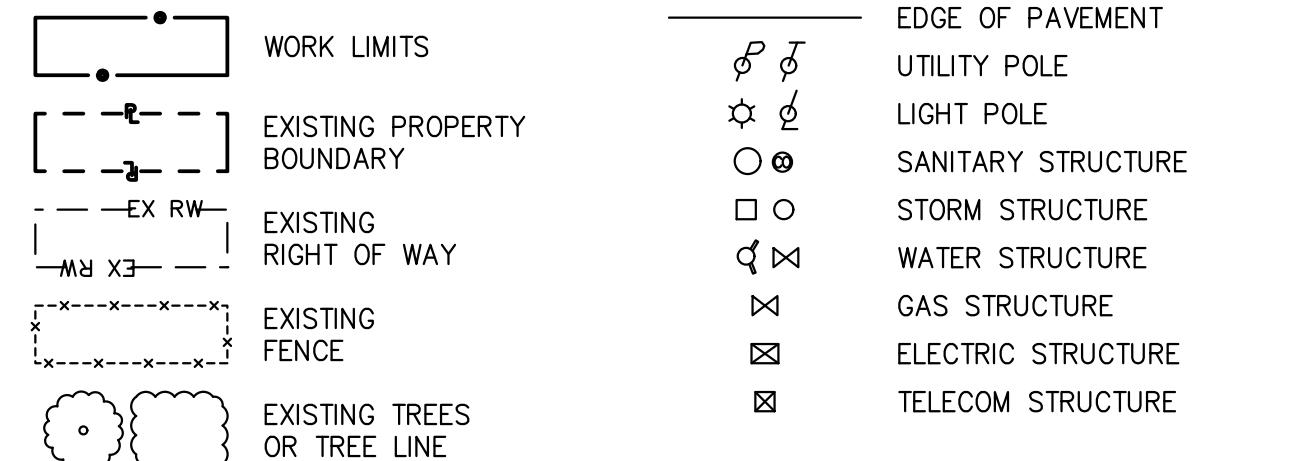
EXISTING CONDITIONS PLAN NOTES

- A. EXISTING CONDITIONS FOR THE PLAN ARE BASED ON A SURVEY PERFORMED BY ENVIRONMENTAL DESIGN GROUP,LLC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- B. NOTIFY AND COORDINATE WITH ALL UTILITY COMPANIES FOR UTILITY SHUTOFF, DISCONNECTION AND CAPPING ACTIVITIES.
- C. CONTACT OHIO UTILITIES PROTECTION SERVICE 48 HOURS PRIOR TO DIGGING (800) 362-2764.
- D. PROVIDE AND MAINTAIN NECESSARY MEANS AND METHODS TO PROTECT THE GENERAL PUBLIC, SITE ELEMENTS TO REMAIN, AND ADJACENT PROPERTY FROM INJURY OR DAMAGE THROUGHOUT THE COURSE OF THE WORK.
- E. COORDINATE DEMOLITION WORK WITH BACKFILL/GRADING OPERATIONS TO MINIMIZE THE DURATION SUBGRADES ARE EXPOSED TO WEATHER AND CONSTRUCTION ACTIVITIES. MINIMIZE AREAS OF VEHICULAR ACCESS IN NON-PAVED AREAS.
- F. REFER TO SOILS INVESTIGATION REPORT. ALL DEMOLITION AND GRADING WORK SHALL TAKE INTO ACCOUNT THE NATURE OF SOILS AND THE RECOMMENDATIONS CONTAINED IN THE REPORT IN EXECUTING THE WORK.
- G. ITEMS SCHEDULED FOR REMOVAL INCLUDE THE COMPLETE REMOVAL OF THEIR FOUNDATIONS, DRAINAGE COURSES, STUMPS AND ROOTS. UNLESS NOTED OTHERWISE, BACKFILL AND COMPACT CAVITIES CREATED BY REMOVING SUCH ITEMS WITH ACCEPTABLE MATERIAL. UTILITIES TO BE REMOVED SHALL HAVE STRUCTURES AND SERVICE LINES REMOVED TO THE NEXT SERVICEABLE ELEMENT, EVEN IF IT IS OUTSIDE THE CONSTRUCTION LIMITS.
- H. CONTRACTOR SHALL MOVE AND ADJUST EROSION CONTROL DEVICES TO MEET THE REQUIREMENTS PER THE STORM WATER POLLUTION PREVENTION PLAN AS WORK PROGRESSES. CONTRACTOR SHALL PROVIDE AND INSTALL ADDITIONAL DEVICES AS REQUIRED TO COMPLY WITH REGULATORY REQUIREMENTS, OR ENVIRONMENTAL CONDITIONS.
- I. REFER TO SITE GRADING AND STORM WATER POLLUTION PREVENTION PLAN FOR GRADING AND EROSION CONTROL MEASURES.
- J. REFER TO SITE LAYOUT PLAN FOR DIMENSIONING OF PROPOSED SITE FEATURES.
- K. REFER TO SITE ELECTRICAL PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF EXISTING ELECTRICAL LINES AND STRUCTURES.
- L. REMOVE AND REPLACE ANY SIDEWALKS OR CURBS THAT ARE CRACKED, BROKEN, OFF GRADE, DETERIORATED OR DAMAGED DUE TO CONSTRUCTION.
- M. ALL PAVEMENT, SIDEWALK, CURB, WALLS OR TRENCHES TO BE REMOVED SHALL BE SAWCUT FULL DEPTH, TO NEAREST CONSTRUCTION JOINTS. ALL SAWCUTTING MUST BE DONE WET TO CONFORM TO THE OHIO EPA'S FUGITIVE DUST ACT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MINIMIZE DUST AT ALL TIMES AND DURING ALL PHASES OF CONSTRUCTION. THIS MAY REQUIRE PERIODICALLY STABILIZING THE WORK AREA TO PREVENT EXPOSED SURFACES FROM BECOMING AIRBORNE.
- N. STORM/SANITARY SEWERS BETWEEN DEMOLISHED STRUCTURES, OR DEMOLISHED STRUCTURES AND EXISTING INVERTS TO BE CLOSED, WILL BE REMOVED.
- O. DEMOLITION OF STORM STRUCTURES INCLUDES REMOVAL OF STORM SEWER UP TO THE NEXT NEW OPERATIONAL POINT IN THE SYSTEM
- P. EXISTING STORM SEWER TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AND AT NO ADDITIONAL COST TO THE OWNER.
- Q. PROTECT ALL TREES SHOWN TO REMAIN. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING PRIOR TO COMMENCEMENT OF ANY WORK. REFER TO PLANS FOR LOCATION AND QUANTITIES.
- R. CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING PRIOR TO COMMENCEMENT OF ANY WORK. REFER TO LAYOUT PLANS FOR LOCATION.
- S. ALL VEGETATION WITHIN THE WORK LIMITS NOT DESIGNATED TO REMAIN OR TO BE RELOCATED SHALL BE REMOVED AND DISPOSED OF.
- T. UNLESS OTHERWISE NOTED TO BE RETURNED TO OWNER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND DISPOSE OF ALL ITEMS DESIGNATED FOR DEMOLITION IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS.

EXISTING CONDITIONS PLAN LEGEND

GENERAL AND EXISTING LINE WORK AND SYMBOLS

WORK LIMITS



CME Credit Union

New Albany, OH

DATE
08/18/2023

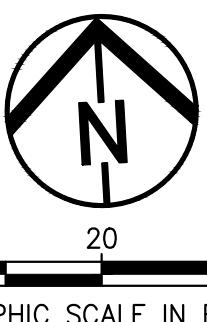
JOB NO.
29580-0002

SHEET

EXISTING CONDITIONS

PLAN

V1.00



A horizontal graphic scale with a thin black line. At the left end, there is a small vertical tick mark with the number '0' written above it. At the right end, there is a larger vertical tick mark with the number '20' written above it. The scale is marked with several short black horizontal dashes, indicating increments of one foot. The text 'GRAPHIC SCALE IN FEET' is printed below the scale line.

NEW POINT IND

CONSULTANT
NewGround International, Inc.
15450 South Outer Forty Drive
Suite 300
Chesterfield, MO 63017
Area Code 636 898- 8100

CME Credit Union

New Albany, OH

CONSULTANT
 NewGround International, Inc.
 15450 South Outer Forty Drive
 Chesterfield, MO 63017
 Area Code 636 898-8100

DATE
 10/31/2023

JOB NO.
 29580-0002

SHEET
 FINAL DEVELOPMENT
 PLAN

C1.01

SITE LAYOUT PLAN LEGEND

STANDARD DUTY ASPHALT	2 (5.00)	ACCESSIBLE RAMP	5 (5.00)
HEAVY DUTY ASPHALT	2 (5.00)	DELIVERY RAMP	6 (5.00)
HEAVY DUTY CONCRETE	1 (5.00)	TRAFFIC SIGN	8 (5.00)
COMMERCIAL PAVEMENT SECTION W/IN R/W	1 (5.00)	A - ADA PARKING	
CONCRETE SIDEWALK	1 (5.00)	B - VAN ACCESS	
INTEGRAL CONCRETE CURB AND SIDEWALK		C - STOP	
		D - LEFT TURN ONLY	
		E - NO LEFT TURN	
		F - DO NOT ENTER	

PROJECT DESCRIPTION

1. THE CREDIT UNION AND COFFEE DEVELOPMENT INCLUDES THE CONSTRUCTION OF A 4,419 SQUARE FEET SINGLE STORY BUILDING.

STORMWATER MANAGEMENT

1. THE STORM WATER MANAGEMENT IS PROVIDED BY THE OVERALL DEVELOPMENT UNDER THE CONTRACTOR. PERMIT #

MONUMENTATION

1. MONUMENTATION IN COMPLIANCE WITH C.O. 1159.07 (3) WILL BE SET PRIOR TO COMPLETION OF CONSTRUCTION.

SITE DATA TABLE

TOTAL SITE AREA	2.03 Ac.
PROPOSED BUILDING	4,419 S.F.
PARKING REQUIRED (1 SPACE PER EVERY 200 S.F.)	40 SPACES
PARKING PROVIDED	43 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	2 SPACES
LOT COVERAGE	43,066 S.F.
PAVEMENT/WALK	4,419 S.F.
BUILDING	47,485 S.F.
TOTAL COVERAGE	
SITE AREA (2.03 Ac.)	88,402 S.F.
PERCENT COVERAGE	54%
MAXIMUM LOT COVERAGE	80%
TOTAL PARKING AREA	0.30 Ac.
INTERIOR LANDSCAPE AREA	
INTERIOR LANDSCAPE REQUIRED	8%

NOTES

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL CURB TO BE 6" EXTRUDED UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE GIVEN ARE MEASURED TO THE FACE OF CURB.
4. ALL RADIUS DIMENSIONS GIVEN ARE MEASURED ALONG THE FACE OF CURB.

APPROVALS:

PLANNING COMMISSION CHAIR

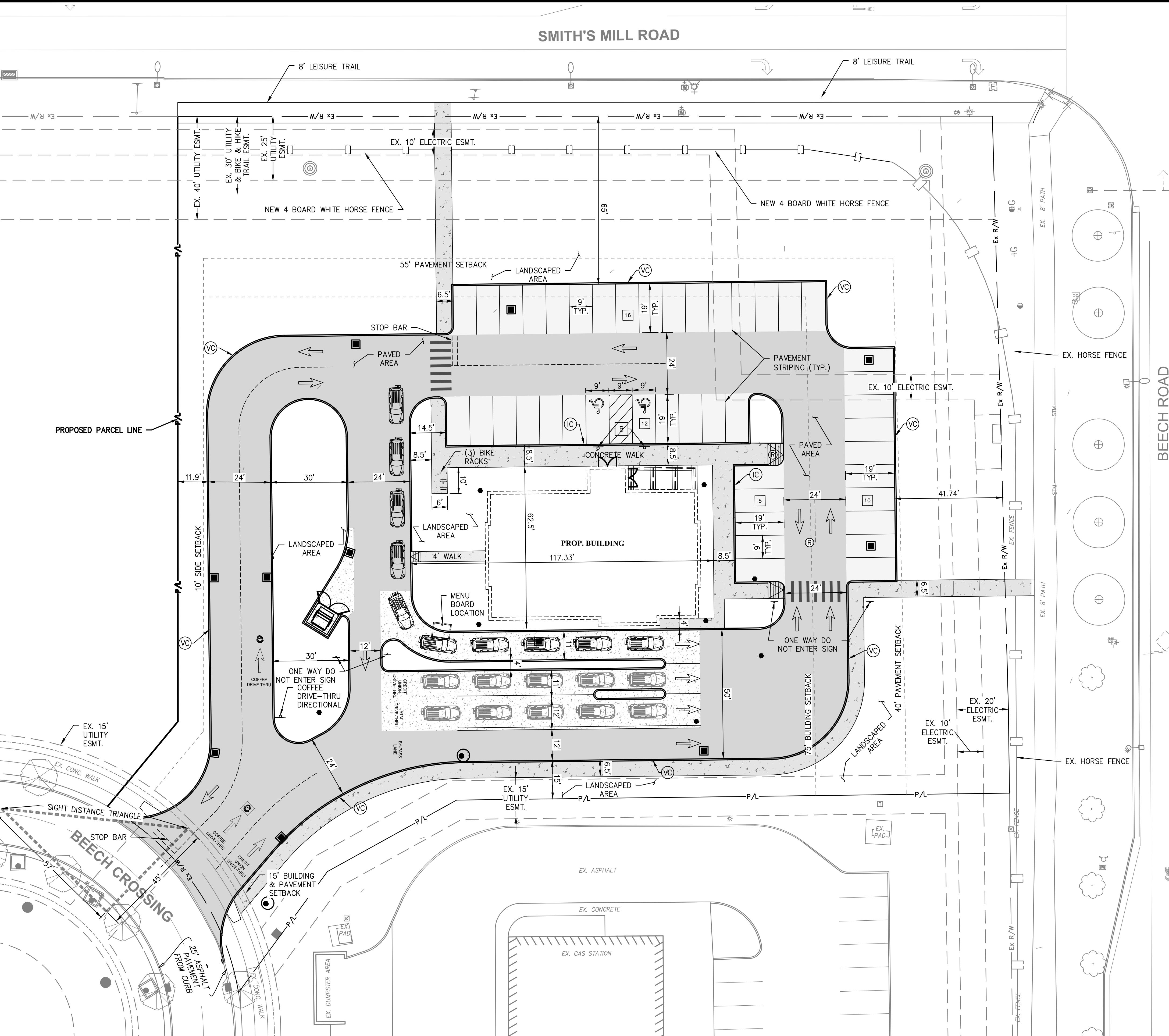
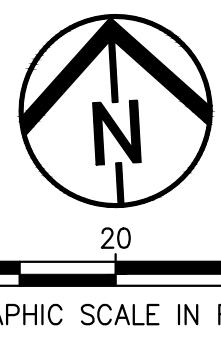
VICE CHAIR OR DESIGNEE

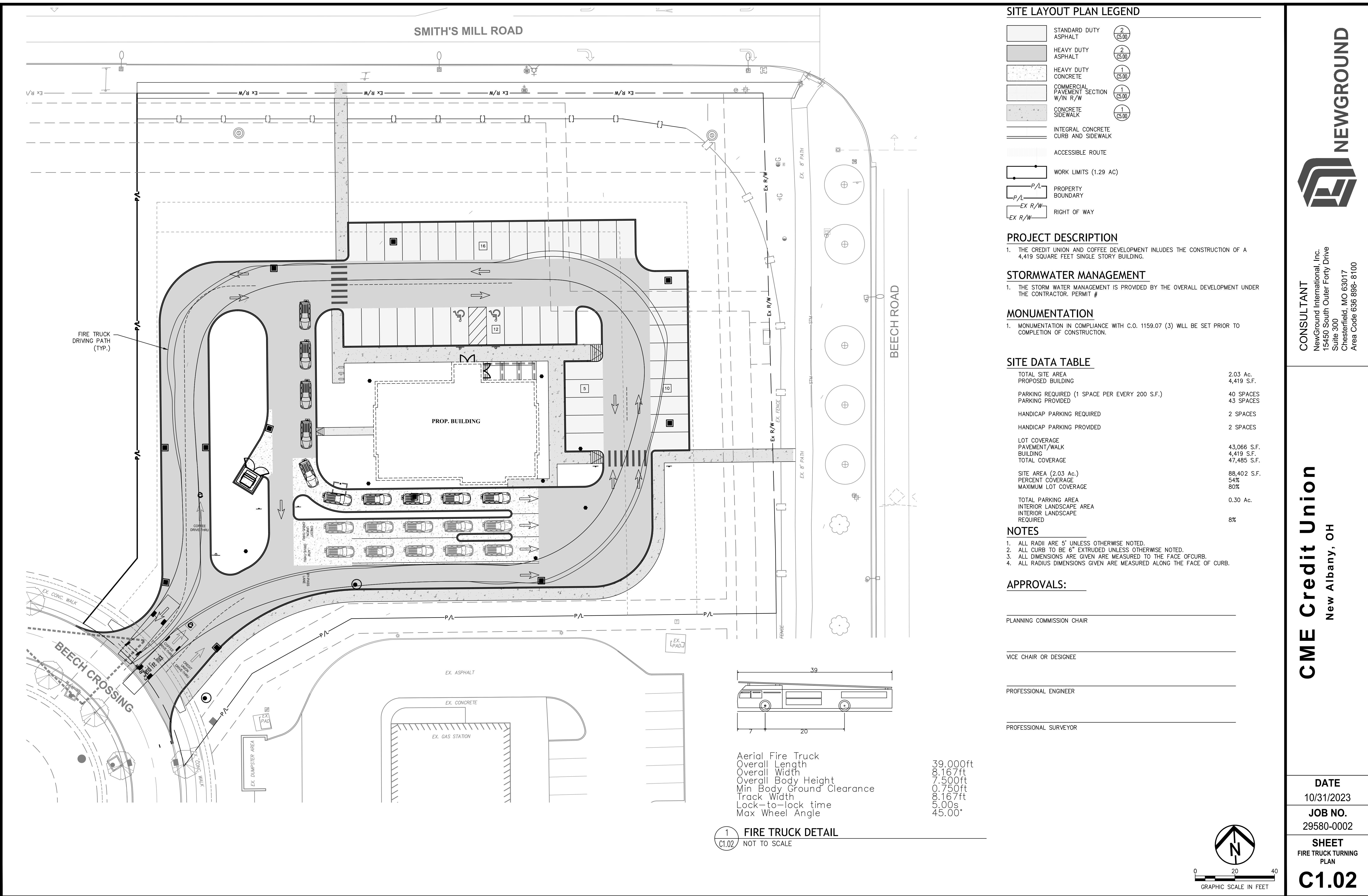
PROFESSIONAL ENGINEER

PROFESSIONAL SURVEYOR

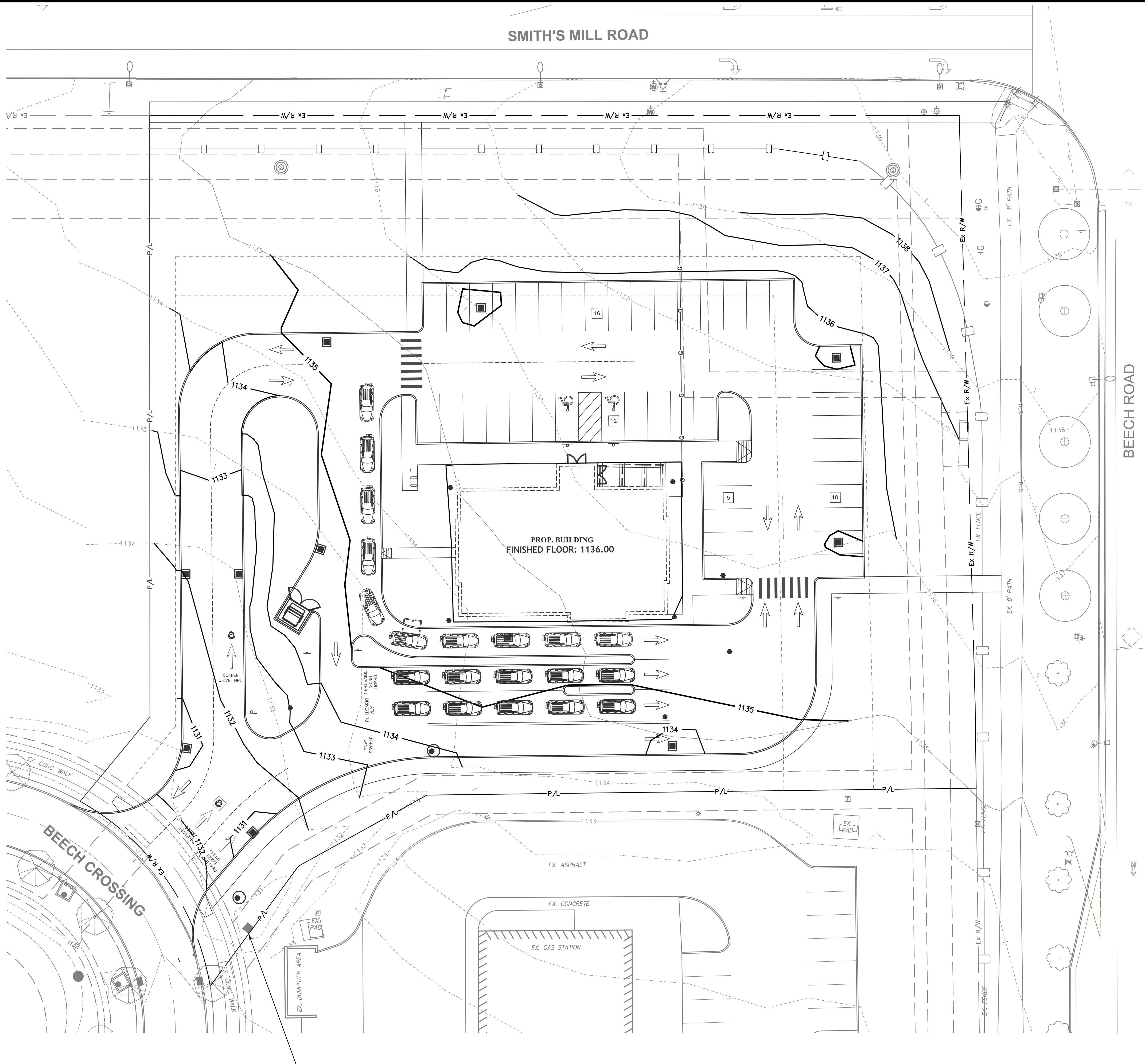
AREA CALCULATIONS	
CREDIT UNION	1309 SF
COFFEE	894 SF
SHARED	2216 SF
TOTAL	4419 SF

PARKING	
CREDIT UNION	1:200 → $241\frac{1}{2} \text{ ft} = 13 \text{ SPACES}$
COFFEE	1:75 → $200\frac{1}{2} \text{ ft} = 27 \text{ SPACES}$
TOTAL	40 SPACES REQUIRED
PARKING	
STACKING	80% OF 13 SPACES = 11 CARS
STACKING	25% OF 27 SPACES = 7 CARS
TOTAL	18 SPACES REQUIRED





SMITH'S MILL ROAD



SITE GRADING PLAN NOTES

1. EXISTING CONDITIONS ARE BASED ON SURVEY BY ENVIRONMENTAL DESIGN GROUP, LLC. ALL UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION ACTIVITY.
2. MAINTAIN UNIFORM AND POSITIVE SLOPES FOR ALL REGRADED SURFACES.
3. ENGINEER TO APPROVE ROUGH GRADING PRIOR TO FINISH-GRADING AND TO APPROVE FINISH-GRADING OF SOIL SURFACE AREAS PRIOR TO SEEDING OR LANDSCAPING.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO GRADE TO FINISH GRADE EXCEPT WHERE THE FUTURE BUILDING, PARKING AND WALKS ARE SHOWN. IN THESE AREAS THE CONTRACTOR SHALL GRADE TO SUBGRADE, (BOTTOM OF THE PAVEMENT AND 12" BELOW BUILDING FINISHED FLOOR ELEVATIONS). SEE LAYOUT PLAN FOR PAVEMENT TYPES.
5. PRIOR TO CONSTRUCTION, PLACE EROSION CONTROL FENCING AS SHOWN ON THE ----- AND AT THE DRIP LINE OF TREES TO REMAIN. DO NOT PARK OR STORE ANY VEHICLES, EQUIPMENT OR BUILDING MATERIALS WITHIN THE PROTECTED AREAS. OBTAIN FIELD APPROVAL FROM THE OWNER, ARCHITECT.
6. SEED ALL DISTURBED AREAS WITH SPECIFIED SEED MIXTURE.
7. CONSTRUCTION NOTES AND TYPICAL LABELS MAY APPEAR ONLY ONCE ON THE DRAWINGS, BUT APPLY TO ALL SIMILAR CONDITIONS.
8. REFER TO SITE UTILITY PLANS FOR LOCATIONS AND ELEVATIONS OF PROPOSED UTILITY STRUCTURES.
9. REFER TO LAYOUT PLAN FOR LOCATION OF BENCHMARK AND HORIZONTAL CONTROL POINTS.
10. PRIOR TO EXCAVATION AND EARTHWORK OPERATIONS THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND PROPOSED GRADES AND REPORT ANY DISCREPANCIES TO THE OWNER. FIELD VERIFY LOCATIONS OF ALL BURIED UTILITIES AND DEPTHS AND REPORT ANY DISCREPANCIES TO OWNER.
11. ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ALL DIRECTIONS.
12. ACCESSIBLE ROUTES SHALL NOT EXCEED 2% CROSS SLOPE AND 5% RUNNING SLOPE.

SITE GRADING PLAN LEGEND

GENERAL AND EXISTING LINE WORK AND SYMBOLS

	WORK LIMITS		PAVEMENT EDGE
	RIGHT OF WAY		TREE OR TREE LINE
	PARCEL LINES		EXISTING CONTOURS
<hr/>			
<u>EXISTING UTILITY SYMBOLS</u>			
	STORM STRUCTURES		ELECTRIC STRUCTURE
	SANITARY STRUCTURES		TELECOM STRUCTURE
	WATER STRUCTURES		GAS STRUCTURE
	UTILITY POLES		
<hr/>			
<u>PROPOSED LINE WORK, TAGS AND SYMBOLS</u>			
	SPOT ELEVATION		PROPOSED CONTOURS
	CURB ELEV.		WALL ELEV.
	TOP BOTTOM		TOP BOTTOM

CME Credit Union

New Albany, OH

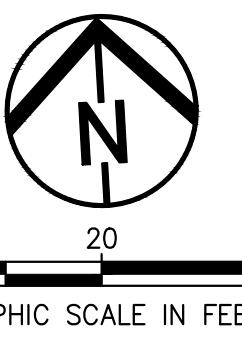
DATE

JOB NO.
29580-0002

SHEE

SITE GRADING PLAN

C2.00



A horizontal scale bar divided into four equal segments by tick marks at 0, 20, and 40. The segments are labeled with their respective values: 0, 20, and 40. Below the scale, the text "GRAPHIC SCALE IN FEET" is printed in capital letters.

C2.00

CME Credit Union

New Albany, OH

 DATE
10/31/2023

 JOB NO.
29580-0002

 SHEET
SITE UTILITY PLAN

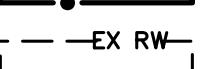
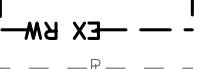
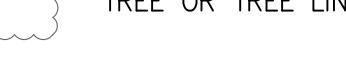
C3.00

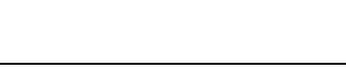
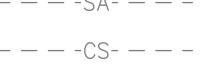
SITE UTILITY PLAN NOTES

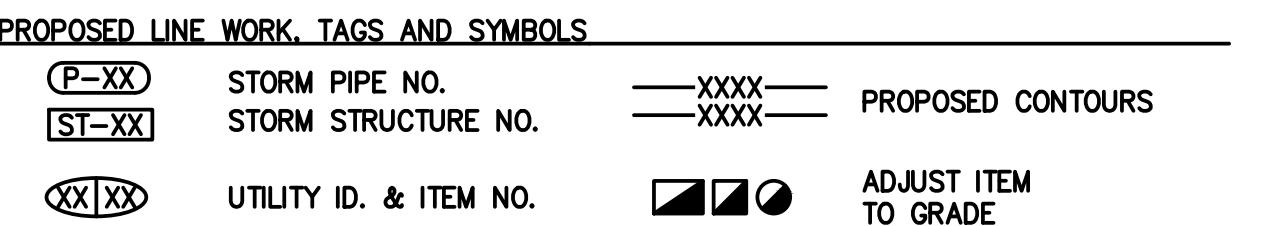
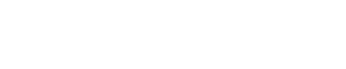
- SEE PLUMBING AND MECHANICAL PLANS FOR UTILITY WORK WITHIN 5' OF THE BUILDING.
- SEE SITE ELECTRICAL PLANS FOR ELECTRICAL SERVICE.
- CONTRACTOR SHALL COORDINATE WITH DOMINION EAST OHIO GAS FOR SERVICE LINES.
- CONTRACTOR SHALL CONFIRM GAS HOUSE LINE SIZE WITH PLUMBING AND DOMINION EAST OHIO GAS.
- CATCH BASINS IN PAVED AREAS WILL HAVE FINGER DRAINS INTEGRAL TO THE INSTALLATION. SEE STRUCTURE DETAIL FOR ADDITIONAL INFORMATION.
- ALL ROOF DRAINS ARE TO BE TIED INTO THE STORM SEWER. SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION.

SITE UTILITY PLAN LEGEND

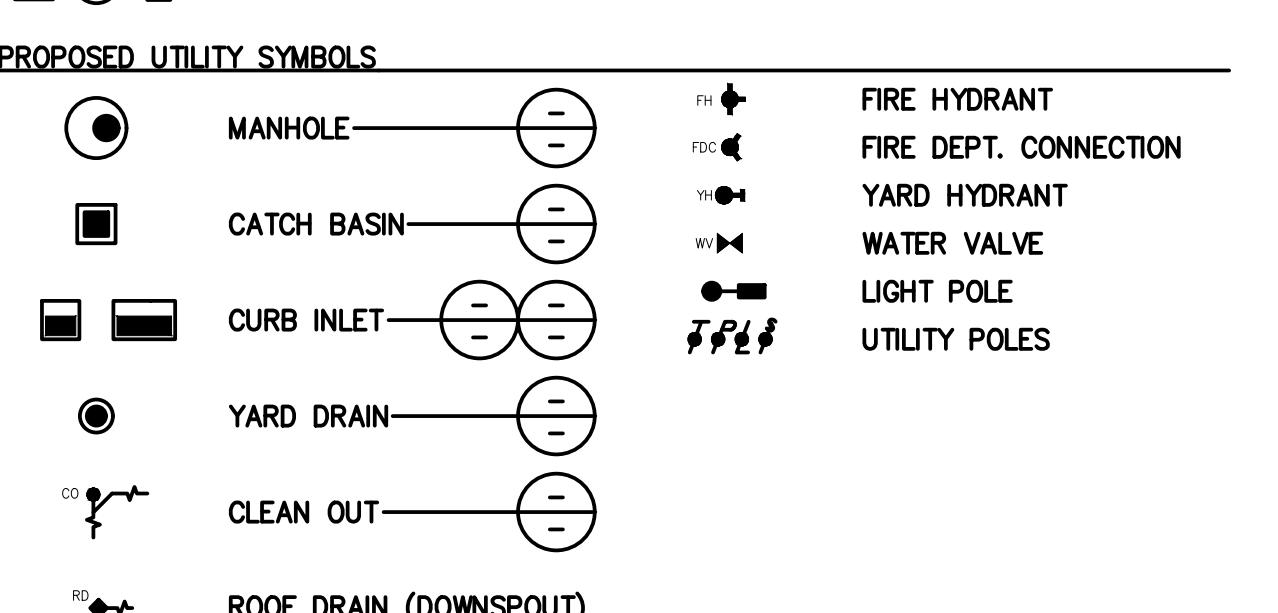
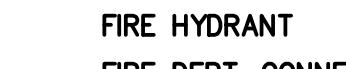
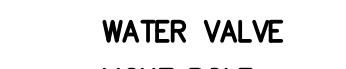
GENERAL AND EXISTING LINE WORK AND SYMBOLS

	WORK LIMITS		PAVEMENT EDGE
	RIGHT OF WAY		TREE OR TREE LINE
	PARCEL LINES		EXISTING CONTOURS
	EXISTING UTILITY SYMBOLS		

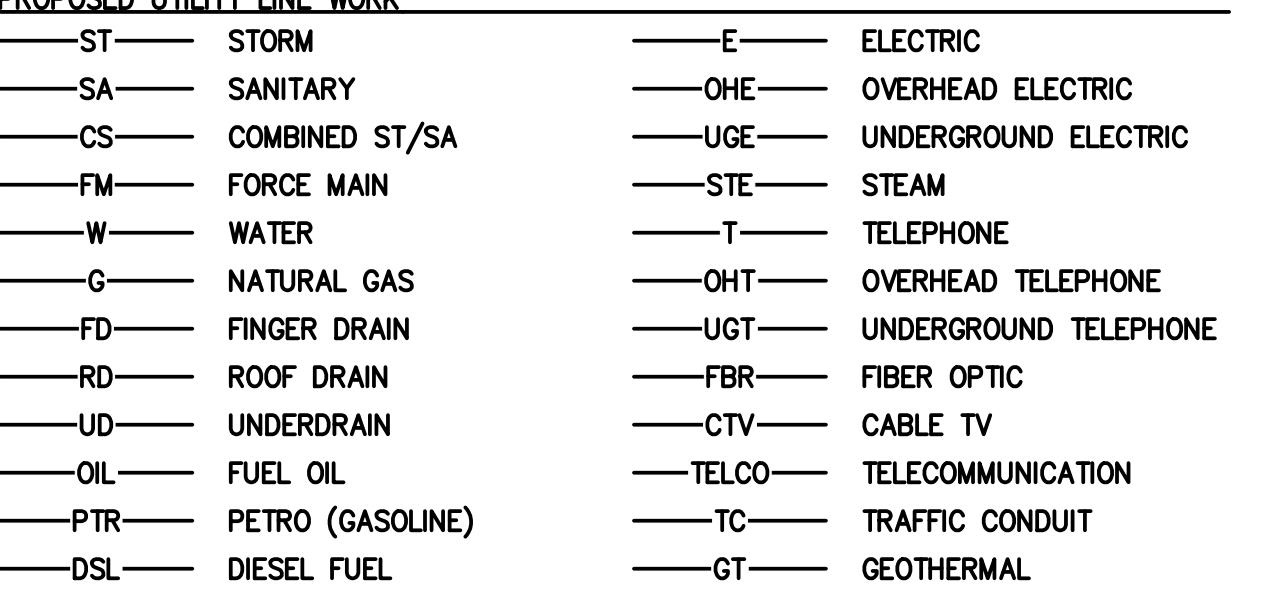
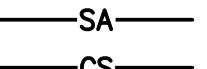
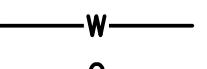
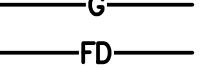
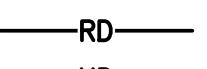
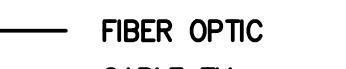
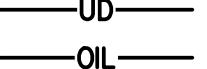
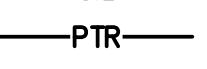
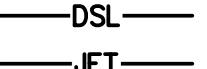
	STORM STRUCTURES		ELECTRIC STRUCTURE
	SANITARY STRUCTURES		TELECOM STRUCTURE
	WATER STRUCTURES		GAS STRUCTURE
	UTILITY POLES		
	EXISTING UTILITY LINE WORK		

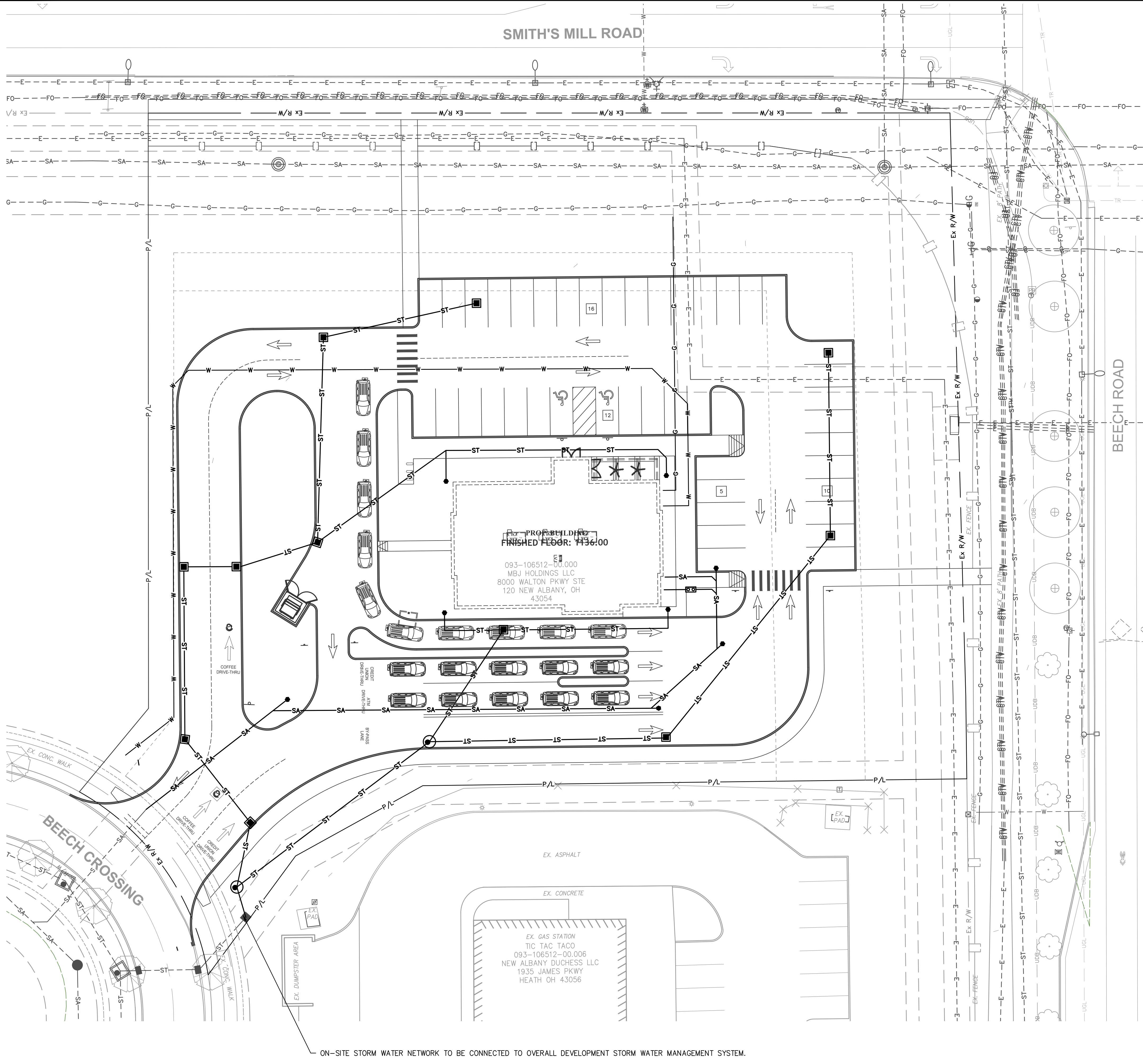
	PROPOSED LINE WORK, TAGS AND SYMBOLS		
	STORM PIPE NO.		PROPOSED CONTOURS
	STORM STRUCTURE NO.		XXXX
	UTILITY ID. & ITEM NO.		ADJUST ITEM TO GRADE

MISCELLANEOUS TAGS

	MISCELLANEOUS TAGS		
	MANHOLE		FIRE HYDRANT
	CATCH BASIN		FIRE DEPT. CONNECTION
	CURB INLET		YARD HYDRANT
	YARD DRAIN		WATER VALVE
	CLEAN OUT		LIGHT POLE
	ROOF DRAIN (DOWNSPOUT)		UTILITY POLES

PROPOSED UTILITY SYMBOLS

	PROPOSED UTILITY SYMBOLS		
	STORM		ELECTRIC
	SANITARY		OVERHEAD ELECTRIC
	COMBINED ST/SA		UNDERGROUND ELECTRIC
	FORCE MAIN		STEAM
	WATER		TELEPHONE
	NATURAL GAS		OVERHEAD TELEPHONE
	FINGER DRAIN		UNDERGROUND TELEPHONE
	ROOF DRAIN		FIBER OPTIC
	UNDERDRAIN		CABLE TV
	FUEL OIL		TELECOMMUNICATION
	PETRO (GASOLINE)		TRAFFIC CONDUIT
	DSL - DIESEL FUEL		GEOTHERMAL
	JET FUEL		


 DATE
10/31/2023

 JOB NO.
29580-0002

 SHEET
SITE UTILITY PLAN

C3.00

 DATE
10/31/2023

 JOB NO.
29580-0002

 SHEET
SITE UTILITY PLAN

C3.00

 DATE
10/31/2023

 JOB NO.
29580-0002

 SHEET
SITE UTILITY PLAN

C3.00

SITE LANDSCAPE PLAN NOTES

1. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES ASSOCIATED WITH WORK. UTILITIES SHALL BE REPAIRED TO SATISFACTION OF THE UTILITY OWNER AND/OR OPERATING AUTHORITY AT NO ADDITIONAL COST.
2. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT.
3. FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED.
4. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED. IF PLANTS ARE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID DATE IN WRITING.
5. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTOR'S OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
6. ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, 2014 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
7. MAINTENANCE OF PLANT MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL PLANT MATERIALS ARE ACCEPTED BY OWNER. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO WATERING, WEEDING, PEST CONTROL, AND OTHER ACTIONS AS REQUIRED TO MAINTAIN PLANT MATERIALS IN A HEALTHY CONDITION.
8. ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT END OF THIS PERIOD, PLANT MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.
9. SEE SHEET L1.01 FOR DETAILED PLANT SCHEDULE.

CME Credit Union

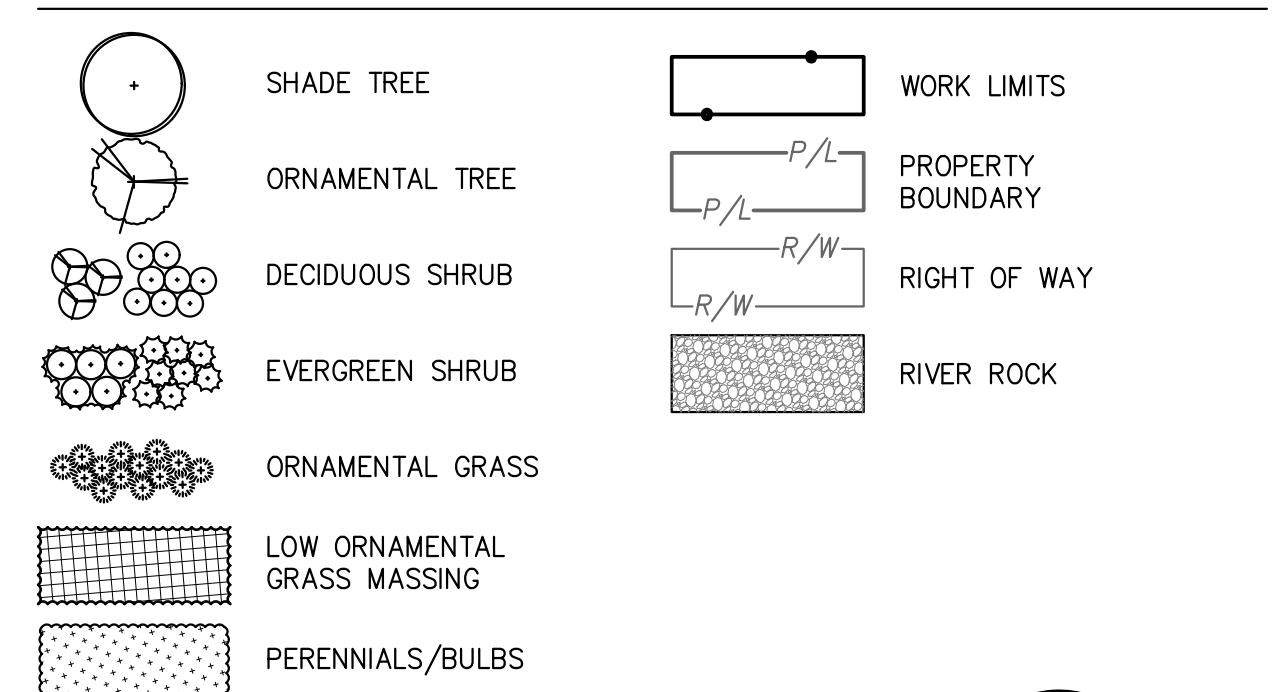
New Albany, OH

SHEET

SITE LANDSCAPE PLAN

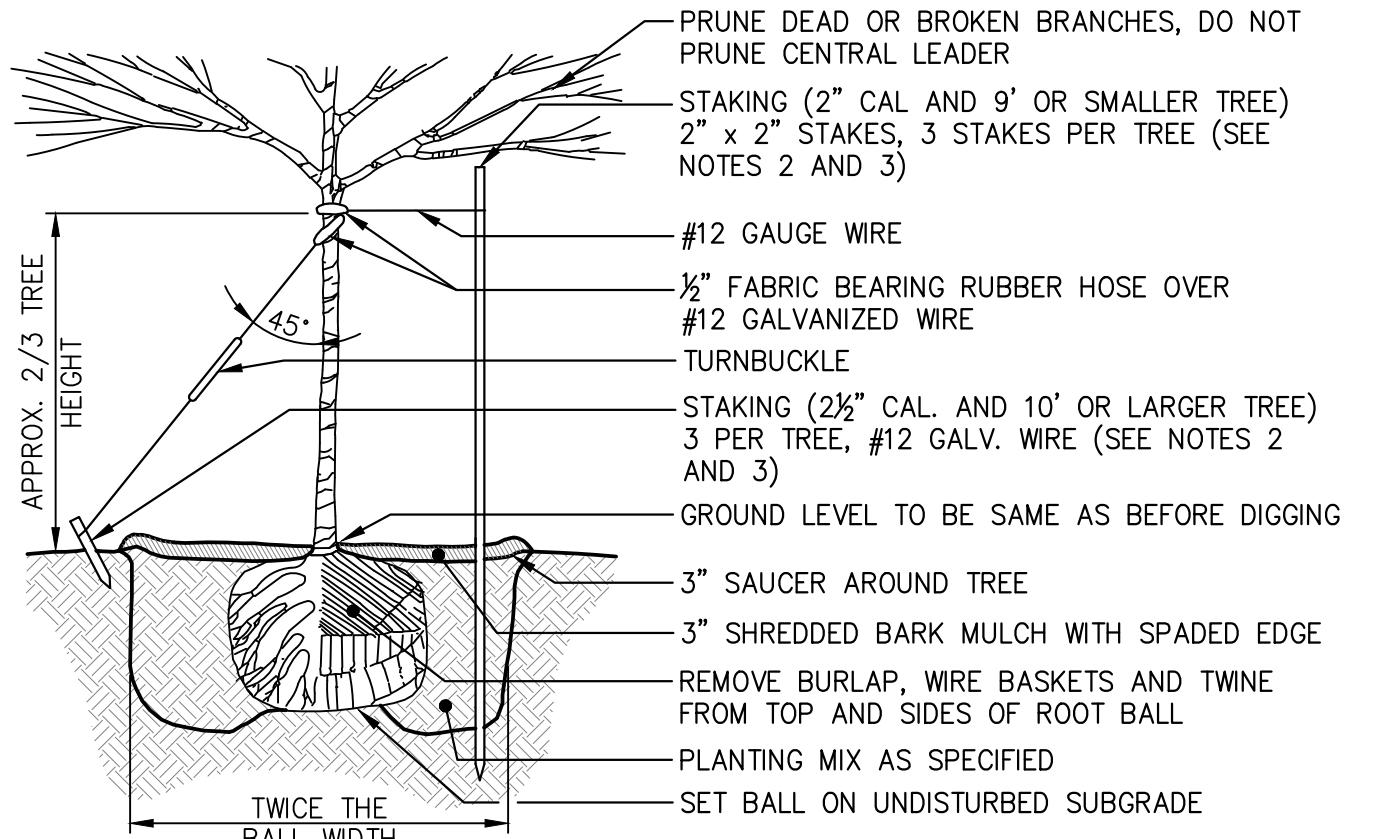
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SITE LANDSCAPE PLAN LEGEND



GRAPHIC SCALE IN FEET

10 of 10 pages

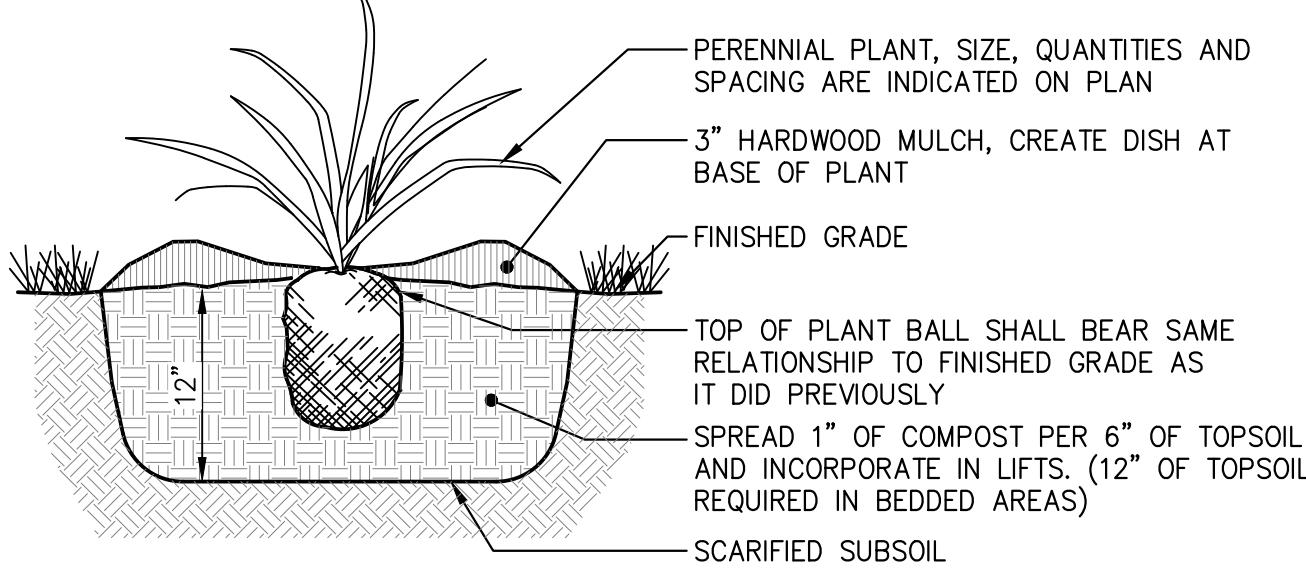


NOTES:

1. REMOVE BURLAP, WIRE BASKETS AND TWINE FROM TOP AND SIDES OF ROOT BALL. CENTER TREE IN HOLE SET TOP OF BALL 1" ABOVE FINISH GRADE.
2. STAKING AND GuyING TREES IS OPTIONAL, HOWEVER THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLED TREES STAYING PLUMB AND STABLE. IF A NON-STAKED TREE MOVES OUT OF PLUMB DURING THE WARRANTY PERIOD THE CONTRACTOR SHALL STRAIGHTEN AND STAKE THE TREE AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR SHALL RETURN TO REMOVE ALL STAKES, GUYS & ASSOCIATED HARDWARE ON THE TREES ONE YEAR AFTER STAKING OR PER THE DIRECTION OF THE OWNER OR LANDSCAPE ARCHITECT.

1 DECIDUOUS TREE PLANTING

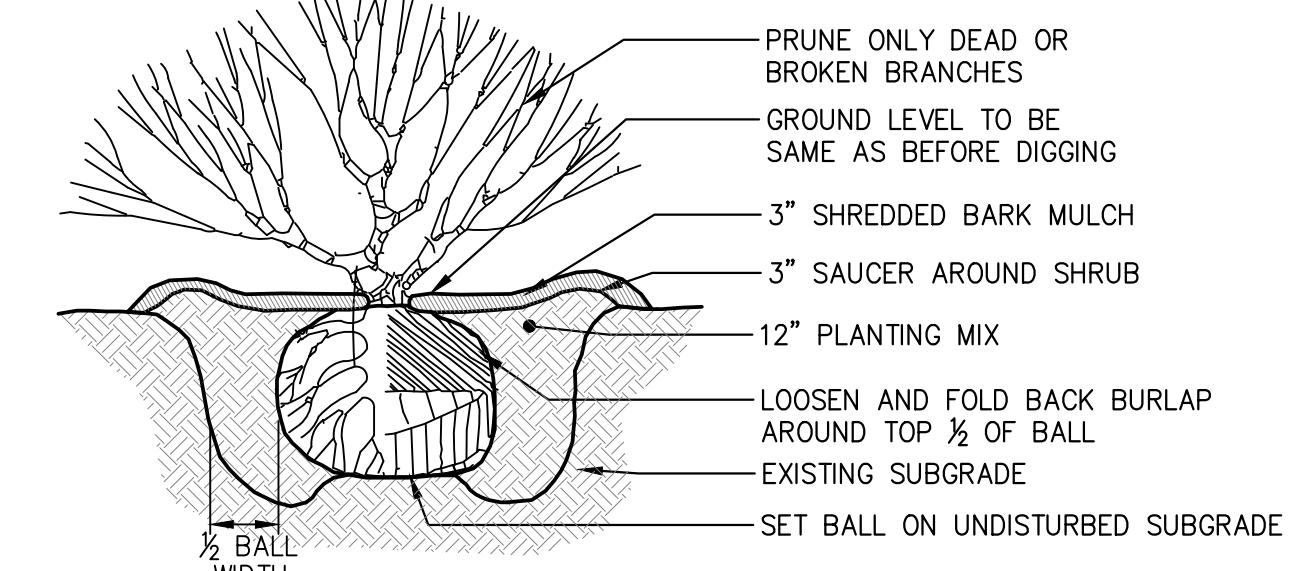
L1.01 NOT TO SCALE



NOTE:
 COMPOST SHALL CONSIST OF STERILIZED, COMPOSTED MATERIAL (SWEET PEAT OR OTHER APPROVED EQUAL). CONTRACTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF PLANTS.

2 PERENNIAL PLANTING

L1.01 NOT TO SCALE

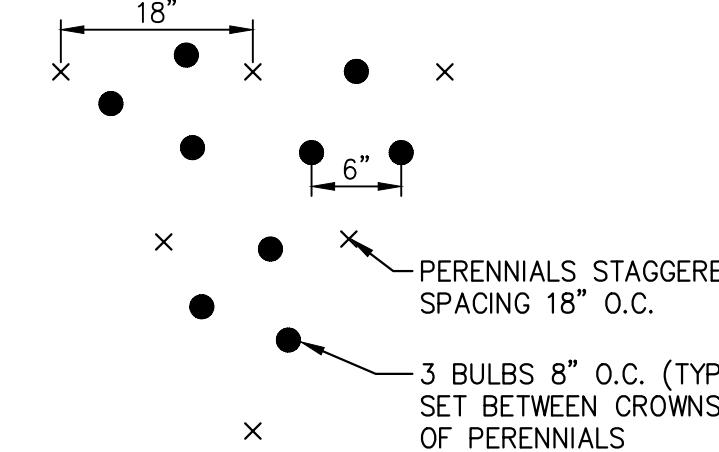


NOTES:

1. PLANTING MIX TO CONSIST OF 1" COMPOST PER 6" OF TOPSOIL.
2. COMPOST SHALL CONSIST OF STERILIZED, COMPOSTED MATERIAL (SWEET PEAT OR OTHER APPROVED EQUAL). CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF PLANTS.
3. MULCH TO FORM CONTINUOUS SHRUB BEDS.

3 SHRUB PLANTING

L1.01 NOT TO SCALE

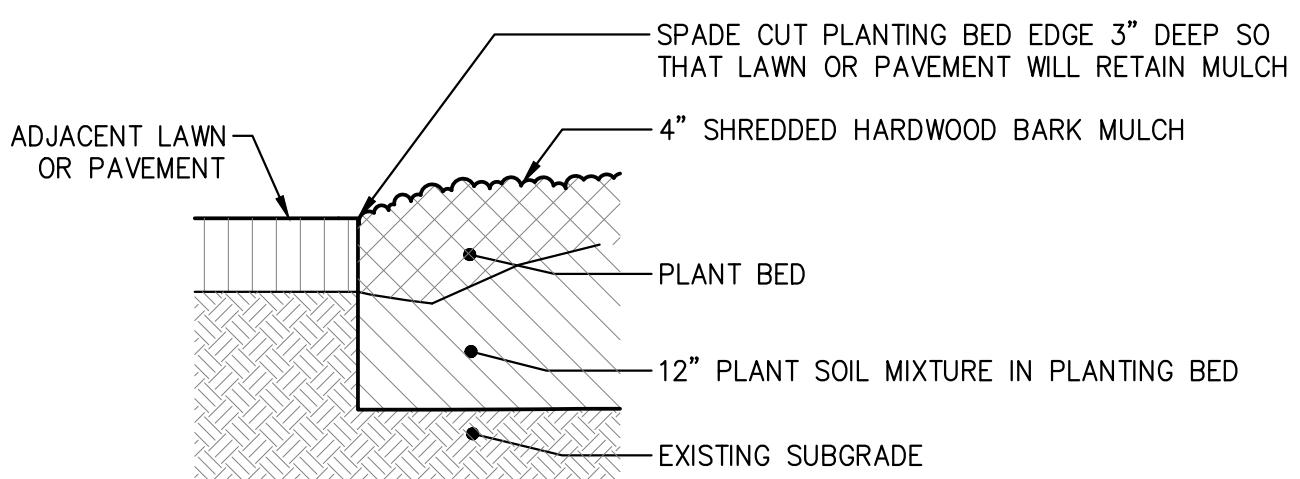


NOTES:

1. SCARIFY SOIL AT BOTTOM OF PIT BEFORE PLANTING.
2. PLANT WITH NOSE POINTING TOWARD SURFACE.
3. FALL PLANTING ONLY.
4. WATER DRY SOIL.
5. MULCH DEPTH AS SPECIFIED.
6. PLANT BULBS, 8" APART, DEPTH PER BULB SUPPLIER'S RECOMMENDATIONS.
7. BURY BULBS WITH 1 PART BONE MEAL TO 3 PARTS PLANTING MIX.

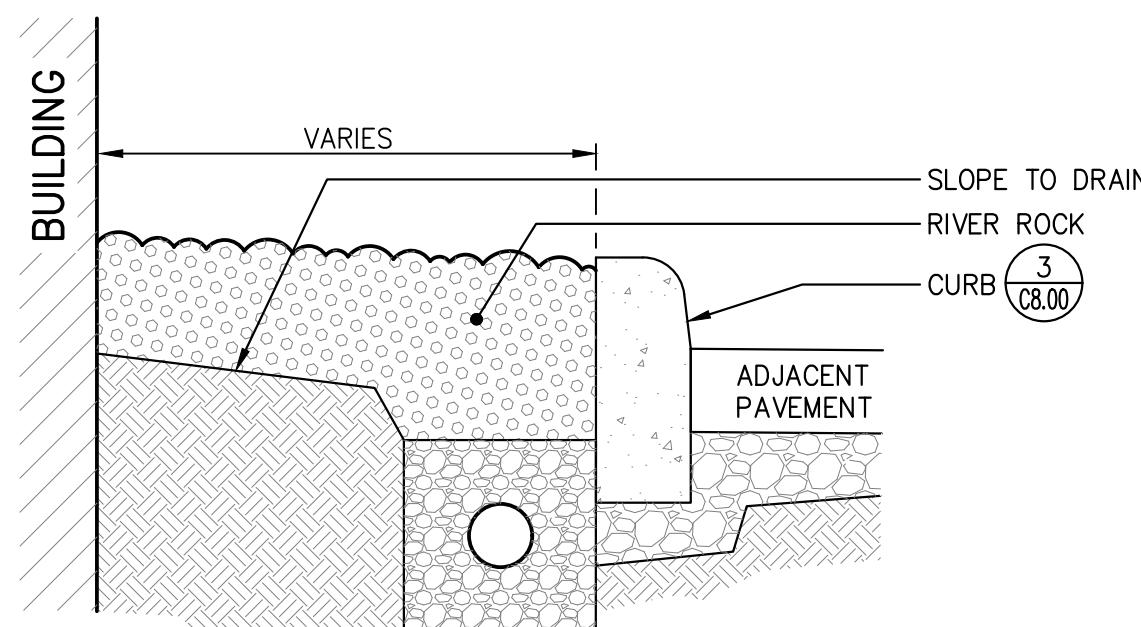
4 PERENNIAL PATTERN

L1.01 NOT TO SCALE



5 PLANTING BED SPADE CUT EDGING

L1.01 NOT TO SCALE



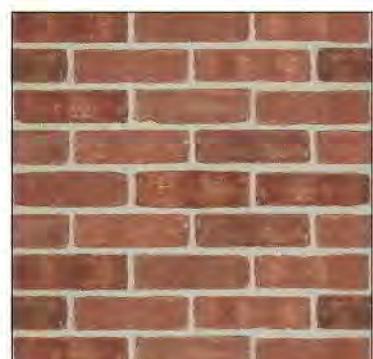
6 BUILDING EDGE - ROCK MULCH

L1.01 NOT TO SCALE

LANDSCAPE REQUIREMENTS		
NEW ALBANY MUNICIPAL CODE		
CODE	REQUIREMENTS	PROVIDED
TRASH RECEPICAL SCREENING	TRASH RECEPICALS MUST BE SCREENED TO 8' HIGH	SCREENING PROVIDED
MINIMUM TREES	3 TREES PER 5,000 SF 4,419/5,000 SF = 3 TREES 4,419/2,000SF = BUNCHES TRUNK SIZE	3 TREES PROVIDED AT 3" CAL 3" CAL PROVIDED
BEECH CROSSING I-PUD REQUIREMENTS		
TREATMENT ALONG BEECH ROAD AND SMITH'S MILL ROAD (G)(3)(A)	A FOUR BOARD HORSE FENCE IS REQUIRED TO BE INSTALLED ALONG THE STREET FRONTRAGE	PROVIDED, SEE PLAN
SETBACK LANDSCAPING (G)(3)(B)	A MINIMUM OF 6 TREES PER 100 LINEAR FT MUST BE INSTALLED BEHIND THE FENCE & WITHIN THE SETBACK AREA	TREES PROVIDED AS PER NACO LANDSCAPE PLAN
SCREENING OF PARKING (G)(3)(C)	MINIMUM HEIGHT OF 3.5' 75% OPACTY MINIMUM IN 3 YEARS	LANDSCAPING PROVIDED, SEE PLAN
INTERIOR SETBACK LINES (G)(3)(D)	(4) TREES FOR EVERY 100 LF OF SIDE PROPERTY LINE DECIDUOUS SHRUBS SHALL BE PLANTED UNDER THE TREES 3*4=12 TREES REQUIRED	12 TREES PROVIDED ALONG WITH DECIDUOUS SHRUBS
STREET TREES (G)(5)	(1) TREE FOR EVERY 30' OF FRONTAGE 3" CAL MIN.	STREET TREES PROVIDED LOCATED ON EACH SIDE OF LEISURE TRAIL ALONG SMITH'S MILL RD. EX. STREET TREES ON BEECH RD TO REMAIN
GATEWAY FEATURE (G)(6)	ADEQUATE SPACE SHALL BE PROVIDED	SEE LANDSCAPING PLAN 50x50 SPACE PROVIDED
PARKING AREAS	1 TREE PLANTED FOR EVERY 10 PARKING SPACES 10 = 5 TREES REQUIRED AT LEAST 5% OF VEHICULAR USE AREA (INCLUDING ENTRANCE) SHALL BE LANDSCAPED 2,480.05=1243	7 TREES PROVIDED 2,690 SF PROVIDED OF LANDSCAPE IN ADDITION TO PARKING SCREENING PROVIDED.

PLANT LIST

ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION	QUANTITY	REMARKS
SHADE TREES							
AF AB	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3" CAL.	AS SHOWN	B&B	3	
AR RR	ACER RUBRUM 'RED ROCKET'	RED ROCKET RED MAPLE	3" CAL.	AS SHOWN	B&B	4	
AS SM	ACER SACCHARUM	SUGAR MAPLE	3" CAL.	AS SHOWN	B&B	7	
CA CA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3" CAL.	AS SHOWN	B&B	3	
CO CH	CELTIS OCCIDENTALIS	COMMON HACKBERRY	3" CAL.	AS SHOWN	B&B	5	
GL TR	GLEDETSIA TRIACANTHOS F. INERMIS	SKYLINE HONEYLOCUST	3" CAL.	AS SHOWN	B&B	7	SPECIMEN
LI TU	LIRIODENDRON TULIPIFERA	TULIP TREE	3" CAL.	AS SHOWN	B&B	5	
LS AS	Liquidambar styraciflua	AMERICAN SWEET GUM	3" CAL.	AS SHOWN	B&B	7	
PL OC	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	3" CAL.	AS SHOWN	B&B	2	
QR RO	QUERCUS RUBRUM	RED OAK	3" CAL.	AS SHOWN	B&B	7	
QU WO	QUERCUS ALBA	WHITE OAK	3" CAL.	30' O.C.	B&B	9	
ORNAMENTAL TREES							
AM LA	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	2" CAL.	AS SHOWN	B&B	5	CLUMP
MA PP	MALUS 'PURPLE PRINCE'	PURPLE PRINCE CRABAPPLE	2" CAL.	AS SHOWN	B&B	9	
MA SS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL.	AS SHOWN	B&B	4	
DECIDUOUS SHRUBS							
HY MA	HYDRANGEA MACROPHYLLA 'ALL SUMMER BEAUTY'	ALL SUMMER BEAUTY HYDRANGEA	30" HT.	AS SHOWN	#5 CONT.	2	
IL RS	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	30" HT.	AS SHOWN	#5 CONT.	16	
EVERGREEN SHRUBS							
BU SI	BUXUS SINICA VAR. INSULARIS 'WINTERGREEN'	WINTERGREEN BOXWOOD	36" HT.	AS SHOWN	B&B	70	HEDGE
IL GL	ILEX GLabra 'Densa'	DENSE COMPACT INKBERRY	36" HT.	AS SHOWN	B&B	55	
TH OC	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	48" HT.	AS SHOWN	B&B	5	
GROUNDCOVER							
LI MU	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILYTURF	CLUMP	18" O.C.	#1 CONT.	246	FULL-WELL ROOTED
PERENNIALS, BULBS, AND GRASSES							
CA AC	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CLUMP	30" O.C.	#2 CONT.	21	
HE HA	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	CLUMP	18" O.C.	#1 CONT.	62	
PE AL	PENNSETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CLUMP	2' O.C.	#2 CONT.	65	
NA DM	NARCISSUS 'DUTCH MASTER'	DUTCH MASTER DAFFODIL	BULB	6" O.C.		145	
SEED							
	ODOT LAWN MIXTURE				SEE ODOT CMS 659.09		



BRICK:
BELDEN BRICK
BELCREST 730
SANDMOLD



ASPHALT SHINGLES:
OWENS-CORNING
OAKRIDGE
PEPPER MILL GRAY



ACCENT EIFS:
DRYVIT
115 BEACH



CAST STONE:
CONTINENTAL
1102 NATURAL STONE



EXTERIOR PAINT 1:
SHERWIN WILLIAMS
7035 AESTHETIC WHITE



EXTERIOR PAINT 2:
SHERWIN WILLIAMS
7598 SIERRA REDWOOD

GENERAL NOTES: EXTERIOR ELEVATIONS

1. DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND STORM DRAINAGE PIPING U.N.O.
2. CONTRACTOR TO SEAL ALL MEP PENETRATIONS & OPENINGS AT THE BUILDING ENVELOPE.
3. ALL HVAC EQUIPMENT TO BE LOCATED ON THE ROOFTOP AND SCREENED FROM VIEW. NO EQUIPMENT TO BE LOCATED ON THE GROUND LEVEL.

KEYNOTES PER SHEET

04-08 16" H BRICK JACK ARCH
04-12 FULL BRICK VENEER
04-13 FULL BRICK WATER TABLE
04-14 FULL BRICK HERRINGBONE PATTERN ACCENT
05-01 STEEL PIPE BOLLARD W/ BOLLARD COVER
05-07 WOOD PERGOLA, PAINTED WHITE
07-06 PREFINISHED METAL COPING / ROOF EDGE,
COLOR TO MATCH SHINGLES
07-07 PREFINISHED METAL FASCIA, WHITE
07-11 PREFINISHED FASCIA & GUTTER
W/ 3/4 DOWNSPOUT, WHITE
07-13 ASPHALT SHINGLE ROOF
07-14 FULLY ADHERED SINGLE-PLY MEMBRANE
WALL FLASHING
07-22 EIFS (EXTERIOR INSULATION & FINISH
SYSTEM) W/ DRAINAGE
07-31 PRE-FINISHED METAL COUNTER FLASHING,
FINISH TO MATCH ADJACENT MATERIAL
08-05 CASEMENT WINDOW / DOOR SYSTEM WITH
7/8" MUNTINS, WHITE
08-07 INSULATED H.M. DOOR & FRAME,
PAINT "EXTERIOR PAINT 1"
08-08 SPANDREL GLASS
08-10 DRIVE THROUGH SLIDING SERVICE WINDOW
10-15 CHANNEL LOGO & LETTER SIGNAGE BY
OWNER, LIT BY EXTERIOR FIXTURES
10-31 8" HIGH VINYL ADDRESS NUMBERS
11-08 PNEUMATIC TUBE SYSTEM BY OWNER
11-09 DRIVE-UP ATM UNIT BY OWNER
11-11 AFTER-HOURS DEPOSITORY BY OWNER
22-01 SCREENED ROOFTOP EQUIPMENT
22-23 3X4 DOWNSPOUT W/ ADAPTER, WHITE
26-03 EXTERIOR LIGHT FIXTURE
26-15 ELECTRIC METER, PAINT "EXTERIOR PAINT 2"



ARCHITECT
NewGround International, Inc.
15450 South Outer Forty Drive
Suite 300
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Phone: 636-898-8100

CONSULTANT
W.F. Cann Company
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Phone: 636-898-8100

CONSULTANT
Environmental Design Group
450 Grant St
Akron, OH 44311
Phone: 330-375-1390

CME Credit Union
Lot 3, Corner of Smith Mill Rd & Beech Rd
New Albany, OH 43031



NORTH ELEVATION (facing Smith's Mill Rd)



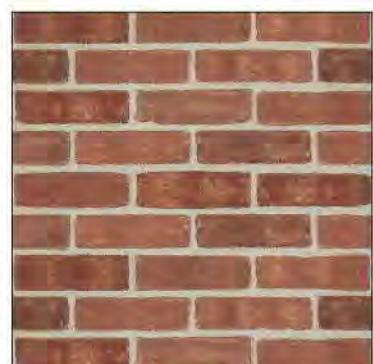
WEST ELEVATION

0' 5' 10' 15' SCALE: $\frac{3}{16}$ " = 1'-0"

DATE
18 Oct 2023
JOB NO.
29580-0002

SHEET

A4.1



BRICK:
BELDEN BRICK
BELCREST 730
SANDMOLD



ASPHALT SHINGLES:
OWENS-CORNING
OAKRIDGE
PEPPER MILL GRAY



ACCENT EIFS:
DRYVIT
115 BEACH



CAST STONE:
CONTINENTAL
1102 NATURAL STONE



EXTERIOR PAINT 1:
SHERWIN WILLIAMS
7035 AESTHETIC WHITE



EXTERIOR PAINT 2:
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26-15 ELECTRIC METER, PAINT "EXTERIOR PAINT 2"

CME Credit Union
Lot 3, Corner of Smith Mill Rd & Beech Rd
New Albany, OH 43031

DATE
18 Oct 2023
JOB NO.
29580-0002

SHEET

A4.2

NEWGROUND

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Phone: 636-898-8100

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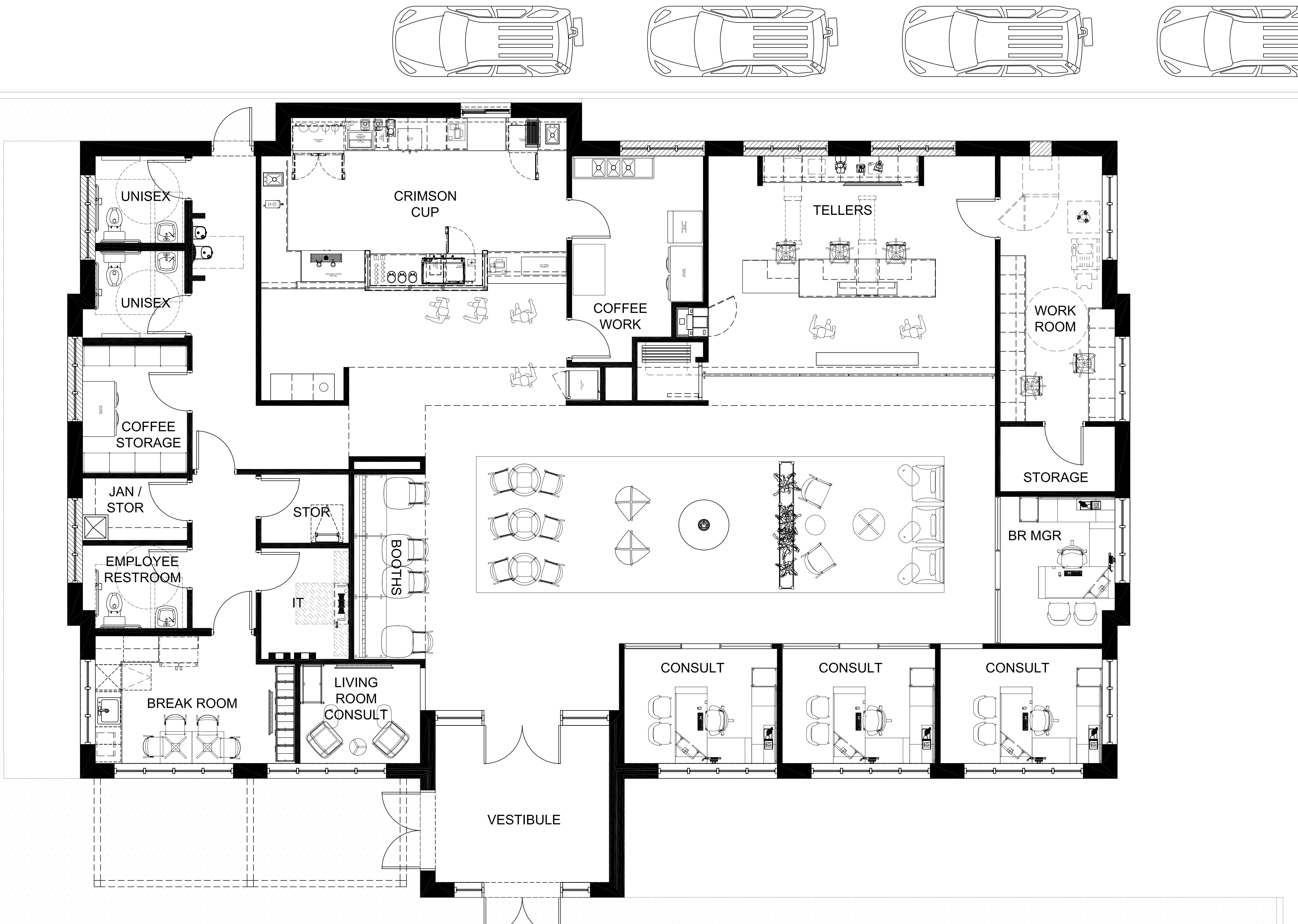
CONSULTANT
Environmental Design Group
450 Grant St
Akron, OH 44311
Phone: 330-375-1390



SOUTH ELEVATION



EAST ELEVATION (facing Beech Rd) 0' 5' 10' 15' SCALE: $\frac{3}{16}$ " = 1'-0"

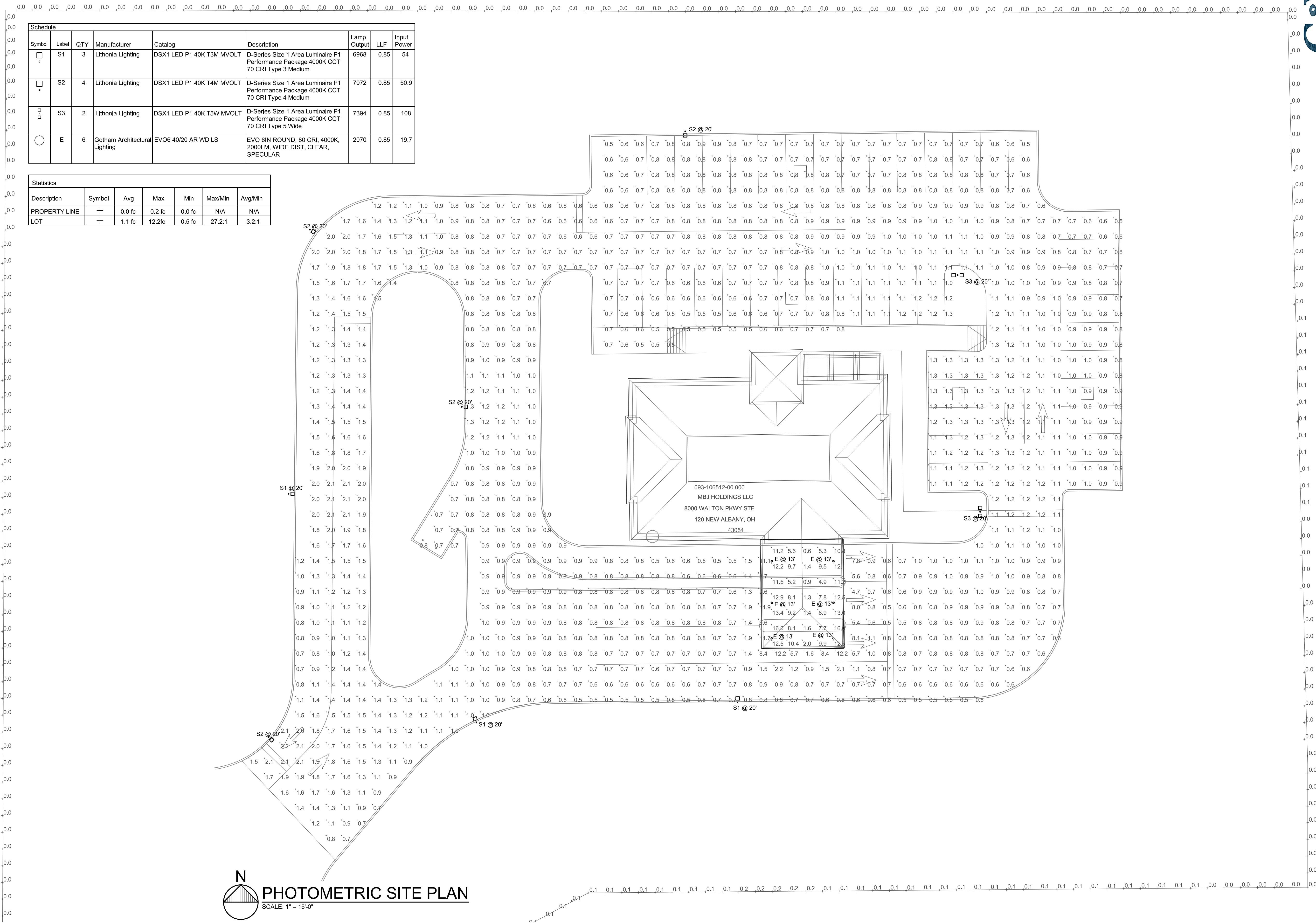


0' 4' 8' 12'  SCALE: 1" = $\frac{1}{4}$ "

DATE
 16 Oct 2023

JOB NO.
 29580-0002

SHEET
A1



CME Credit Union

New Albany, OH

Siemens New Albany, OH

CONSULTANT
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15450 South Outer Forty Drive
Suite 300
Chesterfield, MO 63017
Area Code 636 898- 8100

NEW GROUND

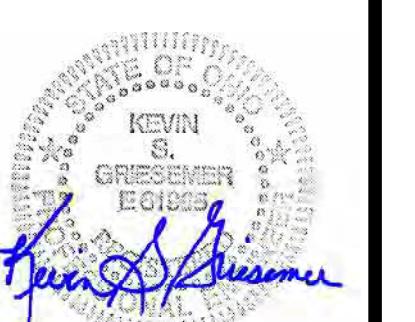
An official circular seal for an Ohio Notary Public. The outer ring contains the text "NOTARY PUBLIC" at the top and "THE STATE OF OHIO" at the bottom, separated by decorative dots. The inner circle contains the name "KEVIN S. GRIESEMEN" and the number "E 61096". A blue ink signature of the name "Kevin S. Griesemer" is written across the bottom of the seal.

DATE
10/25/2023

JOB NO.
29580 0003

SHEET

E10



D-Series Size 1 LED Area Luminaire

Photometric Diagrams To complete photometric reports or download .ies files for this product, visit Lithonia Lighting's homepage.

Isoluxfootprint plots for the DSX1 LED P1-40K-70CRI-DISTRIBUTION. Distances are in units of mounting height (25').

Legend:

- 0.1 fc
- 0.5 fc
- 1.0 fc

Notes: CME Federal Credit Union
S1, S2, S3
In the top of the plot area, the light fixture is shown.

Introduction The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

DSX1 LED	P1 (P2 - S2)	40K	70CRI	T2M / T3M / T4M	MVOLT	SPA	
Series: LEDs	Color temperature ¹	Color Rendering ²	Distribution	Voltage	Mounting		
DSX1 LED	Forward optics	(this section 70CRI only)	AFR	Automotive front row	TSM	Type V medium	Shipped included
P1	P6	30K 3000K	70CRI	T1S	Type V low glare	SPA	Square pole mounting
P2	P7	40K 4000K	70CRI	T2M	Type V medium	SPB	Square pole mounting (48 drilling)
P3	P8	70CRI	70CRI	T3M	Type V low glare	SPC	Square pole mounting (48 drilling)
P4	P9	(this section 80CRI only, extended lead times apply)	70CRI	T4M	Type V low glare	SPD	Square pole mounting (48 drilling)
P5			BL30	BL30	Type V back-light control	SPF	Square pole mounting #8 drilling
Rotated optics	P10	2700K	80CRI	T4LG	Type V low glare ³	SPG	Square pole mounting #8 drilling
P11	P12	30K 3000K	80CRI	T4LG	Type V low glare ³	SPH	Square pole mounting #8 drilling
P11	P13	35K 3500K	80CRI	T4LG	Type V low glare ³	SPJ	Square narrow pole mounting #8 drilling
		40K 4000K	80CRI	T4LG	Type V low glare ³	SPK	Square narrow pole mounting #8 drilling
		50K 5000K	80CRI	T4LG	Type V low glare ³	WBA	Wall bracket ⁴

Control options:

- Shipped installed: NLTAIR2 PIRHN right tilt sensor 3 enabled with bi-level motion / ambient sensor, 5-40° mounting height, ambient sensor enabled at 26°, 12.5°, 1°
- PIR: FAO Field adjustable output^{1,2}
- PER: BL30 Bi-level switched dimming, 30%^{1,2,3}
- PER: DMS: 0-10 dimming wires pulled outside fixture (for use with an external control, ordered separately)¹
- PBS: Five-pin receptacle only (controls ordered separate)^{4,21}

Other options:

- Shipped installed: PER7 Seven-pin receptacle only (controls ordered separate)^{1,2,3}
- PIR: SP20KV 20kV surge protection
- PER: BL30 Bi-level switched dimming, 30%^{1,2,3}
- PER: DMS: 0-10 dimming wires pulled outside fixture (for use with an external control, ordered separately)¹
- PBS: Five-pin receptacle only (controls ordered separate)^{4,21}

Finish: (select one)

- BS900 Dark Bronze
- BS910 Black
- DN400 Natural Aluminum
- DN410 White
- DN420 Textured dark bronze
- DN430 Textured black
- DN440 Textured natural aluminum
- DN450 Textured white

Performance Data

Lumen Ambient Temperature (LAT) Multipliers Use these factors to determine lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.04
5°C	1.17
10°C	1.37
15°C	1.62
20°C	1.87
25°C	2.12
30°C	2.37
35°C	2.61
40°C	2.85

Projected LED Lumen Maintenance Data references the extrapolated performance projections for the platforms noted in a 25°C ambient based on 10,000 hours of LED testing (tested for L80-B0.8 and projected per IESNA LM-80-08).

To calculate L80, use the lumen maintenance factor that corresponds to the desired number of operating hours needed. For other lumen maintenance values, contact factory.

Operating Hours (Requires L90 or R90)	Lumen Maintenance Factor
0	1.00
25,000	0.95
50,000	0.90
100,000	0.81

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	97%	97%
6	93%	93%
5	66%	73%
4	54%	67%
3	49%	69%
2	29%	36%
1	15%	20%

¹Note: Not all LED types are available as per special request. Contact Technical Support for more information.

Motion Sensor Default Settings

Option	Uncalibrated Dimmed Level	High Level (full brightness)	Protocol Operation	Default Time	Warm-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 25C	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 25C	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable device installed inside the luminaire, wired to the driver module.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the D-10V leads.
D5 (not available on DSX1)	Drivers wired independently for 50/50 luminaire operation.	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider a light fixture as a more cost effective alternative.
PDS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for indoor or outdoor applications. Includes advanced control nodes that provide 0-10V dimming.	PIR	Pins 4 & 5 dimming leads on driver. Pins 6 & 7 are advanced control nodes such as RD4M.
PIR	Motion sensor with integral photocell. Suitable for 8 to 40' mounting height.	Luminaires dim when no occupancy is detected.	Avality Controls c96	Cannot be used with other controls options that need the D-10V leads.
NLTAIR2 PIRHN	nLight enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor group when wireless connected to the right Edge.	nLight Air c96	nLight Air sensors can be programmed and commissioned from the ground using the nLight Pro app. Cannot be used with other controls options that need the D-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control to switch all lights either to 50% or 50% control by a secondary circuit.	BLC device provides input 0-10V dimming leads on all drivers providing either 100% or dimmed 50% or 50% control by a secondary circuit.	BLC UVOLT	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V.

gOTHAM | E V O[®]
Multiple Layers of Light

Luminaire Type: E
Catalog Number:

General Illumination Round Downlight 6"

Feature Set

- Bounding Ray™ optical design
- Unitized optics mechanically attach the light engine to the lower reflector for complete optical alignment
- 45° cutoff to source and source image
- Fully serviceable and upgradable lensed LED light engine
- 70+ lumen maintenance at 60,000 hours

Distribution

Very narrow 0.5 SMH
narrow 0.7 SMH
medium 0.9 SMH
medium wide 1.0 SMH
wide 1.2 SMH

Superior Performance

Nominal Lumen	250	500	750	1000	1500	2000	2500	3000	3500	4000	4500	5000	6000	8000	10,000	12,000	15,000	17,500
Defined Lumen	297	519	776	994	1471	2006	2537	3077	3542	4027	4533	5056	6371	8247	10637	12322	15776	17801
Wattage	3.4	6.2	8.2	9.6	14.7	19.7	24.7	29.5	33.8	39.0	47.3	48.7	57.6	74.9	97.1	115.0	150.9	175.3
Lumens per Watt	87.4	83.7	94.6	103.5	101.1	108.2	104.3	104.8	103.3	107.9	110.6	110.1	109.5	107.2	104.5	101.5		

Coordinated Apertures | Multiple Layers of Light

General Illumination Layer 1 EVO
High Center Beam Layer 1 Incito
EVO + Incito — Multiple Layers of Light

Core Downlight Adjustable Open Washout Lensed Washout Cylinder Pinhole Bevel Hyperbolic

Healthcare MRI Surgical Suite Patient Room

Special Applications Dynamic Food Service Vandal/Tamper Clean Room Shower Steam Room

ASA MEMBER PRODUCT

Ordering Notes

- Not available with: FRS, RFL, RFLP, RFLP2, RFLP3, RFLP4, RFLP5, RFLP6, RFLP7, RFLP8, RFLP9, RFLP10, RFLP11, RFLP12, RFLP13, RFLP14, RFLP15, RFLP16, RFLP17, RFLP18, RFLP19, RFLP20, RFLP21, RFLP22, RFLP23, RFLP24, RFLP25, RFLP26, RFLP27, RFLP28, RFLP29, RFLP30, RFLP31, RFLP32, RFLP33, RFLP34, RFLP35, RFLP36, RFLP37, RFLP38, RFLP39, RFLP40, RFLP41, RFLP42, RFLP43, RFLP44, RFLP45, RFLP46, RFLP47, RFLP48, RFLP49, RFLP50, RFLP51, RFLP52, RFLP53, RFLP54, RFLP55, RFLP56, RFLP57, RFLP58, RFLP59, RFLP60, RFLP61, RFLP62, RFLP63, RFLP64, RFLP65, RFLP66, RFLP67, RFLP68, RFLP69, RFLP70, RFLP71, RFLP72, RFLP73, RFLP74, RFLP75, RFLP76, RFLP77, RFLP78, RFLP79, RFLP80, RFLP81, RFLP82, RFLP83, RFLP84, RFLP85, RFLP86, RFLP87, RFLP88, RFLP89, RFLP90, RFLP91, RFLP92, RFLP93, RFLP94, RFLP95, RFLP96, RFLP97, RFLP98, RFLP99, RFLP100, RFLP101, RFLP102, RFLP103, RFLP104, RFLP105, RFLP106, RFLP107, RFLP108, RFLP109, RFLP110, RFLP111, RFLP112, RFLP113, RFLP114, RFLP115, RFLP116, RFLP117, RFLP118, RFLP119, RFLP120, RFLP121, RFLP122, RFLP123, RFLP124, RFLP125, RFLP126, RFLP127, RFLP128, RFLP129, RFLP130, RFLP131, RFLP132, RFLP133, RFLP134, RFLP135, RFLP136, RFLP137, RFLP138, RFLP139, RFLP140, RFLP141, RFLP142, RFLP143, RFLP144, RFLP145, RFLP146, RFLP147, RFLP148, RFLP149, RFLP150, RFLP151, RFLP152, RFLP153, RFLP154, RFLP155, RFLP156, RFLP157, RFLP158, RFLP159, RFLP160, RFLP161, RFLP162, RFLP163, RFLP164, RFLP165, RFLP166, RFLP167, RFLP168, RFLP169, RFLP170, RFLP171, RFLP172, RFLP173, RFLP174, RFLP175, RFLP176, RFLP177, RFLP178, RFLP179, RFLP180, RFLP181, RFLP182, RFLP183, RFLP184, RFLP185, RFLP186, RFLP187, RFLP188, RFLP189, RFLP190, RFLP191, RFLP192, RFLP193, RFLP194, RFLP195, RFLP196, RFLP197, RFLP198, RFLP199, RFLP200, RFLP201, RFLP202, RFLP203, RFLP204, RFLP205, RFLP206, RFLP207, RFLP208, RFLP209, RFLP210, RFLP211, RFLP212, RFLP213, RFLP214, RFLP215, RFLP216, RFLP217, RFLP218, RFLP219, RFLP220, RFLP221, RFLP222, RFLP223, RFLP224, RFLP225, RFLP226, RFLP227, RFLP228, RFLP229, RFLP230, RFLP231, RFLP232, RFLP233, RFLP234, RFLP235, RFLP236, RFLP237, RFLP238, RFLP239, RFLP240, RFLP241, RFLP242, RFLP243, RFLP244, RFLP245, RFLP246, RFLP247, RFLP248, RFLP249, RFLP250, RFLP251, RFLP252, RFLP253, RFLP254, RFLP255, RFLP256, RFLP257, RFLP258, RFLP259, RFLP260, RFLP261, RFLP262, RFLP263, RFLP264, RFLP265, RFLP266, RFLP267, RFLP268, RFLP269, RFLP270, RFLP271, RFLP272, RFLP273, RFLP274, RFLP275, RFLP276, RFLP277, RFLP278, RFLP279, RFLP280, RFLP281, RFLP282, RFLP283, RFLP284, RFLP285, RFLP286, RFLP287, RFLP288, RFLP289, RFLP290, RFLP291, RFLP292, RFLP293, RFLP294, RFLP295, RFLP296, RFLP297, RFLP298, RFLP299, RFLP300, RFLP301, RFLP302, RFLP303, RFLP304, RFLP305, RFLP306, RFLP307, RFLP308, RFLP309, RFLP310, RFLP311, RFLP312, RFLP313, RFLP314, RFLP315, RFLP316, RFLP317, RFLP318, RFLP319, RFLP320, RFLP321, RFLP322, RFLP323, RFLP324, RFLP325, RFLP326, RFLP327, RFLP328, RFLP329, RFLP330, RFLP331, RFLP332, RFLP333, RFLP334, RFLP335, RFLP336, RFLP337, RFLP338, RFLP339, RFLP340, RFLP341, RFLP342, RFLP343, RFLP344, RFLP345, RFLP346, RFLP347, RFLP348, RFLP349, RFLP350, RFLP351, RFLP352, RFLP353, RFLP354, RFLP355, RFLP356, RFLP357, RFLP358, RFLP359, RFLP360, RFLP361, RFLP362, RFLP363, RFLP364, RFLP365, RFLP366, RFLP367, RFLP368, RFLP369, RFLP370, RFLP371, RFLP372, RFLP373, RFLP374, RFLP375, RFLP376, RFLP377, RFLP378, RFLP379, RFLP380, RFLP381, RFLP382, RFLP383, RFLP384, RFLP385, RFLP386, RFLP387, RFLP388, RFLP389, RFLP390, RFLP391,



Planning Commission Staff Report
January 21, 2026 Meeting

**THE COURTYARDS AT HAINES CREEK SUBDIVISION
LOT 102 MODEL HOME CONDITIONAL USE**

LOCATION: 5535 Wooster Drive Lot 102 (PID: 222-005486)
APPLICANT: Kelly Fankhauser c/o Epcon Haines Creek, LLC
REQUEST: Conditional Use
ZONING: Courtyards at Haines Creek I-PUD Zoning District
STRATEGIC PLAN: Residential District
APPLICATION: CU-104-2025

Review based on: Application materials received December 15, 2025

Staff report completed by Jay Henderson, Planner I

I. REQUEST

The applicant requests conditional use approval for a residential model home to be located on lot 102 within the Haines Creek subdivision. The model is for the Promenade elevation B home type, which is permitted for development in the subdivision. The applicant requests that the conditional use be approved until the final phase of the community has been sold out.

The Planning Commission reviewed the zoning change and preliminary development plan for the property on June 20, 2021 (ZC-07-2023), and the zoning change was adopted by city council on July 18, 2023 (O-84-2023). The Planning Commission approved the final development plan for the subdivision on March 5, 2024 (FDP-87-2023).

II. LOCATION

The Courtyards at Haines Creek subdivision is located at the northwest corner of Jug Street and Central College Road. The site comprises 0.31 +/- acres and is situated west of Wooster Drive and north of McClellan Drive East. The surrounding uses consist of unincorporated property along the western boundary, the subdivision clubhouse to the east, a proposed single-family home lot on the north, and a public road to the south.

III. EVALUATION

General Standards for Conditional Uses (C.O. 1115.03)

The Planning Commission shall not approve a conditional use unless it shall in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location shall meet all of the following requirements:

- (a) *The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.*
- (b) *The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.*
- (c) *The use will not be hazardous to existing or future neighboring uses.*

- (d) *The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.*
- (e) *The proposed use will not be detrimental to the economic welfare of the community.*
- (f) *The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*
- (g) *Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.*

Residential model homes. Per Code, these are newly constructed homes or temporary structures placed in a newly constructed subdivision and used by a homebuilder or developer to display home styles and lot availability in a subdivision to promote the sale of new housing units. The model home may be staffed and furnished. (C.O. 1165.09)

The criteria and the applicability of this application are detailed below (Section 1165.09(a)):

1. *Appropriate location within the community.*
The proposed model home is located on lot 102, which is designated as a corner lot. Per the Courtyards at Haines Creek I-PUD zoning text, corner lots shall have enhanced elevations. As shown on the elevations, this criterion is being met with the addition of the shutters. The model home is located near the subdivision entrance, accessible from Central College Road via McClellan Drive East. The proposed location appears to be appropriate as it is easily accessible and identifiable when entering the subdivision. Additionally, the home is across from the community clubhouse and accessible by sidewalks and a leisure trail.
2. *It is integrated in the existing community with customary exterior residential lighting.*
The home will continue to utilize coach lighting fixtures consistent with the style and architectural features present on the approved home elevations.
3. *The use is approved with limited duration.*
The applicant states that they would like to utilize the model home until the phase of the development has been sold out. Historically, the Planning Commission has approved conditional uses for other model homes within the community for 1-3 years, depending on the size of the subdivision. Staff recommend the model home approval shall be permitted for two (2) years or until the last lot is sold, and any extension in time is subject to review and approval by the Planning Commission (condition #1).
4. *One sign is permitted.*
The applicant proposes installing one ground sign, which is evaluated in the staff report below.
5. *Shall not be used as a general real estate brokerage office.*
The applicant states that the model home will not be used as a general real estate brokerage office.

The Planning Commission is also to consider the following (1165.09 (b)):

1. *Hours of operation*
The model home will operate Monday through Saturday, from 10:00 am to 6:00 pm, and Sunday 12:00 pm to 6:00 pm, which is generally consistent with other model homes that have been approved by the Planning Commission.
2. *Number of employees and maximum number of employees at the site at one time.*

The applicant states that there will be two sales employees at the proposed model home in the subdivision.

3. Provisions for parking for employees and customers

The applicant states that the model home can accommodate four vehicles off-street, with additional parking on-street and at the adjacent clubhouse to the east.

4. Size, lighting, content and location of signage

C.O. 1169.10(e) of the city sign code permits one (1) sign not to exceed 6 square feet in size and no taller than 4 feet. Model home signs are not permitted to be illuminated and must be set back 10 feet from the adjacent street right-of-way. The applicant proposes installing a model home sign with the following dimensions. Staff recommends a condition of approval that the sign's location meets the code requirement found in C.O. 1169.10(e) (condition #2).

- a) Size: 1.75 sq. ft. [meets code].*
- b) Height: 1.5 feet [meets code].*
- c) Location: The location of the sign's distance is not indicated on the site plan. The sign is required to be set back 10 feet from the street right-of-way per C.O. 1169.10(e).*
- d) Lighting: none proposed [meets code].*

5. Landscaping and screening

The applicant proposes to install landscaping in landscape beds in front of the home. Additionally, oak trees and an ornamental tree are situated along the front and side property lines, as well as proposed trees and hedges along the side of the home.

IV. SUMMARY

The proposed model home is situated in an appropriate location within the community, with accessibility from the proposed clubhouse, leisure trail, and sidewalk connections. Additionally, the model home meets the zoning text requirements for enhanced elevations for a corner lot home. The operational aspects of the model home are consistent with successfully operating model homes in other New Albany neighborhoods.

V. ACTION

Should the Planning Commission find that the application has sufficient basis for approval, the following motion would be appropriate:

Move to approve application CU-104-2025 with the following conditions, subject to staff approval:

- 1) The model home approval shall be permitted for two (2) years or until the last lot is sold, and any extension in time is subject to review and approval by the Planning Commission.
- 2) The model home sign location must meet the code requirements found in C.O. 1169.10(e).

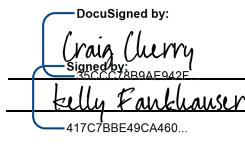
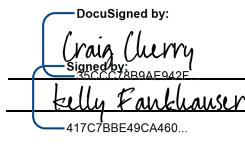
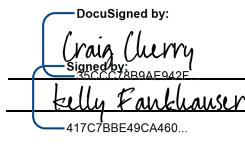
Approximate Site Location:



Source: NearMap



Community Development Planning Application

Submission	<p>Submit planning applications and all required materials via email to planning@newalbanyohio.org</p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																													
Project Information	<p>Site Address <u>5535 Wooster Drive, New Albany, Ohio / Lot 102 Per Phase 1 Plat</u></p> <p>Parcel Numbers <u>222-005486</u></p> <p>Acres <u>0.31</u> # of lots created <u>N/A</u></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left; padding: 5px;">Choose Application Type</th> <th style="text-align: left; padding: 5px;">Description of Request:</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;"><input type="checkbox"/>Appeal</td> <td style="padding: 5px;"><input type="checkbox"/> Extension Request</td> <td style="padding: 5px;">Conditional use request for the construction</td> </tr> <tr> <td style="padding: 5px;"><input type="checkbox"/>Certificate of Appropriateness</td> <td style="padding: 5px;"><input type="checkbox"/> Variance</td> <td style="padding: 5px;">and use of a residential model home.</td> </tr> <tr> <td style="padding: 5px;"><input checked="" type="checkbox"/>Conditional Use</td> <td style="padding: 5px;"><input type="checkbox"/> Vacation</td> <td style="padding: 5px;"></td> </tr> <tr> <td style="padding: 5px;"><input type="checkbox"/>Development Plan</td> <td style="padding: 5px;"></td> <td style="padding: 5px;"></td> </tr> <tr> <td style="padding: 5px;"><input type="checkbox"/>Plat</td> <td style="padding: 5px;"></td> <td style="padding: 5px;"></td> </tr> <tr> <td style="padding: 5px;"><input type="checkbox"/>Lot Changes</td> <td style="padding: 5px;"></td> <td style="padding: 5px;"></td> </tr> <tr> <td style="padding: 5px;"><input type="checkbox"/>Minor Commercial Subdivision</td> <td style="padding: 5px;"></td> <td style="padding: 5px;"></td> </tr> <tr> <td style="padding: 5px;"><input type="checkbox"/>Zoning Amendment (Rezoning)</td> <td style="padding: 5px;"></td> <td style="padding: 5px;"></td> </tr> <tr> <td style="padding: 5px;"><input type="checkbox"/>Zoning Text Modification</td> <td style="padding: 5px;"></td> <td style="padding: 5px;"></td> </tr> </tbody> </table>	Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	<input type="checkbox"/> Extension Request	Conditional use request for the construction	<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Variance	and use of a residential model home.	<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Vacation		<input type="checkbox"/> Development Plan			<input type="checkbox"/> Plat			<input type="checkbox"/> Lot Changes			<input type="checkbox"/> Minor Commercial Subdivision			<input type="checkbox"/> Zoning Amendment (Rezoning)			<input type="checkbox"/> Zoning Text Modification		
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Phone Number		Phone Number																												
Email		Email																												
Signature	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; vertical-align: top;"> Signature of Owner Signature of Applicant </td> <td style="width: 40%; text-align: center; vertical-align: top;"> DocuSigned by:  Craig Cherry <small>Signed by: 417C7BBE49CA460...</small> </td> <td style="width: 30%; text-align: right; vertical-align: top;"> Date: <u>12/15/2025</u> Date: <u>12/15/2025</u> </td> </tr> </table>	Signature of Owner Signature of Applicant	DocuSigned by:  Craig Cherry <small>Signed by: 417C7BBE49CA460...</small>	Date: <u>12/15/2025</u> Date: <u>12/15/2025</u>																										
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Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

Fees & Submittal Information

Appeal		250.00	
Certificate of Appropriateness			
ARB – single and two family residential		100.00	
ARB – All other residential or commercial		300.00	
ARB - Signage		75.00	
Conditional Use		600.00	
Development Plan – Preliminary PUD or Comprehensive			
Planning fee	First 10 acres	750.00	
	Each additional 5 acres or part thereof	50.00 / each	
Engineering fee	1-25 lots	155.00 / each	
	Minimum fee	1000.00	
Engineering fee	26 – 50 lots	3875.00	
	Each additional lot over 26	75.00 / each	
Engineering fee	Over 51 lots	5750.00	
	Each additional lot over 51	50.00 / each	
Development Plan – Final PUD			
Planning fee	First 10 acres	650.00	
	Each additional 5 acres or part thereof	50.00	
Engineering fee	1-25 lots	155.00 / each	
	(minimum fee \$1,000.00)	3875.00	
Engineering fee	26 – 50 lots	75.00 / each	
	Each additional lot over 26	5750.00	
Engineering fee	Over 51 lots	50.00 / each	
	Each additional lot over 51	300.00	
Development Plan – Non-PUD			
Development Plan / Text Amendment		600.00	
Plat – Road Preliminary			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Road Final			
Planning fee		350.00	
Engineering fee	no lots on either side of street	1.00 / LF	
	lots on one side of street	.50 / LF	
	Minimum fee	1,000.00	
Plat – Subdivision Preliminary			
Planning		650.00	
Engineering fee	Plus each lot	50.00 / each	
	1-25 lots	155.00 / each	
	(minimum fee \$1,000.00)	3875.00	
Engineering fee	26 – 50 lots	75.00 / each	
	Each lot over 26	5750.00	
Engineering fee	Over 51 lots	50.00 / each	
	Each lot over 51		

Fees & Submittal Requirements

Plat – Subdivision Final			
Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 /each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____
Lot Changes		200.00	_____
Minor Commercial Subdivision		200.00	_____
Vacation (Street or Easement)		1200.00	_____
Variance			
Non-single family, commercial, subdivision, multiple properties		600.00	_____
Single Family residence		250.00	_____
In conjunction with Certification of Appropriateness		100.00	_____
Extension Request		0.00	_____
Zoning			
Rezoning - First 10 acres		700.00	_____
Each additional 5 acres or part thereof		50.00 / each	_____
Rezoning to Rocky Fork Blacklick Accord		250.00	_____
Text Modification		600.00	_____
Easement Encroachment		800.00	_____



CONDITIONAL USE SUBMITTAL REQUIREMENTS

Name of Project _____

Site Address _____

Due Date _____ Application Number _____

Submit planning applications and all required materials to planning staff via planning@newalbanyohio.org. Applicants are encouraged to contact planning staff prior to submitting an application to inform the department of the upcoming proposal. Applicants may contact staff to schedule a Wednesday review meeting to discuss the project.

Applications are due via email on Fridays, 30 days ahead of the hearing date. Planning staff will complete a preliminary review of your submission one week after it is due. Staff will inform you of any missing information via email and you will be given one week to provide updates. Incomplete applications cannot be placed on meeting agendas. The planner assigned to your application will inform you when 12 paper copies of the entire submission need to be delivered to our office. Fee invoices will be issued to you once your application is entered.

The following materials are required to be submitted as part of a Conditional Use application per [C.O. 1115.02](#). Additional information regarding the property, proposed use, or surrounding area may be requested by staff or the Board/Commission to make a determination.

Submitted?
(please check one)
Y | N | N/A

Submittal requirements checklist

- 1) Name, address, and phone number of the applicant.
- 2) Legal description of the property, as recorded in the Franklin County Recorder's office.
- 3) Description of existing use.
- 4) Present zoning district.
- 5) Description of proposed conditional use.
- 6) A plan of the proposed site showing the location of all:

Buildings	Parking and loading areas	Traffic circulation
Open spaces	Landscaping	Refuse
Signs	Service areas and utilities	Yards
- 7) The names and addresses of all property owners within 200 feet contiguous to and directly across the street from the property, as appearing on the Franklin County Auditor's current tax list. The applicant shall provide the addresses of all property within these boundaries.

Continue to next page

8) A narrative statement that includes:

- An evaluation of the effects on adjoining property
- A discussion of the general compatibility with adjacent and other properties in the district

The narrative statement should also consider the following requirements for approval:

- The proposed use will be harmonious with and in accordance with the general objectives, or with any specific objective or purpose of the Zoning Ordinance.
- The proposed use will be harmonious with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.
- The use will not be hazardous to existing or future neighboring uses.
- The area will be adequately served by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.
- The proposed use will not be detrimental to the economic welfare of the community.
- The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- Vehicular approaches to the property shall be so designated as not to create interference with traffic on surrounding public streets or roads.

Other requested materials / notes:



MEMO

Date: December 15, 2025

To: City of New Albany Planning Commission

From: Epcon Communities

Subject: Conditional Use Application – The Courtyards at Haines Creek Residential Model Home

Responses to the Conditional Use Application Submittal Requirements

1. Name, address and telephone number
 - This is provided on the Community Development Planning Application.
2. Legal description of the property
 - The Courtyards at Haines Creek Phase 1 Plat is attached which serves as the property legal description.
3. Description of existing use
 - The site is an active construction site for an Approved Residential Subdivision.
4. Present zoning district
 - I-PUD – Infill Planned Unit Development.
5. Description of the proposed conditional use
 - The proposed conditional use is a residential model home, landscaping and signage.
6. A plan of the proposed site
 - Various plans are provided with the application which contain an overall development plan showing model location, plot plan, landscaping plans for the home and its courtyard and signage.
7. Names and Addresses of all Property Owners within 200 feet of the proposed conditional use:
 - There is one adjacent property owner within 200 feet of the Courtyards at Haines Creek. The remainder of the lots within 200 feet are contained within the Courtyards at Haines Creek Development. These lots are under construction, have not been sold and are still under the ownership of Epcon Haines Creek, LLC.
 - Adjoining Property Owner within 200 feet:
 - Ronald H and Tamara L Davies
8200 Central College Road
New Albany, Ohio 43054
PID- 222-001998-00

8. Narrative Statement:

- Effects on the Adjoining Property:
 - The proposed residential model home is located at 5535 Wooster Drive on Lot 102 in the Courtyards at Haines Creek. The model is located close to the development entrance along Central College Road. Parking for four vehicles can be accommodated in the driveway of the model home with additional parking available on-street and in the adjacent clubhouse parking lot across Wooster Drive to the east. The proposed residential model home has the rear yard adjoining a 30 foot Tree Preservation Zone that separates it from the adjacent Davies Property.
 - Due to the nature of the use, there will be minimal noise and lights from the residential model home. Anticipated hours of use are:

Monday – Saturday: 10:00 AM – 6:00 PM
Sunday: 12:00 PM – 6:00 PM
 - There will be two salespeople in the model home daily.
 - The duration of the model home use is proposed until the final phase of the development is sold out.
 - No dedicated outdoor trash receptacle is required for the proposed use. The volume of waste generated by the sales staff is minimal. All trash will be either disposed of in the onsite dumpster or removed from the premises by staff as needed.
- A discussion of the compatibility with adjacent and other properties within the district:
 - The proposed use will be harmonious with and in accordance with the general objectives or with any specific objective or purpose of the Zoning Ordinance.
 - The residential model home is a compatible use with the proposed and existing homes. It has a rear setback that is deed restricted with no activity and an additional 30-foot tree preservation zone between the lot and the adjoining property. Once the model home use is no longer needed, the home will be sold and become an owner occupied home once the model is no longer needed.
 - Since the model is an actual model of a home being sold and built in the community, the proposed use will be harmonious with the existing and intended character of the general vicinity and will not change the essential character of the same area.
 - The use will not be hazardous to existing and future neighboring uses.
 - The Courtyards at Haines Creek is adequately served by essential public facilities and services and will not be detrimental to the economic welfare of the community.
 - The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, noise and glare. The proposed use has limited hours of use, which is more restrictive than any residential home within the development which has no restrictions on as an hourly restriction on coming and going for the owner or their visitors, etc.
 - Vehicular approaches to the property and the proposed use on Lot 1 will not interfere with traffic on surrounding public streets or roads. In fact public street access to Lot 1 and the overall public street system of the Courtyards at Haines Creek Development has been approved by the City of New Albany. These public streets are completed or under construction.

MODEL ID SIGN | 21" X 12"

- 4" aluminum posts with PVC top caps, finished gloss white
- 3/4" PVC sign panels with flat decorated graphics

Intro Black

- █ PMS 2935 C
- █ PMS Cool Gray 8 C
- █ White

**SIGN ASSEMBLY
INSTRUCTIONS:**

Sign panels mounted in between post.
Sign panels can be attached to post
with sign "U" brackets, crossbars or
channels in post.



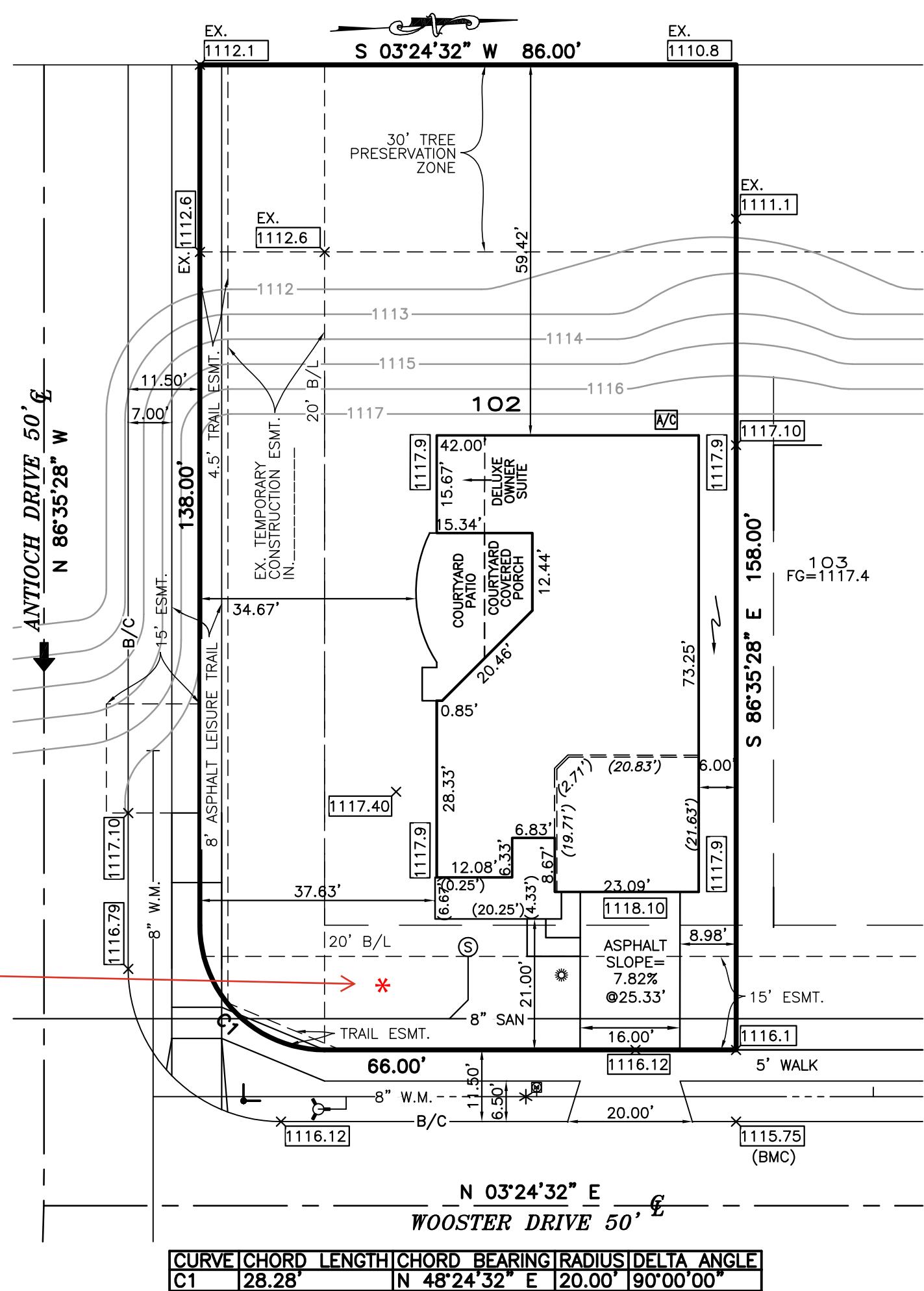
MINIMUMS: R: 15' S: 5'

PLOT PLAN

SCALE 1" = 20'

REVISIONS	DESCRIPTION
10/24/25	MOVED HOUSE (AP)

EPCON SLAB	
FINISH FLOOR =	1118.60
FINISH GRADE =	1117.90
GARAGE PAD =	1118.10
TOP OF FOOTER =	1117.60
BOTTOM OF FOOTER =	1115.10
DRIVE SLOPE DISTANCE =	25.33



LOT CALCULATIONS ARE FOR ESTIMATING PURPOSES ONLY AND SHOULD BE VERIFIED BY THE BUILDER OR CONTRACTOR. BUILDER TO INSTALL AND MAINTAIN EROSION CONTROL THROUGHOUT ALL PHASES OF CONSTRUCTION. FIELD MODIFICATIONS MAY BE NECESSARY.

LEGEND	
MAJOR FLOOD ROUTE	WINDOW WELL
POWER POLE	EGRESS WELL
STREET LIGHT	A/C
POST LAMP	ELECTRIC BOX
MAILBOX	ELECTRIC TRANSFORMER
CATCH BASIN	ELECTRIC MANHOLE
CURB INLET	GAS MARKER
STORM MANHOLE	GAS VALVE
STORM LINE	TELEPHONE PEDESTAL
SANITARY MANHOLE	TELEPHONE MANHOLE
SANITARY LINE	CABLE T.V. PEDESTAL
SANITARY TAP	WATER VALVE
FIRE HYDRANT	
W.M.—WATER MAIN	
WATER SERVICE	PROPOSED GRADE
E/P EDGE OF PAVEMENT	EXISTING GRADE
B/C BACK OF CURB	EROSION CONTROL FENCE
(BMC) BENCH MARK	CONTOURS
* STABILIZE CONSTRUCTION ENTRANCE.	

HOUSE STYLE: PROMENADE COTTAGE W. BONUS SUITE / B
SIGN DATE: 10/24/25

PO NUMBER: DRAFTER: A.P.

CLIENT NAME: EPCON COMMUNITIES

FEMA FIRM INFORMATION: FLOOD ZONE X 39049C 0207K 06/17/2008.

NOTES:

SURVEYORS CERTIFICATION:
WE HEREBY CERTIFY THAT THE FOREGOING PLOT PLAN WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND DATA OBTAINED FROM ENGINEERED SUBDIVISION PLANS. THIS PLOT PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. THE USE OF THE PLOT PLAN FOR ANY OTHER USE IS STRICTLY PROHIBITED.



Courtyards at Haines Creek
Residential Model Home: Lot 102
Conditional Use
12-15-25

New Albany Summer Cottage- The Courtyards at Haines Creek

Material List and Color Palette

Model Lot 102

SC-1	Material	Manufacturer	Color Name	Code
Shingle		Certainteed	Moire Black	
Windows		Pella	Black	
Garage Door		Wayne Dalton - Steel 9100 Series	White	
Primary Siding- James Hardie Board & Batten		Sherwin Williams	Needlepoint Navy	SW0032
Siding Accent Areas - James Hardie Board & Batten		Sherwin Williams	Classic Light Buff	SW0050
Front Door		Sherwin Williams	Dutch Tile Blue	SW0031
Trim & Fypon Accents		Sherwin Williams	Classic Light Buff	SW0050
Gutters & Downspouts		Union Corrugating Company	White	
Metal Roofs		Union Corrugating Company	Black	
Aluminium Fencing		4' Tall - Front & Sides	Black	
Vinyl Fencing		USA Vinyl - 6' Privacy	White	

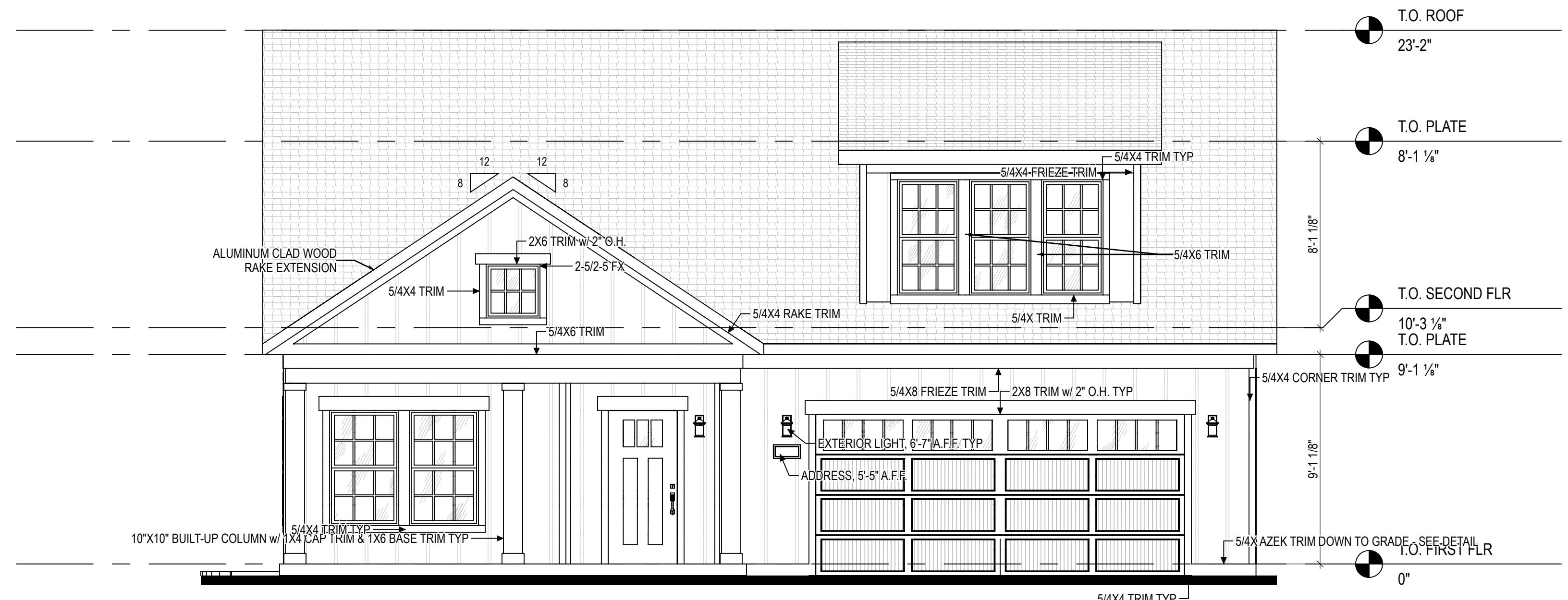


The logo for Epcon Communities. It features the word "EPCON" in large, bold, blue capital letters. A registered trademark symbol (®) is located in the top right corner of the "N". Below "EPCON", the word "COMMUNITIES" is written in a smaller, grey, sans-serif font.

NOTES

1. HINGES & SHUTTER DOGS REQUIRED FOR ALL SHUTTERS.
2. WINDOWS REQUIRED TO HAVE SIMULATED DIVIDED LITES.

TERIAL LEGEND



ISSUE	DESCRIPTION	DATE
01	PERMIT & CONST. SET	9/22/2025

This architectural elevation drawing shows the front elevation of a house. The roof is a gable roof with a 12/12 pitch. The eaves height is 8'-1 1/8". The total roof height is 23'-2". The first floor trim details include 5/4X4 CORNER TRIM TYP, 5/4X4 TRIM TYP, 5/4X8 FRIEZE TRIM, and 5/4X4 TRIM TYP. The first floor height is 9'-1 1/8". The total height of the house is 10'-3 1/8". The first floor plate height is 9'-1 1/8". The total roof plate height is 8'-1 1/8". The first floor grade height is 0". The roof is labeled T.O. ROOF and the first floor plate is labeled T.O. PLATE. The second floor plate is labeled T.O. SECOND FLR. The first floor is labeled T.O. FIRST FLR.

12 12 8

12 8

8'-1 1/8"

23'-2"

T.O. ROOF

T.O. PLATE

8'-1 1/8"

10'-3 1/8"

T.O. PLATE

9'-1 1/8"

5/4X4 CORNER TRIM TYP

5/4X4 TRIM TYP

5/4X8 FRIEZE TRIM

5/4X4 TRIM TYP

5/4X4 TRIM TYP

5/4X AZEK TRIM DOWN TO GRADE - SEE DETAIL

9'-1 1/8"

T.O. FIRST FLR

0"

Courtyards at Haines Creek Residential Model Home: Lot 102 Conditional Use

12-15-25

PROJECT
PLAN: D-4 Promenade (2023)
ELEV: Elevation B
LOT: 100

LOT ADDRESS: 5535 WOOSTER DR
NEW ALBANY OH 43054

DRAWING TITLE

FRONT / BACK ELEVATION

1000

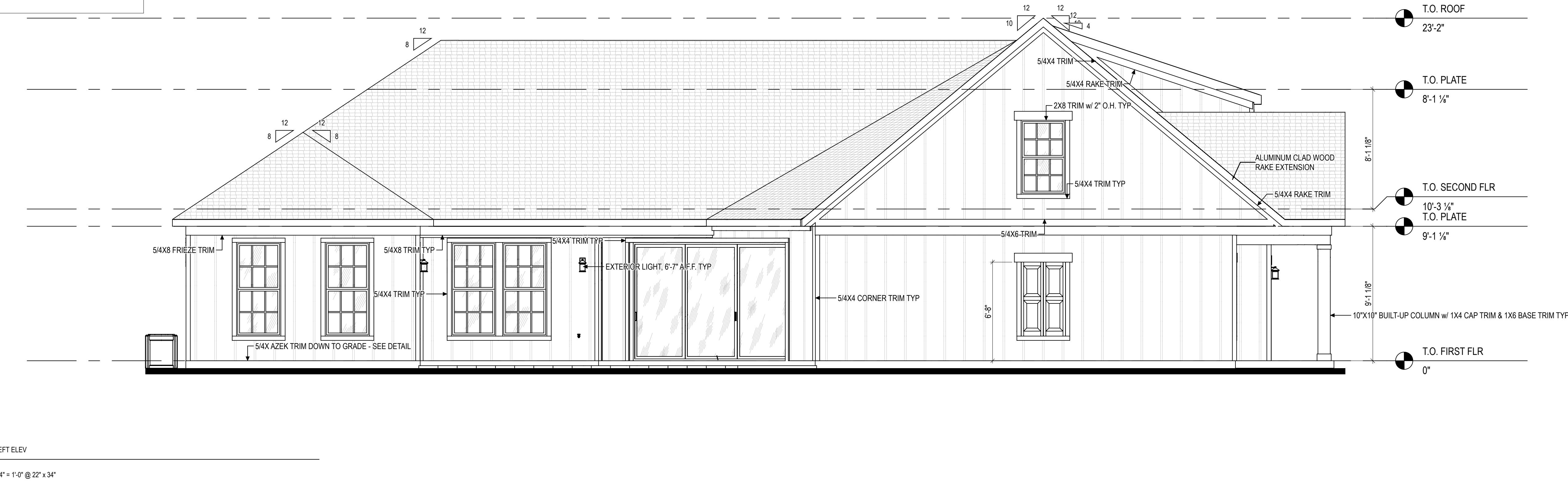
A-200



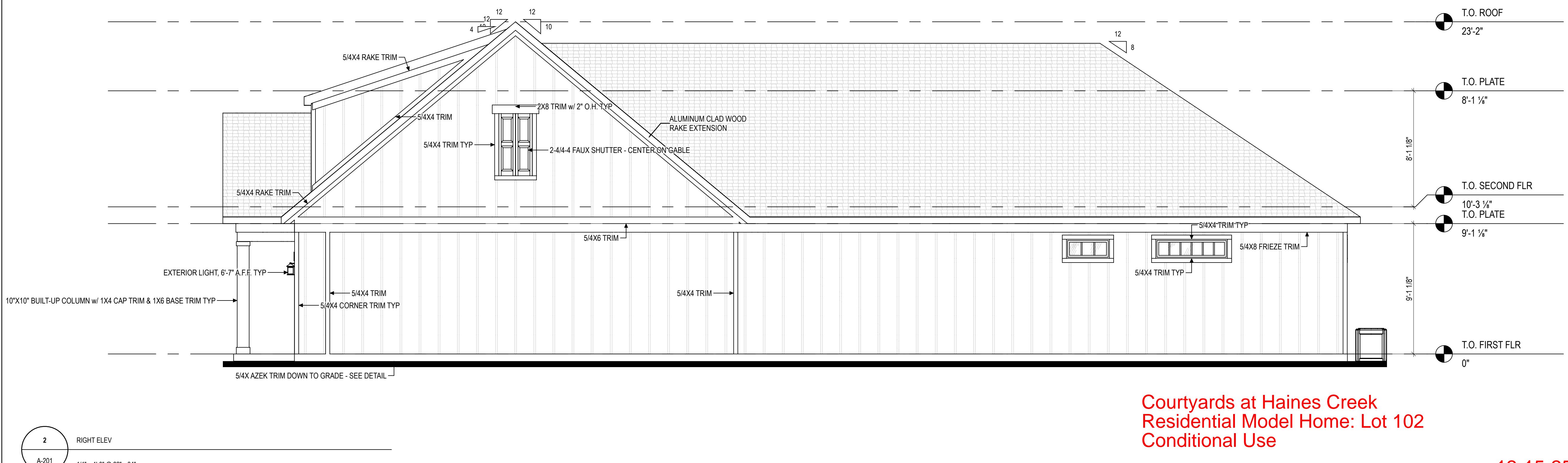
EPCON[®]
COMMUNITIES
Epcon Columbus
500 Stonehenge Pkwy
Dublin, OH, 43017

NOTES
1. HINGES & SHUTTER DOGS REQUIRED FOR ALL SHUTTERS.
2. WINDOWS REQUIRED TO HAVE SIMULATED DIVIDED LITES.

MATERIAL LEGEND
BOARD & BATTEN SIDING



ISSUE	DESCRIPTION	DATE
01	PERMIT & CONST. SET	9/22/2025



Courtyards at Haines Creek
Residential Model Home: Lot 102
Conditional Use

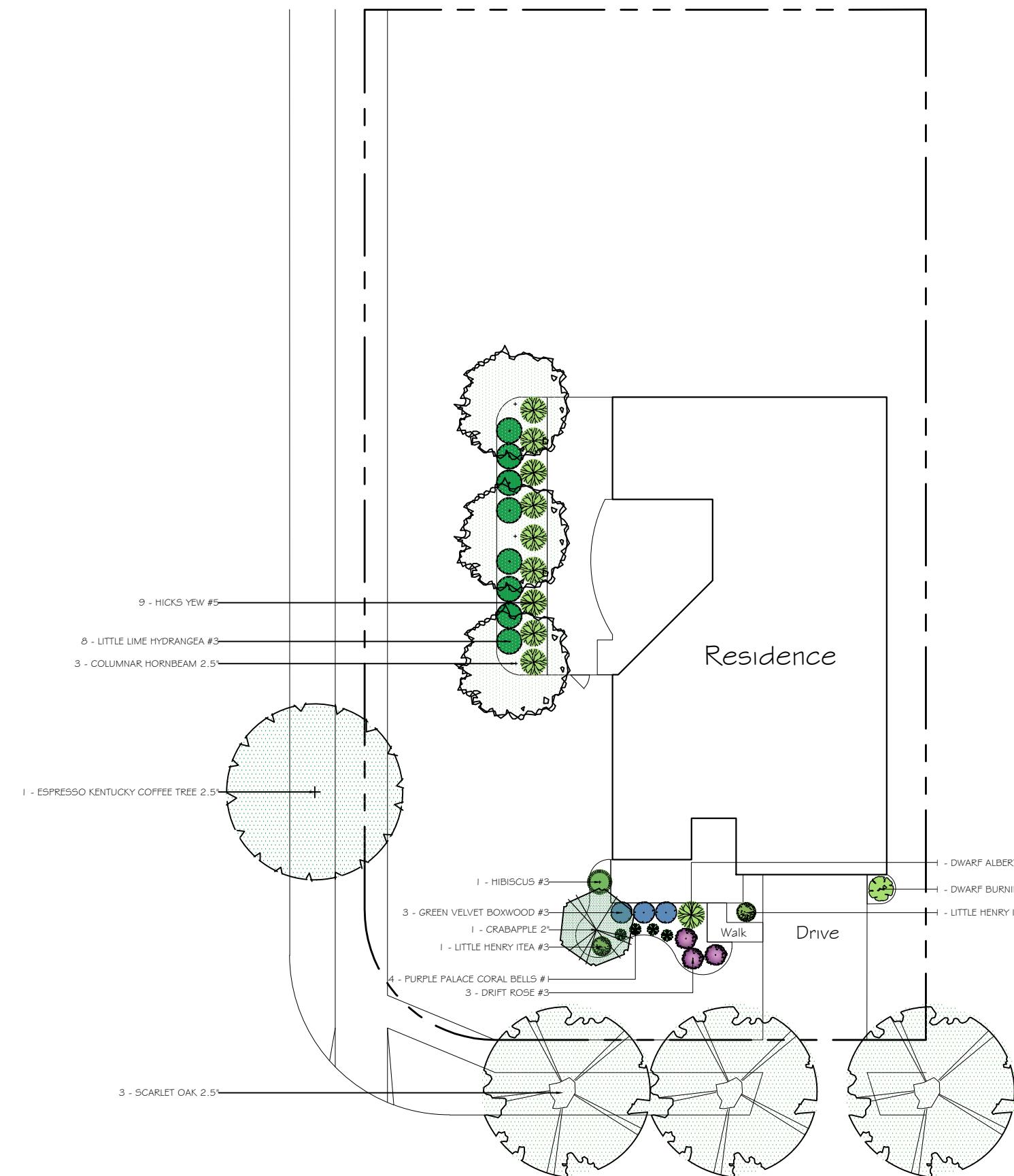
12-15-25

PROJECT
PLAN: D-4 Promenade (2023)
ELEV: Elevation B
LOT: 102

LOT ADDRESS: 5535 WOOSTER DR
NEW ALBANY, OH 43054

DRAWING TITLE
**LEFT / RIGHT
ELEVATION**

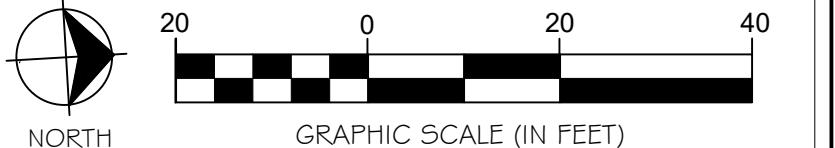
SHEET NUMBER
A-201



Courtyards at Haines Creek
Residential Model Home: Lot 102
Conditional Use

LANDSCAPE PLAN

SCALE: 1" = 20'



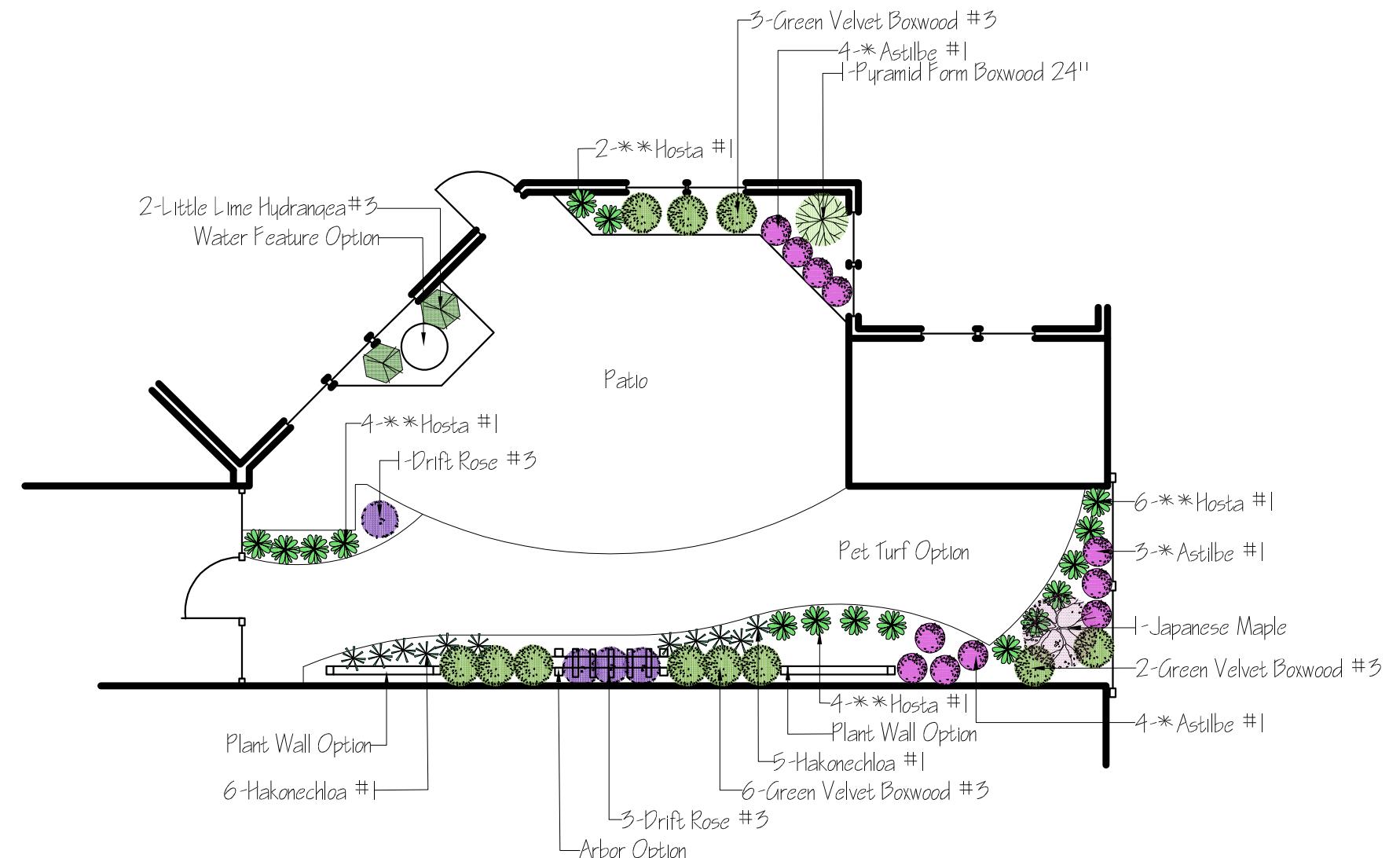
12-15-25

Landscape Plan for Epcon Communities
Haines Creek Lot 102
5535 Wooster Dr. New Albany, OH.

WILSON LANDSCAPE
ASSOCIATES

DESIGN / INSTALLATION / RESIDENTIAL / COMMERCIAL
900 Buckeye Park Road Columbus OH 43207
614.444.8873 tel 614.444.3175 fax
wilsonlandscapeandturf.com

Date:	11/05/2025
Scale:	1"=20'
Drawn By:	AV
Drawing Number:	



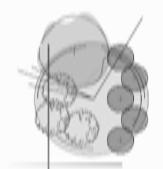
* Astilbe colors may include pink, lavender, or white.
 ** Hosta colors may include variegated white, yellow, and blue.

Promenade

Courtyards at Haines Creek
 Residential Model Home: Lot 102
 Conditional Use

12-15-25

Landscape Plan for Epcor Communities
 Promenade Courtyard



WILSON LANDSCAPE
 ASSOCIATES
 DESIGN / INSTALLATION / RESIDENTIAL / COMMERCIAL
 900 Buckeye Park Road Columbus, OH 43207
 614.444.8873 tel 614.444.3175 fax
 wilsonlandscapeandlawn.com

Date:	rev 9/25/17
Scale:	1"=1'
Drawn By:	AS
Drawing Number:	