



**New Albany Architectural Review Board Meeting Agenda**  
Monday, March 09, 2026, 7:00 p.m.

Members of the public must attend the meeting in-person to participate and provide comment. The in-person meeting is held at New Albany Village Hall, 99 West Main Street. The meeting will be streamed for viewing purposes only via the city website at <https://newalbanyohio.org/answers/streaming-meetings/>

**I. Call to order**

**II. Roll call**

**III. Action on minutes:** February 09, 2026

**IV. Additions or corrections to the agenda**

- Administer the oath to all witnesses and applicants who plan to address the board, “Do you swear to tell the truth and nothing but the truth.”

**V. Hearing of visitors for items not on tonight’s agenda**

**VI. Cases:**

**FDP-88-2025 Healthy New Albany Food Pantry Final Development Plan**

Certificate of Appropriateness to allow a final development plan for a new Healthy New Albany food pantry at 5220 Johnstown Road (PID: 222-004475).

**Applicant: Todd Parker**

**ARB-10-2026 Trevor Furbay Signage Certificate of Appropriateness**

Certificate of Appropriateness to allow a new wall sign for Trevor Furbay at 21 S High Street (PID: 222-004475).

**Applicant: Trevor Furbay c/o Kaylee Katterhenry**

**ARB-11-2026 11-9 S High St Exterior Modifications Certificate of Appropriateness and Waivers**

Certificate of Appropriateness to allow exterior modifications for a private swimming pool, private patio, and detached garage with waivers for the patio setback and pool equipment setback at 11-9 South High Street (PID: 222-000077).

**Applicant: Todd Parker**

**VII. Other business**

**VIII. Poll members for comment**

**IX. Adjourn**



**New Albany Architectural Review Board**  
Monday, February 09, 2026 Meeting Minutes DRAFT

**I. Call to order**

The New Albany Architectural Review Board held a regular meeting on Monday, February 9, 2026 in the New Albany Village Hall. Chair Hinson called the meeting to order at 7:02 p.m. and asked to hear the roll.

Those answering the roll:

Mr. Hinson	present
Mr. Iten	present
Mr. Brown	present
Ms. Moore	present
Mr. Strahler	absent
Mr. Davie	present
Mr. Maletz	absent
Council Member Brisk	present

Having five voting members present, the board had a quorum to transact business.

Staff members present: Planning Manager Christian, Planner II Saumenig, Deputy Clerk Madriguera.

**II. Action on minutes: January 12, 2026**

Chair Hinson asked if there were any corrections to the minutes.

Hearing none, Board Member Iten moved for approval of the January 12, 2026 minutes. Board Member Moore seconded the motion.

Upon roll call: Mr. Iten yes, Ms. Moore yes, Mr. Davie yes, Mr. Hinson yes, Mr. Brown yes. Having five yes votes, the motion passed and the January 12, 2026 minutes were approved as submitted.

**IV. Additions or corrections to the agenda**

Chair Hinson asked whether there were any additions or corrections to the agenda.

Planner II Saumenig answered none from staff.

Chair Hinson administered the oath to all present who planned to address the board.

**V. Hearing of visitors for items not on tonight's agenda**

Chair Hinson asked if there were any visitors present who wished to address the board for an item not on the agenda.

Hearing none, Chair Hinson introduced the first and only case on the agenda and asked to hear the staff report.

**VI. Cases:**

## **ZC-80-2025 Fire Station COA**

Certificate of Appropriateness to allow for a proposed fire station on 6.350+/- acres of land generally located at the northwest intersection of State Route 605 and New Albany Road East (Parcel ID: portion of 222-005258).

**Applicant: Schorr Architects c/o Nathan Gammella**  
**Presented by Sierra Saumenig**

Planner II Saumenig delivered the staff report.

Board Member Iten asked staff to display the prior elevations that included the structure with the bus garage. He wanted to confirm the differences.

Chair Hinson remarked that it was a lovely improvement and was grateful that the applicant implemented the board's comments such as putting in a water table and putting in evenly spaced windows. He asked to hear from the applicant.

Applicant and Architect for the project Nathan Gamella of Schorr Architects, 230 Bradenton Avenue, thanked Planner II Saumenig. He noted the revisions that were made in response to the board's prior remarks, and the city architect's comments.

Board Member Iten remarked that the north elevation did not have any windows and as such was not appealing. He stated that, for this reason the architecture was not four-sided and was completely undecorated. He asked what could be done to remedy this condition.

Board Member Davie noted that the north elevation does not front the road and as such is not visible.

Mr. Gamella explained that the north side of the structure contained the home space/bunked area. The design team worked hard to satisfy the four-sided architecture requirement and to meet budget requirements. They wanted to make the space feel like a home, and to provide plenty of storage. Firefighters will need to be able to sleep and respond to emergencies as well as possible.

Board Member Iten remarked that if the building were brick he would request a faux window, and asked again what could be done.

Board Member Moore said that the different projections on the building created interest. The side of the building is less important than the front.

Mr. Gamella responded that the side was not a good place to put a fake window. It was not represented anywhere else.

Board Member Davie asked whether there was a second level in the center portion. He commented that the four different roof levels felt like too many, particularly if it was only a foot or two.

Mr. Gamella responded yes, there was a mezzanine with an equipment portion and a training space. He explained the reasoning for using different roof levels, to accommodate the apparatus bay.

Board Member Brown remarked that he thinks it is a great design, he further pointed out the areas where he disagreed with the city architect.

Chair Hinson asked whether there was additional landscaping to the north.

Mr. Gamella answered that there was, and explained the existing and planned landscaping and screening of the north. There was no way the neighbors to the north could see the north elevation.

Board Member Iten referenced the line drawings of the elevations and the blank space and lack of symmetry. He also asked Board Member Davie whether he was concerned about the lack of windows on the north. He remarked that he would defer to Board Member Davie on the lack of fenestration on the north elevation.

Board Member Davie responded that he was not too concerned because it is sleeping room, and because it was not visible. He then pointed out the difference between the door height and window height on the west elevation. He recommended that the heights should match.

Mr. Gamella agreed to the condition and remarked that the door would go up or the window would go down.

Board Member Iten remarked he would like that.

There was further discussion of the height of the door.

Chair Hinson asked for further questions from the board.

Hearing none, Chair Hinson opened the public hearing.

Hearing no comments from the public Chair Hinson moved for approval of the certificate of appropriateness based on the findings in the staff report with the conditions in the staff report and the following additional condition:

10. The door height on the west elevation matches the height of the windows.

Vice Chair Iten seconded the motion.

Upon roll call: Mr. Hinson yes, Mr. Iten yes, Mr. Brown yes, Ms. Moore yes, Mr. Davie yes. Having all votes in favor, the motion passed, and the certificate of appropriateness was granted.

The board thanked staff and the applicant and wished them good luck.

## **VII. Other business**

### **1. Organizational Meeting**

Vice Chair Iten nominated Alan Hinson to be the Chair of the New Albany Architectural Review Board for 2026. Secretary Brown seconded the motion. Upon roll call: Mr. Iten yes, Mr. Brown yes, Ms. Moore yes, Mr. Hinson yes, Mr. Davie yes. Having five yes votes, the motion passed and **Mr. Hinson was elected Chair of the New Albany Architectural Review Board.**

Chair Hinson nominated Jon Iten to be Vice Chair of the New Albany Architectural Review Board for 2026. Mr. Davie seconded the motion. Upon roll call: Mr. Iten yes, Mr. Brown yes, Ms. Moore yes, Mr. Hinson yes, Mr. Davie yes. Having five yes votes, the motion passed and **Mr. Iten was elected Vice Chair of the New Albany Architectural Review Board.**

Vice Chair Iten nominated Jim Brown to be the Secretary of the New Albany Architectural Review Board for 2026. Ms. Moore seconded the motion. Upon roll call: Mr. Iten yes, Mr. Brown yes, Ms. Moore yes, Mr. Hinson yes, Mr. Davie yes. Having five yes votes, the motion passed and **Mr. Brown was elected Secretary of the New Albany Architectural Review Board.**

Chair Hinson moved to establish 7:00 p.m. on the second Monday of the month in the New Albany Village Hall as the time, date, and location of the meetings. Mr. Brown seconded the motion. Upon roll call: Mr. Hinson yes, Mr. Brown yes, Ms. Moore yes, Mr. Iten yes, Mr. Davie yes. Having five votes, the motion passed and 7:00 p.m. on the second Monday of the month in the New Albany Village Hall was established as the time, date, and location of the meetings.

**VIII. Poll members for comment**

Chair Hinson polled the members for comment.

Vice Chair Iten noted that, as always, it was a pleasure to serve with this board. He further remarked that this was a very good version of this board.

Secretary Brown agreed and added that this was very good civic duty. All agreed and wished each other a good evening.

**IX. Adjourn**

Having no further business and having completed their agenda, Vice Chair Iten moved to adjourn the meeting. Board Member Moore seconded the motion. Upon roll call: Mr. Iten yes, Ms. More, Mr. Hinson yes, Mr. Brown yes, Mr. Hinson yes. Thereupon the motion passed and the meeting was adjourned at 7:29 p.m.

Submitted by: Deputy Clerk Madriguera, Esq.

**Appendix**

**ZC-80-2025 COA**

**Staff Report**

**Record of Action**



Architectural Review Board Staff Report  
February 9, 2026 Meeting

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PLAIN TOWNSHIP FIRE STATION  
CERTIFICATE OF APPROPRIATENESS

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LOCATION: Generally located at the northwest intersection of State Route 605 and New Albany Road East (Parcel ID: portion of 222-005258)  
REQUEST: Certificate of Appropriateness  
ZONING: North City Business Limited General Employment (L-GE) to Community Facilities (CF)  
STRATEGIC PLAN: Employment Center  
APPLICATION: ZC-80-2025  
APPLICANT: Schorr Architects c/o Nathan Gammella

Review based on: Application materials received on December 1, 2025

*Staff report completed by Sierra Saumenig, Planner II*

**I. REQUEST AND BACKGROUND**

The applicant requests a Certificate of Appropriateness for a new fire station which will serve as a substation for the Plain Township Fire Department. Although the existing parcel comprises approximately 12.72 acres, the applicant intends to split the property and develop only the 6.350-acre portion.

The application was heard at the Rocky Fork-Blacklick Accord meeting on December 18, 2025, and the board recommended approval.

The proposed rezoning was heard at the Planning Commission meeting on January 21, 2026, and the board recommended approval with conditions. Condition #9 listed in the *Action* section of this report was added at the Planning Commission meeting.

Per Section 8 of the New Albany Design Guidelines and Requirements, civic and institutional facilities must submit a development plan for review by the Architectural Review Board.

**II. SITE DESCRIPTION & USE**

The overall site is 12.72+/- acres and the applicant intends to split the lot. The proposed fire station would be developed on 6.350 acres. The site is generally located at the northwest intersection of State Route 605/New Albany-Condit Road and New Albany Road East. The site is currently vacant but includes a gas easement that runs through the site. Surrounding uses include the Nottingham subdivision to the north and office/commercial uses to the east, west, and south.

**III. EVALUATION**

**Architectural Review Board Review Criteria:** Section 8(III)(1) of the Design Guidelines and Requirements (DGRs) requires civic and institutional projects to have a development plan submit for review by the Architectural Review Board. The Board should evaluate its site design, building locations, building form and massing information, and palette of design elements, including exterior materials, window and door design, colors, and ornamentation.

**A. Certificate of Appropriateness**

The ARB’s review is pursuant to C.O. Section 1157.06. No environmental change shall be made to any property within the City of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.07 Design Appropriateness**, the modifications to the building and site should be evaluated on these criteria:

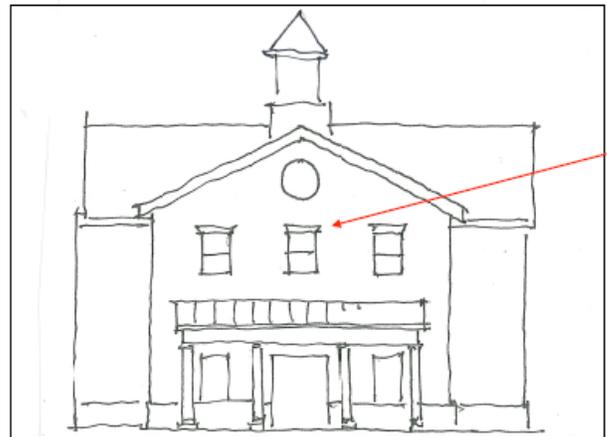
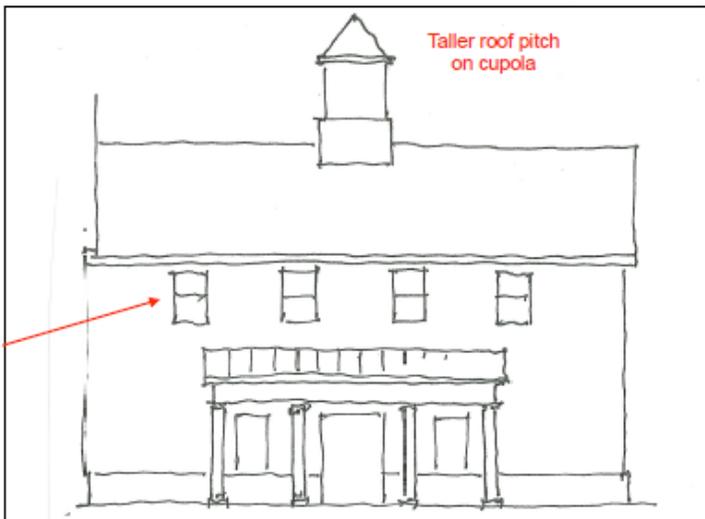
1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
  - The applicant proposes to construct a new 9,125 sq. ft. fire station that will service Plain Township and New Albany.
  - The Rocky Fork-Blacklick Accord plan identifies the Walnut Street and State Route 605 area as a likely location for a future fire station, which aligns with the site proposal.
  - Although the existing parcel comprises approximately 12.72 acres, the applicant intends to split the property and develop only the 6.350-acre portion. Staff recommends a condition of approval that the lot split occur prior to the rezoning going into effect (condition #1).
  - The zoning text requires the following setbacks:

<b>Standard</b>	<b>Permitted</b>	<b>Proposed</b>
Front Yards:	The front yard setback shall not be less than the largest required front yard setback for any adjacent zoning district.	New Albany-Condit Road: 250 feet which is not less than any adjacent zoning district.
Side and Rear Yard	50’	Side Yard: 50’ (south side) Side Yard: 71’ (north side) Rear Yard: 280’
Driveway	10’	50’
Parking Area	50’	71’

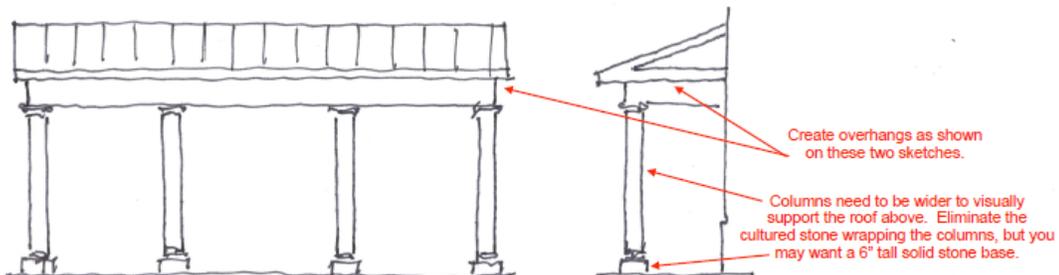
- The existing zoning text requires a minimum pavement and building setback of 125’ which the proposed development is exceeding.
- Requirements set forth in Section 8 of the Design Guidelines and Requirements apply to this site and the applicant has agreed to meet the requirements of the existing zoning text.
- Section 8(III.2) of the Design Guidelines & Requirements states the selection of architectural style shall be appropriate to the context, location, and function of the building. Public recreational structures may be appropriately designed using vernacular forms as inspiration, such as a historic barn.
  - The applicant proposes a barn style building including steel wall panels and a stone water table.
  - The existing zoning text states buildings shall be no more than 65 feet and the proposed fire station is 39 feet in height, thus meeting this requirement.
- Section 8(III.3) of the Design Guidelines & Requirements (DGRs) states in keeping with traditional practice, the entrances to civic and institutional buildings shall be oriented toward primary streets and roads and shall be of a distinctive character that makes them easy to locate. Entrances shall be scaled and detailed to match the scale and detail of interior public spaces.
  - The main entrance of the fire station is oriented towards New Albany-Condit Road.
- Section 8(III.4) of the Design Guidelines & Requirements (DGRS) states civic and institutional designs shall follow the precedents of traditional American architectural designs, with particular care paid to the proportions of wall height to width; roof

shape; and proportions of windows and doors, including vertically proportioned windowpanes. The details and design characteristics of the traditional style selected for a new building shall be carefully studied and faithfully rendered in the new building's design.

- The proposed building features a varied roof design, vertically proportioned windowpanes, and well-balanced doors integrated into the building facades.
- The zoning text requires complete screening of elements such as meter boxes, utility conduits, etc. The plan shows ground equipment screened behind the proposed fire station.
- The zoning text requires complete screening of all roof-mounted equipment on all four sides of the building using materials that that are consistent and harmonious with the building's façade and character. It does not appear there is rooftop equipment proposed on the building.
- The city architect has reviewed the proposed development and has the following comments below. Staff recommends a condition of approval that the city architect comments are addressed subject to staff approval (condition #2).
  - The two-story gable at the main entry appears inconsistent with the overall front façade. The City Architect recommends removing the gable and redistributing the windows to achieve a more balanced and cohesive design. If the gable is retained, a centered second-story window will be required, as illustrated below.
  - Provide a taller roof pitch on cupola.



- Create overhangs as shown on the sketch below
- Columns should be wider to visually support the roof above. Eliminate cultured stone wrapping the columns and use a 6' tall solid stone base.
- Align neck of columns.



2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*

### **Landscape**

- Maximum lot coverage under the existing zoning text is 75 percent. The proposed development proposes only 18.8 percent building and pavement coverage, which is well below and substantially exceeds the requirement for compliance.
- Parking Lot Landscaping requirement:
  - The Codified Ordinance 1171.06(a)(3) requires one tree per 10 parking spaces. The applicant proposes 20 parking spaces thereby requiring two trees. The plan meets this requirement by providing two trees.
- Parking lots shall be screened from rights-of-way with a minimum 36-inch-high evergreen landscape hedge or wall. The landscape plan meets this requirement with the proposed 36-inch-high evergreen landscape hedge.
- General Site Landscaping Requirement:
  - Codified Ordinance 1171(5)(e) requires parking lots over 50,000 square feet to have a minimum of one tree per 5,000 square feet of ground coverage and a total tree planting equal to 25 inch tree trunk size for every 4,000 square feet of ground coverage. The applicant states that the internal ground coverage is 52,035 sq. ft. requiring 11 trees at 25.5" total caliber (CAL). This requirement is met.
- Street Tree Landscaping Requirement:
  - The existing zoning text requires 4 trees per lineal feet along New Albany-Condit Road. The applicant is providing a total of 5 trees at the southeast corner of the site. Due to site safety, these are proposed to be planted in a naturalized way. No trees are proposed within the gas easement.
- The New Albany Business Park Research and Information Campus Landscape Design Guidelines and the existing zoning text require plantings and mounding along New Albany-Condit Road however, the applicant is requesting no mounding due to safety and sight reasons. Additionally, the applicant is requesting that the required plantings be relocated to the north side of the property.
  - Both the landscape guidelines and the zoning text provide flexibility regarding mounding and landscaping. Given that this site will function as a fire station, eliminating mounding is appropriate to ensure clear visibility for drivers and to allow emergency vehicles to safely and efficiently exit the site. However, the proposed planting plan is not showing the relocation of the plantings. Staff recommends a condition of approval that the applicant show the relocated plantings in the northwest corner subject to staff approval (condition #3)
- Codified Ordinance 1171.08 states that basins should have a natural shape and are no steeper than 6:1. The applicant is proposing a naturalized basin and is meeting the slope requirement.
- The zoning text requires a stream corridor protection zone to be provided along the northern property line, and the applicant is showing this on the site plans indicating no development within the zone.
- The City Landscape Architect reviewed the proposed development and had no further comments on the revised plans.

### **Lighting**

- The applicant has submitted a photometric plan and the site has zero or near zero foot candles at the property lines.
- The applicant submitted lighting specification sheets; however, the proposed height of the parking lot light poles is not clearly identified. The fixtures are proposed to be downcast, which complies with code requirements. Staff recommends a condition of approval requiring that all light poles not exceed 30

feet in height and be constructed of metal with a black or New Albany Green finish (Condition #4).

**Vehicular and Pedestrian circulation:**

- The site is accessed from one proposed curb cut along New Albany-Condit Road.
- A leisure path along New Albany-Condit Road is required and the applicant is showing that on the site plan. Due to an existing ditch on the north side of the property, the leisure path is proposed to go around the ditch and that is shown on the plans.
- The applicant is proposing a pedestrian connection from the leisure trail into the site.
- A four-rail horse fence is required to be installed, and it is shown on the renderings but not on the site plan. Staff recommends a condition of approval that the proposed horse fence is shown on the site plan (condition #5).
- The city's codified ordinance does not indicate required parking for fire stations and thus, the Planning Commission has discretion as to how many parking spaces are sufficient for this use. The applicant has provided justification in the narrative statement included in the application packet. The Planning Commission approved the number of spaces at their January 21, 2026 hearing.
- The existing zoning text states that there shall be dedicated right-of-way for New Albany-Condit Road to the city for a distance of 50 feet measured from the centerline. Easements shall be required to be granted prior to the issuance of a building permit in this zoning district adjacent to public street rights-of-way at a distance necessary to accommodate city street capital improvement projects when insufficient right-of-way exists to accommodate these improvements. The applicant is showing the 50' right-of-way however, staff recommends a condition of approval that the applicant show the required easement, once the necessary dimension is determined during the engineering permit process (condition #6).
- The site required a traffic access study and the applicant completed this. Staff recommends a condition of approval that the requirements of the traffic access study are met (condition #7).

**Signage**

- No signage is proposed at this time. Per the text all signage shall meet the standards set forth in Codified Ordinance 1169 (City Sign Code). Staff recommends a condition of approval that signage be evaluated and subject to staff approval (condition #8).
3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
    - The site is vacant and the area that is environmentally sensitive will not be developed on.
  4. *All buildings, structures and sites shall be recognized as products of their own time.*
    - The applicant has designed the new building in a way that is appropriate to the area and meets the architectural requirements in the DGR's.
  5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
    - The shape, proportion, and breakdown of architectural elements are appropriate for the proposed architectural style. The applicant has achieved a thoughtful design that breaks up blank walls and is visually appealing.
  6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
    - Not Applicable

7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
  - Not Applicable

#### **IV. ENGINEER'S COMMENTS**

The City Engineer has reviewed the referenced plan in accordance with the engineering related requirements of Code Section 1159.07(b)(3) and had no further comments aside from the Traffic Access Study comments in Section C of this report.

#### **V. SUMMARY**

The proposed Plain Township Fire Station is a critical piece of public safety infrastructure. Fire stations provide essential emergency services, facilitate rapid response times, and support the health, safety, and welfare of both existing and future development. Because this facility will serve both Plain Township and the City, the proposed location is well suited to provide efficient access for both jurisdictions. Furthermore, the Accord plan identifies the Walnut Street and State Route 605 area as a likely location for a future fire station, which aligns with the site proposal.

The site has been thoughtfully designed, with a layout that accommodates operational needs while preserving a substantial amount of green space. The proposed development meets or exceeds nearly all applicable setbacks and other requirements, demonstrating a high level of compliance with zoning standards. The primary building entrance is oriented toward the main roadway, reinforcing its civic presence, and incorporates architectural elements that enhance visibility and contribute positively to the streetscape. Overall, the proposed development and site design are consistent with applicable requirements and supports the delivery of essential public services.

#### **IV. ACTION**

Should the Architectural Review Board find sufficient basis for approval, the following motion would be appropriate.

#### **Suggested Motion for ZC-80-2025:**

Move to approve Certificate of Appropriateness application ZC-80-2026 with the following conditions:

1. That the lot split occur prior to the effective date of the rezoning.
2. That the applicant meets the revisions from the City Architect.
3. The applicant show the relocated plantings in the northwest corner subject to staff approval.
4. All light poles to not exceed 30 feet in height and be constructed of metal with a black or New Albany Green finish
5. The proposed horse fence is shown on the site plan.
6. The applicant shows the required easement along New Albany-Condit Road, once the necessary dimension is determined during the engineering permit process
7. The requirements of the traffic access study are met.
8. Signage to be evaluated at a later date and subject to staff approval.
9. That the applicant meets the Engineering Requirements in Code Section 1159.07(b)(3).

**Approximate Site Location:**



Source: NearMap



## Community Development Department

RE: City of New Albany Board and Commission Record of Action

Dear Nathan Gammella, Schorr Architects,

Attached is the Record of Action for your recent application that was heard by one of the City of New Albany Boards and Commissions. Please retain this document for your records.

This Record of Action does not constitute a permit or license to construct, demolish, occupy or make alterations to any land area or building. A building and/or zoning permit is required before any work can be performed. For more information on the permitting process, please contact the Community Development Department.

Additionally, if the Record of Action lists conditions of approval these conditions must be met prior to issuance of any zoning or building permits.

Please contact our office at (614) 939-2254 with any questions.

Thank you.



## Community Development Department

### Decision and Record of Action

Friday, February 13, 2026

The New Albany Architectural Review Board took the following action on 03/09/2026 .

#### Zoning Amendment

**Location:** 7270 NEW ALBANY CONDIT RD

**Applicant:** Nathan Gammella, Schorr Architects,

**Application:** PLZC20250080

**Request:** To approve

**Motion:** Request for a zoning change from Limited General Employment (L-GE) to Community Facilities (CF) to allow for a proposed fire station on 6.350+/- acres of land generally located at the northwest intersection of State Route 605 and New Albany Road East

**Commission Vote:** Motion Approval with Conditions, 5-0

**Result:** Zoning Amendment, PLZC20250080 was Approval with Conditions, by a vote of 5-0.

Recorded in the Official Journal this February 13, 2026

#### Condition(s) of Approval:

1. That the lot split occur prior to the effective date of the rezoning.
2. The proposed horse fence is shown on the site plan.
3. The applicant shows the required easement along New Albany-Condit Road.
4. The requirements of the traffic access study are met.
5. That the applicant meets the revisions from the City Architect.
6. The applicant show the relocated plantings in the northwest corner subject to staff approval.
7. Signage to be evaluated at a later date and subject to staff approval.
8. All light poles to not exceed 30 feet in height and be constructed of metal with a black or New Albany Green finish.
9. That the applicant meets the Engineering Requirements in Code Section 1159.07(b)(3).
10. The door height on the west elevation matches the height of the windows.

Staff Certification:

*Sierra L Saumenig*

Sierra Saumenig  
Planner



Architectural Review Board Staff Report  
March 9, 2026 Meeting

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HEALTHY NEW ALBANY FOOD PANTRY  
FINAL DEVELOPMENT PLAN  
CERTIFICATE OF APPROPRIATENESS

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LOCATION: 5220 Johnstown Road (PID: 222-004475)  
APPLICANT: Todd Parker  
REQUEST: Certificate of Appropriateness & Final Development Plan  
ZONING: New Albany Presbyterian Church Infill-Planned Unit Development (I-PUD)  
STRATEGIC PLAN: Residential  
APPLICATION: FDP-88-2025

Review based on application materials received February 20, 2026.

*Staff report prepared by Lauren Sauter, Planner*

**I. REQUEST AND BACKGROUND**

The applicant requests a Certificate of Appropriateness for a Healthy New Albany food pantry. The development proposal includes the 8,460-square-foot building and associated parking, signage, and landscaping. The food pantry is proposed as an accessory use to the existing Rose Run Presbyterian Church.

**Update:** The Architectural Review Board tabled this application at its hearing on January 12, 2026. The City Attorney has provided an additional statement clarifying questions that were raised at the hearing. Additionally, the applicant has provided updated landscaping, the City Landscape Architect has provided updated comments, and the conditions of approval have been updated. Additions and modifications to the original staff report have been underlined.

Per Section 8 of the New Albany Design Guidelines and Requirements, civic and institutional facilities must submit a development plan for review by the Architectural Review Board. According to Section 1157.09 of the Codified Ordinances, the purview of the Architectural Review Board includes the visual and functional components of the proposed building and its site, including the site design, building location, form and massing, and design elements, such as exterior materials, window and door design, colors, and ornamentation.

Per C.O. 1159.09(h), applicants may submit the preliminary and final development plans as a single application, which the applicant has done for this case. In addition to the recommendation of the Architectural Review Board, the appropriateness of the use is considered as part of the purview of the Planning Commission and will be evaluated at its scheduled meeting on February 18, 2026.

Because the development site is located within an Infill Planned Unit Development (I-PUD), the applicable standards are those outlined in the New Albany Presbyterian Church I-PUD zoning text, the New Albany Design Guidelines and Requirements, and other relevant city code provisions.

## II. SITE DESCRIPTION & USE

The subject property currently comprises approximately 10.99 acres of land at the intersection of Johnstown Road and Harlem Road. The property includes the Rose Run Presbyterian Church, of which the food pantry is proposed to be an accessory use. The lot is proposed to be split in a manner such that the church is on the northern portion and the food pantry is on the southern portion of the existing area; the Rose Run Presbyterian Church will retain ownership of both parcels of land. The new parcel will be approximately 2.83 acres and have frontage on Harlem Road.

The full site is abutted by low-density residential uses to its east and southwest, medium-density residential uses to its south, and Comprehensive Planned Unit Development (C-PUD) residential uses in the Lansdowne (New Albany Country Club Section 20) and Waterston (New Albany Country Club Section 17) subdivisions to the north. The Oakland Nursery is located to the northwest across Johnstown Road.

## III. STATEMENT FROM THE CITY ATTORNEY

It is understood that an application to construct a food pantry on the parcel currently owned by the New Albany Presbyterian Church (the “Church”) adjacent to the intersection of Johnstown Road and Harlem Road has been submitted for review. In constructing a food pantry, it is recognized the Church will be splitting its lot, but retaining ownership of both parcels. The Church, then, intends on leasing one parcel for the construction and operation of the food pantry. Operation of a food pantry is a permissible “accessory use” of the Church’s property. Similarly, a building containing a food pantry is a permissible “accessory building” as defined by the I-PUD Development Standards Text established for the Church’s I-PUD Zoning District and the New Albany Code of Ordinances Sections 1105.02(a)-(b). Furthermore, permitting the operation of a food pantry as an accessory use of the Church ensures compliance with the Federal Religious Land Use and Institutionalized Persons Act of 2000 (RLUIPA) which prohibits local governments from imposing a “substantial burden” on and discriminating against religious activity and institutions through land use regulations and zoning.

### **Update from the City Attorney:**

Based upon discussions during the January 12, 2026 ARB Meeting, I wanted to follow-up regarding a few matters related to the current matter pending before the ARB. Although the ARB has the authority to table a matter prior to making a recommendation, the ARB is reminded of its responsibility to make a recommendation to the Planning Commission.

As noted, the ARB’s responsibility is to evaluate the site design, building locations, building form and massing information and palette of design elements, including exterior materials, window and door design, colors and ornamentation. The ARB should review the submitted plan for compliance with the Design Guidelines and Requirements of the Codified Ordinances. Similarly, the ARB should consider the visual and functional components of the building and its site, including but not limited to: landscape design and plant materials, lighting, vehicular and pedestrian circulation on-site and signage. The ARB should not consider matters beyond the submitted materials for the pending matter.

Again, it is important to note that the ARB’s review when making its recommendation should be limited to the development plan pending, not any extraneous, or prior, matters. The ARB does not have any role in the enforcement of alleged zoning code violations/infractions. To the extent that it is believed that there has been a zoning violation, the appropriate process would be to file a complaint with the City, not address it through the ARB (or any City board/commission). Further, the ARB does not have the authority to place any limitations, or requirements, on matters not pending before it. Thus, to the extent the ARB is concerned about lighting from the Church’s parking lot, it cannot make any recommendations regarding the Church’s lot as that is not currently pending before the ARB.

## IV. EVALUATION

### Architectural Review Board Review Criteria

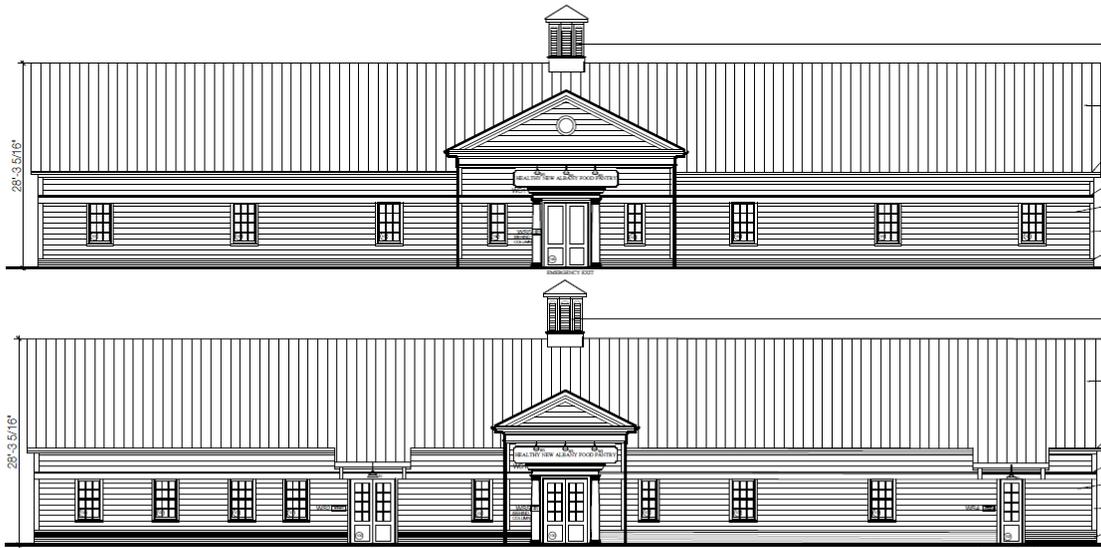
Section 8(III)(1) of the Design Guidelines and Requirements (DGRs) requires civic and institutional projects to have a development plan submit for review by the Architectural Review Board. The Board should evaluate its site design, building locations, building form and massing information, and palette of design elements, including exterior materials, window and door design, colors, and ornamentation.

### A. Certificate of Appropriateness Review Criteria

Per C.O. Section 1157.09, modifications to the building and site should be evaluated by the Architectural Review Board and City staff according to the following criteria:

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*

- The applicant is proposing to construct an 8,460-square-foot food pantry as an accessory use associated with the Rose Run Presbyterian Church. The building will front Harlem Road and may be accessed via a parking lot to the rear or from the leisure trail along the road. The development uses design elements of the Georgian architectural style. DGR Section 1: Design Principles and American Architectural Precedent and Section 8: Civic and Institutional Buildings apply to the proposed development.
- The City Architect had no concerns or comments for the proposed development.
- DGR Section 8(III)(2) recommends that, in general, high-style and ornate designs with grander scale are appropriate for major structures such as government buildings, schools, and churches, while more modest, smaller-scaled styles are appropriate for other types of public structures. As an accessory use, the food pantry offers an appropriately smaller scale in height and square footage compared to the existing church while still utilizing distinguishing qualities of Georgian architecture.
- DGR Section 8(III)(3) requires entrances to civic and institutional buildings to be oriented toward primary streets and roads and should be of a distinctive character that makes them easy to locate. The front building elevation features a set of double doors distinguished by columns and a pediment that all face Harlem Road. The main entrance on the rear of the building features signage, columns, and a pediment as well.



*Images: Front building elevation (top) and rear building elevation (bottom).*

- The design of the building conforms with American architectural styles as required by DGR Section 8(III)(4) and as described in DGR Section 1, including in wall height and width, roof shape, and proportions of windows to doors.
    - The proposal includes four-sided architecture and avoids windowless, blank walls. Vertically oriented, double-hung windows are included on every elevation, and they are used on the side elevations to create the appearance of a second story.
    - The building includes formal symmetry, entrances with a pediment and entablature, pilasters, and a gable roofline and dormers, all of which are character-defining features of American Georgian architecture.
  - The zoning text requires buildings to be no more than 45 feet in height when measured to the ridge of the roofline. The food pantry is proposed to be approximately 28 feet and 3.31 inches in height when measured as such.
  - The zoning text allows primary exterior materials such as brick, stone, wood, fiber cement board, metal board and batten, and hardi-plank, and prohibits the use of vinyl siding. The proposed food pantry uses horizontally oriented board siding that matches part of the existing Rose Run Presbyterian Church, which is permitted. Additionally, the zoning text recommends the quantity of exterior building materials be minimized, which the proposed development is following by using one main exterior siding material.
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*

### **Landscape**

- A 150-foot-wide private utility easement is located through the site, within which any above-grade improvements, including landscaping, are not permitted by the utility company. The zoning text acknowledges the presence of the electrical easement and exempts the development from landscape buffering requirements along this boundary between the development and residential development.
- The following landscaping requirements for the proposed development are contained in C.O. 1171.05:
  - All areas used for service and loading must be screened on portions of the lot abutting districts where residences are a permitted use with minimum seven-foot-tall screening; natural vegetation screening shall have a minimum opaqueness of 75 percent during full foliage and shall be planted no closer than three feet to any property line. Green giant arborvitae and red maples are proposed to screen the loading space from Johnstown Road. The utility easement prevents landscape screening from residential uses generally west and south of the site.
  - Trash and garbage containers shall be screened or enclosed by walls, fences, or natural vegetation at least six feet in height, and natural vegetation shall have a maximum opaqueness of 75 percent at full foliage. Container systems shall not be located in front yards and shall conform to the side and rear yard pavement setbacks. The dumpsters are located in the loading area and are fully enclosed by a trash enclosure wall and gate. Further, the loading area is screened from Harlem Road by landscaping.
  - The total proposed ground coverage of structures and vehicular use areas is 29,802 square feet. For developments with this amount of ground coverage, there must be a minimum of one tree for each 5,000 square feet of ground coverage and a total tree planting equal to 10 inches plus one-half inch tree trunk size for every 2,000 square feet over 20,000 feet in ground coverage. This necessitates five trees with tree trunk sizes of 12 inches. The application shows 25 deciduous trees with a minimum caliper of 2.5 inches are proposed to be installed; five of these deciduous trees will have a total tree trunk size of at least 12.5 inches, meeting the requirement.

- The following landscaping requirements for the proposed parking lot are contained in C.O. 1171.06:
  - A minimum of five feet of landscaped area needs to be provided for each 100 square feet of parking area (or fraction thereof). The applicant has verified this requirement will be met.
  - Parking areas must contain a minimum of one deciduous canopy tree for every 10 parking spaces. The proposed parking lot has 36 parking spaces, which necessitates four deciduous canopy trees. The applicant has provided an updated site plan with four deciduous canopy trees in the parking lot peninsulas, which meets the requirement.
  - Trees used in parking lot islands must have a clear trunk at five feet above the ground, and the remaining areas must be landscaped with shrubs or ground cover not to exceed two feet. The applicant has verified this requirement will be met.
  - Parking lots must be screened from primary streets, residential areas, and open space by a 3.5-foot minimum height evergreen hedge, masonry wall, or combination of walls and plantings. Zoning text section VII(6) additionally requires this headlight screening provision be met for parking areas. The parking lot is located behind the proposed building and is thus already largely screened from the primary street. Residential areas exist generally west and south of the parking lot; because a portion of the parking lot is located in the private utility easement, landscaping or wall screening is only viable along a portion of the lot. Eastern white pines are proposed along the western portion of the parking lot where possible outside of the utility easement. The proposed landscape screening is 6 to 8 feet in height and will meet these requirements.
- Per C.O. 1171.08, landscape treatments at the perimeter of stormwater basins shall be designed either with maintained turf to the pond's edge or a naturalized planting of native landscape material, subject to approval of the City Landscape Architect. The landscape plantings shall be in large masses and drifts, and shall not include decorative landscape boulders, large mulch beds, or specimen plantings. The retention pond has been shifted slightly such that it is fully within the private utility easement so that no trees at the southern portion of the site need to be removed; however, landscaping cannot be installed within the easement.
- Zoning text section VII(2) defines "Protected Trees" as any tree with a trunk that measures six inches or more in diameter at breast height (4.5 feet above the ground) and states that all Protected Trees that die or are severely harmed due to construction shall be replaced elsewhere within the zoning district on a tree-for-tree basis with at least a 2.5-inch diameter at installation. The application shows that a total of 13 deciduous and evergreen trees will be removed, and 25 deciduous trees with a minimum caliper of 2.5 inches are proposed to be installed. Additionally, 25 evergreen trees with a minimum height of 6 feet are proposed to be installed.
- Per the zoning text, street trees are not required along Harlem Road.
- The City Landscape Architect provided the following updated comments on January 9, 2026. Staff recommends a condition of approval that the City Landscape Architect's comments be met, subject to staff approval (condition #1).
  - Reduce the width and overall square footage of the paved drive apron in the area outlined in the memo or provide additional turning radius studies in support of the current alignment (including necessary vehicular movement specific to the loading and trash receptacle area).
  - Revise the proposed landscape plan to remove the Green Giant Arborvitae at the edge of the parking lot. Replace screening material with deciduous shade trees.
  - Adjust the proposed retention basin location to avoid the removal of the existing tree stand as outlined on sheet L102 of the submitted materials.
- Additional landscaping is proposed to be installed for the development on James River Park to help facilitate additional screening.

## Lighting

- External cut-off lighting is proposed to illuminate wall signage and building entries. The main entrance light is ceiling-mounted, and the rest of the lighting is wall-mounted. All proposed lighting is black and similar in appearance and style.
- C.O. 1169.12(c)(1) requires external lighting of signs to be of a lighting technology that delivers 50 or more lumens per watt and to utilize a warm color temperature range of less than 5,000 Kelvin. The proposed lights all deliver 125 lumens per watt and utilize a warm color temperature range of 6,500 Kelvin. Staff recommends a condition of approval that the external sign lights be reduced to less than 5,000 Kelvin (condition #2).
- No parking lot lighting is proposed; because of this, a photometrics plan was not submitted.

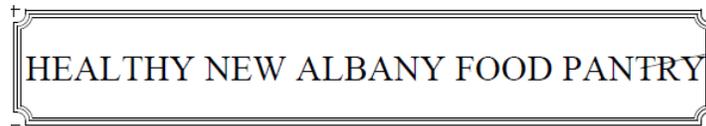
## Vehicular and Pedestrian Circulation:

- Vehicular access to the site is proposed from one new full-access curb cut via Harlem Road. Vehicular circulation continues past and behind the building (on its west side) to the parking lot.
- The zoning text requires a minimum of one loading space for church uses and related accessory uses. One loading space is proposed on the south side of the building.
- The zoning text states that parking for all accessory uses shall be provided in accordance with C.O. 1167.
  - The proposed parking spaces meet the minimum length and width requirements with a width of nine feet and a length of 19 feet. Additionally, the maneuvering lane is 22 feet in width and meets requirements.
  - The proposed loading space exceeds minimum length, width, and height clearance requirements.
  - C.O. 1167.05 requires community centers to have one parking space per 400 square feet of gross floor area. The size of the proposed food pantry (8,460 square feet) necessitates 21 parking spaces. The applicant has provided 36 parking spaces and exceeds the minimum parking requirement.
- The existing leisure trail at the northernmost part of the site will be extended southward along the remainder of the site's Harlem Road frontage. The applicant has verified that the bike path will meet New Albany specifications and be constructed of asphalt with a minimum width of eight feet. Additional sidewalks to the front and rear of the building are included from the leisure trail for pedestrian access to the site.
- There are six pedestrian doors in total on the building exterior. Each is designated for specific pedestrian circulation into or out of the building:
  - East elevation: one double-door exit.
  - West elevation: one double-door exit, one double-door main entrance, and one single-door donation entrance. Each set of doors has windows.
  - North elevation: one single-door volunteer entrance.
  - South elevation: one single-door warehouse exit. Additionally, there is a single-bay door for loading and unloading.

## Signage

- The zoning text states that all signage shall conform with C.O. 1169. Institutional developments are permitted to have a maximum of three sign types, excluding by-right sign types. The applicant proposes two sign types: a wall sign and a dual-post sign. A by-right wall plaque is proposed as well.
- Some signage details were not specified in the final development plan, such as sign relief and projection from the building façade. Staff recommends a condition of approval that the signage meet code requirements, subject to staff approval (condition #3).
- The applicant proposes one wall sign on the west (rear) elevation above the exit. The sign is dark navy in color with a white plaque trim and white, six-inch-tall lettering. Wall signs are regulated by C.O. 1169.16(d).

- Quantity: one wall sign—meets code (max. one per building frontage)
- Area: 33.38 square feet—meets code (max. 45 square feet)
- Projection: less than 1 inch (max. 18-inch projection from building)—meets code
- Relief: not specified (min. 1-inch sign relief)—see condition #3
- Illumination: external—meets code (external or halo lighting)



*Image: Proposed wall sign on the rear elevation.*

- The applicant proposes one dual-post sign located near the vehicular entrance to the site. Such signs are regulated by C.O. 1169.17(b).

- Quantity: one—meets code (one per street entrance)
- Area: 22.5 square feet—meets code (max. 30 square feet per side)
- Height: 6 feet, 8 inches—meets code (max. 7 feet)
- Width: 4 feet (max. 7.5 feet)—meets code
- Relief: not specified (min. 1-inch sign relief)—see condition #3
- Illumination: none



*Image: Proposed dual-post sign.*

- The applicant proposes one by-right wall plaque on the west (rear) elevation next to the main entrance. Wall plaques are regulated by C.O. 1169.18(d).

- Quantity: one—meets code (max. one per building)
- Area: 1.66 square feet—meets code (max. 4 square feet)
- Relief: not specified (max. 4 inches from façade)—see condition #3
- Illumination: none
- Material: not specified (must be a durable material such as cut or etched stone, glass, tile, or metal)—see condition #3



*Image: Proposed wall plaque.*

3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*

- An existing shed is proposed to be removed to facilitate construction of the food pantry; the shed is not considered a distinguishing feature of the site.
- Numerous trees are proposed to be removed to facilitate construction of the food pantry. The zoning text requires protected trees to be replanted on a tree-for-tree basis. A condition of approval is included to help preserve the original environmental quality of the site.

4. *All buildings, structures and sites shall be recognized as products of their own time.*

- The design of the new building is appropriate to the area and existing church, and it meets the architectural requirements of the DGRs.

5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*

- The proposed building will utilize distinctive stylistic features of American Georgian architecture, such as by use of vertically oriented, double-hung windows; formal symmetry; doors with a pediment and entablature; pilasters; and a gable roofline and dormers.

6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*

- Not applicable.

7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*

- No additions or alterations to structures are proposed.

## V. ENGINEER'S COMMENTS

The City Engineer has reviewed the final development plan and provided the following comments. Staff recommends a condition of approval that these comments be addressed by the applicant, subject to staff approval (condition #4).

1. Add notes and the title block depicted on Exhibit A to the cover sheet.
2. Update the Project Data table on the cover sheet to show parking stalls required/provided and ADA stalls required/provided.
3. Show stop bars/signs at all curb cuts.
4. Provide a Traffic Access Study and determine if improvements in the public right-of-way are required to support the project.
5. Staff shall evaluate storm water management, water distribution, sanitary sewer collection, and other construction-related details once detailed construction plans become available.

## VI. SUMMARY

The applicant proposes a final development plan for an 8,460-square-foot food pantry at 5220 Johnstown Road. The site design, building location, building form and massing, and design elements appear appropriate and conform to applicable Design Guidelines and Requirements. The building architecturally complements the existing church and utilizes character-defining qualities of Georgian architecture, such as by use of formal symmetry, doors with a pediment and entablature, pilasters, and a gable roofline and dormers.

A 150-foot-wide private utility easement impedes the use of above-grade improvements on a portion of the site, including landscaping. The zoning text allows development to not meet landscaping requirements contained in the codified ordinances within the easement, including landscaping otherwise required for parking lot screening or stormwater basin landscaping. Landscaping conditions of approval have been recommended to ensure city landscaping requirements are met where possible outside of the easement. Additionally, the proposed signage is appropriate for the development and meets codified requirements when subject to the recommended conditions of approval.

## VII. ACTION

Should the Architectural Review Board find that the application has sufficient basis for approval, the following motion would be appropriate (conditions of approval may be added):

**Move to recommend approval of final development plan application FDP-88-2025 to the New Albany Planning Commission with the following conditions:**

1. The City Landscape Architect's comments will be met, subject to staff approval.
2. The external sign lights will be reduced to less than 5,000 Kelvin.

3. The signage will meet code requirements, subject to staff approval.
4. The engineer's comments shall be addressed by the applicant, subject to staff approval.

**Approximate Site Location:**



Source: NearMap

404.781-01  
October 23, 2025

To: Lauren Sauter  
City Planner

From: Matt Ferris, P.E., P.S.  
By: Jay M. Herskowitz, P.E., BCEE

Re: Healthy NA Food Pantry  
Final Development Plan

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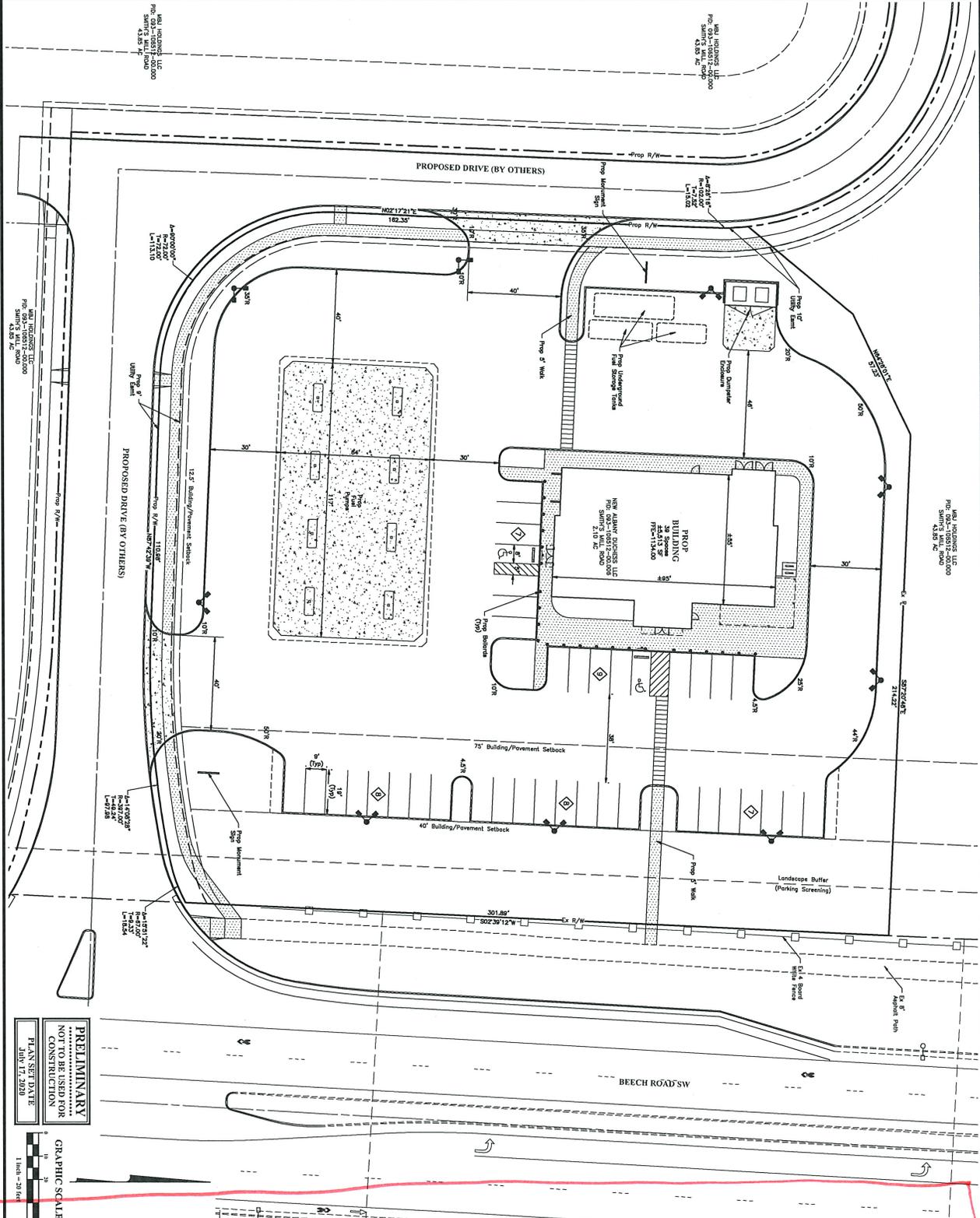
We reviewed the referenced submittal in accordance with Code Sections 1159.07 (b)(3) FDP.  
Our review comments are as follows:

1. Refer to Exhibit A attached. Add notes and the title block depicted on Exhibit A to the cover sheet.
2. Civil Sheet CP-02 not included with the submittal. Please provide.
3. Add grading sheets to the FDP and show major flood routing in plan view.
4. Update the Project Data table on the cover sheet to show parking stalls required/provided and ADA stalls required/provided.
5. Provide a Fire Truck Turning Radius analysis.
6. Show stop bars/signs at all curb cuts.
7. Provide a Traffic Access Study and determine if improvements in public r/w are required to support the project.
8. We will evaluate storm water management, water distribution, sanitary sewer collection and other construction related details once detailed construction plans become available.

MEF/JMH

(attachment)

cc: Josh Albright, Development Engineer  
Jeremiah Wood, Development Engineer



**LEGEND**

- Concrete Pavement
- Concrete Sidewalk
- Prop 8" Light Pole (See Map Note)
- Parking Control

**PROJECT DESCRIPTION**  
The Gas Station Development includes the construction of a 5015 Square Foot Single Story Building with Fuel Pumps.

**STORMWATER MANAGEMENT**  
Stormwater Management Plan will be controlled by a Regional Basin West of the Site.

**MONUMENTATION**  
Monumentation in Compliance with C.O. 1156.07 (3) will be set prior to completion of construction.

**SITE AVAILABLE**

Proposed Convenience Store	211 Ac.
Parking Provided	5,513 S.F.
Handicap Parking Required	39 Spaces
Handicap Parking Provided	2 Spaces
Lot Coverage	91,998 S.F.
Pavement/Walk	5,513 S.F.
Total Coverage	68,771 S.F.
Site Area (2.11 Ac.)	91,771 S.F.
Percent Coverage	73%
Minimum Lot Coverage	69%
Total Parking Area Area	17,250 S.F.
Interior Landscaping Required	10%
	8%

**NOTES**

- All Redd Area 5' Unless Otherwise Noted.
- All Curb to Be 6" Extended Unless Otherwise Noted.
- All Dimensions Given Are Measured to the Face of Curb.
- All Radius Dimensions Given Are Measured Along the Face of Curb.
- Curb cut on US 68 is subject to ODOT approval. If this curb cut is approved, the northern most curb cut on Thelma Rd will be cut only. If curb cut is not approved it will be removed from the plan and both curb cuts on Thelma Rd will remain on full access.

**APPROVALS**

Planning Commission Chair \_\_\_\_\_

Site Plan Engineer \_\_\_\_\_

Professional Engineer \_\_\_\_\_

Professional Surveyor \_\_\_\_\_

**EMHT**  
 1500 S. Hamilton, Independence, MO 64050  
 1500 S. Hamilton, Independence, MO 64050  
 Phone: 816-775-6500 Fax: 816-775-6549  
 emht.com

**CITY OF NEW ALBANY, LICKING COUNTY, OHIO**  
 FINAL DEVELOPMENT PLAN  
**ENGLEFIELD OIL - BEECH & SMITH'S MILL ROAD**  
 SITE PLAN

ENGLFIELD

REVISIONS		
MARK	DATE	DESCRIPTION

DATE: July 17, 2020  
 SCALE: 1" = 20'  
 SHEET NO.: 2020-0409  
 SHEET: 1/2

EXHIBIT "A"

## Development Review

project name Healthy New Albany Food Pantry  
prepared for City of New Albany  
date January 09, 2026  
date received December 29, 2025

## COMMENTS

### Site Plan

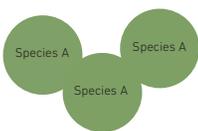
1. Reduce the width and overall square footage of the paved drive apron in the area outlined below, or provide additional turning radius studies in support of the current alignment (including necessary vehicular movement specific to the loading and trash receptacle area). See below.

### Planting Plan

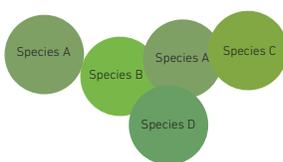
2. Revise the proposed landscape plan to remove the use of Green Giant Arborvitae (*Thuja plicata x standishii* 'Green Giant') at the edge of the parking lot. Replace screening material with deciduous shade trees. See below.
3. Recommend the adjustment of the proposed retention basin location to avoid the removal of the existing tree stand as outlined on sheet L102 of the submitted materials. See below.

### Tree Grouping Standards

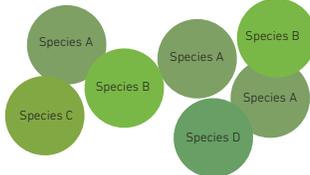
MASSING: 3 TREES



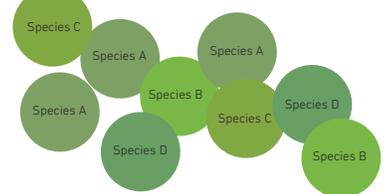
MASSING: 5 TREES



MASSING: 7 TREES



MASSING: 9 TREES

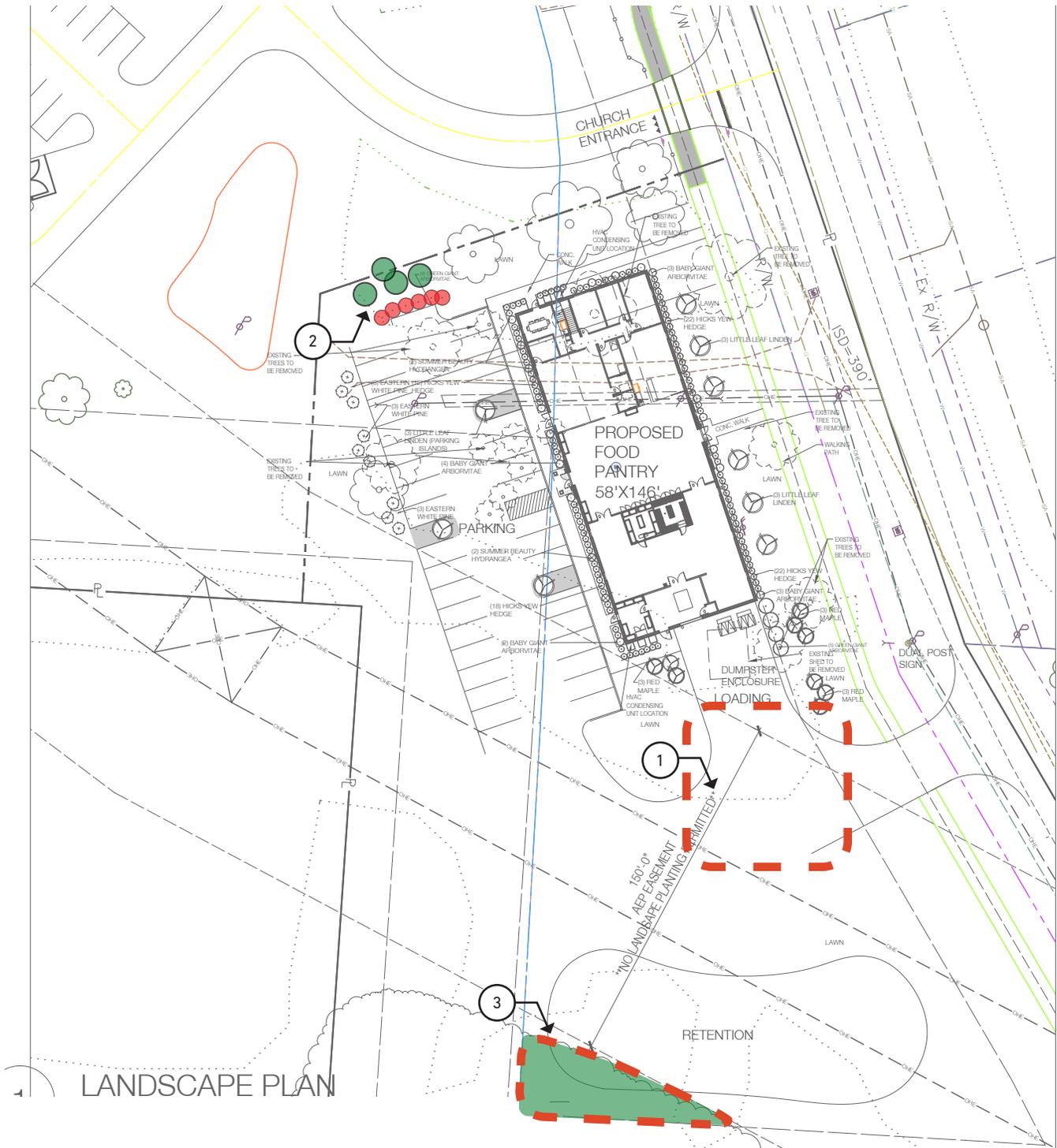


### \*NOTES:

The provided diagram is for clarification and design intent purposes only. The diagram should be used to help illustrate the above comments. It is the responsibility of the design consultants to incorporate the above comments as it relates to the site and to adhere to all City requirements and subsequent code. The diagram may not be to scale.

## Development Review

project name Healthy New Albany Food Pantry  
prepared for City of New Albany  
date January 09, 2026  
date received December 29, 2025





## Community Development Planning Application

<b>Submission</b>	<p>Submit planning applications and all required materials via email to <a href="mailto:planning@newalbanyohio.org">planning@newalbanyohio.org</a></p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																									
<b>Project Information</b>	<p>Site Address <u>5220 Johnstown Road</u></p> <p>Parcel Numbers <u>222-004475</u></p> <p>Acres <u>3.23</u> # of lots created _____</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Choose Application Type</th> <th style="width: 50%;">Description of Request:</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td> <td rowspan="2">COA for the new structure to</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certificate of Appropriateness</td> </tr> <tr> <td><input type="checkbox"/> Conditional Use</td> <td>house the Healthy New Albany</td> </tr> <tr> <td><input type="checkbox"/> Development Plan</td> <td>Food Pantry on Harlem Road.</td> </tr> <tr> <td><input type="checkbox"/> Plat</td> <td> </td> </tr> <tr> <td><input type="checkbox"/> Lot Changes</td> <td> </td> </tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td> <td> </td> </tr> <tr> <td><input type="checkbox"/> Zoning Amendment (Rezoning)</td> <td> </td> </tr> <tr> <td><input type="checkbox"/> Zoning Text Modification</td> <td> </td> </tr> </tbody> </table>		Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	COA for the new structure to	<input checked="" type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Conditional Use	house the Healthy New Albany	<input type="checkbox"/> Development Plan	Food Pantry on Harlem Road.	<input type="checkbox"/> Plat		<input type="checkbox"/> Lot Changes		<input type="checkbox"/> Minor Commercial Subdivision		<input type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification						
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<b>Contacts</b>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2" style="text-align: center;">Applicant Information</th> <th colspan="2" style="text-align: center;">Property Owner Information</th> </tr> </thead> <tbody> <tr> <td style="width: 25%;">Name</td> <td style="width: 25%;">Todd Parker</td> <td style="width: 25%;">Name</td> <td style="width: 25%;">Rose Run Presbyterian Church Inc</td> </tr> <tr> <td>Address</td> <td style="background-color: black;"></td> <td>Address</td> <td style="background-color: black;"></td> </tr> <tr> <td>City, State, Zip</td> <td style="background-color: black;"></td> <td>City, State, Zip</td> <td style="background-color: black;"></td> </tr> <tr> <td>Phone Number</td> <td style="background-color: black;"></td> <td>Phone Number</td> <td style="background-color: black;"></td> </tr> <tr> <td>Email</td> <td style="background-color: black;"></td> <td>Email</td> <td style="background-color: black;"></td> </tr> </tbody> </table>		Applicant Information		Property Owner Information		Name	Todd Parker	Name	Rose Run Presbyterian Church Inc	Address		Address		City, State, Zip		City, State, Zip		Phone Number		Phone Number		Email		Email	
Applicant Information		Property Owner Information																								
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Address		Address																								
City, State, Zip		City, State, Zip																								
Phone Number		Phone Number																								
Email		Email																								
<b>Signature</b>	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">Signature of Owner</td> <td style="width: 40%; border-bottom: 1px solid black;">Todd Parker</td> <td style="width: 10%;"></td> <td style="width: 20%; border-bottom: 1px solid black;">Date: 10 Oct. 2025</td> </tr> <tr> <td>Signature of Applicant</td> <td style="border-bottom: 1px solid black;">Robert G Armstrong MDiv MA LPCC</td> <td></td> <td style="border-bottom: 1px solid black;">Date: 22 Oct 2025</td> </tr> </table>		Signature of Owner	Todd Parker		Date: 10 Oct. 2025	Signature of Applicant	Robert G Armstrong MDiv MA LPCC		Date: 22 Oct 2025																
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Signature of Applicant	Robert G Armstrong MDiv MA LPCC		Date: 22 Oct 2025																							

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

Fees & Submittal Information

Appeal		250.00	_____
Certificate of Appropriateness			_____
ARB – single and two family residential		100.00	_____
ARB – All other residential or commercial		300.00	_____
ARB - Signage		75.00	_____
Conditional Use		600.00	_____
Development Plan – Preliminary PUD or Comprehensive			_____
Planning fee	First 10 acres	750.00	_____
	Each additional 5 acres or part thereof	50.00 / each	_____
Engineering fee	1-25 lots	155.00 / each	_____
	Minimum fee	1000.00	_____
Engineering fee	26 – 50 lots	3875.00	_____
	Each additional lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each additional lot over 51	50.00 / each	_____
Development Plan – Final PUD			_____
Planning fee	First 10 acres	650.00	_____
	Each additional 5 acres or part thereof	50.00	_____
Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 / each	_____
Engineering fee	26 – 50 lots	3875.00	_____
	Each additional lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each additional lot over 51	50.00 / each	_____
Development Plan – Non-PUD		300.00	_____
Development Plan / Text Amendment		600.00	_____
Plat – Road Preliminary			_____
Planning fee		350.00	_____
Engineering fee	no lots on either side of street	1.00 / LF	_____
	lots on one side of street	.50 / LF	_____
	Minimum fee	1,000.00	_____
Plat – Road Final			_____
Planning fee		350.00	_____
Engineering fee	no lots on either side of street	1.00 / LF	_____
	lots on one side of street	.50 / LF	_____
	Minimum fee	1,000.00	_____
Plat – Subdivision Preliminary			_____
Planning		650.00	_____
	Plus each lot	50.00 / each	_____
Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 / each	_____
Engineering fee	26 – 50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____

**Fees & Submittal Requirements**

Plat – Subdivision Final			
Planning		650.00	_____
	Plus each lot	15.00 / each	_____
Engineering fee	1-25 lots (minimum fee \$1,000.00)	155.00 /each	_____
Engineering fee	26-50 lots	3875.00	_____
	Each lot over 26	75.00 / each	_____
Engineering fee	Over 51 lots	5750.00	_____
	Each lot over 51	50.00 / each	_____
Lot Changes		200.00	_____
Minor Commercial Subdivision		200.00	_____
Vacation (Street or Easement)		1200.00	_____
Variance			
	Non-single family, commercial, subdivision, multiple properties	600.00	_____
	Single Family residence	250.00	_____
	In conjunction with Certification of Appropriateness	100.00	_____
Extension Request		0.00	_____
Zoning			
	Rezoning - First 10 acres	700.00	_____
	Each additional 5 acres or part thereof	50.00 / each	_____
	Rezoning to Rocky Fork Blacklick Accord	250.00	_____
	Text Modification	600.00	_____
Easement Encroachment		800.00	_____

**From:** TL\_PublicProjects <[tl\\_publicprojects@aep.com](mailto:tl_publicprojects@aep.com)>  
**Sent:** Tuesday, October 21, 2025 7:58 AM  
**To:** Hammond, Jon <[jhammond@cecinc.com](mailto:jhammond@cecinc.com)>  
**Subject:** RE: New Albany Development (CEC 354-347)

Jon,

Please see the attached map that shows the proposed project location in pink.

As you are aware we do have a Transmission line in the referenced work area. .

The line in the referenced work area are is our Muskingum River - Central 345kV line. As long as there is no grade increases within our easement I do not see any initial concerns with he drive lane, parking lot and detention basin within our easement. We will need to review a complete set of civil documents once they are prepared.

Please note that this is a 345,000 volt transmission line and there is a potential for nuisance shock went touching vehicles/metal objects below our line and near our easement. Please refer to the attached document for additional information on nuisances shock. Additionally, you will want to ensure the metal components of the building are properly bonded/grounded to avoid nuisance shock.

**A couple items to note:**

- There is to be no grade changes made within our easement without Transmission Line Engineering's approval.
- There is to be no excavations within 40' to any of our structures
- There is to be no stockpiling/storing of materials and/or equipment within our easement
- There is to be no trees and/or wooded vegetation within our easement
- There is to be no light poles within our easement
- There is to be no fountain within the wet detention basin
- Please review the attached guidelines in regards to working near our facilities

If the plans should change in the future and require the relocation of transmission structures please email new plans to [tl\\_publicprojects@aep.com](mailto:tl_publicprojects@aep.com)

We urge **EXTREME CAUTION** when operating a crane, vehicle or mechanical equipment capable of having part of its structure elevated, near any equipment or energized lines. Please adhere to all OSHA standards when working near any energized line of this magnitude.

**Distribution:**

There may be AEP Distribution facilities present within the work area. Please contact AEP Distribution at [centralOHPPR@aep.com](mailto:centralOHPPR@aep.com) and they can provide you with the distribution facilities relocation plan, suggested adjustments or advise you that no distribution facilities are present.

**Telecom:**

There may be AEP Telecom facilities present within the work area. Please contact the Telecom Team (Ohio Fiber Relocations; [ohfiberrelocate@aep.com](mailto:ohfiberrelocate@aep.com)) and have them provide you with the

telecom facilities relocation plan, suggested adjustments or advise you that no telecom facilities are present.

**Joint Use:**

There may be Joint Use facilities present within the work area. Please contact the Joint Use Team (Joint Use Ohio; [ohiojointuse@aep.com](mailto:ohiojointuse@aep.com)) and have them provide you with the joint use facilities relocation plan, suggested adjustments or advise you that no joint use facilities are present.

NOTE – for future requests such as this please send project information to [TL\\_PUBLICPROJECTS@AEP.COM](mailto:TL_PUBLICPROJECTS@AEP.COM)

Thanks,  
Mike

**MICHAEL D CARR | COORDINATOR SR**

[TL\\_PUBLICPROJECTS@AEP.COM](mailto:TL_PUBLICPROJECTS@AEP.COM) | D:380.205.5072  
8500 SMITHS MILL ROAD, NEW ALBANY, OH 43054



# SHEET LEGEND

- G100 COVER SHEET
- L100 ARCHITECTURAL SITE PLAN
- L101 CONTEXTUAL SITE AND IMAGES
- L102 LANDSCAPE PLAN
- L103 DUMPSTER ENCLOSURE DETAILS
  
- C100 EXISTING CONDITIONS + SITE DEMO
- C200 CIVIL SITE LAYOUT PLAN
- C201 CIVIL FIRE TRUCK ROUTING
- C300 CIVIL SITE UTILITY & GRADING PLAN
  
- A100 FLOOR PLAN
- A101 MEZZANINE PLAN
  
- A200 ELEVATIONS
- A201 ELEVATIONS
- A202 EXTERIOR LIGHTING
- A203 EXTERIOR LIGHTING
- A204 SIGNAGE PLANS
  
- A300 BUILDING SECTION
  
- A400 CONCEPT IMAGE - EAST
- A401 CONCEPT IMAGE - EAST ENTRY
- A402 CONCEPT IMAGE - WEST
- A403 CONCEPT IMAGE - SOUTH
- A404 CONCEPT IMAGE - NORTH
  
- E100 EXTERIOR LIGHT LOCATION PLAN

# F5

F5 DESIGN/ARCHITECTURE INC  
 PO BOX 86  
 NEW ALBANY, OHIO 43054  
 WWW.F5DESIGN.COM  
 F5MAIL@F5DESIGN.COM  
 TEL 614.224.4946

PROJECT NAME:

THE NEW ALBANY  
 FOOD PANTRY

5220 JOHNSTOWN ROAD  
 NEW ALBANY, OHIO  
 43023

DESIGN REVIEW

SEAL/SIGNATURE

Drawings and specifications as instruments of professional service shall remain the property of the Architect. These documents are not to be used in whole or in part, for any other projects not at the specified address, without the prior written authorization of F5 Design/Architecture Inc. C. 2025

## PROJECT DATA

PROPOSED IS A NEW SINGLE STORY STRUCTURE OF 8,460 S.F. TO SERVE AS THE HEALTHY NEW ALBANY FOOD PANTRY.

ADDRESS:  
 5220 JOHNSTOWN ROAD  
 NEW ALBANY, OH 43054

PARCEL #:  
 222-004475

ZONING DISTRICT:  
 I -PUD

LAND OWNER:  
 ROSE RUN PRESBYTERIAN CHURCH, INC.

FACILITY OWNER:  
 HEALTHY NEW ALBANY

Builder

SCALE: NTS

PROJECT NO. 24002

COVER SHEET

5 FEB. 2026

# G100

# F5

F5 DESIGN/ARCHITECTURE INC  
PO BOX 86  
NEW ALBANY, OHIO 43054

WWW.F5DESIGN.COM

F5MAIL@F5DESIGN.COM  
TEL 614.224.4946

PROJECT NAME:

THE NEW ALBANY  
FOOD PANTRY

5220 JOHNSTOWN ROAD  
NEW ALBANY, OHIO  
43023

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Builder

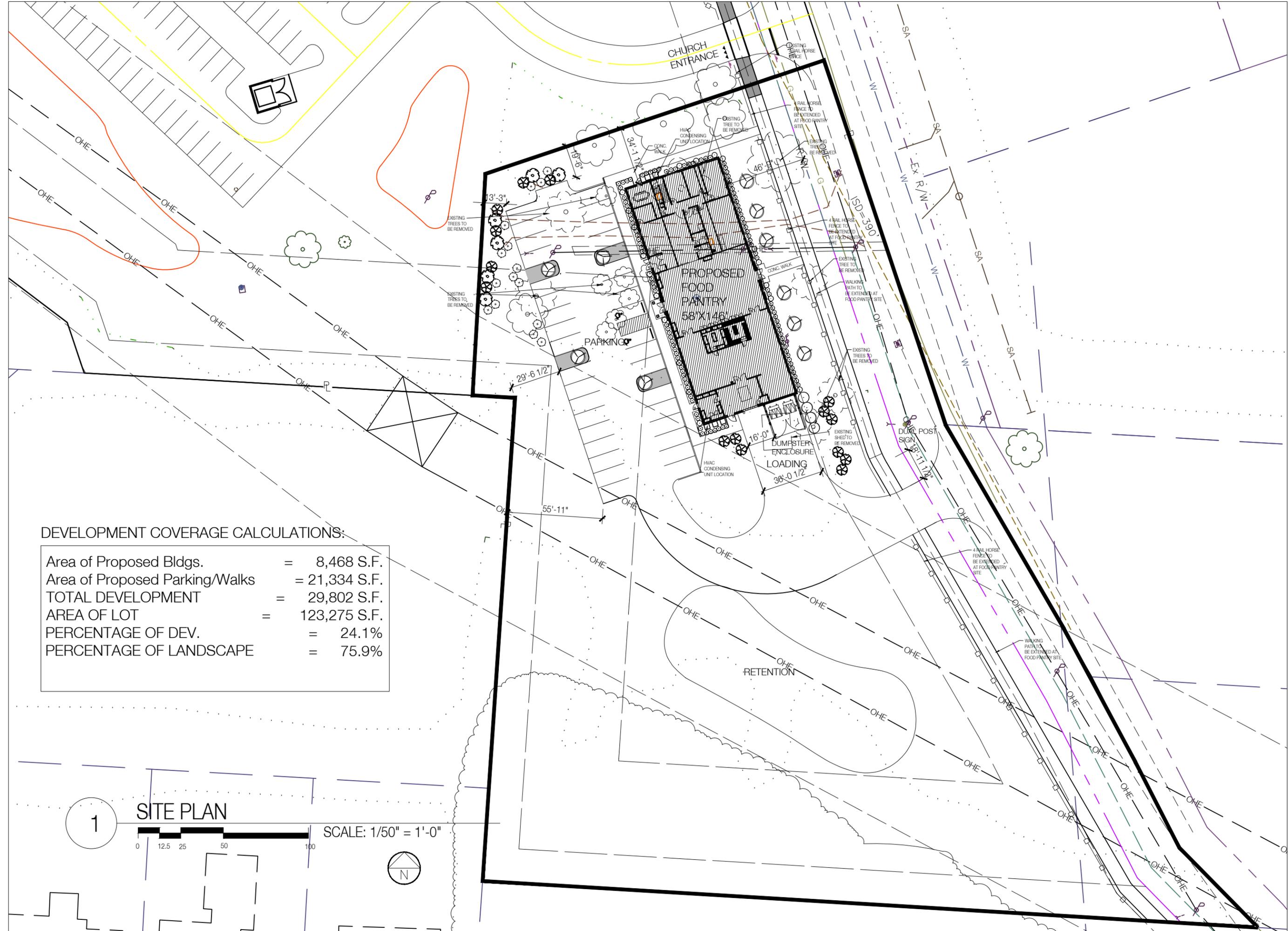
SCALE: 1"=50'-0"

PROJECT NO. 24002

SITE PLAN

10 FEBRUARY 2026

L100



### DEVELOPMENT COVERAGE CALCULATIONS:

Area of Proposed Bldgs.	=	8,468 S.F.
Area of Proposed Parking/Walks	=	21,334 S.F.
TOTAL DEVELOPMENT	=	29,802 S.F.
AREA OF LOT	=	123,275 S.F.
PERCENTAGE OF DEV.	=	24.1%
PERCENTAGE OF LANDSCAPE	=	75.9%

### 1 SITE PLAN



SCALE: 1/50" = 1'-0"



# F5

F5 DESIGN/ARCHITECTURE INC  
PO BOX 86  
NEW ALBANY, OHIO 43054

WWW.F5DESIGN.COM

F5MAIL@F5DESIGN.COM  
TEL 614.224.4946

PROJECT NAME:

THE NEW ALBANY  
FOOD PANTRY

5220 JOHNSTOWN ROAD  
NEW ALBANY, OHIO  
43023

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Builder

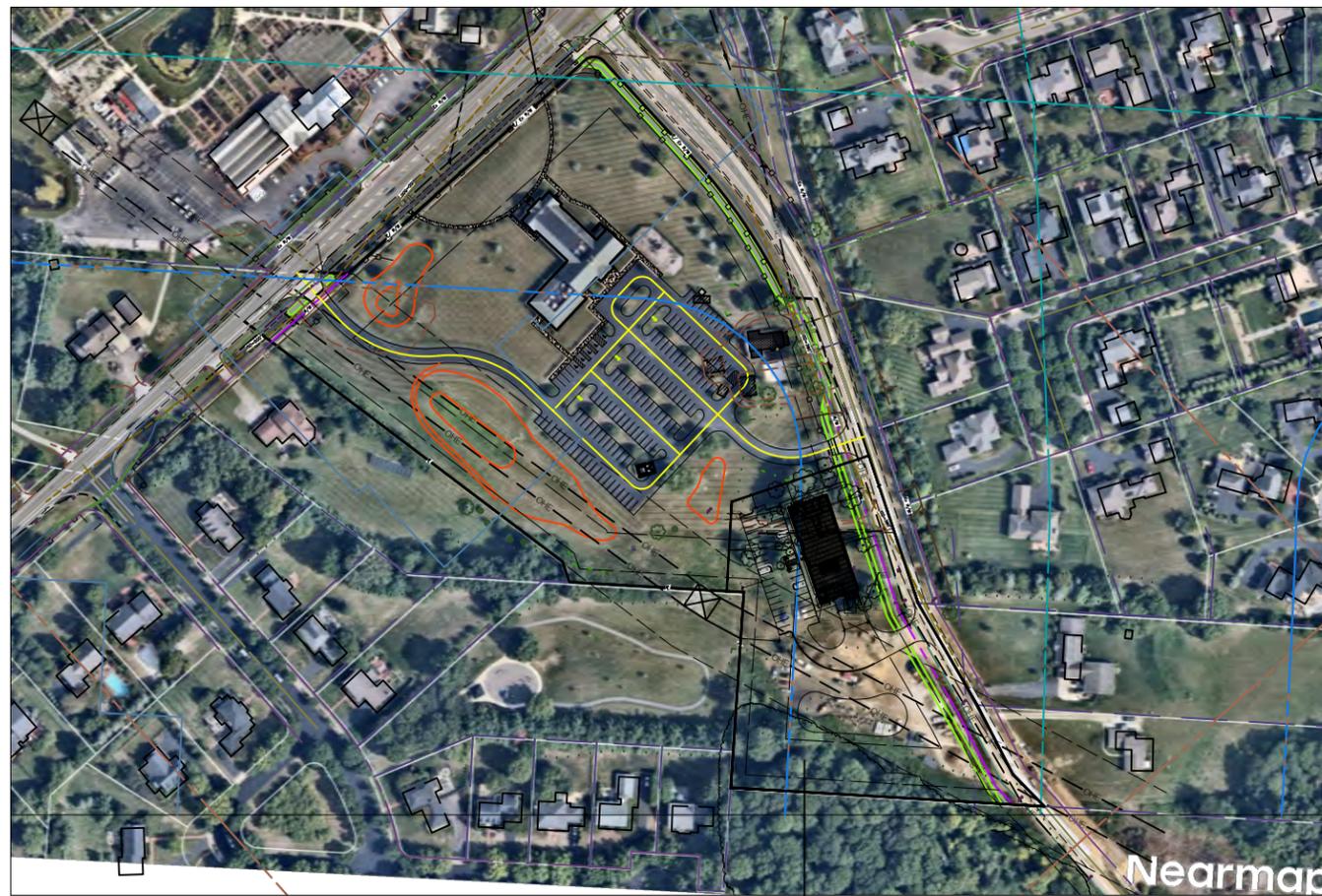
SCALE: N.T.S

PROJECT NO. 24002

SITE CONTEXT

12 DECEMBER 2025

L101



FOOD PANTRY SITE

Site Concept Plan W/ Aerial



Rose Run Presbyterian Precedent Image

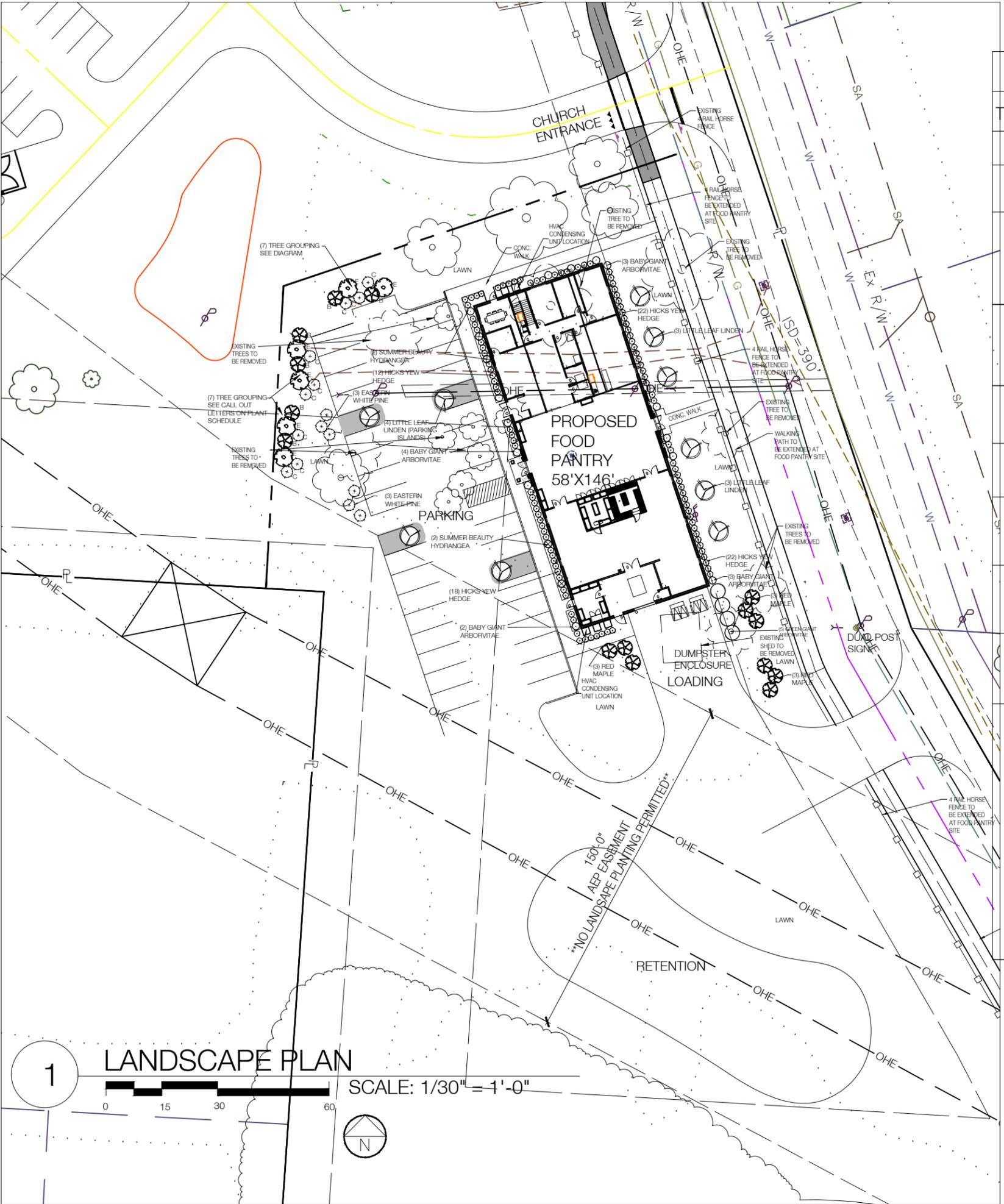


Rose Run Presbyterian Precedent Image

PLANT SCHEDULE				
TREE CALLOUT	SYMBOL	QTY.	BOTANICAL / COMMON NAME	SIZE
		4	HYDRANGEA MACROPHYLLA / SUMMER BEAUTY HYDRANGEA	3 GAL.
		74	TAXUS X MEDIA 'HICKSII' / HICKS YEW - HEDGE	3 GAL.
A		10	TILIA CORDATA / LITTLE LEAF LINDEN (TO MATCH EXISTING TREES IN CHURCH PARKING LOT)	2.5 IN. CAL.
B		15	ACER RUBRUM / RED MAPLE	2.5 IN. CAL.
C		15	PINUS STROBUS / EASTERN WHITE PINE	6'-8' HEIGHT
		12	THUJA PLICATA 'STANDISHII' VIRGINIAN / BABY GIANT ARBORVITAE	3'-4' HEIGHT
D		4	THUJA PLICATA 'STANDISHII' GREEN GIANT/ GREEN GIANT ARBORVITAE	6'-8' HEIGHT
E		6	PICEA ABIES/ NORWAY SPRUCE	6'-8' HEIGHT

EXISTING TREE REPLACEMENT:

1. THERE ARE 10 DECIDUOUS AND 3 EVERGREEN TREES THAT WILL BE REMOVED.
2. THERE WILL BE A TOTAL OF 50 TREES PLANTED AS A PART OF THIS PROPOSED LANDSCAPE PLAN.  
 25 DECIDUOUS TREES AT A MIN. OF 2.5" CALIPER.  
 25 EVERGREEN TREES AT A MIN. OF 6'-8' IN HEIGHT.



1 LANDSCAPE PLAN  
 SCALE: 1/30" = 1'-0"



PROJECT NAME:

THE NEW ALBANY  
 FOOD PANTRY

5220 JOHNSTOWN ROAD  
 NEW ALBANY, OHIO  
 43023

DESIGN REVIEW

SEAL/SIGNATURE

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Builder

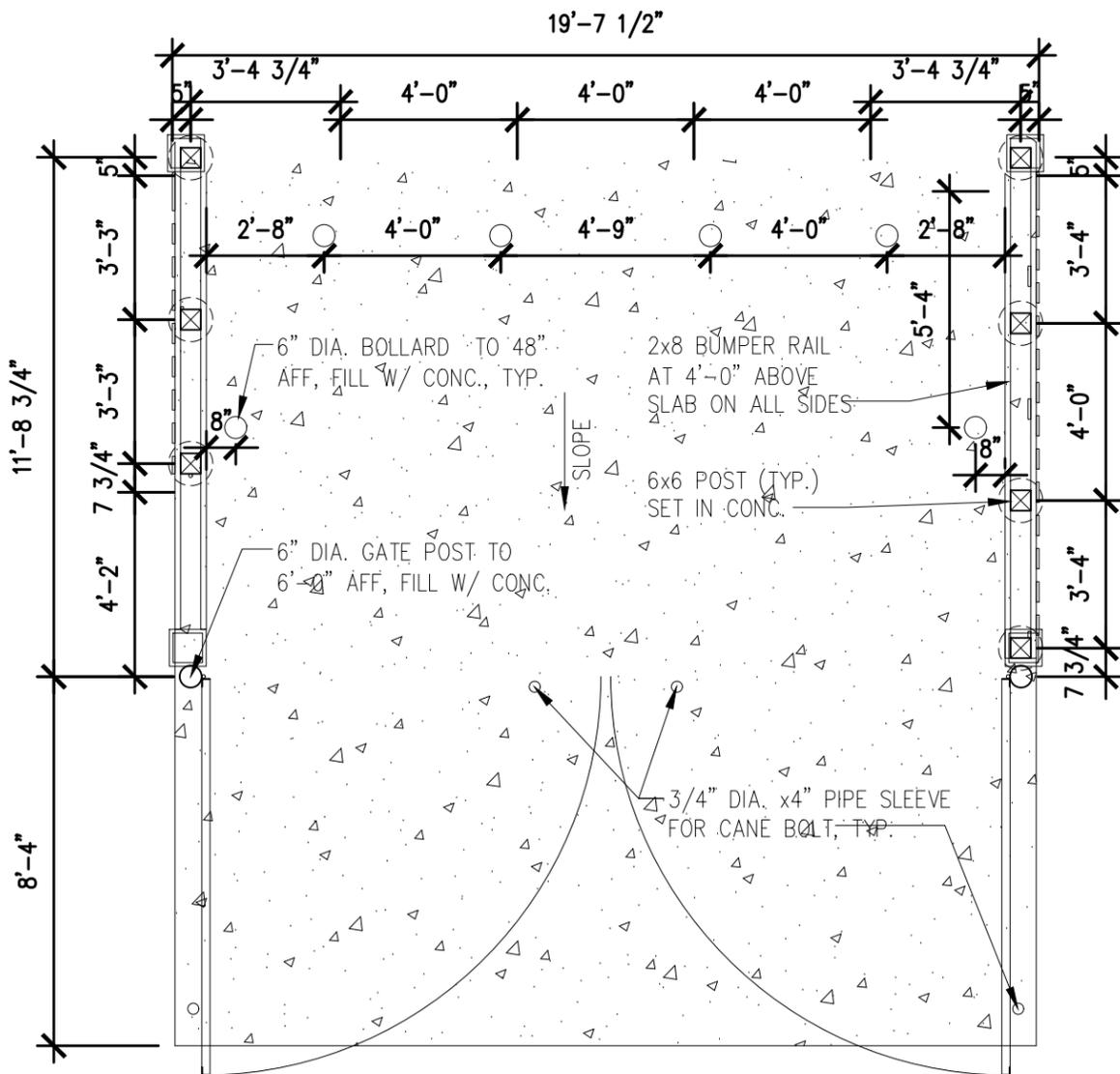
SCALE: AS NOTED

PROJECT NO. 24002

DUMPSTER ENC.  
 PLANS + ELEV.

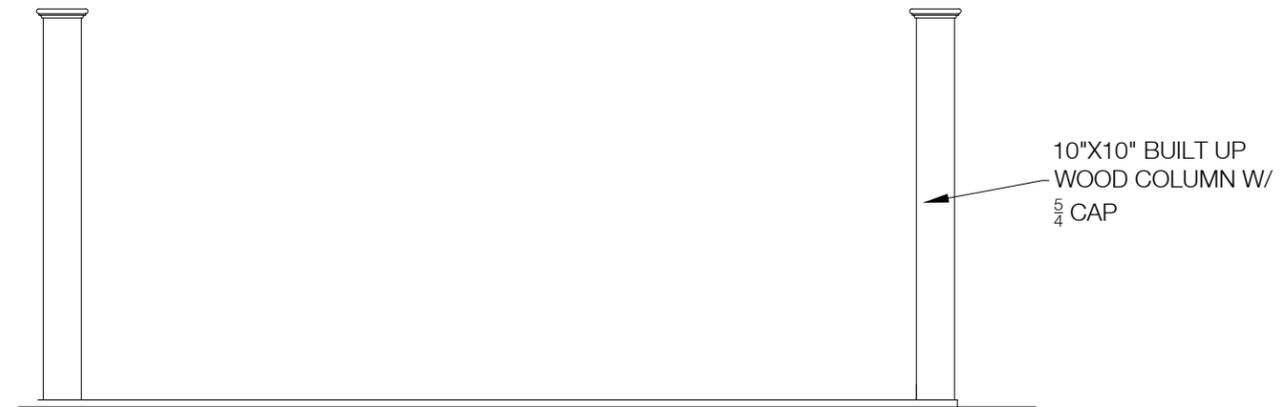
12 DECEMBER 2025

L103

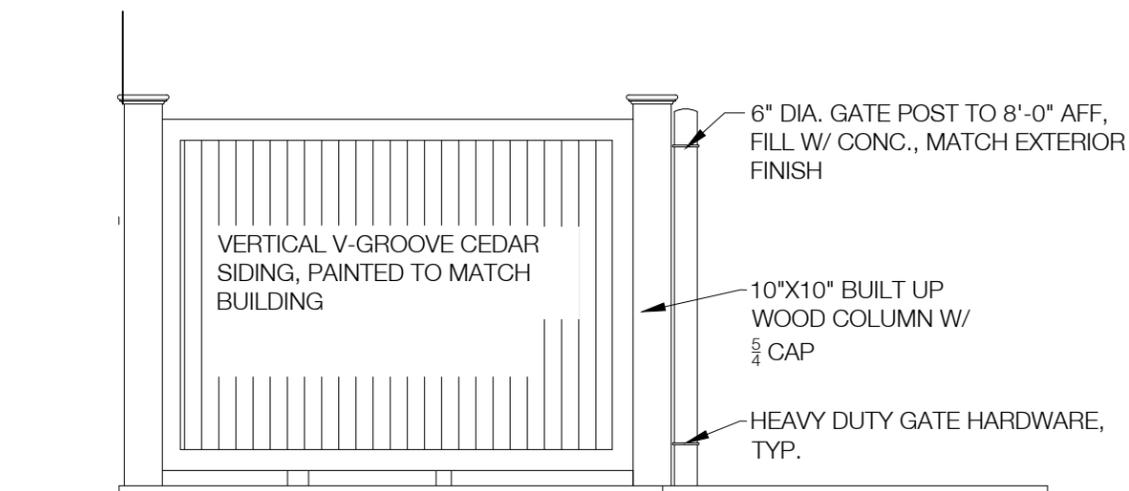


1 TRASH ENCLOSURE PLAN

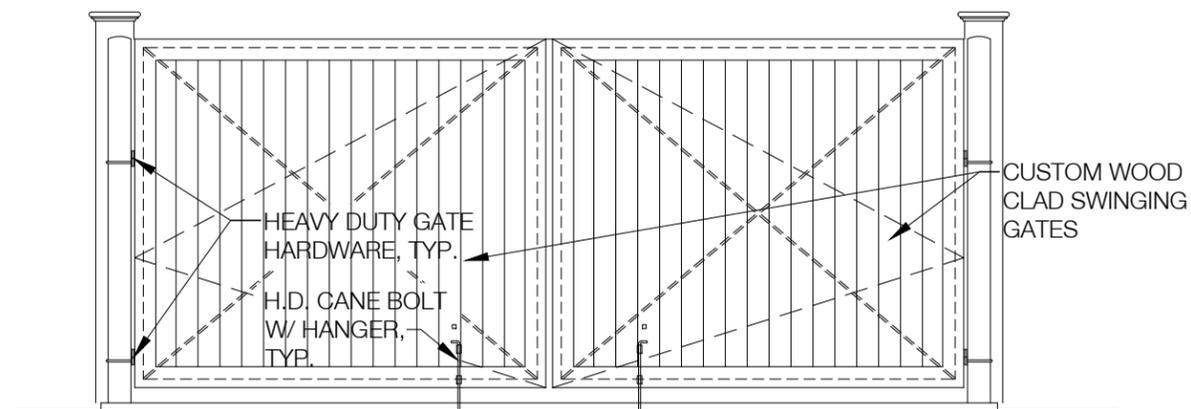
L103 SCALE: 1/4" = 1'-0"



REAR ELEVATION



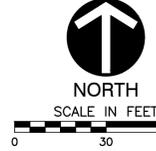
SIDE ELEVATION



FRONT ELEVATION

2 TRASH ENCLOSURE ELEVATIONS

L103 SCALE: 1/4" = 1'-0"



**LEGEND**

	EXISTING SUBJECT PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING CENTERLINE
	EXISTING EDGE OF PAVEMENT
	EXISTING STRUCTURE
	EXISTING EASEMENT
	EXISTING FENCE
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING SIGN
	EXISTING SANITARY SEWER
	EXISTING SANITARY STRUCTURE
	EXISTING STORM SEWER
	EXISTING STORM STRUCTURE
	EXISTING WATER LINE
	EXISTING WATER STRUCTURE
	EXISTING POWER POLE
	EXISTING GUY WIRE
	EXISTING OVERHEAD WIRE
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING GAS LINE
	EXISTING GAS BOX (VALVE)
	EXISTING CONCRETE (TBR)
	EXISTING DRIVE PAVEMENT (TBR)
	EXISTING GRAVEL (TBR)
	R/W RIGHT-OF-WAY
	PL PROPERTY LINE
	C CENTER LINE
	TBR TO BE REMOVED
	DND DO NOT DISTURB

- KEY NOTES**
- 150' ELECTRIC EASEMENT
  - PATH EASEMENT
  - GAS EASEMENT
  - ELECTRIC EASEMENT (TO BE VACATED)

- REFERENCES**
- EXISTING BASE MAP INFORMATION OBTAINED FROM SURVEY COMPLETED BY CEC IN AUGUST 2025 AND SUPPLEMENTED BY AUDITORS DATA ACCESSED AUGUST 2025 AND RECORD PLANS PREPARED BY EMH&T FOR THE NEW ALBANY PRESBYTERIAN CHURCH COMPLETED IN 2011.
  - EASEMENTS SHOWN ARE PER RECORD PLANS PREPARED BY EMH&T.

**SUBMITTAL RECORD**

NO.	DATE	DESCRIPTION
1	11/14/2025	1ST SUBMITTAL

8800 Lyra Drive  
Suite 300  
Columbus, OH 43240  
Ph: 614.540.6633  
www.cecinc.com



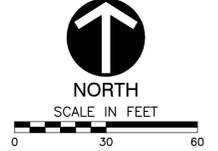
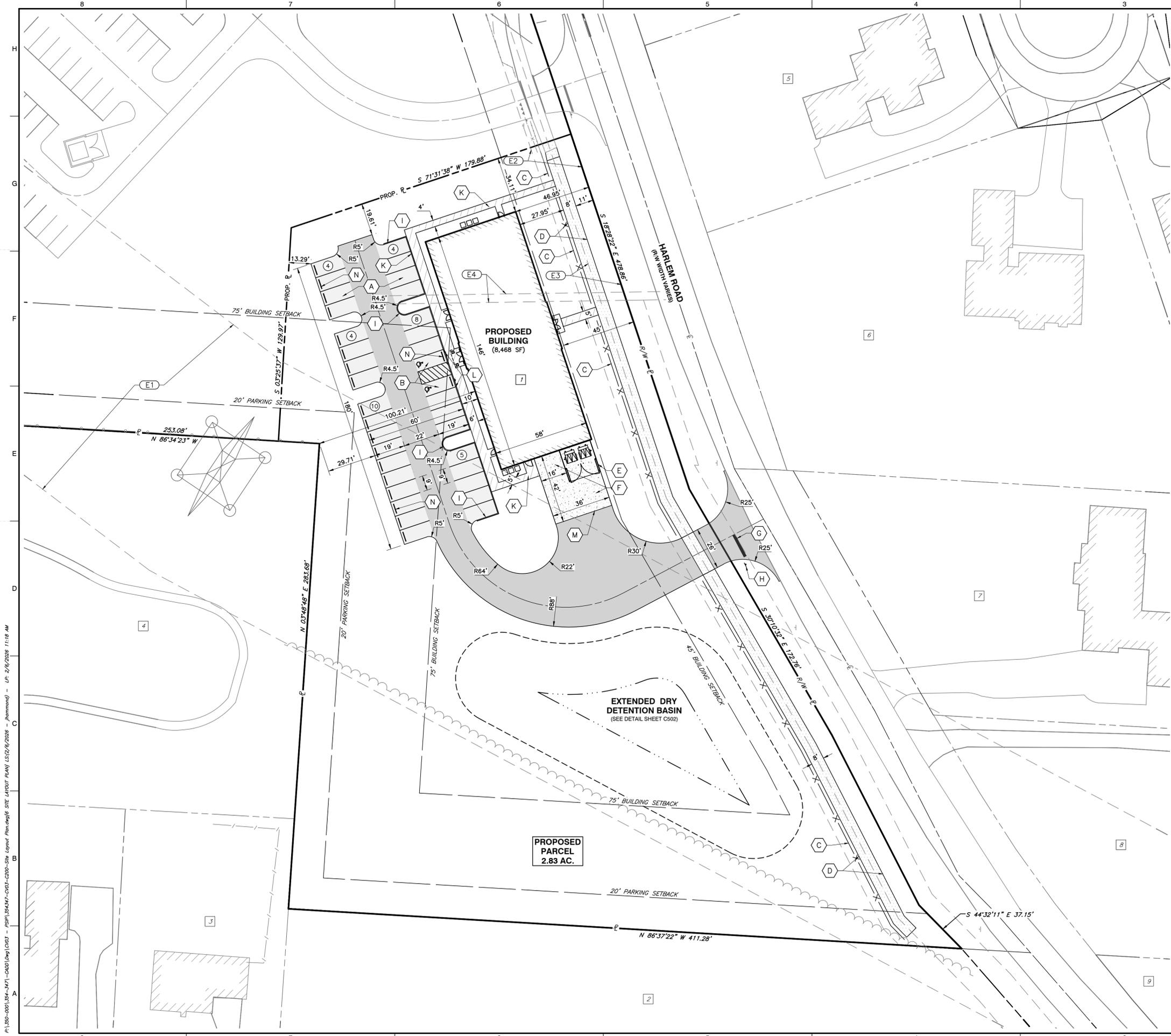
**LIFESTYLE COMMUNITIES, LTD**  
**HEALTHY NEW ALBANY FOOD PANTRY**  
**HARLEM ROAD**  
**CITY OF NEW ALBANY**  
**FRANKLIN COUNTY, OHIO**

**EXISTING CONDITIONS & DEMOLITION PLAN**

DATE:	NOVEMBER 2025	DRAWN BY:	JTH
DWG SCALE:	1"=30'	CHECKED BY:	354-347
PROJECT NO.:		APPROVED BY:	DRAFT

DRAWING NO.: **C100**  
SHEET 2 OF 5

P:\1300-200\1304-347-CAD\DWG\C100 - DEMOLITION PLAN\LS(12/29/2025 - Hammond) - LF\_12/29/2025 8:15 AM



- LEGEND**
- EXISTING SUBJECT PROPERTY LINE
  - - - EXISTING ADJACENT PROPERTY LINE
  - - - EXISTING RIGHT OF WAY
  - - - EXISTING CENTERLINE
  - - - EXISTING EDGE OF PAVEMENT
  - - - EXISTING STRUCTURE
  - - - EXISTING EASEMENT
  - - - EXISTING FENCE
  - - - PROPOSED PROPERTY LINE
  - - - PROPOSED STRUCTURE
  - - - PROPOSED SIDEWALK
  - - - PROPOSED CENTERLINE OF ROAD
  - - - PROPOSED PAVEMENT
  - - - PROPOSED CURB
  - - - PROPOSED WATER BODY
  - - - PROPOSED FENCE
  - PROPOSED HEAVY DUTY CONCRETE PAVEMENT (DETAIL 3, SHEET C003)
  - PROPOSED BIKE PATH (DETAIL 8, SHEET C003)
  - PROPOSED SIDEWALK (DETAIL 4, SHEET C003)
  - TYPICAL HEAVY DUTY ASPHALT PAVEMENT (DETAIL 2, SHEET C003)
  - TYPICAL LIGHT DUTY ASPHALT PAVEMENT (DETAIL 1, SHEET C003)

- KEY NOTES**
- (A) 9'W X 19'L PARKING SPACE
  - (B) 8'W X 19'L VAN ACCESSIBLE PARKING SPACE (DETAIL 10, SHEET C003)
  - (C) FENCE (SEE ARCHITECTURAL PLANS)
  - (D) 8' BIKE PATH (DETAIL 8, SHEET C003)
  - (E) DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
  - (F) LOADING DOCK
  - (G) 20" STOP BAR (DETAIL 14, SHEET C003)
  - (H) STOP SIGN (R1-1-24),(DETAIL 12, SHEET C003)
  - (I) CURB, STRAIGHT 18" (PER COC SCD 2000)
  - (J) CONCRETE SIDEWALK (DETAIL 4, SHEET C003)
  - (K) CONCRETE SIDEWALK ADJACENT TO CURB (DETAIL 5, SHEET C003)
  - (L) FLUSH CONCRETE SIDEWALK (DETAIL 9, SHEET C003) (SEE ADA PARKING DETAIL (SHEET C302))
  - (M) CONCRETE/ASPHALT TURNDOWN (DETAIL 6, SHEET C003)
  - (N) PARKING BLOCK (DETAIL 13, SHEET C003)
  - (E1) EX. 150' ELECTRIC EASEMENT
  - (E2) EX. PATH EASEMENT
  - (E3) EX. GAS EASEMENT
  - (E4) EX. ELECTRIC EASEMENT (TO BE VACATED)

- REFERENCES**
- EXISTING BASE MAP INFORMATION OBTAINED FROM SURVEY COMPLETED BY CEC IN AUGUST 2025 AND SUPPLEMENTED BY AUDITORS DATA ACCESSED AUGUST 2025 AND RECORD PLANS PREPARED BY EMH&T FOR THE NEW ALBANY PRESBYTERIAN CHURCH COMPLETED IN 2011.
  - EASEMENTS SHOWN ARE PER RECORD PLANS PREPARED BY EMH&T.

SUBMITTAL RECORD	
NO	DESCRIPTION

8800 Lyra Drive  
Suite 300  
Columbus, OH 43240  
Ph: 614.540.6633  
www.cecinc.com

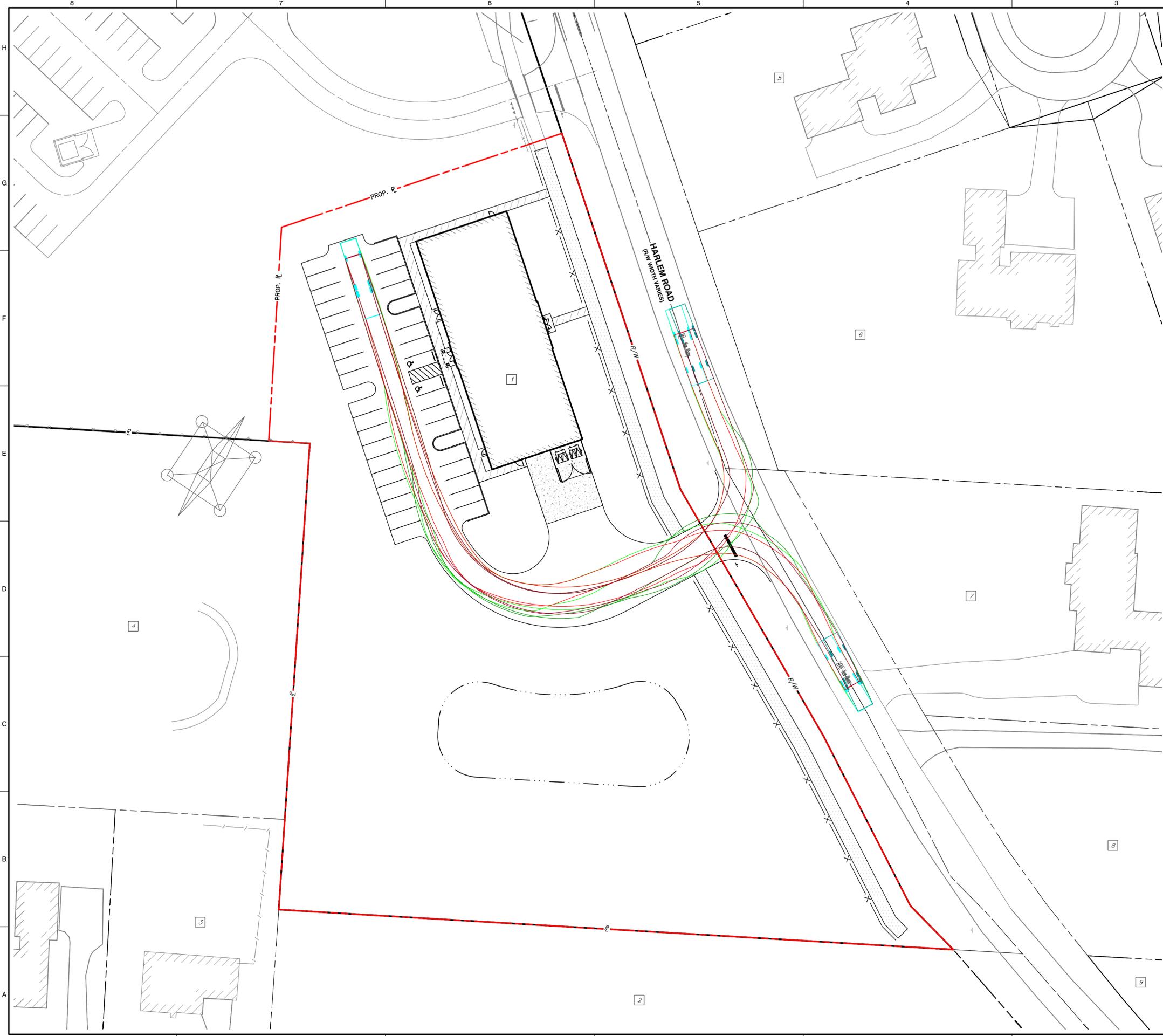


**LIFESTYLE COMMUNITIES, LTD**  
**HEALTHY NEW ALBANY FOOD PANTRY**  
**HARLEM ROAD**  
**CITY OF NEW ALBANY**  
**FRANKLIN COUNTY, OHIO**

SITE LAYOUT PLAN	
DATE:	FEBRUARY 2025
DWG SCALE:	1"=30'
PROJECT NO.:	354-347
APPROVED BY:	JTH
DRAWN BY:	JTH
CHECKED BY:	JTH
DRAFT	

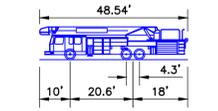
P:\350-347\354-347-CADD\DWG\C200 - SITE LAYOUT PLAN\LS(2)6/2025 - Hammond) - LP, 2/6/2025 11:18 AM

P:\350-000\354-347-C201\DWG\C201-C202 - Fire Truck Routing LS(11/7/2025 - 11/17/2025) - LF: 11/7/2025 11:06 AM



NORTH  
SCALE IN FEET  
0 30 60

**LEGEND**  
 — PROPOSED FRONT/REAR TIRE  
 — PROPOSED CAR OVERHANG  
 [Blue Outline] PROPOSED TRUCK OUTLINE



OVERALL LENGTH 48.54'  
 OVERALL WIDTH 10.00'  
 OVERALL BODY HEIGHT 10.78'  
 MIN BODY GROUND CLEARANCE 1.21'  
 MAX TRACK WIDTH 10.00'  
 LOCK-TO-LOCK TIME 4.00S  
 MAX WHEEL ANGLE 42.00'

**NEW ALBANY**  
**247" WHEELBASE FIRETRUCK**  
 NOT TO SCALE

SUBMITTAL RECORD	
NO	DESCRIPTION

8800 Lyra Drive  
 Suite 300  
 Columbus, OH 43240  
 Ph: 614.540.6633  
 www.cecinc.com

**CEC**  
 Civil & Environmental  
 Consultants, Inc.

**LIFESTYLE COMMUNITIES, LTD**  
**HEALTHY NEW ALBANY FOOD PANTRY**  
**HARLEM ROAD**  
**CITY OF NEW ALBANY**  
**FRANKLIN COUNTY, OHIO**

<b>FIRE TRUCK ROUTING</b>	
DATE: NOVEMBER 2025	DRAWN BY: JUV
DWG SCALE: 1"=30'	CHECKED BY: JTH
PROJECT NO: 354-347	DRAFT
APPROVED BY:	



# F5

F5 DESIGN/ARCHITECTURE INC  
PO BOX 86  
NEW ALBANY, OHIO 43054  
WWW.F5DESIGN.COM  
F5MAIL@F5DESIGN.COM  
TEL 614.224.4946

PROJECT NAME:

THE NEW ALBANY  
FOOD PANTRY

5220 JOHNSTOWN ROAD  
NEW ALBANY, OHIO  
43023

DESIGN REVIEW

SEAL/SIGNATURE

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Builder

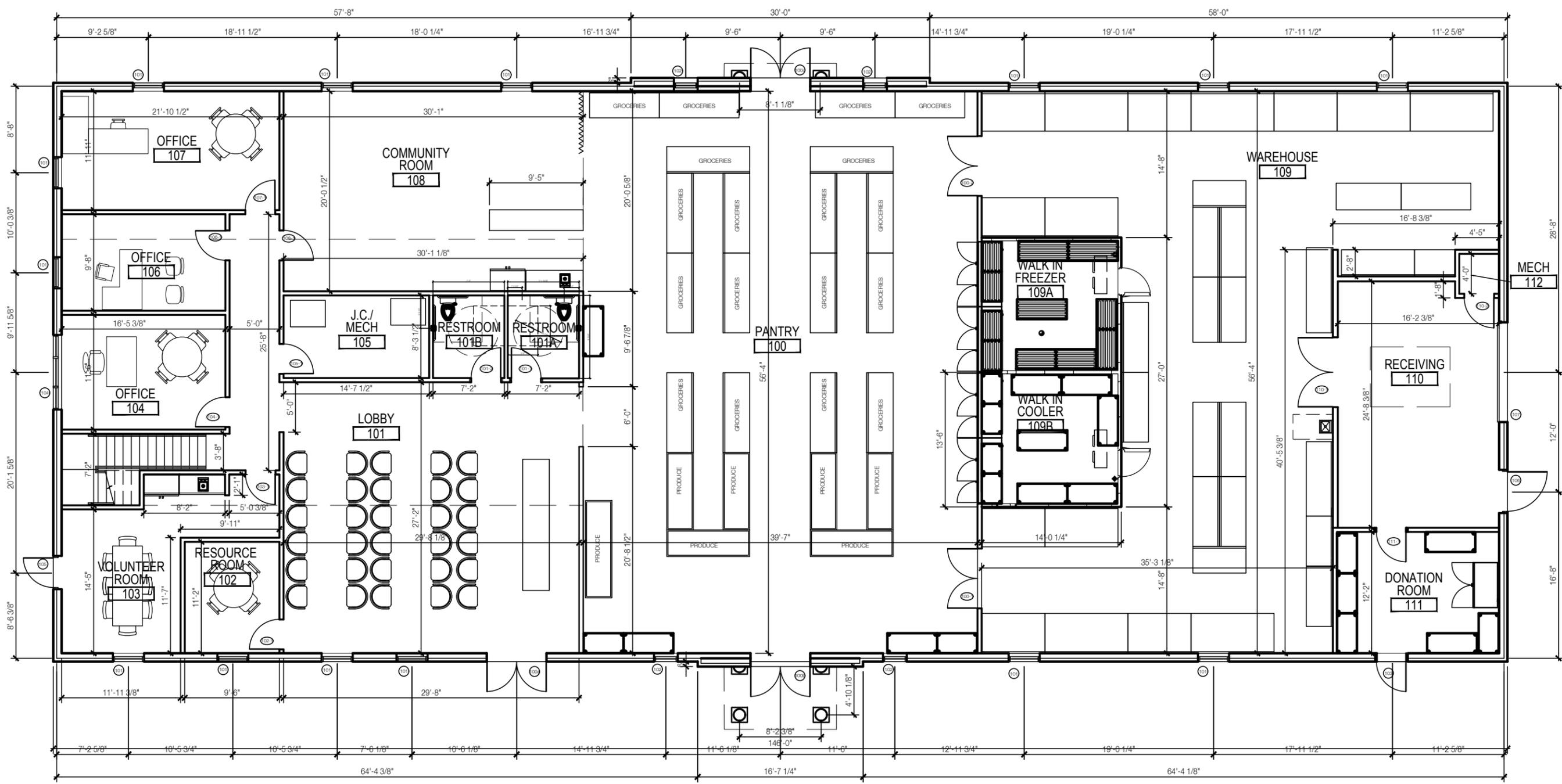
SCALE: 3/32"=1'-0"

PROJECT NO. 24002

FLOOR PLAN

12 DECEMBER 2025

# A100



1 FLOOR PLAN  
SCALE: 3/32" = 1'-0"  
0 1 2 4 8 16

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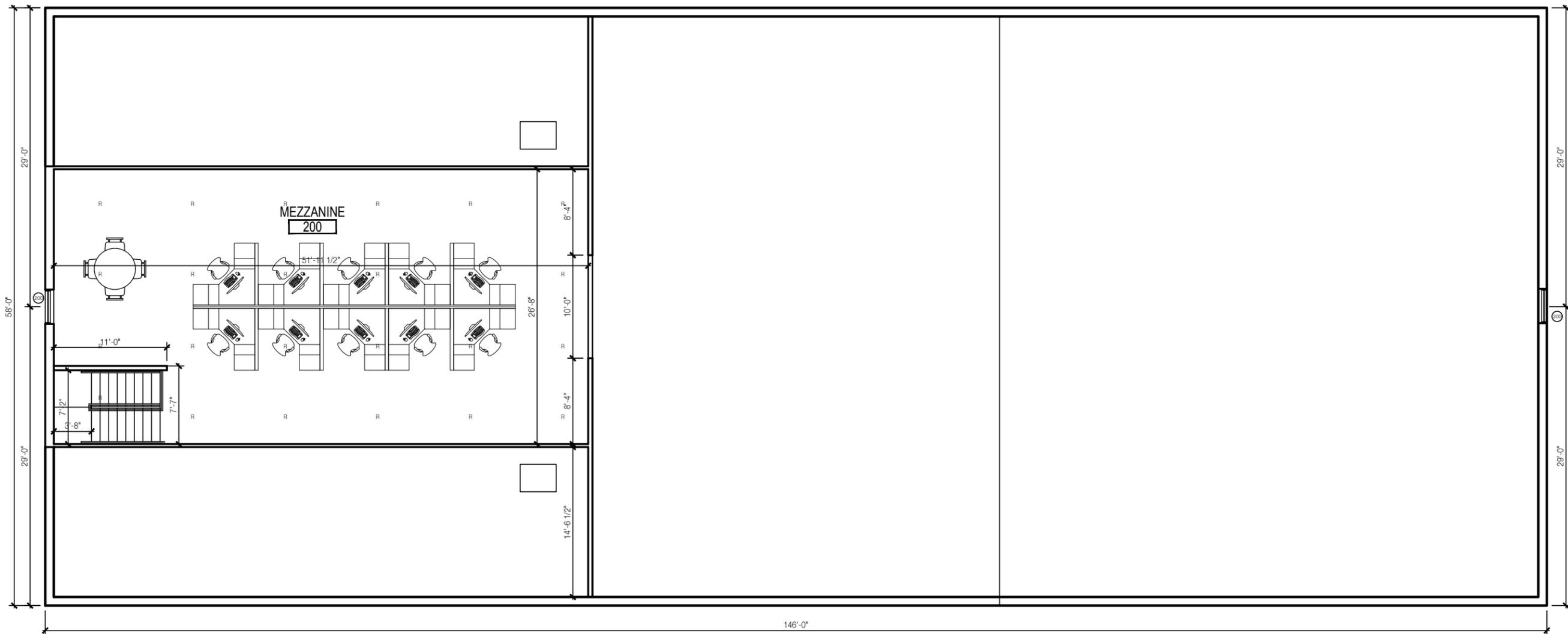
SCALE: 3/32"=1'-0"

PROJECT NO. 24002

MEZZANINE PLAN

12 DECEMBER 2025

A101



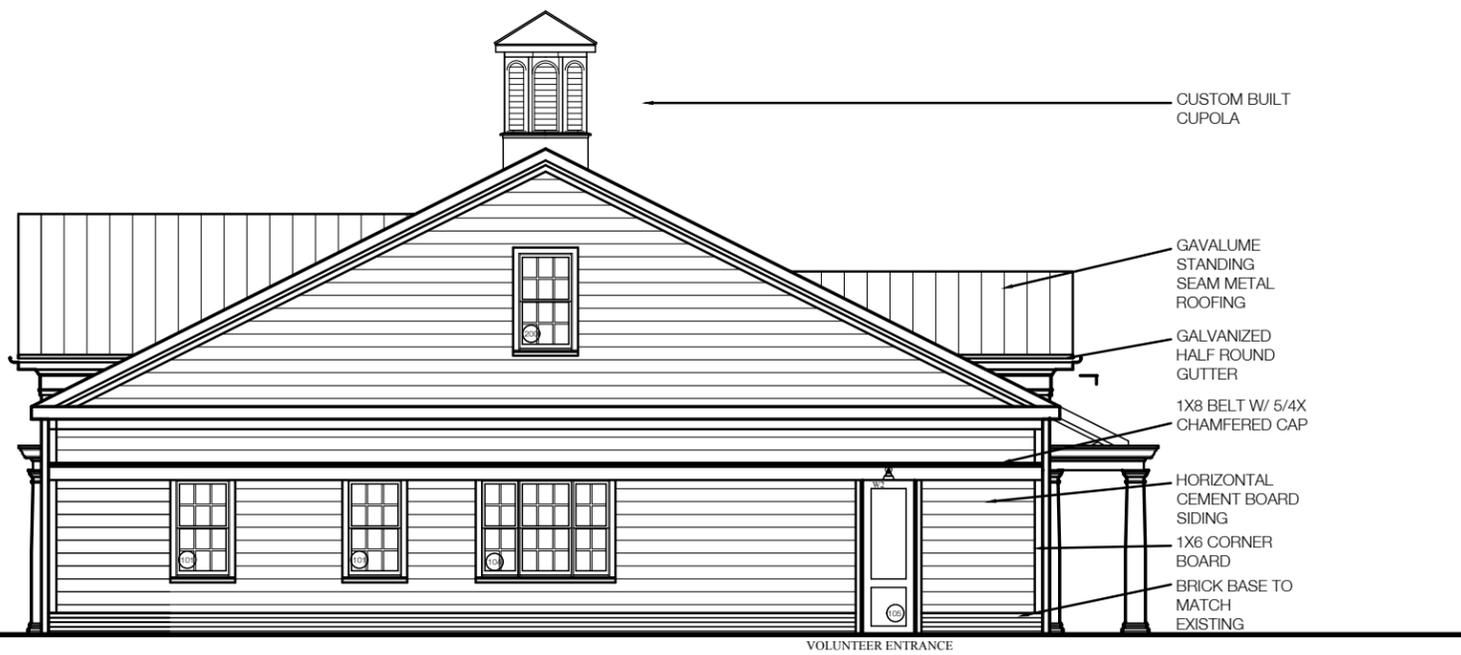
1

## MEZZANINE PLAN

SCALE: 3/32" = 1'-0"

0 1 2 4 8 16

WINDOW & EXTERIOR DOOR SCHEDULE			
THE NEW ALBANY FOOD PANTRY		NEW ALBANY, OHIO	
- WINDOW NOMENCLATURE IS BASED ON CLAD WOOD S.D.L. WINDOWS WITH 3 1/2" BRICKMOLD BY MARVIN WINDOWS (U.N.O.)			
- FIRST FLOOR ROUGH OPENING HEIGHT      VERIFY ON ELEVATION			
DESIGNATION	NOMENCLATURE	OPERATION	NOTES
(100)	6'-0" X 9'-0"	FRENCH ENTRY DOOR	
(101)	UWDH 3066	DOUBLE HUNG	
(102)	UWDH 2266	DOUBLE HUNG	
(103)	3'-0" X 9'-0"	OUTSWING DOOR	
(104)	UWDH 3066 W/ (2) 2266	DOUBLE HUNG	
(105)	4'-0" X 9'-0"	OUTSWING DOOR	
(106)	10'-0" X 10'-0"	OVERHEAD DOOR	
(200)	UWDH 3066	DOUBLE HUNG	



**2 NORTH ELEVATION**  
 SCALE: 3/32" = 1'-0"  
 0 1 2 4 8 16



**1 WEST ELEVATION**  
 SCALE: 3/32" = 1'-0"  
 0 1 2 4 8 16

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Builder  
 SCALE: 3/32"=1'-0"  
 PROJECT NO. 24002

ELEVATIONS  
 10 FEB. 2025  
 A200



2 SOUTH ELEVATION  
 SCALE: 3/32" = 1'-0"  
 0 1 2 4 8 16

WINDOW & EXTERIOR DOOR SCHEDULE

THE NEW ALBANY FOOD PANTRY NEW ALBANY, OHIO

- WINDOW NOMENCLATURE IS BASED ON CLAD WOOD S.D.L. WINDOWS WITH 3 1/2" BRICKMOLD BY MARVIN WINDOWS (U.N.O.)  
 - FIRST FLOOR ROUGH OPENING HEIGHT VERIFY ON ELEVATION

DESIGNATION	NOMENCLATURE	OPERATION	NOTES
100	6'-0" X 9'-0"	FRENCH ENTRY DOOR	
101	UWDH 3066	DOUBLE HUNG	
102	UWDH 2266	DOUBLE HUNG	
103	3'-0" X 9'-0"	OUTSWING DOOR	
104	UWDH 3066 W/ (2) 2266	DOUBLE HUNG	
105	4'-0" X 9'-0"	OUTSWING DOOR	
106	10'-0" X 10'-0"	OVERHEAD DOOR	
200	UWDH 3066	DOUBLE HUNG	

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Builder  
 SCALE: 3/32"=1'-0"  
 PROJECT NO. 24002

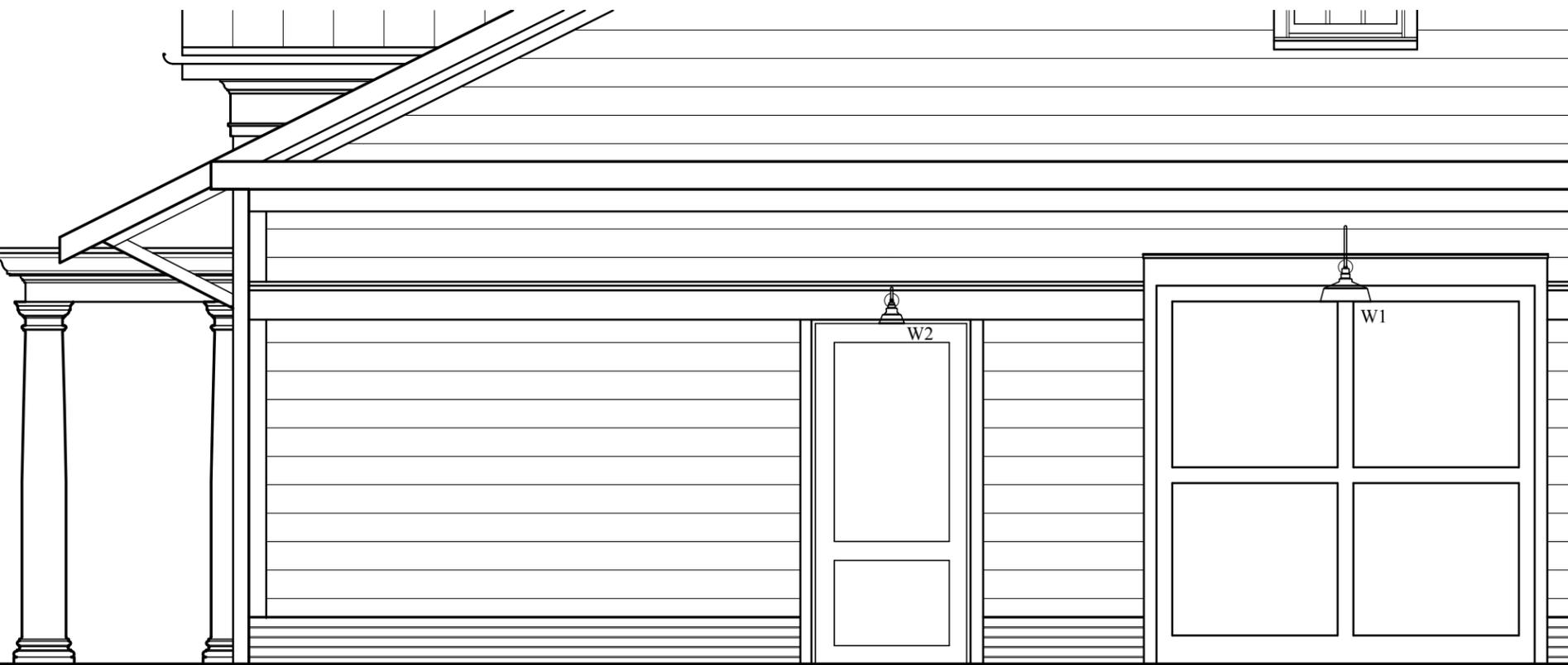
ELEVATIONS

12 DECEMBER 2025

A201

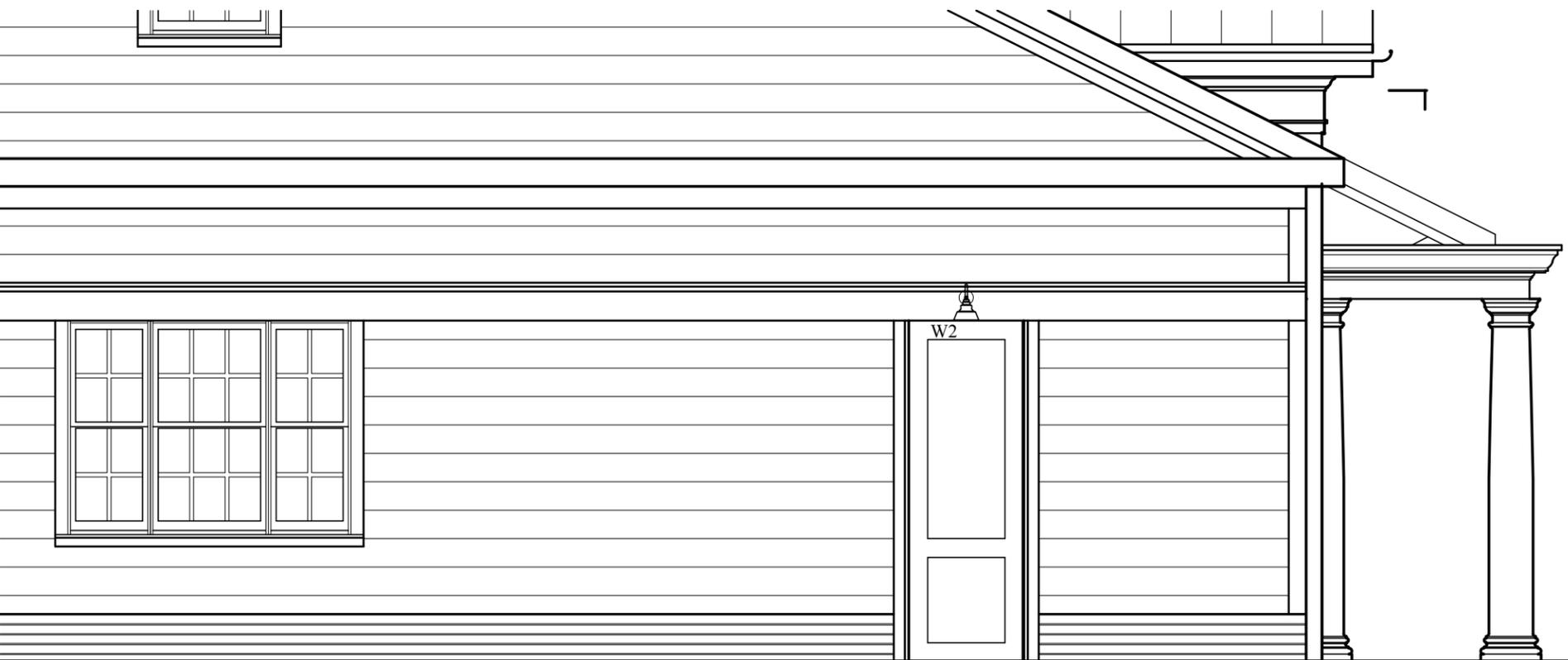


1 EAST ELEVATION  
 SCALE: 3/32" = 1'-0"  
 0 1 2 4 8 16



WAREHOUSE EXIT

# SOUTH ELEVATION - EXTERIOR LIGHTING



VOLUNTEER ENTRANCE

# NORTH ELEVATION - EXTERIOR LIGHTING



**The Gardena**  
Wall Mount FIXTURE "W1"

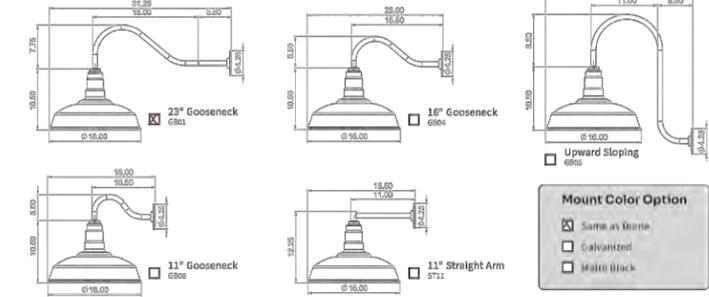


To place your order, check one box per section. For accessories & customizations, choose as many as you would like.

**Color**



**Mount**



**Accessories & Customizations**

- Marine Grade Powder Coating
- 6" Mounting Plate
- Dusk to Dawn Sensor
- 4" Round Bell Box
- Galvanized Wireguard
- E26 Dimmable LED Light Bulb
- 8 Watt, 2700K (800 Lumens)
- 12 Watt, 6500K (1600 Lumens)
- 22 Watt, 6500K (2600 Lumens)



**The Hawthorne**  
Wall Mount FIXTURE "W2"

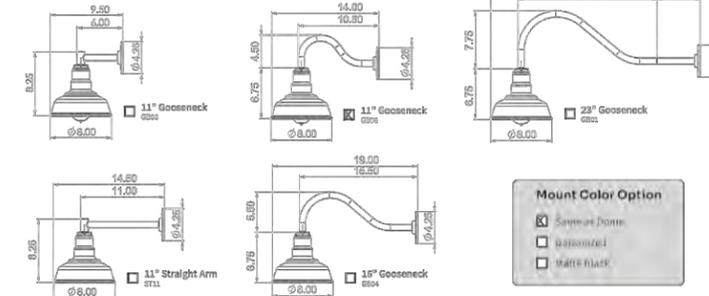


To place your order, check one box per section. For accessories & customizations, choose as many as you would like.

**Color**



**Mount**



**Accessories & Customizations**

- Marine Grade Powder Coating
- 6" Mounting Plate
- Dusk to Dawn Sensor
- 4" Round Bell Box
- E26 Dimmable LED Light Bulb
- 8 Watt, 2700K (800 Lumens)
- 12 Watt, 6500K (1600 Lumens)
- 22 Watt, 6500K (2600 Lumens)



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5220 JOHNSTOWN ROAD  
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43023

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Builder

SCALE: 1/4"=1'-0"

PROJECT NO. 24002

EXT. LIGHTING

12 DECEMBER 2025

# A202



MAIN ENTRANCE

EXIT FROM PANTRY

# WEST ELEVATION - EXTERIOR LIGHTING



## The Carson Ceiling Mount FUTURE "P1"



To place your order, check one box per section. For accessories & customizations, choose as many as you would like.

**Color**

<input checked="" type="checkbox"/>	<input type="checkbox"/>							
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**Stem/Cord**

12" Stem P112  
 Same Color as Dome  
 Galvanized

12" Sloped Stem SL12  
 Same Color as Dome  
 Galvanized

48" Cord PC48  
 Black Nylon Cord  
 White Nylon Cord

Flush Mount P100

Custom Cord/ Stem Length (\*)  
(\*) 8' length (14.4" diameter) (1" cord) (7' maximum length) (1" diameter) (12' max)

**Accessories & Customizations**

<input type="checkbox"/> Marine Grade Powder Coating	<input type="checkbox"/> E26 Dimmable LED Light Bulb
<input checked="" type="checkbox"/> 6" Mounting Plate	<input checked="" type="checkbox"/> 8 Watt, 2700K (800 Lumens)
<input type="checkbox"/> Galvanized Wireguard	<input type="checkbox"/> 12 Watt, 6500K (1500 Lumens)
<input type="checkbox"/> 4" Round Bell Box	<input type="checkbox"/> 22 Watt, 6500K (2500 Lumens)



## The Venice Wall Mount FUTURE "W3"



To place your order, check one box per section. For accessories & customizations, choose as many as you would like.

**Color**

<input checked="" type="checkbox"/>	<input type="checkbox"/>							
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**Mount**

6" Straight Arm 5706  
 11" Gooseneck 6106  
 23" Gooseneck 6901

11" Straight Arm 5712  
 15" Gooseneck 6204  
 Upward Sloping 6305

**Mount Color Option**  
 Same as Dome  
 Galvanized  
 Matte Black

**Accessories & Customizations**

<input type="checkbox"/> Marine Grade Powder Coating	<input type="checkbox"/> E26 Dimmable LED Light Bulb
<input checked="" type="checkbox"/> 6" Mounting Plate	<input checked="" type="checkbox"/> 8 Watt, 2700K (800 Lumens)
<input type="checkbox"/> 4" Round Bell Box	<input type="checkbox"/> 12 Watt, 6500K (1500 Lumens)
	<input type="checkbox"/> 22 Watt, 6500K (2500 Lumens)

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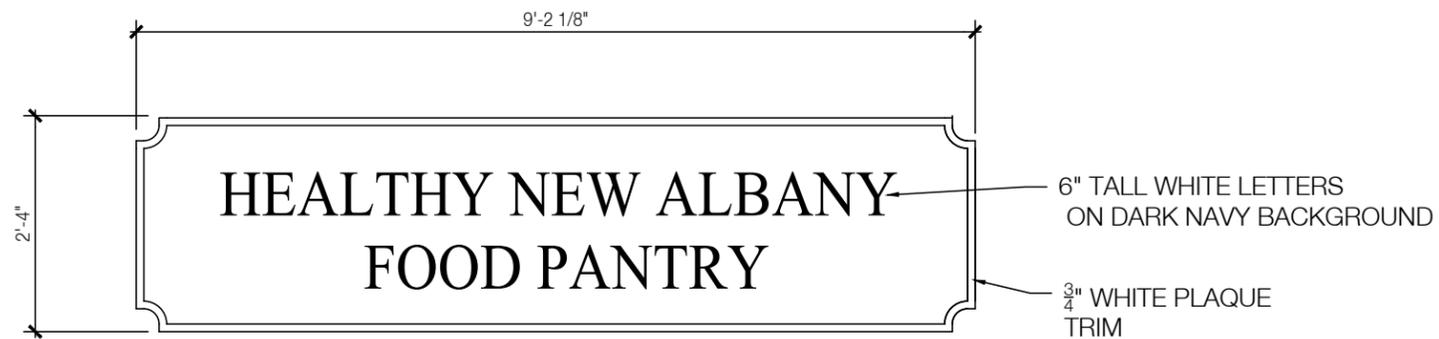
Builder

SCALE: 1/4"=1'-0"  
PROJECT NO. 24002

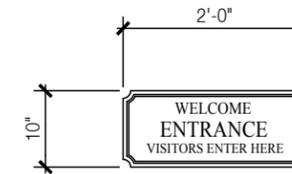
EXT. LIGHTING

10 FEB. 2025

# A203



9'-2"X2'-4" SIGN PLAQUE  
21.33 S.F. (EXTERNALLY  
ILLUMINATED)



10"X2'-0" SIGN PLAQUE  
1.66 S.F. (NON ILLUMINATED)

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Builder

SCALE: AS NOTED

PROJECT NO. 24002

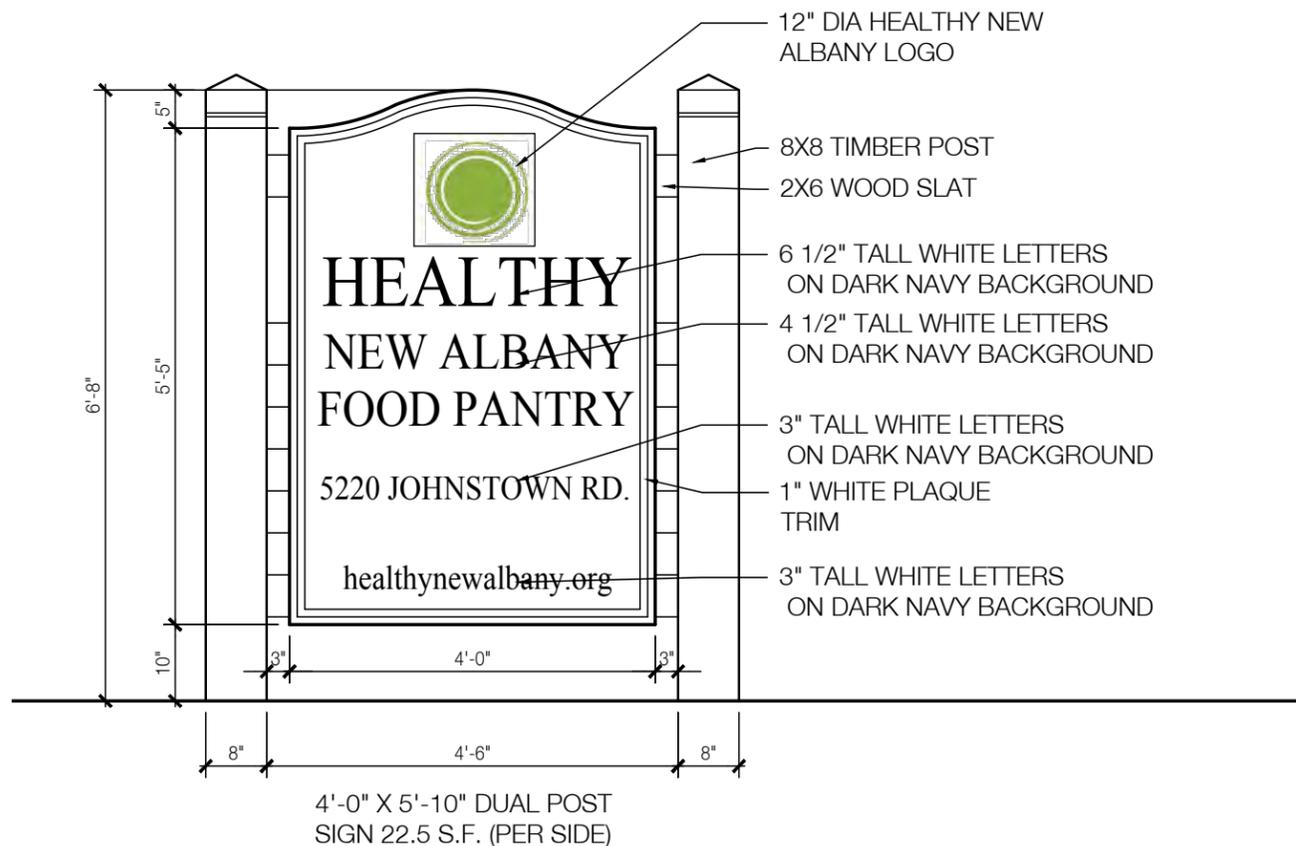
EXT. SIGNAGE

10 FEB. 2026

## A204

1 WS1- WALL MOUNTED SIGN - EAST AND WEST ELEVATION  
SCALE: 1/2" = 1'-0"

2 WS2- WALL MOUNTED SIGN - WEST ELEV.  
SCALE: 1/2" = 1'-0"



3 S1- DUAL POST SIGN  
SCALE: 1/2" = 1'-0"

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Builder

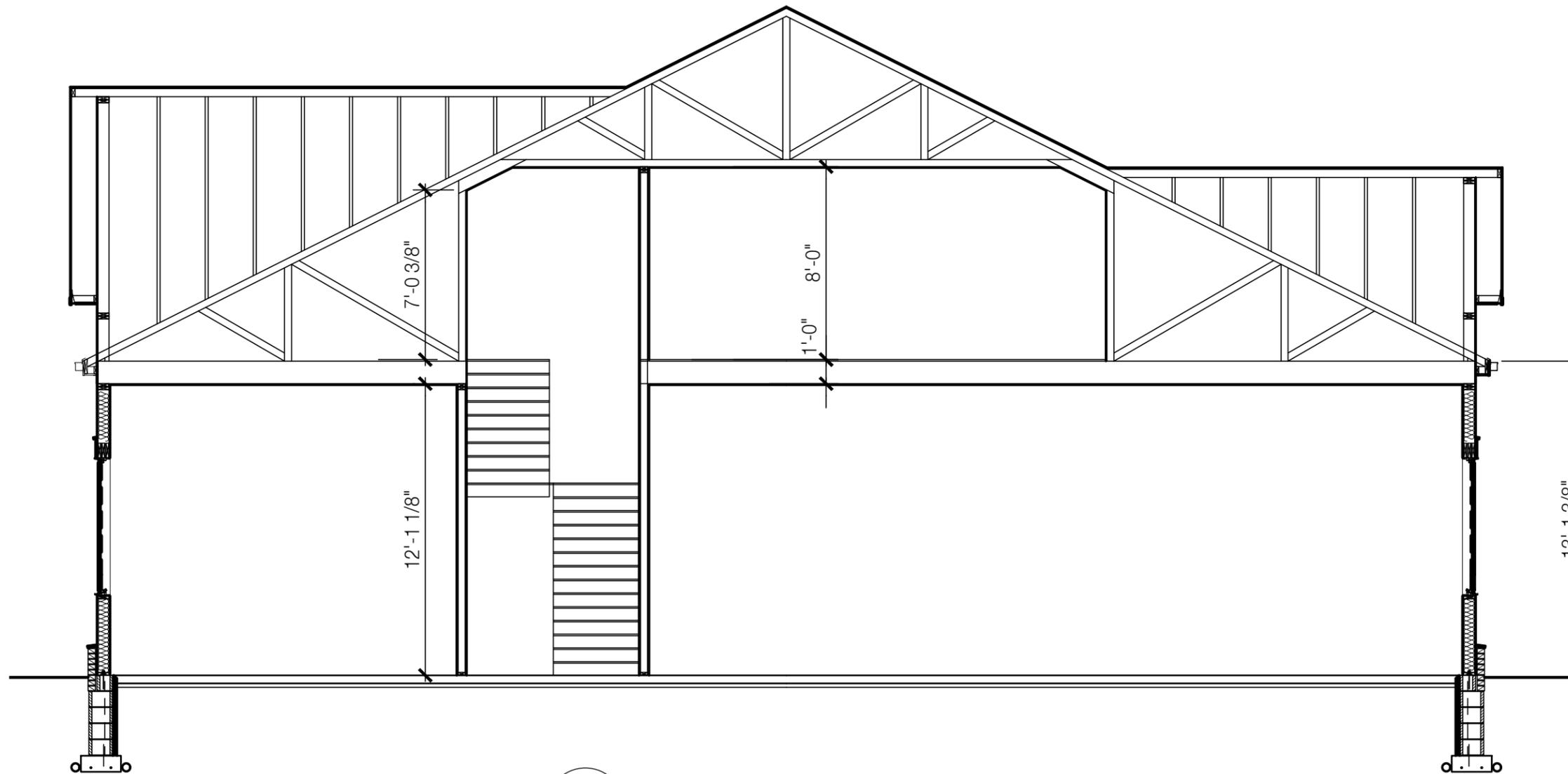
SCALE: 3/16"=1'-0"

PROJECT NO. 24002

BLDG. SECTION

12 DECEMBER 2025

A300



1

## BUILDING SECTION



SCALE: 3/16" = 1'-0"

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Builder

SCALE: NTS

PROJECT NO. 24002

CONCEPT IMAGES

12 DECEMBER 2025

# A400



1 CONCEPT IMAGE - EAST SIDE  
NOT TO SCALE

PROJECT NAME:

THE NEW ALBANY  
FOOD PANTRY

5220 JOHNSTOWN ROAD  
NEW ALBANY, OHIO  
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Builder

SCALE: NTS

PROJECT NO. 24002

CONCEPT IMAGES

12 DECEMBER 2025

# A401



1 CONCEPT IMAGE - EAST ENTRY  
NOT TO SCALE

# F5

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Builder

SCALE: NTS

PROJECT NO. 24002

CONCEPT IMAGES

10 FEB. 2025

A402



1

CONCEPT IMAGE - WEST SIDE  
NOT TO SCALE

# F5

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Builder

SCALE: NTS

PROJECT NO. 24002

CONCEPT IMAGES

12 DECEMBER 2025

# A403



1

CONCEPT IMAGE - SOUTH SIDE  
NOT TO SCALE

PROJECT NAME:

THE NEW ALBANY  
FOOD PANTRY

5220 JOHNSTOWN ROAD  
NEW ALBANY, OHIO  
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Builder

SCALE: NTS

PROJECT NO. 24002

CONCEPT IMAGES

5 FEB. 2025

A404



1

CONCEPT IMAGE - NORTH SIDE  
NOT TO SCALE

PROJECT NAME:

THE NEW ALBANY  
FOOD PANTRY

5220 JOHNSTOWN ROAD  
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SCALE: 3/32"=1'-0"

PROJECT NO. 24002

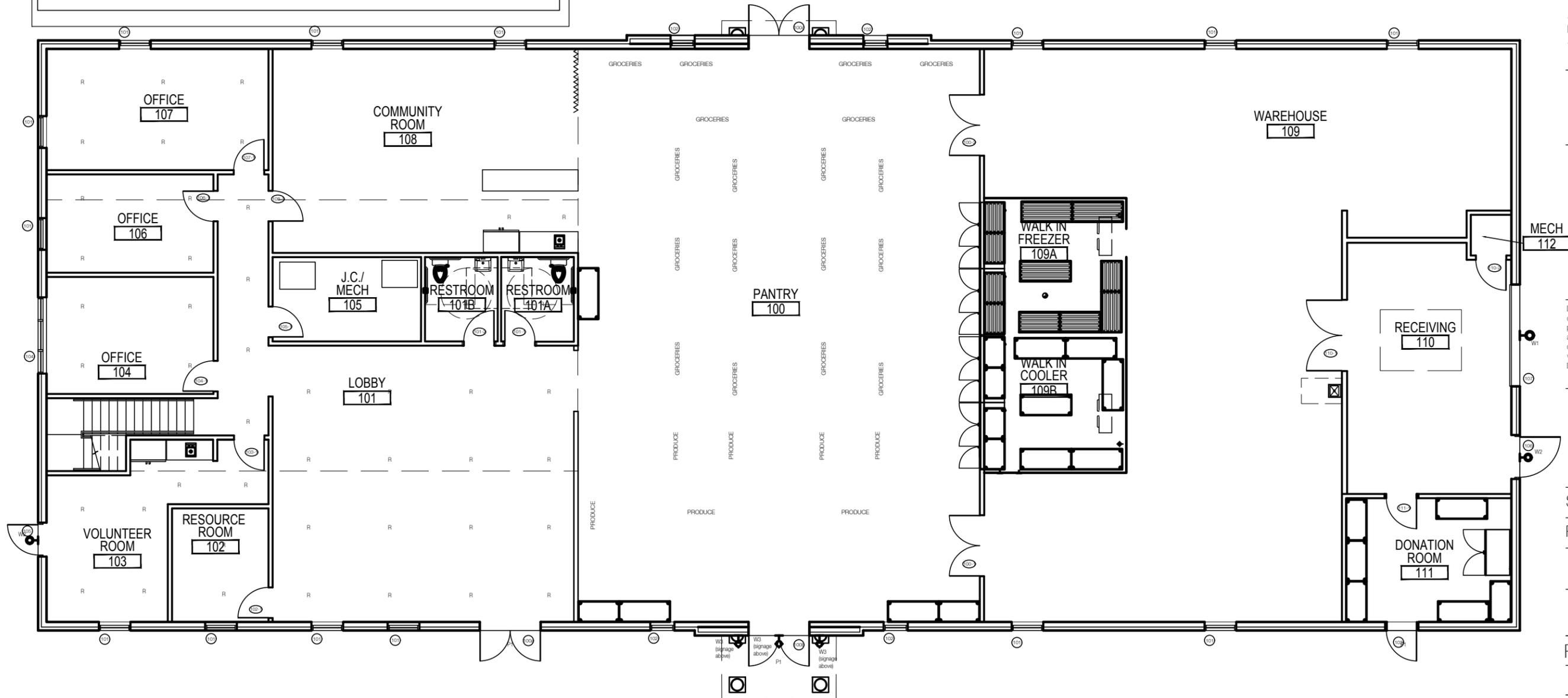
RCP

12 DECEMBER 2025

E100

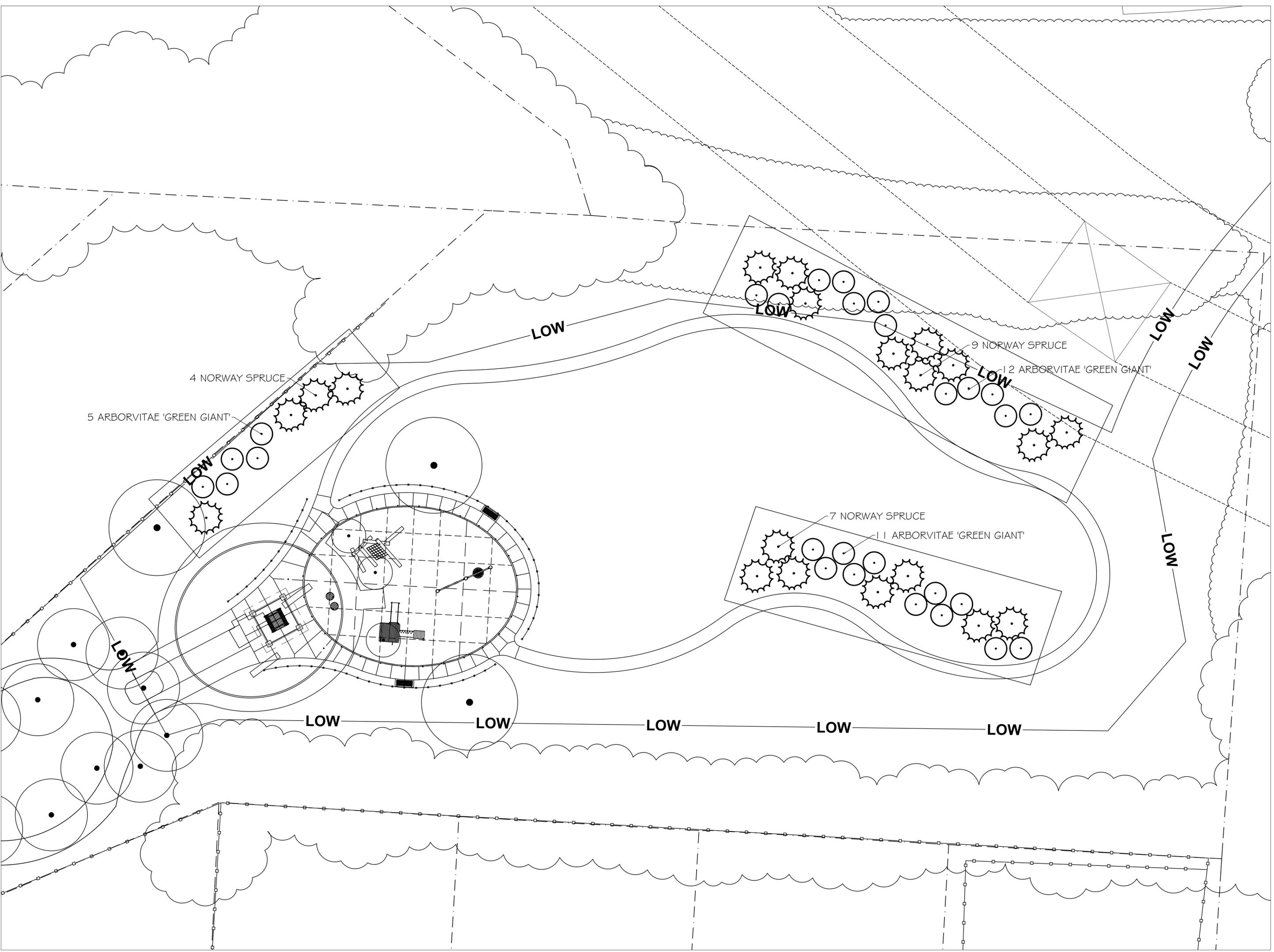
## REFLECTED CEILING PLAN SYMBOL LEGEND

 W1	EXTERIOR WALL MOUNT GOOSE NECK LIGHTING - LARGE		INTERIOR ARCHITECTURAL SUSPENDED Track Lighting, tbd
 W2	EXTERIOR WALL MOUNT GOOSE NECK LIGHTING - SMALL	 P2	INTERIOR ARCHITECTURAL PENDANT MEDIUM, tbd
 W3	EXTERIOR WALL MOUNT GOOSE NECK LIGHTING - SIGNAGE	 P3	INTERIOR ARCHITECTURAL PENDANT, SMALL, tbd
 P1	EXTERIOR ARCHITECTURAL PENDANT LARGE, tbd	 R	4" RECESSED CAN LIGHT, tbd
	4' SUSPENDED FLOURESCENT, 4'-0" SEGMENT LENGTHS, TBD		BATTERY POWERED EMERGENCY LIGHT AND EXIT SIGN
	INTERIOR ARCHITECTURAL SCONCE BY OWNER		WALL MOUNTED EMERGENCY LIGHT W/ BATTERY BACK-UP
			REMOTE EGRESS LIGHT FIXTURE



1 REFLECTED CEILING PLAN  
SCALE: 3/32" = 1'-0"





4 NORWAY SPRUCE

5 ARBORVITAE 'GREEN GIANT'

LOW

LOW

LOW

9 NORWAY SPRUCE

12 ARBORVITAE 'GREEN GIANT'

LOW

LOW

LOW

7 NORWAY SPRUCE

11 ARBORVITAE 'GREEN GIANT'

LOW

LOW

LOW

LOW

LOW

LOW

LOW

  
**NEW  
ALBANY**  
**COMMUNITY CONNECTS US**  
**Architectural Review Board Staff Report**  
**March 09, 2026 Meeting**

---

**TREVOR FURBAY SIGN  
CERTIFICATE OF APPROPRIATENESS**

---

LOCATION: 21 South High Street (PID: 222-000074)  
APPLICANT: Trevor Furbay c/o Kaylee Katterhenry  
REQUEST: Certificate of Appropriateness  
ZONING: Urban Center District (UCD): Historic Center  
STRATEGIC PLAN: Village Center  
APPLICATION: ARB-10-2026

Review based on: Application materials received on February 06, 2026.

---

*Staff report prepared by Kylie Blackburn, Planner*

**I. REQUEST AND BACKGROUND**

The applicant requests a certificate of appropriateness for a wall sign to be installed at 21 South High Street for Trevor Furbay. The wall sign's location is on the east-facing elevation along High Street. There are no signs on the building currently, just the address.

**II. SITE DESCRIPTION & USE**

Trevor Furbay is located in the Historic Center in the Urban Center District at 21 South High Street. The building sits on 0.07 acres. It will house the Trevor Furbay business, a tailor and clothiers company that sits between the Morgan Stanley building and the Go Yoga studio. The building does have two front-facing doors, but it will be the only tenant in the building.

**III. EVALUATION**

**Certificate of Appropriateness:**

Per Section 1157.07(b) any major environmental change to a property located within the Village Center requires a certificate of appropriateness to be issued by the Architectural Review Board. No environmental change shall be made to any property within the city of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.07 Design Appropriateness and 1169 City Sign Regulations**, the modifications to the building and site should be evaluated on these criteria:

1. *The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*
  - Per the city's sign code section 1169.14(a) each building or structure in the Historic Center Core sub-district shall be allowed three (3) sign types. The applicant proposes to install one wall sign with the following dimensions.

**Wall Sign**

- City sign code Chapter 1169.16 (d) permits a maximum area of 1 square foot per linear feet of building frontage not to exceed 30 square feet, allows one wall sign per business entrance, requires a maximum projection of 18” and maximum lettering height of 24”, and a minimum sign relief of 1”.
  - a. Area: 19.8 square feet [meets code].
  - b. Lighting: The applicant states they will not be illuminating the sign [meets code].
  - c. Width: 120 inches [meets code].
  - d. Height: 23.78 inches [meets code].
  - e. Colors: white and navy blue [meets code].
  - f. Relief: 1.75 inches [meets code].
- The sign reads “Trevor Furbay” and “TF” logo, with “Bespoke Tailors & Clothiers” underneath in white painted wood lettering, a white border, on a navy blue background as seen in the image below.



- The sign is made out of wood with raised wood lettering and border which is a permitted sign material.
  - C.O. 1169.12(a)(1) states that signs are to be consistent with the design/style of the building on which they are located. The proposed material and design seem appropriate for the building type and area.
2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*
    - The proposed sign is an appropriate sign type for this tenant space.
  3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
    - The sign appears to be positioned in a suitable location and does not block any architectural features.
  4. *All buildings, structures and sites shall be recognized as products of their own time.*
    - The building is a product of its own time and as such should utilize signs appropriate to its scale and style while considering its surroundings. The proposed sign is designed and scaled appropriately for this tenant space.
  5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
    - Not Applicable
  6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
    - Not Applicable
  7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
    - Not Applicable

#### **IV. SUMMARY**

The proposed sign appears to be appropriate for the space since it is consistent with the architectural character of the building and the overall Village Center. The proposed wall sign uses a dark background with light lettering to match the aesthetics of similar signs in the Village Center.

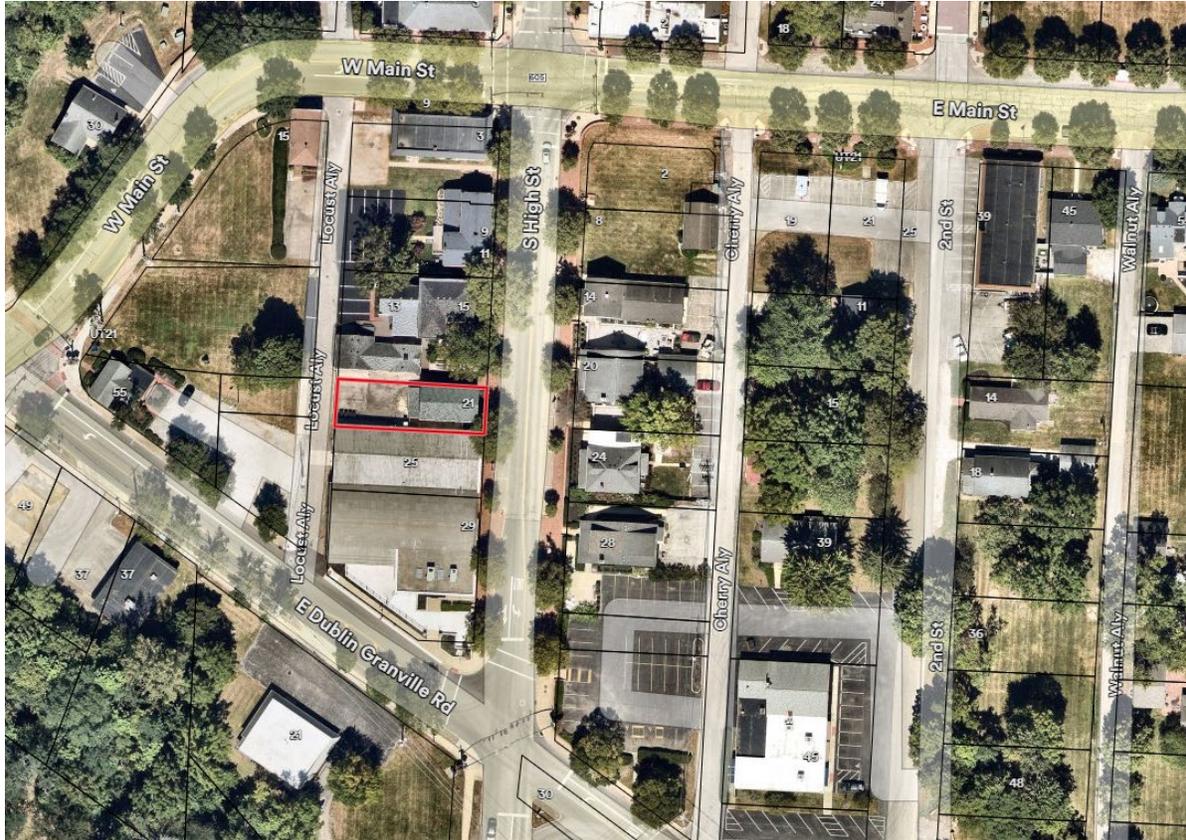
#### **V. ACTION**

Should the Architectural Review Board find sufficient basis for approval, the following motion would be appropriate.

#### **Suggested Motion for ARB-10-2026:**

Move to approve Certificate of Appropriateness application ARB-10-2026.  
(Conditions may be added)

**Approximate Site Location:**



Source: Near Map



**Community Development Planning Application**

<b>Submission</b>	<p>Submit planning applications and all required materials via email to <a href="mailto:planning@newalbanyohio.org">planning@newalbanyohio.org</a></p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>														
<b>Project Information</b>	<p>Site Address <u>21 S High Street New Albany, OH 43054</u></p> <p>Parcel Numbers <u>222-000074-00</u></p> <p>Acres <u>.07</u> # of lots created <u>0</u></p>														
	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align:left;">Choose Application Type</th> <th style="text-align:left;">Description of Request:</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td> <td rowspan="7">Exterior signage for a retail store subject to approval prior to installation</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certificate of Appropriateness</td> </tr> <tr> <td><input type="checkbox"/> Conditional Use</td> </tr> <tr> <td><input type="checkbox"/> Development Plan</td> </tr> <tr> <td><input type="checkbox"/> Plat</td> </tr> <tr> <td><input type="checkbox"/> Lot Changes</td> </tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td> </tr> <tr> <td><input type="checkbox"/> Zoning Amendment (Rezoning)</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Zoning Text Modification</td> <td></td> </tr> </tbody> </table>	Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	Exterior signage for a retail store subject to approval prior to installation	<input checked="" type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Plat	<input type="checkbox"/> Lot Changes	<input type="checkbox"/> Minor Commercial Subdivision	<input type="checkbox"/> Zoning Amendment (Rezoning)		<input type="checkbox"/> Zoning Text Modification	
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	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:20%;">Name</td> <td>Trevor Furbay</td> </tr> </table>	Name	Trevor Furbay	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:20%;">Name</td> <td>New Albany Co</td> </tr> </table>	Name	New Albany Co									
Name	Trevor Furbay														
Name	New Albany Co														
<b>Signature</b>	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner <u></u> Date: <u>2-5-26</u></p> <p>Signature of Applicant <u></u> Date: <u>2/5/2026</u></p>														

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

Fees & Submittal Information

Appeal		250.00	_____
Certificate of Appropriateness			_____
	ARB – single and two family residential	100.00	_____
	ARB – All other residential or commercial	300.00	_____
	ARB - Signage	75.00	<u>75.00</u>
Conditional Use		600.00	_____
Development Plan – Preliminary PUD or Comprehensive			_____
	Planning fee	First 10 acres	750.00
		Each additional 5 acres or part thereof	50.00 / each
	Engineering fee	1-25 lots	155.00 / each
		Minimum fee	1000.00
	Engineering fee	26 – 50 lots	3875.00
		Each additional lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each additional lot over 51	50.00 / each
Development Plan – Final PUD			_____
	Planning fee	First 10 acres	650.00
		Each additional 5 acres or part thereof	50.00
	Engineering fee	1-25 lots	155.00 / each
		(minimum fee \$1,000.00)	3875.00
	Engineering fee	26 – 50 lots	3875.00
		Each additional lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each additional lot over 51	50.00 / each
Development Plan – Non-PUD		300.00	_____
Development Plan / Text Amendment		600.00	_____
Plat – Road Preliminary			_____
	Planning fee		350.00
	Engineering fee	no lots on either side of street	1.00 / LF
		lots on one side of street	.50 / LF
		Minimum fee	1,000.00
Plat – Road Final			_____
	Planning fee		350.00
	Engineering fee	no lots on either side of street	1.00 / LF
		lots on one side of street	.50 / LF
		Minimum fee	1,000.00
Plat – Subdivision Preliminary			_____
	Planning		650.00
		Plus each lot	50.00 / each
	Engineering fee	1-25 lots	155.00 / each
		(minimum fee \$1,000.00)	3875.00
	Engineering fee	26 – 50 lots	3875.00
		Each lot over 26	75.00 / each
	Engineering fee	Over 51 lots	5750.00
		Each lot over 51	50.00 / each

## **Exterior Sign Details**

### **Business Name:**

Trevor Furbay Bespoke Tailors & Clothiers

### **Sign Type**

- One (1) wall-mounted exterior sign

### **Materials**

- Sandblasted wood sign panel
- Raised wood lettering and border
- Painted, non-reflective finish

### **Location**

- Sign to be centered on the primary street-facing façade, mounted above the main entrance at the first-floor level.

### **Colors**

- Background: Navy (PMS289)
- Lettering: White

### **Dimensions**

- Approx. 120" W × 23.78" H
- Panel thickness: 1.75"
- Flush-mounted to façade

### **Mounting Method**

- Flush-mounted to building façade

### **Illumination**

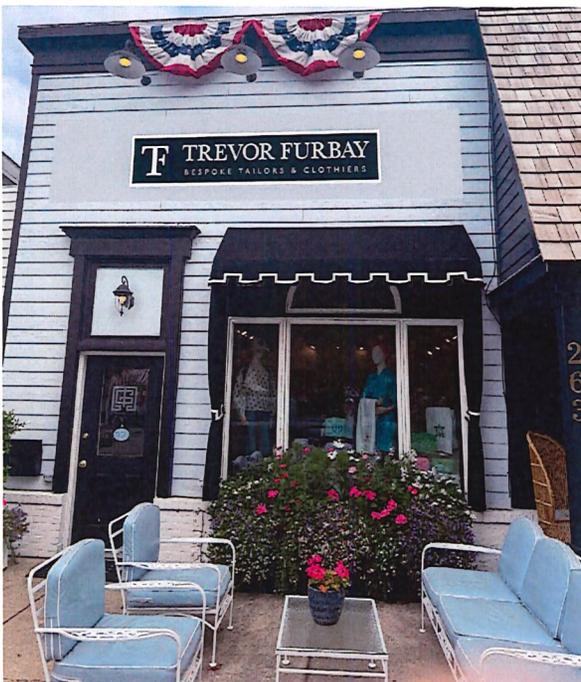
- No illumination proposed

### **Compliance**

- Signage design, materials, and placement will comply with Historic Core district signage regulations and will not be installed prior to approval.



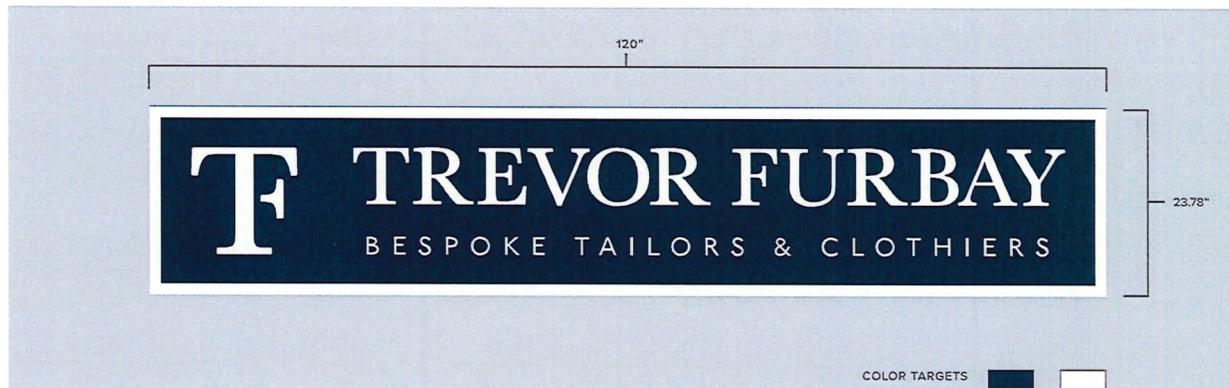
**T** **TREVOR FURBAY**  
BESPOKE TAILORS & CLOTHIERS



TREVOR FURBAY  
BESPOKE TAILORS & CLOTHIERS

EXTERIOR SIGN AESTHETIC SUBMISSION for CONSIDERATION

NEW ALBANY



RAISED FRAMING AND WHITE TYPE

LISTEN - IDENTIFY - IMAGINE - DO

TOMMYINK | DESIGN STUDIO  
BRANDING BUILT TO LAST



Architectural Review Board Staff Report  
March 09, 2026 Meeting

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**11-9 SOUTH HIGH STREET  
CERTIFICATE OF APPROPRIATENESS AND WAIVERS**

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LOCATION: 11-9 South High Street (PID: 222-000077)  
APPLICANT: F5 Design c/o Todd Parker  
REQUEST: Certificate of Appropriateness  
ZONING: Urban Center Code: Historic Center Sub-District  
STRATEGIC PLAN: Village Center  
APPLICATION: ARB-11-2026

Review based on: Application materials received February 9, 2026.

*Staff report prepared by Jay Henderson, Planner I.*

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**I. REQUEST AND BACKGROUND**

The applicant requests a certificate of appropriateness and waivers to allow for the construction of a new detached garage, private swimming pool, patio, and privacy wall, as well as building modifications and the removal of parking spaces at 11–9 South High Street.

Per Section 1157.07(b), any major environmental change to a property within the Village Center requires a certificate of appropriateness from the Architectural Review Board. In considering this request for a new garage and the additional exterior modifications in the Village Center, the Architectural Review Board is directed to evaluate the application based on criteria in Chapter 1157, Chapter 1173, and the New Albany Design Guidelines and Requirements.

The applicant requests the following waivers as part of this application:

- A. Waiver to Codified Ordinance 1173.02(c) to allow the pool paved areas to be 7 feet and 6 inches from the property line, where the code requires a minimum of 15 feet.
- B. Waiver to Codified Ordinance 1173.02(c) to allow the pool equipment to be 3 feet from the property line, where the code requires a minimum of 15 feet.

**II. SITE DESCRIPTION & USE**

The 0.11 +/- acre site is located in the center of Village Center on South High Street. The property is zoned in the Historic Center subdistrict of the Urban Center Code, and the building typology is reviewed under Traditional Commercial. The property contains a 2-story brick building that was built in 1910. The property has rear access from an alley to the west and is surrounded by properties on all other boundaries with buildings that are zoned Historic Center sub-district.

**III. EVALUATION**

**Certificate of Appropriateness**

The ARB’s review is pursuant to C.O. Section 1157.06. No environmental change shall be made to any property within the Village of New Albany until a Certificate of Appropriateness has been properly applied for and issued by staff or the Board. Per Section **1157.09 Criteria for**

**Evaluation of Application for Certification of Design Appropriateness**, the addition of the building and site should be evaluated on these criteria.

*1. The compliance of the application with the Design Guidelines and Requirements and Codified Ordinances.*

- The applicant proposes to construct a detached garage, private swimming pool, exterior modifications, and associated building modifications consisting of 1,017 square feet of office space on the first floor and converting part of the first floor and the second floor into one residential unit for a total of 1,370 square feet.
  - Since this application is for the addition of a detached garage and associated exterior modifications, and a change in use within the Village Center, staff evaluated the proposal using standards found in sections 2, 3, and 4 of the DGRs, where applicable. Additionally, the private swimming pool was evaluated using the Codified Ordinance 1173.02.
  - The city architect has reviewed the proposal and recommended that the applicant change the original garage color to a tone that is lighter than the trim of the existing home and single bay window on the garage to match the existing windows on the existing structure.
  - The applicant made these updates, and the city architect reviewed them and is supportive of the designs.
- Section 2 (II.B.3) Design Guidelines & Requirements (DGRs) states garages and outbuildings shall be clearly secondary in character, by means of a simplified design compatible with that of the primary structure
  - The applicant proposes a detached garage with a standing seam metal roof that contains a double-hung single window on the north façade and a sliding glass door on the south façade. The gray hardi-plank siding complements the existing structure on site and is an approved material noted in the DGRs.
- Section 3(I.A.3) of the DGRs states that parking for commercial structures shall be primarily along public streets or at the rear behind the buildings.
  - The building includes three parking spaces in the rear setback along Locust Alley. Additionally, High Street provides on-street parking along the building's frontage.
- Section 3(II.D.1) of the DGRs states that true wood exterior materials are most appropriate, and the use of alternative materials such as Hardi-Plank, vinyl, and other modern materials may be appropriate when they are used in the same way traditional materials would have been used.
  - The applicant proposes using James Hardie vertical board and batten siding for the detached garage and a standing seam metal roof as a complementary material to the existing structure.
- Section 4(I.B.1) of the DGRs states that additions, accessory structures, and building modifications shall observe and respect the design elements of the existing building(s) on the site; and shall employ the same or similar design elements, including but not limited to roof shape, exterior surface materials, roof materials, windows, doors, and architectural style.
  - The applicant proposes modifications to the existing building, including installation of a standing seam metal roof on the rear of the home to match the color of the existing shingles and proposed garage, conversion of a first-floor door to a double-hung window (see image below), conversion of a second-floor window to a single door, and construction of a deck with wrought iron railings. The primary building modifications are focused on the rear, which will not take away from the character of the existing structure.
  - In addition to the building modifications, the applicant proposes a detached garage that contains a double-hung single window on the north façade,

sliding glass pane doors facing the swimming pool paved area, and a standing seam metal roof.

- The applicant is also proposing a private swimming pool associated with a paved area, pool equipment, a 5-foot-tall brick privacy wall, and a lockable gate. The brick privacy wall is noted to match the brick on the existing structure.



- Section 4(I.B.3) of the DGRs states that additions, accessory structures, and building modifications shall be designed in a way that does not obscure, destroy, or otherwise compromise the character and design of the existing building(s) on the site. Additionally, section 4(I.B.4) of the DGRs Additions, accessory structures, and building modifications shall employ similar materials to those that predominate in existing structures or that are consistent with the character and architectural style of the original building design.
  - The proposed detached garage is located behind the primary structure on the site, preserving the existing building's character.
- City Codified Ordinance section 1173.02(c) requires that private swimming pools, including any walks, paved areas, equipment, and appurtenances thereto, shall not be located in any front yard, nor closer than fifteen (15) feet to any property line.
  - The applicant proposes a pool deck that is shown to be 7 feet and 6 inches from the southern property line. The applicant is requesting a waiver to allow for the pool deck to be located within the required setback.
  - The applicant proposes locating the pool equipment next to the existing HVAC equipment on site in the rear yard. The equipment is proposed to be three feet from the property line. The applicant is requesting a waiver to allow the pool equipment to be located within the required setback.

2. *The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.*

**Landscape**

- Urban Center Code Section 2.92.1 states that all street and side yards where present shall be landscaped with trees, shrubs, grass, ground covers or other plant materials or a combination of these materials.
  - The applicant proposes a mixture of shrubs and trees throughout the rear of the site to meet this requirement.

**Vehicular and Pedestrian circulation:**

Urban Center Code section 2.89.2 for Live-work requires a minimum of one off-street parking space per unit and a maximum of two and ¼ off-street spaces per unit. Additionally, available on-street parking within 100' of the property lines shall provide a ½ space credit towards the off-street parking requirement.

- The applicant is providing a total of three off-street parking spaces on site. One for the residential unit, and two spaces for the commercial unit.
- In addition to the off-street parking provided, the building fronts onto South High Street, where there is a total of 18 existing on-street parking spaces immediately adjacent to the building.
- There are 12 off-street parking spaces. With the ½ space credit for on-street parking, the applicant meets the required number of parking spaces.
- Bicycle parking is not required for this application.

### **Signage**

- No new signage was submitted for review. All new signage is subject to ARB review and approval in any future instances.
3. *The distinguishing original qualities or character of a building, structure, site and/or its environment shall not be destroyed.*
    - The original qualities and character of the existing structure will not be destroyed as the applicant proposes to swap the existing first-floor door with a double-hung window and the second-floor window with a single door. Additionally, the applicant is proposing a new deck with an iron guard rail above the rear entrance of the structure.
  4. *All buildings, structures and sites shall be recognized as products of their own time.*
    - The addition is sensitive to the existing character and uses materials and colors that complement or match the existing building.
  5. *Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be created with sensitivity.*
    - The applicant proposes hardi-plank material for the accessory structure, which is a suggested material in the DGRs. The hardi-plank color was a recommended change from the city architect to emphasize a lighter color than the existing buildings' trim color.
  6. *The surface cleaning of masonry structures shall be undertaken with methods designed to minimize damage to historic building materials.*
    - Not applicable.
  7. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*
    - It does not appear that the proposed detached garage and associated building modifications would impair the essential form and integrity of the original structure if they were to be removed in the future.

### **Urban Center Code Compliance**

The proposed garage in question is located in the Historic Center subarea within the Urban Center District and is evaluated under the UCC section 3.28. The building modifications are evaluated under the Traditional Commercial building typology section of the UCC 2.87.

#### **Traditional Commercial Typology:**

The site in question is located in the Historic Center subarea within the Urban Center District. The building typology evaluated is Traditional Commercial. The proposal complies with the typology standards listed in this section of the Urban Center Code.

Lot and Building Standards:

- The principal structure on site is existing and meets all standards. The detached garage meets these requirements where applicable.

**Traditional Commercial (UCC Section 2.87)**

<b>Standard</b>	<b>Minimum</b>	<b>Maximum</b>	<b>Proposed</b>
Lot Area	No min	No max	5227.2 sf.
Lot Width	No min	200'	51'
Lot Coverage	No min	100%	81.8%
Street Yard (a)	5'	20'	11'
Side Yard (b)	0'	20'	n/a
Rear yard (c)	15'	No max	68'2"
Bldg Width	80%	100%	100%
Stories	2	3	2
Height (d)	No min	55'	27'

Lot Access Standards

- 2.88.1 states that where an alley is present, parking and services shall be accessed through an alley. The site's parking is in the rear of the lot along Locust Alley.

Service & Utility Standards

- Per 2.90, above-ground mechanical devices, ground utility structures, and trash containers shall be screened from the street. The applicant meets this requirement by placing the pool equipment at the rear of the building, screened from public view.

Landscape Standards

- 2.91 states that all street and side yards, where present, shall be landscaped with trees, shrubs, grass, ground covers, or other plant materials or a combination of these materials. The applicant has proposed a mix of arborvitae and boxwood hedges.

Detached Rear Covered Parking Standards

**3.28 Detached Rear Covered Parking Standards**  
**3.28.1** If an alley is present, access to the covered parking structure must be from the alley.  
**3.28.2** The following standards for covered parking structures shall be as follows:  
*Minimum side (a):* Same as building typology  
*Minimum rear (b):* 5' or up to 0' if 16' wide alley is present  
*Minimum clear (c):* 15% of rear yard  
*Maximum height (d):* 25'  
*Maximum area:* 800 sq

- The proposed garage square footage is 336 square feet in size and is 14 feet in height.
- The side yard requirement is met as the associated building typology has a minimum of 0 feet.
- The garage is approximately 21 feet from the alley.

**Waiver Request**

The ARB's review is pursuant to C.O. Section 1113.11 Action by the Architectural Review Board for Waivers, within thirty (30) days after the public meeting, the ARB shall either approve, approve with supplementary conditions, or disapprove the request for a waiver. The ARB shall only approve a waiver or approve a waiver with supplementary conditions if the ARB finds that the waiver, if granted, would:

- a) *Provide an appropriate design or pattern of development considering the context in which the development is proposed and the purpose of the particular standard. In evaluating the context as it is used in the criteria, the ARB may consider the relationship of the proposed*
- b) *Substantially meet the intent of the standard that the applicant is attempting to seek a waiver from, and fit within the goals of the Village Center Strategic Plan, Land Use Strategic Plan and the Design Guidelines and Requirements;*
- c) *Be necessary for reasons of fairness due to unusual building, structure, or site-specific conditions; and*
- d) *Not detrimentally affect the public health, safety or general welfare*

The applicant is requesting the following waivers as part of this application:

- A. Waiver to Codified Ordinance 1173.02(c) to allow the pool paved areas to be 7 feet and 6 inches from the property line, where the code requires a minimum of 15 feet.**
- B. Waiver to Codified Ordinance 1173.02(c) to allow the pool equipment to be 3 feet from the property line, where the code requires a minimum of 15 feet.**

**(A) Waiver to Codified Ordinance 1173.02(c) to allow the pool paved areas to be 7 feet and 6 inches from the property line, where the code requires a minimum of 15 feet.**

The following should be considered in the board's decision:

1. Within the Urban Center Code section 2.4.4, it states that swimming pools shall be regulated by Codified Ordinance 1173. 1173 lists the standards for private swimming pools, one of which is that the minimum setback for any walks, paved areas, equipment, and appurtenances is at least 15 feet from any property line. The applicant proposes the swimming pool paved area on the southern end of the property to be 7 feet and 6 inches, thus requiring a waiver.
2. The purpose of the 15-foot setback from property lines is to provide visual and physical separation between recreational uses and the surrounding area. The Village Center is intentionally planned as a compact, walkable, mixed-use environment that integrates residential and commercial uses within a dense, pedestrian-oriented setting. Its design framework supports reduced setbacks and efficient site utilization to reinforce an active streetscape and cohesive urban form. With the intention of the Village Center as a dense area, a setback of 15 feet for pool paved areas, and appurtenances would put the property at a constraint to utilize their property as others in the city have. To help create a visual separation, the applicant is proposing physical barriers; there will be a 5-foot-tall privacy wall along the west and south end of the property, the proposed garage on part of the north end, and a 5-foot-tall fence connecting the garage and the remaining rear yard.
3. The UCC was adopted with the intention that the Codified Ordinance for pool setbacks would apply. And these setback standards are typical for a more traditional suburban lot, which is developed outside of Village Center. The applicant's proposal meets the requirement on three of four sides of the rear yard. The applicant is not altering the lot to disrupt the intended density of the area but is making use of the opportunity presented and complying in as many ways as possible. That said, the waiver request does not impede the Village Center's intentions. The application meets the intent of the standard the applicant seeks to waive and aligns with the city's goals for the Village Center Strategic Plan and the Design Guidelines and Requirements.
4. The request is necessary for reasons of fairness due to site size constraints for a code that is typical for suburban residential homes with larger lot sizes. Since the site is limited in size, the applicant/property owner is limited in space to make improvements to the lot and meet the code requirements for pool paved area setbacks. If the patio were not associated with a pool, it would meet the applicable setback requirements. It is only the classification of the paved area as part of the pool that triggers additional restrictions.

While the code permits the installation of a standard fence that would still allow visibility into the pool area, the applicant is proposing a more substantial mitigation measure—a 5-foot-tall solid brick privacy wall to fully screen and visually obscure the swimming pool from adjacent properties. This approach exceeds minimum screening expectations and demonstrates a good-faith effort to minimize impacts while accommodating the practical limitations of the site.

5. It does not appear that the waiver would detrimentally affect public health, safety, or general welfare. The applicant has provided the aforementioned physical barriers in addition to visually limiting sight into the lot.

**(B) Waiver to Codified Ordinance 1173.02(c) to allow the pool equipment to be 3 feet from the property line, where the code requires a minimum of 15 feet.**

1. Codified Ordinance 1173.02 states that for Private Swimming Pools, one of which is that the minimum setback for any walks, paved areas, equipment, and appurtenances is at least 15 feet from any property line. The applicant proposes the pool equipment to be located 3 feet from the property line.
2. Although the applicant has provided adequate design and location for the pool equipment, considering the context of the existing site utility equipment location, there appear to be additional locations on site for the equipment to be located without the need for a waiver.
3. Allowing this placement would allow the applicant to have the utilities in one centralized location. However, this would not meet the intent of the code and requires the waiver. Although the applicant would exceed the intent of the screening standards, the site has potential locations for relocating the equipment to meet the code's setback requirements.
4. The request does not appear necessary for reasons of fairness due to unusual building, structure, or site-specific constraints, such as lot size. The applicant wishes to locate the pool equipment in the location of existing HVAC equipment for the building. Although locating the pool equipment near other above-ground utilities on site, this location requires a waiver. If the pool equipment were to be located north of the “terrace,” this would eliminate the need for a pool equipment waiver.
5. It does not appear that the waiver would detrimentally affect public health, safety, or general welfare. As stated, the equipment will be visually screened by a 5-foot-tall brick privacy wall.

#### **IV. SUMMARY**

The ARB should evaluate the overall proposal based on the requirements in the Urban Center Code, Design Guidelines and Requirements, and Codified Ordinance. The application should be evaluated on the location of the building, the design of the building, and the use of materials. The applicant has provided a narrative with images explaining the desire for the requested waivers. While the applicant is requesting two waivers, staff believe there is an opportunity to relocate the pool equipment, which will reduce the need for one of the waivers. The proposed modifications are primarily behind the existing structure, visually screened, and protected by barriers. The applicant uses materials that complement and match the existing structures' architectural style, color, and materials for the garage addition, building modifications, including the change in roof material, second-floor door addition, first-floor window, and patio.

#### **V. ACTION**

Should the Architectural Review Board find sufficient basis for approval, the following motion would be appropriate.

#### **Suggested Motion for ARB-11-2026**

Move to approve Certificate of Appropriateness application ARB-11-2026 and associated waivers:

**Approximate Site Location:**



Source: Near Map



**Community Development Planning Application**

<b>Submission</b>	<p>Submit planning applications and all required materials via email to <a href="mailto:planning@newalbanyohio.org">planning@newalbanyohio.org</a></p> <p>Paper copies are not required at this time however, 12 paper copies of the entire submission will be required ahead of a board hearing date. The planner assigned to your case will inform you when the paper copies need to be delivered to our offices. Fee invoices will be issued to you once the application is entered.</p>																								
<b>Project Information</b>	<p>Site Address <u>11 S. High Street, new Albany</u></p> <p>Parcel Numbers <u>222-000077</u></p> <p>Acres <u>.12</u> # of lots created _____</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:50%;">Choose Application Type</th> <th style="width:50%;">Description of Request:</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td> <td rowspan="10">COA for minor exterior renovation to the rear of the building, a new detached garage, elimination of part of the parking lot to allow for a new backyard living space with pool, patios, landscaping, and a privacy wall.</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certificate of Appropriateness</td> </tr> <tr> <td><input type="checkbox"/> Conditional Use</td> </tr> <tr> <td><input type="checkbox"/> Development Plan</td> </tr> <tr> <td><input type="checkbox"/> Plat</td> </tr> <tr> <td><input type="checkbox"/> Lot Changes</td> </tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td> </tr> <tr> <td><input type="checkbox"/> Zoning Amendment (Rezoning)</td> </tr> <tr> <td><input type="checkbox"/> Zoning Text Modification</td> </tr> <tr> <td><input type="checkbox"/> Extension Request</td> </tr> <tr> <td><input type="checkbox"/> Variance</td> </tr> <tr> <td><input type="checkbox"/> Vacation</td> </tr> </tbody> </table>	Choose Application Type	Description of Request:	<input type="checkbox"/> Appeal	COA for minor exterior renovation to the rear of the building, a new detached garage, elimination of part of the parking lot to allow for a new backyard living space with pool, patios, landscaping, and a privacy wall.	<input checked="" type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Plat	<input type="checkbox"/> Lot Changes	<input type="checkbox"/> Minor Commercial Subdivision	<input type="checkbox"/> Zoning Amendment (Rezoning)	<input type="checkbox"/> Zoning Text Modification	<input type="checkbox"/> Extension Request	<input type="checkbox"/> Variance	<input type="checkbox"/> Vacation									
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Phone Number	[REDACTED]	Phone Number	[REDACTED]																						
Email	[REDACTED]	Email	[REDACTED]																						
<b>Signature</b>	<p>Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.</p> <p>Signature of Owner <u><i>Candace White</i></u> Date: <u>2/6/26</u>          Signature of Applicant <u>Todd Parker</u> <small>Digitally signed by Todd Parker Date: 2026.02.04 22:01:00 -05'00'</small> Date: <u>4 Feb. 2026</u></p>																								

Department Address: 7815 Walton Parkway • New Albany, Ohio 43054 • Phone 614.939.2254

Mailing Address: 99 West Main Street • P.O. Box 188 • New Albany, Ohio 43054

18 Feb. 2026

City of New Albany Zoning Department  
Attn. Javon Henderson, Planner I

Re: 11 S. High Street

We are requesting a waiver from the required pool setback as it pertains to the pool deck and pool equipment under Section 1173.02 of the zoning ordinance for the property located at 11 S. High Street, New Albany, OH 43054.

The zoning code requires a setback of 15 feet for the pool as well as the pool deck and pool equipment. We are requesting a reduced setback of 7'-6" feet to allow construction of pool deck. We are also requesting the setback for the pool equipment to be reduce to 3'-0" as that would place the pool equipment adjacent to the existing building's HVAC equipment on the south side of the property.

This request is necessary due to unique conditions of the property. The lot is 50 feet wide which makes compliance with the full setback requirement impractical. These conditions are not self-created and significantly limit reasonable use of the property.

The requested variance represents the minimum relief necessary to allow reasonable use of the property. The proposed improvement will not negatively impact neighboring properties, drainage patterns, public safety, or the character of the neighborhood. The structure will be consistent with surrounding development and maintained in accordance with all other zoning requirements. We have proposed a 5' brick wall to act as a buffer and screening from the south and the west. The pool deck and pool equipment will not be visible from neighboring properties. Not to mention that a patio would be permitted without the pool that could be as even closer to the side yard line.

Attached are a property survey and photographs showing existing conditions and the proposed location of the improvement.

Thank you for your consideration of this request.

Sincerely,  
Todd M Parker, President

F5 Design/Architecture Inc.



Existing deck/walk – HVAC and elec. Meter to the right of Deck

# ELEVEN

11 S. HIGH STREET  
NEW ALBANY, OHIO 43023



PRICING SET  
6 FEBRUARY 2026

11 S. HIGH STREET - PRICING SET

STRUCTURAL ENGINEER:

BUILDER:

BY OWNER

ARCHITECT:

# F5

F5 DESIGN/ARCHITECTURE INC.

PO BOX 86  
NEW ALBANY, OHIO 43054

WWW.F5DESIGN.COM

F5MAIL@F5DESIGN.COM  
TEL (614) 224-4946



## DRAWING LIST:

- G100 COVER SHEET
- L100 SITE PLAN
- A001 CONCEPT IMAGES
- A002 CONCEPT IMAGES
- A003 CONCEPT IMAGES
- A004 CONCEPT IMAGES
- A100 GARAGE PLANS
- A101 GARAGE PLANS
- A102 GARAGE PLANS
- A200 FIRST FLOOR PLAN
- A201 SECOND FLOOR PLAN
- A300 BUILDING ELEVATIONS
- A301 BUILDING ELEVATIONS
- A400 SECTIONS AND DETAILS
- E100 EXTERIOR LIGHTING PLAN



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---

PROJECT NAME:

PROPOSED RENOVATIONS  
AND SITE WORK FOR:

ELEVEN

11 S. HIGH ST.  
NEW ALBANY, OHIO  
43023

---

DESIGN REVIEW

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SEAL/SIGNATURE

---

Drawings and specifications as instruments of professional service shall remain the property of the Architect. These documents are not to be used in whole or in part, for any other projects not at the specified address, without the prior written authorization of F5 Design/Architecture Inc. C. 2026

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Builder

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SCALE: 1/4"=1'-0"

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PROJECT NO. 24051

---

CONCEPT  
IMAGES

---

3 FEB. 2026

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A001



# F5

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PROJECT NAME:

PROPOSED RENOVATIONS  
AND SITE WORK FOR:

ELEVEN

11 S. HIGH ST.  
NEW ALBANY, OHIO  
43023

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SEAL/SIGNATURE

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Builder

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SCALE: 1/4"=1'-0"

---

PROJECT NO. 24051

---

CONCEPT  
IMAGES

---

3 FEB. 2026

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A002



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PROJECT NAME:

PROPOSED RENOVATIONS  
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ELEVEN

11 S. HIGH ST.  
NEW ALBANY, OHIO  
43023

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SEAL/SIGNATURE

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Builder

SCALE: 1/4"=1'-0"

PROJECT NO. 24051

CONCEPT  
IMAGES

3 FEB. 2026

A003



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PROJECT NAME:

PROPOSED RENOVATIONS  
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ELEVEN

11 S. HIGH ST.  
NEW ALBANY, OHIO  
43023

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DESIGN REVIEW

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SEAL/SIGNATURE

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Design/Architecture Inc. C. 2026

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Builder

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SCALE: 1/4"=1'-0"

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PROJECT NO. 24051

---

CONCEPT  
IMAGES

---

3 FEB. 2026

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A004



PROJECT NAME:

PROPOSED RENOVATIONS  
 AND SITE WORK FOR:

ELEVEN

11 S. HIGH ST.  
 NEW ALBANY, OHIO  
 43023

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Builder

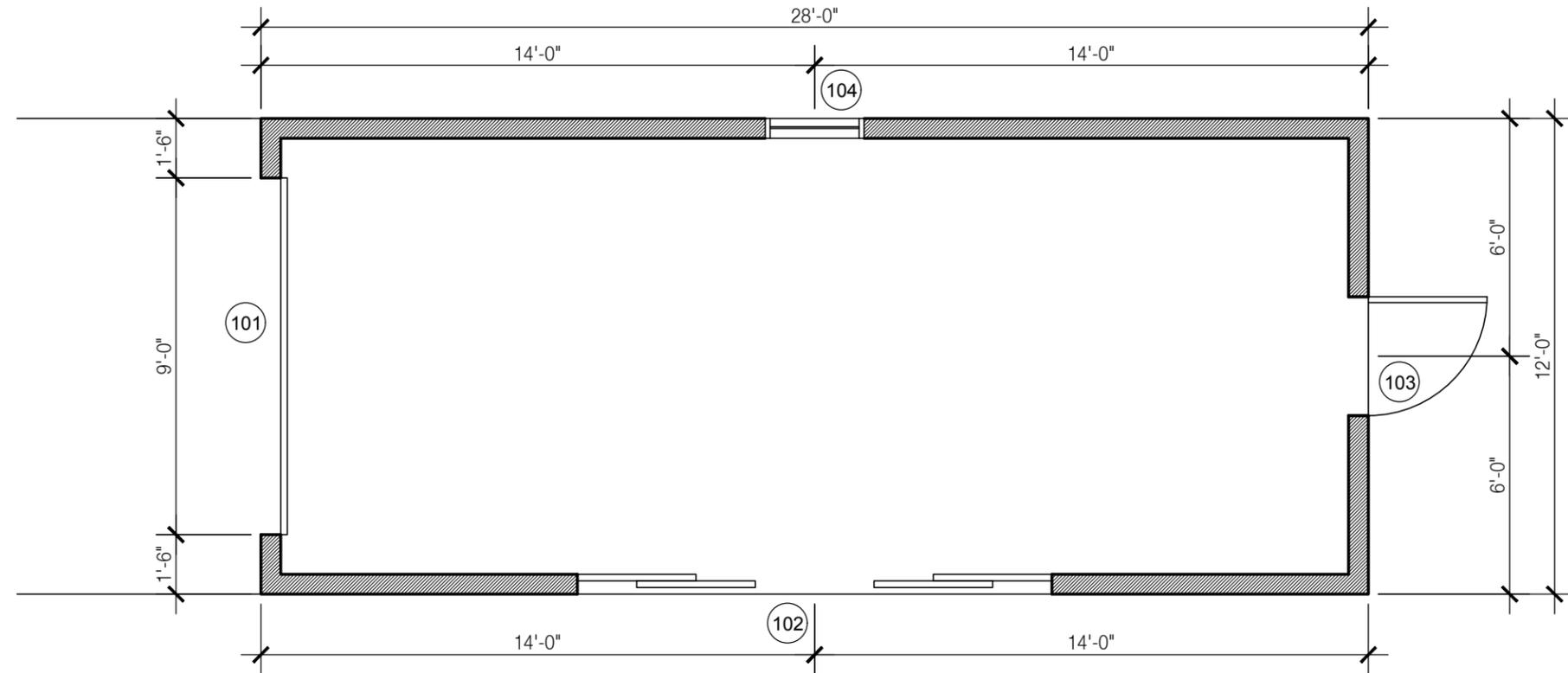
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PROJECT NO. 24051

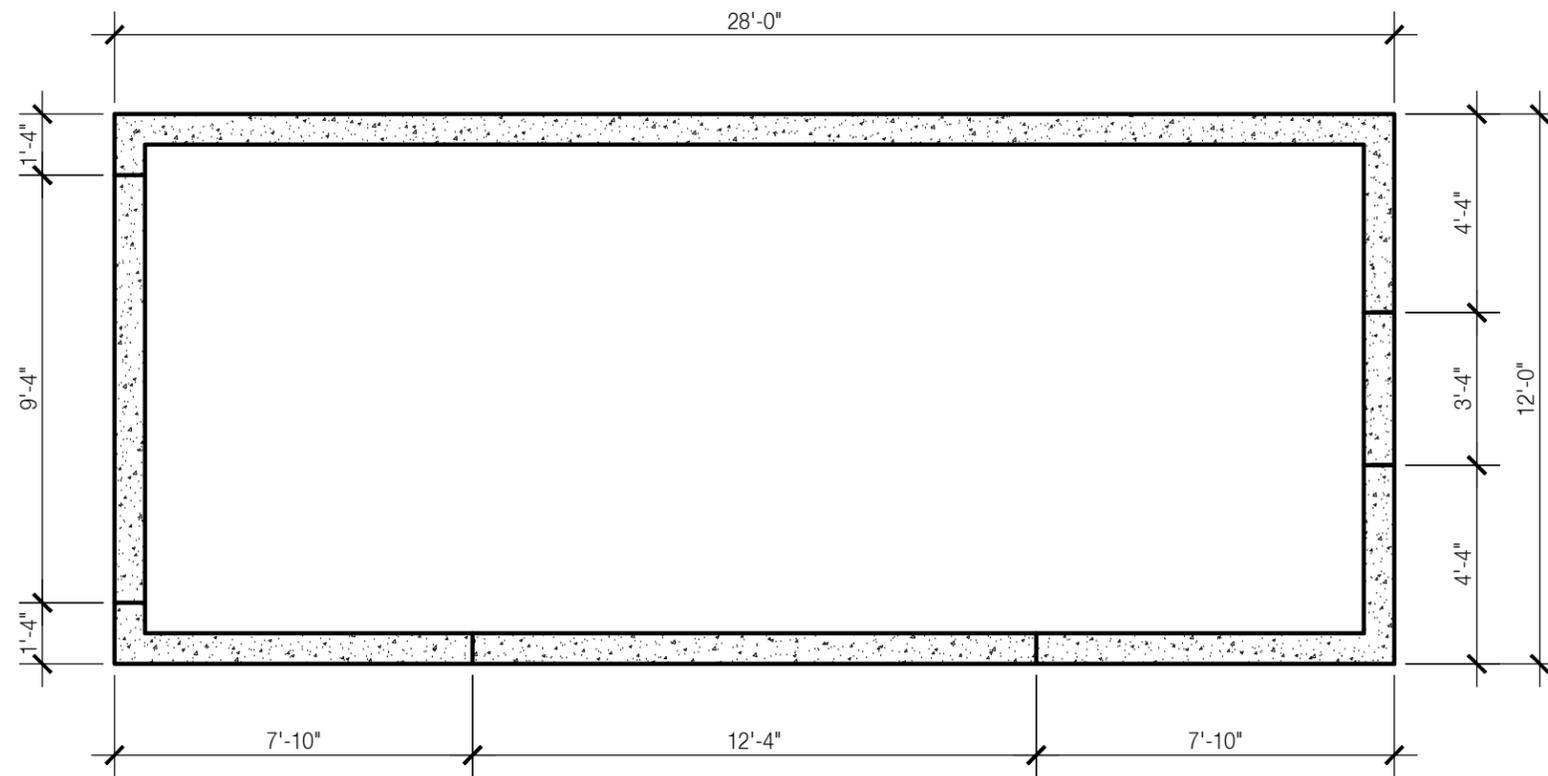
GARAGE  
 PLANS

3 FEB. 2026

A100



2 GARAGE FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



1 GARAGE FOUNDATION PLAN  
 SCALE: 1/4" = 1'-0"

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Builder

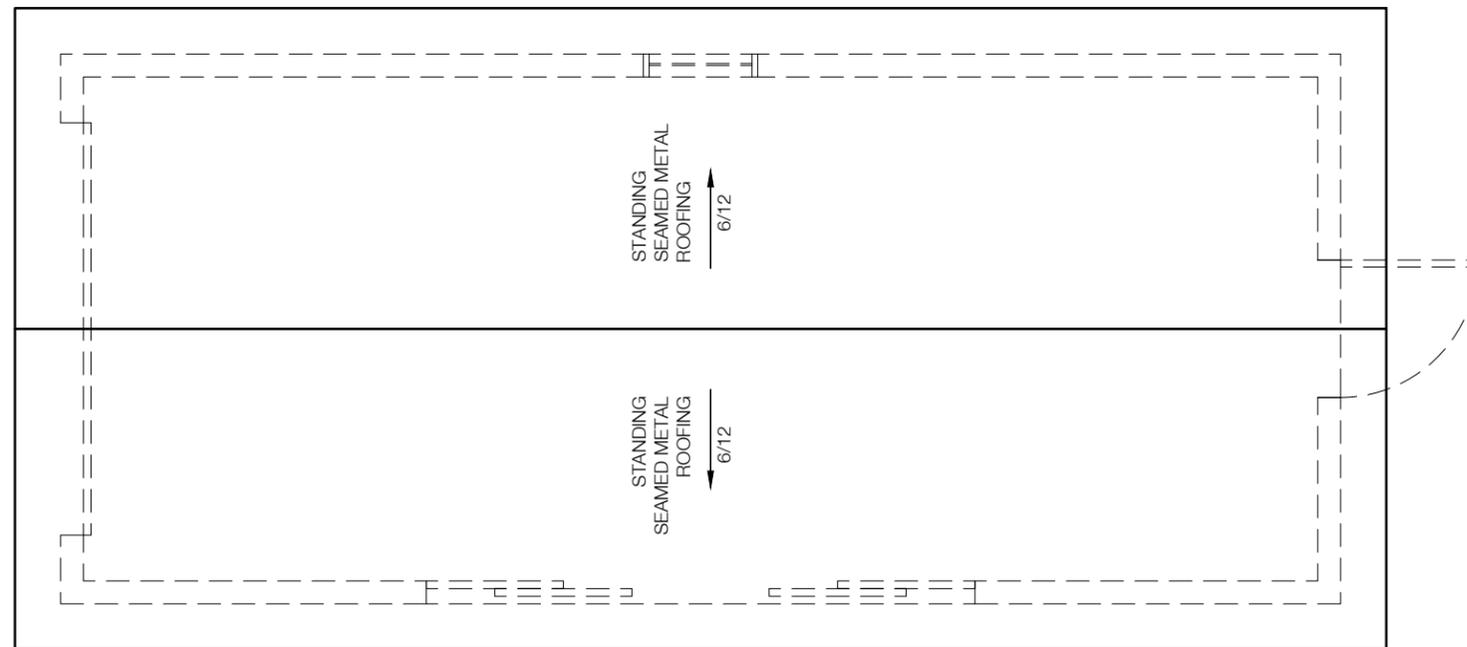
SCALE: 1/4"=1'-0"

PROJECT NO. 24051

GARAGE  
PLANS

3 FEB. 2026

A101



1 GARAGE ROOF PLAN  
SCALE: 1/4" = 1'-0"

PROJECT NAME:

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Builder

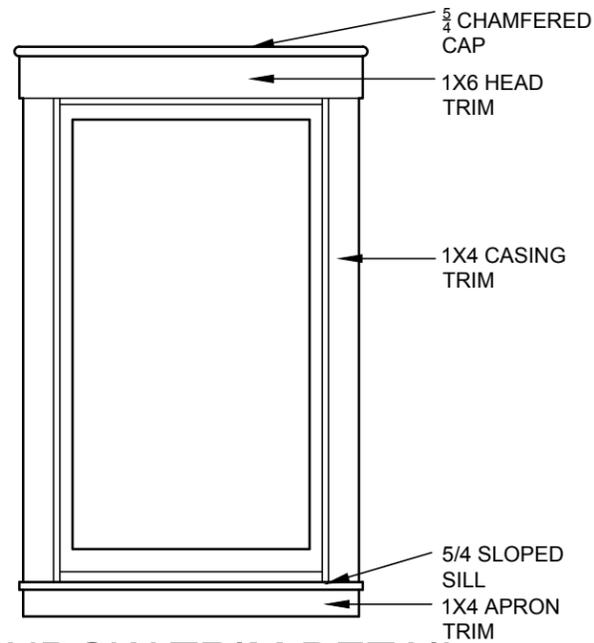
SCALE: 3/16"=1'-0"

PROJECT NO. 24051

GARAGE  
PLANS

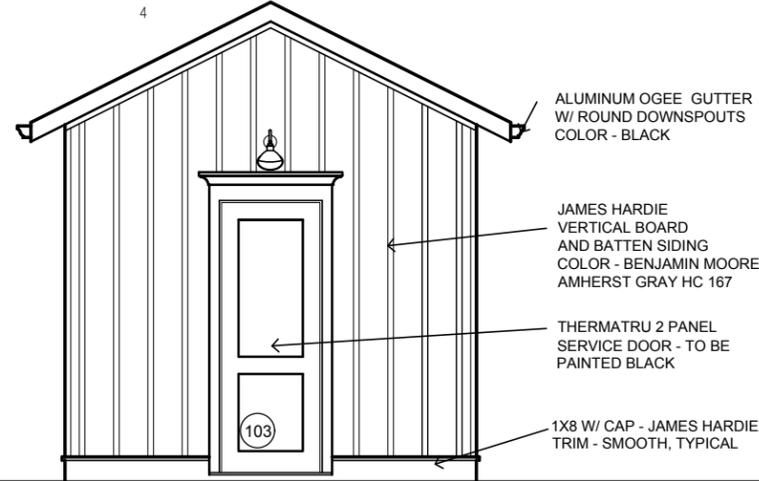
3 FEB. 2026

A102



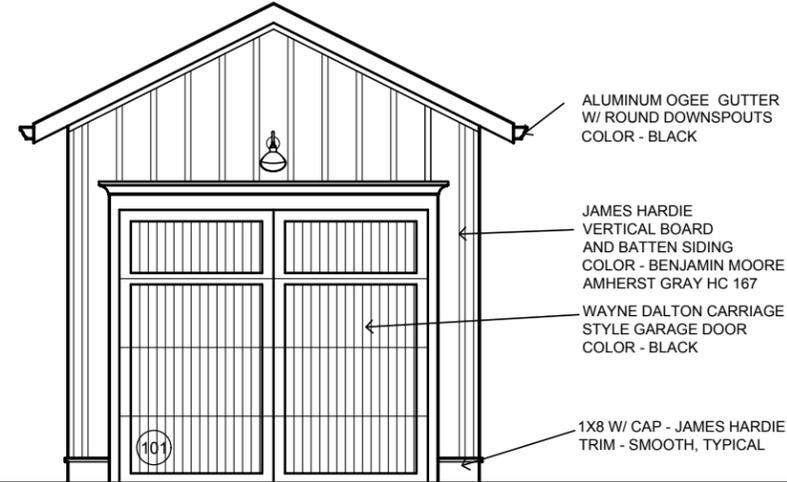
## 5 WINDOW TRIM DETAIL

SCALE: 1/2" = 1'-0"



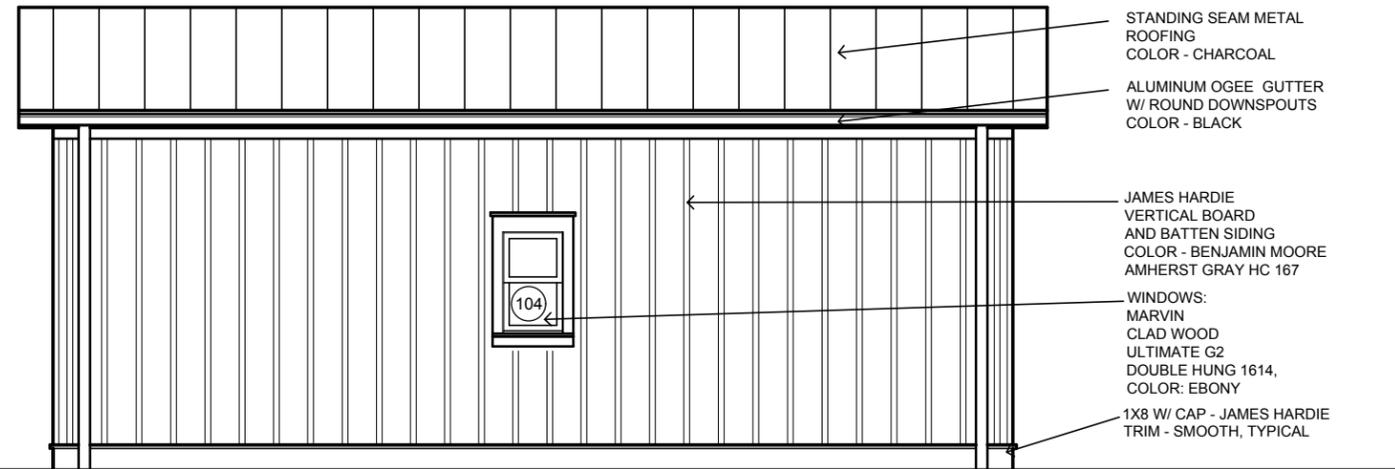
## 4 GARAGE EAST ELEVATION

SCALE: 3/16" = 1'-0"



## 2 GARAGE WEST ELEVATION

SCALE: 3/16" = 1'-0"



## 3 GARAGE NORTH ELEVATION

SCALE: 3/16" = 1'-0"



## 1 GARAGE SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



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Builder

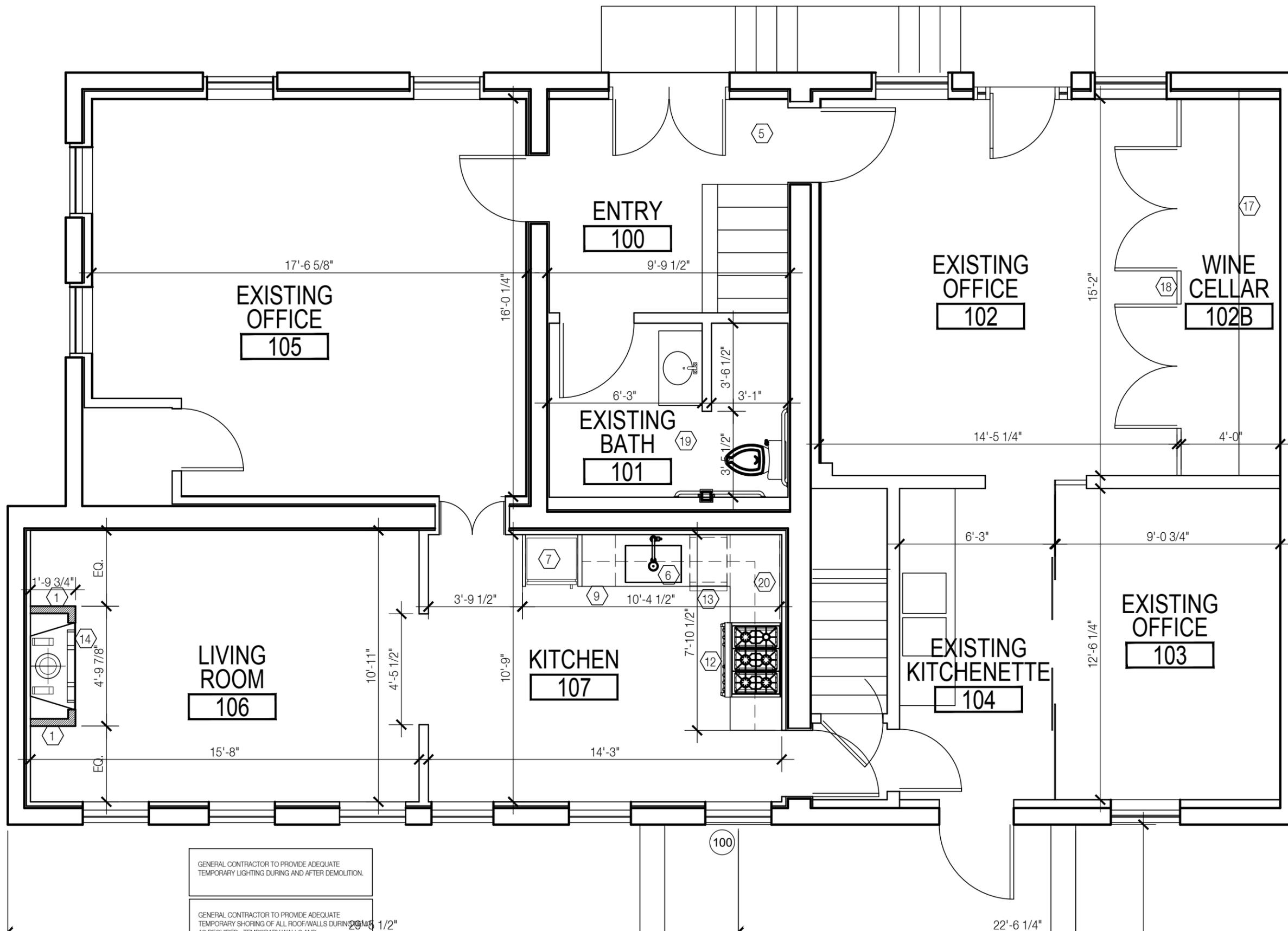
SCALE: 1/4"=1'-0"

PROJECT NO. 24051

FIRST FLOOR  
PLAN

3 FEB. 2026

A200



GENERAL CONTRACTOR TO PROVIDE ADEQUATE  
TEMPORARY LIGHTING DURING AND AFTER DEMOLITION.

GENERAL CONTRACTOR TO PROVIDE ADEQUATE  
TEMPORARY SHORING OF ALL ROOF/WALLS DURING  
AS REQUIRED. TEMPORARY WALLS AND  
OR BRACING SHALL REMAIN INTACT UNTIL ALL NEW  
FRAMING IS COMPLETED.

### WALL LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN

1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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Builder

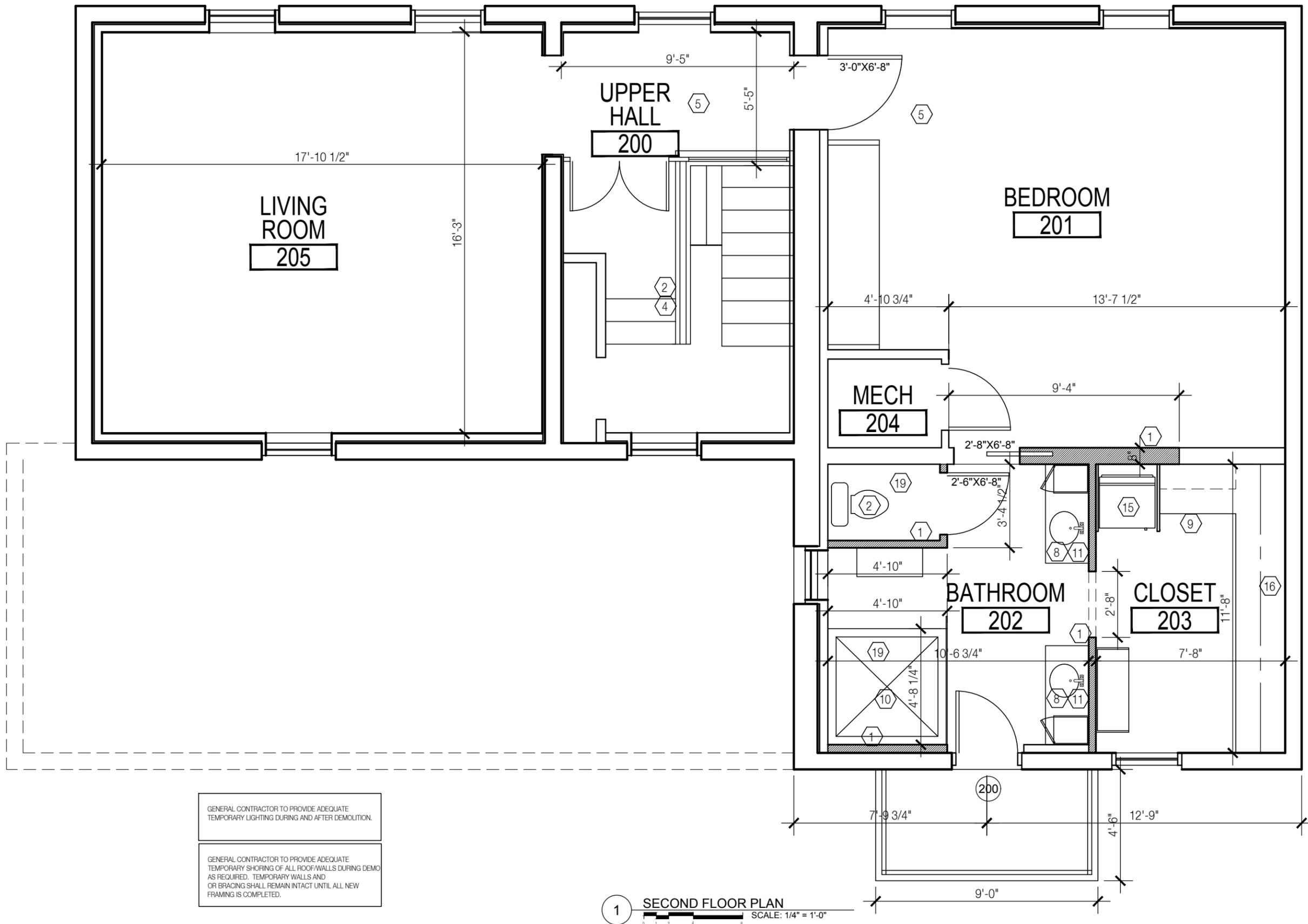
SCALE: 1/4"=1'-0"

PROJECT NO. 24051

FIRST FLOOR  
PLAN

3 FEB. 2026

A201



GENERAL CONTRACTOR TO PROVIDE ADEQUATE  
TEMPORARY LIGHTING DURING AND AFTER DEMOLITION.

GENERAL CONTRACTOR TO PROVIDE ADEQUATE  
TEMPORARY SHORING OF ALL ROOF/WALLS DURING DEMO  
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### WALL LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN

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Design/Architecture Inc. C. 2026

Builder

SCALE: 1/4"=1'-0"

PROJECT NO. 24051

BUILDING  
ELEVATIONS

3 FEB. 2026

A300



1

## WEST ELEVATION



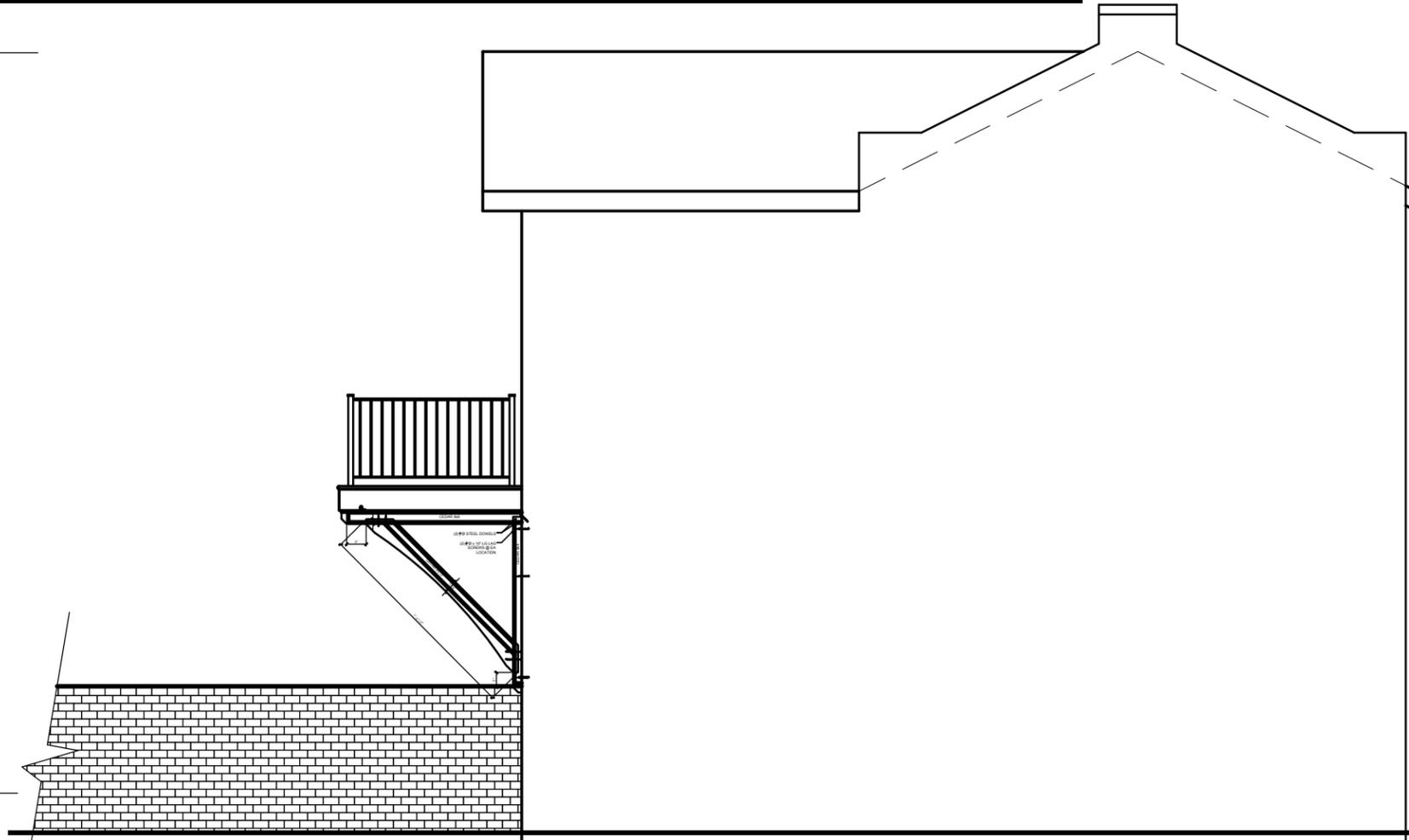
SCALE: 3/16" = 1'-0"

2

## SOUTH ELEVATION



SCALE: 3/16" = 1'-0"



PROJECT NAME:

PROPOSED RENOVATIONS  
AND SITE WORK FOR:

ELEVEN

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Builder

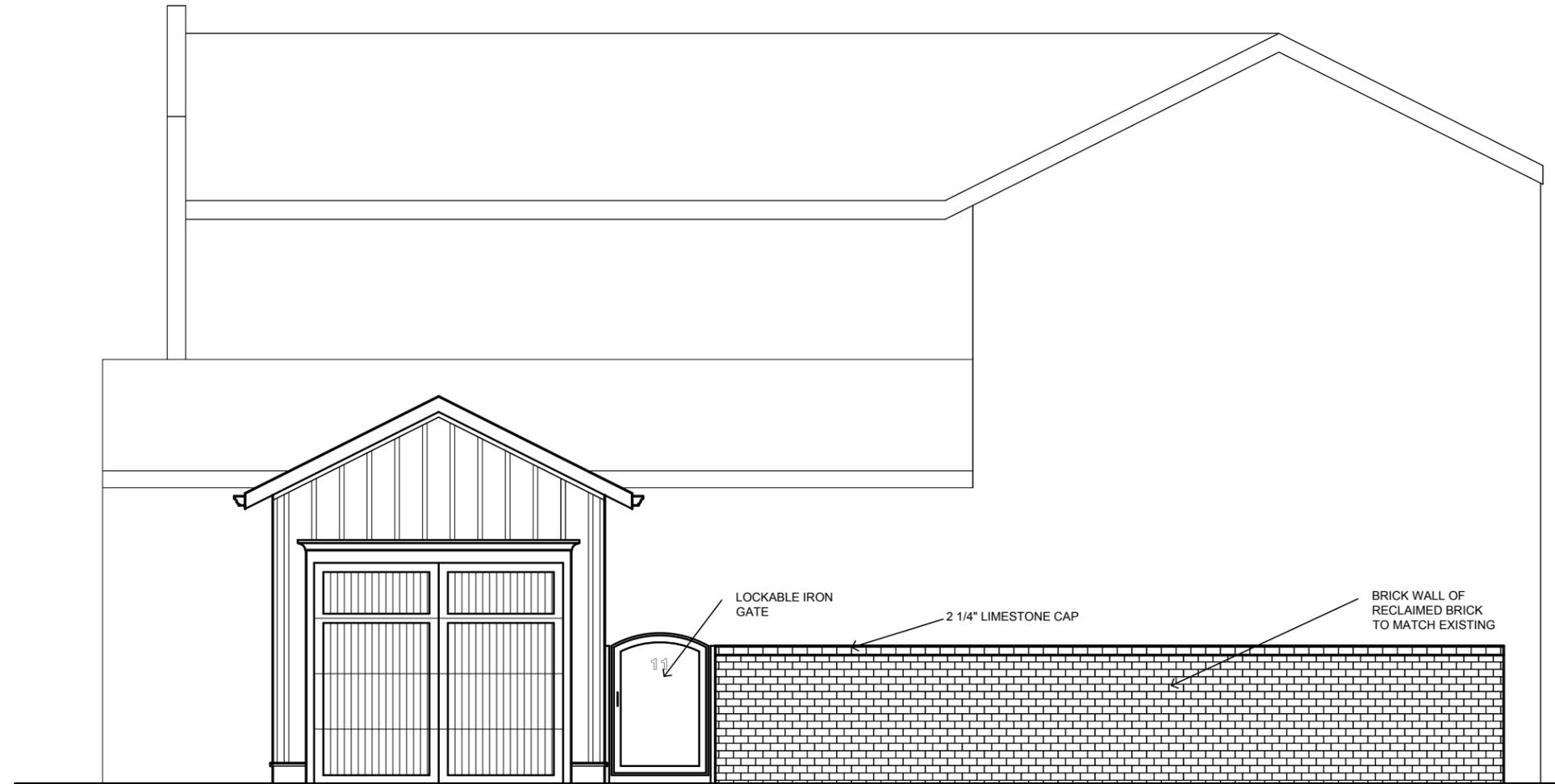
SCALE: 1/4"=1'-0"

PROJECT NO. 24051

BUILDING  
ELEVATIONS

3 FEB. 2026

A301



1

## WEST ELEVATION - PRIVACY WALL



SCALE: 3/16" = 1'-0"

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WEST ELEVATION

Builder

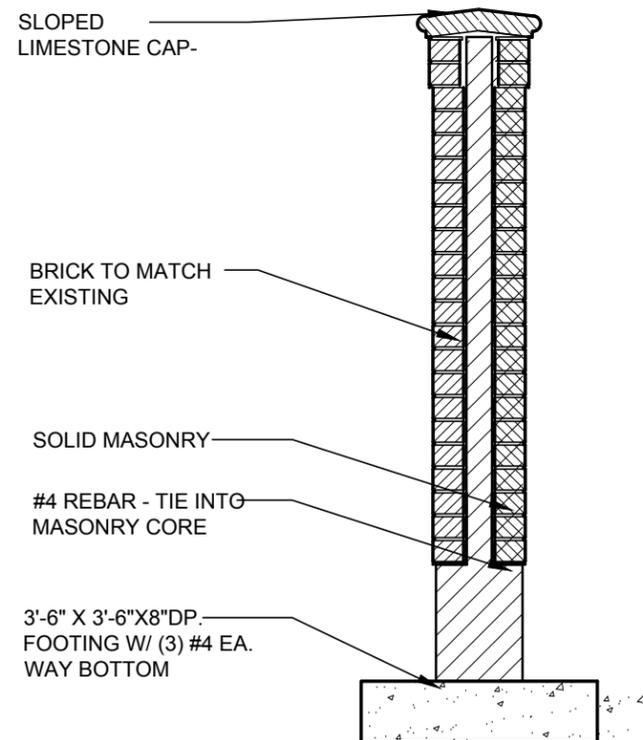
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PROJECT NO. 24051

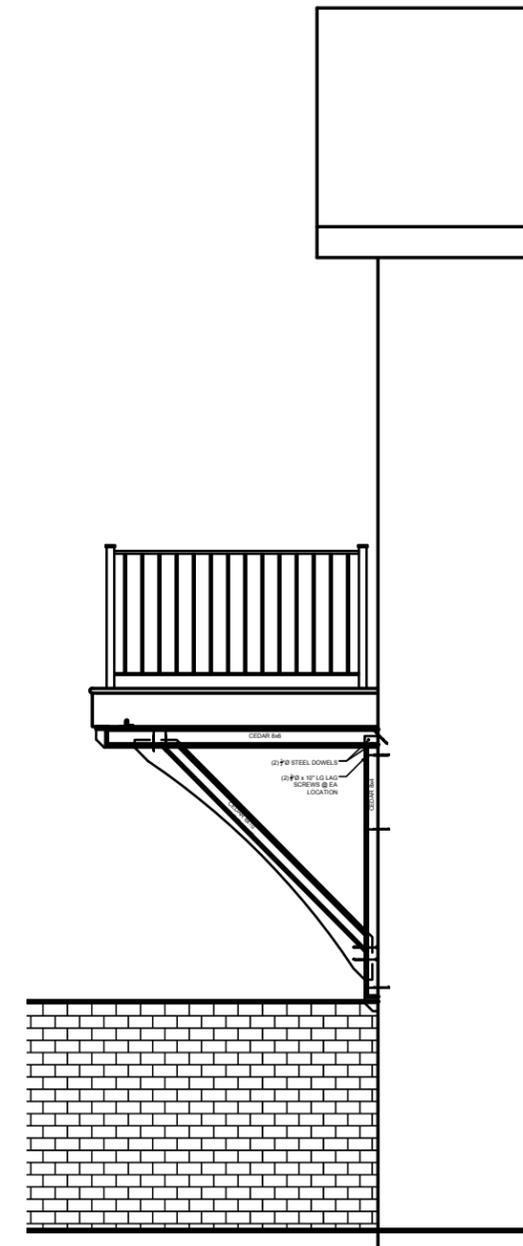
SECTIONS  
AND DETAILS

3 FEB. 2026

A400



2 PRIVACY WALL SECTION  
SCALE: 1/2" = 1'-0"



1 BALCONY SECTION  
SCALE: 1/4" = 1'-0"

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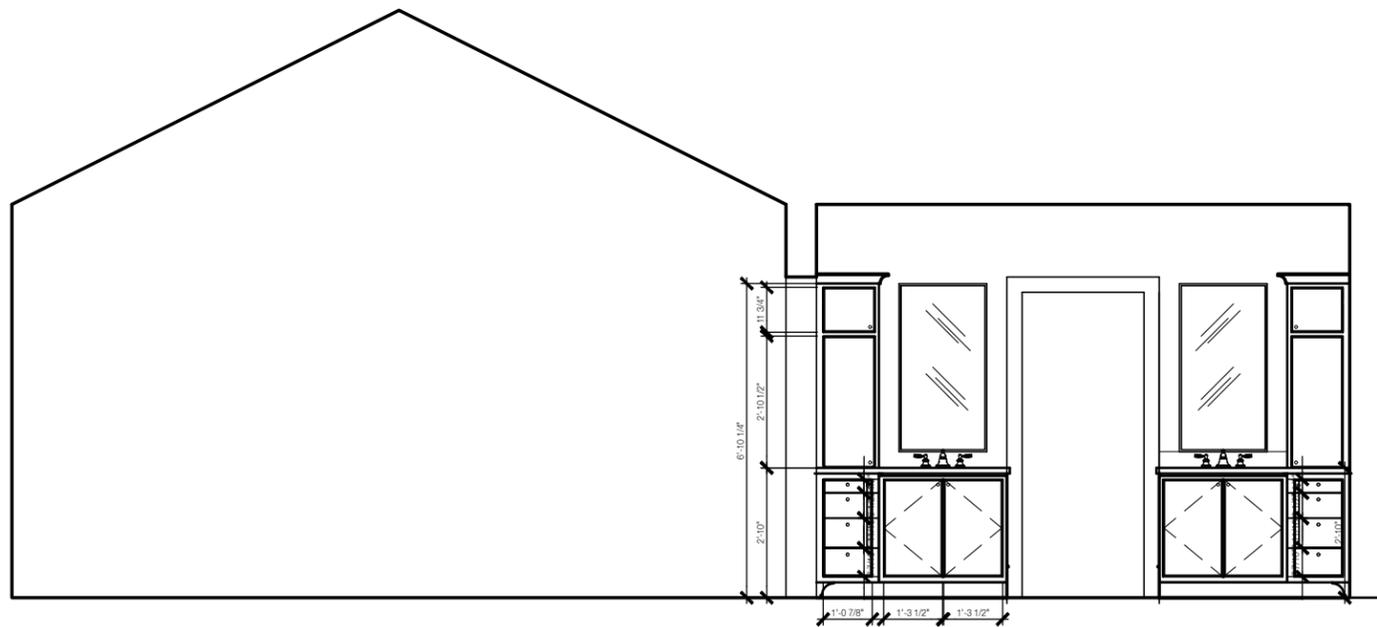
SCALE: 1/4"=1'-0"

PROJECT NO. 24051

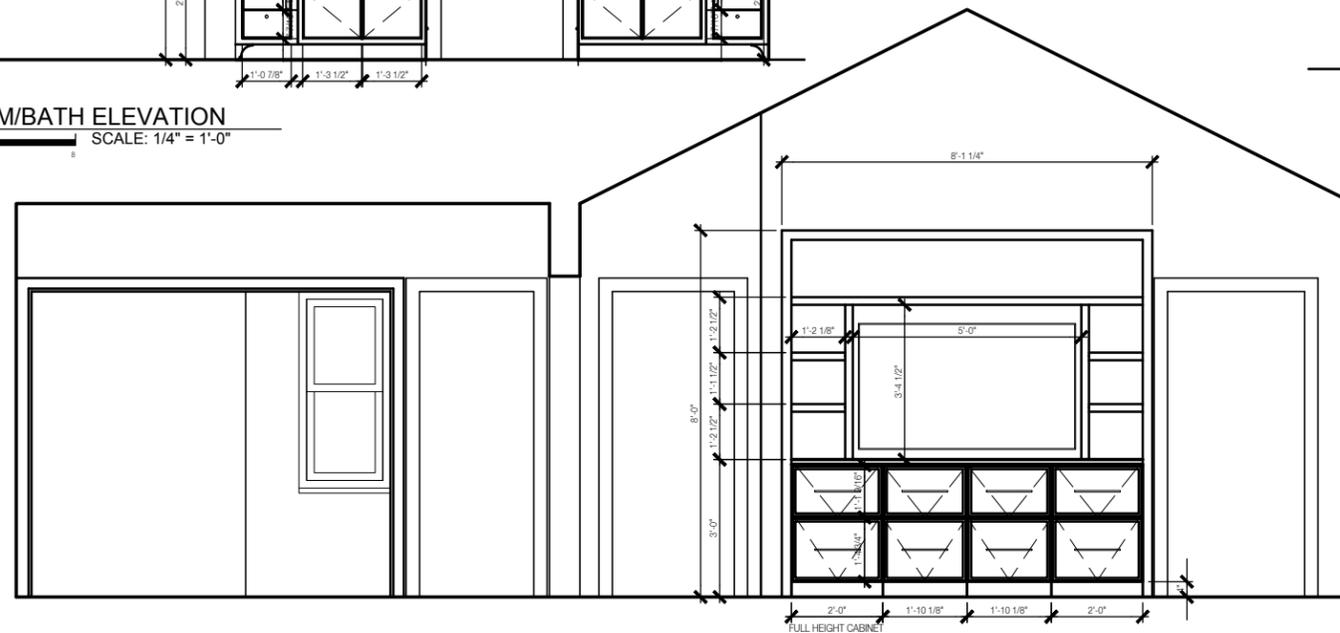
INTERIOR  
ELEVATIONS

3 FEB. 2026

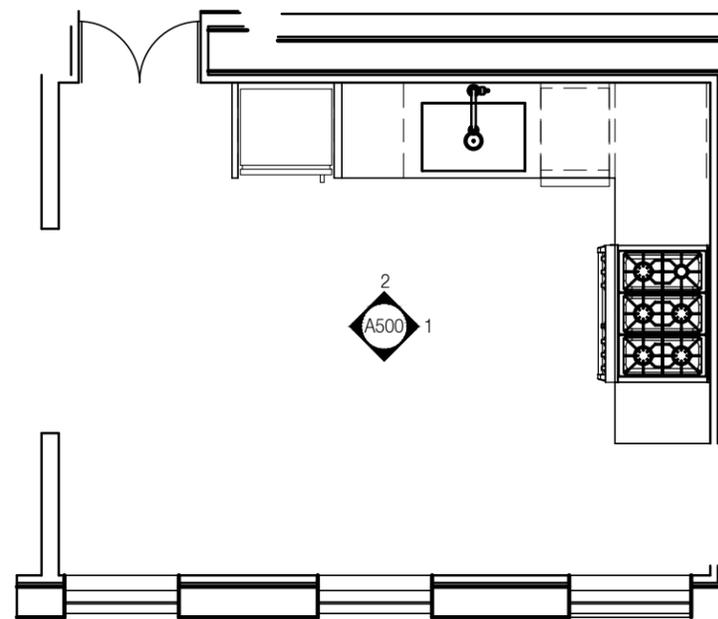
A500



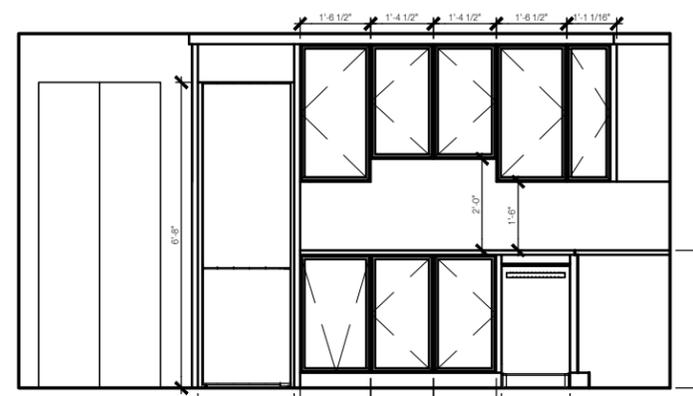
6 BEDROOM/BATH ELEVATION  
SCALE: 1/4" = 1'-0"



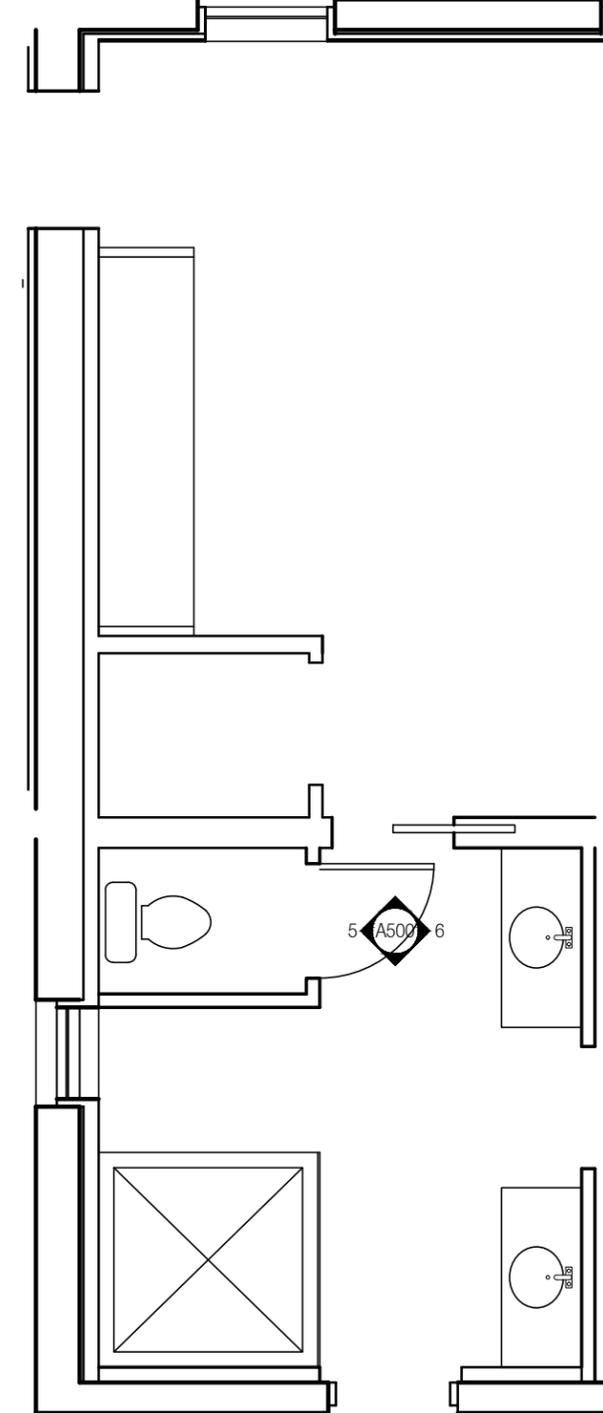
5 BEDROOM/BATH ELEVATION  
SCALE: 1/4" = 1'-0"



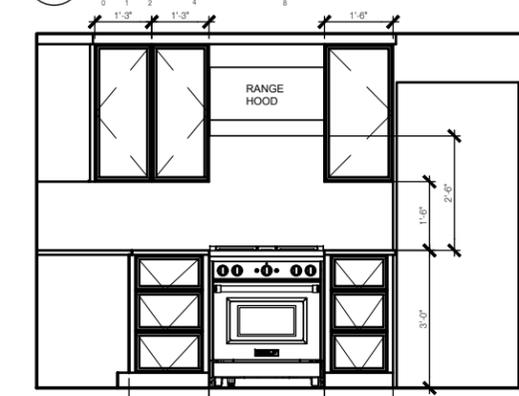
3 KITCHEN ENLARGED PLAN  
SCALE: 1/4" = 1'-0"



2 KITCHEN ELEVATION  
SCALE: 1/4" = 1'-0"



4 BEDROOM/BATH ENLARGED PLAN  
SCALE: 1/4" = 1'-0"



1 KITCHEN ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT NAME:

PROPOSED RENOVATIONS  
AND SITE WORK FOR:

ELEVEN

11 S. HIGH ST.  
NEW ALBANY, OHIO  
43023

DESIGN REVIEW

SEAL/SIGNATURE

Drawings and specifications as instruments of professional service shall remain the property of the Architect. These documents are not to be used in whole or in part, for any other projects not at the specified address, without the prior written authorization of F5 Design/Architecture Inc. C. 2026

Builder

SCALE: 1/4"=1'-0"

PROJECT NO. 24051

ELECTRIC  
PLANS

3 FEB. 2026

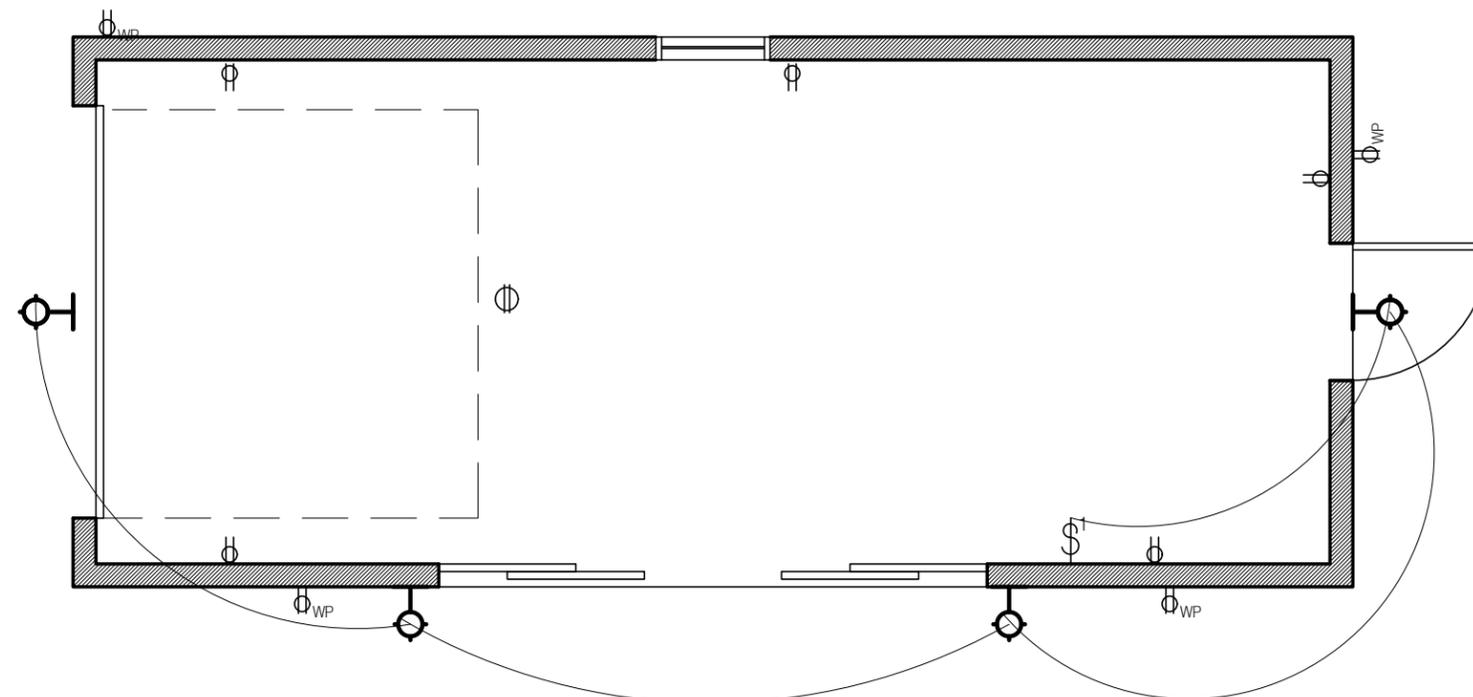
E100

## ELECTRICAL LEGEND

⌘ <sup>1</sup>	SINGLE POLE SWITCH
⌘ <sup>3</sup>	THREE WAY SWITCH
⌘ <sup>4</sup>	FOUR WAY SWITCH
⌘ <sup>1</sup> <sub>DIM.</sub>	SWITCH W/ DIMMER CONTROL
⌘ <sup>3</sup> <sub>DIM.</sub>	SWITCH W/ DIMMER CONTROL
⌘	DUPLEX OUTLET
⌘	DUPLEX OUTLET SWITCH TOP HALF
⌘ <sub>WP</sub>	DUPLEX OUTLET-WATERPROOF (EXT.)
⌘ <sub>GFI</sub>	DUPLEX OUTLET GFI
⌘	SPECIAL PURPOSE OUTLET
⌘	CEILING OUTLET
⌘ <sub>TV</sub>	CABLE TELEVISION OUTLET
▲	TELEPHONE JACK
⌘ <sub>GD</sub>	GARBAGE DISPOSAL
⌘ <sub>V</sub>	HOOD VENT

## LIGHTING LEGEND

Ⓡ	RECESSED INCANDESCENT
Ⓡ <sub>D</sub>	RECESSED INCANDESCENT DIRECTIONAL SPOT
Ⓡ <sub>M</sub>	MINI RECESSED INCAND.
Ⓡ <sub>UC</sub>	UNDERCABINET PUCK LIGHT
Ⓡ <sub>P</sub>	PENDANT
Ⓡ <sub>S</sub>	CEILING SURFACE MTD.
Ⓡ <sub>SC</sub>	SCONCE
Ⓡ <sub>EF</sub>	EXHAUST FAN
Ⓡ <sub>LP</sub>	LED PENDENT
Ⓡ <sub>SF</sub>	CEILING FAN W/ LIGHT
Ⓡ <sub>CF</sub>	CEILING FAN



1 GARAGE ELECTRIC PLAN  
SCALE: 1/4" = 1'-0"