



ORDINANCE O-03-2026

**AN ORDINANCE TO ACCEPT THE EXPEDITED TYPE 1
ANNEXATION OF 106.4 +/- ACRES FROM JERSEY TOWNSHIP,
LICKING COUNTY TO THE CITY OF NEW ALBANY**

WHEREAS, pursuant to the petition filed by Aaron Underhill, agent for petitioner, with the Licking County Board of Commissioners on October 29, 2025; and

WHEREAS, the foregoing Resolution #25-0891-COMM of the Licking County Commissioners granting the petition, along with the transcript, was delivered to the City of New Albany on November 12, 2025, and more than sixty (60) days have elapsed since the foregoing resolution and transcript were transmitted to the City of New Albany; and

WHEREAS, pursuant to City of New Albany Resolution R-27-2021, a Road Maintenance Agreement was signed on August 9, 2021 for Jug Street Road, and pursuant to Resolution R-02-2022 and Resolution R-36-2022, wherein the New Albany City Manager was authorized to enter into an Intergovernmental Agreement with the Licking County Board of Commissioners, Jersey Township, and Monroe Township for Clover Valley Road and other roads, there are agreements in place for the maintenance of sections of roadways impacted by this annexation; and

WHEREAS, pursuant to New Albany Codified Ordinance 1125.05, all newly annexed areas shall immediately be zoned into the Agricultural District and shall be subject to the regulations and restrictions pertaining thereto; and

WHEREAS, pursuant to New Albany Codified Ordinance 1125.06, all future qualifying annexed properties shall be added to the applicable New Community Authority as described therein and are subject to a special property assessment in compliance therewith; and

WHEREAS, New Albany City Council has determined that annexation of the real estate is in the best interests of the residents of the City of New Albany.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of New Albany, Counties of Franklin, and Licking, State of Ohio, that:

Section 1. The application of property owners set forth in Licking County requesting the annexation of 106.4 +/- acres, which is contiguous to the City of New Albany, is hereby accepted, and the corporate boundaries of New Albany shall be extended to include the territory, more particularly described in Exhibit A, attached hereto and incorporated herein as if fully written.

Section 2. An accurate map of the territory attached as Exhibit B, the petition for its annexation, other related documents, and a certified transcript of the proceedings of the Licking

County Board of Commissioners regarding the annexation proceedings have been on file with the Clerk of Council of the City of New Albany for sixty (60) days prior to being presented to this Council as required by law, and are hereby accepted.

Section 3. Council of the City of New Albany hereby accepts the annexation of a 106.4 +/-acre tract, situated in Jersey Township, Licking County, Ohio, the same being land of the owners set forth above, for annexation to the City of New Albany.

Section 4. The clerk is herewith directed to deliver certified copies of this ordinance and other proceedings relative to the annexation to the County Auditor, County Recorder, and the Secretary of State.

Section 5. It is hereby found and determined that all formal actions of council concerning and relating to the adoption of this legislation were adopted in an open meeting of council, and that all deliberations of the council and or any of its committees that resulted in such formal action were in meetings open to the public, in compliance with Section 121.22 of the Ohio Revised Code.

Section 6. Pursuant to Article VI, Section 6.07(B) of the Charter of the City of New Albany, this ordinance shall be effective thirty (30) days after adoption.

CERTIFIED AS ADOPTED this _____ day of _____, 2026.

Attest:

Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

Approved as to form:

Legislation dates:	
Prepared:	12/29/2025
Introduced:	01/20/2026
Revised:	01/14/2026
Adopted:	
Effective:	

Benjamin S. Albrecht
Law Director

**CERTIFICATION BY CLERK OF COUNCIL
OF PUBLICATION OF LEGISLATION**

I certify that copies of Ordinance **O-03-2026** were posted in accordance with Article VI, Section 6.12 of the Charter of the City of New Albany, for 30 days starting on _____, 2026.

Jennifer Mason, Clerk of Council

Date

LEGAL DESCRIPTION

Description of 106.4 +/- Acres to be Annexed from Jersey Township To City of New Albany

Situated in the State of Ohio, County of Licking, Township of Jersey, Lot 3, Quarter Township 2, Township 2 North, Range 15 West, United States Military Lands, being all of a 4.132 acre tract conveyed to Randy Wickiser, of record in Instrument Number 200107260026830 (PID 037-111540-01.009), all of a 6.82 acre tract conveyed to Tina S. Bezouska and Richard T. Bezouska, of record in Instrument Number 201905230009984 (PID 037-111540-01.008), all of a 1.25 acre tract conveyed to Ray Rusmisl and Vicki Rusmisl and Todd Steven Dodderer, of record in Instrument Number 202112230039028 (PID 037-111540-01.007), all of a 1.25 acre tract conveyed to Craig Long and Jessica Long, of record in Instrument Number 201904260007828 (PID 037-111540-01.006), all of a 5.00 acre tract conveyed to Rusmisl LLC, of record in Instrument Number 201312100030045 (PID 037-111540-01.005), all of a 5.00 acre tract conveyed to Sarah R. Mahaffey-Arnett and Jason Arnett, of record in Instrument Number 202112060036972 (PID 037-111540-01.004), all of a 1.25 acre tract conveyed to Claude W. Richardson and Peggy Richardson, of record in Official Record 181, Page 115 (PID 037-11154-01.003), all of a 1.25 acre tract conveyed to Rusmisl LLC, of record in Instrument Number 202006030012965 (PID 037-111540.01.002), all of a 1.89 acre tract conveyed to Rusmisl LLC, of record in Instrument Number 202006030012966 (PID 037-111540-01.001), all of a 2.00 acre tract conveyed to MJB Holdings, LLC, of record in Instrument Number 202202180004339 (PID 037-111540-01.000), all of a 5.009 acre tract and a 6.871 acre tract conveyed to Kathie Frost, of record in Instrument Number 201806080011639 (PID 037-111540-04.000 and 037-111540-00.009), all of a 5.001 acre tract conveyed to Sunil Kumar Sunkara and Madhavi Gutta, of record in Instrument Number 202204080008719 (PID 037-111540-05.000), all of a 6.224 acre tract conveyed to Jared Witesel, of record in Instrument Number 201408190015833 (PID 037-111540-00.010), all of a 5.856 acre tract conveyed to Jeremy Lee Kimble, of record in Instrument Number 202007020016023 (PID 037-111540-00.008), all of a 5.756 acre tract conveyed to Luke E. Wickline, of record in Instrument Number 201510280023467 (PID 037-111540-00.007), all of a 6.032 acre tract conveyed to Brenda L. Hiles, of record in Instrument Number 201702150002998 (PID 037-111540-00.006), all of a 6.420 acre tract conveyed to Jenny L. Davidson, of record in Instrument Number 200510280034396 (PID 037-111540-00.005), all of a 6.101 acre tract conveyed to Ark Group Investments LLC, an Ohio Limited Liability Company, of record in Instrument Number 202302060002185 (PID 037-111540-00.000), all of a 6.440 acre tract conveyed to Chris A. Anderson and Colleen F. Anderson, of record in Instrument Number 201206010012102 (PID 037-111540-00.001), all of a 2.758 acre tract conveyed to Larry E. Thompson, of record in Instrument Number 202203080005919 (PID 037-111540-07.000), all of a 2.243 acre tract conveyed to Michael Eugene Sides and Renee L. Sides, of record in Instrument Number 201406190011186 (PID 037-111540-07.001), all of a 5.104 acre tract conveyed to Jug Street, LLC, of record in Instrument Number 202301060000445 (PID 037-111540-00.003), all of a 1.25 acre tract conveyed to Wayne N. Hughes and Jessie M. Hughes, of record in Instrument Number 202006010012668 (PID 037-111540-06.000), all of a 1.25 acre tract conveyed to Aaron Artis, of record in Instrument Number 202008270022043 (PID 037-111540-02.000), all of a 5.00 acre tract conveyed to Jug Street, LLC, of record in Instrument Number 202212150029262 (PID 037-111540-00.004) and being more particularly described as follows:

BEGINNING at the common corner of said Lot 3, Lot 15, Lot 14 and Lot 2, also being the Intersection of Jug Street Road (County Road 22) (60' R/W) (P.B. 13, Pg. 210) and Clover Valley Road (60' R/W) (P.B. 13, Pg. 210) said point being in the Existing City of New Albany Corporation line, of record in Ordinance Number O-11-2022, Instrument Number 202205120011951;

Thence northerly, with the centerline of said Clover Valley Road and said Corporation line a distance of 1715± feet to a point at the northwest corner of said Lot 3 and in a southerly line of said Corporation line;

Thence easterly, with said southerly corporation line and the northerly lines of the following tracts; said 4.132 acre Wickiser tract, said 6.871 acre Frost tract, said 5.856 acre Kimble tract, said 5.756 acre Wickline tract, said 6.032 acre Hiles tract, said 6.420 acre Davidson tract, said 6.101 acre Ark Group Investments tract and said 6.440 acre Anderson tract, a distance of 2793± feet to a point at the northeast corner for of said Lot 3, the northeast corner of said 6.440 acre tract and in the westerly line of the Existing City of New Albany Corporation Line of record in Instrument Number 202302170002967, Resolution Number 116-62, Ordinance Number O-01-2023;

Thence southerly, partially with the westerly line of said Corporation line and the easterly lines of said 6.440 acre tract and said 2.758 acre tract, a distance of 1718± feet to a point at the southeast corner of said Lot 3 and the northeast corner of said Lot 2, the southeast corner of a said 2.758 acre tract, in the centerline of said Jug Street Road, and in the northerly line of the Existing City of New Albany Corporation line, of record in Ordinance Number O-44-2021, Instrument Number 20220124001964;

Thence westerly, partially with said Corporation line, with said centerline and the southerly lines of the following tracts; said 2.758 acre Thompson tract, said 6.440 acre Anderson tract, said 6.101 acre Ark Group Investments tract, said 2.243 acre Sides tract, said 5.104 Jug Street tract, said 1.25 acre Hughes tract, a distance of 747± feet to a point at the southeast corner of a 1.25 acre tract conveyed to Jeffery W. and Geneva D. Lutz, of record in Instrument Number 201909180019777 (PID 037-111540-00.002);

Thence through said Lot 3 and with the perimeter said 1.25 Lutz tract the following courses:

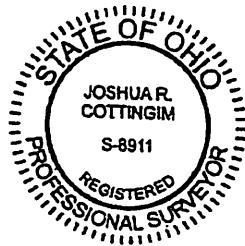
Northerly, with the westerly line of said 1.25 acre Hughes tract, a distance of 363± feet to a point;

Westerly, with the southerly line of said 5.00 acre Jug Street tract, a distance of 150± feet to a point being the northeast corner of said 1.25 acre Artis tract;

Southerly, with the easterly line of said 1.25 acre Artis tract, a distance of 363± feet to a point in the centerline of said Jug Street Road and the southeast corner of said 1.25 acre Artis tract;

Thence westerly, with said Corporation line and the centerline of Jug Street Road and the southerly lines of the following tracts; said 1.25 acre Artis tract, said 5.00 acre Jug Street tract, said 6.420 acre Davidson tract, said 6.032 acre Hiles tract, said 5.756 acre Wickline tract, said 5.856 acre Kimble tract, said 6.871 acre Frost tract, said 6.224 acre Writesel tract, said 5.001 acre Sunkara & Gutta tract, said 5.009 acre Frost tract, said 2.00 acre MBJ Holdings tract, said 1.89 acre Rusmisl tract and the Existing City of New Albany Corporation line, of record in Ordinance Number O-32-2022, Instrument Number 202211160027369, a distance of 1883± feet to the to the POINT OF BEGINNING and containing 106.4± acres of land more or less, being all out of the Township of Jersey.

This annexation description of the location of the property to be annexed is not a boundary survey as defined in O.A.C. Chapter 4733.37. The above annexation contains a total perimeter of 9732± feet to be annexed with length of 7077± feet contiguous with the existing City of New Albany Corporation line. 72.7% of the perimeter length is contiguous with the City of New Albany Corporation lines, as recorded in Ordinance Number O-11-2022 and Instrument Number 202205120011951, Ordinance Number O-01-2023 and Instrument Number 202302170002967, Ordinance Number O-44-2021 and Resolution Number 110-243 and Instrument Number 202211160027369.



CESO Inc.

Joshua R. Cottingim 9/30/25
Joshua R. Cottingim, Ohio PS
Registered Surveyor No. 8911

PRE-APPROVAL	
LICKING COUNTY ENGINEER	
APPROVED <input checked="" type="checkbox"/>	CONDITIONAL <input type="checkbox"/>
APPROVED BY:	<i>BS</i>
DATE:	<i>10/23/25</i>





The within map made part of the petition of annexation filed with the Board of Commissioners of Licking County, Ohio, on _____, 2025, under Chapter 709 of the Ohio Revised Code, is submitted as an accurate map of the territory in said petition described under the requirements of said Chapter 709 of the Ohio Revised Code.

Agent for Petitioners

The Board of County Commissioners of Licking County, Ohio, having received a petition bearing the signed names and addresses of the parties interested in the annexation to the City of New Albany, Ohio, of the territory shown hereon and having given due consideration to the prayer of said petition, do hereby grant the same.

Board of Licking County Commissioners

Commissioner

Commissioner

Commissioner

Transferred this _____ day of _____, 2025, upon the duplicates of this office.

Containing _____ acres.

Transfer Fee _____

Licking County Recorder

Council for the City of New Albany, Ohio, by ordinance _____ passed _____, 2025, and approved by the mayor _____ did accept the territory shown hereon for annexation to the City of New Albany, Ohio, a municipal corporation.

Attest: _____
Clerk, City of New Albany

Contiguity Note:

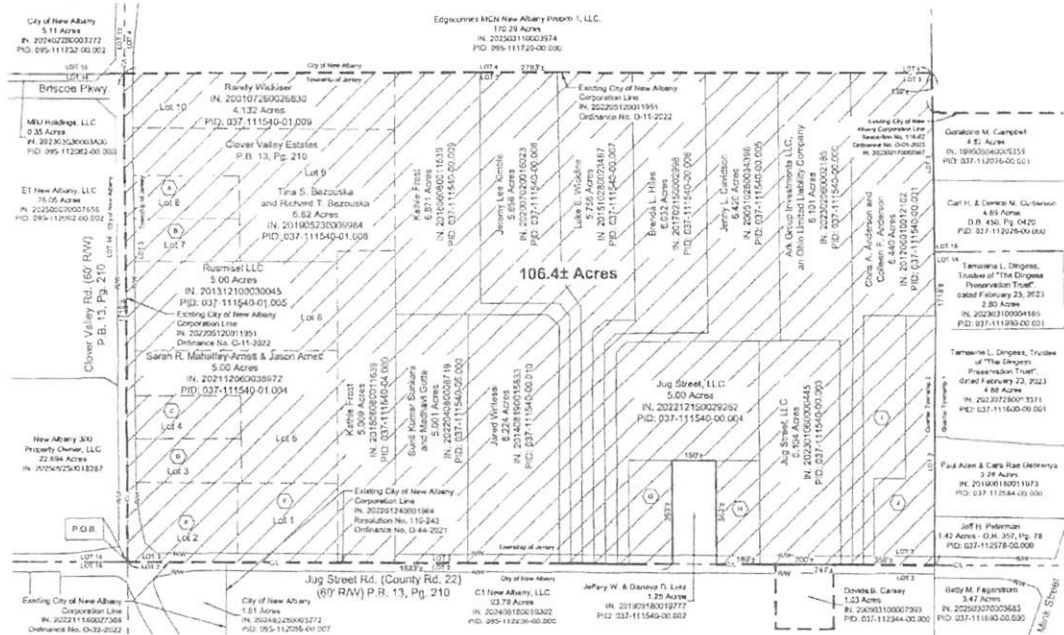
The Total Perimeter of Annexation Area is 9732.1 Feet, of Which 7077.1 Feet are Contiguous with the City of New Albany, Giving 72.7% Contiguity.

This Exhibit was prepared from Record information from the Licking County Engineer, Recorder and Auditor, and is not intended for the Transfer of Real Property.



John R. Cottingham 9/30/2025
John R. Cottingham, PE, PS No. 8911 Date

Map of Territory to be Annexed From: Township of Jersey To: City of New Albany
Sited in the State of Ohio, County of Licking, Township of Jersey.
Lot 3, Quarter Township 2, Township 2N, Range 15W, United States Military Lands



LEGEND

- Proposed City of New Albany Corporation Line
- - - - - Exist. Parcel Line
- - - - - Exist. Sub-division Line
- - - - - Exist. Road Center Line
- - - - - Exist. Farm Lot Line
- - - - - Exist. Right-of-Way
- - - - - Existing Corporation Line
- ▨ Prop. Area to be Annexed from Jersey Township (106.4± Acres)

Parties Included in Annexation

- Ⓐ Ray Rumsel and Vidal Rumsel and Todd Steven Dodson
1.25 Acres
IN: 20112220039628
PID: 037-11540-01.007
- Ⓑ Craig Long and Jessica Long
1.25 Acres
IN: 201994750007528
PID: 037-11540-01.006
- Ⓒ Claude W. Richardson and Peggy Richardson
1.25 Acres
O.R. 161, Pg. 115
PID: 037-11540-01.003
- Ⓓ Rumsel LLC
1.25 Acres
IN: 202006030013965
PID: 037-11540-01.002
- Ⓔ Rumsel LLC
1.83 Acres
IN: 202006030012966
PID: 037-11540-01.001
- Ⓛ MBJ Holdings, LLC
2.00 Acres
IN: 202202180004329
PID: 037-11540-01.000
- Ⓜ Aaron Arls
1.25 Acres
IN: 202008270022043
PID: 037-11540-02.000
- Ⓨ Wayne N. Hughes and Jesse M. Hughes
1.25 Acres
IN: 202006010012668
PID: 037-11540-06.000
- Ⓩ Michael Eugene Dikes and Renee L. Sides
2.343 Acres
IN: 201406190011186
PID: 037-11540-07.001
- ⓐ Larry E. Thompson
2.758 Acres
IN: 202003000005919
PID: 037-11540-07.000



BASIS OF BEARINGS
NAD 83 (2011), OHIO SOUTH



ANNEXATION
State of Ohio, County of Licking, Township of Jersey
Lot 3, Quarter Township 2, Township 2N, Range 15W, United States Military Lands

Revisors / Submitters

ID	Description	Date

Project Number: 767061
Scale: 1" = 200'
Drawn By: KBS
Checked By: JRC
Date: 9/29/2025
Issue: _____
Drawing Title: _____



ORDINANCE O-07-2026

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF NEW ALBANY BY AMENDING THE ZONING MAP TO REZONE 106.4 +/- ACRES OF LAND GENERALLY LOCATED NORTHEAST OF AND ADJACENT TO THE INTERSECTION OF JUG STREET AND CLOVER VALLEY ROAD FROM AGRICULTURAL DISTRICT (AG) TO LIMITED GENERAL EMPLOYMENT (L-GE) FOR AN AREA TO BE KNOWN AS "CLOVER VALLEY EAST ZONING DISTRICT" AS REQUESTED BY LINCOLN PROPERTY COMPANY C/O AARON UNDERHILL, ESQ., UNDERHILL & HODGE LLC

WHEREAS, the council of the city of New Albany has determined that it is necessary to rezone certain property located within the city to promote orderly growth and development of lands; and

WHEREAS, the New Albany Planning Commission and New Albany City Council on separate occasions have held public hearings and received public input into the amendment of the zoning ordinance; and

WHEREAS, pursuant to the application by Lincoln Property Company c/o Aaron Underhill, Esq., Underhill & Hodge LLC, the New Albany Planning Commission reviewed the proposed zoning amendment and recommended its approval on April 20, 2026 (ZC-27-2026).

NOW, THEREFORE, BE IT ORDAINED by council for the city of New Albany, counties of Franklin and Licking, State of Ohio, that:

Section 1. Council hereby amends the zoning ordinance map of the city of New Albany to change the zoning classification of the following described site:

- A. An approximately 106.4-acre site within Licking County, generally located northeast of and adjacent to the intersection of Jug Street and Clover Valley Road from its current zoning of Agricultural District (AG) to Limited General Employment (L-GE).
- B. The zoning district's boundary map and development plan are hereby attached and marked Exhibit A.

Section 2. It is hereby found and determined that all formal actions of this council concerning and relating to the adoption of this legislation were adopted in an open meeting of council, and that all deliberations of the council and or any of its committees that resulted in such formal action were in meetings open to the public, in compliance with Section 121.22 of the Ohio Revised Code.

Section 3. Pursuant to Article 6.07(B) of the New Albany Charter, this ordinance shall become effective thirty (30) days after adoption.

CERTIFIED AS ADOPTED this _____ day of _____, 2026.

Attest:

Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

Approved as to form:

Benjamin S. Albrecht
Law Director

Legislation dates:	
Prepared:	03/27/2026
Introduced:	04/07/2026
Revised:	04/20/2026
Adopted:	
Effective:	

CLOVER VALLEY EAST ZONING DISTRICT

LIMITATION (L-GE) TEXT

March 17, 2026

The Clover Valley East Zoning District (hereinafter, the “Zoning District”) consists of 106.4+/- acres located to the northeast of and adjacent to the intersection of Jug Street and Clover Valley Road. This rezoning serves to extend the same or similar zoning and development standards to property being annexed to the City as currently applied to much of the New Albany International Business Park.

I. Zoning Designation: L-GE, Limited General Employment District

II. Permitted Uses: The permitted and conditional uses contained and described in the Codified Ordinances of the City of New Albany, GE, General Employment District, Sections 1153.02 and 1153.03, provided that conditional uses are approved in accordance with Chapter 1115, Conditional Uses. The following uses from these code sections shall be prohibited:

- A. Mini-warehouses (See Section 1153.03(a)(4)(c)). For purposes of clarification, this prohibition only applies to such facilities that are made available for rental to the general public;
- B. Vehicle services (See Section 1153.03(b)(4));
- C. Radio/television broadcast facilities (See Section 1153.03(c)(1));
- D. Sexually-oriented businesses (See Section 1153.03(c)(3));
- E. Off-premises signs (See Section 1153.03(c)(2)); and
- F. Data center uses, except when all of the following conditions are met:

1. The data center use is associated with and is operated as part of (or in support of) another permitted use or conditional use that is operating within the Zoning District and the data center use is not operated primarily to serve uses, users, or consumers that are not directly associated with such operational use(s) within the Zoning District;

2. The data center use or uses occupy no more than 20% of the total gross square footage of primary buildings located within the Zoning District; and

3. The data center use or uses shall not be issued a certificate of zoning compliance unless and until certificates of zoning compliance and occupancy permits have been issued by the City for those portions of the primary buildings within the Zoning District from which permitted or conditional uses other than data centers are or will be operated.

III. Lot and Setback Commitments:

A. Lot Coverage: There shall be a maximum lot coverage in this Zoning District of 75%.

B. Setbacks:

1. Jug Street: There shall be a minimum pavement setback of 50 feet and a minimum building setback of 100 feet from the right-of-way of Jug Street.

2. Clover Valley Road: There shall be a minimum pavement setback of 50 feet and a minimum building setback of 100 feet from the right-of-way of Clover Valley Road.

3. New Public Streets: There shall be a minimum pavement and building setback of 25 feet from the right-of-way for any other new public streets within this Zoning District.

4. Eastern Perimeter Boundary: There shall be (i) a minimum pavement setback of 50 feet and a minimum building setback of 100 feet from any portion of the eastern perimeter boundary of this Zoning District which is adjacent to property on which residential uses are permitted, and (ii) a minimum pavement and building setback of 25 feet from all portions of the eastern perimeter boundary which are adjacent to property on which no residential uses are permitted.

5. Northern Perimeter Boundary: There shall be a minimum pavement and building setback of 25 feet from the northern perimeter boundary line of this Zoning District.

6. Intervening Parcel: There shall be a minimum pavement setback of 50 feet and a minimum building setback of 100 feet from any portion of the Zoning District which shares a boundary with that certain parcel of real property that is known on the effective date of this text as Licking County Auditor Parcel Number 037-111540-00.002.

7. Elimination of Setbacks: In the event that a parcel located within this Zoning District and an adjacent parcel located within or outside of this Zoning District (i) come under common ownership or control, (ii) are zoned to allow compatible non-residential uses, and (iii) are combined into a single parcel, then any minimum building, pavement, or landscaping setbacks set forth in this text as they apply to common property lines shall no longer apply with respect to these parcels.

IV. Architectural Standards:

A. Service and Loading Areas: Service areas and loading areas shall be screened in accordance with the Codified Ordinances.

B. Building Design:

1. Building designs shall not mix architectural elements or ornamentation from different styles.

2. Buildings shall be required to employ a comparable use of materials on all elevations.

3. The number, location, spacing, and shapes of windows and door openings shall be carefully considered. Primary entrances to buildings shall be made sufficiently prominent that they can be easily identified from a distance.

4. For office buildings and complexes, achieving a human or pedestrian scale is of less concern. When achieving such a scale is desired, it may be achieved by careful attention to width of facades, size and spacing of window and door openings, and floor to floor heights on exterior walls.

5. All elevations of a building that are visible from a public right-of-way shall receive similar treatment in terms of style, materials, and design so that such elevations are not of a lesser visual character than any other.

6. Use of elements such as shutters, cupolas, dormers, and roof balustrades shall be avoided in building designs that are not based on traditional American architectural styles. Such elements may be employed only when they are common elements of a specific style, and this style shall be replicated in its entirety. When shutters are employed, even if they are non-operable, they must be sized and mounted in a way that gives the appearance of operability.

7. Elements such as meter boxes, utility conduits, roof and wall projections such as vent and exhaust pipes, basement window enclosures, and trash containers shall be designed, located, or screened so as to minimize their visibility and visual impact from off-site. Solar energy systems shall be excluded from the requirements of this section.

8. Accessory or ancillary buildings, whether attached or detached, shall be of similar design, materials and construction as the nearest primary structure. Fenestration themes that employ windows, panels and piers that are consistent with the architectural vocabulary of the building are

encouraged. Accessory structures, generators, storage tanks, trash receptacles or any other similar improvement must be located behind a building façade that does not front on a public right-of-way.

C. Building Form:

1. All building elevations shall be designed to be compatible with each other and to reflect a consistent design approach.

2. Gable or hip roofs shall be avoided unless a building design replicates a traditional American architectural style that employs such roof forms. In non-stylistic contemporary designs, low or flat roofs may be employed. Roof visibility shall be minimized.

D. Materials:

1. Exterior building materials shall be appropriate for contemporary suburban designs and shall avoid overly reflective surfaces. Traditional materials such as, but not limited to, wood, stone, brick, and concrete shall be permitted, and contemporary materials such as, but not limited to, aluminum, metal, glass, stucco, or cementitious fiberboard (e.g., hardiplank or equivalent) shall be permitted on buildings not employing traditional styles. Architectural precast concrete panels and/or poured-in-place concrete tilt-up panels shall be permitted. The use of reflective or mirrored glass shall be prohibited.

2. Prefabricated metal buildings and untreated masonry block structures are prohibited. Notwithstanding the foregoing, ancillary structures built and operated for the purpose of enclosing equipment and which are not occupied by tenants or persons on a regular basis may be constructed using pre-engineered metal.

3. Generally, the quantity of materials selected for a building shall be minimized.

4. Loading docks are not required to have the same degree of finish as a main entry unless they are visible from a public right-of-way.

5. Additional Standards for Uses Not Governed by DGRs: Buildings that are constructed to accommodate certain uses are not governed by the City's Design Guidelines and Requirements (DGRs). For example, buildings that are constructed for the operation of data centers, warehousing and/or distribution uses are not subject to the DGRs and can present challenges in meeting the community standard for architectural design. Such buildings are necessarily large and typically include long walls that together form a square or rectangular box. The goal for the

development of buildings that are not subject to the DGRs is to balance the practical needs of these buildings with the desire to provide exterior designs that are attractive and complimentary to the architecture that will be found elsewhere in this Zoning District.

Architecture by its nature is a subjective medium, meaning that the adoption of strict objective standards in all instances may not provide the best means for achieving appropriate design. In recognition of this fact, the standards set forth herein provide guidelines and suggestions for designing buildings that are not subject to the DGRs in an effort to set expectations for the quality of architecture that will be expected for these structures. On the other hand, these standards are meant to allow for some flexibility to encourage innovative design provided that the spirit and intent of these provisions are met.

In conjunction with an application for a certificate of appropriateness for each building or structure in this Zoning District that is not subject to or governed by the DGRs, the applicant shall be required to submit to the City illustrations of the proposed exterior design of the building or structure for review and approval by the Design Review Committee contemplated in Section 1157.08(a)(1)(D) of the City Code. In designing such buildings, the user or applicant shall consider the following, which are intended to set a level of expectation for the quality of design:

- a. Architectural design for all portions of a building or structure that are visible from a public right-of-way (excluding public rights-of-way whose primary purpose is to accommodate truck traffic or service loading areas) shall meet the community standard in terms of quality while considering the unique nature of the use(s) that will be found therein.
- b. Uninterrupted blank wall facades shall be prohibited to the extent that they are visible from a public right-of-way. Design variations on long exterior walls shall be employed in order to create visual interest. Examples of such design variations include, but are not limited to, the use of offsets, recesses and/or projections, banding, windows, and/or reveals; scoring of building facades; color changes; texture or material changes; and variety in building height.
- c. The use of one or more architectural or design elements may be used to soften the aesthetics of the building, such as but not limited to canopies, porticos, overhangs, arches, outdoor patios, community spaces, or similar devices.
- d. Contemporary exterior designs, while not required, shall be encouraged in order to create architecture that does not look aged or dated even many years after the facility is built.

e. Landscaping and/or the use of existing vegetation shall be utilized where appropriate to enhance the aesthetics of the building and to lessen its visual impact when viewed from public rights-of-way.

6. Roof-Mounted Equipment: Complete screening of all roof-mounted equipment shall be required on all four sides of buildings with materials that are consistent and harmonious with the building's façade and character. Such screening shall be provided in order to screen the equipment from off-site view and to buffer sound generated by such equipment. These requirements do not apply to roof-mounted solar panels.

V. Access, Parking, Site Circulation, and Traffic Commitments:

A. Vehicular Access: The developer shall work with the City Manager or their designee to determine the need for appropriate timing and phasing of street improvements to serve this Zoning District. A minimum of two (2) vehicular access points shall be permitted along Jug Street and a minimum of one (1) vehicular access point shall be permitted on Clover Valley Road. Subject to other provisions in this text, on public rights-of-way which exist on the date of this text the number, locations, and spacing of curbcuts shall be determined and approved by the City Manager or their designee in consultation with the developer at the time that a certificate of appropriateness is issued for a project in this Zoning District.

B. Parking and Loading: Parking and loading spaces shall be provided for each use per Chapter 1167 of the Codified Ordinances of the City of New Albany.

C. Rights-of-Way: The property owner shall dedicate right-of-way for Jug Street to the City at a distance of 30 feet as measured from the existing centerline of that street. The property owner shall dedicate right-of-way for Clover Valley Road to the City at a distance of 40 feet as measured from the existing centerline of that street. The property owner shall grant easements to the City which are adjacent to the aforementioned rights-of-way to the extent necessary to provide for the installation and maintenance of streetscape improvements, public utility lines, and leisure paths.

VI. Buffering, Landscaping, Open Space, and Screening: A landscaping plan shall be approved as part of the City's review of a certificate of appropriateness application for each portion of this Zoning District that is proposed for development. The following landscaping requirements shall apply to this Zoning District:

A. Tree Preservation: Standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.

B. Landscaping Required Adjacent to Residential Uses: For those perimeter boundaries other than the eastern perimeter boundary which abut properties

containing existing residential uses or, as determined at the time that an application is filed for a building permit (“Building Permit”) in this Zoning District, has a zoning classification which permits the development and operation of residential uses thereon that are not owned by the developer (any real property meeting either of the foregoing criteria to be referred to herein as “Residential Property”), a minimum six (6) foot high mound shall be installed along the property line and shall include a landscape buffer on the mound which shall consist of a mixture of deciduous trees, evergreens and bushes to provide an opacity of 75% on the date that is 5 years after planting to a total height of 10 feet above ground level. Along the eastern perimeter boundary, there is an existing significant topographic change resulting in a major downward slope of 10-20 feet extending westward from the eastern perimeter boundary line of the Zoning District which provides what is effectively an existing mound that screens views looking into the site from the east (see accompanying topography exhibit). In lieu of installing a new mound along the eastern perimeter boundary line, the existing topography shall remain and the required plantings that would have been required to be planted on a new mound instead shall be planted between the eastern perimeter boundary line and buildings or pavement. Where existing trees are present along any boundary line, planting and mounding requirements may be waived in order to preserve the trees..

C. Fencing: A standard New Albany white four-board horse fence may (but shall not be required to) be provided within the public rights-of-way along Clover Valley Road and Jug Street.

D. Stormwater Management: Wet and dry stormwater basins shall conform to the standards set forth in Section 1171.08 of the Codified Ordinances of the City of New Albany.

E. Street Trees: A street tree row shall be established along Jug Street and Clover Valley Road and shall contain at least one (1) tree for every thirty (30) feet of road frontage. Trees may be grouped or regularly spaced. Street trees shall be located within the right-of-way. Minimum street tree size at installation shall be three (3) caliper inches. This requirement may be waived in areas where existing vegetation occurs.

F. Landscaping Along Jug Street: Landscaping within the pavement setback along Jug Street shall be coordinated and consistent throughout this Zoning District and adjacent zoning districts. Landscaping, when installed within these setbacks, shall be provided in accordance with the following standards:

1. A minimum of ten (10) deciduous trees shall be installed for every 100 feet of frontage on the public right-of-way. Such trees shall be planted in random locations (i.e., not in rows). No more than 30% of such trees shall be of a single species.

2. Where existing healthy and mature trees are found within these pavement setbacks, such trees may be preserved in lieu of installing the required trees, provided that a similar amount of vegetation is being preserved when compared to that which would otherwise be required to be installed.

3. Mounding shall be permitted but not required. When utilized, mounding shall have a minimum height of 3 feet and a maximum height of 12 feet. The slope of mounds shall not exceed 3:1 from the crest of the mound extending toward the private site, and shall not exceed a 6:1 slope from the crest of the mound extending toward the public right-of-way.

G. Parking Areas: Within this Zoning District, there shall be no less than one (1) tree planted for every ten (10) parking spaces located therein. At least five percent (5%) of the vehicular use area shall be landscaped or green space (or treed areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles.

H. Pedestrian Circulation: An 8-foot-wide asphalt leisure path shall be installed along the Jug Street frontage of the site.

I. Minimum On-Site Tree Sizes: Unless otherwise set forth herein, minimum tree size at installation shall be no less than two and one half (2 ½) inches in caliper for shade trees, six (6) feet in height for evergreen trees, two (2) inches in caliper for ornamental trees, and thirty (30) inches in height for shrubs. Caliper shall be measured six (6) inches above grade.

J. Bonding: All street trees that are not installed prior to infrastructure acceptance shall be bonded to guarantee installation.

VII. Lighting:

A. All parking lot and private driveway lighting shall be cut-off type fixtures and down cast. Parking lot lighting shall be from a controlled source in order to minimize light spilling beyond the boundaries of the site.

B. All parking lot light poles shall be black or New Albany green and constructed of metal. Light poles shall not exceed 30 feet in height.

C. Lighting details shall be included in the landscape plan which is subject to review and approval by the City Landscape Architect.

D. Landscape uplighting from a concealed source shall be subject to staff approval. All uplighting fixtures must be screened by landscaping. Lighting details shall be included in the landscape plan which is subject to review and approval by the City Landscape Architect.

E. No permanent colored lights or neon lights shall be used on the exterior of any building.

F. All other lighting on the site shall be in accordance with City Code. Street lighting must meet the City standards and specifications.

G. Solar panels may be incorporated and installed as appropriate.

VIII. Signage: All signage shall conform to the standards set forth in Chapter 1169 of the Codified Ordinances of the City of New Albany.

IX. Utilities: All new utilities installed solely to serve this Zoning District shall be installed underground.

X. Noise Regulations: The Codified Ordinances currently contain provisions relating to sound which are broad, meaning that noise impacts are evaluated on a site-specific basis. Generally, the goal is to ensure that overall sound levels on a property following development will not impose material negative impacts on neighboring property owners. The City intends to begin evaluating potential updates to the Codified Ordinances to provide more objective standards for evaluating potential and existing sound impacts.

Following approval of this zoning, the applicant will work diligently with the City to identify best practices to mitigate sound impacts from new development within this Zoning District, which shall include consultation and coordination with experts to be hired by the City. Should the Codified Ordinances be updated at the time when the first building permit application is filed for development in any portion of the Zoning District, then such development shall comply with those updated standards. In the event that the Codified Ordinances have not been updated by that time, then as a condition of building permit issuance the applicant for this zoning application and the City staff shall negotiate and execute an agreement, to be signed by the City Manager and a representative of the applicant, which details sound mitigation measures and requirements to be applied to the site. Once such an agreement is signed, its contents shall constitute an addendum to the approved zoning text and the standards set forth therein shall become requirements for the Zoning District which are enforceable in the same manner as other zoning requirements. Ultimately, each new user is responsible for maintaining and mitigating noise levels in accordance with such an agreement.



ORDINANCE O-12-2026

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF NEW ALBANY BY AMENDING THE ZONING MAP TO REZONE 69.654 +/- ACRES OF LAND GENERALLY LOCATED AT THE INTERSECTION OF EAST WALNUT STREET AND BEVELHYMER ROAD FROM ITS CURRENT ZONING OF "AG" AGRICULTURAL DISTRICT TO "CF" COMMUNITY FACILITIES AS REQUESTED BY THE CITY OF NEW ALBANY C/O EMH&T

WHEREAS, the council of the city of New Albany has determined that it is necessary to rezone certain property located within the city to promote orderly growth and development of lands; and

WHEREAS, the Rocky Fork-Blacklick Accord, New Albany Planning Commission, and New Albany City Council on separate occasions have held public hearings and received public input into the amendment of the zoning ordinance; and

WHEREAS, pursuant to the application by the city of New Albany c/o EMH&T, the New Albany Planning Commission reviewed the proposed zoning amendment and recommended its approval on April 7, 2026 (ZC-05-2026).

NOW, THEREFORE, BE IT ORDAINED by council for the city of New Albany, counties of Franklin and Licking, State of Ohio, that:

Section 1. Council hereby amends the zoning ordinance map of the city of New Albany to change the zoning classification of the following described site:

- A. An approximately 69.654 +/- acre site within Franklin County, generally located at the intersection of East Walnut Street and Bevelhymer Road from its current zoning of Agricultural District (AG) to Community Facilities (CF).
- B. The zoning district's boundary map and development plan are hereby attached and marked Exhibit A.

Section 2. It is hereby found and determined that all formal actions of this council concerning and relating to the adoption of this legislation were adopted in an open meeting of council, and that all deliberations of the council and or any of its committees that resulted in such formal action were in meetings open to the public, in compliance with Section 121.22 of the Ohio Revised Code.

Section 3. Pursuant to Article 6.07(B) of the New Albany Charter, this ordinance shall become effective thirty (30) days after adoption.

CERTIFIED AS ADOPTED this _____ day of _____, 2026.

Attest:

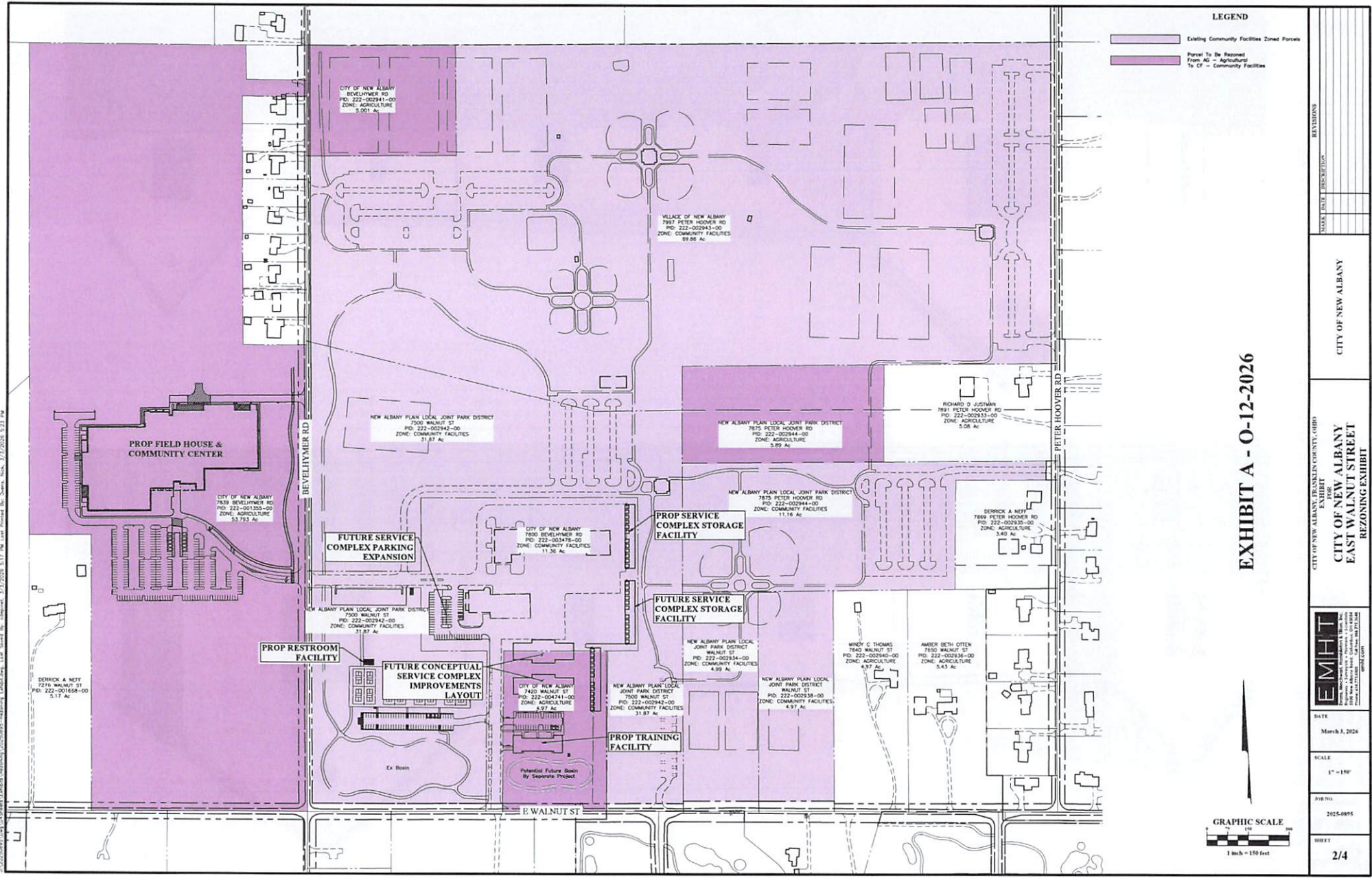
Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

Approved as to form:

Benjamin S. Albrecht
Law Director

Legislation dates:	
Prepared:	04/06/2026
Introduced:	04/21/2026
Revised:	
Adopted:	
Effective:	



LEGEND

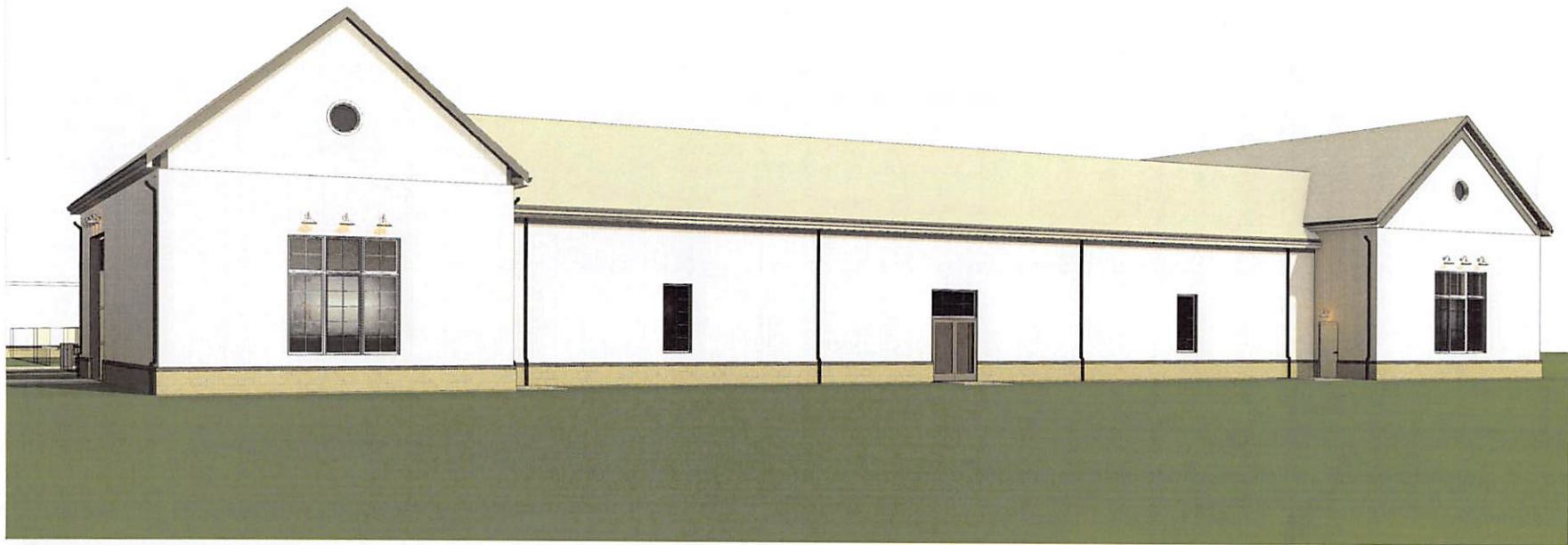
- Existing Community Facilities Zoned Parcels
- Parcels To Be Re-zoned From AG - Agriculture To CF - Community Facilities
- Community Facilities

EXHIBIT A - O-12-2026

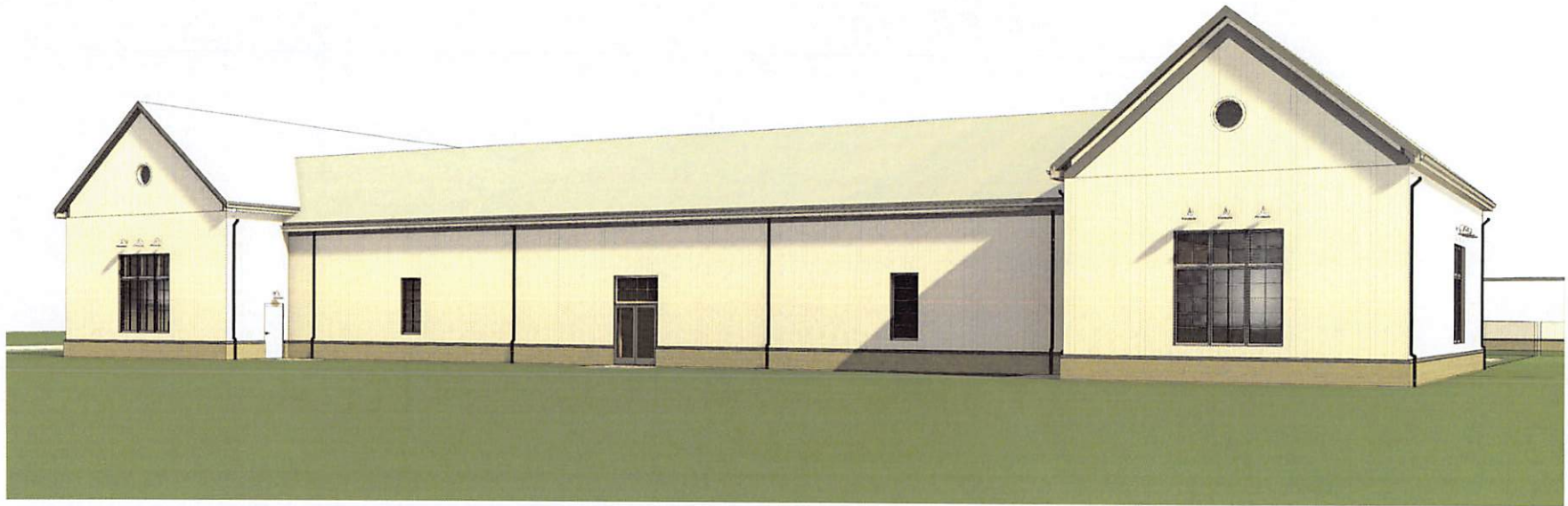
REVISIONS	
SCALE	
DESCRIPTION	
DATE	
PROJECT	CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
SHEET	CITY OF NEW ALBANY EAST WALNUT STREET REZONING EXHIBIT
DATE	March 3, 2026
SCALE	1" = 150'
JOB NO.	2025-0895
SHEET	2/4



20250895.dwg, C:\Users\jcarroll\Desktop\20250895-Resoning_2025.dwg, User: jcarroll, 3/3/2026, 5:17 PM, local, Internal: Bb, Status: New, 3/3/2026, 5:23 PM



① SW



② SE

HORNE
architects
18
KING

All drawings and written material appearing herein constitute the entire and complete work of the architect and the same may not be duplicated, used or disclosed without the written consent of the architect.



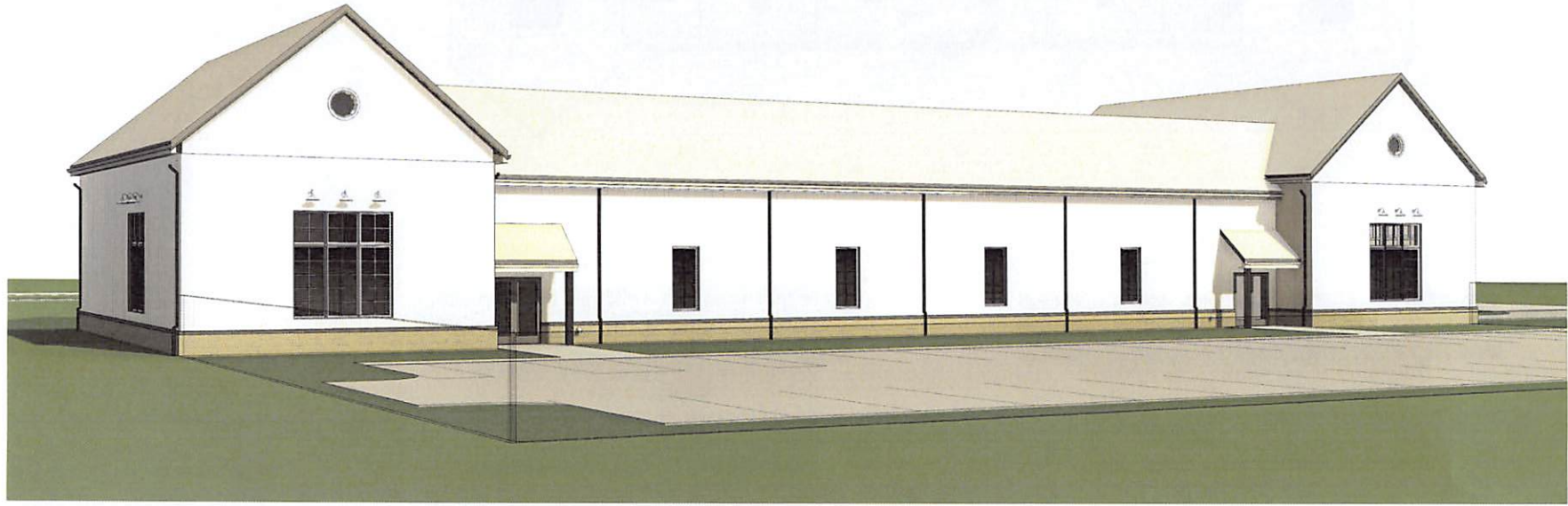
NEW ALBANY POLICE TRAINING FACILITY

7800 BEVELHYMER ROAD
NEW ALBANY, OHIO 43054

DD DET.	10/05/20
ARB PRELIM SET	03/10/20
ARB REVISED SET	04/10/20

3D VIEWS

G102



© ME



© NY

HORNE
T&K
architects
KING

All drawings and written material appearing herein constitute the original and unpublished work of the architect and the same may not be duplicated, used or disclosed without the written consent of the architect.



NEW ALBANY POLICE TRAINING FACILITY

7800 BEVELHYMER ROAD
NEW ALBANY, OHIO 43054

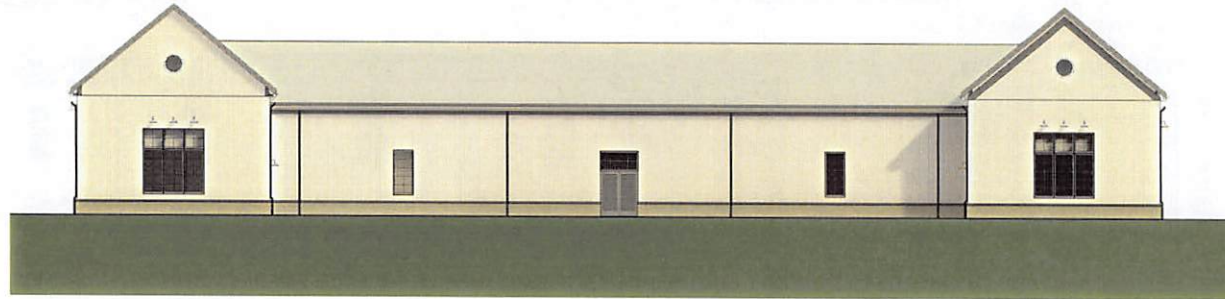
3D SET 1966/026
A&S PRELIM SET 8319/026
A&S REVISED SET 1461/026

3D VIEWS

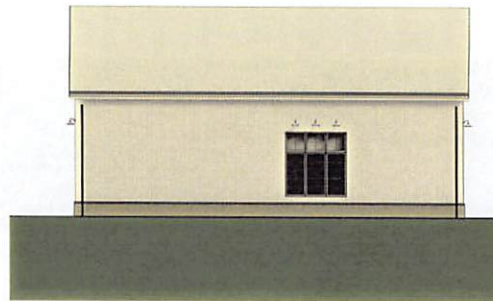
G103

EXTERIOR FINISHES

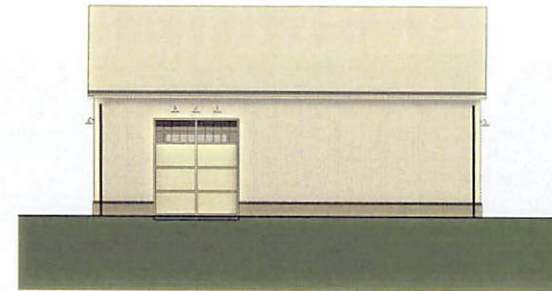
- METAL ROOF: DWR/PANLOCK SLATE, COLOR: DYNACIAD WEATHERED ZINC
- ALUMINUM GUTTERS & DOWNSPOUTS: DME, COLOR: DYNACIAD WEATHERED ZINC
- VERTICAL METAL SIDING: DWR/PANEL W/RFY, COLOR: DYNACIAD WHITE
- SPLIT-FACED BLOCK & WATER TABLE: OVERFIELDS, COLOR: NATURAL GRAY
MORTAR: CEMEX, COLOR: BRILLIANTSTONE
- ENTRY DOORS & WINDOWS: KARRNER, COLOR: BONE WHITE
- GARAGE DOORS: OVERHEAD DOOR CO. THERMADORE SW, COLOR: WHITE
UPPER SASHES



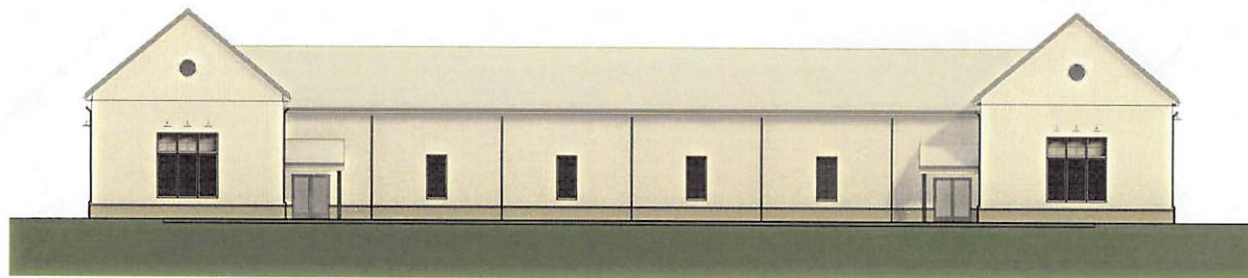
1 SOUTH ELEVATION WITH COLOR
1/8" = 1'-0"



2 EAST ELEVATION WITH COLOR
1/8" = 1'-0"



3 WEST ELEVATION WITH COLOR
1/8" = 1'-0"



4 NORTH ELEVATION WITH COLOR
1/8" = 1'-0"



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NEW ALBANY POLICE TRAINING FACILITY

7800 BEVELHYMER ROAD
NEW ALBANY, OHIO 43054

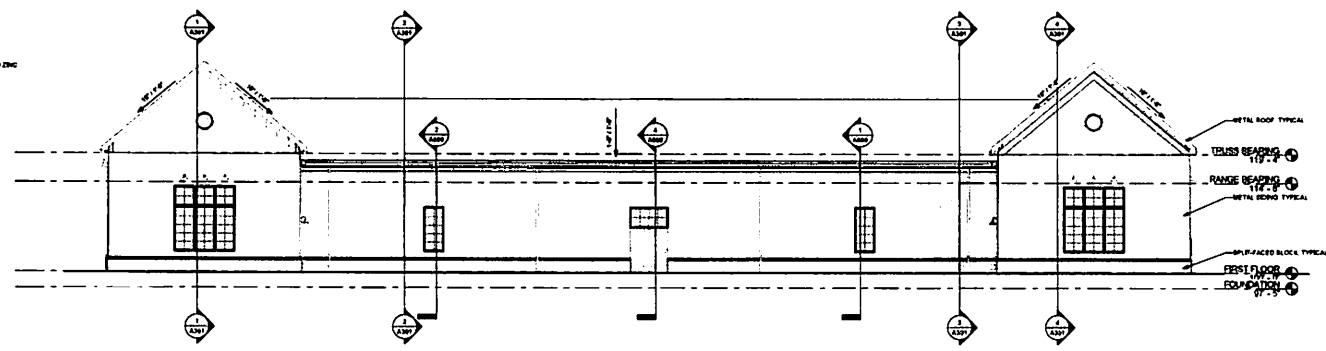
50 SET 10662025
ARB PRELIM SET 63180024
ARB REVIEW SET 64610024

EXTERIOR ELEVATIONS

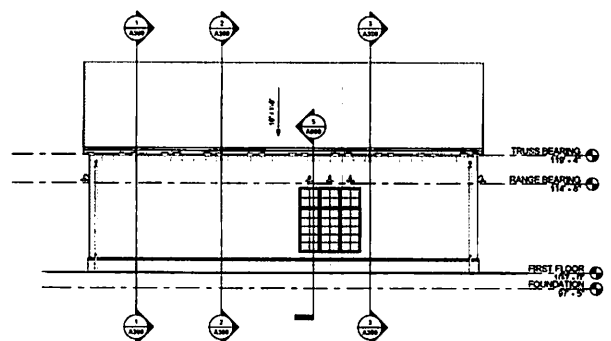
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EXTERIOR FINISHES

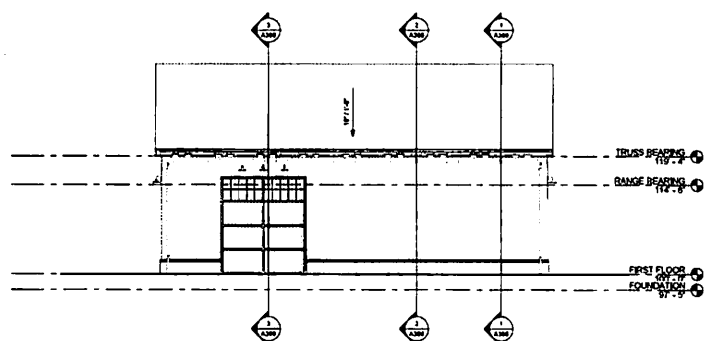
METAL ROOF	DWS SPANLOCK 56-23	COLOR DYNACLAD WEATHERED ZINC
ALUMINUM GUTTERS & DOWNSPOUTS	DWE	COLOR DYNACLAD WEATHERED ZINC
VERTICAL METAL SIDING	DWS PLANKS 1/8" P/P	COLOR DYNACLAD WHITE
SURFACED BLOCK & WATER TABLE	DEE STEELDA	COLOR NATURAL GRAY
	MORTAR CEMENT	COLOR 3/4" LIMESTONE
DIRTY DOORS & WINDOWS	KAMMEER	COLOR BONE WHITE
GARAGE DOORS	OVERHEAD DOOR LOG. THERMOCLIPS 100	COLOR 89-075
		UPPER 1/2" SLATS



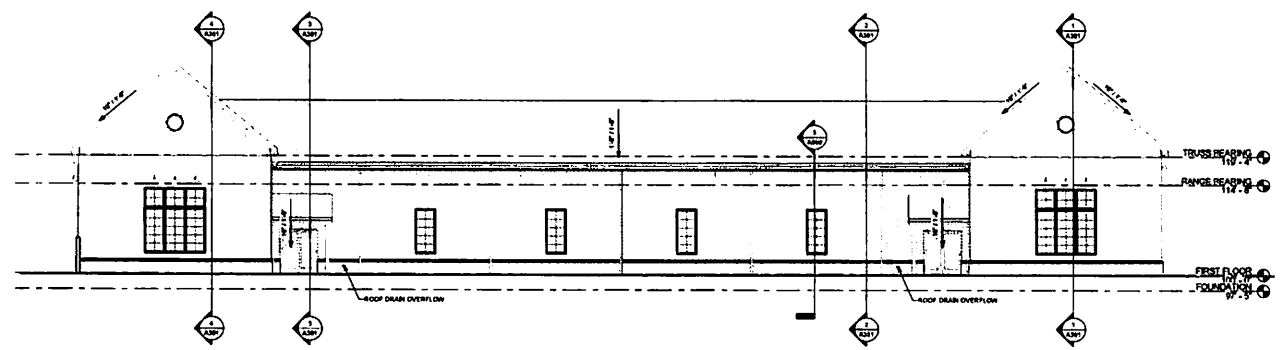
① SOUTH ELEVATION
1/8" = 1'-0"



① EAST ELEVATION
1/8" = 1'-0"



① WEST ELEVATION
1/8" = 1'-0"



① NORTH ELEVATION
1/8" = 1'-0"



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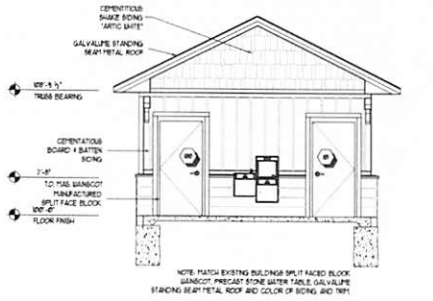
NEW ALBANY POLICE TRAINING FACILITY

7800 BEVELHYMER ROAD
NEW ALBANY, OHIO 43054

DR. CRT. 1/16/02R
ASB. PRELIM. SET. 2/11/02R
ASB. REVISED SET. 3/16/02R

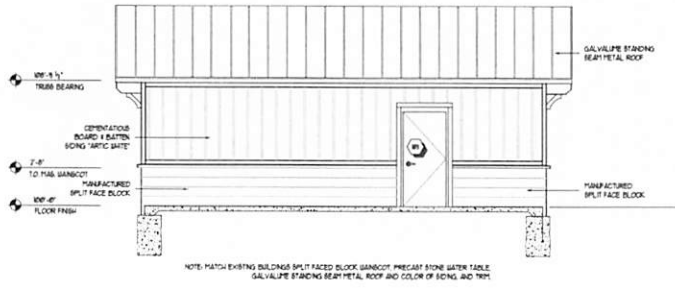
EXTERIOR ELEVATIONS

A200



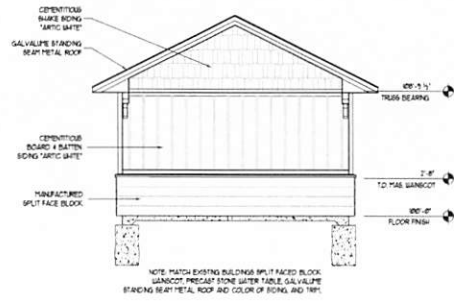
NOTE: MATCH EXISTING BUILDING SPLIT FACED BLOCK, MANICOT PRECAST STONE WATER TABLE, GALVALUME STANDING SEAM METAL ROOF AND COLOR OF SIDING AND TRUSS.

A FRONT ELEVATION
SCALE: 1/4" = 1'-0"



NOTE: MATCH EXISTING BUILDING SPLIT FACED BLOCK, MANICOT PRECAST STONE WATER TABLE, GALVALUME STANDING SEAM METAL ROOF AND COLOR OF SIDING AND TRUSS.

B SIDE ELEVATION
SCALE: 1/4" = 1'-0"



NOTE: MATCH EXISTING BUILDING SPLIT FACED BLOCK, MANICOT PRECAST STONE WATER TABLE, GALVALUME STANDING SEAM METAL ROOF AND COLOR OF SIDING AND TRUSS.

C REAR ELEVATION
SCALE: 1/4" = 1'-0"

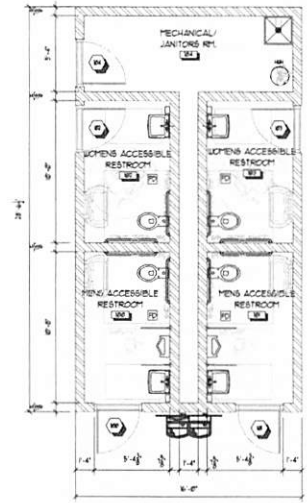


NOTE: MATCH EXISTING BUILDING SPLIT FACED BLOCK, MANICOT PRECAST STONE WATER TABLE, GALVALUME STANDING SEAM METAL ROOF AND COLOR OF SIDING AND TRUSS.

D SIDE ELEVATION
SCALE: 1/4" = 1'-0"

COLOR SCHEDULE		
SYMBOL	DESCRIPTION	COLOR
	CEILING/ROOF BOARD AND BATTEN OR BLAKE SIDING	"White" or "Fiber Cement" SIDING STANDARD COLOR - "ARTIC WHITE"
	SPLIT FACED BLOCK/MANICOT MANICOT WALL	NORTHFIELD BLOCK COMPANY, PRIME STONE SERIES COLOR: ALABASTER ROOFACE
	STANDING SEAM METAL ROOF	STEELON LOOKING 18" W/ STANDING SEAM METAL ROOF PANELS STANDARD COLOR - "GALVALUME TRUSS"
	ALUMINUM WINDOW & DOORS	EPIC 2000 SERIES 7" COMMERCIAL GRADE WINDOW & DOORS COLOR: BONE WHITE

NOTE: METAL TRUSS & FLASHING COLORS SHALL MATCH WALL PANEL COLOR. VERIFY W/ ARCHITECT PRIOR TO ORDERING.



NOTE: MEN'S AND WOMEN'S RESTROOM FLOOR PLAN LAYOUT CAN BE ADJUSTED WITHOUT ANY CHANGES TO EXTERIOR ELEVATIONS OR DIMENSIONS.

E BUILDING FLOOR PLAN
SCALE: 1/8" = 1'-0"

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PROJECT PHASE
 ■ PRELIMINARY
 ■ PLOTTING/PRINTING
 ■ CONTRACT DOCUMENTS
 ■ PERMIT DOCUMENTS
 ■ CONSTRUCTION NOT BIDDING
 ■ AS-BUILT DRAWING

MUNICIPAL SERVICE FACILITY
 CONSTRUCTION OF NEW PARK RESTROOM
 7000 DEVLINWALKER ROAD
 NEW ALBANY, OHIO 43054
 VILLAGE OF NEW ALBANY, OHIO
 100 WEST MARK STREET
 NEW ALBANY, OHIO 43054



Ronald J. Gajoch, License #92-10078
 Expiration Date December 31, 2026

RONALD J. GAJOCH & ASSOCIATES, INC.

ARCHITECTS & PLANNERS



RONALD J. GAJOCH & ASSOCIATES, INC.
 545 METRO PLACE SOUTH
 SUITE 400
 DUBLIN, OHIO 43007-3386
 PHONE: 614-793-4611
 FAX: 614-793-4621

PROJECT NO.
 VNA00215

DATE
 JANUARY 30, 2016

REVISIONS:
 1.
 2.
 3.
 4.
 5.

SHEET NO.

A-12



ORDINANCE O-13-2026

AN ORDINANCE TO AMEND CHAPTER 1159.11 OF THE PLANNING AND ZONING CODE OF THE CITY OF NEW ALBANY CODIFIED ORDINANCES AS REQUESTED BY THE CITY OF NEW ALBANY

WHEREAS, it has been found that the codified ordinances of the city of New Albany, Chapter 1159 needs to be amended; and

WHEREAS, New Albany City Council has determined that it is necessary to amend the codified ordinances of the city of New Albany to ensure approved development plans move forward in a timely manner consistent with adopted plans and policies; and

WHEREAS, the amendment will provide greater clarity, predictability, and a limited-extension framework to establish consistent review standards, allowing flexibility for circumstances beyond an applicant's control; and

WHEREAS, the Planning Commission has held a public hearing on the amendment and recommended approval of the proposed amendment to the codified ordinance at its meeting on March 16, 2026.

NOW, THEREFORE, BE IT ORDAINED by council for the city of New Albany, counties of Franklin and Licking, State of Ohio, that:

Section 1. Portions of Codified Ordinance Chapter 1159.11 shall be amended as set forth in Exhibit A, which depicts these amendments in colored ink.

Section 2. It is hereby found and determined that all formal actions of this council concerning and relating to the adoption of this legislation were adopted in an open meeting of council, and that all deliberations of the council and or any of its committees that resulted in such formal action were in meetings open to the public, in compliance with Section 121.22 of the Ohio Revised Code.

Section 3. Pursuant to Article 6.07(B) of the New Albany Charter, this ordinance shall become effective thirty (30) days after adoption.

CERTIFIED AS ADOPTED this _____ day of _____, 2026.

Attest:

Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

Approved as to form:

Benjamin S. Albrecht
Interim Law Director

Legislation dates:

Prepared: 04/06/2026

Introduced: 04/21/2026

Revised:

Adopted:

Effective:

CHAPTER 1159 PUD PLANNED UNIT DEVELOPMENT DISTRICT¹

1159.11 RECORDING AND TRANSFER.

(a) Final Plat: When a final plat is approved by Council, the owner shall file and record the same in the Office of the County Recorder within twelve (12) months unless such time is, for good cause shown, extended by resolution of Council. If not recorded within this time, the approval of Council shall become null and void.

(b) Final Development Plan: If construction is not begun within two (2) years of approval of the Final Development Plan, all approvals and permits shall be invalidated and canceled. Original tracings will become the permanent record of the County Recorder. One copy of this tracing, reproduced on mylar, showing the date and place of recording, shall be supplied by the owner to Council as local public records. Such two (2) year period may be extended by the Commission for good cause. The applicant may request a one-time timeframe extension for one (1) year by the Commission, if the applicant has documented in-writing one of the following: a) Financial issues that would alter the expected FDP timeline; b) Delay in acquiring a required building or utility permit necessary to carry out the provisions of the FDP; c) Presence of an environmental or other public safety issues; d) Other unique reasons deemed as permissible by the Commission.

(Ord. 44-97. Passed 12-16-97; Ord. 25-2007. Passed 7-10-07.)

¹Cross reference(s)—District established - see P. & Z. 1125.01



ORDINANCE O-14-2026

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF NEW ALBANY BY AMENDING THE ZONING MAP TO REZONE 18.461 +/- ACRES OF LAND LOCATED AT 6060 EAST DUBLIN-GRANVILLE ROAD FOR AN AREA TO BE KNOWN AS THE "PRAIRIE HOUSE NEIGHBORHOOD" FROM ITS CURRENT ZONING OF SINGLE FAMILY RESIDENTIAL (R-2) TO "I-PUD" INFILL-PLANNED UNIT DEVELOPMENT AS REQUESTED BY FIVE DEVELOPMENT LLC, C/O AARON UNDERHILL, ESQ.

WHEREAS, the council of the city of New Albany has determined that it is necessary to rezone certain property located in the city to promote orderly growth and development of lands; and

WHEREAS, the New Albany Planning Commission and New Albany City Council on separate occasions have held public hearings and received public input into the amendment of the zoning ordinance; and

WHEREAS, pursuant to the application by Five Development LLC, c/o Aaron Underhill, Esq., the New Albany Planning Commission has reviewed the proposed zoning amendment and recommended its approval on April 6, 2026 (ZC-15-2026).

NOW, THEREFORE, BE IT ORDAINED by council for the city of New Albany, counties of Franklin and Licking, state of Ohio, that:

Section 1. Council hereby amends the zoning ordinance map of the city of New Albany to change the zoning classification of the following described site:

- A. A 18.461 ± acre area of land located at 6060 East Dublin-Grandville Road for an area to be known as the "Prairie House Neighborhood" from its current zoning of Single Family Residential (R-2) to Infill-Planned Unit Development (I-PUD).
- B. The zoning district's zoning text and preliminary development plan are hereby attached and marked Exhibit A.

Section 2. It is hereby found and determined that all formal actions of this council concerning and relating to the adoption of this legislation were adopted in an open meeting of council, and that all deliberations of the council and or any of its committees that resulted in such formal action were in meetings open to the public, in compliance with Section 121 of the Ohio Revised Code.

Section 3. Pursuant to Article 6.07(B) of the New Albany Charter, this ordinance shall become effective thirty (30) days after adoption.

CERTIFIED AS ADOPTED this _____ day of _____, 2026.

Attest:

Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

Approved as to form:

Benjamin S. Albrecht
Law Director

Legislation dates:

Prepared: 04/24/2026

Introduced: 05/05/2026

Revised:

Adopted:

Effective:

EXHIBIT A - O-14-2026

**PRAIRIE HOUSE NEIGHBORHOOD
INFILL PLANNED UNIT DEVELOPMENT (I-PUD)
ZONING AND DEVELOPMENT STANDARDS TEXT**

April 22, 2026

I. Introduction and Summary:

The property that is the subject of this PUD zoning text consists of 18.461± acres located on the former Prairie House site. It is to the north of and adjacent to East Dublin-Granville Road across from the intersection of that street with the entrance to Pickett Place. Various phases of Hampsted Village are located adjacent to the property on the west, east, and north.

The present zoning of the property is R-2, Estate Residential. This classification has applied to the property for many years despite retail uses having been operated therefrom. Non-residential uses are not appropriate for the property given the developed context around it. While the R-2 zoning of the site provides for a permitted density of 2.1 units per acre (20,000 minimum lot size divided into 43,560 square feet contained in an acre = 2.1 units/acre), the development standards which apply to the site are outdated and will result in a homogenous and less interesting plan that is being presented with this PUD. This plan will facilitate the clustering of homes, variety in lot sizes, and the preservation of trees that may not be achievable under the current zoning. The flexibility of standards afforded by a PUD will be pivotal in driving home prices upward, benefiting the New Albany Plain Local School District and the values of surrounding homes. The community will consist of custom and semi-custom homes that will meet the level of quality found in the New Albany County Club Communities.

II. Permitted Uses:

Permitted uses in this zoning district include single-family dwellings, parks, and open spaces. Residential model homes shall be conditional uses.

III. Development Standards:

Unless otherwise specified in the submitted drawings or in this written text the development standards of Title Five of the Codified Ordinances of the City of New Albany shall apply to this zoning district, as will the applicable provisions of the City's Design Guidelines and Requirements (DGRs). Basic development standards are being provided for items such as density, site planning, traffic, circulation, landscaping, and architecture. These component standards ensure consistency and quality throughout the development.

A. Density, Lot and Setback Commitments:

1. Number of Homes. There shall be a maximum of 39 homes.

2. Lot Widths. There shall be a mixture of lot widths and lot areas in this zoning district to achieve a variety of lot sizes. All lots shall have a minimum lot width of 60 feet or greater, provided that a maximum of 2 lots may have a minimum width of 50 feet or greater. For purposes of determining width and setback requirements, lots shall be categorized as Lot Prototype A, B, C, D, or E, or as a “Specialty Lot”. The preliminary locations of each type of lot are shown in the “Lot Parameters” exhibit that accompanies the preliminary development plan. Final locations of each lot type shall be reviewed and approved as part of a final development plan.

3. Lot Depths. The minimum depths of lots shall be 95 feet.

4. Front Yard Setbacks.
 - a. Home Facades. The following minimum front yard setbacks shall be required from the front lot line for all facades of a home which are not part of a garage based on the Lot Prototype on which they are located:
 - i. Lot Prototype A. 28 feet
 - ii. Lot Prototype B. 28 feet
 - iii. Lot Prototype C. 8 feet
 - iv. Lot Prototype D. 8 feet
 - v. Lot Prototype E. 28 feet
 - vi. Specialty Lots. 8 feet

 - b. Garage Facades. The minimum setback from front lot lines shall be zero for garages of homes that are located on Lot Prototypes A, B, and E and on Specialty Lots, provided that appropriate easements shall be implemented to accommodate off-site footings, eaves, and public and private utilities. No encroachments into the public street right-of-way shall be permitted. For garages on homes located on Lot Prototypes C and D, the minimum front setback shall be 8 feet.

5. Side Yard Setbacks.
 - a. Home Facades. There shall be a minimum setback of 5 feet from side lot lines on all lots for all facades of a home which are not part of a garage.

 - b. Garage Facades. The minimum setback from side lot lines shall be zero for garages of homes located on Lot Prototypes A, B, and E and on Specialty Lots, provided that appropriate easements shall be implemented

to accommodate off-site footings, eaves, and public and private utilities. No encroachments into the public street right-of-way shall be permitted. For garages on homes located on Lot Prototypes C and D, the minimum garage setback shall be 5 feet. In no event shall any two structures on adjacent lots be located less than 5 feet from one another.

6. Rear Yard Setbacks. There shall be a minimum rear yard setback for homes and garages of (i) 20 feet for all lots which do not share a property line with a perimeter boundary of this zoning district, except that lots which a rear lot line along an alley shall have a 10-foot minimum setback. There shall be a minimum rear yard setback for homes and garages of 30 feet for all lots which share a property line with the eastern perimeter boundary line of this zoning district and 40 feet for all lots which share a property line with the western perimeter boundary of this zoning district.
7. East Dublin-Granville Road. There shall be a minimum setback for homes of 50 feet from the right-of-way of East Dublin-Granville Road.
8. Encroachments. Stoops, steps, and covered porches shall be permitted to encroach a maximum of 5 feet within the front yard setback line. They shall not be permitted to encroach within rights-of-way or easements. Patios shall be permitted to encroach up to 10 feet into the minimum rear yard setback. Window wells may encroach up to 2 feet into the minimum required side yard, excluding locations where a zero setback is permitted. Air conditioning units shall not be permitted to encroach into side yards.
9. Lot Coverage. The maximum impervious lot coverage for each lot shall be 60%.

B. Access, Loading, Parking and other Traffic Related Commitments

1. Vehicular Access. Vehicular access to and from the zoning district shall be provided from a public street within the development which connects to East Dublin-Granville Road and aligns its intersection with the public street to the south known as Pickett Place. A second access point shall be provided to the west of the primary entry point on East Dublin-Granville Road but shall be restricted to emergency access only. The emergency access shall be located within dedicated public right-of-way and shall be constructed of grass pavers. The grass within the pavers shall be mowed and trimmed by the development's property owners' association while the pavers themselves shall be maintained and replaced as needed by the City. Breakaway bollards shall be installed near the intersection of the emergency access drive and the right-of-way of East Dublin-Granville Road.

2. Rights-of-Way and Road Widths:
 - a. East Dublin-Granville Road: Right-of-way shall be dedicated to the City for East Dublin-Granville Road for a distance of 50 feet from the centerline of the existing right-of-way for that street.
 - b. New Two-Way Streets. The right-of-way for internal public streets within the development that allow for traffic flow in opposite directions shall be 50 feet in width. Pavement for all internal public streets shall be 26 feet in width.
 - c. New One-Way Street. A one-way street shall be located to the front of Lots 22 through 26 as identified in the preliminary development plan. It shall have a minimum right-of-way width of 20 feet and a minimum pavement width of 12 feet. Parallel parking shall be permitted on one side of this street.
 - d. Private Alley. A private alley shall be located as generally illustrated in the preliminary development plan and as approved as part of a final development plan. The alley shall have a minimum of 12 feet of pavement and shall allow for one-way traffic. It shall be maintained by a private forced and funded homeowners' association that applies only to this zoning district. Appropriate easements shall be provided at the time of platting for vehicular access through (and the placement of utilities underneath or beside) the alley.
3. Off-Street Parking. All single family homes shall be required to have a minimum of 2 parking spaces within a garage and a minimum of 1 off-street parking space.
4. On-Street Parking. On-street parking shall be prohibited on the public entry street into the development between East Dublin-Granville Road and the first intersection of that public street with another public street within the development. Otherwise, on-street parking shall be permitted on the sides of public streets which do not contain fire hydrants. No parking shall be permitted in the private alley within the development.
5. Driveway Aprons. All driveway aprons shall be constructed to accommodate a maximum 16-foot driveway at the right-of-way line.
6. Traffic Access Study. At a minimum, a traffic access study shall be filed by the applicant along with a final development plan for review and approval by the City Engineer.

C. Architectural Standards

1. **Building Height.** The maximum height of homes shall be 35 feet as measured per the Codified Ordinances.

2. **Exterior Materials.**

- a. **Wall finish materials.** Brick, wood siding, and composite materials shall be permitted as exterior façade materials. Exterior wall finish material must be used to complete massing elements. The application of brick veneer to a single building facade is prohibited. The use of vinyl as a primary or secondary façade material also is prohibited.
- b. **Brick.** House brick to be of a "handmade appearance". Traditional brick detailing is required, such as, but not limited to, traditional bonds, water table caps, sills, jack arches, segmental arches and soldier courses.
- c. **Siding.** Siding shall be cedar shiplap wood siding or composition material with a natural appearance. Houses with wood or composite siding shall have brick chimneys and brick plinths to the height of the water table.
- d. **Colors.** Permissible colors for exterior home façade materials shall comply with permitted color palettes under the City's Design Guidelines and Requirements unless modifications to this color palette are approved by the Planning Commission as determined in its sole discretion at the time of final development plan review.
- e. **Roofs.** Pitched roofs shall be required to have a minimum 6:12 rise over run. Roof pitches with rise over run of less than 6:12 are permitted on minor roofs (i.e. entry porches, dormers, etc.). Flat roofs shall be permitted but must integrate strong cornice lines. Roofs may be of natural slate wood shake or wood shingle, metal standing seam, or an architectural grade fiberglass asphalt shingle.
- f. **Windows.** Windows shall be of traditional themes. Simulated or true divided lite windows shall be required.
- g. **Shutters.** Where used, shutters shall be sized to cover the adjacent window and appear operable. Shutters shall be mounted on appropriate shutter hardware (hinges and shutter dogs).
- h. **Gutters and downspouts.** Traditional half round gutters and/or ogee gutters with downspouts shall be used.
- i. **Skylights.** Skylights in the roof shall be permitted, provided they are not visible from off-site. Cupolas, dormers, lanterns, belvederes or window

bays shall be permitted, provided they are consistent with the architectural theme.

- j. Solar: Solar panels are permitted to be installed as long as they are not visible from the front of the home.

3. Vehicular and Pedestrian Standards.

a. Garages.

- i. Orientation. Garages may be side loaded or front loaded, except that homes served by the private alley shall be rear loaded..
- ii. Overhead Doors. Individual bay garage doors are required, double wide garage doors are prohibited. The width of garage doors shall not exceed 9 feet. The scale of the garage shall be minimized by low, one-story roof lines and low fascia lines. Windows are encouraged in the walls of garages.
- iii. Garage Doors (Pedestrian). All pedestrian garage doors shall be solid paneled.
- iv. Garage doors (Vehicular). All overhead garage doors shall be solid paneled. No glazing shall be permitted in garage doors unless they are consistent with the architectural theme.

- b. Driveways and Entry Courts. The appearance of driveways and entry courts shall be consistent throughout the neighborhood. Driveways shall be made of a durable material. Appropriate materials are brick, dark color concrete pavers, asphalt with controlled edges, and rolled-in stone topping. Concrete driveways are prohibited, except if there is a sidewalk in front of the house, the approach to the sidewalk may be concrete.

- c. Sidewalks. A 5-foot wide concrete sidewalk shall be provided along both sides of each public street.

- d. Walkways. A minimum of three (3) foot wide private sidewalk constructed of brick shall be required for every residence from the public sidewalk to the residence or from the driveway to the residence. Landscape timbers and railroad tie edging of walks or driveways is prohibited.

- e. Leisure Paths. An existing leisure trail runs along the north side of East Dublin-Granville Road and includes a curvature where it will overlap with the proposed primary street entrance into the zoning district. When this new public street is constructed this portion of the leisure trail shall be

removed and, to the extent that is not located within the new street pavement, will be reconstructed to provide a more linear alignment with the path as it exists to the east and west of the entrance. Appropriate related improvements to the path at and near the new street shall be made along with the construction of the new street to meet typical requirements at street crossings as required in similar situations throughout the City. A paved asphalt leisure path with a minimum width of 8 feet shall be provided in the parkland/open space within the northern portion of the zoning district. If permission is obtained from relevant adjacent property owners, the path shall provide for connections to adjacent properties. A potential layout for the leisure trail is provided along with the preliminary development plan, but the final location and layout shall be determined at the time of final development plan approval.

4. Attached Structures.

- a. Screened Porches. Screened porches are encouraged on the rear or sides of homes but are not permitted on the front. Detailing shall be traditional wood with a break in screening at rail height. Columns or full height vertical wood members shall be at least 6" x 6". All screened porch trim shall be painted. Roof lines of screened porches shall conform to the architectural style of the home and blend into the massing of the home.
- b. Service Courts. Service courts shall be provided to shield certain outdoor facilities from neighboring properties, including: air conditioners/heat pumps, garbage cans and carts, irrigation controllers, pumps, generators, and meters. All such facilities shall be enclosed within a service court which is attached to the house, entirely enclosed by a privacy wall or fence being a minimum of four feet high. Service courts shall be located away from the bedrooms of adjoining residences where possible.

5. Swimming Pools/Spas.

- a. Locations and Enclosures. All swimming pools/spas shall be located in the rear yard, within the building line of the site, completely enclosed by fencing and screened from adjoining properties. Variances to allow encroachments of pools and spas into minimum required rear yard setbacks are strongly discouraged.
- b. In-Ground Pools. All swimming pools shall be in-ground construction. The swimming pool/spa equipment shall be within the enclosure and completely screened from adjoining properties.
- b. Spas. Spas may be constructed as part of the house and shall be flush with the top of the paving. Spas shall be completely screened from adjoining properties by fencing or landscaping.

6. Storage Buildings.
 - a. Accessory Structures. Accessory structures shall be constructed of the same wall and roof materials as the home. The colors, walls, roof, and trim, shall match those used on the home. All other requirements for accessory structures shall be governed by relevant provisions of the Codified Ordinances.
 - b. Equipment Storage. Storage of all maintenance equipment shall be within garages or permitted storage structures or screened from off-site view. Such items should not be visible from streets, common open spaces, adjacent lots, or adjacent developments.
 - c. Vehicle Storage. All campers, off-road vehicles (i.e. box trucks), and boats must be parked within an enclosed garage. No undrivable vehicles or parts of vehicles may be stored outside.
7. Mailboxes. In accordance with federal postal regulations, one clustered box unit (CBU) shall be provided for mail delivery to residents in the development. The CBU shall be located within a privately owned common open space in a location to be determined at the time of final development plan approval and shall be maintained by a property owners' association that is specific to this development.
8. House Numbering. Each residence shall be required to install house numbers in a common location.
9. Orientation of Certain Homes. No homes shall back to parkland or open space except on Lots 38 and 39. Homes on Lots 1 and 28 as shown in the preliminary development plan shall have their front facades facing the primary entry street into the zoning district, meaning that each of them shall have a side facade facing East Dublin-Granville Road. Landscaping shall be provided between the right-of-way of East Dublin-Granville Road and the sides on the homes on Lots 1 and 28 in a manner that is similar to that which was approved for the lots at the entry of the Oxford residential subdivision, known as Lots 1 and 20 of New Albany County Club Section 29.

Homes on Lots 2 and 29 shall be angled so that their rear facades do not run parallel or nearly parallel to the right-of-way for East Dublin-Granville Road. Side facades of homes on Lots 1, 2, 28, and 29 which face East Dublin-Granville Road shall include enhanced architectural elements to avoid the appearance of blank or monotonous designs. Examples of such enhancements include (but are not limited to) the presence of brick chimneys, generous use of windows, and the placement of a pedestrian entrance to the home which is designed to feel as if it is a primary entrance. As part of the final development plan application, a landscaping plan shall be provided for review and approval for the area within the minimum required setback from East Dublin-Granville Road. The landscaping

plan shall provide similar types and quantities of landscaping as are found within the minimum required setback from East Dublin-Granville Road on the south side of that street within the Pickett Place neighborhood. Where existing trees exist, they may be incorporated into the landscaping plan to meet the requirements of this provision.

D. Buffering, Landscaping, Open Space and Screening Commitments:

1. **Stream Corridor Protection Zone:** A stream corridor protection zone that is a minimum of 150 feet in width with no less than 75 feet of this width to be located on either side of the centerline of the stream shall be provided along the stream within the parkland/open space located in the northern portion of the development. Buildings, pavement, and any accessory or accessory structures that include a foundation or that otherwise require a building permit shall be prohibited in this protection zone. A leisure path may be located within this zone.
2. **Tree Preservation Zones:**
 - a. **Along Perimeters.** A tree preservation zone shall apply:
 - i. Between the western perimeter boundary line of the zoning district and the western boundary of an existing sanitary sewer easement as shown in the preliminary development plan. This zone is at least 20 feet in width and may exceed that distance in some location. For purposes of clarification, the developer does not intend to remove trees from within the sanitary sewer easement area but has not labeled that area as a tree preservation zone due to the rights of the easement holder to remove trees should it need to maintain, repair, or replace the sanitary line within it;
 - ii. For a distance of 15 feet from the eastern perimeter boundary line of this zoning district; and
 - iii. For a distance of 50 feet from the right-of-way of East Dublin Granville Road between the emergency vehicular access point on that street and the western perimeter boundary line of the zoning district.
 - b. **Protection and Limited Removal.** Trees shall be protected and shall not be removed from tree preservation zones unless they are dead or diseased, are of an invasive or noxious species, or if they present a threat to the safety of persons or property.
 - c. **Within Northern Green Space.** Trees shall be preserved within the northern parkland/open space within the zoning district except that they may be removed to install an approved leisure trail and to install

stormwater management infrastructure, provided that the tree preservation requirements within perimeter tree preservation zones as detailed in the immediately preceding paragraph are respected. Trees also may be removed in this area for any other reason that is permitted and described in the immediately preceding paragraph.

- d. Standard Preservation Practices. Additionally, standard tree preservation practices will be in place to preserve and protect trees during all phases of construction, including the installation of snow fencing at the drip line.
 - e. Removal of Understory Vegetation. As part of final development plan approval, the Planning Commission may allow for the clearing of understory within tree preservation zones if it determines that it will enhance the aesthetics of these areas and will not unreasonably and negatively impact screening from adjacent lots or if it determines that understory is of a noxious or invasive species.
 - f. Recorded Restrictions. A written instrument with a specific prohibition on locating improvements within the tree preservation zones along the eastern and western perimeter boundary lines of the zoning district or within the existing sanitary sewer easement generally running parallel to the western perimeter boundary line of the zoning district shall be record against each lot which shares a rear lot line with said eastern perimeter or western perimeter boundary lines.
 - g. Playground Equipment. Playground equipment shall be provided within an open space or parkland within the zoning district in a location that is approved as part of a final development plan. The developer shall be responsible for constructing this equipment. The party that is responsible for the maintenance of the playground equipment (i.e., the property owners' association or the City) shall be determined as part of the approval of a final development plan based on the equipment's location.
3. Street Trees. Street trees shall be required on both sides of internal streets. Trees are to be a minimum of two and a half (2 ½) inches in caliper at installation and shall be spaced at a maximum distance of thirty (30) feet on center. Trees may be grouped, provided the quantity is equivalent to one (1) tree per thirty (30) feet or fraction thereof. This requirement may be waived in areas where existing vegetation occurs. Trees shall not obstruct sight distance or signage, subject to staff approval. Street tree and signage locations shall be shown on the final development plan for review and approval.
4. Parkland and Open Space. Parkland and open space shall be provided in quantities required by the Codified Ordinances. Parkland shall be owned by the City and open space shall be owned by the community's property owners'

association. Maintenance responsibilities for parkland and open space shall be defined and approved as part of the final development plan.

5. Temporary Fences. Snow fences shall be used as temporary barriers during construction around vegetation. All temporary fences must be removed prior to the issuance of a certificate of occupancy.
6. Permanent Fencing. Permanent fencing shall be permitted within required side and rear yard setbacks. No perimeter yard fencing shall extend beyond the front façade of a home that is closest to a street or road on which it fronts, nor shall any fencing be permitted within stormwater drainage easement areas. Permitted fencing materials include wood, wrought iron, and cementitious fiberboard or equivalent. Vinyl and chain link fences shall be prohibited. The maximum height of private fencing shall be as provided in the Codified Ordinances.

E. Lighting and Storage:

1. Lighting:

- a. Landscape Lighting. Landscape lighting shall be used to provide for safety and ingress and egress only. Fixture lamps shall be incandescent and shall be shielded by planting or other methods. Uplighting of the exterior of a home shall be prohibited.
- b. Street Lights. City of New Albany gooseneck street lights shall be utilized (Holophane-Holbrook HLDK-175 M11 120 or its equivalent). Finish of the fixtures shall be in New Albany Green. Other light fixtures may be used subject to approval by the City of New Albany Planning Commission.
- c. Security Lighting: Utility pole-mounted yard lights and large (greater than 200 watts) flood lights mounted to the house, which are visible from adjacent properties, are prohibited.
- d. Yard and Door Lights. Each house shall have a minimum of one (1) yard light near the sidewalk at the front entry and one wall mounted porch light at the front door. Lamp locations shall be consistent from house to house. All yard lights shall have a photocell light sensor.

2. Garbage Cans. All garbage cans and other waste containers shall be kept in the garage, permitted storage buildings, or within approved screened areas.

F. Graphics and Signage Commitments

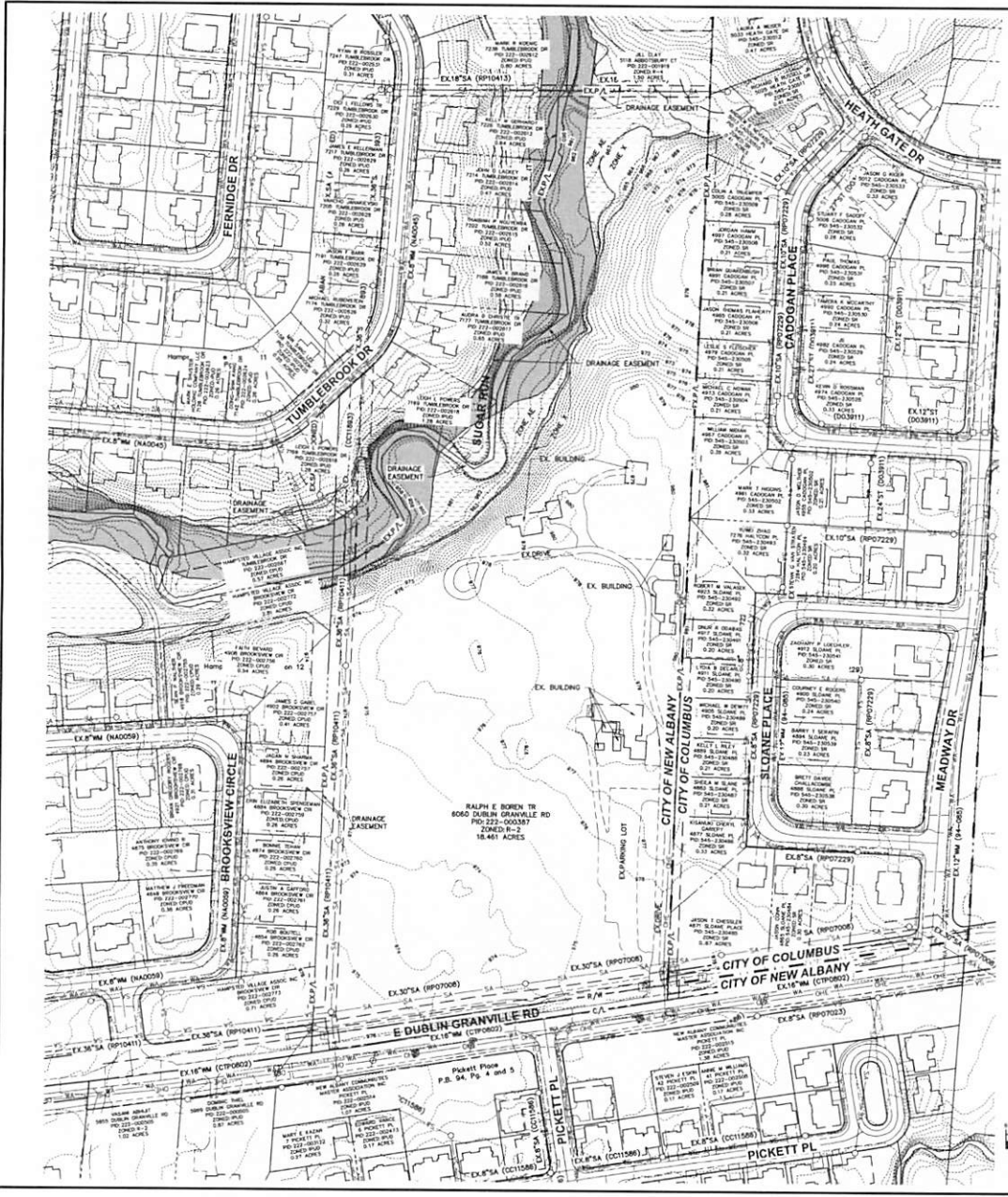
The development shall utilize standard City of New Albany street regulatory signage. Other signage shall conform with relevant provisions of the Codified Ordinances.

G. Miscellaneous Commitments

1. No Pre-Fabricated Buildings. Pre-fabricated storage buildings are prohibited.
2. Sport and Recreational Equipment: Basketball backboards and supports, swing sets and other children's play facilities shall be permitted, provided they are screened from adjoining properties.
3. Utilities: All proposed utilities shall be placed underground.
4. Owners' Association. The property within this zoning district will be made part of a forced and funded property owner's association particular to the development in order to provide the means to maintain and operate common areas that are not dedicated to the City.

H. Variances and Appeals:

1. Nature of Variance: On a particular property, extraordinary circumstances may exist making a strict enforcement of the applicable development standards of this PUD text or the Zoning Ordinance unreasonable and, therefore, the procedure for variance from development standards is provided to allow the flexibility necessary to adapt to changed or unusual conditions, both foreseen and unforeseen, under circumstances which do not ordinarily involve a change of the primary use of the land or structure permitted.
2. Variance and Appeals Process: The procedures and requirements of Chapter 1113, Appeal and Variances, of the Codified Ordinances of the City of New Albany shall be followed in cases of appeals. Requests for variances shall be heard by the Planning Commission.



- LEGEND**
- EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING GAS MAIN
 - EXISTING OVER HEAD ELECTRIC
 - ▭ ZONE AE
 - ▭ 100-YEAR FLOOD AREA
 - ▭ ZONE X FLOOD AREA (500-YEAR FLOOD)



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN
 FOR
6060 DUBLIN GRANVILLE ROAD
EXISTING CONDITIONS

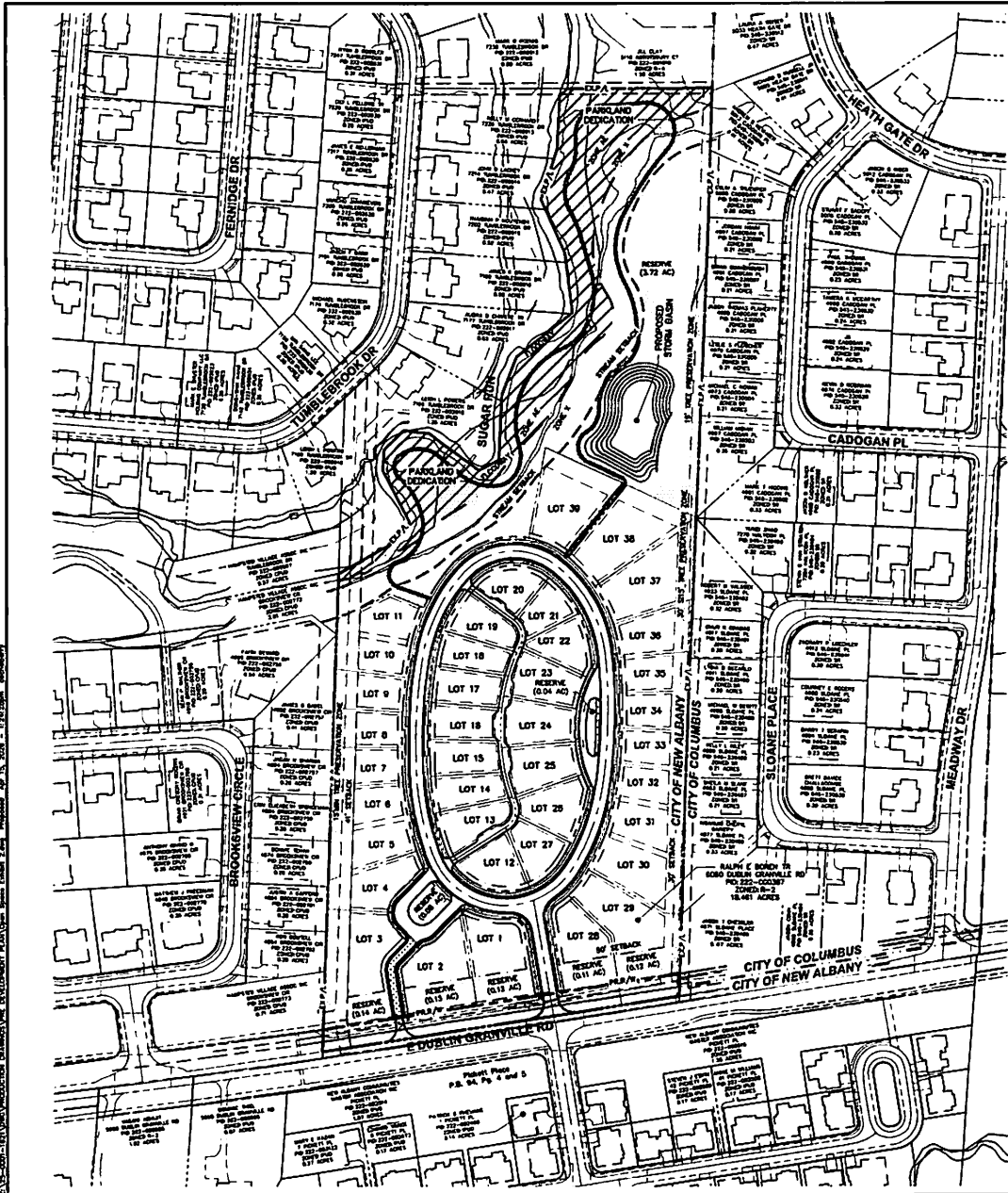
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS ARCHITECTS SURVEYORS

781 Science Boulevard, Suite 100
 Columbus, Ohio 43260
 PH 614.426.7700
 FAX 614.426.7705

SCALE: 1" = 100'
 DATE: 3/9/2026

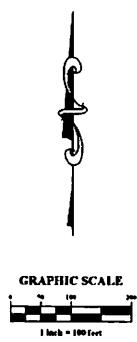
SHEET 2 / 7



SITE DATA TABLE

SITE AREA	18.91 AC
EXISTING ZONING	R-2
PROPOSED ZONING	R-PD
PROPOSED UNITS	39 UNITS
DENSITY	2.11 UNITS/AC
PARKLAND DEDICATION REQUIRED: 5,400 SQFT = 39 UNITS =	83,600 SQFT
PROVIDED:	83,600 SQFT
NET SITE AREA	17.891 AC
TOTAL SITE AREA - DUBLIN GRANVILLE ROAD DEDICATION	3.84 AC
OPEN SPACE: REQUIRED: 30% = 17.891 AC =	5.36 AC
PROVIDED:	5.34 AC
RESERVES: LOT 1	0.12 AC
LOT 2	0.15 AC
LOT 23	0.14 AC
LOT 28	0.11 AC
LOT 29	0.15 AC
TOTAL	0.67 AC
TOTAL OPEN SPACE:	4.68 AC
DUBLIN GRANVILLE ROAD: RIGHT-OF-WAY DEDICATION	0.87 AC
PROPOSED ROAD DEDICATION	2.81 AC

- LEGEND**
- PARKLAND DEDICATION
 - TREE PRESERVATION ZONE
 - RESERVE
 - GRASS PAVERS
 - PROPOSED SUGAR MILL ACCESS PATH



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN FOR
6060 DUBLIN GRANVILLE ROAD
OPEN SPACE EXHIBIT

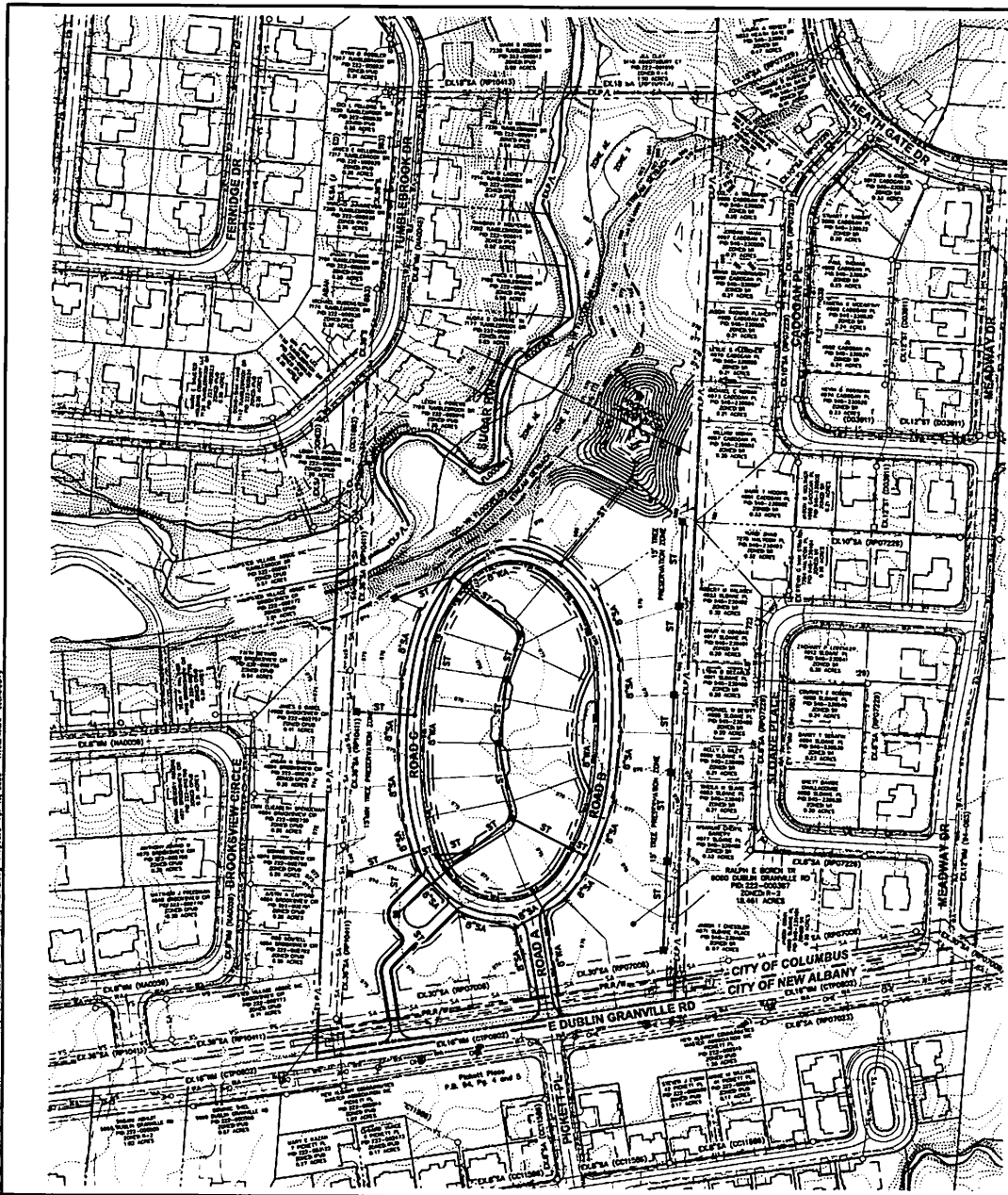
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 7915 Salsbery Boulevard, Suite 100
 Columbus, Ohio 43230
 PH 614.438.7755
 FX 614.428.7755

SCALE: 1" = 100'
 DATE: 4/15/2008

SHEET 3 / 7

4/15/2008 - 10:51 AM - PRODUCTION - C:\PROJECTS\6060 DUBLIN GRANVILLE ROAD\6060 DUBLIN GRANVILLE ROAD - PRELIMINARY DEVELOPMENT PLAN - 4/15/2008 - 10:51 AM - 10:51 AM - 10:51 AM



- UTILITY LEGEND**
- ST — EXISTING STORM SEWER
 - SA — EXISTING SANITARY SEWER
 - WA — EXISTING WATER MAIN
 - G — EXISTING GAS MAIN
 - OE — EXISTING OVER HEAD ELECTRIC
 - PS — PROPOSED STORM SEWER
 - SS — EXISTING SANITARY SEWER
 - WM — EXISTING WATER MAIN
 - FM — EXISTING MAJOR STORMWATER FLOOD ROUTING FROM HOORBORING PROPERTY



STORMWATER CONTROL NARRATIVE

SITE SUMMARY:
THE SUBJECT PROJECT IS APPROXIMATELY 18.48 ACRES, CONSISTING OF A SINGLE COMMERCIAL USE PROPERTY, CONTAINING MULTIPLE BUILDINGS, WITH ASSOCIATED PARKING AND DRIVE ACRES AS WELL AS HEAVY TREE STANDS AND REMAINS OF SUGAR PLUM. THE PROPOSED DEVELOPMENT IS A SINGLE-FAMILY RESUBDIVISION WITH 39 LOTS, ASSOCIATED STORMWATER MANAGEMENT FACILITY AND ROADWAYS. DEVELOPMENT AREA USED IN THE DETERMINATION OF THE STORMWATER CALCULATIONS TOTAL ACRES MINUS THE SUGAR PLUM FLOODING, FLOORPLAN AND STREAM SETBACK AREAS LEAVING A NET DEVELOPABLE AREA OF 14.02 ACRES.

EXISTING DRAINAGE AND SOIL CONDITIONS:
EXISTING DRAINAGE CONDITIONS WERE EVALUATED USING A COMBINATION OF AERIAL PHOTOGRAPHS, FRANKLIN COUNTY GIS TOPOGRAPHY, AND FRANKLIN COUNTY SOIL SURVEY MAPS. THE NATURAL DRAINAGE CORRELATES WITH SOIL SURVEY AND FRANKLIN COUNTY SOIL SURVEY MAPS IDENTIFY THE ON-SITE SOILS AS DEPOSITION CLAY LOAM, COTCHICUS SILT LOAM, AND PERMAN SILTY CLAY LOAM, EACH CLASSIFIED AS HIGH RUNOFF CLAYS WITH LOW HYDROLOGIC GROUP "C".

THE EXISTING DRAINAGE PATTERNS WERE OBSERVED AS PREDOMINANTLY DRAINING EAST TO WEST, ULTIMATELY BEING DIRECTIONED ALONG THE SECTION EDGE TO THE NORTH. THE SECTION DEVELOPMENT MAY HAVE STORM SEWER ALONG THE REAR OF THE LOTS THAT COLLECT AND CONVEY THIS RUNOFF TO SUGAR PLUM. THE EXISTING SINGLE-FAMILY DEVELOPMENT TO THE NORTHEAST HAS AN OVERLAND FLOOD ROUTING SWALE THAT CONVEYS RUNOFF ONTO THE PROPERTY.

ALLOWABLE RELEASE RATE:
FOR THE FUTURE NUMBER AND LAND DEVELOPMENT MANUAL AND CITY OF COLUMBUS STORMWATER DRAINAGE MANUAL, THE PEAK FLOW RATE CONTROL REQUIREMENTS FOLLOW THE CRITICAL STORM HYDROLOGY. RUNOFF FROM STORM EVENTS LESS THAN 60 MIN TO THE CRITICAL STORM EVENT SHALL BE RELEASED FROM THE SITE AT A RATE NO GREATER THAN THE PEAK RUNOFF DURING A 1-YEAR STORM EVENT UNDER PRE-DEVELOPMENT CONDITIONS. THE PROPOSED CRITICAL STORM EVENT FOR THIS PROJECT SITE IS A 10-YR EVENT BASED ON PRELIMINARY 10-YR RUNOFF VOLUMES FROM THE PRE AND POST DEVELOPMENT CONDITIONS. ADDITIONALLY, THE PEAK RATE RUNOFF DURING THE 100-YEAR STORM EVENT SHALL BE RELEASED AT A RATE LESS THAN OR EQUAL TO THE PEAK RUNOFF RATE DURING THE 10-YEAR STORM EVENT UNDER PRE-DEVELOPMENT CONDITIONS.


STORM WATER QUANTITY CONTROL:
DISTRICT AND OFFSITE RUNOFF (GREATER THAN 10 ACRES) WILL BE COLLECTED AND CONVEYED WITH STORM SEWER AND OVERLAND FLOOD ROUTING TO A NET WETTED BASIN. THE BASIN WILL ACT AS THE WATER QUALITY AND BASIN OUTLET CONTROL FACILITY FOR THE SITE. IT WILL BE DESIGNED WITH A MULTI-STAGE OUTLET CONTROL SYSTEM TO MEET THE ALLOWABLE RELEASE REQUIREMENTS FOR THE PROJECT AS WELL AS ENSURE THAT THE DOWNSTREAM OUTLET SYSTEM IS NOT OVERFLOWED FOLLOWING THE CRITICAL STORM METHODOLOGY LISTED ABOVE.

STORM WATER QUALITY CONTROL:
FOR THE OHIO EPA GENERAL CONSTRUCTION PERMIT, A STORMWATER BEST MANAGEMENT PRACTICE (BMP) IS REQUIRED TO TREAT THE FIRST FLUSH RUNOFF VOLUME PRODUCED BY A 0.5" RAINFALL EVENT. THE BMP TREATMENT FOR THIS SITE WILL BE ACCOMPLISHED WITHIN THE STORMWATER MANAGEMENT FACILITIES DESCRIBED ABOVE MEETING ALL OF THE OHIO EPA REQUIREMENTS.

CONCLUSION:
THE PROPOSED DEVELOPMENT WILL PROVIDE SURFACE AND SUBSURFACE STORMWATER CONVEYANCES TO CARRY RUNOFF SAFELY THROUGH THE SITE TOWARDS THE OFFSITE STORMWATER MANAGEMENT FACILITIES. THESE STORMWATER MANAGEMENT FACILITIES WILL PROVIDE PEAK FLOW CONTROL AND TREATMENT OF CAPTURED WATER TO COMPLY WITH THE CITY OF COLUMBUS STORMWATER DRAINAGE MANUAL REQUIREMENTS AND OHIO EPA WATER QUALITY REGULATIONS.

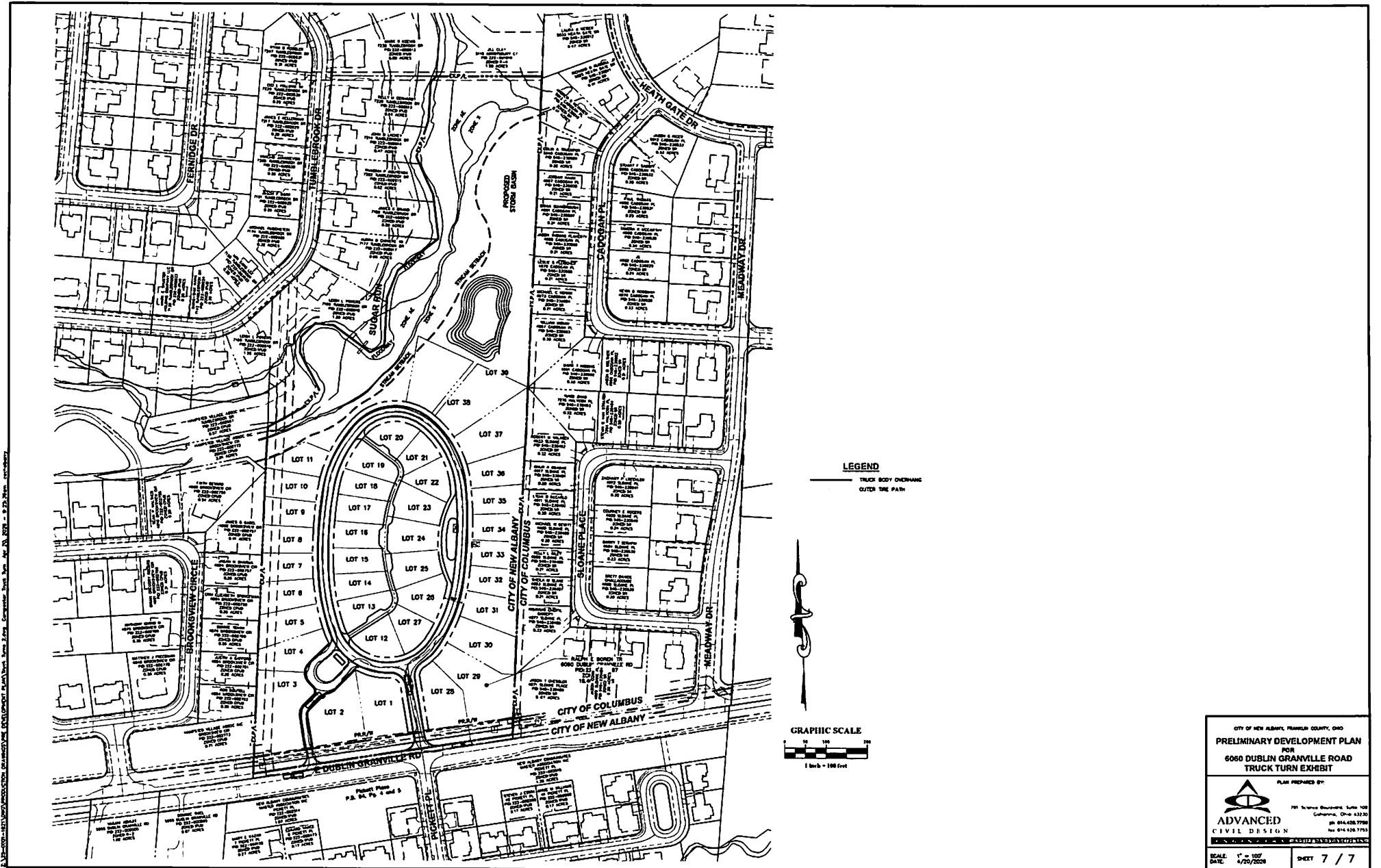
	ON	STORM EVENTS						
		1-YR	3-YR	5-YR	10-YR	20-YR	50-YR	100-YR
PRE-DEV RUNOFF PEAK (CFS)	74	6.04	9.88	16.01	21.48	23.62	36.87	44.29
POST-DEV RUNOFF PEAK (CFS)	81	12.11	17.47	25.84	32.88	42.81	51.40	60.53
CRITICAL STORM RELEASE RATES (CFS)		6.04	6.04	6.04	6.04	21.48	21.48	21.48
PROPOSED BASIN RELEASE RATES		0.28	0.44	2.42	5.71	8.99	11.02	19.20
DETENTION VOLUMES (AC-FT)		0.64	0.88	0.97	1.11	1.40	1.88	1.83
WATER QUALITY	REQUIRED:	0.44 AC-FT			PROVIDED: 0.44 AC-FT			

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN
 FOR
6060 DUBLIN GRANVILLE ROAD
 UTILITY PLAN

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 781 Seward Boulevard, Suite 100
 Columbus, OH 43210
 614.428.7700
 614.428.7755
 WWW.ADVANCEDCIVILDESIGN.COM

SCALE: 1" = 100'
 DATE: 4/9/2024

SHEET 6 / 7



LEGEND
 TRUCK BODY OVERHANG
 CUTTER THE PATH



CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN
 FOR
6060 DUBLIN GRANVILLE ROAD
 TRUCK TURN EXHIBIT

PLAN PREPARED BY:

ADVANCED
 CIVIL DESIGN

780 Science Boulevard, Suite 100
 Columbus, Ohio 43202
 (614) 426-7799
 Fax: (614) 426-7755

SCALE: 1" = 100'
 DATE: 4/20/2024

SHEET 7 / 7



ORDINANCE O-15-2026

AN ORDINANCE TO APPROVE THE FINAL PLAT FOR 14 RESIDENTIAL LOTS, FOUR RESERVES, AND FOUR ROADS ON 15.24 +/- ACRES FOR HAMLET AT SUGAR RUN PHASE 1 GENERALLY LOCATED AT THE SOUTHWEST CORNER OF NEW ALBANY CONDIT ROAD AND CENTRAL CILLEGE ROAD, AS REQUESTED BY NONA MASTER DEVELOPMENT LLC C/O AARON UNDERHILL ESQ.

WHEREAS, an application to approve the Hamlet at Sugar Run Phase 1 final plat has been submitted; and

WHEREAS, Codified Ordinance chapter 1187 requires approval of the final plat by council; and

WHEREAS, the New Albany Planning Commission, after review during a public meeting on April 20, 2026, recommended approval of this final plat (FPL-22-2026); and

WHEREAS, the final plat includes 15.24 +/- acres of land to be subdivided into 14 residential lots, four roads, and four reserves; and

WHEREAS, the city engineer certifies that the Hamlet at Sugar Run Phase 1 final plat meets all the requirements of Chapter 1187 of the Codified Ordinances, stormwater management, design requirements, and will meet all other requirements of the city.

NOW, THEREFORE, BE IT ORDAINED by Council for the city of New Albany, counties of Franklin and Licking, State of Ohio, that:

Section 1. The final plat is attached to this ordinance as Exhibit A and made a part herein approved.

Section 2. It is hereby found and determined that all formal actions of council concerning and relating to the adoption of this legislation were adopted in an open meeting of council, and that all deliberations of the council and or any of its committees that resulted in such formal action were in meetings open to the public, in compliance with Section 121.22 of the Ohio Revised Code.

Section 3. Pursuant to Article VI, Section 6.07(B) of the City of New Albany Charter, this ordinance shall take effect on and after the earliest period allowed by law.

CERTIFIED AS ADOPTED this _____ day of _____, 2026.

Attest:

Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

Approved as to form:

Benjamin S. Albrecht
Law Director

Legislation dates:

Prepared: 04/24/2026

Introduced: 05/05/2026

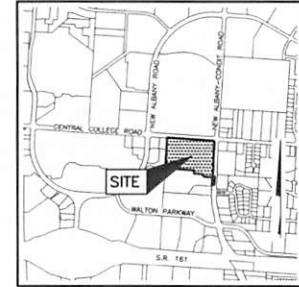
Revised:

Adopted:

Effective:

HAMLET AT SUGAR RUN PHASE 1

Exhibit A - O-15-2026



LOCATION MAP AND BACKGROUND DRAWING
NOT TO SCALE

SURVEY DATA:

BASIS OF BEARINGS: The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD 83(2011). The bearing of South 86° 08' 42" East, assigned to the southerly right of way line of Central College Road, is designated the basis of bearings for this plat.

SOURCE OF DATA: The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes, three-sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated and are to be set with the top and flush with the surface of the ground and then capped with an aluminum cap stamped EMHT INC. Once installed, the top of the cap shall be marked (punch-dotted) to record the actual location of the point. These markers shall be set following the completion of the construction/installation of the street pavement and utilities and prior to the City of New Albany, Ohio's acceptance of these infrastructure improvements. The New Albany, Ohio, Municipal Engineer shall be notified in writing when the markers are in place.

SURVEYED & PLATTED
BY



We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- = Permanent Marker (See Survey Data)

By _____ Professional Surveyor No. 7865 Date _____

Situated in the State of Ohio, County of Franklin, City of New Albany, and in Section 15, Quarter Township 2, Township 2, Range 16, United States Military Lands, containing 15.466 acres of land, more or less, and 15.466 acres being comprised of all of Parcels III, IV, V, VIII, IX, X, XI and XII and part of Parcels VI and VII conveyed to NONA MASTER DEVELOPMENT, LLC by deed of record in Instrument Number 20221219111511; all of those tracts of land conveyed to NONA MASTER DEVELOPMENT, LLC by deed of record in Instrument Numbers 202205078066579 and 202205180075664, and part of those tracts of land conveyed to NONA MASTER DEVELOPMENT, LLC by deed of record in Instrument Numbers 202106280112895 and 20220517005204, Recorder's Office, Franklin County, Ohio.

The undersigned, NONA MASTER DEVELOPMENT, LLC, an Ohio limited liability company, by YAROMIR STEINER, Authorized Agent, does hereby certify that this plat correctly represents its "HAMLET AT SUGAR RUN PHASE 1," a subdivision containing Lots numbered 1 to 18, both inclusive, and areas designated as Reserve "A," Reserve "B," Reserve "C" and Reserve "D," does hereby accept this plat of same and dedicates to public use, as such, all of Ashbourne Way, Central College Road, Huston Loop, New Albany-Could Road, Reach Boulevard and Tilia Alley shown hereon and not heretofore dedicated.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement" or "Drainage Easement". Each of the aforementioned designated easements permit the construction, operation and maintenance of all public and quasi-public utilities above, beneath, and on the surface of the ground and where necessary, for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the New Albany Municipal Engineer.

In Witness Whereof, YAROMIR STEINER, Authorized Agent of NONA MASTER DEVELOPMENT, LLC, has hereunto set his hand this ____ day of ____ 20__.

Signed and Acknowledged
In the presence of: NONA MASTER DEVELOPMENT, LLC

By YAROMIR STEINER, Authorized Agent

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared YAROMIR STEINER, Authorized Agent of NONA MASTER DEVELOPMENT, LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said NONA MASTER DEVELOPMENT, LLC, for the uses and purposes expressed herein.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this ____ day of ____ 20__.

My commission expires _____ Notary Public, State of Ohio

Approved this ____ Day of ____ 20__ Mayor, New Albany, Ohio

Approved this ____ Day of ____ 20__ City Engineer, New Albany, Ohio

Approved this ____ Day of ____ 20__ Council Representative to Planning Commission, New Albany, Ohio

Approved this ____ Day of ____ 20__ Chairperson, Planning Commission, New Albany, Ohio

Approved this ____ Day of ____ 20__ Finance Director, New Albany, Ohio

Approved and accepted by Ordinance No. _____, passed ____ 20__, wherein all of Ashbourne Way, Central College Road, Huston Loop, New Albany-Could Road, Reach Boulevard and Tilia Alley shown dedicated hereon are accepted, as such, by the Council for the City of New Albany, Ohio.

Transferred this ____ day of ____ 20__ Auditor, Franklin County, Ohio

Deputy Auditor, Franklin County, Ohio

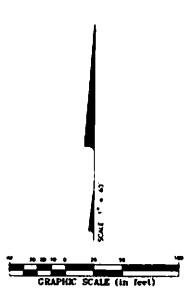
Filed for record this ____ day of ____ 20__ at ____ M. Fee \$ ____ Recorder, Franklin County, Ohio

File No. _____

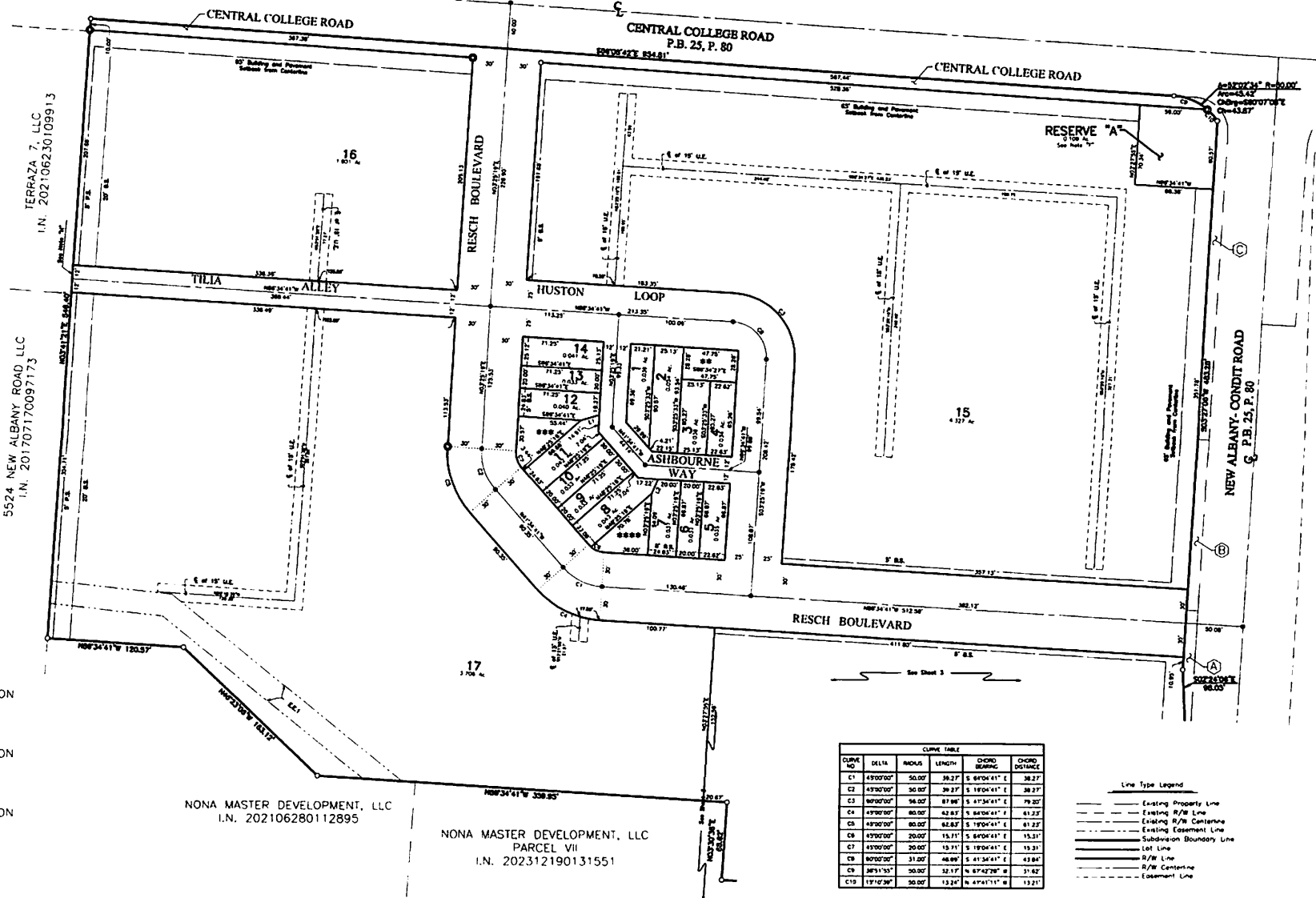
Recorded this ____ day of ____ 20__ Deputy Recorder, Franklin County, Ohio

Plat Book ____ Pages

HAMLET AT SUGAR RUN PHASE 1



- Legend**
- Building Sublot
 - Easement
 - Right of Way
 - Subdivision Boundary
 - Lot Line
 - R/W Line
 - Easement Line
- ==** = RESERVE "B"
=== = RESERVE "C"
==== = RESERVE "D"



- (A) STATE OF OHIO,
DEPARTMENT OF TRANSPORTATION
PARCEL NO. 11WD-1
I.N. 200411290271526
- (B) STATE OF OHIO,
DEPARTMENT OF TRANSPORTATION
PARCEL NO. 12WD-1
I.N. 200412130282221
- (C) STATE OF OHIO,
DEPARTMENT OF TRANSPORTATION
PARCEL NO. 13WD-1
I.N. 200411290271525
- (D) STATE OF OHIO
PARCEL NO. 10 WD
I.N. 199908170208852
- (E) STATE OF OHIO
PARCEL NO. 84 WD
O.R. 21810G15

NONA MASTER DEVELOPMENT, LLC
I.N. 202106280112895

NONA MASTER DEVELOPMENT, LLC
PARCEL VII
I.N. 202312190131551

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	45°00'00"	50.00'	38.27'	S 69°04'41" E	38.27'
C2	45°00'00"	50.00'	38.27'	S 19°04'41" E	38.27'
C3	80°00'00"	56.00'	87.98'	S 47°34'41" E	79.20'
C4	45°00'00"	80.00'	62.83'	S 84°04'41" E	61.23'
C5	45°00'00"	80.00'	62.83'	S 19°04'41" E	61.23'
C6	45°00'00"	20.00'	15.11'	S 84°04'41" E	15.31'
C7	45°00'00"	20.00'	15.11'	S 19°04'41" E	15.31'
C8	80°00'00"	37.00'	46.89'	S 41°34'41" E	43.84'
C9	38°15'00"	50.00'	32.17'	N 87°42'30" W	37.82'
C10	15°15'00"	50.00'	12.24'	N 47°47'11" W	12.21'

- Line Type Legend**
- Existing Property Line
 - Existing R/W Line
 - Existing Easement Line
 - Subdivision Boundary Line
 - Lot Line
 - R/W Line
 - R/W Centerline
 - Easement Line

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 74°02'48" W	15.77'
L2	S 24°08'33" W	15.64'

HAMLET AT SUGAR RUN PHASE 1

CURVE NO.	DELTA	CHORD BEARING	CHORD DISTANCE
C1	49°00'00"	S 64°04'41" E	38.27'
C2	49°00'00"	S 18°04'41" E	38.27'
C3	80°00'00"	S 41°34'41" E	78.20'
C4	49°00'00"	S 64°04'41" E	61.23'
C5	49°00'00"	S 18°04'41" E	61.23'
C6	49°00'00"	S 64°04'41" E	15.31'
C7	49°00'00"	S 18°04'41" E	15.31'
C8	80°00'00"	S 41°34'41" E	45.86'
C9	36°31'53"	N 87°42'26" W	31.62'
C10	19°10'36"	N 47°41'11" W	13.21'

LINE	BEARING	DISTANCE
L1	S19°02'48"W	18.77'
L2	S2°00'35"W	13.64'



Legend
 A.S. = Building Footprint
 D.S. = Driveway
 D.C. = Driveway Centerline
 E.L. = Easement Line
 C.E.T. = Centerline of Existing Trunk Line
 S.B. = Subdivision Boundary
 ** = RESERVE "B"
 7.01' = See Note "F"

Line Type Legend
 --- Existing Property Line
 --- Existing R/W Line
 --- Existing Easement Line
 --- Subdivision Boundary Line
 --- Lot Line
 --- R/W Centerline
 --- Easement Line

- (A) STATE OF OHIO, DEPARTMENT OF TRANSPORTATION PARCEL NO. 11WD-1 I.N. 200411290271526
- (B) STATE OF OHIO, DEPARTMENT OF TRANSPORTATION PARCEL NO. 12WD-1 I.N. 200412130282221
- (C) STATE OF OHIO, DEPARTMENT OF TRANSPORTATION PARCEL NO. 13WD-1 I.N. 200411290271525
- (D) STATE OF OHIO PARCEL NO. 10 WD I.N. 199908170208852
- (E) STATE OF OHIO PARCEL NO. 84 WD O.R. 21810G15

NOTE "A" - At the time of platting, all of Hamlet at Sugar Run Phase 1 is within Zone X (Area determined to be outside 0.7% annual chance floodplain) as delineated on FEMA Flood Insurance Rate Map, Community/Flood Number 19049C0202L for Franklin County Ohio and incorporated areas with an effective date of June 17, 2008 and updated on L.O.A.R. 2545-11197 with an effective date of June 4, 2016.

NOTE "B" - AGRICULTURAL REQUIRMENT. Urmasie being the duly authorized representative of the developer dedicating the property described in this plat, hereby agrees to indemnify the City of New Albany, Ohio, and hold it harmless from any agricultural requirements assessed or levied in the future against the property dedicated herein, which result from grantor's conversion of the property from agricultural use.

NOTE "C" - ACREAGE BREAKDOWN:
 Total acreage 15.866 Ac.
 Acreage in right-of-way 1.601 Ac.
 Acreage in lots 12.856 Ac.
 Acreage in Reserves 0.209 Ac.

NOTE "D" - ACREAGE BREAKDOWN: Hamlet at Sugar Run Phase 1 is comprised of all of the following Franklin County Parcel Numbers:

222-00131	1.010 Ac.
222-00149	0.993 Ac.
222-00644	0.270 Ac.
222-00648	0.518 Ac.
222-00649	1.519 Ac.
222-00670	2.691 Ac.
222-00671	0.999 Ac.
222-00672	0.999 Ac.
222-00673	0.304 Ac.
222-00674	0.518 Ac.
222-00678	0.215 Ac.
222-00684	0.968 Ac.
222-00685	0.304 Ac.
222-01167	0.275 Ac.

NOTE "E" - DEPRESSED DRIVEWAYS. Depressed driveways are hereby prohibited on all lots in Hamlet at Sugar Run Phase 1. Nothing herein, however, shall prohibit the construction and use of a driveway alongside or to the rear of a residential structure if otherwise permitted by the City of New Albany.

NOTE "F" - RESERVE "A". Reserve "A", as designated and delineated herein, shall be owned and maintained by the City of New Albany, Ohio.

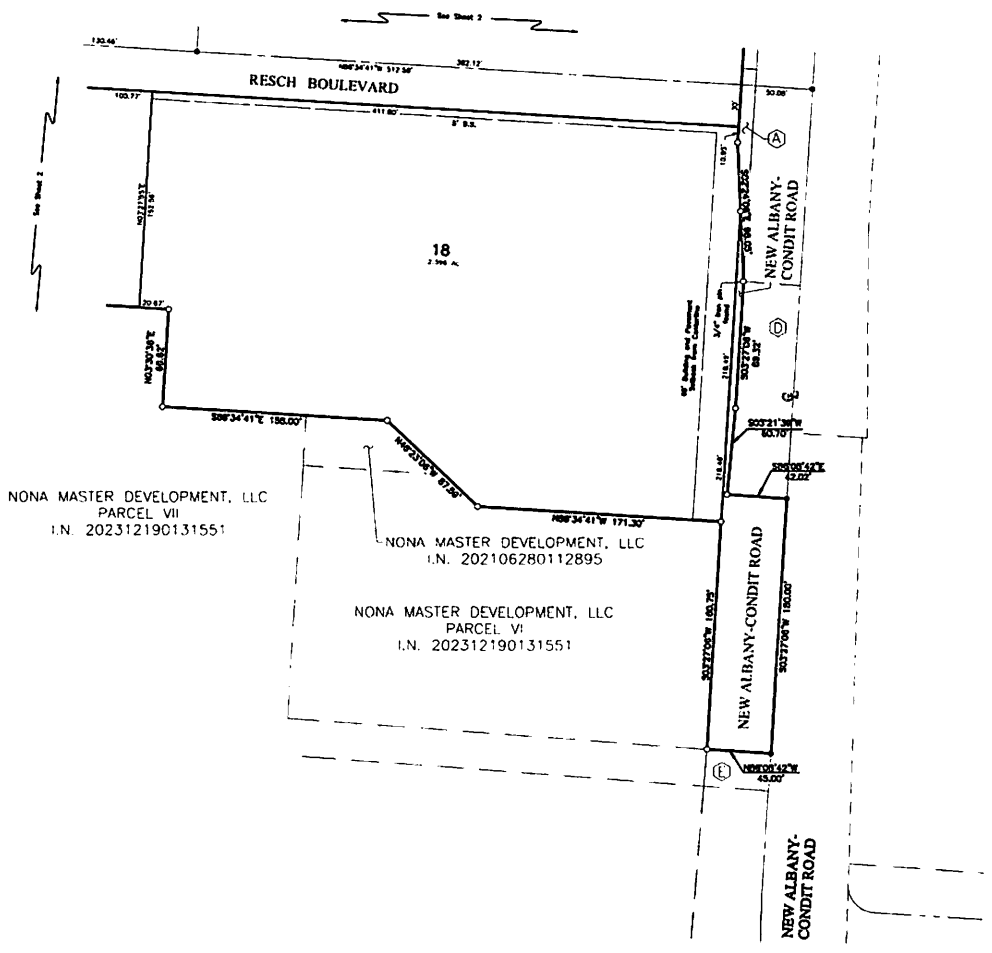
NOTE "G" - No determination has been made by the City of New Albany, Ohio as to whether the area proposed to be platted contains areas that could be classified as wetlands by the Army Corps of Engineers. It is the developer's responsibility to determine whether wetlands exist on the area hereby platted. The City of New Albany, Ohio approval of this plat of Hamlet at Sugar Run Phase 1 does not imply any approval of the site as it may pertain to wetlands.

NOTE "H" - No vehicular access to be an effect until such time as the public street right-of-way is extended and dedicated by plat or deed.

NOTE "I" - The purpose of this plat is to show certain property rights of way and easement boundaries as of the time of platting. There are additional lot setbacks and restrictions in the city zoning regulations that are not reflected on this plat. The limitations and requirements may change from time to time and should be reviewed to determine the then current applicable use and development limitations of the zoning code as adopted by the government authority having jurisdiction. Note "I" should not be construed as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or site encumbrances of any nature, except to the extent specifically identified as such.

NOTE "J" - RESERVES "B", "C" AND "D". Reserves "B", "C" and "D" as designated and delineated herein, shall be owned and maintained by an association comprised of the owners of the fee simple lots to the lots in the Hamlet at Sugar Run subdivisions for the purpose of open space, the maintenance of storm water facilities, and the maintenance of sidewalk paths.

NOTE "K" - At the time of platting, electric, cable, and telephone service providers have not received information requested so that easement areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their above ground facilities, could conveniently be shown on this plat. Existing recorded easement information shown Hamlet at Sugar Run Phase 1 or any part thereof can be acquired by a competent examination of the then current public records, including those in the Recorder's Office, Franklin County, Ohio.



NONA MASTER DEVELOPMENT, LLC
 PARCEL VII
 I.N. 202312190131551

NONA MASTER DEVELOPMENT, LLC
 PARCEL VIII
 I.N. 202106280112895

NONA MASTER DEVELOPMENT, LLC
 PARCEL VI
 I.N. 202312190131551



ORDINANCE O-16-2026

AN ORDINANCE TO APPROVE THE FINAL PLAT FOR 28 RESIDENTIAL LOTS, TWO ROADS, AND FOUR RESERVES ON 6.12 +/- ACRES FOR HAMLET AT SUGAR RUN PHASE 2 GENERALLY LOCATED AT THE SOUTHEAST CORNER OF NEW ALBANY CONDIT ROAD AND CENTRAL COLLEGE ROAD, AS REQUESTED BY NONA MASTER DEVELOPMENT LLC C/O AARON UNDERHILL ESQ.

WHEREAS, an application to approve the Hamlet at Sugar Run Phase 2 final plat has been submitted; and

WHEREAS, Codified Ordinance chapter 1187 requires approval of the final plat by council; and

WHEREAS, the New Albany Planning Commission, after review during a public meeting on April 20, 2026, recommended approval of this final plat (FPL-23-2026); and

WHEREAS, the final plat includes 6.12 +/- acres of land to be subdivided into 28 residential lots, two roads, and four reserves; and

WHEREAS, the city engineer certifies that the Hamlet at Sugar Run Phase 2 final plat meets all the requirements of Chapter 1187 of the Codified Ordinances, stormwater management, design requirements, and will meet all other requirements of the city.

NOW, THEREFORE, BE IT ORDAINED by Council for the city of New Albany, counties of Franklin and Licking, State of Ohio, that:

Section 1. The final plat is attached to this ordinance as Exhibit A and made a part herein approved.

Section 2. It is hereby found and determined that all formal actions of council concerning and relating to the adoption of this legislation were adopted in an open meeting of council, and that all deliberations of the council and or any of its committees that resulted in such formal action were in meetings open to the public, in compliance with Section 121.22 of the Ohio Revised Code.

Section 3. Pursuant to Article VI, Section 6.07(B) of the City of New Albany Charter, this ordinance shall take effect on and after the earliest period allowed by law.

CERTIFIED AS ADOPTED this _____ day of _____, 2026.

Attest:

Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

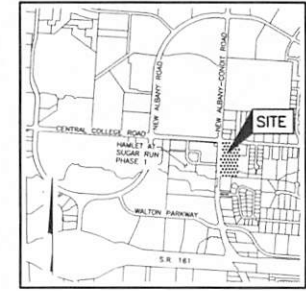
Approved as to form:

Benjamin S. Albrecht
Law Director

Legislation dates:	
Prepared:	04/24/2026
Introduced:	05/05/2026
Revised:	
Adopted:	
Effective:	

HAMLET AT SUGAR RUN PHASE 2

Exhibit A - O-16-2026



LOCATION MAP AND BACKGROUND DRAWING
NOT TO SCALE

Situated in the State of Ohio, County of Franklin, City of New Albany, and in Section 13, Quarter Township 2, Township 2, Range 16, United States Military Lands, containing 6.189 acres of land, more or less, said 6.189 acres being comprised of all of Parcels I and II conveyed to **NONA MASTER DEVELOPMENT, LLC** by deed of record in Instrument Number 202112190131551, and all of that tract of land conveyed to **NONA MASTER DEVELOPMENT, LLC** by deed of record in Instrument Number 202109910698075, Recorder's Office, Franklin County, Ohio.

The undersigned, **NONA MASTER DEVELOPMENT, LLC**, an Ohio limited liability company, by **YAROMIR STEINER**, Authorized Agent, does hereby certify that this plat correctly represents as "**HAMLET AT SUGAR RUN PHASE 2**", a subdivision containing Lots numbered 19 to 46, both inclusive, and areas designated as Reserve "E", Reserve "F", Reserve "G" and Reserve "H", does hereby accept this plat of same and dedicates to public use, as such, all of Central College Road, Campus Lane, New Albany-Corridor Road, and Resch Boulevard shown hereon and not heretofore dedicated.

Easements are hereby reserved in, over and under areas designated on this plat as "Easement" or "Drainage Easement". Each of the aforementioned designated easements permit the construction, operation and maintenance of all public and quasi-public utilities above, beneath, and on the surface of the ground and, where necessary, for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage. Within those areas designated "Drainage Easement" on this plat, an additional easement is hereby reserved for the purpose of constructing, operating and maintaining major storm water drainage swales and/or other above ground storm water drainage facilities. No above grade structures, dams or other obstructions to the flow of storm water runoff are permitted within Drainage Easement areas as delineated on this plat unless approved by the New Albany Municipal Engineer.

In Witness Whereof, **YAROMIR STEINER**, Authorized Agent of **NONA MASTER DEVELOPMENT, LLC**, has hereunto set his hand this ___ day of ___ 20__.

Signed and Acknowledged
In the presence of: **NONA MASTER DEVELOPMENT, LLC**

By **YAROMIR STEINER**,
Authorized Agent

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared **YAROMIR STEINER**, Authorized Agent of **NONA MASTER DEVELOPMENT, LLC**, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed and the voluntary act and deed of said **NONA MASTER DEVELOPMENT, LLC**, for the uses and purposes expressed hereon.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this ___ day of ___ 20__.

My commission expires ___ Notary Public, State of Ohio

Approved this ___ Day of ___ 20__
Mayor, New Albany, Ohio

Approved this ___ Day of ___ 20__
City Engineer, New Albany, Ohio

Approved this ___ Day of ___ 20__
Council Representative to Planning Commission, New Albany, Ohio

Approved this ___ Day of ___ 20__
Chairperson, Planning Commission, New Albany, Ohio

Approved this ___ Day of ___ 20__
Finance Director, New Albany, Ohio

Approved and accepted by Ordinance No. ___ passed ___ 20__
wherein all of Central College Road, Campus Lane, New Albany-Corridor Road, and Resch Boulevard shown dedicated hereon are accepted, as such, by the Council for the City of New Albany, Ohio.

Transferred this ___ day of ___ 20__
Auditor, Franklin County, Ohio

Deputy Auditor, Franklin County, Ohio

Filed for record this ___ day of ___ 20__ at ___ M. Fee \$ ___
Recorder, Franklin County, Ohio

File No. ___

Recorded this ___ day of ___ 20__
Deputy Recorder, Franklin County, Ohio

Plat Book ___ Pages ___

SURVEY DATA:
BASIS OF BEARINGS: The bearings shown hereon are based on the Ohio State Plane Coordinate System, South Zone, NAD 83/2011. The bearing of South 60° 08' 42" East assigned to the westerly right of way line of Central College Road is designated the basis of bearings for this plat.

SOURCE OF DATA: The sources of recorded survey data referenced in the plan and text of this plat are the records of the Recorder's Office, Franklin County, Ohio.

IRON PINS: Iron pins, where indicated hereon, unless otherwise noted, are to be set and are iron pipes, three-sixteenths inch inside diameter, thirty inches long with a plastic plug placed in the top end bearing the initials EMHT INC.

PERMANENT MARKERS: Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set to monument the points indicated and are to be set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped EMHT INC. Once installed, the top of the cap shall be marked (punches) to record the actual location of the point. These markers shall be set following the completion of the construction/installation of the street pavement and utilities and prior to the City of New Albany, Ohio's acceptance of these infrastructure improvements. The New Albany, Ohio, Municipal Engineer shall be notified in writing when the markers are in place.

SURVEYED & PLATTED BY

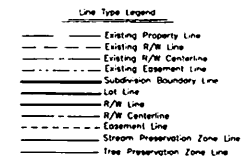
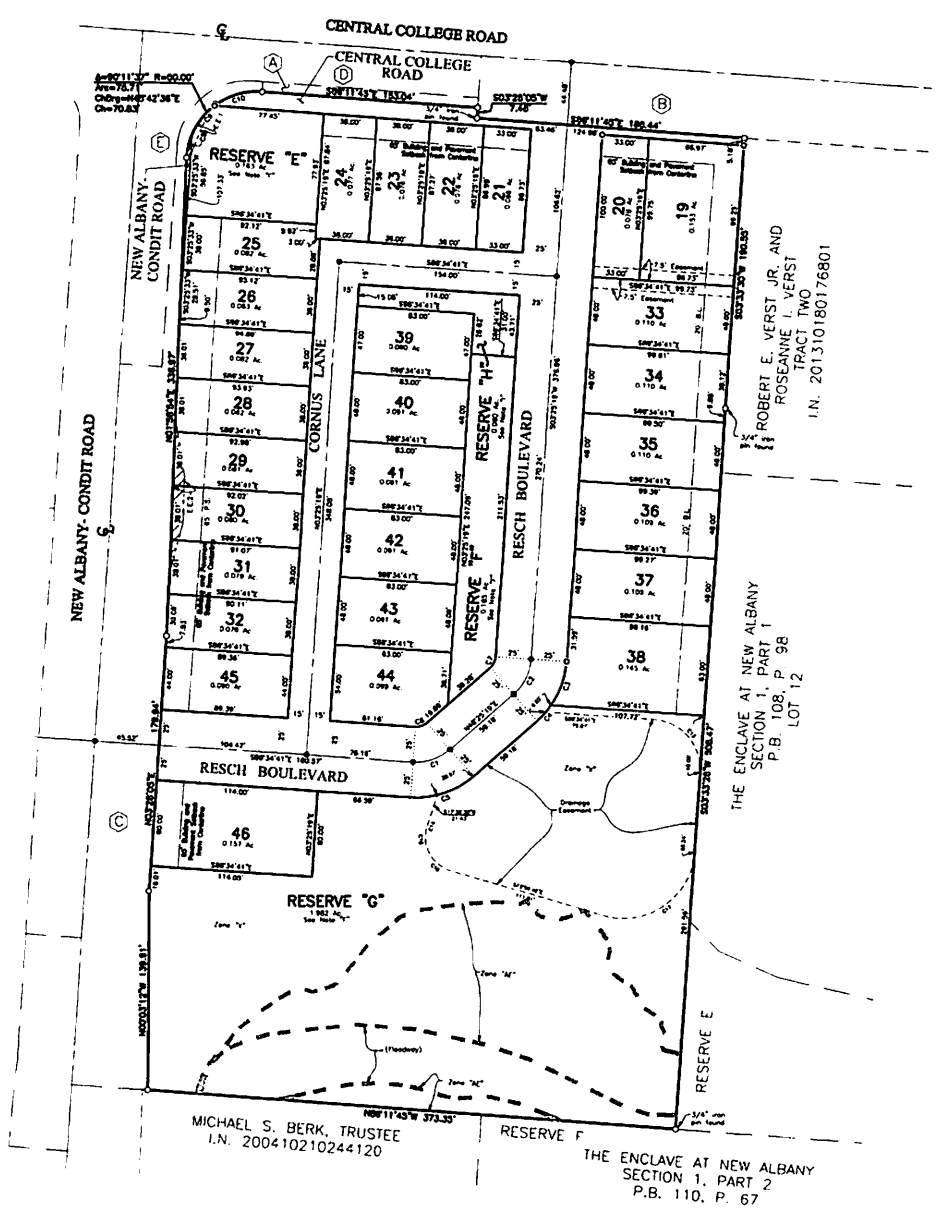


We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Iron Pin (See Survey Data)
- = MAG Nail to be set
- ◊ = Permanent Marker (See Survey Data)

By _____ Professional Surveyor No. 7885 Date _____

HAMLET AT SUGAR RUN PHASE 2



NOTE "A": At the time of platting, part of Reserve "C" is within Zone "AF" Floodway. (The channel of the stream plus any adjacent floodplain area that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increase in flood heights) and Zone AE (Area of 1% annual chance flood with flood elevations determined). The remainder of Hamlet at Sugar Run Phase 2 is within Zone X (Areas determined to be outside 0.2% annual chance floodplains) as delineated on FEMA Flood Insurance Rate Map Community-Flood Number 390400040G for Franklin County. (See and incorporated area, with an effective date of June 17, 2008 and revised on FEMA LADM 25-04-11109 with an effective date of June 20, 2026.

NOTE "B" - AGRICULTURAL RECOMMITMENT Grantor, being the duly authorized representative of the developer dedicating the property described on this plat, hereby agrees to indemnify the City of New Albany, and hold it harmless from any agricultural recommitments assessed or levied in the future against the property dedicated herein, which result from grantor's conversion of the property from agricultural use.

NOTE "C" - ACREAGE BREAKDOWN

Total acreage	6,189 A.
Acres in neighborhood	1,154 A.
Acres in Reserves	2,592 A.
Acres in lots	2,443 A.

NOTE "D" - ACREAGE BREAKDOWN: Hamlet at Sugar Run Phase 2 is comprised of all of the following Franklin County Parcel Numbers

222-00516	0.905 A.
222-00575	4.640 A.
222-00377	0.824 A.

NOTE "E" - DEPRESSED DRIVEWAYS Depressed driveways are hereby prohibited on all lots in Hamlet at Sugar Run Phase 2. Nothing herein, however, shall prohibit the construction and use of a driveway alongside or to the rear of a residential structure if otherwise permitted by the City of New Albany.

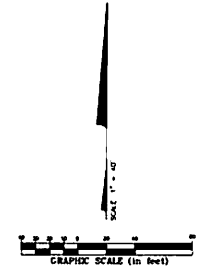
NOTE "F" - RESERVES "E", "F" AND "G": Reserves "E", "F" and "G", as designated and delineated herein, shall be owned and maintained by the City of New Albany.

NOTE "G": No determination has been made by the City of New Albany, Ohio as to whether the area proposed to be platted contains areas that could be classified as wetlands by the Army Corps of Engineers. It is the developer's responsibility to determine whether wetlands exist on the area hereby platted. The City of New Albany, Ohio approval of this plat of "Hamlet at Sugar Run Phase 2" does not imply any approval of the site as it may pertain to wetlands.

NOTE "H": The purpose of this plat is to show certain property, rights of way and easement boundaries as of the time of platting. There are additional lot setbacks and restrictions to the city zoning regulations that are not reflected on this plat. The boundaries and requirements may change from time to time and should be reviewed to determine the then current applicable use and development limitations of the zoning code as adopted by the government authority having jurisdiction. Note "H" should not be construed as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or other encumbrances of any nature, except to the extent specifically identified on this plat.

NOTE "I" - RESERVE "I": Reserve "I", as designated and delineated herein, shall be owned and maintained by an association comprised of the owners of the fee simple titles to the lots in the Hamlet at Sugar Run subdivisions for the purpose of open space, parking, and a central mail box unit.

NOTE "J": At the time of platting, electric, cable, and telephone service providers have not issued information required so that covered areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of any of these main line facilities, could conveniently be shown on this plat. Existing recorded easement information about Hamlet at Sugar Run Phase 2 or any part thereof can be reviewed by a computer examination of the then current public records, including those in the Recorder's Office, Franklin County, Ohio.



Legend

- BL = Building Line
- D.E. = Driveway Easement
- P.E. = Easement Setback
- U.E. = Utility Easement
- P.R. = Easement and Building Setback (From Cornhus Lane)
- E.L.1 = Existing Lot Line
- E.L.2 = Existing Lot Line
- E.L.3 = Existing Lot Line
- E.L.4 = Existing Lot Line
- E.L.5 = Existing Lot Line
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- E.L.100 = Existing Lot Line

- A VILLAGE OF NEW ALBANY PARCEL NO. 2WV1 I.N. 200411290271523
- B VILLAGE OF NEW ALBANY PARCEL NO. 27WV I.N. 200411290271522
- C STATE OF OHIO, DEPARTMENT OF TRANSPORTATION PARCEL NO. 2WD-1 I.N. 200411290271524
- D VILLAGE OF NEW ALBANY PARCEL NO. 3WV I.N. 199911090281049
- E STATE OF OHIO PARCEL NO. 3WD I.N. 199911090281053

CURVE NO.	DELTA	CURVE TABLE		
		RADIUS	LENGTH	CHORD DISTANCE
C1	43°00'00"	36.00'	29.27'	W 70°55'18" E 27.53'
C2	43°00'00"	36.00'	29.27'	E 29°30'18" E 27.95'
C3	30°56'24"	61.00'	32.99'	N 18°35'01" E 32.36'
C4	14°00'36"	61.00'	11.92'	N 41°35'01" E 14.80'
C5	43°00'00"	61.00'	47.91'	N 70°55'18" E 48.69'
C6	43°00'00"	11.00'	6.64'	N 70°55'18" E 6.42'
C7	43°00'00"	11.00'	6.64'	N 29°55'18" E 6.42'
C8	18°44'53"	30.00'	16.26'	S 12°59'14" W 16.29'
C9	30°19'53"	30.00'	26.47'	S 37°31'31" W 26.18'
C10	41°08'31"	30.00'	30.86'	S 22°14'59" W 35.11'
C11	80°38'07"	30.00'	30.00'	S 41°30'26" E 49.36'
C12	21°20'21"	10.00'	6.36'	S 18°12'57" W 6.36'
C13	49°18'43"	23.50'	20.21'	S 02°48'30" E 19.26'
C14	45°27'28"	25.00'	19.83'	S 33°11'58" E 19.20'
C15	102°30'33"	30.00'	69.48'	N 54°48'53" E 70.07'



RESOLUTION R-11-2026

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO A CONSTRUCTION MANAGER AT RISK CONTRACT WITH MESSER CONSTRUCTION CO. FOR THE PURPOSE OF PROVIDING PRE-CONSTRUCTION SERVICES FOR THE NEW ALBANY BEVELHYMER FACILITIES IMPROVEMENTS PROJECT

WHEREAS, New Albany City Council previously authorized funding for the planning, design, and construction of the New Albany Bevelhymer Facilities Improvements Project (the “Project”), and subsequently approved, via Resolution R-04-2026, the use of the Construction Manager at Risk (“CMR”) selection and delivery method; and

WHEREAS, the CMR process utilizes a qualification-based, two-step competitive selection process, consisting of a Request for Qualifications (“RFQ”) followed by a Request for Proposals (“RFP”); and

WHEREAS, five (5) firms submitted Statements of Qualifications in response to the RFQ, of which the city’s selection committee determined that three (3) firms were most qualified and were invited to participate in the RFP phase; and

WHEREAS, three (3) firms submitted proposals in response to the RFP and were evaluated based on technical qualifications, project approach, and fee proposals; and

WHEREAS, following evaluation of the proposals and interviews, the Selection Committee determined that Messer Construction Co. (“Messer”) is the most qualified firm and best value to serve as the Construction Manager at Risk for the Project; and

WHEREAS, the city will be utilizing a modified American Institute of Architects (“AIA”) Construction Manager at Risk agreement, the terms of which are currently being finalized; and

WHEREAS, in the event consensus cannot be reached as to the terms of the CMR agreement, the city may elect to proceed with the second-ranked firm, which did not propose any contract modification; and

WHEREAS, execution of the CMR agreement will enable Messer to provide pre-construction services, including cost estimating, constructability review, scheduling, and coordination, as well as development of a proposed Guaranteed Maximum Price (GMP) for the Project; and

WHEREAS, once the GMP is established, council will be presented with additional legislation authorizing the city manager to enter into a Guaranteed Maximum Price Amendment to the contract, at which time construction will be authorized; and

WHEREAS, prior to council's approval of the GMP Amendment, the city may terminate the CMR contract without cause; and

WHEREAS, this legislation also authorizes the city manager to enter into all additional Project-related contracts, such as construction inspection, testing, and legal services, within the Project budget previously approved by council.

NOW, THEREFORE, BE IT RESOLVED by Council for the City of New Albany, counties of Franklin and Licking, State of Ohio, that:

Section 1. Council hereby finds that for the reasons set forth in the "WHEREAS" clauses herein, the city manager is hereby authorized to enter into a Construction Manager at Risk contract with Messer Construction Co. as the apparent successful offeror, or, in the event acceptable contract terms cannot be reached, with the second ranked firm.

Section 2. At any time prior to council's approval of a Guaranteed Maximum Price Amendment to the contract, the city may terminate the CMR contract without cause.

Section 3. The city manager is also hereby authorized to enter into additional Project-related contracts which are within the Project budget established by council.

Section 4. It is hereby found and determined that all formal actions of this council concerning and relating to the adoption of this legislation were adopted in an open meeting of council, and that all deliberations of council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 5. Pursuant to Article 6.07(a) of the New Albany Charter, this resolution shall become effective immediately upon adoption.

CERTIFIED AS ADOPTED this _____ day of _____, 2025.

Attest:

Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

Approved as to form:

Benjamin S. Albrecht
Law Director

Legislation dates:

Prepared: 04/24/2026

Introduced: 05/05/2026

Revised:

Adopted:

Effective:



RESOLUTION R-12-2026

A RESOLUTION TO AUTHORIZE THE CITY MANAGER TO ADVERTISE, BID, AWARD AND EXECUTE ALL AGREEMENTS AND CONTRACTS RELATED TO THE 2026 CITY OF NEW ALBANY STREET IMPROVEMENT PROJECT

WHEREAS, New Albany City Council desires to proceed with general roadway maintenance such as asphalt overlay, crack seal, curb, and curb ramp replacements as needed within the city, and

WHEREAS, the city will advertise for and award bids in accordance with the codified ordinances of New Albany and the Ohio Revised Code, and

WHEREAS, the engineer's construction cost estimate for the project is \$4.3 million; and

WHEREAS, funding for this work is provided in the 2026 capital improvements budget.

NOW, THEREFORE, BE IT RESOLVED by Council for the City of New Albany, Counties of Franklin and Licking, State of Ohio, that:

Section 1. The city manager is hereby authorized and directed to advertise, bid, award, and execute all agreements and contracts related to the 2026 City of New Albany Street Improvement Project.

Section 2. It is hereby found and determined that all formal actions of this council concerning and relating to the adoption of this legislation were adopted in an open meeting of the council, and that all deliberations of the council and or any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 3. Pursuant to Article 6.07(A) of the New Albany Charter, this resolution shall take effect upon adoption.

CERTIFIED AS ADOPTED this _____ day of _____, 2026.

Attest:

Sloan T. Spalding
Mayor

Jennifer H. Mason
Clerk of Council

Approved as to form:

Benjamin S. Albrecht
Law Director

Legislation dates:

Prepared: 04/24/2026

Introduced: 05/05/2026

Revised:

Adopted:

Effective: